

This instrument prepared by:
City Attorney's Office
Goren, Cherof, Doody & Ezrol, P.A.
3099 E. Commercial Boulevard, Suite 200
Fort Lauderdale, FL 33308

City of Pembroke Pines

EASEMENT DEDICATION

On this 9th day of July, 2024, IVT Westfork Plaza Pembroke Pines, LLC, a Delaware limited liability company, having an address of 3025 Highland Parkway, Suite 350, Downers Grove, Illinois 60515 (hereinafter "GRANTOR"), expressly grants a non-exclusive easement to the City of Pembroke Pines, a municipal corporation of the State of Florida, having an address of 601 City Center Way, Pembroke Pines, Florida 33025 (hereinafter "GRANTEE"), subject to the following provisions and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations paid by GRANTEE to GRANTOR, receipt of which is hereby acknowledged by both parties.

GRANTOR is the fee simple owner of that parcel of real property, a legal description of which is attached hereto as Exhibit "A", and incorporated by reference herein, (hereinafter the "Servient Estate").

GRANTOR hereby grants, bargains and sells to grantee, its successors and assigns, a non-exclusive perpetual easement under, over and upon a portion of the Servient Estate, a legal description of which is attached hereto as Exhibit "B" and incorporated by reference herein, (hereinafter the "Easement Area").

GRANTEE may use the Easement Area for and in consideration of the mutual covenants each to the other running and one dollar and other good and valuable considerations, Grantor does hereby grant unto Grantee, its successors and assigns, full and free right and authority to construct, maintain, repair, install and rebuild underground water and/or sanitary sewerage facilities and does hereby grant a perpetual non-exclusive easement in, over, under, through, upon and/or across the above described lands only for said purposes.

GRANTEE'S right to utilize the Easement Area shall be exclusive only to the extent that GRANTOR shall grant no easement or license, nor make any covenants, having the effect of permitting

use of the Easement Area by one other than GRANTEE where such use would materially and adversely affect Grantee's use and enjoyment of the Easement Area.

GRANTOR may, for its own purposes, utilize the Easement Area and shall retain a right of free ingress and egress under, over and upon the Easement Area; provided that, in no event, shall any of the rights herein reserved to Grantor materially impede the easement herein granted or the exercise of the rights of use there under.

GRANTEE shall not cause any interruptions or block ingress and egress, access ways, driveways, and parking spaces on the Servient Estate. GRANTEE shall return the Easement Area, and any surrounding area, in a condition equal to or better than existed before the Easement Area construction, repair or maintenance began, including, but not limited to, replacing all landscaping, shrubbery, buildings and sidewalks.

The provision of the easement shall be binding on the GRANTOR its successors and assigns as a covenant running with and binding upon the Easement Area.

This easement shall not be released or amended without the express written consent of the GRANTEE as evidenced by a document signed with the same formalities as this document.


GRANTEE shall record this document in the Public Records of Broward County, Florida.

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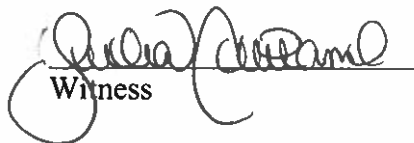
IN WITNESS WHEREOF, Grantor has hereunto set this hand and seal on the day and year first above written.

Signed, sealed and
Delivered in the presence of:

IVT Westfork Plaza Pembroke Pines, LLC,
a Delaware limited liability company



Witness

By: IVT OP Limited Partnership, a
Delaware limited partnership, its sole
member


Witness

By: IVT OP GP, LLC, a Delaware
limited liability company, its general
partner

By: InvenTrust Properties Corp., a
Maryland corporation, its sole
member

By: 
Name: Christy L. David
Title: EVP, Chief Operating Officer,
General Counsel & Secretary

STATE OF ILLINOIS §
COUNTY OF DUPAGE §

Before me, the undersigned notary, on this day personally appeared Christy L. David, EVP, Chief Operating Officer, General Counsel & Secretary of InvenTrust Properties Corp., a Maryland Corporation, sole member of IVT OP GP, LLC, a Delaware limited liability company, general partner of IVT OP Limited Partnership, a Delaware limited partnership, sole member of IVT Westfork Plaza Pembroke Pines, LLC, a Delaware limited liability company, known to me to be the person whose name is subscribed to the preceding instrument and acknowledged to me that the person executed the instrument in the person's official capacity for the purposes and consideration expressed in the instrument.

