





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Agenda Date:	August 14, 2025	Application ID:	MSC 2025-0012
Project:	Pembroke Gardens Master Sign Plan	Project Number:	PRJ 2024-0009
Project Planner:	Joseph Yaciuk, Assistant Director		
Owner:	FR Pembroke Gardens LLC.	Agent:	Dwayne Dickerson Esq.
Location:	South of Pines Boulevard, between I-75 and Southwest 145 Avenue	Acreage:	+ - 2.7 Acres
Existing Zoning:	PCD (Planned Commercial Development)	Proposed Zoning:	MXD (Mixed Use Development)
Existing Land Use:	Commercial	Commission District:	4
Reference Applications:	SP 2024-0007, ZC 2024-0002, ZC 2024-0003, SUB 2024-0001, ZC 2018-03, ZC 2015-05, ZC 2009-03, ZC 2008-03, ZC 2005-04, AM 2005-04		
Applicant Request:	General updates to the existing uniform sign plan.		
Staff Recommendation:	Approval.		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board		<input type="checkbox"/> City Commission
Reviewed for the Agenda:	Director: 		Assistant Director: 

Project Description / Background

Dwayne Dickerson, agent for owner FR Pembroke Gardens LLC, requests approval of a master sign plan update for the Pembroke Gardens site generally located south of Pines Boulevard and west of Southwest 145 Avenue.

On March 1, 2006, the City Commission adopted Ordinance No. 1539 approving the Planned Commercial Development (PCD) with design guidelines for the Shops at Pembroke Gardens. The PCD design guidelines were later amended by the City Commission via Ordinance No. 1571 adopted on February 7, 2007, Ordinance No. 1655 adopted on December 9, 2009, Ordinance 1843 adopted on March 16, 2016, and Ordinance No. 1926 on June 5, 2019.

The following companion applications are currently in processing, with City Commission expected hearing dates:

- ZC 2024-0002 – A zoning map change creating Mixed Use Development (MXD) development guidelines for the +-40-acre property. **(City Commission Second reading August 6, 2025)**
- ZC 2024-0003 – A zoning text change creating Mixed Use Development (MXD) development guidelines for the +-40-acre property. **(City Commission Second reading August 6, 2025)**
- SUB 2024-0001 - A plat note amendment to designate a new +- 2.7-acre residential parcel on site and the assignment of 308 residential units to that parcel will be scheduled for consideration at the August Commission meeting. **(City Commission - August 6, 2025)**

The proposed Master Sign Plan updates will be heard concurrently at tonight's meeting with the Pembroke Gardens residential site plan (SP 2024-0007). The proposed master sign plan updates reflect the introduction of signage for the new residential site as well as changes/additions to the existing commercial site.

The following represents general revisions to the master sign plan with page references for verification. Specific details of the revisions are provided in the updated plan attachment in strikethrough and underline format.

General Modifications

- *"Shops at Pembroke Gardens" updated to "Pembroke Gardens" — **Multiple Pages***
- *Updated submission date to June 11, 2025 — **Page 1***
- *Creation of "Shared" signage terminology to encompass both commercial and residential tenants — **Multiple Pages***
- *Inclusion of shared digital directory signs; digital components allowed — **Pages 2, 6***
- *Adds residential building identity signs to permanent signage — **Page 3***
- *Clarification of types of temporary signage permitted — **Page 3***
- *Updated exhibit list — **Pages 3,4***
- *Residential entrance sign specifications — **Page 6***
- *Updated directional signs to include residential post and panel signage - **Page 7***
- *Added grand blade signage with Exhibit **Page 9***
- *Added façade-mounted blade signs and under canopy blade sign regulations **Pages 10-12***
- *Added approval process for residential signs **Page 12***
- *Added residential building identity and parking garage design guidelines. **Page 14***

- Added barricade and fence banner requirements around the residential parcel while under construction **Page 15**
- Added residential use to barricade and wrap regulations **Page 16**
- Added provisions for project announcement signs **Page 16-17**
- Added provisions for a sign near a rental office trailer **Page 17**
- Updated prohibited signs **Page 19**

In addition, the following exhibits are listed in the plan.

Exhibit 1 – Master Sign Plan Sign Locations
Exhibit 2 – Shared Primary Identification Signage
Exhibit 3 – Shared Secondary Signage
Exhibit 4 – Directional Signage
Exhibit 5 – I-75 Monument Signage
Exhibit 6 – Monument Building 8000
Exhibit 7 – Shared Monument I-75 Digital Conceptual
Exhibit 8 – Residential Entrance Monument Signage (NEW)
Exhibit 9 – Residential Directional Post and Panel Signage (NEW)
Exhibit 10 – Shared Digital Directory Detail
Exhibit 11 – Entry Arch Detail
Exhibit 12 - Freestanding Signage
Exhibit 13 – Seasonal Pop Up Store Signage
Exhibit 14 - Tenant Blade Signage
Exhibit 15 – Pole Banner Signage
Exhibit 16 – Time Limited/TOGO Signage
Exhibit 17 – Project Announcing Signage
Exhibit 18 – Property Logo Spec Sheet
Exhibit 19 - Front & Rear Retailer Facade
Exhibit 20 - Residential Building Identity Signage (NEW)
Exhibit 21 - Shared Parking Garage Entrance Signage (NEW)
Exhibit 22 – Projecting Grand Blade Sign
Exhibit 23 – External Illuminated Signage / Mural / Supergraphic

Staff Recommendation: Approval.

Enclosed: Unified Development Application
 Memo from Planning Division (7/2/2025)
 Memo from Zoning Division (7/2/2025)
 Memo from Zoning Division (6/2/2025)
 Memo from Planning Division (4/14/2025)
 Master Sign Plan (Strikethrough and Underline)
 Subject Site Aerial Photo



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____ Planner: _____

Indicate the type of application you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Appeal* | <input checked="" type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - ____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$ _____

SECTION 1-PROJECT INFORMATION:Project Name: Shops at Pembroke GardensProject Address: 527 NW 145th Ter.Location / Shopping Center: Shops at Pembroke GardensAcreage of Property: +/- 40.89 acres Building Square Feet: Flexibility Zone: Folio Number(s): 514015050010 & 5140150Plat Name: Shops at Pembroke Gardens Traffic Analysis Zone (TAZ): Legal Description: Parcel A of the Shops at Pembroke Gardens Plat as recordedin Plat Book 176 Page 101 of the Public Records of Broward County, Florida

Has this project been previously submitted?



Yes



No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: FR Pembroke Gardens, LLC

Owner's Address: 909 Rose Ave. Suite 200 North Bethesda, MD 20852

Owner's Email Address: rmeiser@federalrealty.com

Owner's Phone: 703-776-9671 Owner's Fax: N/A

Agent: Dwayne L. Dickerson/Miskel Backman, LLP

Contact Person: Dwayne L. Dickerson

Agent's Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432

Agent's Email Address: ddickerson@miskelbackman.com

Agent's Phone: 561-405-3336 Agent's Fax: 561-409-2341

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning: PCD

Land Use / Density: Commercial

Use: Shopping Center

Plat Name: Shops at Pembroke Gar

Plat Restrictive Note: 440,000

sq. of commercial use

PROPOSED

Zoning: MXD

Land Use / Density: Commercial

Use: Commercial & Residential

Plat Name: Shops at Pembroke C

Plat Restrictive Note: 440,000

sq. ft. of commercial use & 598 n

ADJACENT ZONING

North: Pines Blvd. & I-75 Interchange

South: PCD

East: A & PD-SL

West: I-75

ADJACENT LAND USE PLAN

North: Transportation

South: Office Park

East: Office Park/Irregular

West: Transportation

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): ☐ Variance ☐ Zoning Appeal ☐ Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

Please see attached narrative.

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Dawn M. Becker 2/24/2025
Signature of Owner Date

FR Pembroke Gardens, LLC
By: Dawn M. Becker, Executive Vice President-Corporate

Sworn and Subscribed before me this 24th day
of FEBRUARY, 20 25



#4 Kira E. Mass 05/17/2025
Fee Paid Signature of Notary Public My Commission Expires

AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Dwight L. Dade 2/24/2025
Signature of Agent Date

Sworn and Subscribed before me this 24th day
of February, 20 25



Kelly G. Quinn
Fee Paid Signature of Notary Public My Commission Expires

Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: FR Pembroke Gardens, LLC

Authorized Representative: Dwayne L. Dickerson

Application Number: _____

Application Request: Site Plan, Rezoning & Delegation

Dawn M. Becker,
Executive Vice President
I, Corporate

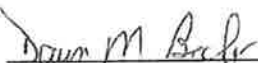
(print Applicant/Authorized Representative name), on behalf
of FR Pembroke Gardens, LLC (Applicant), hereby waive the deadlines and/or
procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the
above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/ or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.



Signature of Applicant or Applicant's
Authorized Representative

Date



Print Name of Applicant/Authorized Representative
FR Pembroke Gardens, LLC
By: Dawn M. Becker,
Executive Vice President-Corporate

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: **July 2, 2025**
To: **MSC 2025-0012 file**
From: Joe Yaciuk, Assistant Director
Re: **Pembroke Gardens MXD Master Sign Plan**

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS HAVE BEEN ADDRESSED. ITEM IS SUBJECT TO PLANNING AND ZONING BOARD REVIEW.

ZONING DIVISION STAFF COMMENTS

Memorandum:

Date: July 2, 2025
To: Joseph Yaciuk, Assistant Director
From: Cole Williams, Senior Planner
Re: Pembroke Gardens Master Sign Plan Amendment

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:.

ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED.

ZONING DIVISION STAFF COMMENTS

Memorandum:

Date: June 2, 2025
To: Joseph Yaciuk, Assistant Director
From: Cole Williams, Senior Planner
Re: Pembroke Gardens Master Sign Plan Amendment

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

- ~~1. Provide overall site plan with all signage indicated.~~
- ~~2. Rename entrance monument sign, "Residential Entrance Monument Sign"~~
- ~~3. Include size standards within the entrance monument sign section.~~
- ~~4. Shared Directional Directory Signs references up to 15 locations as shown within the exhibit; however, the exhibit only shows 7.~~
- ~~5. Blade signs should be allowed, not required. Revise wording.~~
6. The regulations for blade signs should be consistent. Consolidate categories. **Can a tenant with a canopy have both a canopy blade sign and a wall blade sign?**
- ~~7. Clarify approval process for residential signage.~~
8. Provide letter height for Building Identity & Shared Parking Garage Entrance Signs. **A maximum of 3' for height is established in the guidelines but then code section 155.6100 is referenced where the allowable letter height is 48".**
- ~~9. City approval is required for murals and super graphics.~~
- ~~10. Project announcing signs should be only for the residential as the commercial is constructed. Provide size standards.~~
- ~~11. Provide letter height for Rental Office Trailer~~
12. There are multiple conflicts between prohibited signage and permitted signage. **Not addressed, there are still conflicts throughout the document.**

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: **April 14, 2025**
To: **MSC 2025-0012 file**
From: Joe Yaciuk, Assistant Director
Re: **Pembroke Gardens MXD Master Sign Plan**

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Suggest refreshing and reformatting this document as the current layout is not suitable for the number of signs and sign types being proposed. See City Center master sign plan as an example of a better format.
2. Provide an overall site plan with all ground-mounted signs shown on that plan as an exhibit. Please do not reuse old maps if they no longer serve purpose. Other exhibits such as the internal construction of the digital information signs need not remain in the guidelines.
3. Consider renaming "shared monument signs" to another name more descriptive of their purpose. Consider updating the look of these signs in the future as they are approaching 20 years old.
4. Please review the regulations of all signs. You must provide at minimum the following information as applicable for each type:
 - Ground signs
 - Maximum height of sign
 - Maximum length of sign
 - Maximum area of sign
 - Attached building signs
 - Maximum area of sign
 - Maximum letter height
 - Maximum area of sign
5. Every exhibit should be tied to a sign type and regulation. For example - Building monument 8000 has an attached detail but no requirements. Consider creating a sign matrix for all signage being proposed within Pembroke Gardens – similar to City Center regulations.
6. Please verify that the signs shown as examples are consistent with the allowances of the Code.
7. Are you requiring blade signs for each tenant? If not, please update.
8. Clarify review and approval process for residential signage.

9. Murals and super graphics must comply with the process as stated within Code section 155.6100 (H).
10. Project announcement signs should only be permitted for new construction and only be placed on the parcel where construction is to take place. Please revise. Provide area and dimensions for these signs. The project announcement sign was created and used to announce the construction of the shopping center in 2006. For what purpose are these signs to be used today?
11. Provide letter height for Rental Office Trailer.
12. Please review prohibited signage regulations as there appear to be several conflicts with current commercial signs as well as permitted signs.
13. Are you planning to rename every existing sign in the center to Pembroke Gardens – removing “shops at”?

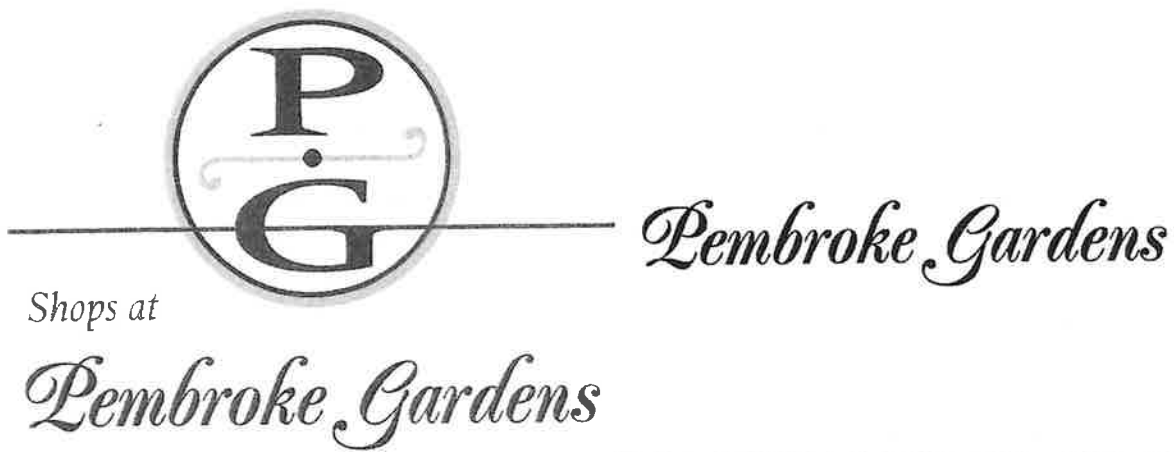
ZONING DIVISION STAFF COMMENTS

Memorandum:

Date: April 14, 2025
To: Joseph Yaciuk, Assistant Director
From: Cole Williams, Senior Planner
Re: Pembroke Gardens Master Sign Plan Amendment

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:.

1. Provide overall site plan with all signage indicated.
2. Rename entrance monument sign, "Residential Entrance Monument Sign"
3. Include size standards within the entrance monument sign section.
4. Shared Directional Directory Signs references up to 15 locations as shown within the exhibit; however, the exhibit only shows 7.
5. Blade signs should be allowed, not required. Revise wording.
6. The regulations for blade signs should be consistent. Consolidate categories.
7. Clarify approval process for residential signage.
8. Provide letter height for Building Identity & Shared Parking Garage Entrance Signs.
9. City approval is required for murals and super graphics.
10. Project announcing signs should be only for the residential as the commercial is constructed. Provide size standards.
11. Provide letter height for Rental Office Trailer
12. There are multiple conflicts between prohibited signage and permitted signage.



SIGNAGE MASTER PLAN

Submitted: June 11, 2025~~March 19, 2019~~

~~Revised 5.5.2021~~

~~The Shops at~~ Pembroke Gardens MASTER SIGN PLAN

Introduction

This Master Sign Plan has been created to ensure a high level of aesthetic quality and creativity in the creation of all signage and graphic design elements associated with the Center.

Individual tenant identity is facilitated, while at the same time controlling the overall aesthetic qualities of the Center. Tenants with registered brand identities are encouraged to use them, and

those who do not are encouraged to work with a graphic design professional in the creation on their sign in conjunction to the criteria set forth herein.

All sign construction is to be completed, once approved by the landlord/owner, by a licensed sign contractor approved by the landlord/owner, in compliance with the Master Sign Plan. All signs must be engineered to meet all local, state, and national codes. All signs on any space or building shall be subject to the provisions of this master sign plan. Any signs not specifically covered within this master sign plan shall be submitted to the landlord/owner for written approval. This sole judge of the acceptability of any submission shall be the city, the landlord/owner and its consultants.

Approval by the landlord/owner in no way relieves the sign contractor or tenant from the responsibility of obtaining a valid City of Pembroke Pines sign permit acquired through the standard City of Pembroke Pines procedures prior to beginning any fabrication of signage. A copy of the approved permit must be submitted to the landlord/owner prior to the commencement of any work on site.

The landlord/owner may from time to time, at their sole discretion, modify or change these guidelines to reflect changes at the Center with the City of Pembroke Pines approval.

Shared signs are those that contain messaging for both Pembroke Gardens Commercial and Pembroke Gardens Residential ("Shared").

~~The Shops at Pembroke Gardens~~

MASTER SIGN PLAN CRITERIA

Sign Types to be controlled by this master plan shall include, but are not limited to, the following:

1. PERMANENT SIGNAGE

- A. Shared Primary, Secondary, Project and Monument
- B. Directional Wayfinding
- C. Shared Digital Directory Signs
- D. Retailer Signage
 - a. Wall Signage
 - b. Graphic Area
 - c. Non-Wall Signage – Blade, Awning
 - d. Approval Process

- E. ~~Perimeter Buildings – Wall, Non Wall, Ground Signs – Perimeter Buildings~~
- F. Projecting Signs
- G. ~~Ground Signs – Residential Building Identity Signs~~
- H. Entry Arches with Signage
- I. Mural and Super Graphics
- J. Exterior Menu Boards at Restaurants
- K. Time Limited Parking

All permanent signage shall be one or a combination of the following:

- Internally illuminated reverse channel letters (halo effect)
- Internally illuminated channel letters flush mounted individually.
- Non-Illuminated PVC or aluminum letters with gooseneck or some other type of external light fixture to shine on the letter.
- Externally illuminated signage is permitted however cannot be flashing or rotating. Colored illumination is permitted, and color changes are permitted for special events or promotions with landlord approval. Lighting shall meet the standards established within the City's Land Development Code.

2. TEMPORARY SIGNAGE

- A. ~~Wall Signage~~
- A. ~~_____~~
- B. ~~B. Special Event signs~~
- B. ~~_____~~
- C. ~~Construction Barricade / Fencing and Banners~~
- C. ~~_____~~
- D. ~~Project Announcing~~
- D. ~~_____~~
- E. ~~Rental Office Trailers~~
- E. ~~_____~~
- F. ~~Seasonal Décorations~~
- F. ~~_____~~
- G. Event / Brand Banners

3. PROHIBITED SIGNAGE

EXHIBITS

- 1. Master Site Plan, & Sign Location Plan & Residential Sign Legend
- 2. Shared Primary Identification Signage
- 3. Shared Secondary Identification Signage

4. Directional Signage
5. Shared I- 75 Monument Sign~~I-75~~
6. Monument Building 8000
7. Shared Monument I-75 Digital Conceptual
8. Residential Entrance Monument Signage
9. Residential Directional Post & Panel Signage
10. Shared Digital Directory Detail
11. Entry Archway Detail
12. Freestanding Signage
13. Seasonal/Pop Up Store Signage Elevation Sample
14. Tenant Blade Signage
15. Pole Banner Signage
16. Time-Limited/To Go Signage
17. Project Announcing Signage
18. Property Logo Spec Sheet
19. Front & Rear Retailer FacadeSignage
20. Residential Building Identity Signage
21. Shared Parking Garage Entrance Signage
22. Projecting/Grand Blade Sign
23. ~~Rental Office Trailers Signage~~ External Illuminated Signage/Mural/Super Graphic
External Illuminated Signage/Mural/Super Graphic

SIGN TYPES

1. PERMANENT SIGNAGE

A. Shared Primary, Secondary, Project and Monument

Signage identifying ~~Shops at Pembroke Gardens~~ and ~~Shops at Pembroke Gardens Residential~~ shall be permitted along 145th Avenue, Pines Boulevard, and I-75. Such signage shall not display retailer names, displaying only the name and logo of ~~Shops at Pembroke Gardens~~ and ~~Shops at Pembroke Gardens Residential~~, and shall be illuminated, either internally or externally with ground mounted lighting fixtures.

1. Primary Identification Sign

- a) One freestanding shared sign shall be located along 145th Avenue at the access point nearest Pines Boulevard at the location designated on **Exhibit 2**, Signage Plan (the "Primary Sign").
- b) The Primary Sign shall be architecturally consistent with ~~Shops at Pembroke Gardens'~~ and ~~Shops at Pembroke Gardens Residential~~ general design theme as depicted on **Exhibit 2**
- c) The dimensions of the Primary Sign shall be as indicated on **Exhibit 2**.
- d) Adjacent, but not attached, to the Primary Sign shall be a tower feature as shown and dimensioned on **Exhibit 2**.

2. Secondary Identification Signs

- a) Because access through property not owned by the owner of ~~Shops at Pembroke Gardens~~ and ~~Shops at Pembroke Gardens Residential~~ has been required by the County of Broward as part of the platting process, two (2) smaller freestanding shared signs may be located along 145th Avenue, one at each of the offsite access points at the locations designated on **Exhibit 3**, Signage Plan (the "Secondary Signs") to direct vehicular and pedestrian traffic to ~~Shops at Pembroke Gardens~~ from 145th Avenue.
- b) The Secondary Signs shall be architecturally consistent with ~~Shops at Pembroke Gardens'~~ and ~~Shops at Pembroke Gardens Residential~~ ~~center's~~ general design theme as depicted on **Exhibit 3**
- c) The dimensions of the Secondary Signs shall be as indicated on **Exhibit 3**. Changes to the design and dimensions ~~are~~is permitted in accordance with the guidelines and upon review and approval by The City of Pembroke Pines.

- d) The Secondary Identification sign at the intersection of SW 145 Avenue and SW 5th Street, as an alternative, a tower element as shown on **Exhibit 3** Supplement and located on the north side of SW 5th Street to mirror the tower element constructed as part of the residential project and as shown on **Exhibit 3** Supplement is permitted to be installed and the existing Secondary Sign at the east end of SW 5th Street will be removed.

3.4. Shared Monument – I-75 Monument Sign

- a) One freestanding shared sign shall be located along I-75 at the location designated on **Exhibit 5**, Signage Plan (the “I-75 Monument Sign”).
- b) The I-75 Monument Sign shall be architecturally consistent with ~~Shops at Pembroke Gardens~~ and Shops at Pembroke Gardens Residential general design theme as depicted on **Exhibit 5**.
- c) The dimensions of the I-75 Monument Sign shall be as indicated on **Exhibit 5**.
- d) Additionally, but not attached, to the I-75 Monument Sign shall be a tower element designed for the Southwest corner of Bldg. 8000 ~~and for the Southeast corner of 9000~~ as shown in ~~Exhibit 5A~~ feature ~~as shown and dimensioned on~~ **Exhibit 6**.
- e) The I-75 Monument Tower Feature may include two (2) shared digital Message Centers facing North and South to provide static, rotating images per FDOT and City of Pembroke Pines regulations. Units would be 16mm high brightness color LED Message Board with Rear ventilation. **Exhibit 7**

45. Residential Entrance Monument Sign

- a. One freestanding ground mounted monument sign shall be located at the new entrance adjacent to the ~~Shops at Pembroke Gardens Residential~~. Per current City Code Section 155.699 the sign shall be no larger than twenty-four (24) square feet, no taller than seven and a half (7.5) feet and no longer than seven (7) feet. Location designation shown on **Exhibit 1**, dimensions shown on **Exhibit 8**.
- b. The Residential Entrance Monument Sign shall be architecturally consistent with the ~~Shops at Pembroke Gardens Residential~~ general design theme.

