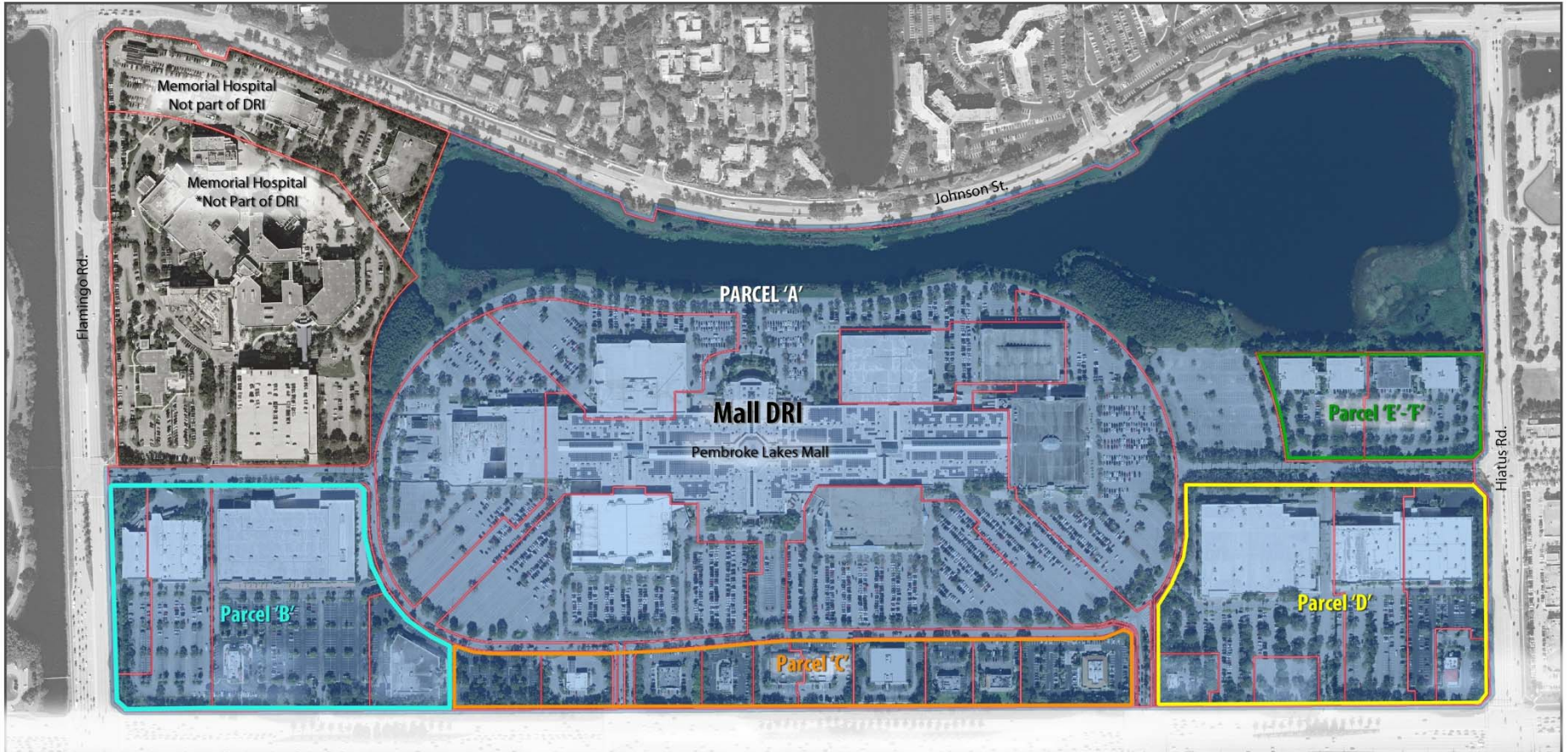