Given under my hand and seal of office on June 26, 2024.

[Seal]





Notary Public, State of Illinois

Exhibit "A"

"Servient Estate"

PARCEL 1 - FEE ESTATE:

PARCEL A OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND LYING, SITUATED AND BEING IN BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THEREFROM THE FOLLOWING LANDS:

A PORTION OF PARCEL "A" OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERLY MOST SOUTHWEST CORNER OF SAID PARCEL "A"; THENCE ALONG THE SOUTH LINE OF SAID PARCEL "A" NORTH 89 DEGREES 39 MINUTES 59 SECONDS EAST 349.23 FEET; THENCE CONTINUE ALONG THE SOUTH LINE OF SAID PARCEL "A" NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 35.73 FEET TO THE POINT OF BEGINNING; THENCE NORTH 54 DEGREES 56 MINUTES 21 SECONDS WEST 68.79 FEET; THENCE NORTH 00 DEGREE 20 MINUTES 01 SECONDS WEST 230.68 FEET; THENCE NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 256.73 FEET; THENCE SOUTH 00 DEGREE 34 MINUTES 58 SECONDS EAST 270.76 FEET TO THE SOUTH LINE OF SAID PARCEL "A"; THENCE ALONG THE SOUTH LINE OF SAID PARCEL "A" SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST 201.83 FEET TO THE POINT OF BEGINNING. BEARINGS ARE BASED ON A PLAT BEARING SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST ALONG THE SOUTH LINE OF PARCEL "A".

SAID LAND LYING, SITUATED AND BEING IN BROWARD COUNTY, FLORIDA. AND LESS AND EXCEPT:

A PORTION OF PARCEL "A" OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE WEST QUARTER (W 1/4) CORNER OF SECTION 16, TOWNSHIP 51 SOUTH, RANGE 40 EAST, AS SHOWN ON SAID PLAT; THENCE ALONG THE SOUTH LINE OF THE NORTH ONE-HALF (N 1/2) OF SAID SECTION 16, NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 1064.15 FEET; THENCE NORTH 00 DEGREE 34 MINUTES 58 SECONDS WEST 100.00 FEET TO THE POINT OF BEGINNING LYING ON THE SOUTH LINE OF SAID PARCEL "A"; THENCE CONTINUE NORTH 00 DEGREES 34 MINUTES 58 SECONDS WEST 236.00 FEET; THENCE NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 199.67 FEET TO A POINT OF CURVATURE OF A 30.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 47.12 FEET; THENCE SOUTH 00 DEGREE 34 MINUTES 58 SECONDS EAST 206.00 FEET TO THE SOUTH LINE OF SAID PARCEL "A"; THENCE ALONG SAID

SOUTH LINE SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST 229.67 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.
AND LESS AND EXCEPT:

A PORTION OF PARCEL "A" OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHERNMOST OF THE SOUTHWEST CORNERS OF SAID PARCEL "A"; THENCE ALONG THE WESTERLY LINE OF SAID PARCEL "A" FOR THE FOLLOWING FOUR (4) COURSES: (1) NORTH 45 DEGREES 20 MINUTES 01 SECONDS WEST PLAT BEARING 49.50 FEET; (2) NORTH 00 DEGREE 20 MINUTES 01 SECONDS WEST 100.78 FEET; (3) NORTH 06 DEGREES 30 MINUTES 35 SECONDS EAST 100.72 FEET; (4) NORTH 00 DEGREE 20 MINUTES 01 SECONDS WEST 47.33 FEET; THENCE NORTH 89 DEGREES 40 MINUTES 00 SECONDS EAST 289.11 FEET TO A POINT ON A 38.00 FOOT RADIUS NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST WHOSE RADIUS POINT BEARS SOUTH 28 DEGREES 12 MINUTES 11 SECONDS WEST; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 61 DEGREES 27 MINUTES 48 SECONDS AN ARC DISTANCE OF 40.76 TO A POINT OF TANGENCY; THENCE SOUTH 00 DEGREE 20 MINUTES 01 SECONDS EAST 128.60 FEET TO A POINT OF CURVATURE OF 250.00 FOOT RADIUS CURVE CONCAVE TO THE EAST; THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 13 DEGREES 36 MINUTES 02 SECONDS AN ARC DISTANCE OF 59.34 FEET TO A POINT OF NON-TANGENCY; THENCE SOUTH 00 DEGREES 20 MINUTES 01 SECONDS EAST 62.35 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL "A"; THENCE ALONG THE SAID SOUTH LINE SOUTH 89 DEGREES 39 MINUTES 59 SECONDS WEST 292.96 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. AND LESS AND EXCEPT:

A PORTION OF PARCEL "A" OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE WEST QUARTER CORNER OF SECTION 16, TOWNSHIP 51 SOUTH, RANGE 40 EAST; THENCE ON A GRID NORTH BEARING OF NORTH 01 DEGREE 46 MINUTES 13 SECONDS WEST (BASED ON SAID PLAT) 100.03 FEET TO THE SOUTH BOUNDARY OF SAID PARCEL "A"; THENCE ALONG SAID BOUNDARY NORTH 89 DEGREES 39 MINUTES 59 SECONDS EAST 2.29 FEET TO AN ANGLE POINT IN SAID BOUNDARY; THENCE ALONG SAID BOUNDARY NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 540.66 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREE 34 MINUTES 58 SECONDS WEST 72.12 FEET TO A POINT OF CURVATURE OF A 138.50 FOOT RADIUS CURVE CONCAVE TO THE EAST; THENCE NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 35 DEGREES 48 MINUTES 23 SECONDS AN ARC DISTANCE OF 86.55 FEET TO A POINT OF TANGENCY; THENCE NORTH 35 DEGREES 13 MINUTES 25 SECONDS EAST 86.80 FEET TO A POINT OF CURVATURE OF A 30.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 54 DEGREES 11 MINUTES 37 SECONDS AN ARC DISTANCE OF 28.38 FEET TO A POINT OF TANGENCY;

THENCE NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 122.20 FEET; THENCE SOUTH 00 DEGREES 34 MINUTES 58 SECONDS EAST 236.00 FEET TO THE SOUTH BOUNDARY OF SAID PARCEL "A"; THENCE ALONG SAID BOUNDARY SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST 223.49 FEET TO THE POINT OF BEGINNING. BASIS OF BEARING IS SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST ALONG THE SOUTH LINE OF SAID PLAT.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. AND LESS AND EXCEPT:

A PORTION OF PARCEL "A" OF WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID PARCEL "A"; THENCE ALONG THE SOUTH BOUNDARY OF SAID PARCEL "A" ON A GRID NORTH BEARING OF NORTH 89 DEGREES 39 MINUTES 59 SECONDS EAST (BASED ON SAID PLAT) 349.23 FEET TO AN ANGLE POINT IN SAID BOUNDARY; THENCE CONTINUE ALONG SAID BOUNDARY, NORTH 89 DEGREES 25 MINUTES 02 SECONDS EAST 237.56 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREE 34 MINUTES 58 SECONDS WEST 282.28 FEET; THENCE NORTH 89 DEGREES 40 MINUTES 00 SECONDS EAST 64.74 FEET TO A POINT OF CURVATURE OF A 302.75 FOOT RADIUS CURVE CONCAVE TO THE SOUTH; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11 DEGREES 15 MINUTES 46: AN ARC DISTANCE OF 59.51 FEET TO A POINT OF TANGENCY; THENCE SOUTH 79 DEGREES 04 MINUTES 14 SECONDS EAST 149.09 FEET TO A POINT OF CURVATURE OF A 33.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY AND EASTERLY AND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 116 DEGREES 37 MINUTES 05 SECONDS AN ARC DISTANCE OF 67.17 FEET TO A POINT OF REVERSE CURVATURE OF A 196.05 FOOT RADIUS CURVE CONCAVE TO THE NORTH; THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 38 DEGREES 07 MINUTES 49 SECONDS AN ARC DISTANCE OF 130.77 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00 DEGREE 34 MINUTES 58 SECONDS EAST 72.12 FEET TO THE SOUTH BOUNDARY OF SAID PARCEL "A"; THENCE ALONG SAID SOUTH BOUNDARY, SOUTH 89 DEGREES 25 MINUTES 02 SECONDS WEST 245.10 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. AND LESS AND EXCEPT:

A PORTION OF PARCEL "A", WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID WESTFORK COMMERCIAL PLAT; THENCE NORTH 00 DEGREES 20 MINUTES 01 SECONDS WEST, ALONG THE WEST LINE OF SAID PLAT, A DISTANCE OF 135.78 FEET; THENCE NORTH 06 DEGREES 30 MINUTES 35 SECONDS EAST, A DISTANCE OF 100.72 FEET; THENCE NORTH 00 DEGREES 20 MINUTES 01 SECONDS WEST, A DISTANCE OF 64.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE NORTHERLY AND NORTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 1733.00 FEET, A CENTRAL ANGLE OF 00 DEGREES 42 MINUTES 07 SECONDS, FOR AN ARC DISTANCE OF 21.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CURVE A CENTRAL ANGLE OF 19 DEGREES 22 MINUTES 59

SECONDS, FOR AN ARC DISTANCE OF 586.27 FEET TO A POINT ON A NON-TANGENT LINE; THENCE NORTH 89 DEGREES 58 MINUTES 51 SECONDS EAST, A DISTANCE OF 276.22 FEET; THENCE NORTH 84 DEGREES 07 MINUTES 21 SECONDS EAST, A DISTANCE OF 137.19 FEET; THENCE NORTH 89 DEGREES 19 MINUTES 59 SECONDS EAST, A DISTANCE OF 101.63 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST; THENCE EASTERLY, SOUTHEASTERLY AND SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 150.00 FEET A CENTRAL ANGLE OF 70 DEGREES 45 MINUTES 03 SECONDS, FOR AN ARC DISTANCE OF 185.22 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST; THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 968.00 FEET, A CENTRAL ANGLE OF 13 DEGREES 10 MINUTES 27 SECONDS, FOR AN ARC DISTANCE OF 221.57 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY AND SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 575.00 FEET, A CENTRAL ANGLE OF 31 DEGREES 30 MINUTES 54 SECONDS, FOR AN ARC DISTANCE OF 316.27 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHERLY, SOUTHWESTERLY AND WESTERLY ALONG SAID CURVE HAVING A RADIUS OF 31.43 FEET, A CENTRAL ANGLE OF 102 DEGREES 17 MINUTES 47 SECONDS, FOR AN ARC DISTANCE OF 56.17 FEET TO A POINT TANGENCY; THENCE NORTH 79 DEGREES 11 MINUTES 02 SECONDS WEST, A DISTANCE OF 133.96 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTH; THENCE WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 250.00 FEET, HAVING A CENTRAL ANGLE OF 11 DEGREES 12 MINUTES 30 SECONDS, FOR AN ARC DISTANCE OF 48.91 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89 DEGREES 36 MINUTES 27 SECONDS WEST A DISTANCE OF 351.09 FEET; THENCE NORTH 87 DEGREES 47 MINUTES 42 SECONDS WEST, A DISTANCE OF 131.65 FEET; THENCE NORTH 83 DEGREES 39 MINUTES 26 SECONDS WEST, A DISTANCE OF 48.03 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 58 SECONDS WEST, A DISTANCE OF 203.25 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

AND LESS AND EXCEPT:

A PORTION OF PARCEL "A", WESTFORK COMMERCIAL PLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT [BOOK 160, PAGE 14](#), OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID WESTFORK COMMERCIAL PLAT; THENCE NORTH 00 DEGREES 20 MINUTES 01 SECONDS WEST, ALONG THE WEST LINE OF SAID PLAT, A DISTANCE OF 135.78 FEET; THENCE NORTH 06 DEGREES 30 MINUTES 35 SECONDS EAST, A DISTANCE OF 100.72 FEET; THENCE NORTH 00 DEGREES 20 MINUTES 01 SECONDS WEST, A DISTANCE OF 64.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST; THENCE NORTHERLY AND NORTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 1733.00 FEET A CENTRAL ANGLE OF 00 DEGREES 42 MINUTES 07 SECONDS, FOR AN ARC DISTANCE OF 21.23 FEET; THENCE CONTINUE ALONG SAID CURVE A CENTRAL ANGLE OF 19 DEGREES 22 MINUTES 59 SECONDS, FOR AN ARC DISTANCE OF 586.27 FEET; THENCE CONTINUE ALONG SAID CURVE A CENTRAL ANGLE OF 02 DEGREES 45 MINUTES 50 SECONDS, FOR AN ARC DISTANCE OF 83.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CURVE A CENTRAL ANGLE OF 00 DEGREES 09 MINUTES 05 SECONDS, FOR AN ARC DISTANCE OF 4.58 FEET; THENCE NORTH 67 DEGREES 20 MINUTES 00 SECONDS WEST, ALONG A LINE RADIAL TO THE LAST AND NEXT DESCRIBED CURVES, A DISTANCE OF 12.00 FEET TO A POINT ON CURVE CONCAVE TO THE EAST; THENCE NORTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 1745.00 FEET,

A CENTRAL ANGLE OF 5 DEGREES 59 MINUTES 08 SECONDS, FOR AN ARC DISTANCE OF 182.30 FEET; THENCE SOUTH 76 DEGREES 43 MINUTES 34 SECONDS EAST, NON-RADIAL TO THE LAST DESCRIBED CURVE, A DISTANCE OF 161.27 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE 173.12 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIAL BEARING OF NORTH 03 DEGREES 17 MINUTES 57 SECONDS WEST; THENCE WESTERLY ALONG SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 16 DEGREES 54 MINUTES 23 SECONDS, FOR AN ARC DISTANCE OF 118.03 FEET TO A POINT OF TANGENCY; THENCE NORTH 76 DEGREES 23 MINUTES 34 SECONDS WEST, A DISTANCE OF 112.58 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

BASIS OF BEARINGS IS SOUTH 89 DEGREES 39 MINUTES 58 SECONDS WEST ALONG SOUTH LINE OF N 1/2 OF SECTION 17, TOWNSHIP 51 SOUTH, RANGE 40 EAST ON SAID PLAT.

Exhibit “B”

“Easement Area”

[see attached]

LEGAL DESCRIPTION

LEGAL DESCRIPTION TO ACCOMPANY SKETCH OF DESCRIPTION

THIS IS NOT A BOUNDARY SURVEY



LOCATION MAP

LEGEND:

O.R.B.	OFFICIAL RECORD BOOK
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY PUBLIC RECORDS
PG.	PAGE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT

NOTES

1. THIS DESCRIPTION IS NOT VALID UNLESS IT IS ACCOMPANIED WITH THE SKETCH OF DESCRIPTION.
2. LANDS SHOWN HEREON ARE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. BEARINGS ARE BASED ON THE SOUTH LINE OF PARCEL "A" WESTFORK COMMERCIAL PLAT, P.B. 160, PG. 14 HAVING A BEARING OF SOUTH 89°39'29" WEST.
4. THE "LAND DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR.
5. DATA SHOWN HEREON IS A GRAPHIC DEPICTION OF THE LANDS DESCRIBED AND DOES NOT CONSTITUTE A BOUNDARY SURVEY AS SUCH.
6. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR THE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR
7. IF ELECTRONICALLY SIGNED THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RAYMOND C ALEXANDRICH LS4592 ON FEBRUARY 19, 2024

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF DESCRIPTION OF THE HEREON DESCRIBED PROPERTY IS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION ON MARCH 04, 2024.