6. Monument – Hotel

A Hotel may be permitted one freestanding monument sign along I-75, provided the architectural design of the site and building have allowance for such a feature. See City Code.

B. Directional and Residential Directional Post & Panel Signage

Directional Signage shall be utilized to promote orderly and safe pedestrian and vehicular traffic. All such directional signage shall be of a uniform design which shall be consistent with the architectural design theme of ~~Shops at Pembroke Gardens~~ and ~~Shops at Pembroke Gardens Residential~~, and will share elements of the freestanding signs, utilizing a uniform color scheme consisting of white/off white sign area with mid-tone accents/base and black/dark bronze lettering. Exhibit 4. Post & Panel ~~p~~oles on which residential directional signage ~~is~~ are placed shall not exceed ~~nineseven and one half (97.5)~~ feet in height. Graphic area of Post & Panel directional signage shall not exceed ~~twohirty (230)~~ square feet. Exhibit 9. Fonts on directional signage shall all be consistent, except where directional to a particular retailer in which case the font may be trademarked fonts of such retailer. **Exhibit 4**

C. Shared Directional Directory Signs

In light of the size of ~~Shops at Pembroke Gardens~~ and ~~Shops at Pembroke Gardens Residential~~, to promote the pedestrian atmosphere and to enhance the customer experience, up to fifteen (15) directories may be installed within ~~Shops at Pembroke Gardens~~ at the locations shown on **Exhibit 109**, Directory Plan. Directories shall be 2-4 sided structures which display either statically or digitally both a ~~Shops at Pembroke Gardens~~ map, ~~Shops at Pembroke Gardens~~ and retailer names and ~~Shops at Pembroke Gardens Residential~~, along with advertising for various users. Such directories shall all be of a single design which shall be consistent with the architectural design theme of ~~Shops at Pembroke Gardens~~. **Exhibit 109** and City Code Section 155.699.

D. Retailer Signage

Primary Store-Front / Wall Signs - Inline Retailers and Anchor Retailer

Inline Retailers or Anchor Retailer may be permitted to use colors, fonts, design styles, descriptive words, and logos that are consistent with their prototypical signage packages to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally. **Exhibit 198**

a. Location of Wall Signage on Façades

- i) Wall signage for all Inline Retailers shall be placed in the wall sign band area of twelve (12) feet to twenty-four (24) feet above the finished floor elevation of the building. Notwithstanding the foregoing, a Four Corner Inline Retailer shall be permitted to install wall signage up to thirty (30) feet above the finished floor elevation if the wall area

where the sign will be located is located on an architectural feature that extends more than thirty-five (35) feet in height.

- ii) Wall signage for the Anchor Retailer shall be placed in the wall sign band area of twelve (12) feet to thirty (30) feet from the finished floor elevations.

b. With the exception of the Four Corner Inline Retailers as described in #vi and viii below, Each Inline Retailer and the Anchor Retailer shall be permitted a maximum graphic area as determined by the following formula.

- i) Two (2) square feet of graphic area for every lineal foot of storefront for a wall sign. For example, an In-line Retailer with twenty (20) feet of frontage may have a sign which is up to forty (40) square feet.
- ii) The width of Inline Retailer and the Anchor Retailer wall signs shall be limited to no more than eighty percent (80%) of the width of such Inline Retailer's storefront.
- iii) Inline Retailers occupying less than 10,000 square feet shall have letters no more than 36" in height and retailers occupying 10,000 square feet or more shall be permitted letters no larger than 72" in height.
- iv) Inline Retailers occupying less than 10,000 square feet shall be limited to 100 square feet of sign area. Inline Retailers and the Anchor Retailer occupying 10,000 square feet or more shall be limited to **250** square feet of sign area.
- v) In addition to the storefront wall sign, if an Inline Retailer or the Anchor Retailer is located on an end-cap of a building, such Inline Retailer or the Anchor Retailer shall be permitted additional sign area on the side of the building or on the Secondary Building Face. Secondary sign area shall be less than or equal to the sign on the primary façade. The total sign area of both facades cannot exceed the total allowable sign area for the tenant bay.
- vi) Four Corner Inline Retailers shall be permitted a graphic area of up to sixty-four (64) square feet per Frontage (per street elevation). The width of such wall sign shall be no greater than thirty-two (32') feet in length and shall have letters no greater than 36" in height. For example, a Four

Corner Inline Retailer may install a sixty-four (64) square foot sign on the Primary Frontage and sixty-four (64) square foot sign on the side of the building which faces the street. **Exhibit 198**

- vii) Signage is permitted on the back side of the building where an active entrance exists. This signage would be considered as the Secondary Sign. Secondary sign area shall be less than or equal to the sign on the primary façade. The total sign area of both facades cannot exceed the total allowable sign area for the tenant bay.
- viii) Projecting/Grand Blade signage –A sign attached to and supported by a building or other structure, which extends at angle therefrom is permitted on end caps and four corners' tenants as defined herein. If an existing Four Corner or end cap tenant so decides to install a projecting sign, they must submit an application and approval under Administrative review. Projecting sign square footage shall be no more than 50SF per elevation and count toward the total sign square footage for the tenant bay. Tenants may have both a wall sign and projecting sign on the same elevation. **Exhibit 2219**
 - a) Projecting signs shall be double-sided, and design must be architecturally compatible with the façade that they area placed on.
 - b.) Projecting sign shall be at minimum 12' from the grade to the bottom of sign and not more than 5' wide and 30' high. Letter height should be no more than 24" high. Projection should not be more than 5' from the façade.
 - c) Projecting Sign is not it permitted to protrude past the roof or parapet wall.
 - d) Projecting signs shall follow the illumination standards established in section one of the Master Sign Plan.
 - e) Projecting Signs shall not be in conflict with existing landscaping or other vertical site feature.

Non-Wall Signage

- i) In addition to the permitted wall signage, Inline Retailers and Anchor Retailers are permitted and shall be encouraged to use text/graphics on awnings, canopies, decorative signage elements, plaques and blade signs to complement and add to the downtown design theme of ~~Shops at~~ Pembroke Gardens.

_____ ii) The maximum allowable area for such text/graphics on _____ awnings, _____ canopies, decorative signage elements and _____ plaques shall be one (1) square foot for every lineal foot of _____ canopied frontage.

_____ iii) Blade signs shall not count towards the square footage _____ requirement in 2) above but shall be limited in size to 2' x _____ 3' and shall have a minimum distance from the ground of _____ 7'. **Exhibit 14**

iv) Blade Signage – Facade Mounted

In locations where the landlord has not provided a hard canopy and the tenant design does not incorporate their own overhead entry feature, the tenant is permitted to use a facade mounted blade sign. One (1) blade sign is allowedrequired per tenant frontage, but where a tenant has a corner location, one sign for each face of the storefront is permitted. Exhibit 14

- a) These are intended to be fixed to the facade of the building at approved locations. The tenant shall coordinate with the landlord's Project Manager for a suitable location. One (1) blade sign is allowedrequired per tenant frontage, but where a Tenant has a corner location, one sign for each face of the storefront is permitted.

- b) The lowest component of the sign shall be no lower than 8'-0" above finished sidewalk.
- c) All sign panels and content (letters, logo) must be dimensional, at a minimum of ¼" in thickness
- d) Though they are referred to as "blade" signs, projecting or sculptural elements may be incorporated into the panel design. The panel may have depth to create a box, or multi-layered panel.
- e) All local codes and regulations must be addressed by the Tenant.

v) Blade Signage – Under-Canopy Mounted

- a) In location where the landlord has provided an overhead, hard canopy, the tenant is permitted to suspend a blade sign. One (1) blade sign is allowed ~~required~~ per tenant frontage, but where a tenant has a corner location, one sign for each face of the storefront is permitted.
- b) The lowest component of the sign shall minimum be 8'-0" above finished sidewalk. Coordinate with Project Management to determine mounting height to maximize blade sign visibility.
- c) All sign panels and content (letters, logos) must be dimensional, at a minimum of ¼" in thickness.
- d) In locations where the tenant has implemented their own steel canopies, the tenant may suspend a canopy sign near their entrance.
- e) Though they are referred to as "blade" signs, projecting or sculptural elements may be incorporated into the panel design. The panel may have depth to create a box, or multi-layered panel.
- f) The image on the sign is limited to the tenant's trade name and logo only.

g) The sign will be centered on the centerline of the canopy. The edge of the sign may not project beyond the outer edge of the canopy overhead.

h) All local codes and regulations must be addressed by the tenant.

vi) Window and door signage shall be in accordance with City Code of Ordinances. ~~Blade Signage – Facade Mounted~~

d. **Approval Process**

i) **Owner Approval.** The owner of ~~Shops at~~ Pembroke Gardens shall review and approve or disapprove retailer storefront and façade submissions along with any Residential signage to ensure adherence to the guidelines set forth herein prior to submission to the Planning and Zoning Board for architectural review.

ii) **Municipal Approval.** Upon owner approval, each Inline Retailer's storefront facade (including wall/residential building/shared garage signage as provided herein ~~below~~) must be individually approved through the City of Pembroke Pines Planning & Zoning Board Miscellaneous Application non-quasi-judicial process, provided, however, it is acknowledged that more than one Inline Retailer application may be reviewed at any given City of Pembroke Pines Planning & Zoning Board Miscellaneous Application non-quasi-judicial meeting. Residential signage can be submitted and approved by the City as a complete package. Approval will be by City Staff along with the Planning & Zoning Board. Building permit requirements are identified in City Code Section 155.6106.

E. Perimeter Buildings

1. Wall Signs

a. Perimeter Buildings may each be permitted three (3) on-premises wall signs. No individual wall sign on a Perimeter Building shall be larger than one hundred (100) square feet. The total aggregate graphic area

of all such signs shall not exceed two hundred (200) square feet per Perimeter Building.

- b. The maximum length of any wall sign shall not exceed eighty percent (80%) of the building façade on which it is located.
- c. Wall signs shall be mounted no higher than twenty-five feet (25') above grade and no less than fourteen (12') above grade.

23. Non-Wall Signage

- a. Occupants of Perimeter Buildings shall be permitted and encouraged to utilize text/graphics on all awnings, windows, doors, blade signs, etc., and there shall be no limit on the size or amount of text, graphics or items of information used on such surfaces or structures provided such are aesthetically pleasing and compatible with the overall downtown theme of ~~Shops at~~ Pembroke Gardens. The use of canopies and awnings shall be governed by the provisions pertaining to Inline Retailers above. **Exhibit 13**

Occupants of Perimeter Buildings may be permitted to use colors, fonts, design styles, descriptive words, and logos that are consistent with such occupant's prototypical signage package to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally.

- b. Signs in windows may not display prices. The total window sign area of all signs in windows may not exceed 20% of window area. Per City Code.

33. Ground Signs—Perimeter Buildings

- a. In addition to wall signage describe above, all Perimeter Buildings may be permitted one (1) freestanding ground sign. The maximum graphic area of such signs shall not exceed forty (40) square feet.
- b. The maximum height of any such ground sign shall not exceed eight (8) feet and the maximum width shall not exceed ten (10) feet.
- c. Wall signs may include the use colors, fonts, design styles, descriptive words and logos that are consistent with prototypical signage packages to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally.

4. Residential Building Identity & Shared Parking Garage Entrance Signs

Exterior Wall & Parking Garage Signs

- a. The Shops at Pembroke Gardens Residential is permitted one (1) Residential Building Identity Exterior Wall sign. Per current City Code Section 155.699 the wall sign shall not be larger than sixty (60) square feet. It will be no longer than twenty (20) feet and no taller than four (4) feet. Exhibit 20. See City Code Section 155.6100 for supplemental regulations regarding letter height.
- b. The Shops at Pembroke Gardens Residential is permitted one (1) Shared Parking Garage Entrance sign. Per City Code Section 155.699 the parking garage entrance sign shall not be larger than thirty-six (36) square feet. It will be no longer than twelve (12) feet and no taller than four (4) feet. Exhibit 21. See City Code Section 155.6100 for supplemental regulations regarding letter height.
- c. Wall signs shall be mounted no higher than the roof parapet and no less than twelve (12') above grade.

F. Entry Archway Signage

- a. Installation of aluminum arches at the Crossing of SW 145 — Terrace and 5th Street, at entrances and corners throughout the Center. **See Exhibit 110.**
- b. Arches may be accented with LED lights.

G. Murals & Super Graphics

- a. Murals and/or super graphics treatments are permitted per City Code Section 155.6100 (H). They shall be appropriate to the architectural elevation upon which they are to be executed but may not contain any branding, logos, text or other form of advertising or identity for a specific tenant or brand. They shall not exceed 80% of the total façade area on which they are placed.
- b. They may be created in a pictorial or graphic manner with images and/or graphics that are in no way threatening, controversial or provocative.

c. Approval of the locations, image, size, colors, etc., is at the discretion of the landlord/owner and the City of Pembroke Pines. ~~and the City of Pembroke Pines~~

d. Murals and Super Graphics may be illuminated. Illumination may not be flashing or rotating. Colors can be utilized and changed in accordance with special event or holiday with landlord approval. Illumination must remain static at all times. Illumination is externally illuminated, and lighting shall meet the standards established within the City's Land Development Code. **Exhibit 230**

H. Exterior Menu Boards at Restaurants

a. A restaurant may display one small freestanding, double faced menu display within 6'-0" of their front entry door provided it does not create a tripping hazard or blocks pedestrian movement from along the sidewalk. Such sign may be no more than 3'-6" high to the top of the sign area and no more than 2'-0" wide. Sign should be mounted on the weighted base with the sign panel mounted with springs to allow for deflection. (Wind master or equivalent) Restaurants may incorporate a menu display into their storefront design not to exceed 6 square feet in area. See City Code.

I. Time Limited Parking Signs

a. Reference PCD Guidelines. **See Exhibit 165**

2. TEMPORARY SIGNAGE

A. Wall Signage

1. Pop up Tenant - Tenants with lease term up to 6 months -will consist of temporary foam or PVC individually mounted letters. See **Exhibit 132**. Sign size shall be consistent with permanent tenant signage requirements.

2. Temporary Tenant Identification – Tenants less than 90 days may utilize a vinyl sign banner in accordance with landlord approval and within guidelines of City Code. See **Exhibit 12**

B. Special Event

Special Event Signage promoting special events for entertainment or items for sale by occupants of ~~Shops at Pembroke Gardens~~ shall be permitted. Such signs shall be of a size and shape appropriate for the applicable location, aesthetically pleasing and compatible with the overall downtown theme of ~~Shops at Pembroke Gardens~~.

Outdoor special event signage is required to go through the appropriate City of Pembroke Pines approval process.

C. Construction Barricade and Wraps

1. While under construction, each Tenant within ~~The Shops at~~ Pembroke Gardens is required to install site protection including a construction barricade completely around the premises or a full storefront wrap. Similarly, the Shops at Pembroke Gardens Residential will be required to install site protection including barricades or fencing completely around the construction site.
2. Each wrap should be a minimum of 4'-0" high not to exceed 8'-0" for a construction barricade, or the full height of the storefront windows, and be secured to structural supports meeting all codes. The banners may also be attached to fencing surrounding the residential site. The banners may extend for the entire length of the fencing and will be consistent with current City Code Section 155.6102 (B).
3. For storefront wraps during construction or when a retail space has been vacated by tenant, a 2'-0" x 2'-0" clear glass "window" must be left open on the door for security / police personnel to be able to monitor the premises.
4. Creativity and originality are encouraged in the design of the wrap / barricade graphics. A graphic design professional should be used for the design following criteria set forth in City of Pembroke Pines Code of Ordinances.

D. Project Announcing Signs

- a. A maximum of two (2) temporary Project Announcing Signs may be installed, one along I-75 and one along Pines Boulevard in the locations shown on Exhibit 17. Such signs may include an illustration of the Master Plan as well as Retailer or Residential names with the designated trademarks and/or logos. The dimensions shall be as indicated on Exhibit 17.
- b. The dimensions of the Announcing Signs are identified in City Code Sections 155.6101 & 155.6102 and shall be as indicated on Exhibit 17.
- c. Project Announcing Signs shall be permitted for a period not to exceed one year or upon final ~~Shops at~~ Pembroke Gardens Retail Tenant or the ~~Shops at~~

Pembroke Gardens Residential receives its Certificate of Occupancy, whichever is less. Each tenant must be removed from the announcing sign upon issuance of tenant's Certificate of Occupancy.

E. Rental Office Trailer

- a. Signage size – per City Code Sections 155.6101 & 155.6102 the rental office trailer signs shall not be larger than thirty-two (32) square feet.
- b. Signage messaging – the rental office trailer sign messaging shall notify potential renters of the existence of the rental office trailer as a resource to discuss interest in the building with leasing representatives.
- c. Signage duration – the duration will be limited to the length of time that the trailer remains operating on site. The trailer will be placed approximately one hundred fifty (150) days prior to Occupancy. Once the Certificate of Occupancy is obtained the leasing office will move inside. At that point the trailer and its corresponding signage will be removed.

D.F. Seasonal Decorations

- 1. Seasonal decorations may be installed on the streetscape and parking area light fixtures to add to the ambience of ~~Shops at~~ Pembroke Gardens. Such decorations may display the name and logo of ~~Shops at~~ Pembroke Gardens as well as other decorative graphics. Exhibit 15
- 2. Seasonal decorations shall be attached to the approved lighting fixtures and such decorations shall not exceed three (3) feet in height and two (2) feet in width on the streetscape and shall not exceed five (5) feet in height and three (3) feet in width in the parking areas.
- 3. Seasonal decorations are intended to display spring, summer, winter, and fall; and as such, will be removed or replaced within three (3) months of installation.
- 4. Seasonal decorations shall be submitted to the City of Pembroke Pines for administrative review and approval prior to installation. The owner may seek relief from an administrative decision by the City of Pembroke Pines Planning and Zoning Board.

E.G. Event / Brand Banners

Located throughout ~~The Shops at Pembroke Gardens~~ at locations to be determined by landlord/owner on street light poles, there may be permanently attached upper and lower banner support arms for temporary banners. **Exhibit 1514**

1. Use of Pole banners will be controlled by landlord/owner. Timing and locations will be determined by landlord/owner and applicant and shall be done in such a way, so all tenants have the opportunity to utilize these banners.
2. Seasonal and Project wide event banners may be put in place by the landlord/owner for various promotional events, which impact the entire area. These projects wide banners take precedent over tenants' banners.
3. Double-faced banners will be no larger than 24" wide x 36" high and all must be made and installed by landlord/owner designated banner fabricator at tenant expense after landlord/owner approval.
 - i. The period of time banners are to be displayed shall be no more the 30 days per tenant at a time.
 - ii. Tenant must provide landlord/owner full color to scale computer generated design drawing of the proposed drawing to approve.
 - iii. Landlord/owner cannot guarantee availability of specific locations.

3. PROHIBITED SIGNAGE

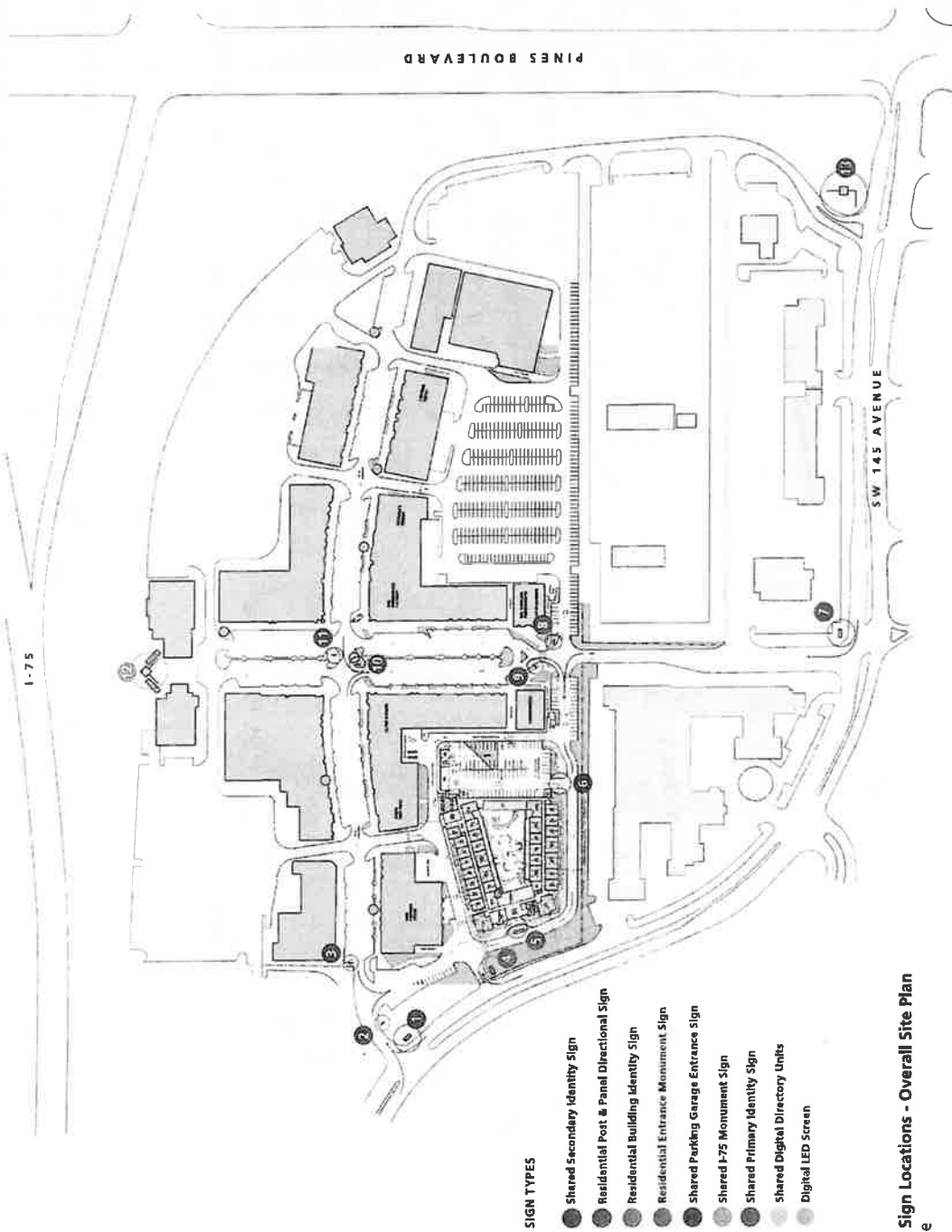
Except as expressly provided otherwise herein, the provisions of the Zoning Code shall apply.

