



AT&T

# PEMBROKE PINES S.O.C. NEW EXIT DRIVE/WALL

13900 PINES BLVD.  
PEMBROKE PINES, FL



City of Pembroke Pines  
Received

MAY 27 2025

SP2024-0009  
Planning & Economic Development

SCOPE OF WORK:  
INSTALL NEW EXIT ONLY DRIVE, AUTOMATIC  
SLIDING GATE, DECORATIVE CONCRETE WALL AND  
LANDSCAPING AT SOUTH END OF PROPERTY.

SUB-CONSULTANT STAMP

**EVELYN  
+ ROUX**  
architects

Theodore Roux AIA  
Robert John Evelyn  
4804 E.W. 72nd Avenue  
Miami, Florida 33155  
Phone (305) 443-8118

Job No. 2379

SUB-CONSULTANT STAMP



ProCon Engineering, Inc.  
MEP Engineering Consultants

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CA #6374  
ProCon #1: 23-07

CONSULTANT STAMP



ENGINEERED  
DESIGNS INC.

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## REVISIONS / AUTHORIZATIONS

NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/28/23	
1	PERMIT COMMENTS	2/27/24	
2	CITY COMMENTS (NEW SHEET)	7/22/24	
3	NEW SHEET	5/24/24	
4	NEW SHEET	11/27/24	

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WITH APPLICATION FOR PERMITS AND AUTHORIZATIONS FOR  
BUILDINGS, CONSTRUCTION, AND/OR ZONING CHANGES.



AT&T CORPORATE  
REAL ESTATE

PROJECT: PEMBROKE PINES SOC

13900 PINES BLVD.  
PEMBROKE PINES  
FL US

E9604

SHEET TITLE:  
COVER SHEET

PROJECT TITLE:  
NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET

AT&T PROJECT NUMBER:	DATE: 1/12/24	SCALE: AS NOTED
DRAWN BY:	CHECKED BY:	
AT&T AUTHORIZATION:	SHEET: OF: SHEETS	SHEET NO:
LISSET MOREJON	AT&T DRAWING NO: E9604G000000	G000

## DRAWING LIST

G000 COVER SHEET

### SURVEY

N100 SPECIFICATIONS

### CIVIL

C100 PARTIAL SITE PLAN

C101 SECTIONS/DETAILS

C102 DETAILS

C103 EROSION CONTROL DETAILS

EC200 SEWER LATERAL PLAN AND DETAILS.

### LANDSCAPING

L100 PARTIAL LANDSCAPE PLAN

L200 SPECIFICATIONS, DETAILS

L300 PARTIAL TREE DISPOSITION PLAN

### ARCHITECTURAL

A100 SITE PLAN

A101 PARTIAL SITE PLAN

A102 DRIVEWAY PLAN, NOTES

A103 WALL ELEVATIONS

A104 TYPICAL WALL SECTION

### FIRE ACCESS PLANS

FA100 FIRE ACCESS SITE PLAN

FA200 FIRE ACCESS/DETAILS

### ELECTRICAL

E01 PARTIAL SITE PLAN

E02 PARTIAL SITE PLAN, PHOTOMETRIC

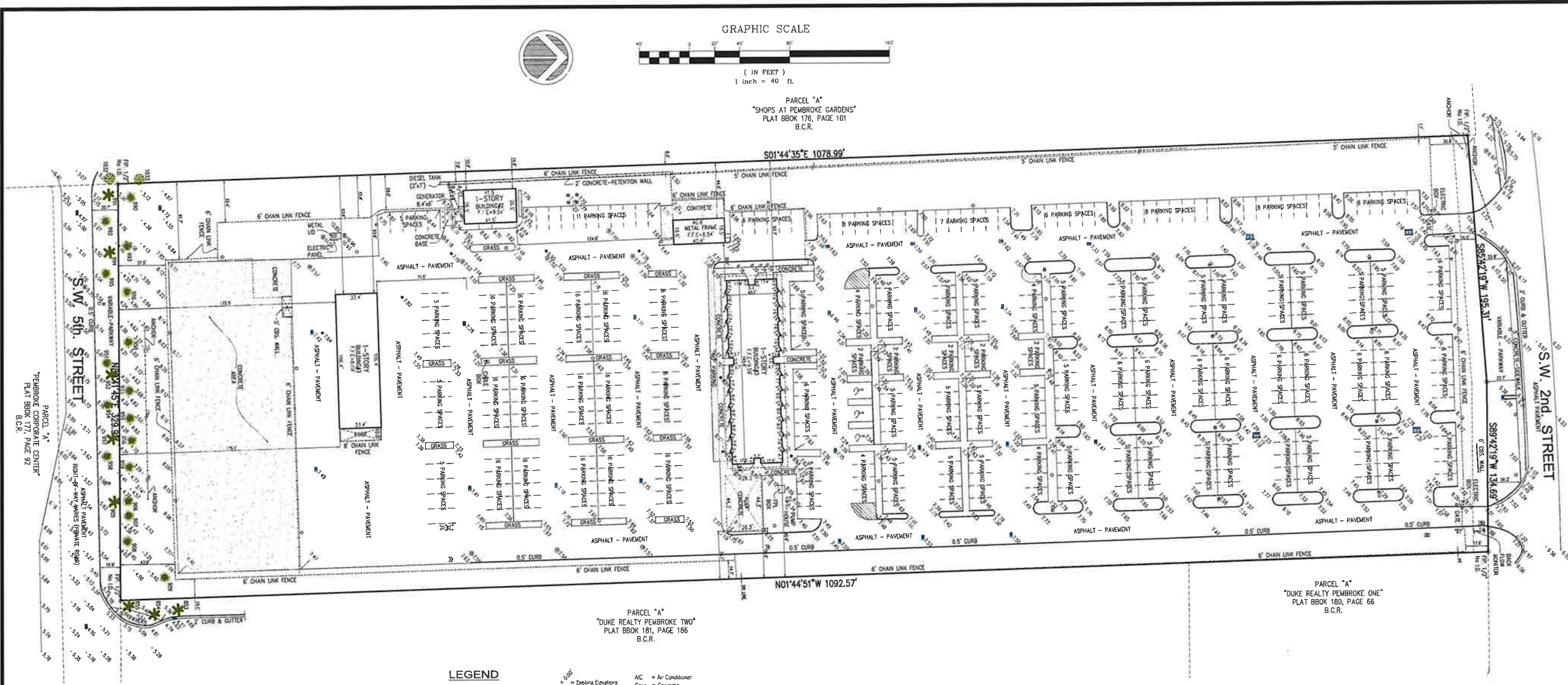
E03 LIGHT POLE DETAILS

E04 GATE MOTOR

E05 LIGHT DETAILS



1. DRAWING LAYOUT PINE BOULEVARD, PLOT 162-462, 1/16/2024



PARCEL "A"  
PEMBROKE CORPORATE CENTER  
PLAT BOOK 177, PAGE 92  
B.C.R.

TREE TABULATION:

TREE ID #	TYPE (COMMON NAME)	DIAMETER (IN) @ 4.5' (BREAST HEIGHT)	HEIGHT (OAH) FT	CANOPY (CAO) FT
853	ROYAL PALM	16	30	15
854	ROYAL PALM	13	30	15
855	ROYAL PALM	14	30	15
905	ROYAL PALM	16	25	15
906	OAK	10	30	20
907	OAK	8	25	20
908	OAK	18	25	40
909	OAK	19	35	40
950	OAK	21	30	40
951	OAK	6	20	20
952	ROYAL PALM	15	30	15
953	OAK	26	30	40
954	OAK	10	25	20
955	OAK	11	25	20
956	OAK	30	30	40
957	ROYAL PALM	15	30	15
958	OAK	7	20	20
959	OAK	21	30	40
990	OAK	16	30	40
991	ROYAL PALM	12	35	15
992	OAK	9	18	15
993	OAK	22	30	40
994	ROYAL PALM	14	35	15
995	OAK	7	20	15
996	OAK	19	30	40
1032	MAHOGANY	12	20	25
1033	MAHOGANY	14	30	35

LEGEND

- Overhead Wire Line

Wood Fence

Chain Link Fence

Iron Fence

Monument Line

Centerline

Property Line
- A = Arc

BRG = Bearing

Ch = Chord

A = Delta

L = Length

R = Radius

T = Tangent

Ø = Diameter
- + 0.00'

Existing Elevations

Catch Basin

Water Meter

Electric Box

Sanitary Manhole

Sprinkler Pump

Wood Pole

Conc. Pole

Light Pole

Fire Hydrant

Water Valve

Inlet

Cable TV Box

Electric Meter Box

Traffic Signal Box

Gas Valve

Monitoring Valve

Manhole
- AC = Air Conditioner

Conc. = Concrete

C.B.S. = Concrete Block & Stucco

(D) = Ditch

D.E. = Drainage Easement

D.M.E. = Drainage Maintenance Easement

F.D.H. = Found Drill Hole

F.F.E. = Finish Floor Elevation

F.I.P. = Found Iron Pipe/In

F.I.R. = Found Iron Rebar

F.N. = Found Nail

F.N.D. = Found Nail & Disc

F.P.L. = Florida Power Light

H = Height

L.M.E. = Lake Maintenance Easement

(M) = Measured

(P) = Platbook

P.O.B. = Point of Beginning

P.O.C. = Point of Commencement

(R) = Record

Res. = Residence

S.P.K. = Set Iron Pole/Rebar

S = Spread

U.E. = Utility Easement



SURVEYOR'S NOTES:

- The Legal Description was provided by the Client from most recent County Records available.
  - This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
  - There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
  - No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences, except as shown hereon, if any.
  - Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
  - Contact the appropriate authority prior to any design work on the herein - described parcel for Building and Zoning information.
  - The surveyor does not determine fence and/or wall ownership.
  - Accuracy:  
The Horizontal positional accuracy of well-defined improvement on this survey is +/-0.2'.  
The Vertical accuracy of elevations of well-defined improvement on this survey is +/-0.1'.
  - All measurements shown hereon are made in accordance with the United States Standard Feet.
  - Type of survey SKETCH OF SURVEY.
  - North arrow direction and/or Bearings are as shown on the aforementioned Plat.
  - Elevations shown hereon are relative to North American Vertical Datum of 1986.
  - Benchmark Used: Broward County Benchmark, BM# 3187, ELEV. = +11.53(29-NGVD).
  - Flood Zone Data: Community/ Panel #120053/0540/H Dated: 8/18/2014  
Flood Zone: "AH" Base Flood Elevation = +6.0'
  - This SURVEY has been prepared for the exclusive use of the entities named hereon.  
The Certificate does not extend to any unnamed party.
- SOUTHERN BELL TELEPHONE & TELEGRAPH COMPANY

PROPERTY ADDRESS:

13900 PINES BOULEVARD, PEMBROKE PINES, FLORIDA 33027  
Folio# 5140-15-02-0010

LEGAL DESCRIPTION

Parcel "A" of "SOUTHERN BELL PEMBROKE PINES", according to the Plat thereof, as recorded in Plat Book 112, Page 40, of the Public Records of Broward County, Florida.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY:  
That this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.051, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
Printed copies are Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Digital Copies are Not valid without an electronic authorized signature of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

- For the Firm Royal Point Land Surveyors, Inc. LB# 7282
- JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER LS# 6231 STATE OF FLORIDA
  - PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER LS# 5860 STATE OF FLORIDA

This Document is not full and complete without all Sheets, Containing a total of (1) Sheets

ROYAL POINT  
LAND SURVEYORS, INC. L.B.# 7282  
info@RoyalPointLS.com  
6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FL. 33014 \*\*\* TEL: 305-822-6062 \*\*\* FAX: 305-827-9669

PREPARED FOR:  
SOUTHERN BELL TELEPHONE & TELEGRAPH COMPANY

DRAWN: WEB

CHECKED: P.J.A.

SCALE: 1" = 40'

FIELD DATE: 12/26/2023

JOB No.: RP23-1625

SHEET:

1

OF 1 SHEET

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft

PARCEL "A"  
"SHOPS AT PEMBROKE GARDENS"  
PLAT BOOK 176, PAGE 101  
B.C.R.

PARCEL "A"  
"DUKE REALTY PEMBROKE TWO"  
PLAT BOOK 181, PAGE 186  
B.C.R.

PARCEL "A"  
"DUKE REALTY PEMBROKE ONE"  
PLAT BOOK 66, PAGE 66  
B.C.R.

RECORD OF REVISION





AT&T

# PEMBROKE PINES S.O.C. NEW EXIT DRIVE/WALL

13900 PINES BLVD.  
PEMBROKE PINES, FL



#### SCOPE OF WORK:

INSTALL NEW EXIT ONLY DRIVE, AUTOMATIC  
SLIDING GATE, DECORATIVE CONCRETE WALL AND  
LANDSCAPING AT SOUTH END OF PROPERTY.

#### DRAWING LIST

G000 COVER SHEET

CIVIL

C100 PARTIAL SITE PLAN  
C101 SECTIONS/DETAILS  
C102 DETAILS  
C103 EROSION CONTROL DETAILS  
EC200 SEWER LATERAL PLAN AND DETAILS.