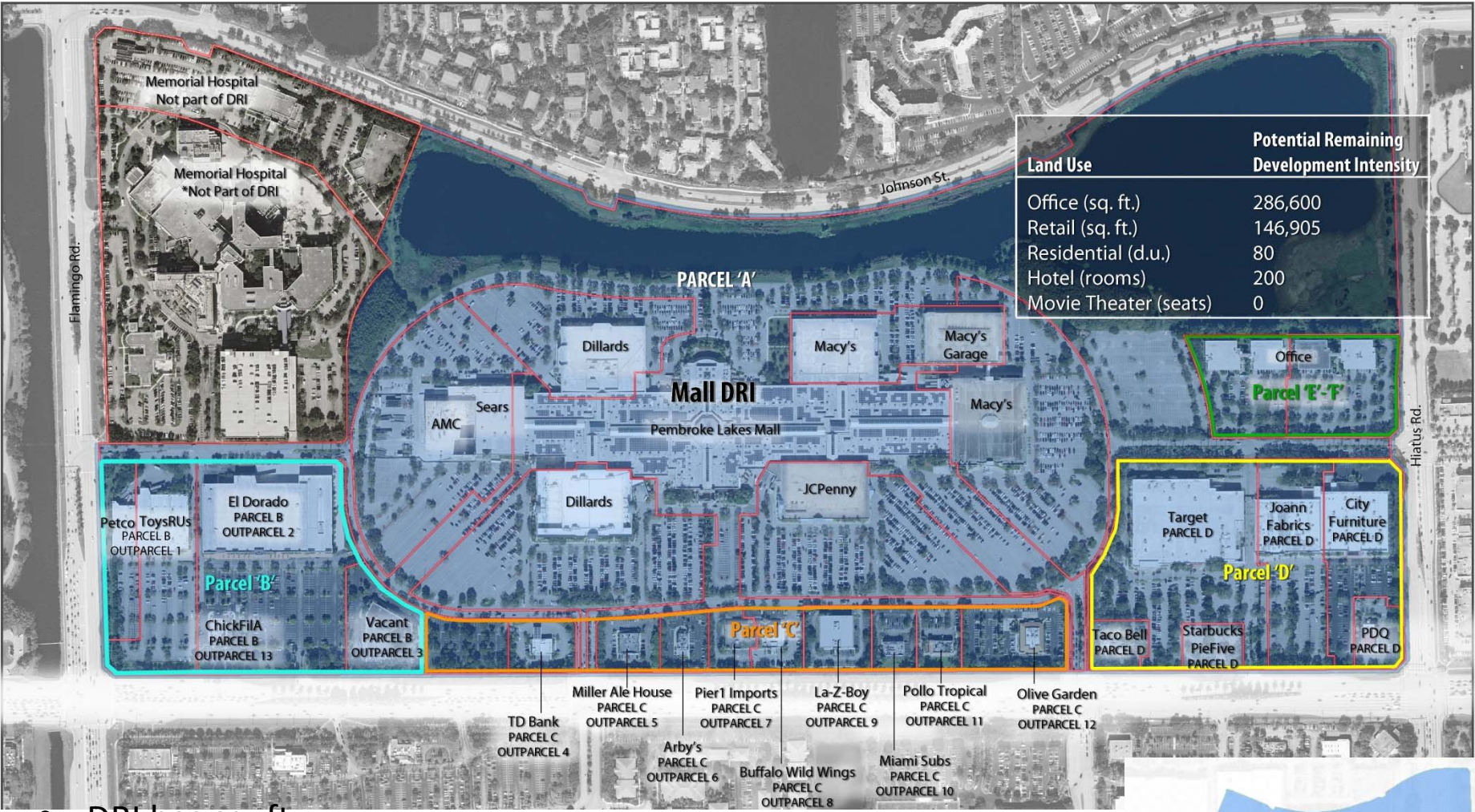