- A. Animated moving or signs with moving or flashing lights, strobes, light races, including but not limited to human signage, etc.
- B. Signs employing fluorescent illumination as a light source i.e.: Neon Signage.
- C. Cloth, wood paper or cardboard signs, stickers, decals, handwritten or temporary painted signs around or on the exterior surfaces, doors, walls, exterior walkways or colonnades and/or glass of the demised premises or with in or on any landscape elements.
- D. Signs employing the use of any sound or noise making devises or components.
- E. Vehicle and/or trailer mounted signs driven around or through Pembroke Gardens property with specific intent to call attention to a product, service, or place of business whether in Pembroke Gardens or not.
- F. Exposed Neon Signage.
- G. Any permanent or temporary advertising devise using a hot air balloon, inflatable signs or objects, or any aerial device, illuminated or no illuminated, shall be prohibited.
- H. Sandblasting, etching or other permanent application of any type of window graphic in not permitted.

Exhibit 1

Master Site Plan, Sign Location Plan & Residential Sign Legend

THE SHOPS AT PEMBROKE GARDENS
PINES BOULEVARD AND I-75
PEMBROKE PINES, FLORIDA



SIGN TYPES

- Shared Secondary Identity Sign
- Residential Post & Panel Directional Sign
- Residential Building Identity Sign
- Residential Entrance Monument Sign
- Shared Parking Garage Entrance Sign
- Shared I-75 Monument Sign
- Shared Primary Identity Sign
- Shared Digital Directory Units
- Digital LED Screen

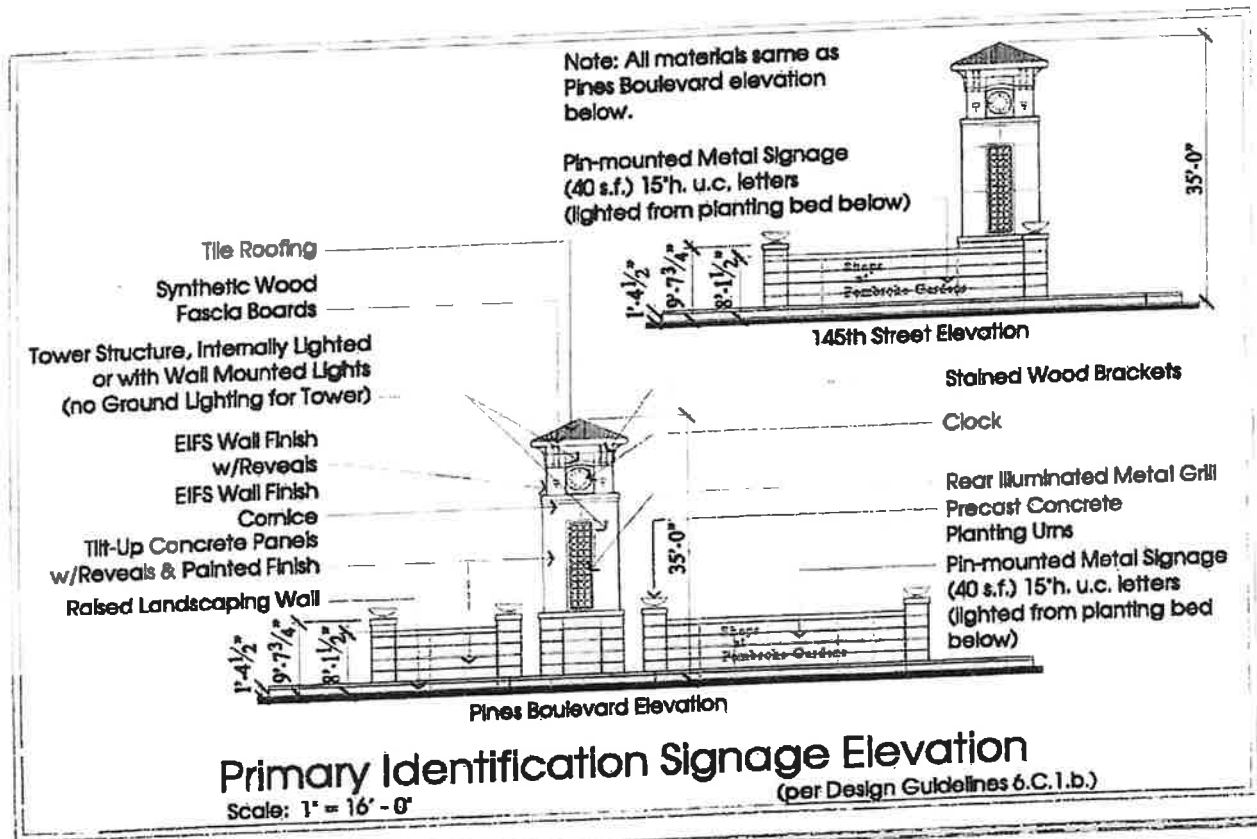
Proposed Sign Locations - Overall Site Plan
Scale: None

SIGN LOCATIONS AND MESSAGES

Sign Number	Sign Type	Sign Message
1	Shared Secondary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
2	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
3	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
4	Entrance Monument Sign	Pembroke Gardens Residential (exact message TBD)
5	Residential Building Identity Sign	Pembroke Gardens Residential (exact message TBD)
6	Shared Parking Garage Entrance Sign	Pembroke Gardens Residential Garage (exact message TBD)
7	Shared Secondary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
8	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
9	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
10	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
11	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
12	Shared I-75 Monument Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
13	Shared Primary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)

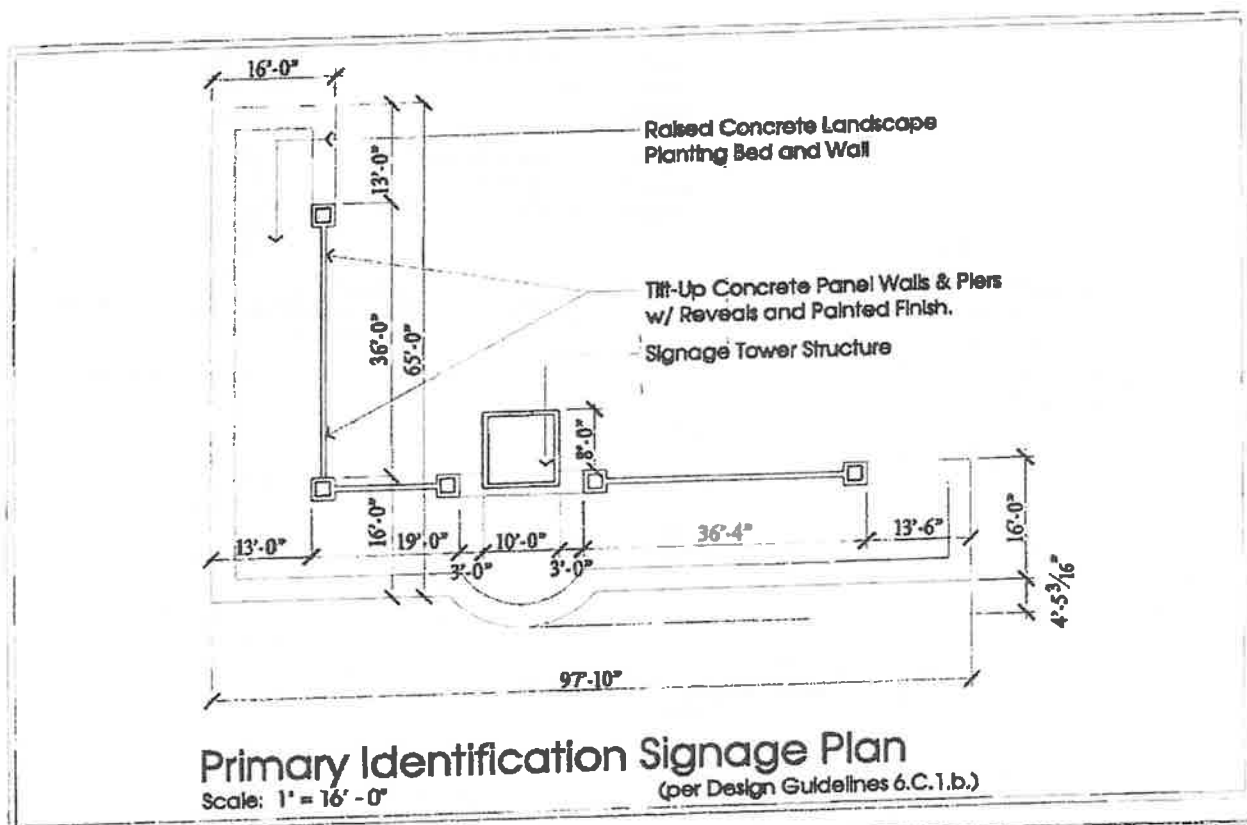
Exhibit 2

Shared Primary Identification Signage



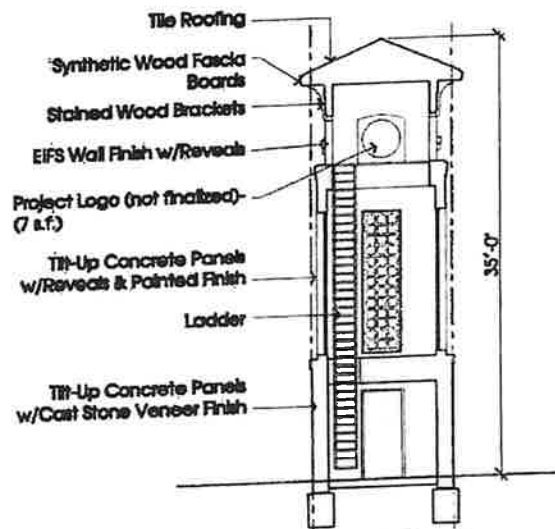
Shops at Pembroke Gardens
Pembroke Pines, Florida

CSO SCHENKEL SHULTZ



Shops at Pembroke Gardens
 Pembroke Place, Florida


 CSO SCHENKEL SHULTZ



**Primary Identification
Signage Section**

Scale: 1" = 8' - 0" (per Design Guidelines 6.C.1.b.)



Shops at Pembroke Gardens
Pembroke Pines, Florida

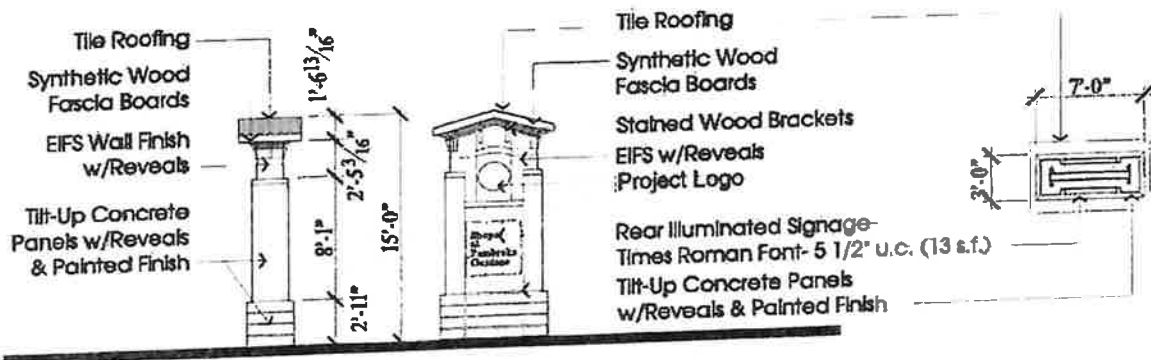
15 December 2002

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CSO SCHENKEL SMULTZ

Exhibit 3

Shared Secondary Identification Signage



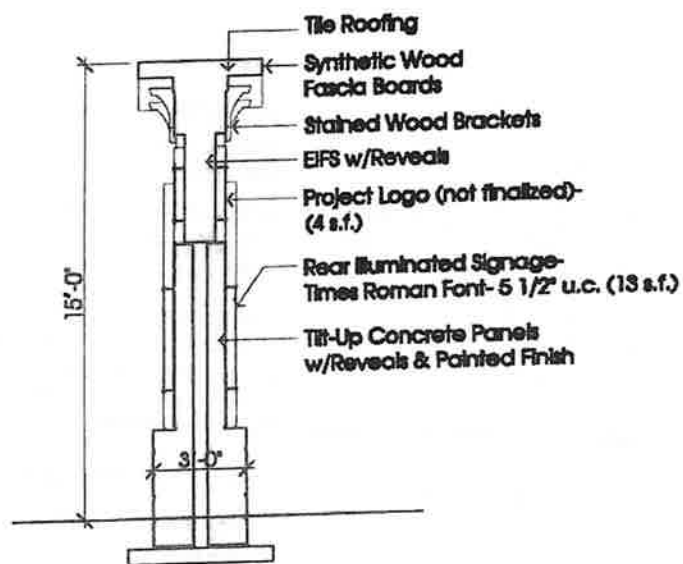
Secondary Signage Elevations and Plan

Scale: 1" = 8' - 0"

(per Design Guidelines 6.C.1.c.)

Shops at Pembroke Gardens
Pembroke Pines, Florida

CSO SCHENKEL SHULTZ



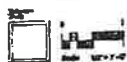
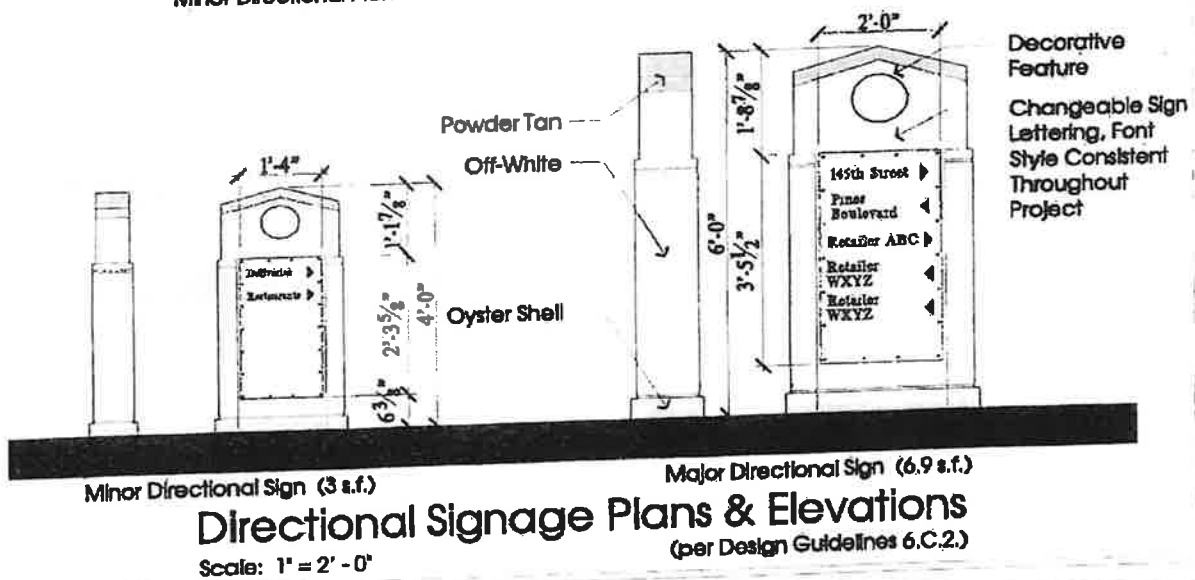
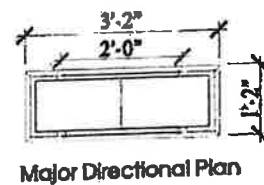
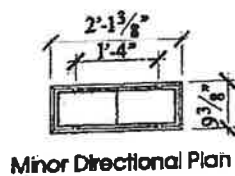
Secondary Signage Section
 Scale: 1" = 4' - 0" (per Design Guidelines 6.C.1.c.)



Shops at Pembroke Gardens
 Pembroke Pines, Florida

CSO SCHENKEL SHULTZ

Exhibit 4
Directional Signage

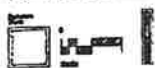
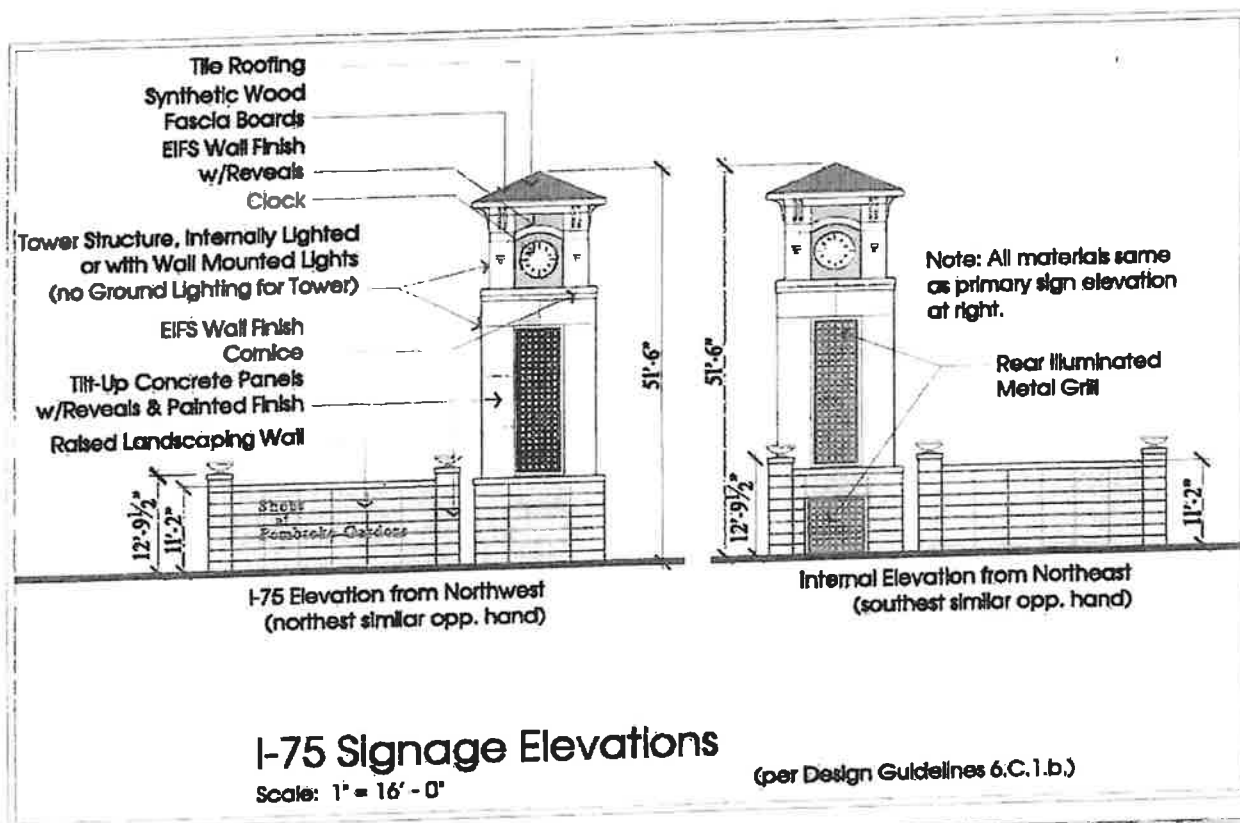


Shops at Pembroke Gardens
Pembroke Pines, Florida
a FORTUNE 500 COMPANY

CSO SCHENKEL SHULTZ

Exhibit 5

Exhibit I-75 Monument Sign

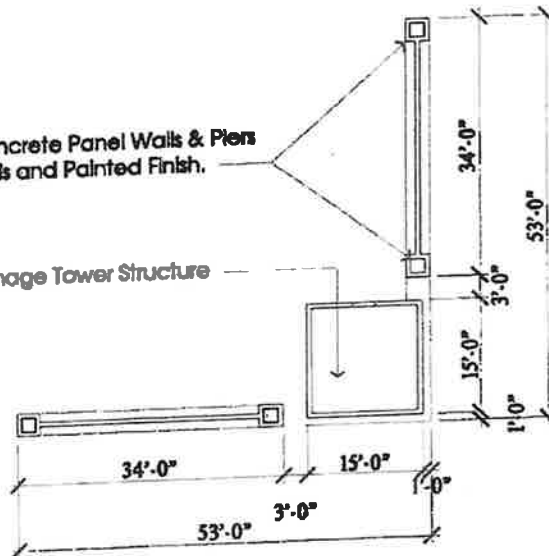


Shops at Pembroke Gardens
Pembroke Pines, Florida
January 2000

CSO SCHENKEL SHULTZ

Tilt-Up Concrete Panel Walls & Piers
w/ Reveals and Painted Finish.

Signage Tower Structure



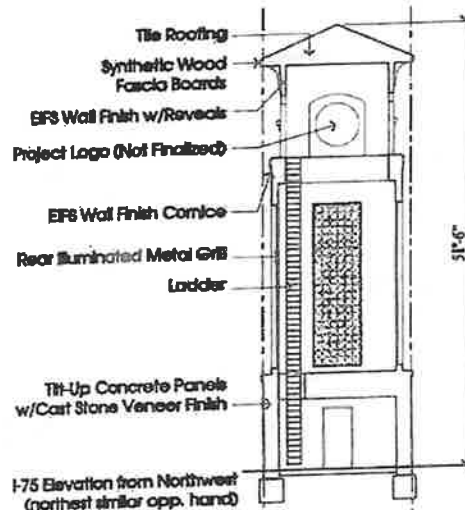
I-75 Signage Plan

Scale: 1" = 16' - 0"

(per Design Guidelines 6.C.1.b.)

Shops at Pembroke Gardens
Pembroke Place, Florida

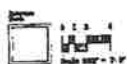
CSO SCHENKEL SHULZ



I-75 Signage Section

Scale: 3" = 32' - 0"

(per Design Guidelines 6.C.1.b.)