#### FIRE ACCESS PLANS

FA100 FIRE ACCESS SITE PLAN  
FA200 FIRE ACCESS/DETAILS



NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET

#### SUB-CONSULTANT STAMP

**EVELYN  
+ ROUX**  
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Robert Roux Evelyn  
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Job No. 2379

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ProCon #: 03-07

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#### REVISIONS / AUTHORIZATIONS

NO.	REVISION / AUTHORIZATION	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/26/24	
1	PERMIT COMMENTS	12/27/24	
2	CITY COMMENTS (NEW SHEET)	1/23/25	
3	NEW SHEET	10/24/24	
4	NEW SHEET	11/27/24	
5	DRG COMMENTS ON PERMIT SET	5/2/25	

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DRAWINGS PREPARED FOR  
**AT&T CORPORATE  
REAL ESTATE**

PEMBROKE PINES SOC

13900 PINES BLVD.  
PEMBROKE PINES  
FL US

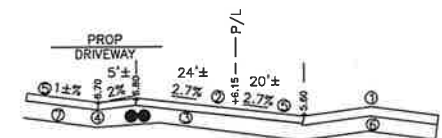
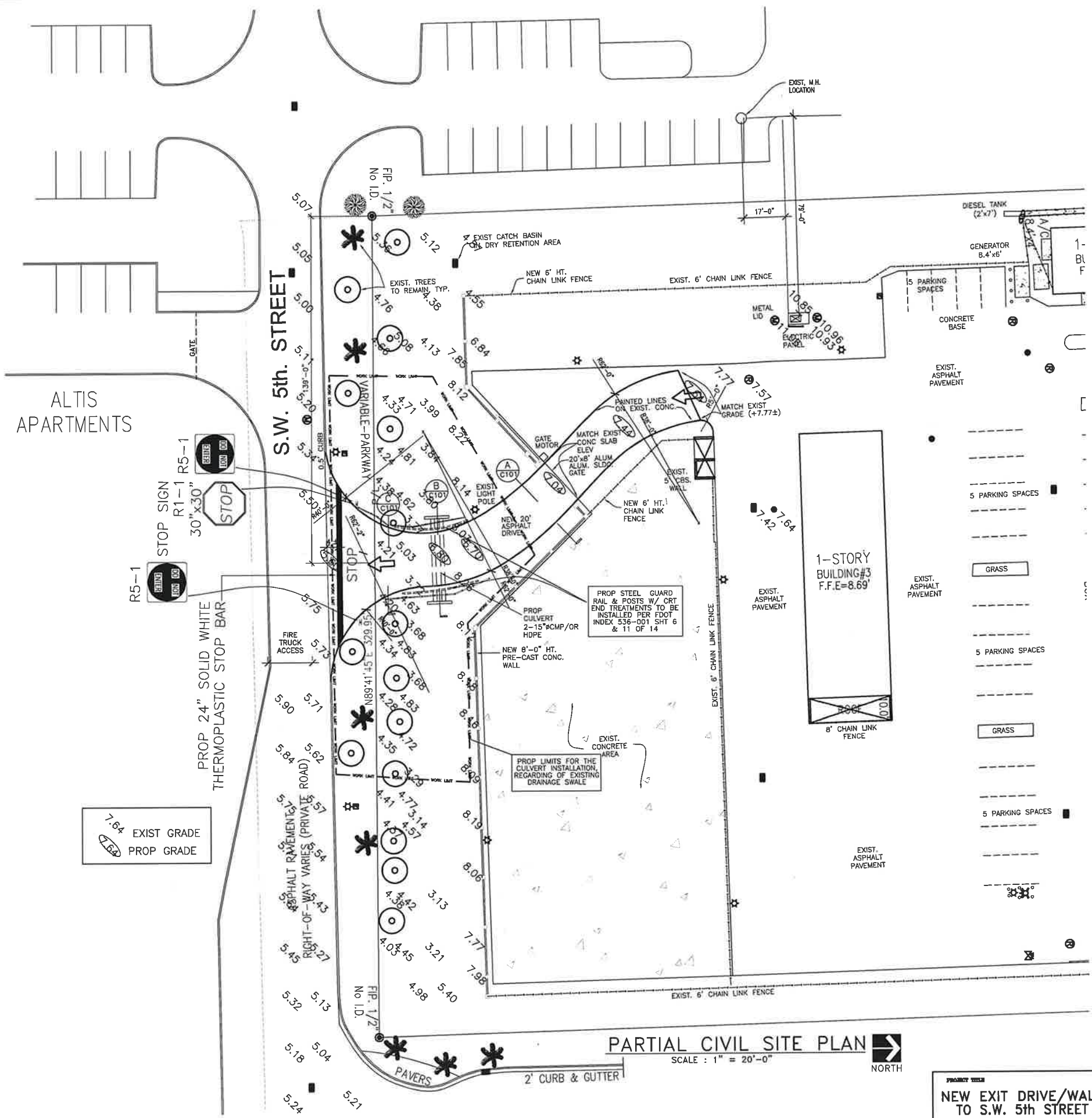
E9604

SHEET TITLE:  
COVER SHEET

AT&T PROJECT NUMBER:	DATE: 1/12/24	SCALE: NONE
DRAWN BY: TR	CHECKED BY: KMG	
AT&T AUTHORIZATION:	SHEETS: 1 OF: 6 SHEETS	SHEET NO.
LUSSET MOREJON	AT&T DRAWING NO.: E9604G00000	G000



4



1. C/L Of Exist Asphalt Roadway See Plan For Elevation
2. Proposed Asphalt Driveway See Civil Section Details For Material Details
3. High Point Of Proposed Driveway 24'± Form P/L
4. Low Point Of Proposed Driveway 5' From High Point
5. Proposed Driveway See Civil Section Details For Material Details
6. Existing Compacted Limerock Base & Compacted Subgrade Material
7. Proposed 8" Compacted Limerock Base Over Stabilized Subgrade Material 95% Density
8. Proposed 2-15" Diameter Culverts See Plans For Details

SECTION THRU DRIVEWAY

7.64  
EXIST GRADE  
7.62  
PROP GRADE

PARTIAL CIVIL SITE PLAN  
SCALE : 1" = 20'-0"  
NORTH

NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET

SUB-CONSULTANT STAMP  
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Phone: 305.806.8361; E-Mail: kugroos@att.net  
Certificate of Authorization 27418

KEN W. GROCE  
LICENSE  
No. 35944  
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PROFESSIONAL ENGINEER

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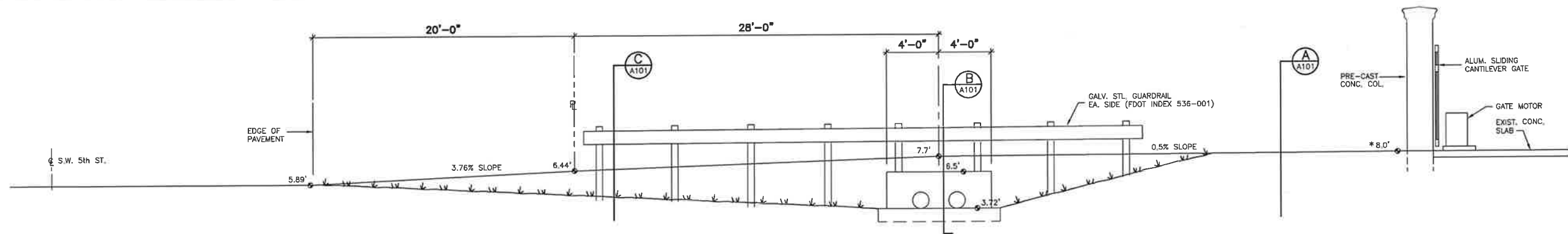
REVISIONS / AUTHORIZATIONS			
NO.	REVISION / AUTHORIZATION	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/29/24	TR
4	DRG COMMENTS	9/24/24	TR
5	DRG COMMENTS	7/15/24	KWG
6	DRG COMMENTS	6/25/24	KWG

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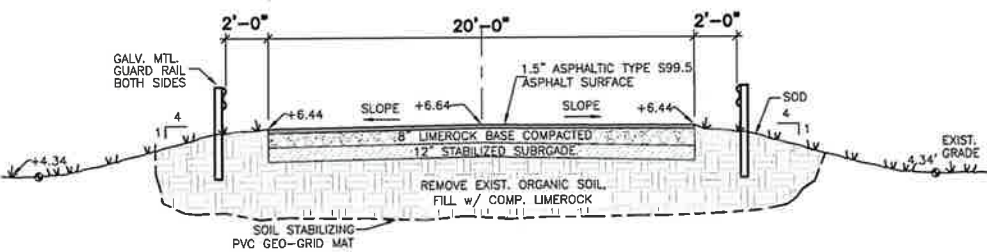
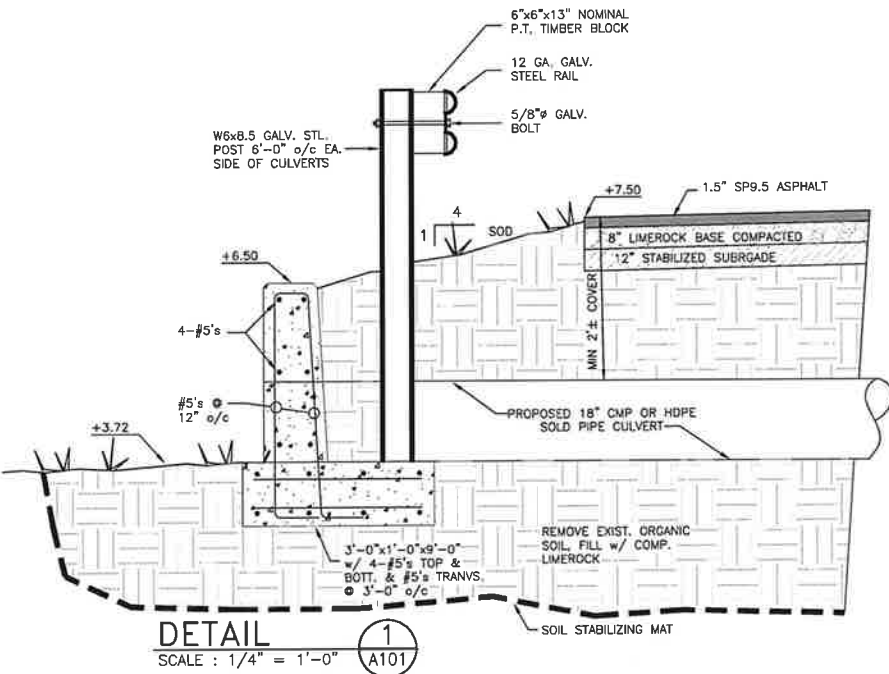
DRAWINGS PREPARED FOR  
**AT&T** CORPORATE  
REAL ESTATE  
PEMBROKE PINES S.O.C.  
13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

SHEET TITLE: PARTIAL SITE PLAN CIVIL			
AT&T PROJECT NUMBER:	DATE: 1/12/24	SCALE:	
AT&T AUTHORIZATION:	DRAWN BY: KWG	CHECKED BY: KWG	
LISSET MORENO	SHEET: 2 OF 8 SHEETS	SHEET NO.	C100
	AT&T DRAWING NO.: E9604C10100		

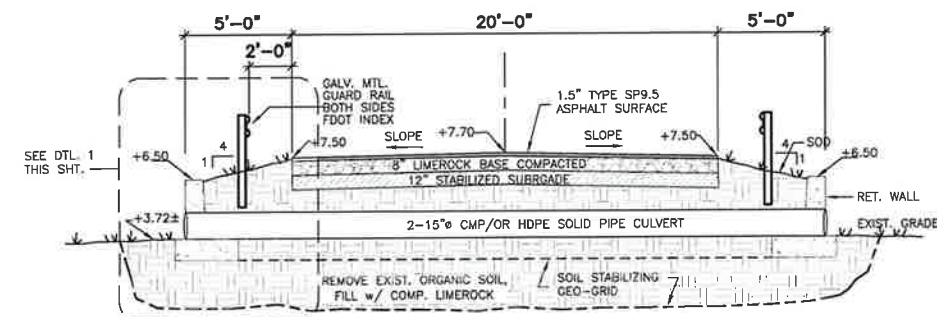




SECTION THRU C OF ROAD  
SCALE : 1/4" = 1'-0"



SECTION C  
SCALE : 1/4" = 1'-0"



SECTION @ CULVERT B  
SCALE : 1/4" = 1'-0"

- GENERAL NOTES:
- Proposed Asphalt To Be Minimum 1.5" SP9.5 ASPHALT
  - Proposed Swale Area By The Proposed Driveway To Be Compacted Subgrade (Min LBR = 40)
  - Proposed Base Under Roadway To Be 8" Compacted Limerock Base Course, Fully Primed And Tack Coated, Min LBR 100, Compacted to 98% Density, With Minimum Calcium Carbonate Content of 70%
  - Proposed Soils Under Roadway To Be 12" Stabilized Subgrade (Min LBR = 40) Compacted to 98% Density
  - Unsuitable Soils Shall Be Removed As Required And Replaced With Limerock Material.