RAYMOND C ALEXANDRICH
PROFESSIONAL LAND SURVEYOR LS4592
ALEXANDRICH & ASSOCIATES INC. CORPORATION CERTIFICATE OF AUTHORIZATION LB8287



ALEXANDRICH & ASSOCIATES, INC
LAND SURVEYORS & MAPPERS
9771 RICHMOND CIRCLE
BOCA RATON, FL. 33434
PHONE (561) 306-2568
FAX (561) 488-9183

A PORTION OF
PARCEL "A" WESTFORK COMMERCIAL PLAT
(P.B. 160, PG.14 B.C.R.)
UTILITY EASEMENT

DATE 02-18-24

DRAWN BY RCA

F.B./ PG. NA

SCALE NA

PAGE NO. 1 OF 4

LEGAL DESCRIPTION
LEGAL DESCRIPTION TO ACCOMPANY SKETCH OF DESCRIPTION
THIS IS NOT A BOUNDARY SURVEY

A UTILITY EASEMENT, BEING A PORTION OF PARCEL "A" WESTFORK COMMERCIAL PLAT AS RECORDED IN PLAT BOOK 160, PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF BEGINNING (P.O.B.) OF THE EXISTING UTILITY EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 29671, PAGE 0154 , PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THE FOLLOWING CALLS TO THE POINT OF BEGINNING ARE ON THE OUTSIDE LINES OF SAID EXISTING UTILITY EASEMENT, THENCE N 00°20'00" W, A DISTANCE OF 196.31 FEET; THENCE N 89°40'00" E, A DISTANCE OF 141.46 FEET; THENCE S 00°34'58" E, A DISTANCE OF 14.03 FEET; THENCE N 89°25'02" E, A DISTANCE OF 15.00 FEET; THENCE N 00°34'58" W, A DISTANCE OF 13.97 FEET; THENCE N 89°40'00" E, A DISTANCE OF 28.00 FEET; THENCE S 00°34'58" E, A DISTANCE OF 14.03 FEET; THENCE N 89°25'02" E, A DISTANCE OF 15.00 FEET; THENCE N 00°34'58" W, A DISTANCE OF 13.97 FEET; THENCE N 89°40'00" E, A DISTANCE OF 160.93 FEET; THENCE S 00°07'58" E, A DISTANCE OF 21.03 FEET; THENCE S 45°10'56" E, A DISTANCE OF 24.20 FEET; THENCE S 10°55'46" W, A DISTANCE OF 24.67 FEET; THENCE S 79°04'14" E, A DISTANCE OF 15.00 FEET; THENCE N 10°55'46" E, A DISTANCE OF 26.32 FEET; THENCE S 79°04'58" E, A DISTANCE OF 66.25 FEET; THENCE N 79°52'36" E, A DISTANCE OF 30.38 FEET; THENCE S 79°42'21" E, A DISTANCE OF 34.02 FEET; THENCE N 05°10'50" E, A DISTANCE OF 15.54 FEET; THENCE S 78°44'55" E, A DISTANCE OF 2.33 FEET; THENCE N 10°55'46" E TO A POINT ON THE NORTH LINE OF THAT PARCEL DESCRIBED IN INSTRUMENT #116965064 PUBLIC RECORDS OF BROWARD COUNTY FLORIDA, A DISTANCE OF 15.01 FEET; THENCE N 79°04'14" W ALONG SAID NORTH LINE, A DISTANCE OF 2.62 FEET TO THE POINT OF BEGINNING:

THENCE N 79°04'14" W ALONG SAID NORTH LINE, A DISTANCE OF 15.87 FEET; THENCE N 29°57'09" E TO A POINT ON THE SOUTH LINE OF SAID EXISTING EASEMENT, A DISTANCE OF 23.40 FEET; THENCE N 89°40'00" E ALONG SAID SOUTH LINE, A DISTANCE OF 17.37 FEET; THENCE S 29°57'09" W, A DISTANCE OF 26.99 FEET TO THE POINT OF BEGINNING.



ALEXANDRICH & ASSOCIATES, INC
LAND SURVEYORS & MAPPERS
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A PORTION OF
PARCEL "A" WESTFORK COMMERCIAL PLAT
(P.B. 160, PG. 14 B.C.R.)
UTILITY EASEMENT