Shops at Pembroke Gardens

Pembroke Pines, Florida

12 December 1998

2000

CSO SCHENKEL SHULTZ

Exhibit 6

Monument Building 8000

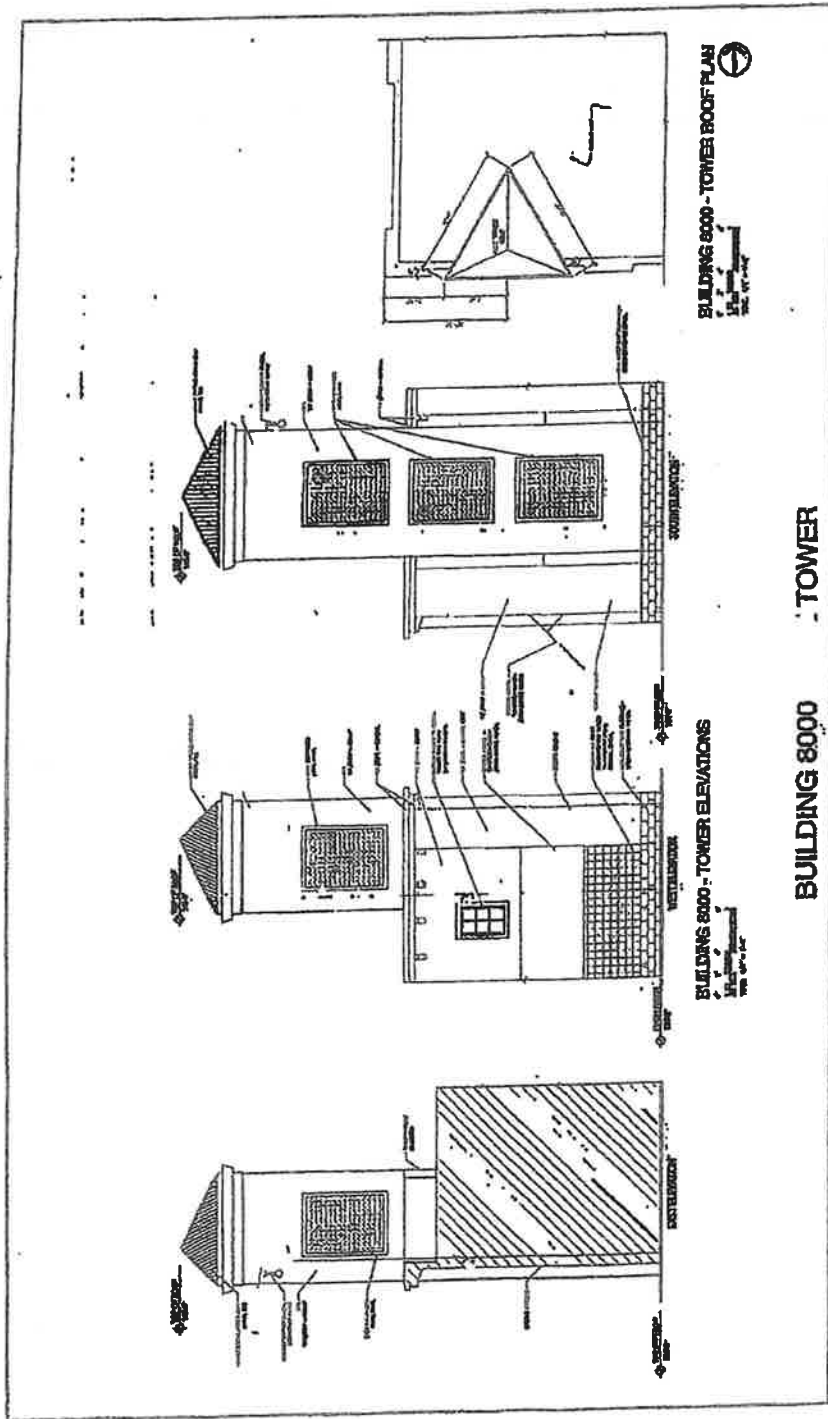


Exhibit 7

Shared Monument I-75 Digital Conceptual

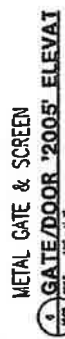
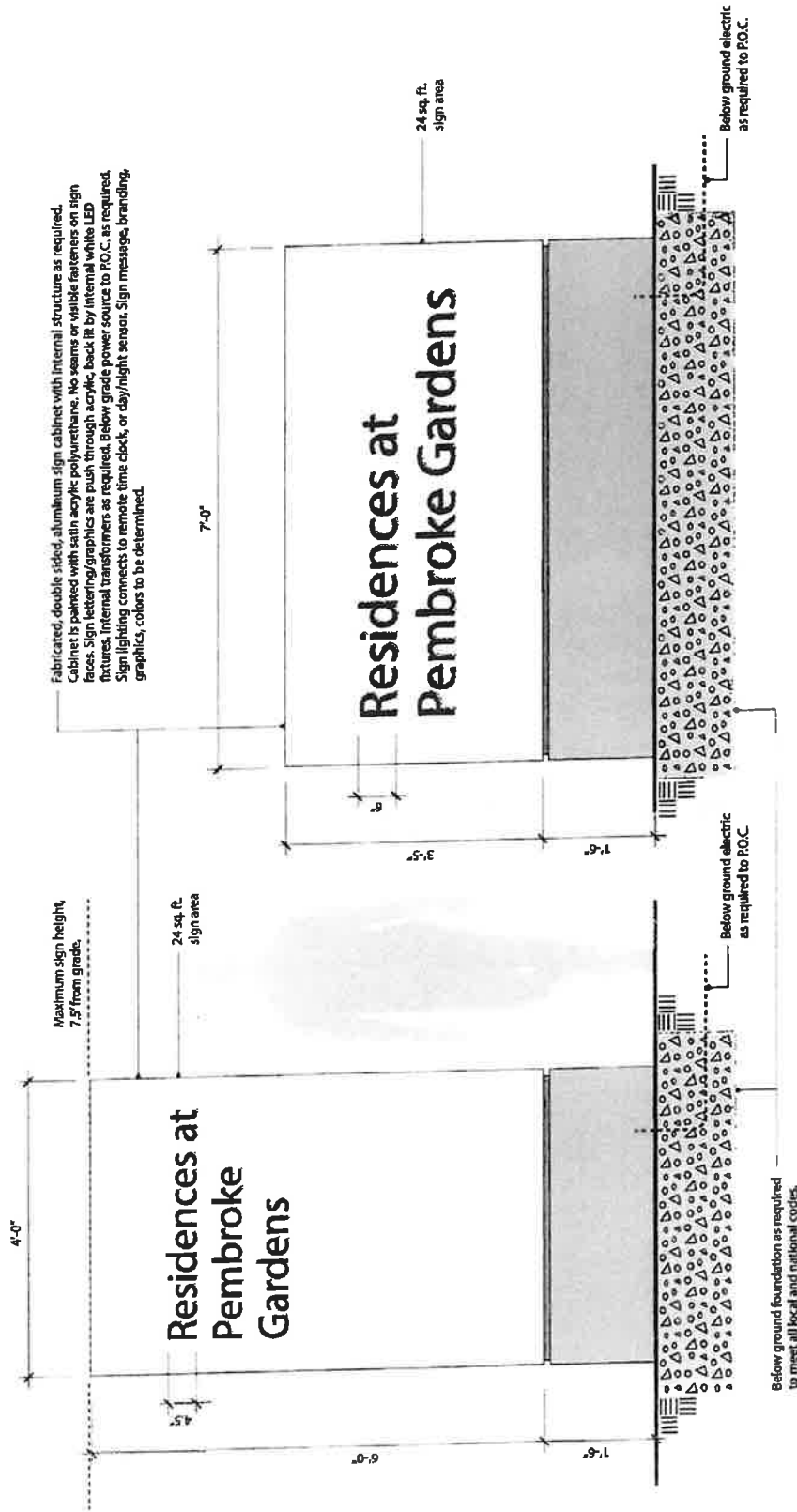


Exhibit 8

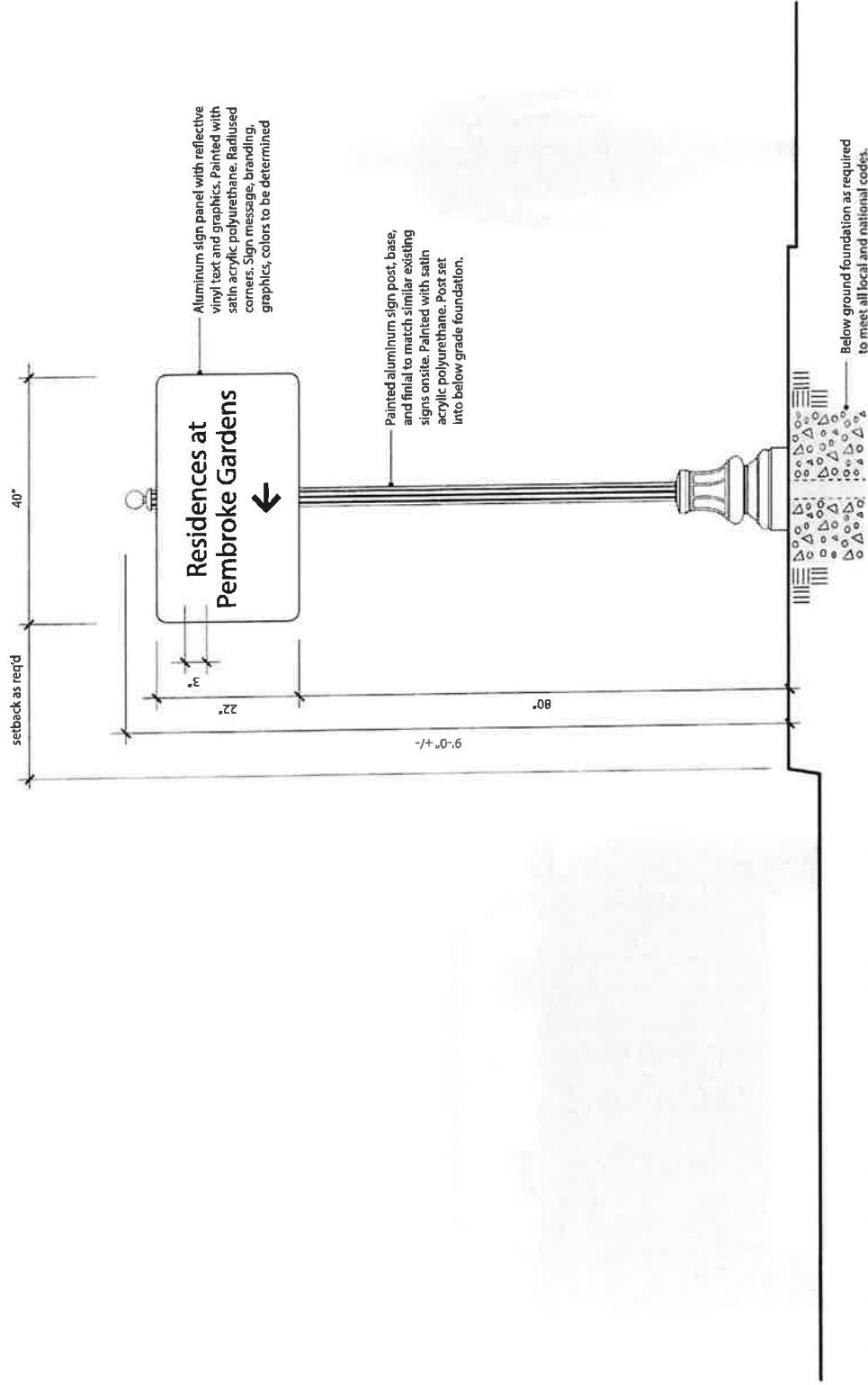
Residential Entrance Monument Signage



Entrance Monument Sign | Sign Location 4 | Conceptual Specifications and Details
Scale: 3/4" = 1'-0"

Exhibit 9

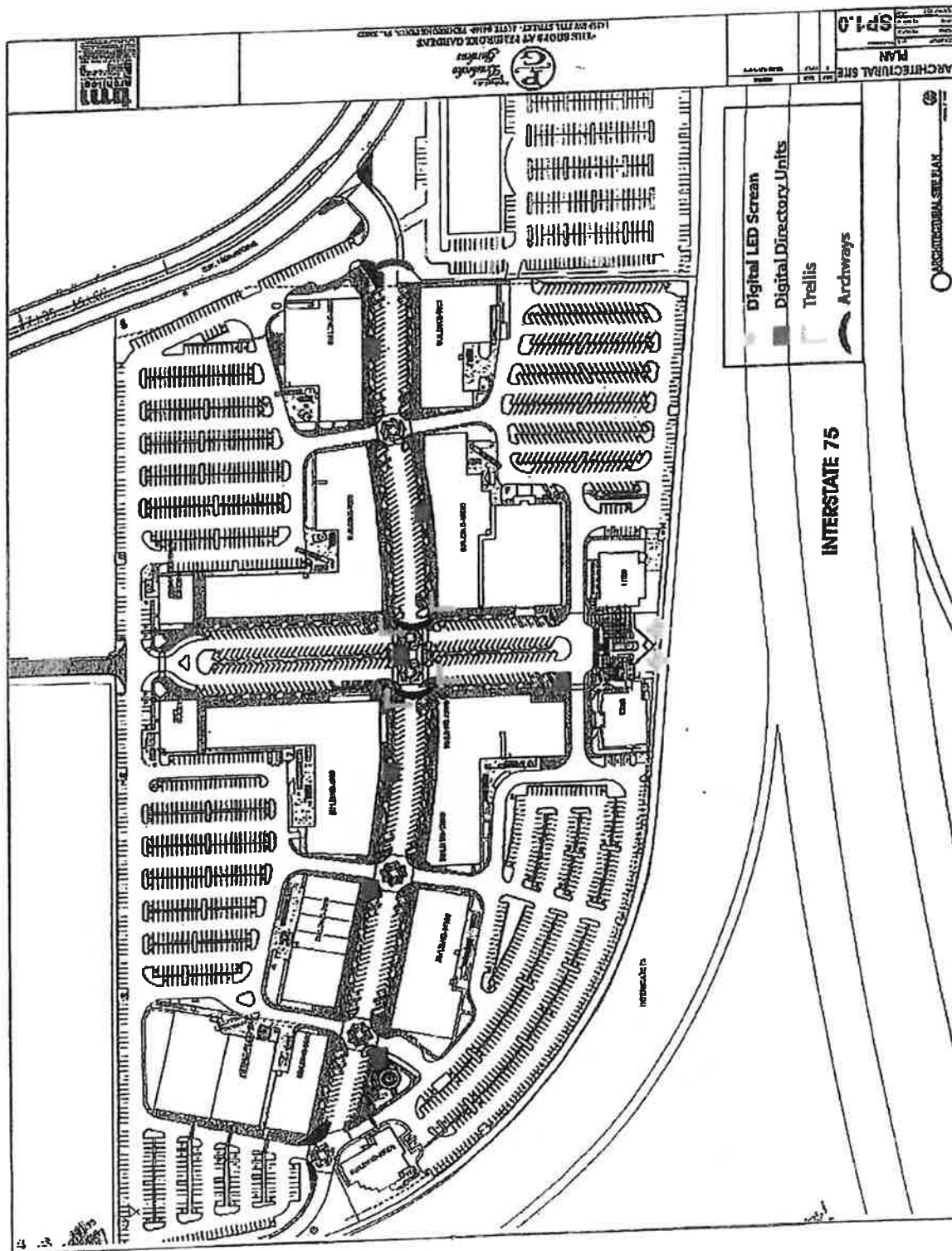
Residential Directional Post & Panel Signage

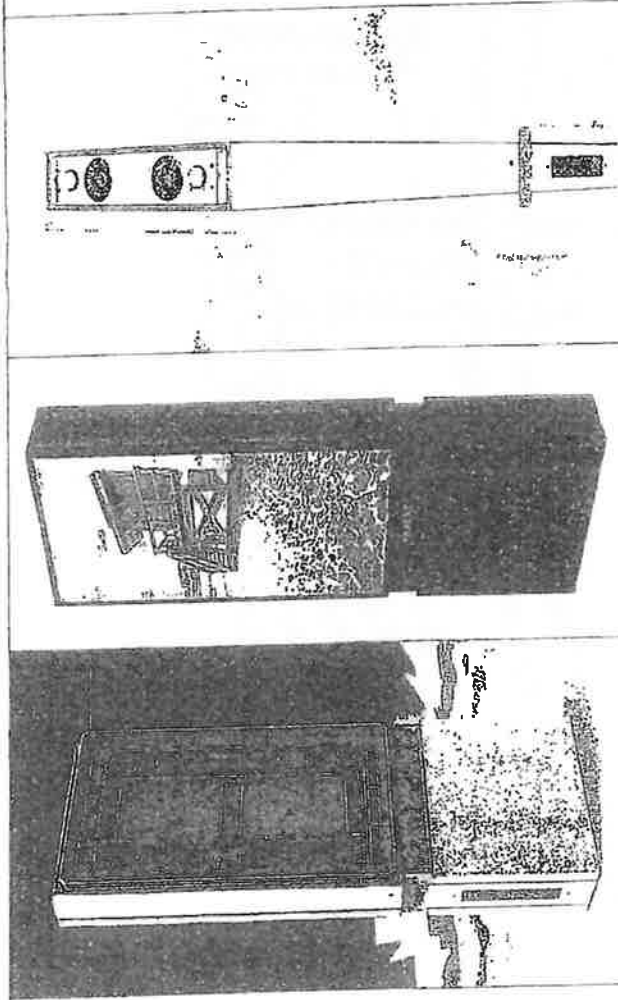


Post & Panel Directional Sign | Sign Locations 2, 3, 8, 9, 10, 11 | Conceptual Specifications and Details
 Scale: 3/4" = 1'-0"

Exhibit 10

Shared Digital Directory Detail





DIGITAL SIGN SPECIFICATIONS AND FUNCTIONS

THE UNIT CONSISTS OF A UL/NRTL LISTED (CERTIFICATE NUMBER U8-17-05-84668-017, UL TEST 60950-1/R, CSA TESTING NUMBER C22.2/60950-1) WEATHER AND VANDAL RESISTANT FREE STANDING ENCLOSURE DESIGNED TO COMPLY WITH THE FLORIDA BUILDING CODE AND OTHER APPLICABLE CODES INCLUDING THE NATIONAL ELECTRICAL CODE. THE UNIT HAS BEEN DESIGNED TO WITHSTAND WINDS OF 180 MPH. THE UNIT'S MAIN COMPONENTS ARE:

1. TWO (2) INTERACTIVE VIDEO TOUCH SCREENS
2. TWO (2) CAMERAS
3. ONE (1) AC UNIT
4. ONE (1) CPU
5. ONE (1) WI-FI TRANSMITTER
6. OTHER SUPPORTIVE COMPONENTS.

ELECTRICAL POWER REQUIREMENT: TWO (2) ONE POLE, 20 AMP CIRCUITS.

TOTAL CONNECTED LOAD: 2,457 WATTS

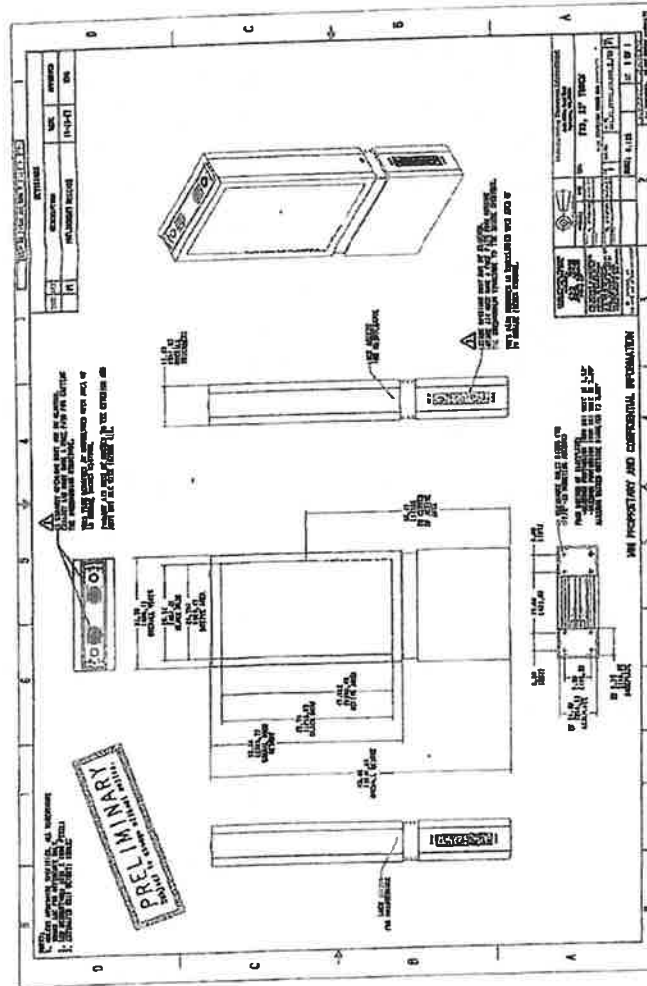
SCOPE OF WORK

THE PROJECT CONSIST OF THE INSTALLATION OF EIGHT (8) DIGITAL INFORMATION SIGN IN THE LOCATIONS INDICATED ON THIS SET OF PLANS. INSTALLER SHALL PROVIDE AND INCLUDE ALL WORKMANSHIP AND MATERIALS NECESSARY TO COMPLETE THE INSTALLATION INCLUDING BUT NOT LIMITED TO:

1. CONCRETE FOUNDATION (4" X 7'-6" X 18" DEEP) AS PER DETAIL ON SHEET S-1.
2. INSTALL SERVICE POINTS FOR ELECTRICAL & DATA AS PER PLANS.
3. RUN TWO (2) 1" DIA. PVC CONDUITS FROM DIGITAL SIGNS TO SERVICE POINT.
4. RUN 4 # 10 THWN, 1 # 10 GRD THWN IN ONE OF THE CONDUITS TO FEED THE UNIT.
5. INSTALL TWO (2) 1 POLE, 20 AMP CIRCUIT BREAKERS FOR EACH KIOSK.
6. INSTALL A 20 FT 6" DIA. COPPER GROUND ROD AT AS INDICATED ON PLANS.
7. LOCATION OF THE UNITS SHALL BE COORDINATED IN CONJUNCTION WITH THE CITY OF SOUTH MIAMI.
8. RESTORATION OF THE EXISTING SITE TO ITS ORIGINAL CONDITION AFTER THE INSTALLATION OF THE FOUNDATION.
9. TESTING OF THE UNIT IN CONJUNCTION WITH THE A REPRESENTATIVE OF SMART LINK.