Mall DRI Area



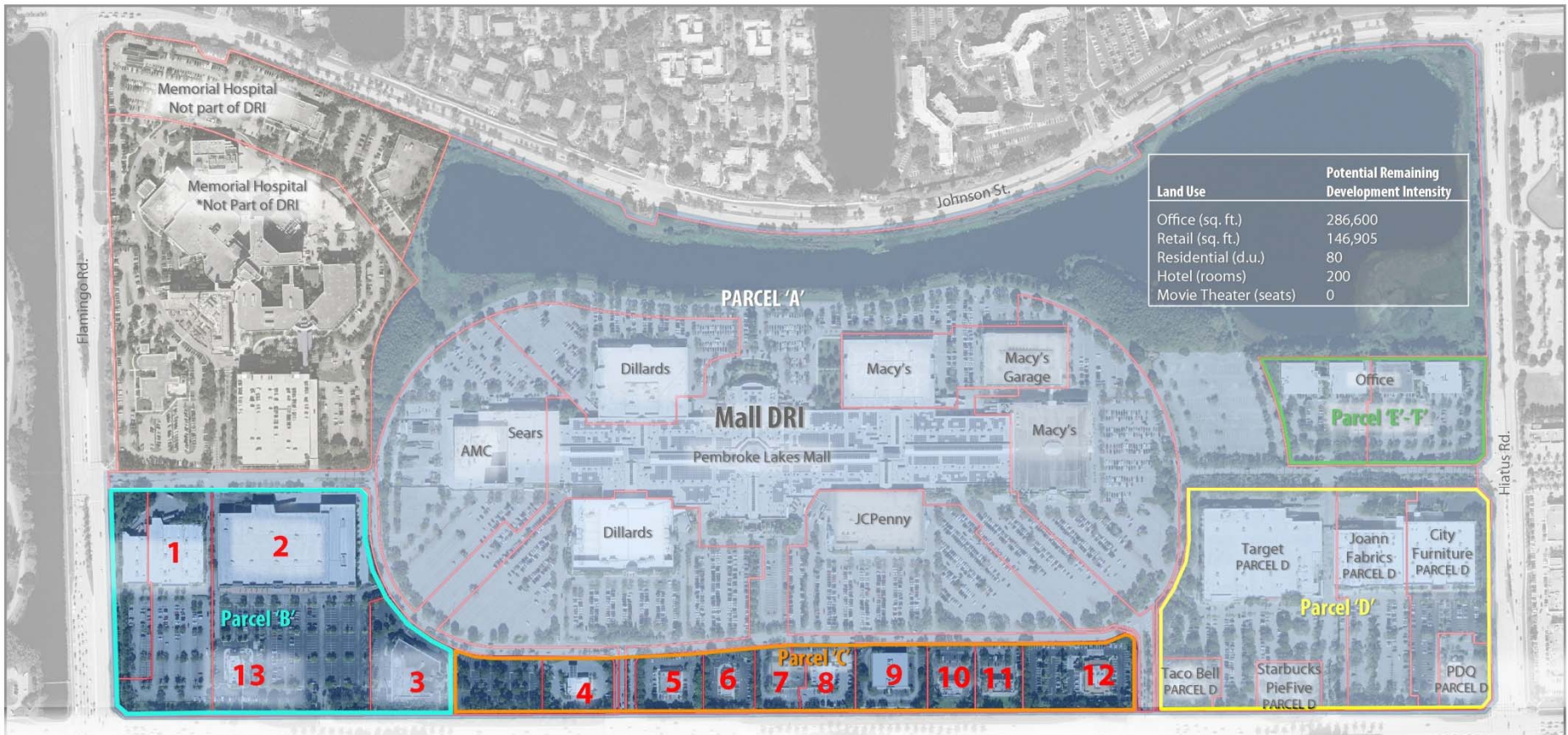
Mall DRI Area



- DRI has sq. ft.
- No process to build detached structures



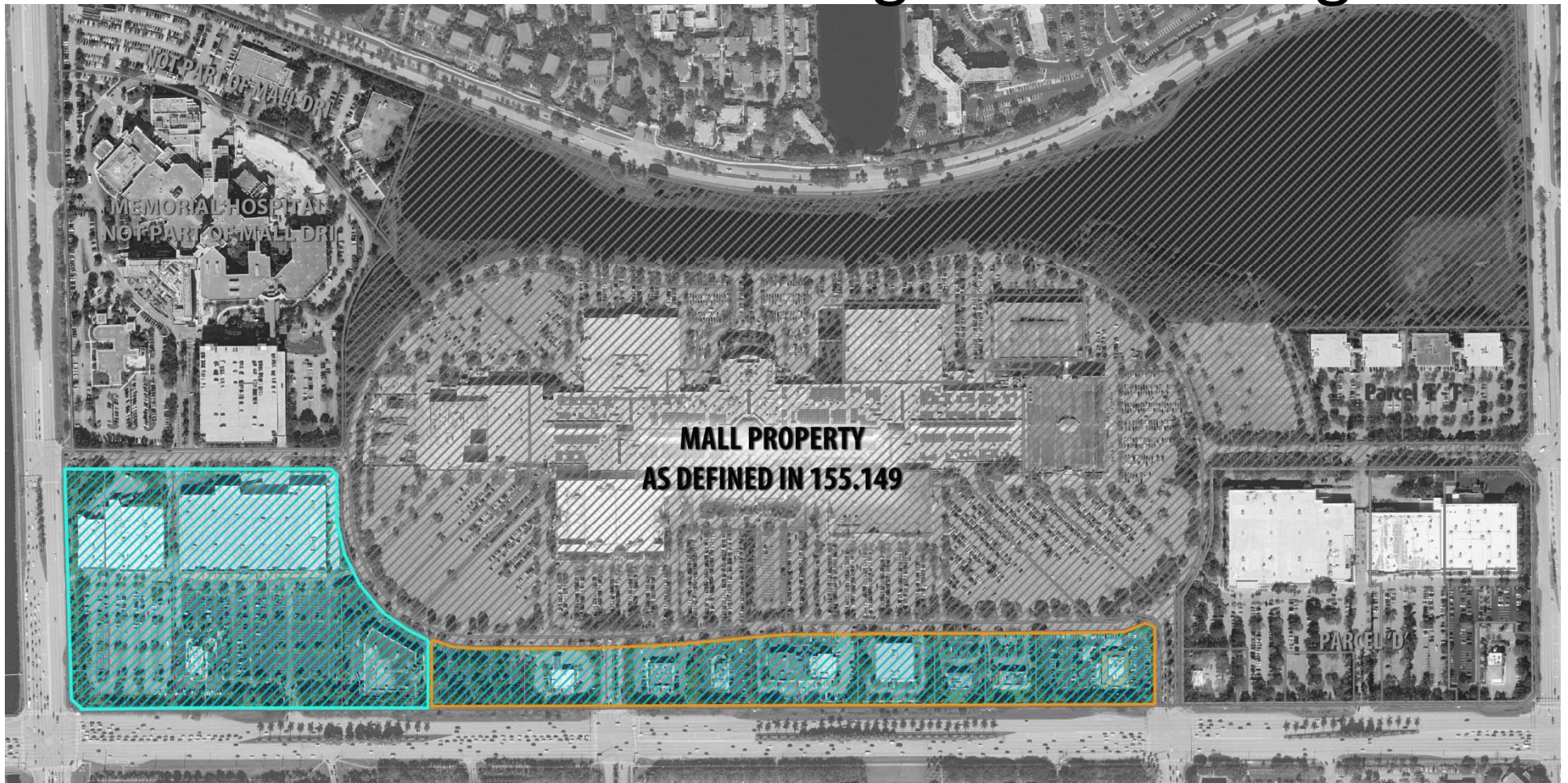
Mall Outparcel



- Currently 13 outparcels approved for the Pembroke Lakes Mall.
 - Three outparcels (El Dorado, Toys R' US, Golfsmith) do not meet the definition of out parcels.
 - Three buildings existing are legal non-conforming.
 - Outparcel development only allowed on parcels B and C.