DATE 02-18-24

DRAWN BY RCA

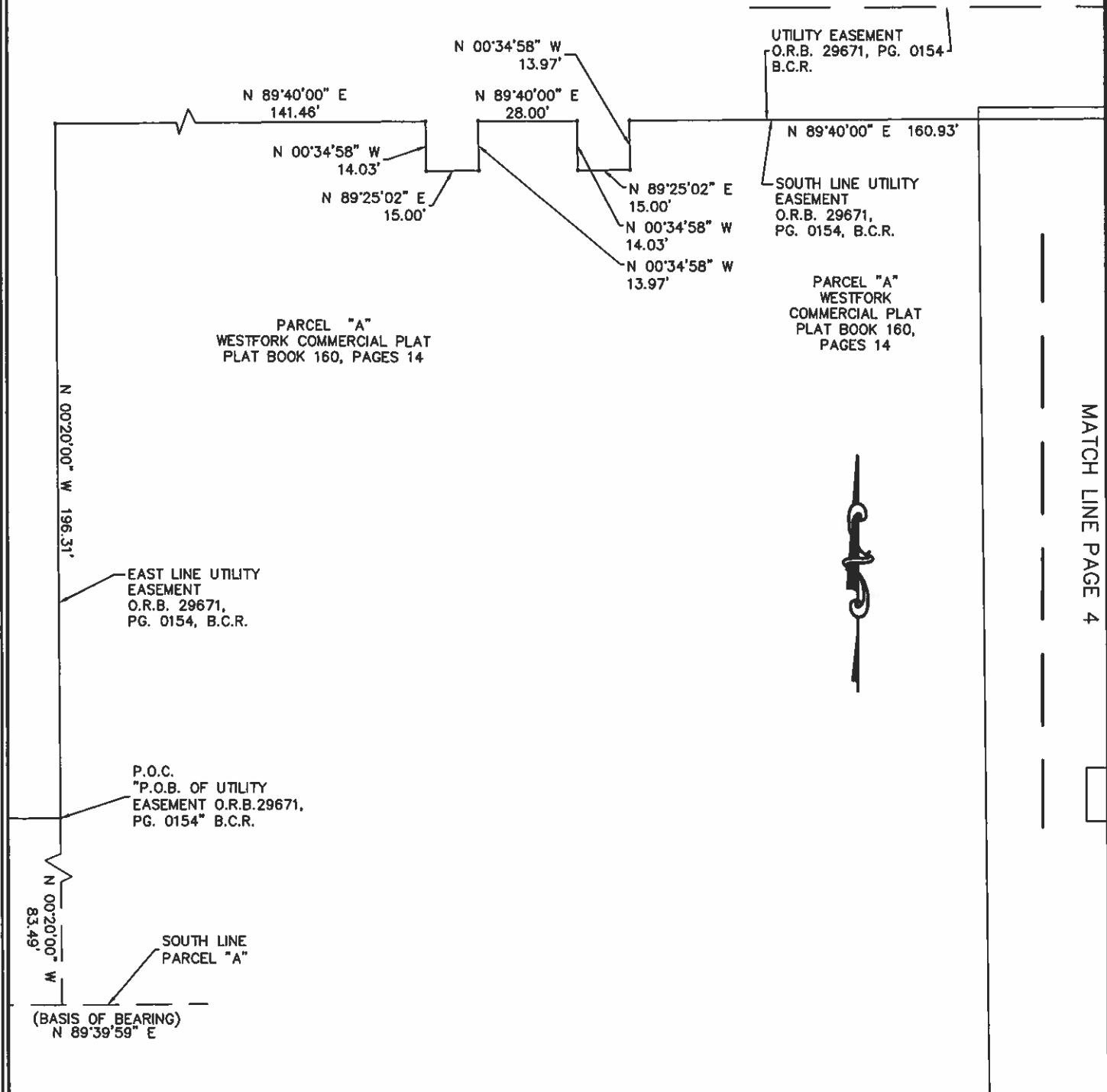
F.B./ PG. NA

SCALE NA

PAGE NO. 2 OF 4

SKETCH & LEGAL DESCRIPTION

LEGAL DESCRIPTION TO ACCOMPANY SKETCH OF DESCRIPTION
THIS IS NOT A BOUNDARY SURVEY



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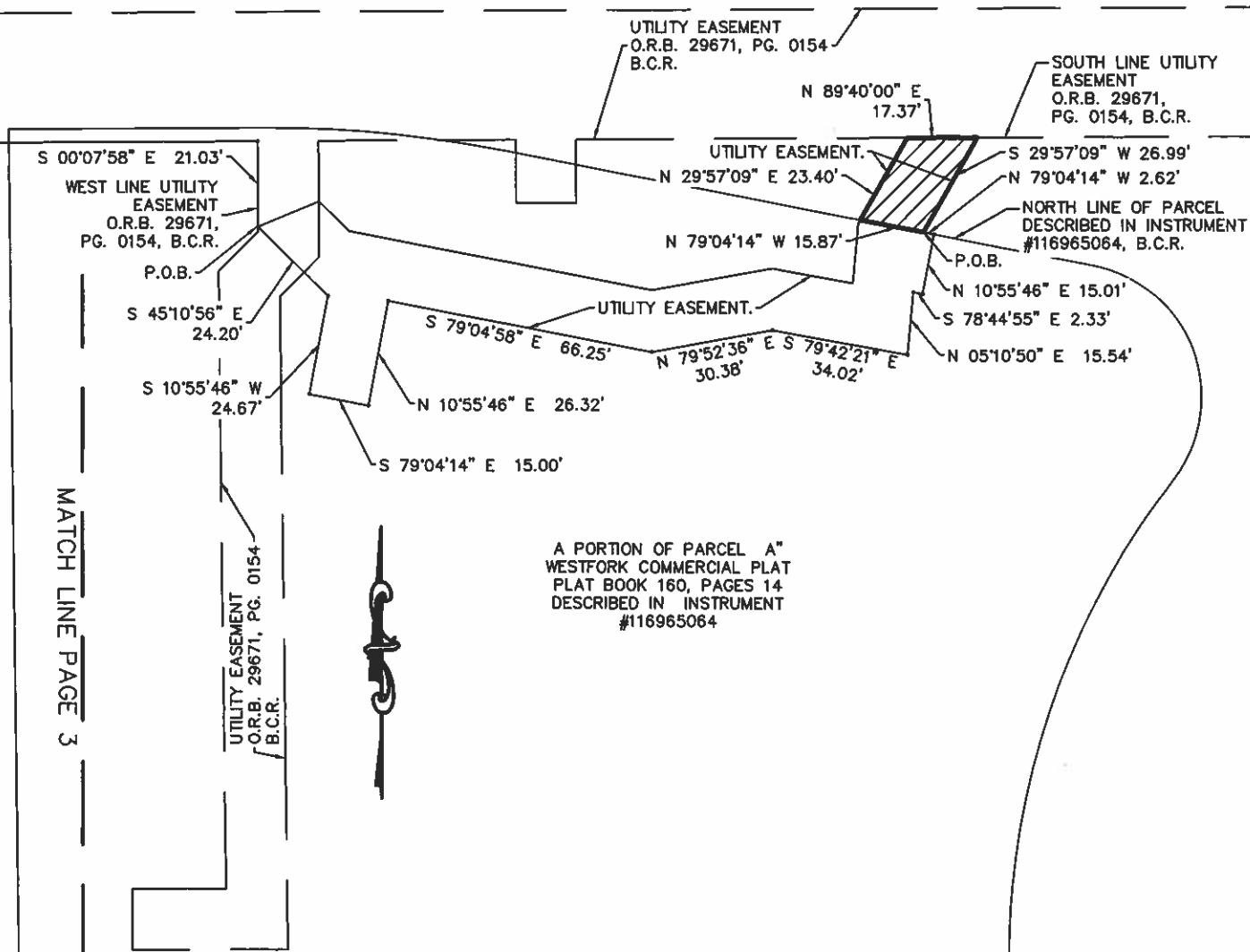
A PORTION OF
PARCEL "A" WESTFORK COMMERCIAL PLAT
(P.B. 160, PG. 14 B.C.R.)
UTILITY EASEMENT

DATE	02-18-24
DRAWN BY	RCA
F.B./ PG.	NA
SCALE	1' = 40'
PAGE NO.	3 OF 4

SKETCH & LEGAL DESCRIPTION

LEGAL DESCRIPTION TO ACCOMPANY SKETCH OF DESCRIPTION

THIS IS NOT A BOUNDARY SURVEY



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