#### GENERAL NOTES:

- ALL ELEVATIONS REFER TO N.G.V.D. (1929).
- ALL WORK SHALL CONFORM TO PEMBROKE PINES PUBLIC ENGINEERING DIVISION STANDARDS, AND FLORIDA D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION
- LIME ROCK BASE COURSE: AT LEAST 97% (BY WEIGHT) OF THE MATERIAL SHALL PASS A 3.5" SIEVE AND NO MORE THAN 70% SHALL PASS A 3/4" SIEVE AND THE MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST, ALL CRUSHING WHICH MIGHT BE NECESSARY IN ORDER TO MEET SUCH SIZE REQUIREMENT SHALL BE DONE BEFORE THE MATERIAL IS PLACED ON THE PARKING & DRIVES AREA.
- MATERIAL HAVING A LIME ROCK BEARING RATIO (L.B.R.) LESS THAN 100 WILL NOT BE ALLOWED FOR BASE MATERIAL. STABILIZED SUB-BASE MATERIAL SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD. SUB-BASE MATERIAL SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-180 METHOD.
- PRIME COAT ON LIME ROCK BASE COURSE SHALL MEET F-D.O.T. STANDARD AS SET FORTH IN SECTION 300.
- ASPHALTIC CONCRETE PAVEMENT SURFACE SHALL BE OF TYPE SP9.5. TYPE SP9.5 ASPHALTIC CONCRETE SHALL MEET F-DOT STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331, UNLESS SPECIFIED OTHERWISE.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- IN THE EVENT THAT UNSUITABLE SOILS (MUCK) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED PARKING LOT & DRIVES, THE CONTRACTOR SHALL REMOVE SAID SOILS TO ITS FULL DEPTH. THE EXCAVATED MATERIAL SHALL BE SUBSTITUTED WITH 40 LBR SOILS COMPACTED TO 95% IN 12" LAYERS.
- ALL CONSTRUCTION MATERIAL TO BE DISPOSED (RUBBISH, DEBRIS EXCESS FILL, ETC.) SHALL BE DISPOSED AT LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL MADE FOR THIS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER, ENGINEER OF RECORD, RER, THE RESPECTIVE PUBLIC WORKS DEPARTMENT AND FLORIDA DEPARTMENT OF TRANSPORTATION.
- DENSITY TEST SHALL BE PERFORMED EVERY 7000 SQUARE FEET FOR BASE AND SUB-BASE MATERIAL. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR HIS APPROVAL AS WELL AS THE RESPECTIVE PUBLIC WORKS DEPARTMENT PERFORMING THE SITE INSPECTIONS.
- ALL CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 945.
- ALL PIPE BEDDING SHALL BE OF GOOD GRANULAR QUALITY, FREE OF EXCESSIVE FINES. AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BEDDING SHALL BE A MINIMUM OF 12" THICK.
- TRENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL FREE OF LARGE LOGS, STONES OR ROCKS AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL ENOUGH FILL HAS BEEN PLACED TO PROVIDE A COVER OF NOT LESS THAN ONE FOOT ABOVE THE PIPE. THE REMAINDER OF BACK FILL MATERIAL SHALL BE PLACED IN 12" LAYERS MOISTENED AND COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-180 METHOD.
- INLETS AND MANHOLE LOCATION DICTATE OVER CULVERTS LENGTHS; FOR EXACT LOCATION OF STRUCTURES
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL PRIOR TO INSTALLATION.
- AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE DRAINAGE SYSTEM IS CLEAN OF DEBRIS OR ANY OTHER FOREIGN OBJECT. THE SITE SHALL BE CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
- ALL PIPE CALLED HDPE OR OPP TO BE HIGH STRENGTH CORRUGATE POLYETHYLENE PIPE WITH SMOOTH INTERIOR. PIPE SHALL MEET AASHTO M294 TYPE 'S' SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12 TO 36 IN DIAMETER, ASTM D1248, ASTM D3350 & ASTM F405. PIPE INSTALLATION FOR C.P.P. SHALL BE IN ACCORDANCE WITH ASTM 2321. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE. PIPE SHALL BE ADS N-12, HANCOR HI-Q OR APPROVED EQUAL.
- ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER PER THE FOLLOWING STANDARDS:
  - THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
  - MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD LATEST EDITION)
  - CHAPTER 90-86 (CS/BS 2625) OF THE FLORIDA TRENCH SAFETY ACT
  - ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE DESIGN OR MAINTENANCE OF THE TRENCH SAFETY, EXCAVATION OR SHORING

SUB-CONSULTANT STAMP  
**CHEROKEE CONSULTING, INC**  
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Certificate of Authorization 27418

KEVIN W. GROCE  
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REVISIONS / AUTHORIZATIONS			
NO.	REVISION / AUTHORIZATION	DATE	BY
A	ISSUED FOR REVIEW	4/2/08	TR
1	DRC COMMENTS	4/2/08	KWG

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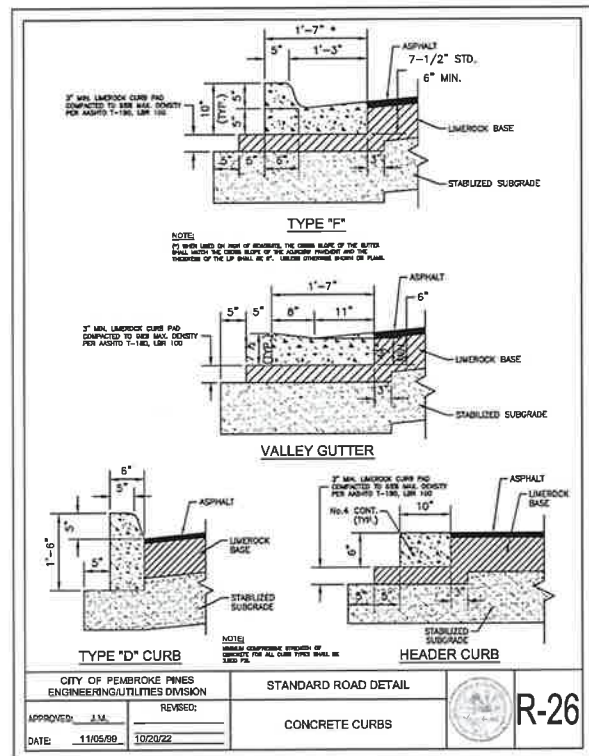
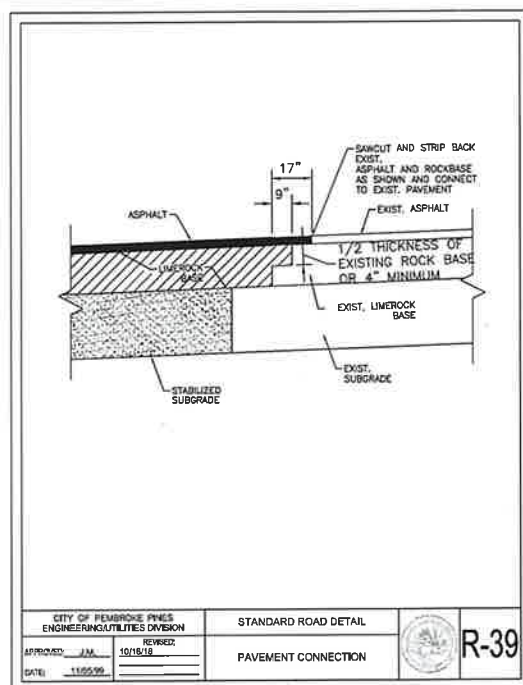
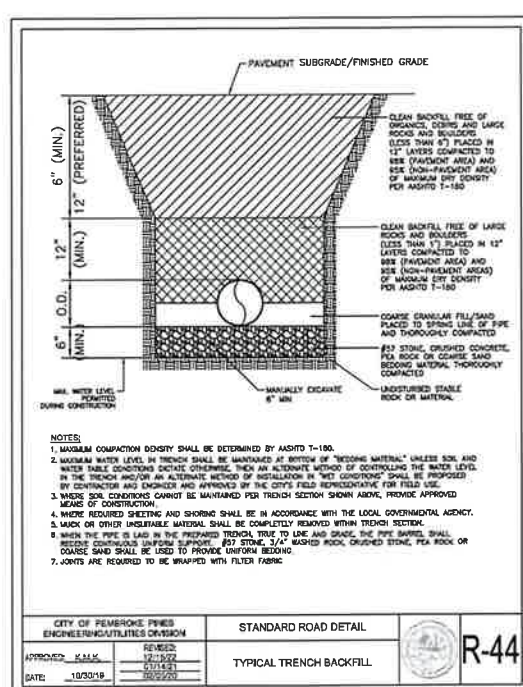
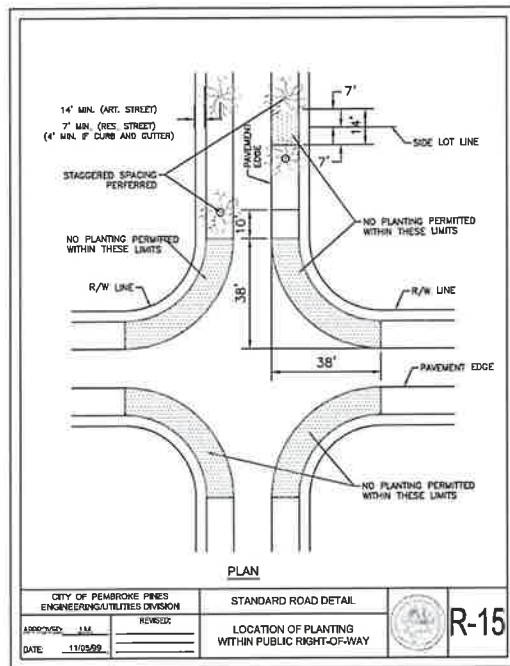
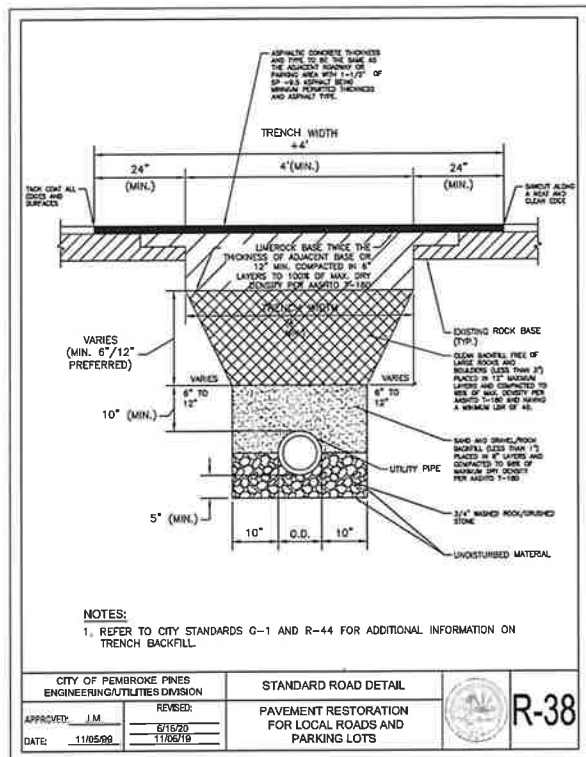
DRAWINGS PREPARED FOR  
**AT&T CORPORATE REAL ESTATE**  
**PEMBROKE PINES S.O.C.**

13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

SHEET TITLE			
SECTIONS/DETAILS CIVIL			
AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED	
DRAWN BY:	CHECKED BY:		
AT&T AUTHORIZATION:	SHEET: 3 OF 6 SHEETS	SHEET NO.	
	AT&T DRAWING NO.: E9604C101012	C101	