Mall Parking- Outside Ring road



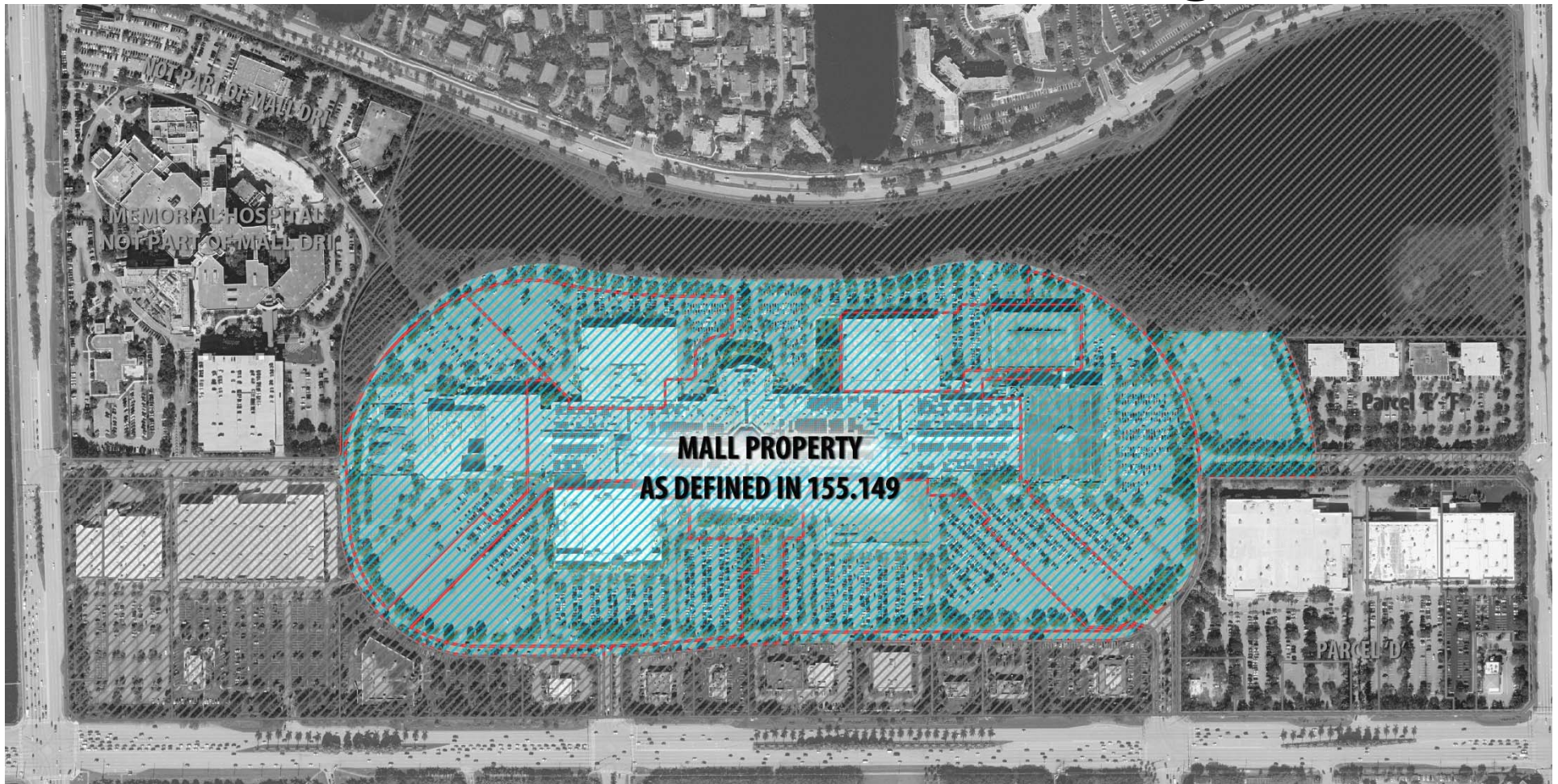
- Pembroke Lakes Mall is currently over parked by over 1,000 parking spaces.

Pembroke Lakes Regional Mall Center Parking Analysis

Outside Ringroad (Mall Outparcel's)

Sq ft.	Parking Required	Parking Provided	Surplus Parking
296,303	1,194	1,514	320

Mall Parking- Parcel A



Pembroke Lakes Regional Mall Center Parking Analysis

Inside Ringroad (Existing Main Mall Structures)

Sq ft.	Parking Required	Parking Provided	Surplus Parking
1,149,584	4,201	5,593	1,392

*Parking Provided Includes Parking Garage: "Parking Provided" provided by Mall Mgt. by physical count

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

Mall Property



- Mall owners across the Country are rethinking their business processes
 - How we shop is changing
 - Amazon
 - More stores smaller sq. ft. / more distribution
 - Shopping is secondary to experience