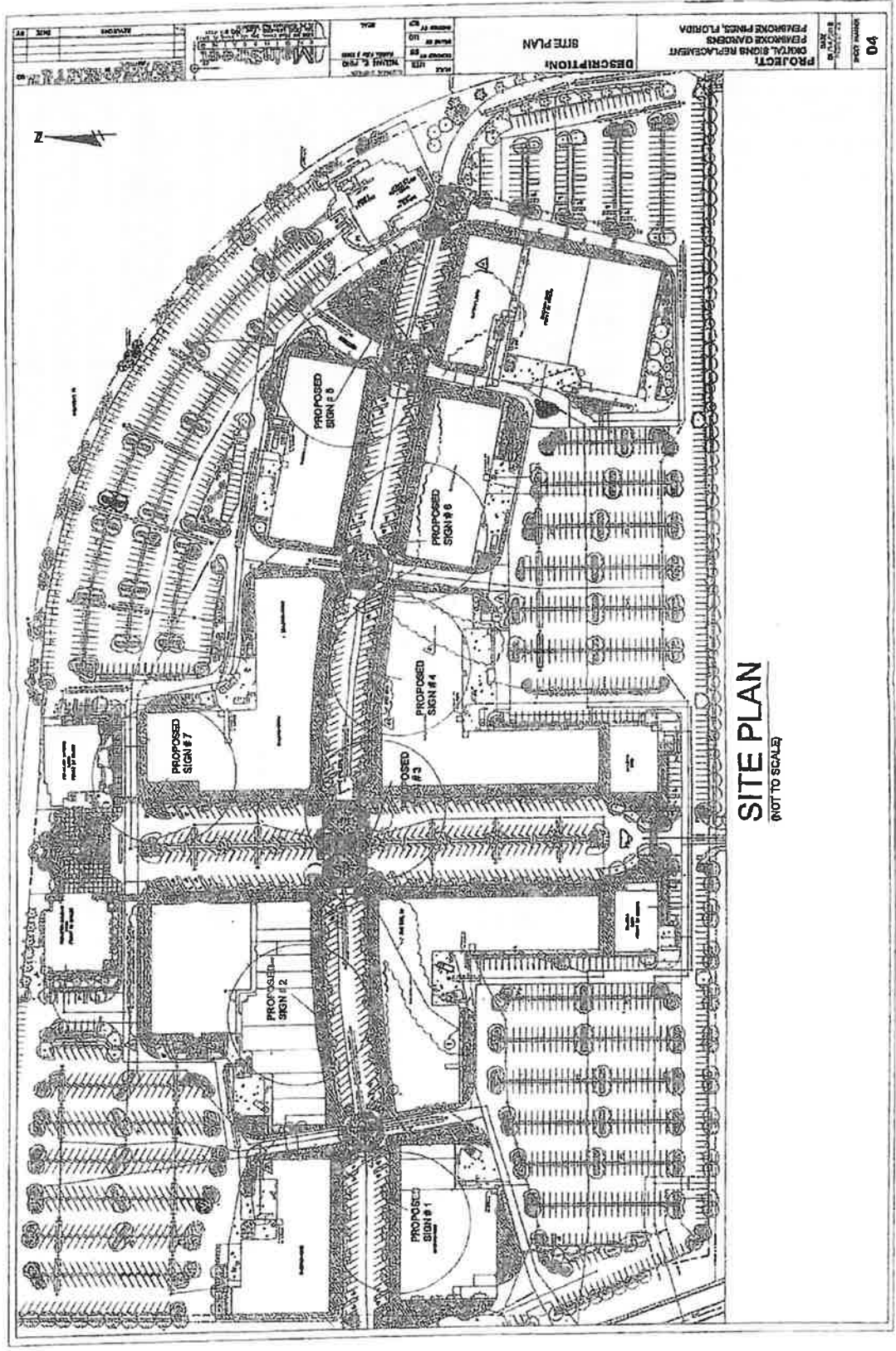
ELECTRICAL NOTES:

1. ALL WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), FLORIDA BUILDING CODE (F.B.C.), ALL APPLICABLE STATE AND LOCAL CODES AND THE LOCAL UTILITY COMPANY REQUIREMENTS.
2. ALL WORK SHALL BE PERFORMED BY LICENSED ELECTRICAL ENGINEER IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY THE ELECTRICAL ENGINEER OR OWNER REPRESENTATIVE.
3. RINGS OF CONDUITS SHALL BE SEALED WITH POLYURETHANE FOAM AFTER WORKING IS COMPLETE. FOAM SEAL SHALL NOT BE USED AS A MEANS TO PROTECT CONDUITS FROM ABUSE IN RACEWAYS. GALVANIZED RIGID METAL CONDUIT SHALL HAVE PROPER FITTINGS TO PROTECT CONDUITS FROM ABUSE.
4. SPlices and connections made in pull boxes shall be properly taped with electrical tape. Tapes on caps shall be used to waterproof these connections.
5. ALL MATERIAL SHALL BE NEW AND SHALL BEAR THE UNDERWRITERS LABELS WHERE APPLICABLE.
6. ALL ELECTRICAL CONDUITS SHALL BE COPPER. ALL INSULATION SHALL BE TYPE THHN.
7. UNDERGROUND CONDUIT SHALL BE ONE CONDUIT IN ELECTRICAL A TANK. CONDUITS SHALL BE INSTALLED IN EACH CONDUIT EXCEPT SPARE CONDUIT AS INDICATED ON THE PLANS. BOND WIRE IS REQUIRED REGARDLESS OF CONDUIT MATERIAL.
8. LOCATION OF EXISTING EQUIPMENT & CONDUIT IS ON DRAWING ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING EQUIPMENT REPRESENTATIVE PRIOR TO INSTALLATION.
9. WHERE TRENCHES OR OTHER EXCAVATIONS ARE MADE IN AREAS OF EXISTING ROADWAYS OR IN AREAS OF EXISTING SIDEWALKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH SURFACE TREATMENT TO THE SAME REQUIREMENTS AND IN THE SAME MANNER AS PREVIOUSLY EXISTED EXCEPT AS OTHERWISE INDICATED AND TO MATCH AND TIE INTO THE ADJACENT AND SURROUNDING SURFACES.
10. UNDERGROUND CONDUIT SHALL BE INSTALLED WITH MIN 2" OF COVER IN GREEN PAVEMENT AND 3" UNDER PAVEMENT OR SIDEWALKS.
11. IN AS MUCH AS SYSTEMS ARE EXISTING AND THE SCOPE MAY REQUIRE MODIFICATIONS AND ADDITION TO THEM, THE NEW EQUIPMENT AND DEVICES SHALL BE FULLY COMPATIBLE WITH THE EXISTING SYSTEMS.
12. LOCATION AND ROUTING OF NEW CONDUITS IS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION AND ROUTING OF CONDUITS TO AVOID CONFLICTS WITH EXISTING BURIED UTILITIES AND OTHER DISTRIBUTIONS. SIGNIFICANTLY DIFFERENT LOCATIONS FROM CONDUIT ROUTING SHALL REQUIRE THE APPROVAL OF THE PROGRAM MANAGER.
13. THE MINIMUM BEND RADIUS FOR ALL UNDERGROUND CONDUITS SHALL BE 3 TIMES THE INTERNAL CONDUIT DIAMETER.
14. EACH CONDUIT SYSTEM SHALL BE PROVIDED WITH EXPANSION FITTINGS. LOCATE FITTINGS IN FIELD AT BUILDING EXPANSION JOINTS.
15. ALL CONDUITS SHALL BE INSTALLED USING NARROW TRENCHES TO MINIMIZE DAMAGE TO EXISTING UTILITIES.
16. ALL CONDUIT TRENCHES SHALL BE BACKFILLED COMPLETELY TO PROVIDE SAFE CROSSING BY THE END OF EACH WORKING DAY OR WHEREVER THE WORK ZONE BECOMES INACTIVE. THE CONTRACTOR SHALL NOT OPEN ANY AREA THAT CAN NOT BE BACKFILLED IN THE SAME DIRECTION OF TRAVEL.
17. PULL BOXES, JUNCTION BOXES AND ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE AND THE STATE OF FLORIDA. ALL STANDARDS OF PRACTICES FOR ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. REQUIREMENTS SHALL BE PROPERLY OBSERVED AND MONITORED PER ALL REQUIREMENTS.



DESCRIPTION: SIGN DETAIL

PROJECT: PEARMON ROAD REPAIRS
PEARMON ROAD, FLORIDA
DATE: 10/1/18
DRAWN BY: J. L. LEE
CHECKED BY: J. L. LEE
SCALE: 1/8" = 1'-0"



SITE PLAN
NOT TO SCALE

Exhibit 11

Entry Archway Detail

CONSTRUCTION PLANS FOR 4 ALUMINUM ENTRYWAY ARCHES

LOCATED AT:
PEMBROKE GARDENS MALL
527 NW 145TH TERRACE
PEMBROKE PINES, FL. 33027

SCOPE OF WORK:
INSTALLATION OF 2 ALUMINUM ARCHES AT THE CROSSING OF SW 145TH TERRACE AND SW 46TH ST.
1 ALUMINUM ARCH AT EAST GATE ON SW 5TH ST.
AND 1 ALUMINUM ARCH AT SOUTH GATE ON SW 145TH TERRACE

SHEET LIST:
ARCHES LOCATION PG. 2
RENDERS PG. 3 - 4
ARCHES 1 AND 4 PROFILE VIEW PG. 5
ARCHES 2 AND 3 PROFILE VIEW PG. 6
CONNECTION DETAILS PG. 7 - 8
COLUMN DETAILS PG. 9
COLUMN HOLES DETAILS PG. 10
CHANNEL CONNECTION DETAILS PG. 11
FOOTING DETAILS PG. 12
POWDER COAT CHART PG. 13

GENERAL NOTES:
THOMPSON ARCHITECTURAL/RAININGS OF HOLLYWOOD
ASSUME THAT ALL SITE CONDITIONS ARE PER ARCHITECTURAL
AND STRUCTURAL DOCUMENTS PROVIDED UNLESS NOTED
OTHERWISE.
ALL DOCUMENTS PROVIDED BY CONTRACTING PARTIES OF
RAININGS OF HOLLYWOOD MUST REFLECT FIELD CONDITIONS
BY 1/4" = 36" INCLUDING ELEVATIONS AND PLAN REFLECTED FRAMING
EXTENTS UNLESS NOTED OTHERWISE IN WRITTEN REFLECTED
CONDITIONS.

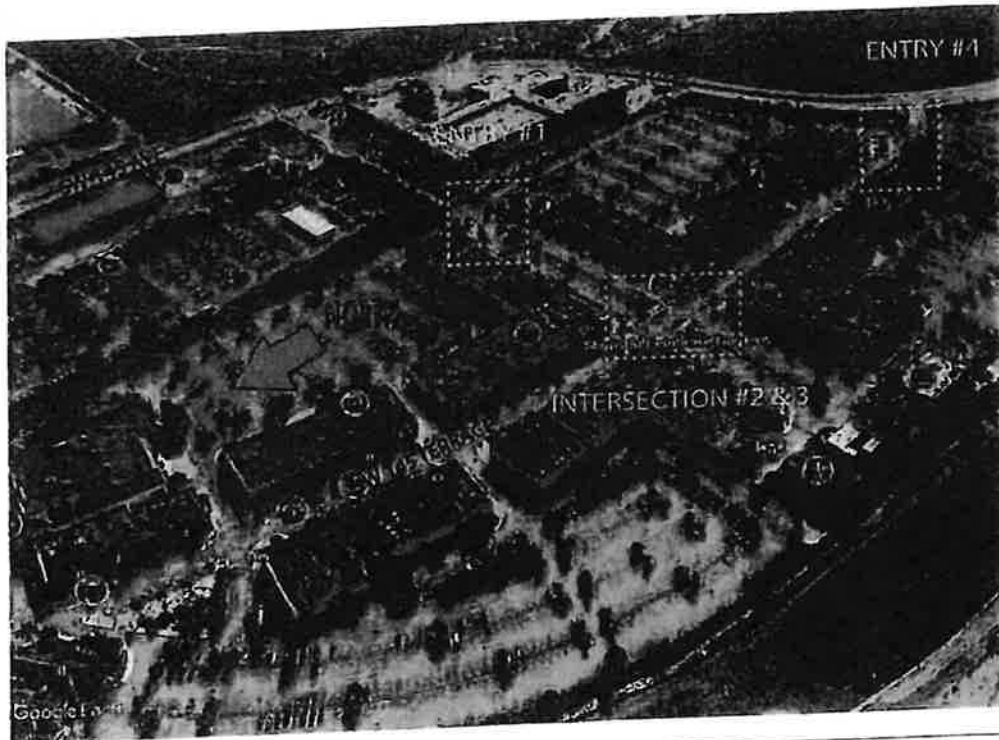
DOCUMENT PAGES: CONTENT HEREIN ARE NOT TO BE SCALED.
USE WRITTEN LINE DIMENSION PERTAINING TO DOCUMENT
ILLUSTRATIONS





THIS ARCH INSTALLATION
SITE
527 NW 145TH TERRACE
PEMBROKE PINES, FL.
33027

REVISIONS
DATE
BY
CHECKED
CT





 AWNINGS THOMPSON ARCHITECTURAL PRODUCTS	
PROJECT ADDRESS 1000 GARDEN AVENUE NEWTON, MA 02459	PROJECT LOCATION 1000 GARDEN AVENUE NEWTON, MA 02459
SHEET NO. 1000	SHEET TITLE CT
	



AWnings
THOMPSON
 ARCHITECTURAL RENDERERS

THIS GATEWAY ARCHES 1, 4
 RENDER

DATE 08/08/08

SCALE

REVISION

REVISION CT

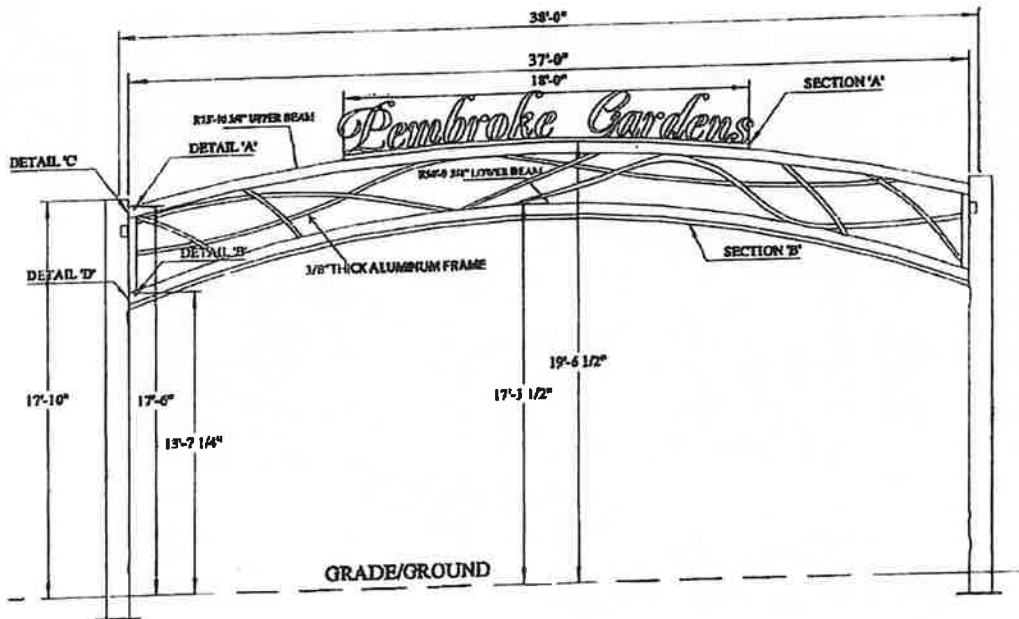
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TITLE: GATEWAY ARCHES 2, 3
 RENDER
 SITE: 527 NW 14TH TERRACE
 PEMBROKE PINES, FL.
 33027

DATE: 08/08
 SCALE:
 REGION:
 SALON: CT





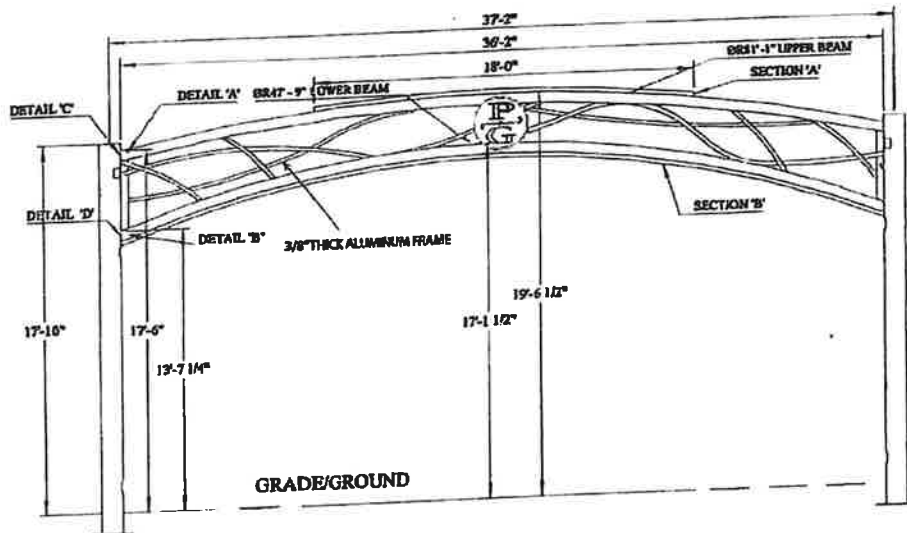
*ALL 3/8" THICK ALUMINUM FRAMES SHALL BE FULLY WELDED TO UPPER BEAM, LOWER BEAM AND CONNECTION PLATES THUS:



ARCH 1, 4
 827 NW 14TH TERRACE
 PEMBROKE PARK, FL 33027

DATE REVISION:
 SCALE:
 REVISION:
 CALLED BY: CT

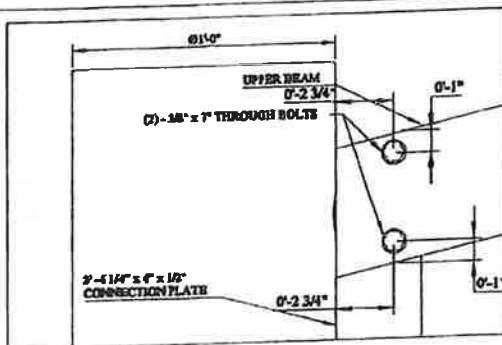




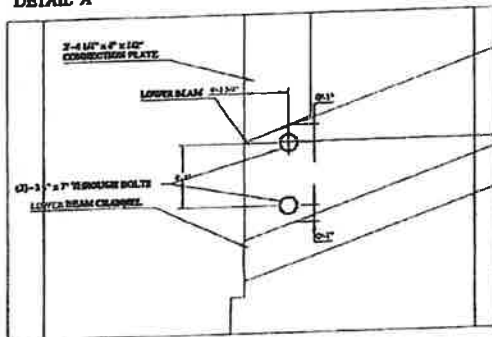
*ALL 3/8" THICK ALUMINUM FRAMES SHALL BE FULLY WELDED TO UPPER BEAM, LOWER BEAM AND CONNECTION PLATE THUS:



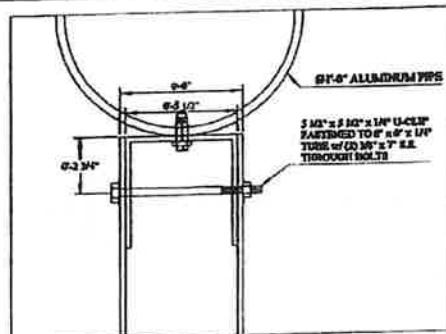
TITLE	ARCH 2, 3
DATE ISSUED:	
SCALE:	
REVISION:	
DRAWN BY:	CT
CHECKED BY:	
APPROVED BY:	



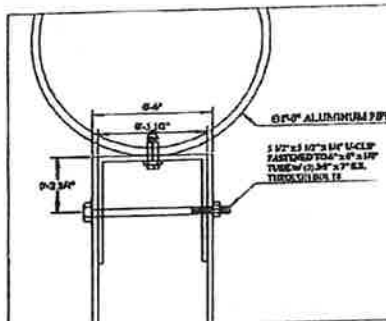
DETAIL 'A'



DETAIL 'B'



DETAIL 'A.1'



DETAIL 'B.1'



TITLE: TUBE CONNECTION DETAIL

DATE: 5/17/14

BY: J. THOMPSON

FOR: KLEINER & KLEINER, INC.

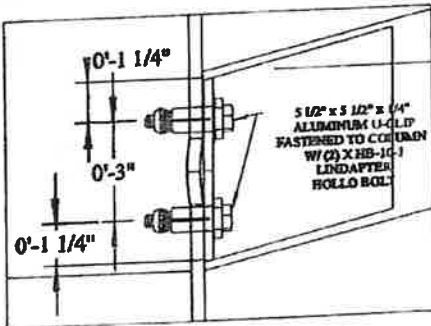
DATE: 5/17/14

SCALE:

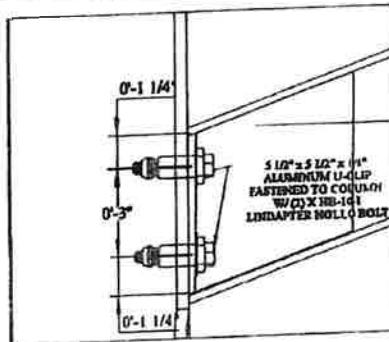
REVISION:

REVISION: CT





DETAIL 'C'



DETAIL 'D'

AWNINGS
THOMPSON
ARCHITECTURAL SERVICES
10000 W. HAWTHORNE BLVD., SUITE 100
FORT MYERS, FL 33907


TITLE: U-CLIP CONNECTION DETAIL

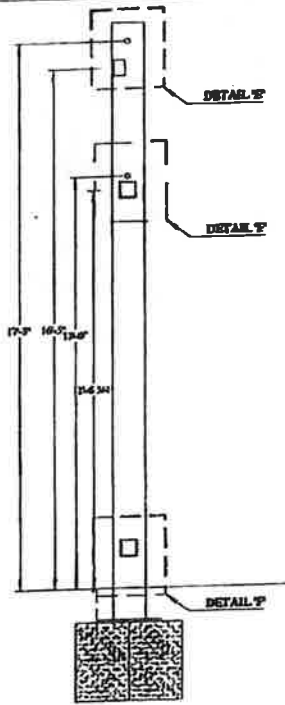
DATE: 02/14/14

SCALE:

REVISION:

APPROVED: CT





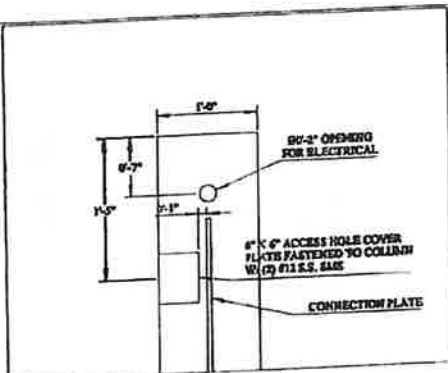
COLUMN DETAIL



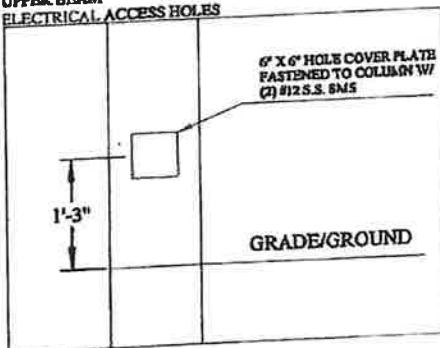
TITLE: COLUMN DETAILS
 SITE: 257 NW 40TH AVENUE
 FORT LAUDERDALE, FL 33307

DATE ISSUED:
 SCALE:
 REVISION:
 RELEASED: CT

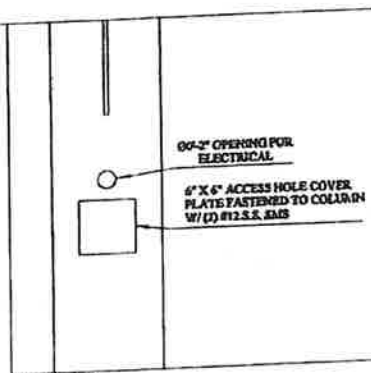




DETAIL 'A'
UPPER BEAM
ELECTRICAL ACCESS HOLES



COLUMN BASE
ELECTRICAL ACCESS HOLES



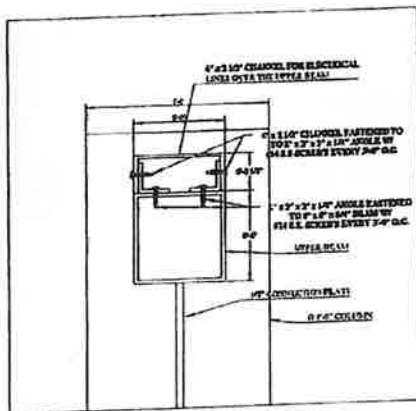
DETAIL 'B'
LOWER BEAM
ELECTRICAL ACCESS HOLES



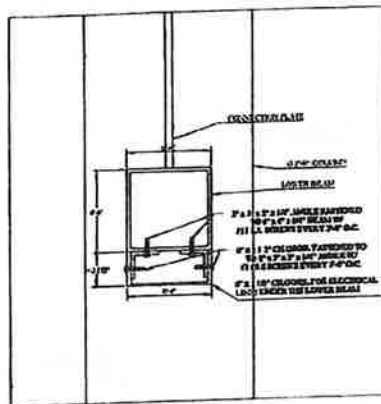
TITLE: COLUMN HOLES DETAILS
DATE: 02/27/14
DRAWN BY: J. THOMPSON
CHECKED BY: J. THOMPSON
PROJECT: 527 NW 145TH TERRACE, PENSACOLA, FL 32507

DATE: 02/27/14
SCALE: 1/8" = 1'-0"
REVISION: 1
APPROVED: CT





SECTION 'A'



SECTION 'B'

1. All structural members to be 6061 T-6, 6063 T-52, 6005 aluminum. All brake metal to be 5052 H32 or 6061 aluminum.
2. All welds to comply with A.W.S. code (latest edition)
 - all welding (field and shop) to be done by A.W.S. certified welders per FBC 2218.3
3. All structures designed using rational analysis.
4. All welding connections shall be fully welded thru:
5. Contractor to field verify conditions prior to fabrication and notify engineer if any deviation exists.