PROJECT TITLE  
**NEW ENTRY/EXIT DRIVE TO S.W. 5th STREET**

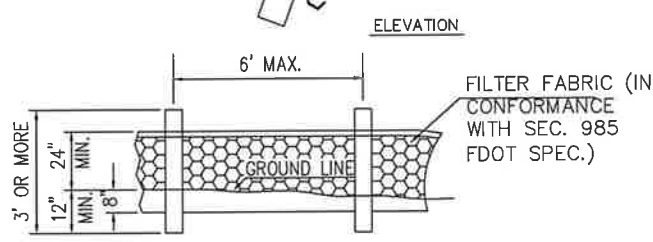
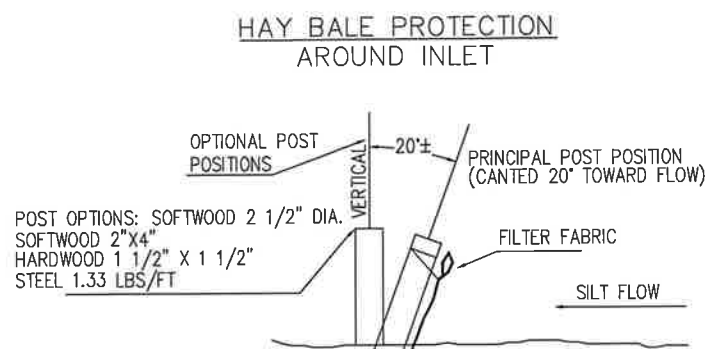
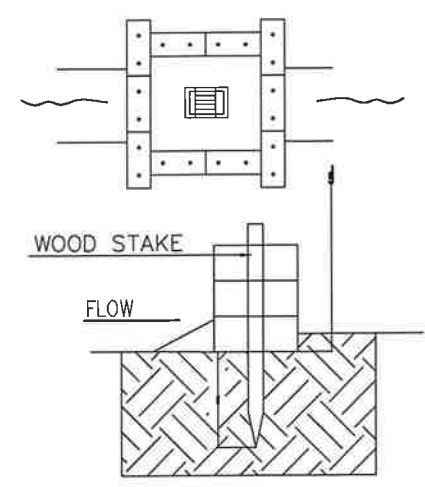
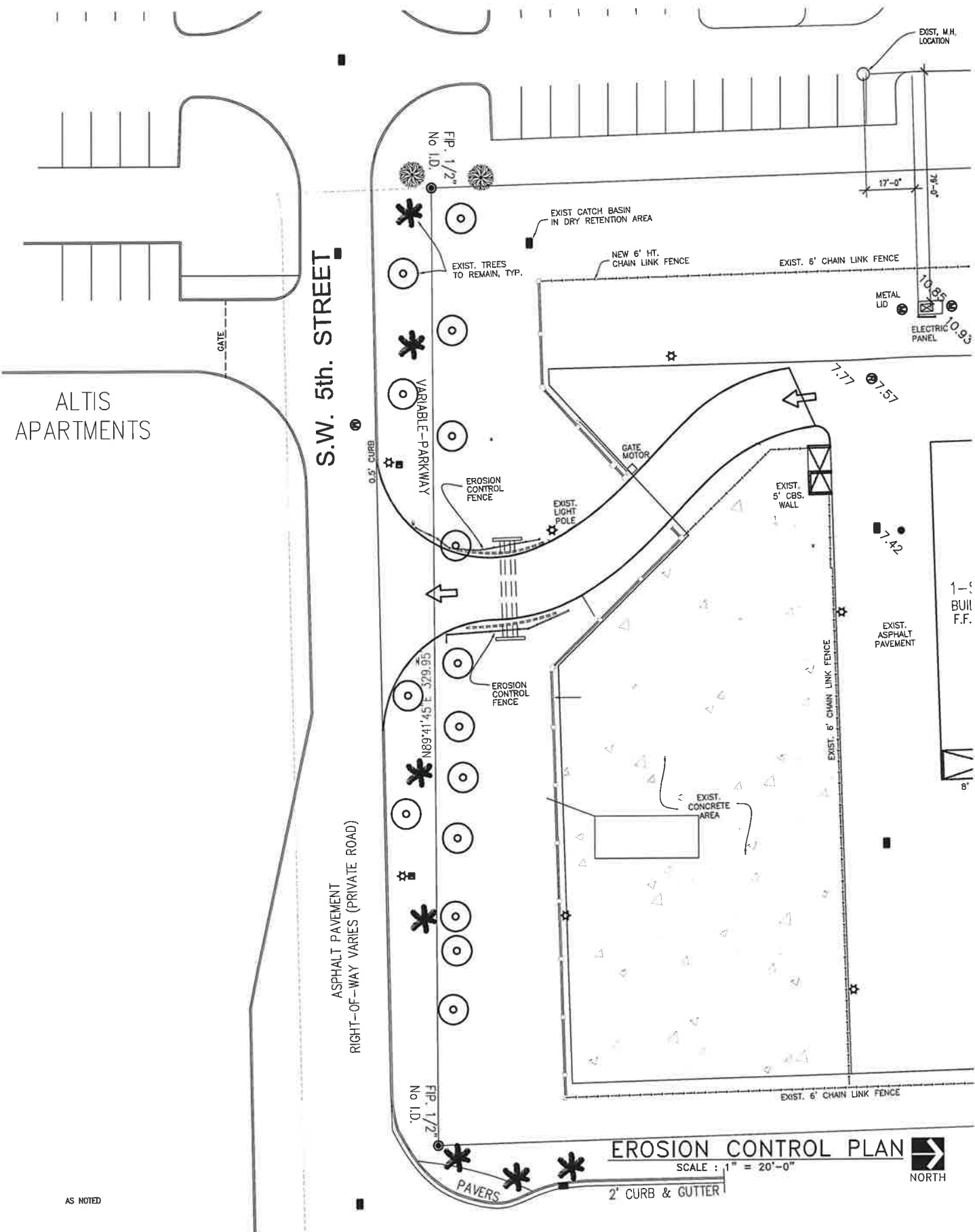




## STANDARD DETAILS

PROJECT TITLE  
**NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET**

SUB-CONSULTANT STAMP			
<b>CHEROKEE CONSULTING, INC</b> CIVIL ENGINEERS 5821 SW 51 TERRACE, MIAMI, FLORIDA 33155 Phone: 305.205.2301; E-Mail: chugroce@att.net Certificate of Authorization 27418			
SUB-CONSULTANT STAMP			
<b>EVELYN + ROUX</b> architects Theodore Roux AIA Robert John Evelyn 4354 S.W. 72nd Avenue Miami, FL 33155 phone (305) 443-8118 Job No. 2379			
CONSULTANT STAMP			
<b>ENGINEERED DESIGNS INC.</b> 1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518 P 919.851.8481 F 919.851.9703 www.engineereddesigns.com			
REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/11/20	TR
4	DRG COMMENTS	6/24/24	TR
5	DRG COMMENTS	2/19/20	KWG
6	DRG COMMENTS	6/2/20	KWG
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DRAWINGS PREPARED FOR <b>AT&amp;T CORPORATE REAL ESTATE</b> <b>PEMBROKE PINES S.O.C.</b> 13900 PINES BLVD. PEMBROKE PINES FL US E9604			
SHEET TITLE: <b>PARTIAL SITE PLAN CIVIL</b>			
AT&T PROJECT NUMBER:	DATE: 1/12/24	SCALE:	
DESIGN BY: KWG	CHECKED BY: KWG		
AT&T AUTHORIZATION:	SHEET: 4 OF: 6 SHEETS	SHEET NO.	
LISSET MOREJON	AT&T DRAWING NO.: E9604C10100		C102



### TEMPORARY SILT FENCE

- NOTES:
1. HAY BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1" X 2" (OR 1" DIAM.) X 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
  2. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
  3. SILT FENCES SHALL BE PROVIDED AS SHOWN TO AROUND THE LAKE TO PREVENT CONSTRUCTION DEBRIS FROM WASHING INTO LAKE.
  4. HAY BALES SHALL BE INSTALLED AT ALL NEW AND AND EXISTING INLETS DURING CONSTRUCTION.

### EROSION CONTROL DETAILS

SUB-CONSULTANT STAMP  
**CHEROKEE CONSULTING, INC**  
 CIVIL ENGINEERS  
 5821 SW 61 TERRACE, MIAMI, FLORIDA 33155  
 Phone: 305.205.2301; E-Mail: bngroce@att.net  
 Certificate of Authorization 27418

SUB-CONSULTANT STAMP  
**EVELYN ROUX**  
 Theodore Roux, AIA  
 Robert John Evelyn  
 4854 S.W. 72nd Avenue  
 Miami, FL 33155  
 Phone: (305) 443-8118  
 Job No. 2379

CONSULTANT STAMP  
**ENGINEERED DESIGNS INC.**  
 1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518  
 P 919.851.8481 F 919.851.9703 www.engineeredesigns.com

REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/20/24	TR
4	DRG COMMENTS	9/24/24	TR
5	DRG COMMENTS	7/19/24	KWG

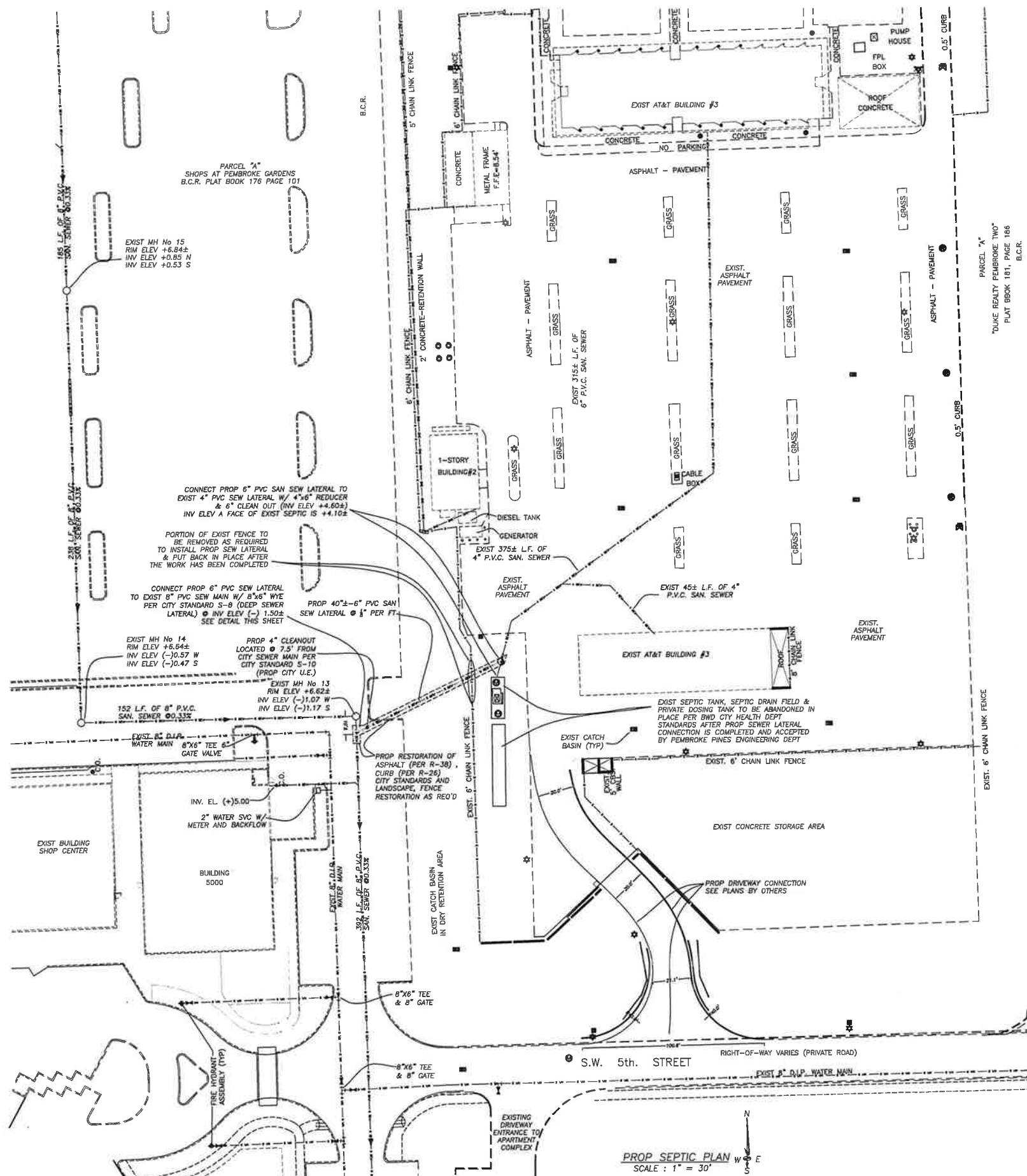
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DRAWINGS PREPARED FOR  
**AT&T CORPORATE REAL ESTATE**  
**PEMBROKE PINES S.O.C.**  
 13900 PINES BLVD.  
 PEMBROKE PINES  
 FL US  
 E9604

SHEET TITLE: EROSION CONTROL PLAN CIVIL			
AT&T PROJECT NUMBER:	DATE: 1/12/24	SCALE: AS NOTED	
DRAWN BY: KWG	CHECKED BY: KWG		
AT&T AUTHORIZATOR:	SHEET: 5 OF: 6 SHEETS	SHEET NO.	
LISSET MOREJON	AT&T DRAWING NO.: E9604C10100		C103

PROJECT TITLE  
**NEW EXIT DRIVE/WALL  
 TO S.W. 5th STREET**



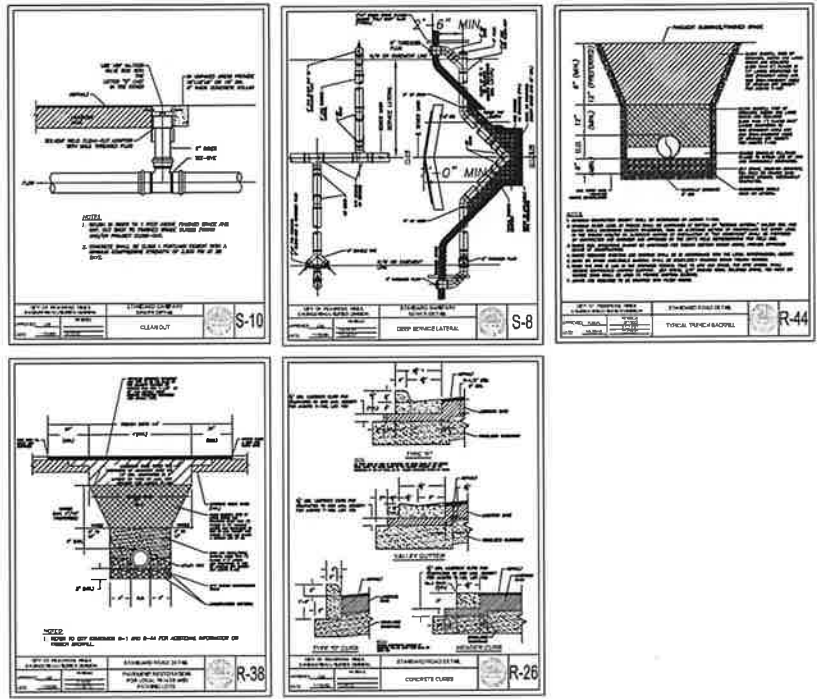
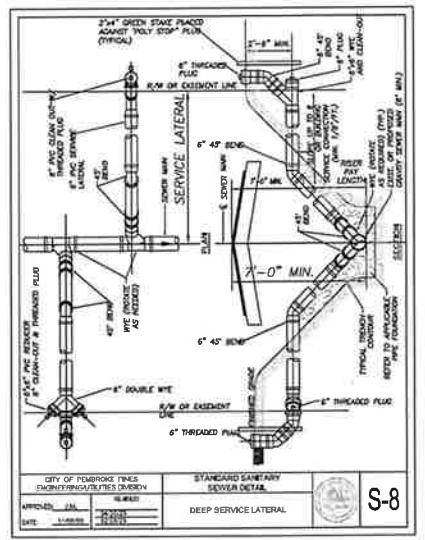


# GENERAL NOTES:

1. ALL ELEVATIONS REFER TO N.G.D. (1929).
2. ALL WORK SHALL CONFORM TO PEMBROKE PINES PUBLIC WORKS DEPARTMENT'S WATER, SEWER, GRADING AND DRAINAGE REGULATIONS AND STANDARDS, AND FLORIDA D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
3. LINE ROOF BASE COURSE: AT LEAST 8" (BY WEIGHT) OF THE MATERIAL SHALL PASS A 3/4" SIEVE AND NO MORE THAN 70% SHALL PASS A 2 1/4" SIEVE AND THE MATERIAL SHALL BE GRADED UNIFORMITY DOWN TO 100%. ALL CHUCKING WHICH MUST BE NECESSARY IN ORDER TO MEET EXISTING ROADWAY SHALL BE DONE BEFORE THE MATERIAL IS PLACED ON THE PAVING & DRIVES AREA.
4. MATERIAL HAVING A LINE ROOF BEARING RATIO (L.B.R.) LESS THAN 100 WILL NOT BE ALLOWED FOR BASE MATERIAL. STABILIZED SUB-BASE SHALL HAVE A MIN. L.B.R. = 40 UNDER ALL ASPHALT AREAS.
5. BASE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-150 METHOD. SUB-BASE MATERIAL SHALL BE COMPACTED TO 85% OF THE MODIFIED PROCTOR COMPACTION TEST, PER AASHTO T-150 METHOD.
6. PRIME COAT ON LINE ROOF BASE COURSE SHALL MEET F-300.7, STANDARD AS SET FORTH IN SECTION 306.
7. ASPHALTIC CONCRETE PAVEMENT SURFACE SHALL BE OF TYPE S-3, TYPE S-3 ASPHALTIC CONCRETE SHALL MEET F-300.7 STANDARD SPECIFICATIONS AS SET FORTH IN SECTION 331, UNLESS SPECIFIED OTHERWISE.
8. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. ONLY ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRIC METHODS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE CONTRACTOR AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
9. IN THE EVENT THAT UNSUITABLE SOILS (MUD) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED PAVING LOT & DRIVES, THE CONTRACTOR SHALL REMOVE SAID SOILS TO ITS FULL DEPTH. THE EXISTING MATERIAL SHALL BE SUBSTITUTED WITH 40 LBS SOILS COMPACTED TO 95% IN 12" LAYERS.
10. ALL CONSTRUCTION MATERIAL TO BE DEPOSITED (MUD, EXCESS FILL, ETC.) SHALL BE DEPOSITED AT A LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED METHOD. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DEPOSITED SATISFACTORILY. NO SEPARATE PAYMENT WILL BE MADE FOR THIS.
11. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER, ENGINEER OF RECORD, THEN, THE RESPECTIVE PUBLIC WORKS DEPARTMENT AND FLORIDA DEPARTMENT OF TRANSPORTATION.
12. DENSITY TEST SHALL BE PERFORMED EVERY 7000 SQUARE FEET FOR BASE AND SUB-BASE MATERIAL. SAID TEST SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR HIS APPROVAL AS WELL AS THE RESPECTIVE PUBLIC WORKS DEPARTMENT PERFORMING THE SITE INSPECTIONS.
13. ALL CORRODED ALUMINUM PIPE (C.A.P.) SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS SET FORTH IN SECTIONS 345.
14. ALL PIPE BEDDING SHALL BE OF GOOD GRAINULAR QUALITY, FREE OF EXCESSIVE STONE, AN OPEN GRADED STONE, NOT LARGER THAN 3/4" IS RECOMMENDED. PIPE BEDDING SHALL BE A MINIMUM OF 12" THICK.
15. TRENCHES SHALL BE BACK FILLED WITH APPROVED MATERIAL, FREE OF LARGE LOGS, STONES OR ROCKS AND CAREFULLY DEPOSITED AND COMPACTED IN LAYERS NOT TO EXCEED 6" UNTIL SUFFICIENT FILL HAS BEEN PLACED TO PROVIDE A COVER OF AT LEAST FOUR INCHES OVER THE PIPE. THE REMAINDER OF BACK FILL MATERIAL SHALL BE PLACED IN 12" LAYERS MONITORED AND COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR TEST AS PER AASHTO T-150 METHOD.
16. INLETS AND MANHOLE LOCATIONS INDICATE OVER CULVERTS LENGTHS FOR EXACT LOCATION OF STRUCTURES.
17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WATER, SEWER, DRAINAGE STRUCTURES, PIPES, GRATES AND RELATED MATERIAL TO THE ENGINEER OF RECORD FOR HIS APPROVAL PRIOR TO INSTALLATION.
18. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL CERTIFY THAT THE DRAINAGE SYSTEM IS CLEAR OF DEBRIS OR ANY OTHER FOREIGN OBJECT. THE SITE SHALL BE CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
19. ALL PIPE CALLED PIPE OR TOP TO BE HIGH STRENGTH CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR. PIPE SHALL MEET AASHTO M28 TYPE S, SPECIFICATION FOR CORRUGATED POLYETHYLENE PIPE, 12 TO 36 IN. DIAMETER, WITH 0.0148 IN. MIN. 0.0330 IN. MAX. PER INCH PIPE INSTALLATION FOR C.A.P. SHALL BE IN ACCORDANCE WITH AASHTO 321, STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE. PIPE SHALL BE AASHTO M-12, MANHOLE H-0 OR APPROVED EQUAL.
20. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER FOR THE FOLLOWING STANDARDS:
  - A. THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
  - B. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD LATEST EDITION)
  - C. CHAPTER 30-48 (CS/RS 2822) OF THE FLORIDA TRAFFIC SAFETY ACT
  - D. ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE DESIGN OR MAINTENANCE OF THE TRAFFIC SAFETY, EDUCATION OR SIGNAGE.

## PEMBROKE PINES WATER-SEWER SPECIFIC NOTES:

1. All construction and materials shall conform to the Standards and Specifications of the City of Pembroke Pines Engineering Division, Broward County Department of Planning and Environmental Protection (BCDEP), Broward County Health Department (BCHD), South Broward Drainage District (SBDD), South Florida Water Management District (SFWMD), and all other local and national codes where applicable.
2. Upon receipt of Notice of Award, the Contractor shall arrange a Preconstruction Conference to include the City of Pembroke Pines Engineering Division, the Owner, the Engineer and himself after obtaining a construction permit from the Engineering Division.
3. The Contractor shall notify the City of Pembroke Pines Engineering Division and the Engineer of Record at least 24 hours prior to beginning construction and prior to the inspection of the sanitary sewer and water system.
4. Prior to issuance of construction permit, a Materials Review List shall be submitted to and reviewed by the Engineer of Record and the City of Pembroke Pines Engineering Division for fire hydrants, valves, piping, lift stations and other accessories.
5. Upon completion of construction, the Contractor shall submit to the Engineer of Record one complete set of "as-built" construction drawings. These drawings shall be marked to show "as-built" construction changes and dimensional locations and elevations of all improvements and shall be signed by the Contractor.
6. PVC sewer pipe and fittings shall be non-pressure polyvinyl chloride pipe conforming to ASTM D3034, SDR 35, with push-on rubber gasket joints unless otherwise noted.
7. Sewer pipe shall be installed in accordance with ASTM D2321, and the Uni-Bell Plastic Pipe Association's "Recommended Practice for the Installation of PVC Sewer Pipe".
8. Bedding and initial backfill (12 inches) over sewer mains and services shall be sand with no rock larger than 1" in diameter. Pearrock or 3/4" washed rock will be used in water or where unsuitable bedding exists at the discretion of the City of Pembroke Pines. All other fill shall not have rock larger than 6" in diameter.



SUB-CONSULTANT STAMP

**CHEROKEE CONSULTING, INC**

CIVIL ENGINEERS

5821 SW 51 TERRACE, MIAMI, FLORIDA 33155

Phone: 305.208.8361; E-Mail: [engr@cherokeecorp.com](mailto:engr@cherokeecorp.com)

Certificate of Authorization 27479

KEN W. GROCE

License No. 35944

STATE OF FLORIDA

PROFESSIONAL ENGINEER

614-6808

CONSULTANT STAMP

**EVELYN ROUX**

THEODORE ROUX AIA

Bulwer John Evans

1001 N.W. 2nd Avenue

MIAMI, FL 33136

Phone: 305-375-1010

REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
1	PER IRC COMMENTS	3.12.25	KVG
2	PER IRC COMMENTS	3.22.25	KVG

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AT&T CORPORATE REAL ESTATE

PROJECT TITLE:

**PEMBROKE PINES SOC**

13900 PINES BOULEVARD

PEMBROKE PINES, FL

SHEET TITLE:

**PROPOSED SEWER LATERAL PLAN VIEW**

AT&T PROJECT NUMBER	DATE: 10.10.2024	SCALE: As Shown On Plan
AT&T AUTHORIZATION	DRAWN BY: KVG	CHECKED BY: KVG
	SHEET: 6 OF 6	SHEETS: 6
	AT&T DRAWING NO:	SHEET NO: EC200
		E9604EC10100



## NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE HEDGE SCREENING AROUND SPRINKLER PUMP HOUSE AND ANY TRANSFORMERS OR CONCRETE PADS ETC.
- ALL PLANT MATERIAL FURNISHED BY LANDSCAPE CONTRACTOR SHALL BE FLORIDA NO. 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS" FOR NURSERY PLANTS, STATE PLANT BOARD OF FLORIDA.
- LANDSCAPE CONTRACTOR TO RETURN TO JOB SITE 5 MONTHS AFTER TREE BRACING AND REMOVAL ALL BRACES AND OR TAPE AS PER CITY OF PEMBROKE PINES CODE.
- LANDSCAPE CONTRACTOR TO "REPAIR EXISTING" AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & MAINTAIN A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED. IRRIGATION SHALL BE FROM A NON-POTABLE WATER SOURCE, EXISTING PUMP & WELL.
- ALL TREES TO HAVE AT LEAST 5" CLEAR TRUNK AND SHALL HAVE 36" DIAMETER MULCH BED.
- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SITE VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 5' FT. MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.
- CONTRACTOR SHALL COORDINATE LOCATION OF TREES SO AS TO MAINTAIN A 5 FT. HORIZONTAL CLEARANCE FROM UTILITIES. IF THIS IS NOT POSSIBLE, ROOT BARRIERS SHALL BE INSTALLED AS REQUIRED BY THE CITY'S LANDSCAPE INSPECTION.
- ALL SODDED AREAS SHALL RECEIVE A MIN. DEPTH OF 2" SOIL LAYER 50/50 MIX (SEE SPECIFICATION SHEET).
- GENERAL CONTRACTOR TO REMOVE ROAD ROCK TO A DEPTH OF 30" AND SUPPLY & INSTALL SOIL IN ALL NEW LANDSCAPE AREAS SHOWN. SEE SOIL SPECIFICATIONS.
- VERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICTS VERISCAPE PLANT GUIDE II", UNDATED, AS REQUIRED.
- ANY DISTURBED SOD AREAS AFFECTED BY CONSTRUCTION, TO BE REPLACED PRIOR TO THE FINAL INSPECTION.