3017

TITLE: CHANNEL CONNECTION
DETAILS AND NOTES

DATE ISSUED: _____

SCALE: _____

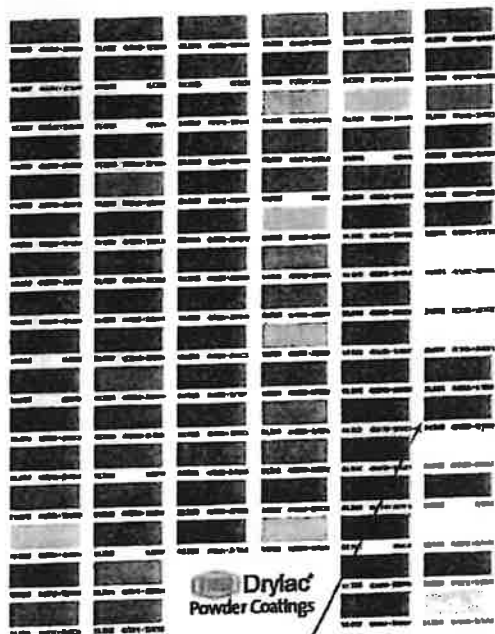
REVISION: _____

DATE: 07/11/17

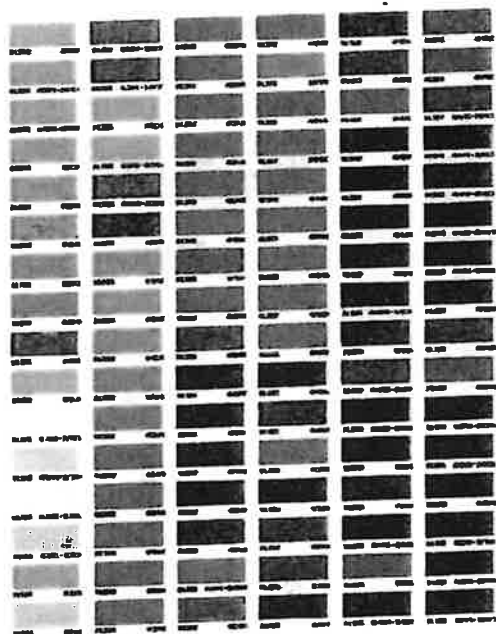
BY: [Signature]

FOR: 527 NW 14TH TERRACE
PENSACOLA, FL 32507

11 OF 11



POWDER COAT TO BE
TIGER BELLAC
BLACK RAL 9005



TITLE POWDER COAT CHART
SITE 827 HWY 148TH TERRACE
PENSACOLA, FL 32507
DATE/REVISION
SCALE
REVISION
APPROVED CT



Exhibit 12
Freestanding Signage

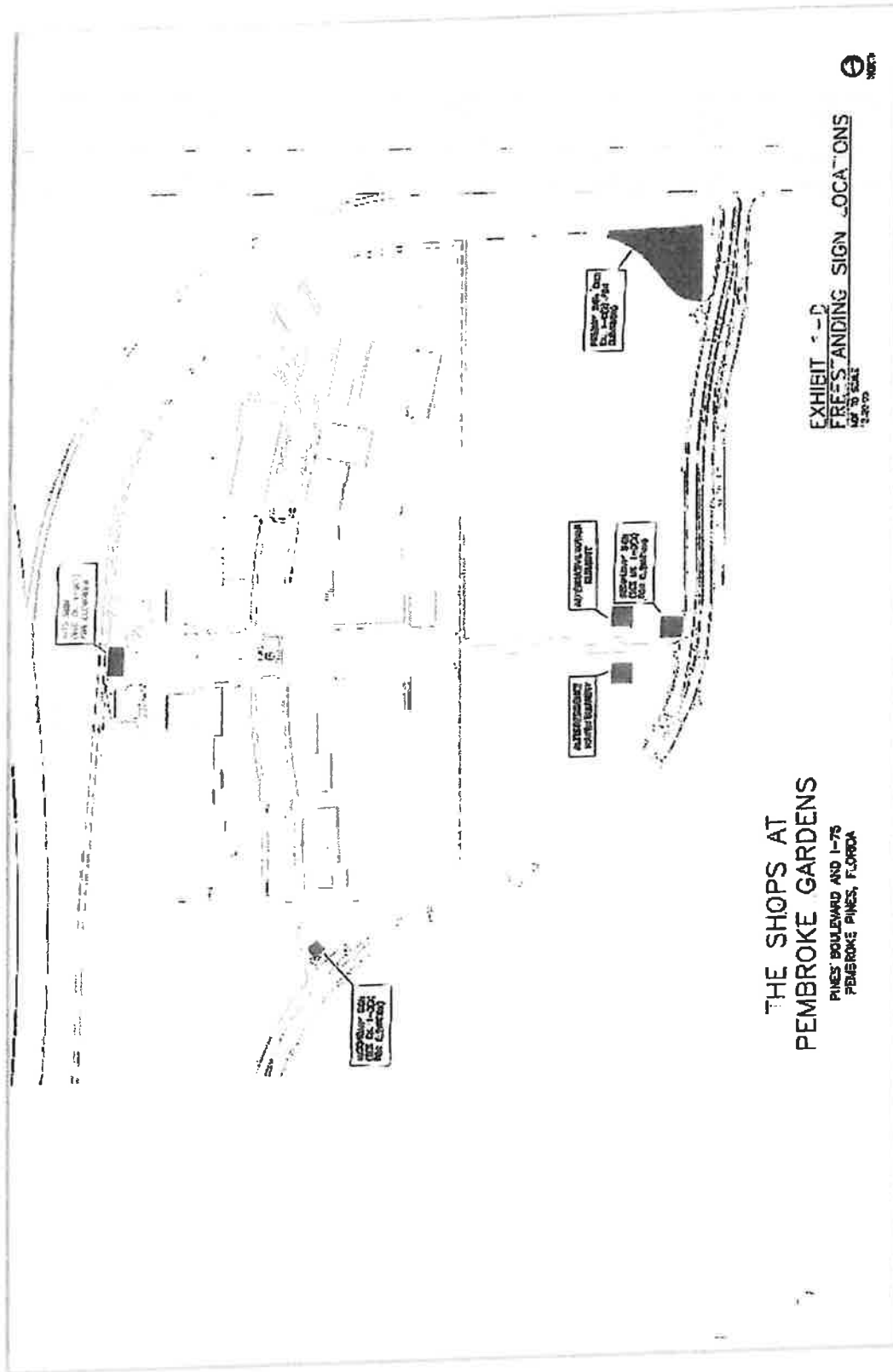


Exhibit 13

Seasonal/Pop Up Store Signage Elevation Sample

TOTAL SIGN AREA: 11.39 S.F.
SCALE: 1" = 1'

END VIEW

2"

2" Flat Cut Out Foam Letter

3M VHB Tape & Silicone Adhesive

ATTACHMENT DETAIL

2" Black Foam

13158 ARCTIC CIRC.
SANTA FE SPRINGS, CA 90670
PH. 562.436.5188
FX. 562.436.5199
WWW.TPISIGNS.COM

Brighton, Pembroke Phase 2
14564 SW 145th Terrace
Pembroke Pines, FL
33027

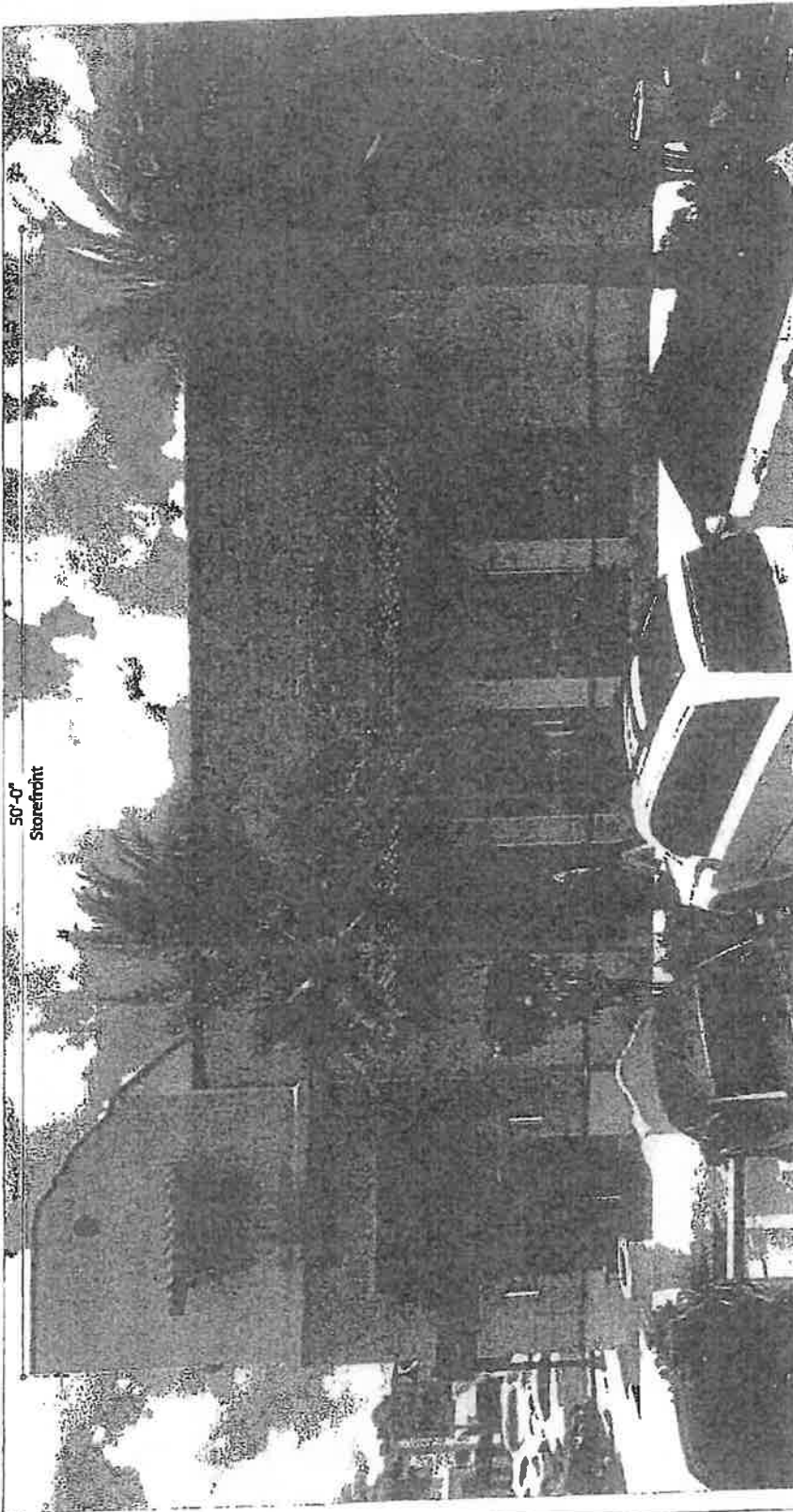
DESIGNER:
ACCT MAN:
PM:
Time:

D. Hyman
D. Rivas
C. Pedraza
2 hour

DRAWING APPROVALS:
CLIENT:
LANDLORD:
YD SIGNS:

[illegible]

#180023-01
1/24/18
PAGE: 5 OF 5



A1 NORTH ELEVATION - TEMPORARY FOAM FCO LETTER SIGN
ONE SET/S REQUIRED

SCALE: 1/4" = 1'



13158 ARCTIC CIRC.
SAVON SPRINGS, CA 95070
PH. 562.436.3188
FX. 562.436.3199
WWW.TDISIGNS.COM

PROJECT: Brighton, Pembroke Phase 2
ADDRESS: 14564 SW 145th Terrace
CITY/STATE: Pembroke Pines, FL
ZIP CODE: 33027

DESIGNER: D. Hyman
ACCT MAN: D. Rivas
PM: C. Pedraza
Time: 2 hour


DRAWING APPROVALS:
CLIENT: _____
LANDLORD: _____
TDI SIGNS: _____

#180023-01
1/24/18
PAGE: 3 OF 5

THIS IS AN APPROVAL. UNLESS OTHERWISE SPECIFIED, ALL APPROVALS ARE TO BE OBTAINED FROM THE CLIENT AND THE LANDLORD. IF A CLIENT OR LANDLORD REQUESTS A REVISION TO THE SIGN, THE CLIENT OR LANDLORD SHALL BE RESPONSIBLE FOR THE COST OF THE REVISION. THE SIGN SHALL BE REMOVED BY THE CLIENT OR LANDLORD AT THE END OF THE PROJECT. TO CALL, TEXT OR EMAIL THE ACTUAL OWNER TO BE SURE.

Brighton

EXTERIOR MARKETING PACKAGE



TMI SIGNS

19158 ARCTIC CIRC.
SANTA FE SPRINGS, CA 90670
PH. 562.436.5188
FX. 562.436.5199
WWW.TRISIGNS.COM

PROJECT: Brighton, Pembroke Phase 2
ADDRESS: 14564 SW, 145th Terrace
CITY/STATE: Pembroke Pines, FL
ZIP CODE: 33027

DESIGNER: D. Hyman
ACCT MAN: D. Rivas
PM: C. Pedraza
Time: 2 hour

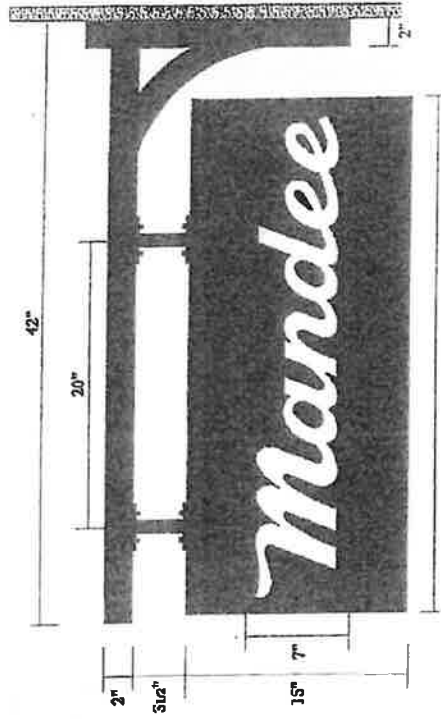
DRAWING APPROVALS:
CLIENT: _____
LANDLORD: _____
TDI SIGNS: _____

#180023-01
1/24/18
PAGE: 1 OF 5

THIS IS AN ORIGINAL, UNPUBLISHED MEMORANDUM DATED BY THE BUREAU OF THE INSPECTION OF THE ARMY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ARMY. THIS DOCUMENT IS THE PROPERTY OF THE ARMY AND IS LOANED TO YOU. IT AND ITS CONTENTS ARE NOT TO BE DISTRIBUTED OUTSIDE YOUR AGENCY.

Exhibit 14
Tenant Blade Signage

15"X36" .080 ALUM. D/F BLADE SIGN, 7"
 'MANDEE' X 1" THK. WHITE LETTER ON
 BLACK ALUM. BACKGROUND W/ 1" BLACK
 BORDER, SIGN TO BE MOUNTED ON 42"
 BLACK ALUM. SIGN BRACKET.



BLADE SIGN ELEVATION

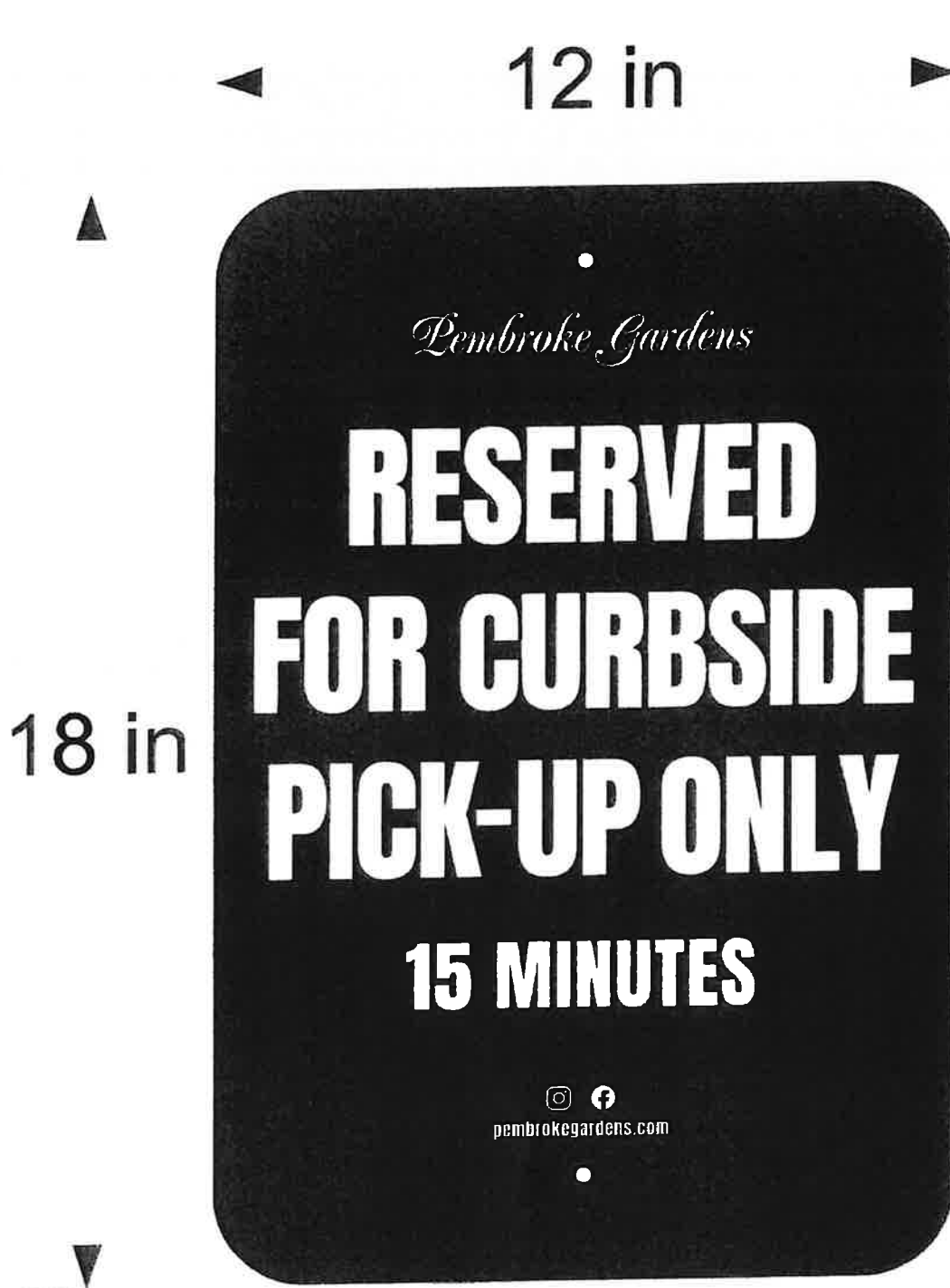
SCALE 1 1/2" = 1'

Exhibit 15
Pole Banner Signage



Exhibit 16

Time Limited/To Go Signage



Signarama
Pembroke Pines

12240 SW 53rd Street, Suite 502
Cooper City, FL 33330
(954) 334-3436
www.signarama-pembrokepines.com

Description: (Qty. 15) UV LAMINATED WIDE FORMAT DIGITAL PRINT
GRAPHICS ON .063 ALUMINUM BLANKS

Version: 1

Exhibit 17
Project Announcing Signage

ONLY 10 DAYS UNTIL GRAND OPENING

**COMING
SOON**

J. Jill

GALYAN'S

VICTORIA'S SECRET

**Claddagh
Irish Pub**

OLD NAVY

GYMBOREE

**Abercrombie
& Fitch**

Talbots

WILLIAMS-SONOMA

Divas



**ALGONQUIN
COMMONS**

Lifestyle Center

LEO'S

BORDERS

**ANN TAYLOR
LOFT**

POTTINGERS

Coldwater Creek

BIAGGI'S
RISTORANTE ITALIANO

HOLLISTER Co.