City of Pembroke Pines Landscape Code Requirements		
SEC 335.631 Minimum landscape requirements	Required	Proposed
1. All properties three stories and below minimum:	YES	YES
(a) 20% of required trees meet 14-16' H with 3" diameter at breast height.	1 (a) 3	1 (a) 26
(b) 20% of required trees meet 12-14' H with 2" diameter at breast height.	1 (b) 3	1 (b) 21
(c) 60% of required trees required meet 355.664 (M).	4	21
2. All properties four stories and above minimum:		
(a) 30% of required trees meet 14-16' H with 3" diameter at breast height.		(S) NEW
(b) 30% of required trees meet 12-14' H with 2" diameter at breast height.		(S) NEW
(c) 40% of required trees required meet 355.664 (M).		(S) NEW
SEC 335.662 (M) Landscaping Adjacent to Public Right-of-Way - All Properties		
One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet. Hedges of at least two feet in height shall be placed along only the perimeter of the landscape strip.	129.95 LF	129.95 LF
	7	21
SEC 335.663 (M) Landscaping Adjacent to Abutting Properties - All Properties		
The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof. Hedges must be at least three feet in height.	N/A	N/A
SEC 335.664 (M) Minimum Landscape Requirements for Non-Residential Properties		
1. For non-residential properties the planting requirement shall be calculated on the following basis:		
(a) One tree every 5,000 square feet of gross area.	4	**20
(b) Ten shrubs every 5,000 square feet of gross area.	40	**58
SEC 335.665 (M) Interior parking and around area landscaping		
Parking lots shall comply with the following minimum requirements:		
1. One tree:		
(a) Every five parking spaces; and		
(b) Every 200 square feet of interior landscaping;		
2. Ten square feet of interior landscaping every parking space up to 50 spaces;		
3. One hundred square feet of landscaping every ten parking spaces over 50 spaces;		
4. One square foot of landscaping:		
(a) Every 200 square feet of paved areas up to 50,000 square feet; and		
(b) Every 200 square feet of paved areas over 50,000 square feet; and		
**FOR INDUSTRIAL USE ONLY**		
5. Interior parking landscape requirements shall be reduced by 25% for areas zoned for industrial use.	N/A	N/A
Total Trees	11	26
Total Shrubs	40	58

NOTES: \*\* LIMITS OF WORK AREA / \*EXISTING  
FIELD VERIFY ALL EXISTING COCOPLUM HEDGES WITHIN LIMITS OF WORK AND  
FILL-IN-GAPS TO PROVIDE A SOLID VISUAL SCREEN AT TIME OF PLANTING. SEE LEGEND.

NOTE: WATER SOURCE AND METHODS COMPLY WITH FLORIDA FRIENDLY LANDSCAPE NINE PRINCIPLES.

DROUGHT TOLERANCE = SEWM

\* MODERATE

\*\* VERY

## LANDSCAPE LEGEND

DROUGHT TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	YES	LV	15	QUERCUS VIRGINIANA / LIVE OAK	18'-42' HGT.	(15) EXISTING TO REMAIN
**	YES	LAU	1	QUERCUS LAURIFOLIA / LAUREL OAK	30' HT.	EXISTING TO REMAIN
**	YES	SWI	4	SWEETGUM MAHOGANY / MAHOGANY	14'-18' x 6'-9"	1 NEW F.G. 3" D.B.H. MINIMUM 3-EXISTING TO REMAIN
**	YES	ROY	3	ROYSTONIA ELATA / FLORIDA ROYAL PALM	22'-24' x 6" G.W. F.G. 1-NEW (5) EXISTING TO REMAIN (5-OFFSITE TO REMAIN)	
**	YES	SAR	7	SARAL PALMETTO / CARIBBEAN PALM	14'-16' x 16" C.T. F.G. 12" CALIPER & NEW (1) EXISTING TO REMAIN	
**	NO	LAC	2	LACEROSTROGMA INDICA / CRAPE MYRTLE	14'-16' x 6'-8"	1 NEW F.G. 3" D.B.H. MINIMUM, MULTI-STEM (1)-20' HGT. EXISTING
**	YES	UD	19	UDISTROM JAPONICUM / WAX PRIVET	6'-8' HGT.	EXISTING TO REMAIN- RELOCATE (3) BUSH AS SHOWN-FULL TO BASE
**	YES	DRE	152	CONOCARPUS ERCTUS / GREEN BUTTWOOD	36"x24" 7 GAL.	24" O.C. FULL TO BASE
**	YES	CHR	48	CHRYSOBALANUS ICAGO / "RED TIP"	36"x24" 7 GAL.	24" O.C. FULL TO BASE (EXISTING TO REMAIN-FIELD VERIFY-SEE NOTES)
*	NO	VIB	EX.	VIBURNUM ODOBATISSIMUM / SWEET VIBURNUM	30' HT.	EXISTING TO REMAIN OFFSITE
*	NO	HAM	EX.	HAMELIA PATENS / DWARF FIREBUSH	30' HT.	EXISTING TO REMAIN OFFSITE
*	NO	DUR	EX.	DURANTA ERCTA / SAPPHIRE SHOWERS	30' HT.	EXISTING TO REMAIN OFFSITE
*	NO	CLU	EX.	CLUSIA FLAVA / SMALL LEAF CLUSIA	6' HT.	EXISTING TO REMAIN
**	YES	ILE	50	ILEX VOMITORIA / YAUPOH HOLLY	24"x24" 7 GAL.	24" O.C. FULL TO BASE
**	YES	NEP	1,025	NEPHROLEPIS EXALTA / DWARF BOSTON FERN	6" 1 GAL.	12" O.C. FULL

## IRRIGATION SCHEDULE

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION ENH-1061: DURING ESTABLISHMENT, TREES SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.

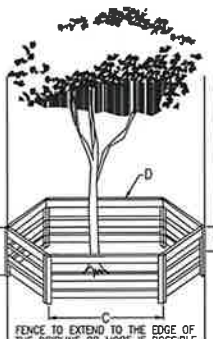
TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND DESIRED OBJECTIVE\*.

SIZE OF NURSERY STOCK	VIGOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

\* ESTABLISHMENT TAKES APPROXIMATELY 1 MONTH (HARDINESS ZONES 10-11) 4 MONTHS (HARDINESS ZONES 6-9) PER INCH CALIPER.

## TREE BARRICADE NOTES:

- ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION, IF REQUIRED SEE PLAN.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES, OR WOOD SHAVINGS. WATERING SHALL BE DONE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOUND WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES W/ TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE. TRANSPLEANT TREES W/ 60" TREE SHADE AND / OR TREE CRANE. TRANSPLEANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRIMMED FOR TRANSPLEANTING.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER ( + - 1") THAN THE FINISHED GRADE.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A TEMPORARY HOLDING AREA SHALL BE USED ON SITE DURING CONSTRUCTION OR UNTIL TREES CAN BE PROPERLY RELOCATED, COORDINATE WITH LANDSCAPE ARCHITECT, IF REQUIRED.
- LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER, FLORIDA HOLLY AND ALL EXOTIC NUISANCE MATERIAL ON SITE AS REQUIRED.
- CONTRACTOR SHALL FIELD ADJUST NEW TREE LOCATIONS TO BE 15" MINIMUM FROM LIGHT STANDARDS.
- ALL TREES TO HAVE AT LEAST 5" CLEAR TRUNK AND SHALL HAVE 36" DIA. MULCH BED.



- A 48" HEIGHT
- B 12"
- C WOODEN STAKES (2"x4"x5" MIN.) ON 5' CENTERS
- D THREE ROWS OF SPLIT RAIL FENCING 2"x4"

BARRIER TO FORM A CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES.

CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN- AT START OF THE PROJECT-FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.

CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES- AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

## TREE PROTECTION DETAIL

N.T.S.

## NOTE:

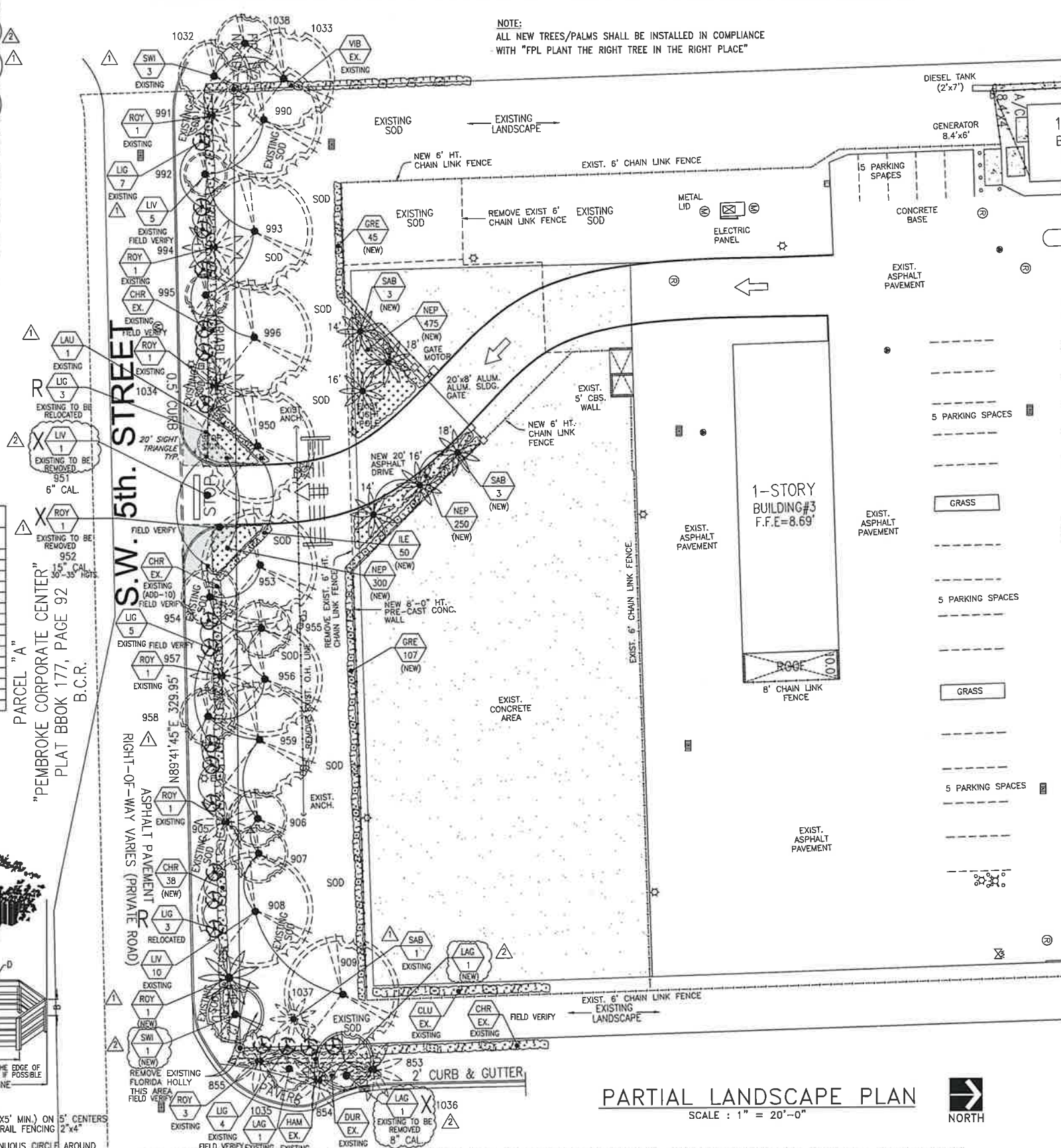
IRRIGATION MUST BE REPAIRED/INSTALLED PROPERLY TO INSURE THAT ALL NEW AND EXISTING LANDSCAPE MATERIALS IS PROPERLY BEING IRRIGATED.

A "WET-CHECK" SHALL BE DONE AT TIME OF FINAL INSPECTION TO ENSURE ALL IRRIGATION HEADS ARE WORKING PROPERLY.

CONTRACTOR TO REPAIR EXISTING SYSTEM ALONG S.W. 5TH STREET AND EXISTING SYSTEM ON SITE TO PREVENT DOWN TIME; TO BE INCLUDED IN BID PROPOSAL.

## NOTE:

ALL NEW TREES/PALMS SHALL BE INSTALLED IN COMPLIANCE WITH "FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE"



## PARTIAL LANDSCAPE PLAN

SCALE: 1" = 20'-0"



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

## NOTE:

STRUCTURAL PRUNING IS REQUIRED FOR ALL EXISTING CANOPY TREES ON SITE. REMOVAL OF CANOPY DIEBACK, PROVIDING VERTICAL CLEARANCE ON BOTH SIDES (SIDEWALK AND MAINTENANCE SIDE), CROSSING AND DECAYING LIMBS TO BE REMOVED. A CERTIFIED ARBORIST IS REQUIRED TO BE ON SITE AT TIME OF THE STRUCTURAL PRUNING, TO INSURE THAT PROPER PRACTICES AND OBJECTIVES ARE FOLLOWED. LANDSCAPE CONTRACTOR TO INCLUDE THIS SERVICE IN THE BID PROPOSAL.