**AMERICAN EAGLE
OUTFITTERS**

Camille

CHICO'S

**DSW
SHOE**

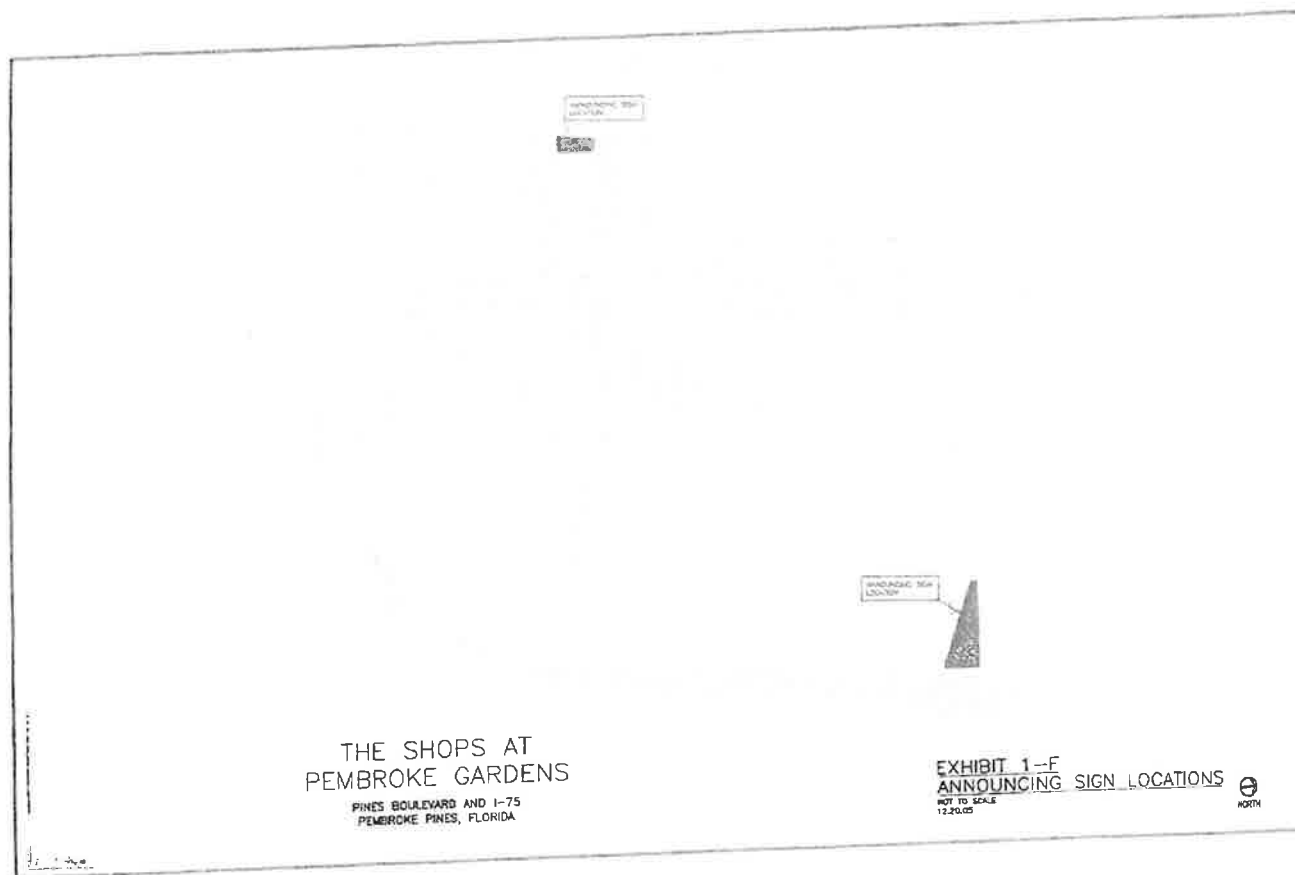
**BOMBAY
KIDS**

**GRAND
OPENING**

FOR LEASING INFO, Call Mark Fallon, (513) 241-5800

OCT. 7, 2004

27 6:24 PM



THE SHOPS AT
PEMBROKE GARDENS
PINES BOULEVARD AND I-75
PEMBERKE PINES, FLORIDA

EXHIBIT 1--F
ANNOUNCING SIGN LOCATIONS
NOT TO SCALE
12.20.05



Exhibit 18
Property Logo Spec Sheet

Pembroke Gardens

Exhibit 19

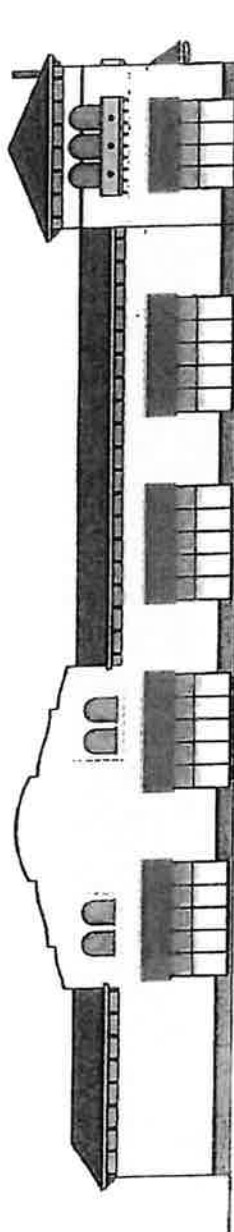
Front & Rear Retailer Façade

A2.1

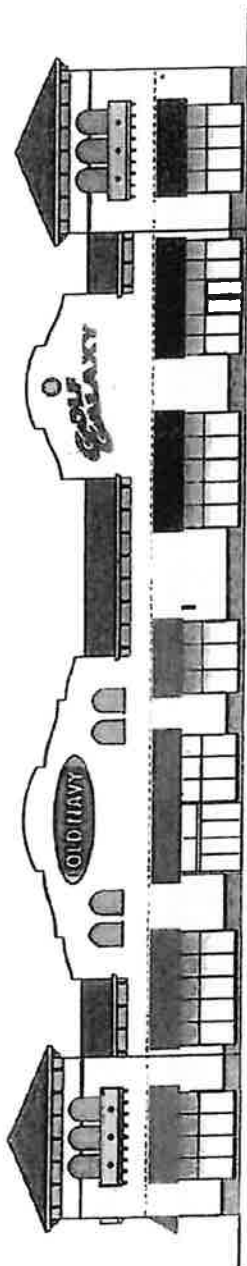


BUILDING 1000 ELEVATIONS

EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

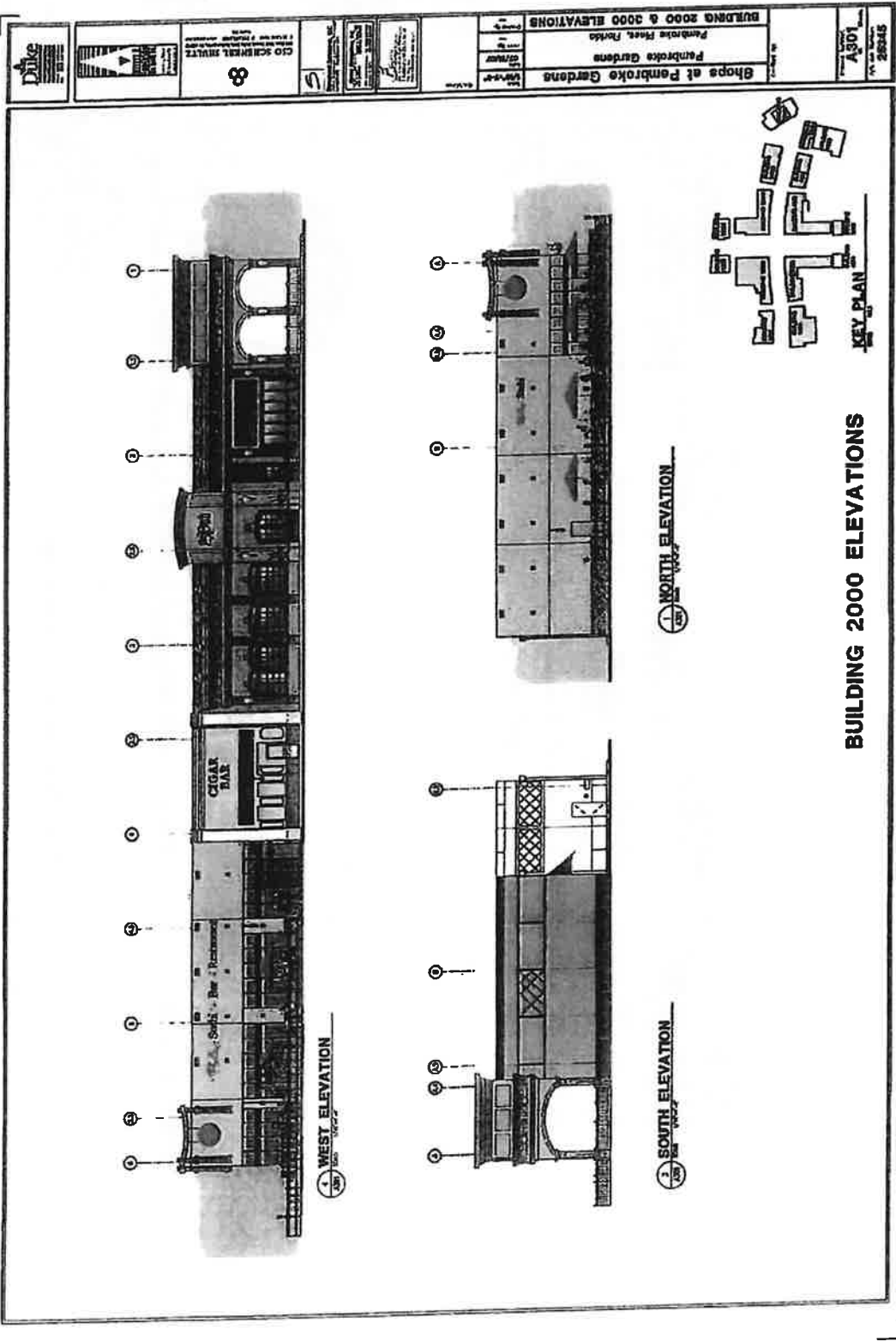


DATE: 10-27-07
BY: J. M. HARRIS
SCALE: 1/8" = 1'-0"

EXTENDED ELEVATIONS

PRINTER MARK YVOLA
FL-ARCH-070
Architect

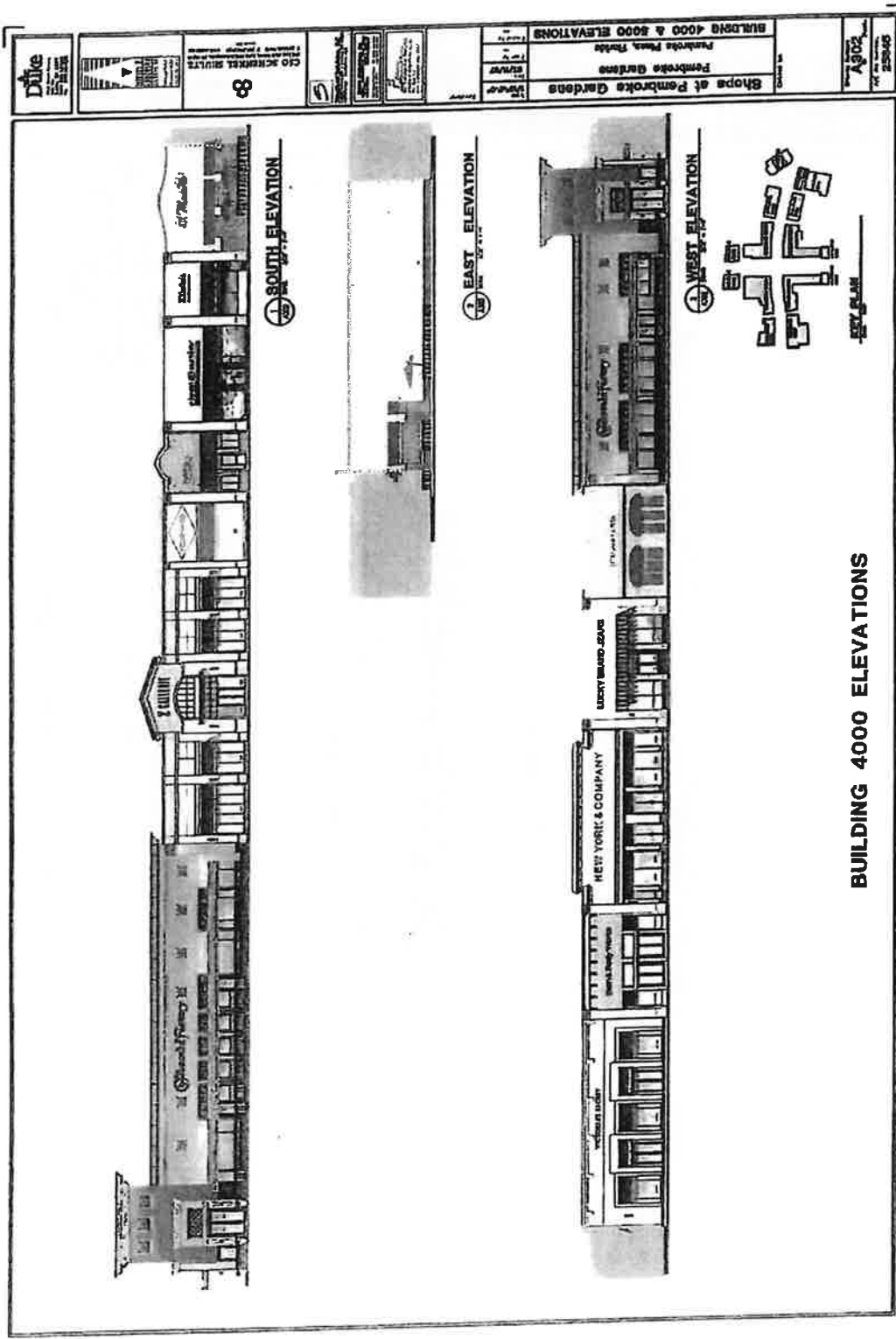
BUILDING 1000
FOR THE SHOPS AT PYRAMOX GARDENS
606 SW 14TH TERRACE
PYRAMOX PINES, FLORIDA 33027

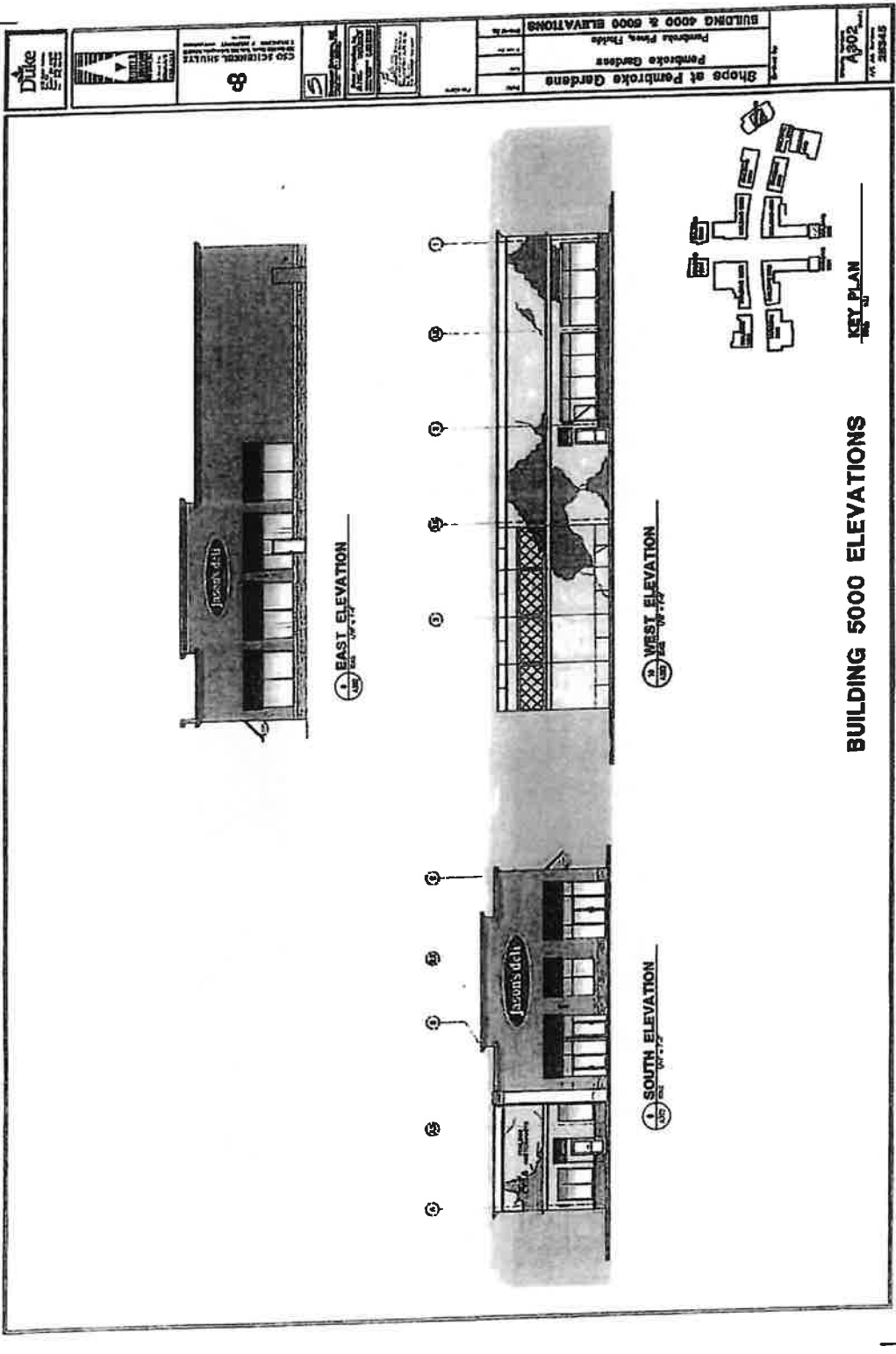


BUILDING 2000 ELEVATIONS

<p>2000</p> <p>A301</p>	<p>Shops at Pembroke Gardens</p> <p>Pembroke Place, Florida</p> <p>BUILDING 2000 & 3000 ELEVATIONS</p>	<p>8</p> <p>C/O SCHWARTZ SHULTZ</p>	<p>Duke</p>
-------------------------	--	--	--------------------

BUILDING 4000 ELEVATIONS

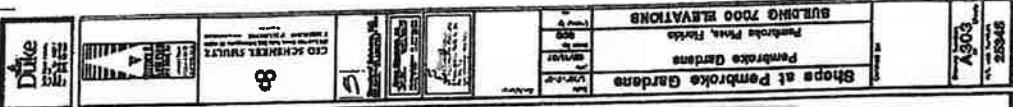


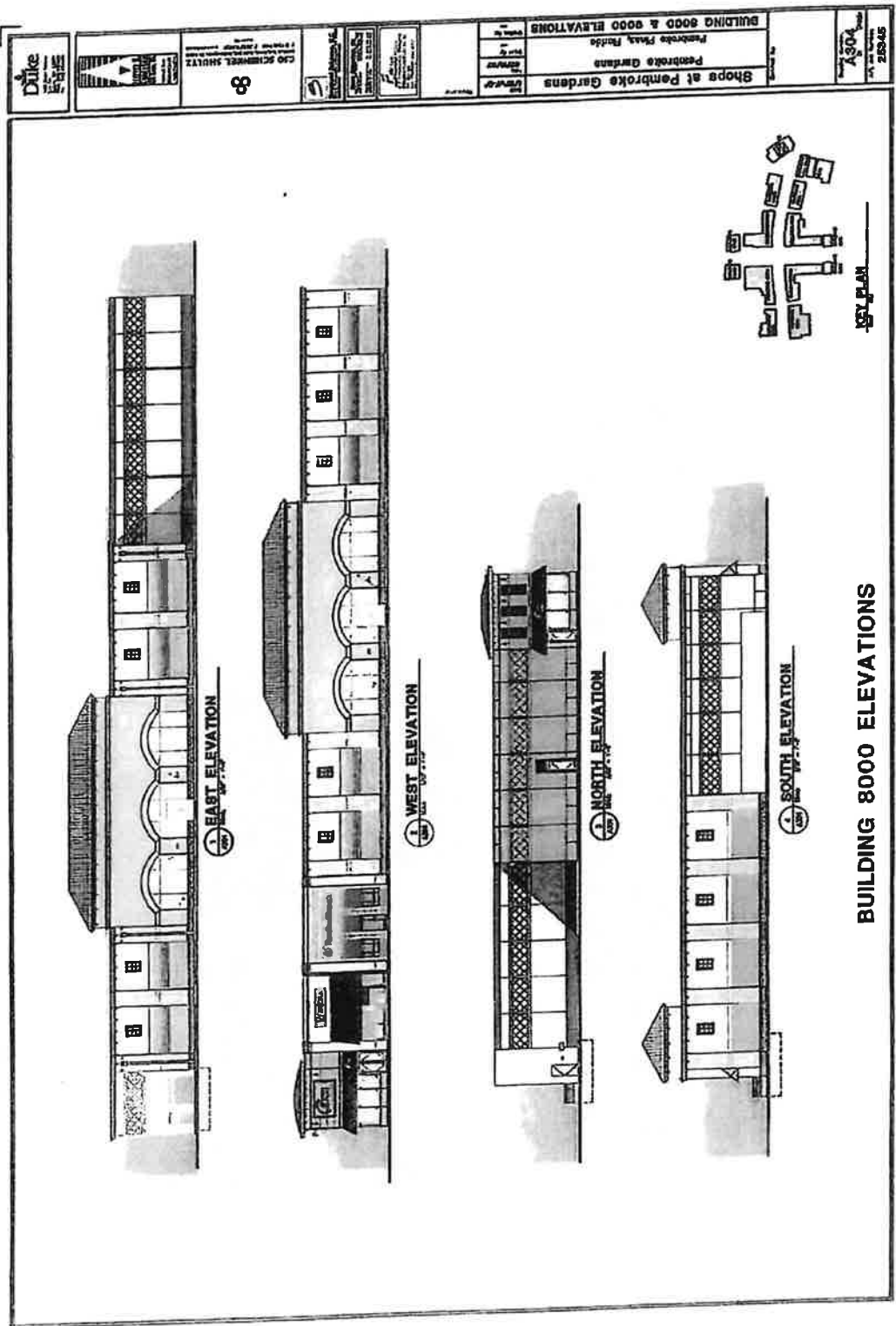


BUILDING 5000 ELEVATIONS

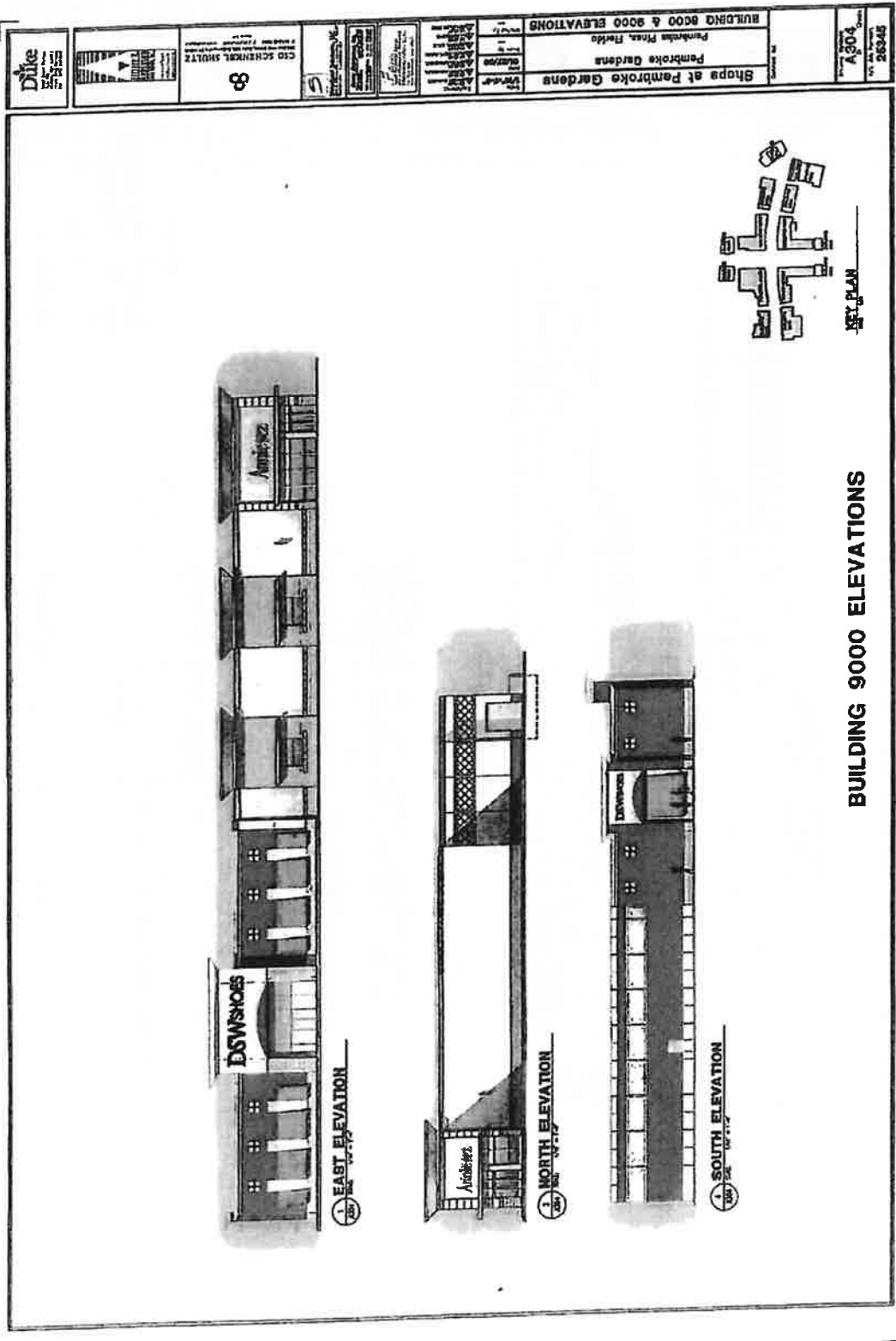
A302 2004	Shops at Pembroke Gardens Pembroke Prime, Florida BUILDING 4000 & 5000 ELEVATIONS	Date: 10/1/04 Project No: 04-0000	Scale: 1/8" = 1'-0" Drawing No: 5	CJO ARCHITECT, SUITE 200 10000 W. 4th Avenue, Suite 200 Miami, FL 33155	8	Duke Engineering & Architecture
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KEY PLAN

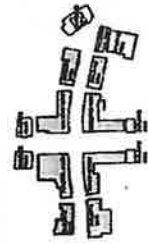




7504 2503-05	Shops at Pembroke Gardens Pembroke Park, Florida BUILDING 8000 & 9000 ELEVATIONS	8 C.D. SCHMIDT ARCHITECTS 11000 N. W. 11th Ave., Suite 100 Miami, Florida 33150	Duke ENGINEERS 11000 N. W. 11th Ave., Suite 100 Miami, Florida 33150
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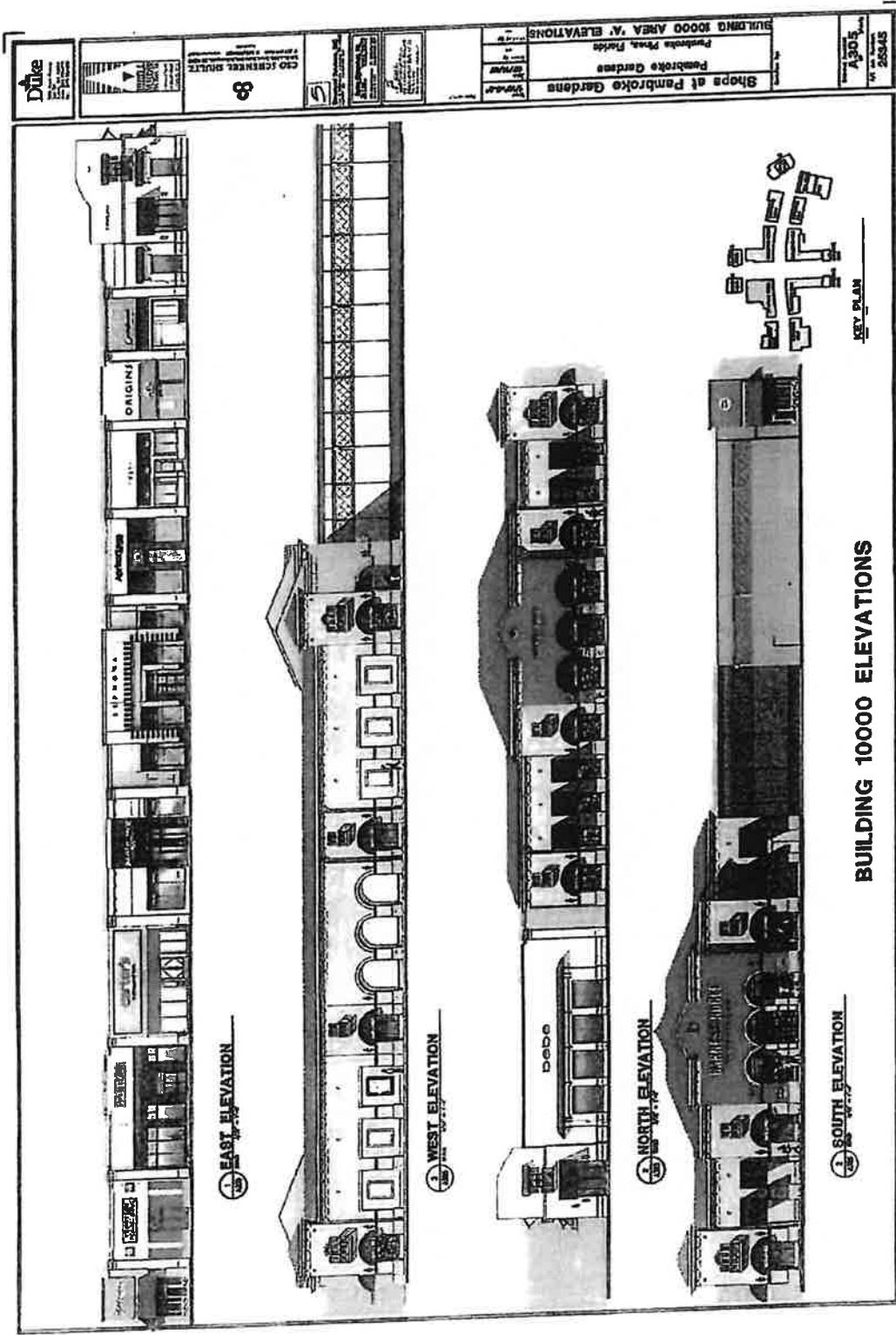


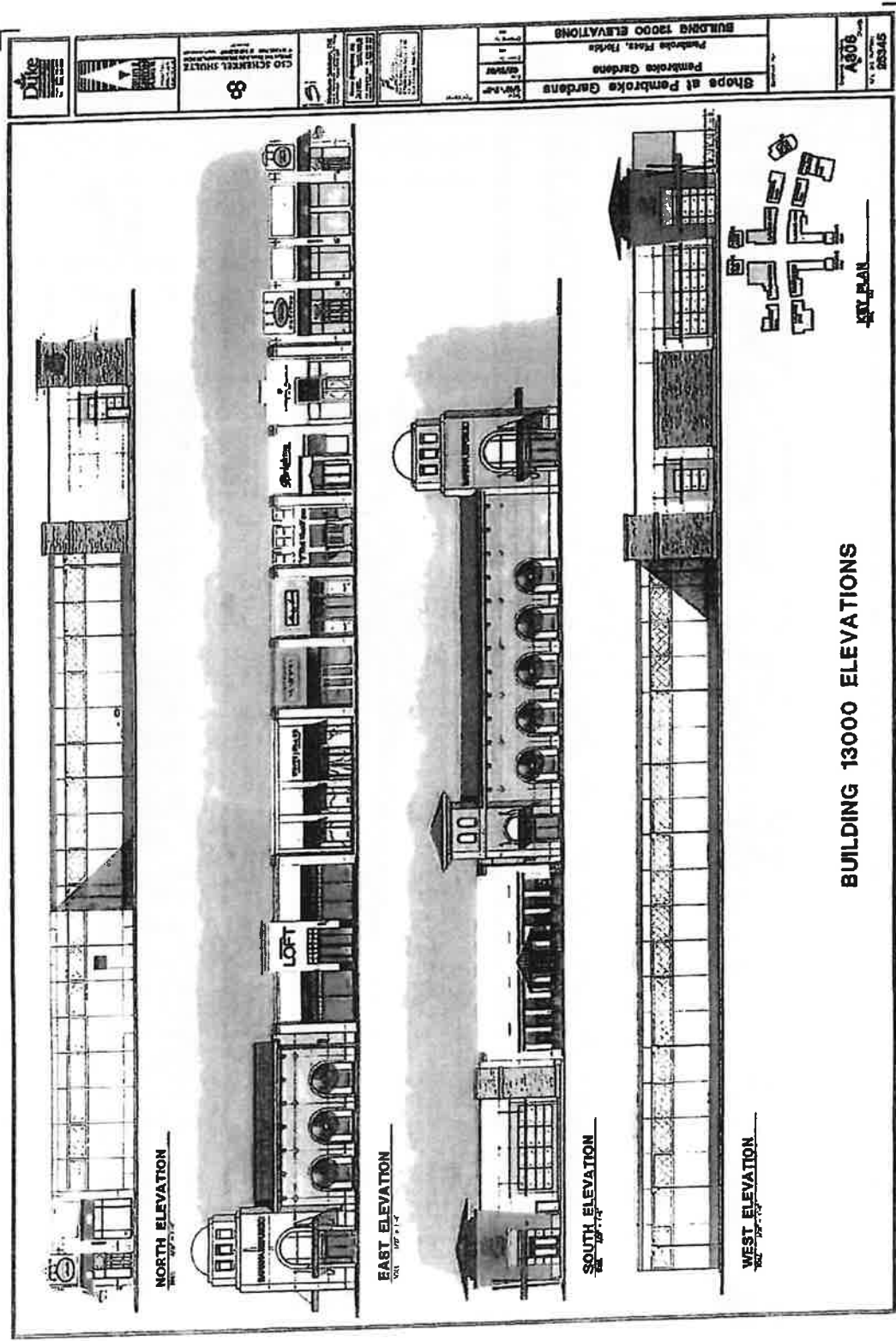
BUILDING 9000 ELEVATIONS



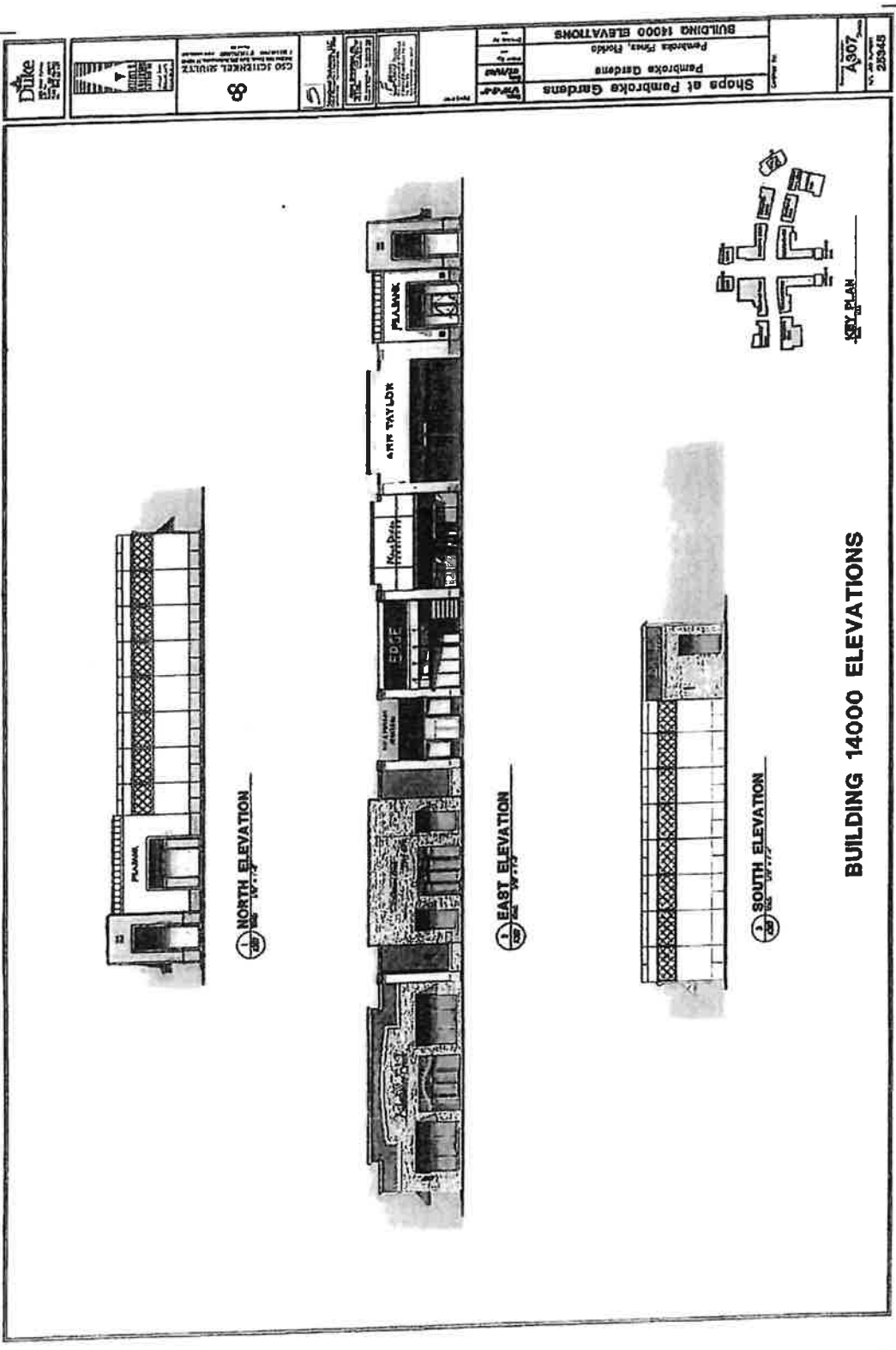
KEY PLAN

<p>Project No. A304 28346</p>	<p>Shops at Pembroke Gardens Pembroke Place, Florida BUILDING 9000 & 9000 ELEVATIONS</p>	<p>Architect Interior Exterior Landscape Mechanical Electrical Plumbing Structural Civil Other</p>	<p>8</p>	<p>CEO SCHEINER, SHULTZ</p>	<p>DATE: 10/1/12</p>	<p>Duke Architectural P.C.</p>
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A308 8/23/45	Shops at Pembroke Gardens Pembroke Plaza, Florida BUILDING 13000 ELEVATIONS	CIO SCHWARTZ SHULTZ 8 1/8" = 1'-0"	DING
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BUILDING 14000 ELEVATIONS

<p>Duke ARCHITECTS P.A.</p>	<p>8</p>	<p>8</p>	<p>8</p>	<p>8</p>	<p>8</p>	<p>8</p>	<p>8</p>
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Exhibit 20

Residential Building Identity Signage

Exhibit 21

Shared Parking Garage Entrance Signage

CLIENT
FEDERAL REALTY

180 N Federal Hwy, Suite 200, Ft. Lauderdale, FL 33301

COMPONENT
This drawing has been prepared solely for the use of the client and is not to be used for any other purpose without the written consent of the architect. The architect assumes no responsibility for the accuracy or completeness of the information provided by the client. The architect's services are limited to the design and construction of the building and do not include the design of the interior spaces, mechanical, electrical, plumbing, or other systems. The architect's services are also limited to the design and construction of the building and do not include the design of the interior spaces, mechanical, electrical, plumbing, or other systems. The architect's services are also limited to the design and construction of the building and do not include the design of the interior spaces, mechanical, electrical, plumbing, or other systems.

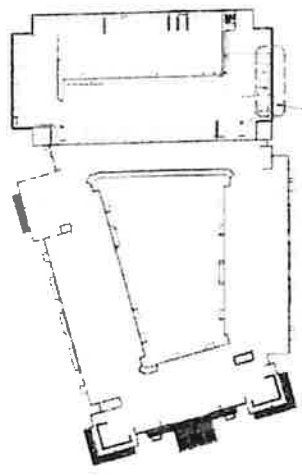
ARCHITECT
ARCADIS
180 N Federal Hwy, Suite 200, Ft. Lauderdale, FL 33301



ARCADIS
180 N Federal Hwy, Suite 200, Ft. Lauderdale, FL 33301

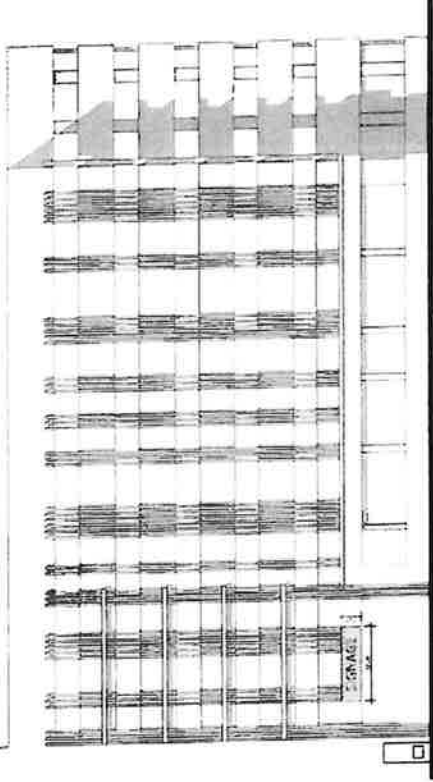
PROJECT
Penthouse, Garden Residential
Penthouse, Garden Residential
Penthouse, Garden Residential

SHEET NUMBER
AS1.07



**36 SF SHARED PARKING
GARAGE ENTRANCE SIGN**

1. NEW PLANT - B
ARCHITECT: ARCADIS

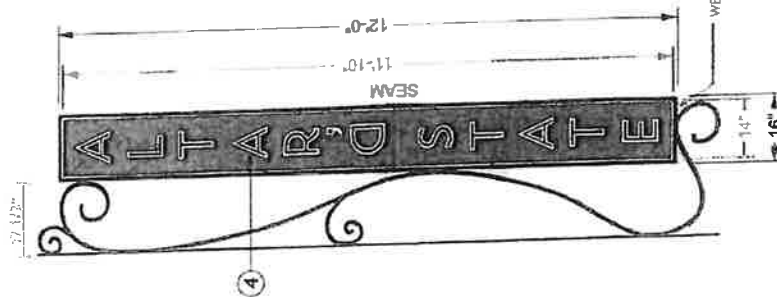


1. SHARED PARKING GARAGE ENTRANCE SIGN
ARCHITECT: ARCADIS

Exhibit 22

Projecting/Grand Blade Sign

A PUSH-THRU CABINET SIGN - ELEVATION Scale: 1/2" = 1' - 0"

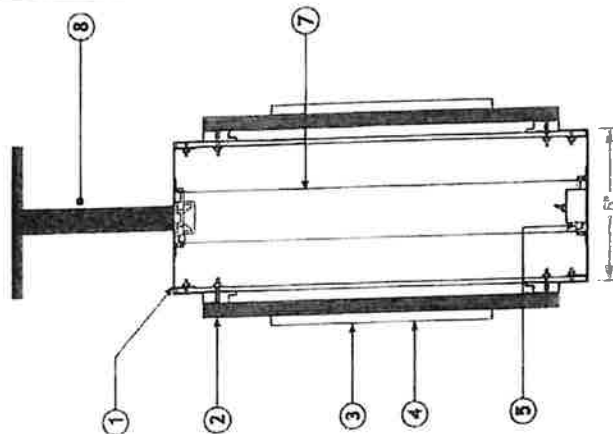


SIGN - DETAILS

- 1 6" DEEP ALUMINUM EXTRUSION CABINET, PAINTED "CHARCOAL GRAY" (EXACT COLOR T.B.D.), INSIDE PAINTED HIGH GLOSS WHITE
- 2 1" THICK CLEAR ACRYLIC PUSH THRU WITH SANDED EDGES STUDDED, BACKED WITH 1/8" POLYCARBONATE STUD MOUNTED TO EXTRUSION WITH ROUTED BROKE ALUMINUM OVERLAY PAINTED TO MATCH PANTONE METALLIC #8621C "BRONZE" #20156, TO "SHORBOX" OVER ACRYLIC (ONLY 1/4" OF ACRYLIC PUSH-THRU TO SHOW AS EDGE-LIT)
- 3 1/2" THICK ROUTED ACRYLIC PUSH-THRU "ALTAR'D STATE" LETTERS, WITH POLYCARBONATE BACKER PANEL AND STUD MOUNTED TO BACK SIDE OF ALUMINUM OVERLAY.
- 4 ALUMINUM OVERLAY PAINTED TO MATCH SW #7010 WHITE DUCK #P39439 AND IN-LINES PAINTED TO MATCH PANTONE METALLIC #8621C "BRONZE" #20156. OVERLAYS WILL BE GLUED TO THE FACE OF LETTERS.
- 5 GE TETRA EDGE STRIP HD 3000K WHITE LED UNITS TO ILLUMINATE SIGN APPLIED ALONG INSIDE TOP AND BOTTOM OF EXTRUSION. WITH SELF CONTAINED GE GE724-1000-NA LED DRIVERS (120-277 VOLT)
- 6 WEEP HOLES WITH LIGHT COVERS IN BOTH CABINETS
- 7 2" WIDE SQUARE STEEL TUBE STRUCTURE, TO RUN COMPLETELY THROUGH SIGN AND ATTACH TO WELDED ANGLES WITH NUTS AND BOLTS INSIDE OF CABINETS
- 8 SIGN WILL ATTACH TO STOREFRONT WITH SCROLL WORK ARMATURE BY OTHERS, DETAIL AND ENGINEERING T.B.D. MUST HAVE ADEQUATE MOUNTING TO HOLD WEIGHT OF SIGN.

WEEP HOLES IN BOTTOM RETURN WITH LIGHT COVERS

PUSH-THRU CABINET SIGN - DETAILS SCALE 3" = 1' - 0"



GC TO SUPPLY A 10'-0" WHIP COMING FROM INSIDE THE STORE THROUGH THE ARMATURE AND CAPPED OFF ELECTRIC LOCATION T.B.D

OPTION 1 - EDGE LIGHTING ONLY WITH OVERLAYS

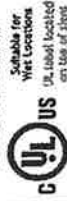
Rugles SIGN
93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199

ALTAR'D STATE

Store 235
Space 7070

THE SHOPS AT PEMBROKE
GARDENS
14560 SW 5TH STREET
PEMBROKE PINES, FL 33027

The sign is intended to be installed in accordance with the requirements of Article 608 of the National Electrical Code and/or other applicable codes and standards. Proper grounding and bonding of the sign.



Submit Date: 04/14/21
Acc Rep: Matt Boone
Designer: Derek Couch

REVISIONS

r1:	04/16/21	r1:
r2:		r8:
r3:		r9:
r4:		r10:
r5:		r11:
r6:		r12:

Exhibit 23

External Illuminated Signage/Mural/Super Graphic

External Illumination / Mural / Super Graphic



SUBJECT SITE AERIAL PHOTO

Shops at Pembroke Gardens
Miscellaneous Application (MSC2025-0012)