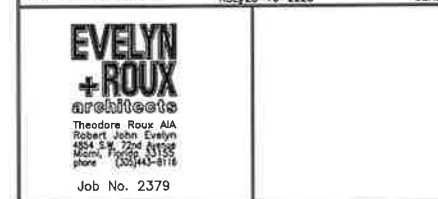
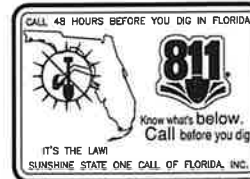
LANDSCAPE CONTRACTOR SHALL FERTILIZE, TREAT AND MULCH ALL EXISTING LANDSCAPE MATERIALS.

\*ALL CONTAINER GROWN TREES SHOWN AS SPECIFIED THAT EXHIBIT CIRCLING ROOTS WILL NOT BE ACCEPTED.

## NOTES

15" DIA. FIRE HYDRANT CLEAR ZONE (TYP.) FIELD VERIFY LOCATIONS

NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND ALL GRASS AND WEEDS SHALL BE KEPT TRIMMED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. CITY ORDINANCE 93.25(F)



1151 SE Cory Parkway, Suite 200 Cary, North Carolina 27518  
P 919.851.8481 F 919.851.9703 www.engineereddesigns.com

## REVISIONS / AUTHORIZATIONS

NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
A	ISSUED WITH TRAFFIC STUDY	11/26/21	TR
1	CITY COMMENTS	07/23/24	RGB
2	CITY COMMENTS	11/25/24	RGB

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PEMBROKE PINES S.O.C.

13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

## PARTIAL LANDSCAPE NEW ENTRY PLAN

AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED
DRAWN BY: R.BARTLETT	CHECKED BY: RGB/MCR	
SHEET: 1 OF: 3 SHEETS		SHEET NO.
AT&T DRAWING NO.: E9604L100		L100

PROJECT TITLE  
NEW ENTRY/EXIT DRIVE  
TO S.W. 5TH STREET

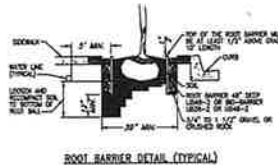
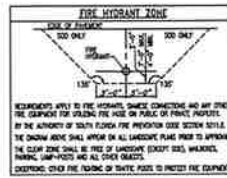
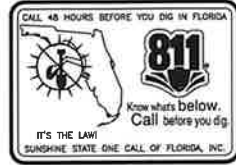


# IRRIGATION SCHEDULE

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION ENH-1061: DURING ESTABLISHMENT, TREES SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR	
	VISOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY: UNTIL ESTABLISHED	WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY: UNTIL ESTABLISHED	WEEKLY FOR 4-5 MONTHS

\* ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10-11)  
4 MONTHS (HARDINESS ZONES 8-9) PER INCH TRUNK CALIPER.



NOTE: A ROOT BARRIER SYSTEM SHALL BE INSTALLED IN SITUATIONS WHERE A TREE OR PALM IS PLANTED WITHIN 10' OF A PAVED SURFACE OR INFRASTRUCTURE.  
MINIMUM ROOT BARRIER REQUIREMENTS:  
1) PANEL THICKNESS: POLYPROPYLENE 2) 24" DEPTH  
3) ROUNDED EDGES 4) 24" DEPTH  
NOTE: BIO BARRIERS SHALL BE INSTALLED WHERE TREES ARE IN THE VICINITY OF UNDERGROUND LINES, FIELD VERIFY AS REQUIRED.

NOTE: CONTRACTOR TO SUPPLY AND INSTALL TREE ROOT BARRIERS AS SHOWN. TREES SHALL BE INSPECTED AT TIME OF FINAL LANDSCAPE INSPECTION FOR APPROVAL.

— = ROOT BARRIER  
(TYPICAL) SEE LOCATIONS  
NOTE: ALL TREES INSTALLED WITHIN 4' OF PUBLIC INFRASTRUCTURES SHALL BE INSTALLED WITH ROOT BARRIERS AS REQUIRED.

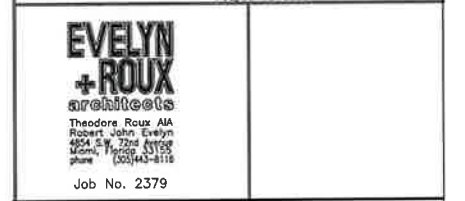
"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

NOTE: NO PLANT MATERIALS SHALL BE PLANTED WHERE THEY WILL OBSTRUCT VIEWS TO ROADWAY SIGNAGE OR BE PLACED WITHIN SIGHT LINES.

## LANDSCAPE SPECIFICATIONS

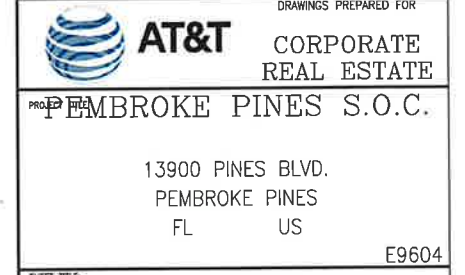
- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY, COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK. THE LANDSCAPE PLANS SHALL NOT BE UTILIZED FOR STAKING, LAYOUT OR LOCATIONS OF ANY SITE STRUCTURE OR FEATURE INCLUDING BUT NOT LIMITED TO BUILDINGS, SIGNS, SIDEWALKS, EASEMENTS, UTILITIES OR ROADWAYS.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTINE PALMETTO TSA-FREE (WEED FREE) SOD, UNLESS OTHERWISE NOTED.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF *EUCALYPTUS MULCH/ALBOMULCH (NON-CYPRESS)* & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
- ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN (URIO CAN TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
- LANDSCAPER TO FURNISH ALL MATERIALS AND LABOR INCLUDING PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMITS, ETC., NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE BY OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECTS OR OTHER EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWEST FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CANS); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HAY (INDICATES HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+1") THAN THE FINISHED GRADE.
- DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.

26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD BY WEIGHT OR "MILORGANITE". NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.  
INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:  
3 LBS. OR 8.75 CUPS / 12"-18" PALM  
2 LBS. OR 5.00 CUPS / 6"-12" MATERIAL  
0.69 LBS. OR 2.00 CUPS / 6"-8" MATERIAL  
0.19 LBS. OR 1/2 CUP / 3" GAL. MATERIAL  
0.10 LBS. OR 1/4 CUP / 1" GAL. MATERIAL  
FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:  
5% (5) PERCENT NITROGEN, 5% (5) PERCENT PHOSPHOROUS, AND 5% (5) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. CONTAINER), 1/4 LB. PER 1 GAL. CONTAINER) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD), AGROFOS TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER 1 GAL. PLANTS, 2 PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURER'S RECOMMENDATION.  
27. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUIV. AS PACKAGED IN 5 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, ACRYLATE, PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS:  
1 PAC PER TREE - 36" BALL SIZE  
2 PACS PER TREE - OVER 36" BALL SIZE  
1 PAC PER 20 GAL. CONTAINER  
0.5 PACS PER 7-10 GAL. CONTAINER  
0.25 PACS PER 3 GAL. CONTAINER  
0.12 PACS PER 1 GAL. CONTAINER



REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
A	ISSUED WITH TRAFFIC STUDY	11/28/23	TR

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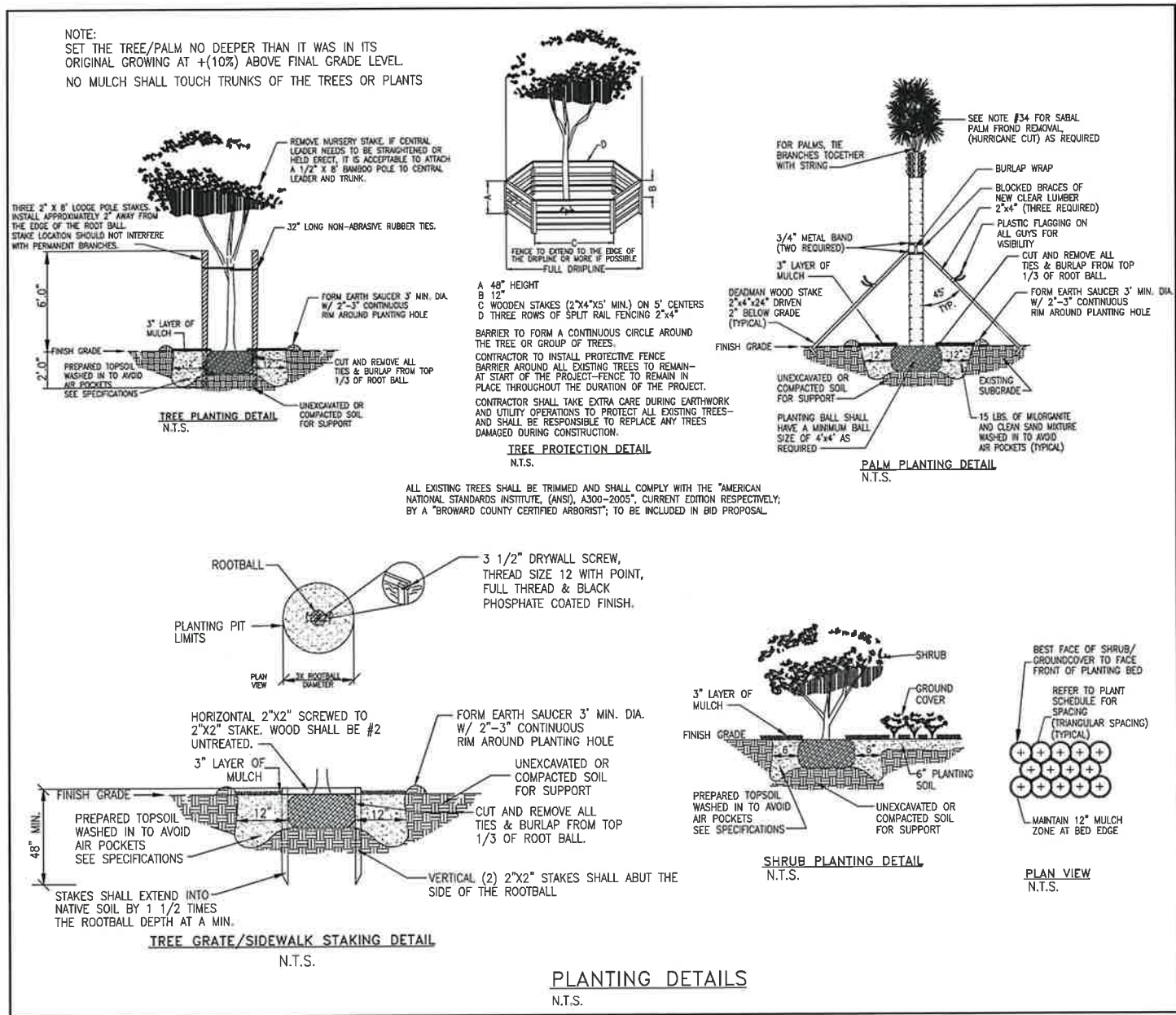


## SPECIFICATIONS SHEET

AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED
DRAWN BY: R. BARTLETT	CHECKED BY: RGB/MEW	
SHEET: 2 OF: 2 SHEETS	SHEET NO.	
AT&T DRAWING NO.: E9604L200	L200	

PROJECT TITLE  
NEW ENTRY/EXIT DRIVE  
TO S.W. 5th STREET

NOTE:  
IRRIGATION MUST BE REPAIRED/INSTALLED PROPERLY TO INSURE THAT ALL NEW AND EXISTING LANDSCAPE MATERIALS IS PROPERLY BEING IRRIGATED. A "WET-CHECK" SHALL BE DONE AT TIME OF FINAL INSPECTION TO ENSURE ALL IRRIGATION HEADS ARE WORKING PROPERLY. CONTRACTOR TO REPAIR EXISTING SYSTEM ALONG S.W. 5TH STREET AND EXISTING SYSTEM ON SITE TO PREVENT DOWN TIME; TO BE INCLUDED IN BID PROPOSAL.





NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	NATIVE?	NOTES
851	Royal Palm	Roystonea elata	16	35	20	Excellent - 90%	remain	yes	street tree
854	Royal Palm	Roystonea elata	13	40	20	Excellent - 90%	remain	yes	street tree
851	Royal Palm	Roystonea elata	14	35	18	Excellent - 85%	remain	yes	street tree
905	Royal Palm	Roystonea elata	16	42	18	Good - 80%	remain	yes	street tree
906	Live Oak	Quercus virginiana	13	42	20	Good - 70%	remain	yes	
907	Live Oak	Quercus virginiana	9	37	15	Fair - 60%	remain	yes	
908	Live Oak	Quercus virginiana	19	53	40	Good - 75%	remain	yes	
909	Live Oak	Quercus virginiana	25	50	40	Good - 80%	remain	yes	
950	Laurel Oak*	Quercus laurifolia	25	33	40	Good - 75%	remain	yes	
951	Live Oak	Quercus virginiana	6	20	15	Fair - 50%	remove	yes	street tree
952	Royal Palm	Roystonea elata	15	40	15	Poor - 40%	remove	yes	street tree
955	Live Oak	Quercus virginiana	26	35	45	Good - 80%	remain	yes	
954	Live Oak	Quercus virginiana	11	20	18	Fair - 50%	remain	yes	street tree
955	Laurel Oak	Quercus laurifolia	15	28	20	Fair - 60%	remain	yes	
956	Live Oak	Quercus virginiana	23	40	45	Good - 70%	remain	yes	
957	Royal Palm	Roystonea elata	15	40	15	Fair - 50%	remain	yes	street tree
958	Live Oak	Quercus virginiana	7	25	20	Good - 65%	remain	yes	street tree
959	Live Oak	Quercus virginiana	21	38	45	Good - 75%	remain	yes	
990	Live Oak	Quercus virginiana	20	55	45	Good - 80%	remain	yes	
991	Royal Palm	Roystonea elata	12	58	15	Good - 85%	remain	yes	street tree
992	Live Oak	Quercus virginiana	8	18	15	Fair - 45%	remain	yes	street tree
993	Live Oak	Quercus virginiana	26	35	50	Good - 80%	remain	yes	
994	Royal Palm	Roystonea elata	14	37	15	Fair - 45%	remain	yes	street tree
995	Live Oak	Quercus virginiana	7	18	12	Fair - 50%	remain	yes	street tree
996	Live Oak	Quercus virginiana	24	35	45	Good - 75%	remain	yes	
1032	Mahogany	Swietenia mahagoni	13	30	30	Good - 70%	remain	yes	street tree
1033	Mahogany	Swietenia mahagoni	16	35	35	Good - 80%	remain	yes	street tree
1034	Royal Palm	Roystonea elata	14	40	15	Fair - 45%	remain	yes	street tree
1035	Crape myrtle	Lagerstroemia indica	10	20	12	Good - 70%	remain	no	street tree
1036	Crape myrtle	Lagerstroemia indica	8	16	10	Poor - 40%	remove	no	street tree
1037	Labal Palm	Sabal palmetto	12	16	13	Good - 75%	remain	yes	
1038	Live Oak	Quercus virginiana	9	28	20	Fair - 50%	remain	yes	street tree, in neighboring parking median

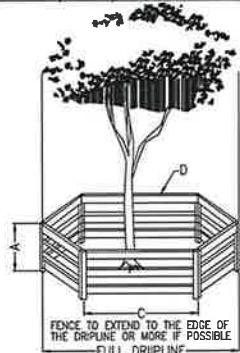
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TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND DESIRED OBJECTIVE\*.

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

\* ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10-11) 4 MONTHS (HARDINESS ZONES 8-9) PER INCH TRUNK CALIPER.

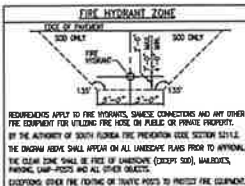


- A 48" HEIGHT  
B 12"  
C WOODEN STAKES (2"x4"x5' MIN.) ON 5' CENTERS  
D THREE ROWS OF SPLIT RAIL FENCING 2"x4"

BARRIER TO FORM A CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES

CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN AT START OF THE PROJECT-FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.

CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES- AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

TREE PROTECTION DETAIL  
N.T.S.

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

PARCEL "A"  
"PEMBROKE CORPORATE CENTER"  
PLAT BBOK 177, PAGE 92  
B.C.R.

RIGHT-OF-WAY VARIES (PRIVATE ROAD)  
ASPHALT PAVEMENT

NOTE:

STRUCTURAL PRUNING IS REQUIRED FOR ALL EXISTING CANOPY TREES ON SITE. REMOVAL OF CANOPY DIEBACK, PROVIDING VERTICAL CLEARANCE ON BOTH SIDES (SIDEWALK AND MAINTENANCE SIDE), CROSSING AND DECAYING LIMBS TO BE REMOVED. A CERTIFIED ARBORIST IS REQUIRED TO BE ON SITE AT TIME OF THE STRUCTURAL PRUNING, TO INSURE THAT PROPER PRACTICES AND OBJECTIVES ARE FOLLOWED. LANDSCAPE CONTRACTOR TO INCLUDE THIS SERVICE IN THE BID PROPOSAL.

## PARTIAL TREE DISPOSITION PLAN

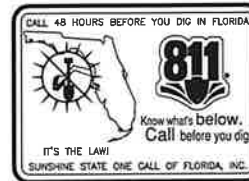
SCALE: 1" = 20'-0"



## NOTES

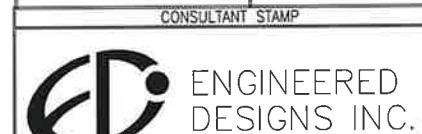
15' DIA. FIRE HYDRANT  
CLEAR ZONE (TYP.) FIELD VERIFY LOCATIONS

NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND ALL GRASS AND WEEDS SHALL BE KEPT TRIMMED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET.



11/23/24  
RBL#23-10-2220  
SEAL

**EVELYN + ROUX**  
architects  
Theodore Roux AIA  
Robert John Evelyn  
4854 S.W. 72nd Avenue  
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Job No. 2379



1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518  
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REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
1	CITY COMMENTS	07/23/24	RGB
2	CITY COMMENTS	11/25/24	RGB

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DRAWINGS PREPARED FOR  
**AT&T** CORPORATE  
REAL ESTATE  
PEMBROKE PINES S.O.C.

13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

SHEET TITLE: TREE DISPOSITION NEW ENTRY PLAN			
AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED	
AT&T AUTHORIZATION:	DRAWN BY: R.BARTLETT	CHECKED BY: RGB/WER	
	SHEET: 3	OF: 3 SHEETS	SHEET NO.
	AT&T DRAWING NO:	E9604L300	L300

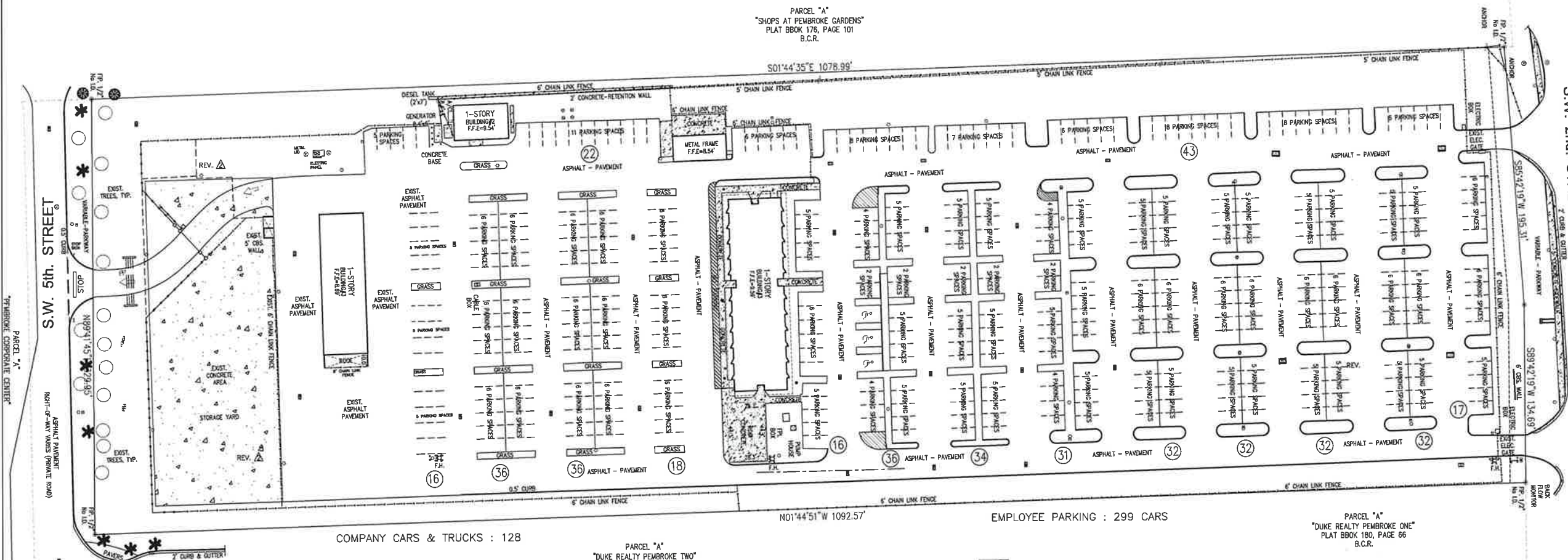
PROJECT TITLE:

NEW ENTRY/EXIT DRIVE  
TO S.W. 5th STREET



NEW ENTRY/EXIT DRIVE  
TO S.W. 5th STREET



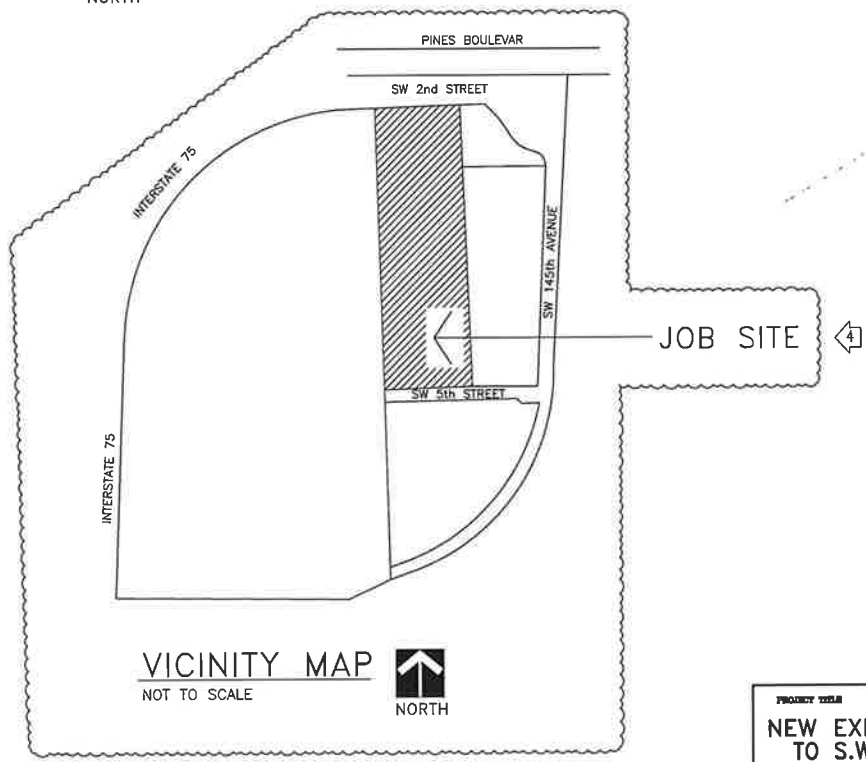


- SITE DATA:**
- SITE AREA: 8.24 ACRES
  - BUILDING AREA—  
EXISTING BUILDINGS:  
A. OFFICE BUILDING 5,845 S.F.  
B. STORAGE 3,550 S.F.  
C. STORAGE 1,098 S.F.  
OPEN PAVILION 1,058 S.F.  
TOTAL 11,551 S.F.

**LEGAL DESCRIPTION**

PARCEL "A" OF "SOUTHERN BELL PEMBROKE PINES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 112, PAGE 40, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**SITE PLAN**  
SCALE: 1" = 40'-0"



**VICINITY MAP**  
NOT TO SCALE



**SUB-CONSULTANT STAMP**

**EVELYN + ROUX**  
Theodore Roux AIA  
Robert John Evelyn  
6854 S.W. 72nd Street  
Miami, Florida 33143-8118  
phone (305)443-8118  
Job No. 2379

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1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518  
P 919.851.8481 F 919.851.9703 www.engineereddesigns.com

REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
6	ISSUED FOR CONSTRUCTION	11/26/21	TR
4	DRC COMMENTS	9/24/24	TR

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**AT&T CORPORATE REAL ESTATE**  
PEMBROKE PINES S.O.C.

13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

**SITE PLAN ARCHITECTURAL**

AT&T PROJECT NUMBER	DATE: 8/8/23	SCALE: AS NOTED
AT&T AUTHORIZATION:	DRAWN BY:	CHECKED BY:
LISSET MOREJON	SHEET: 1 OF: SHEETS	SHEET NO.
AT&T DRAWING NO.:	E9604A10100	A100

**PROJECT TITLE**  
NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET







EXIT : GATE OPERATES AS AN EXIT GATE ONLY.

- ## FIRE DEPARTMENT ENTRY REQUIREMENTS

- FIRE DEPARTMENT NOTES:

- NOTES:

- NEW CHAINLINK FENCE:


[illegible]

NORTH

SUB-CONSULTANT STAMP	
<p><b>EVELYN + ROUX</b> architects</p> <p>Theodore Roux AIA Robert John Evelyn 4854 S.W. 72nd Miami, FL 33155 phone 759/443-8116</p> <p>Job No. 2379</p>	

REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/28/23	TR
1	PERMIT COMMENTS	2/27/27	TR
4	DRC COMMENTS	9/24/24	TR
5	DRC COMMENTS	3/12/25	TR

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**AT&T**

DRAWINGS PREPARED FOR  
**CORPORATE**  
**REAL ESTATE**

---

PROJECT NO. **PEMBROKE PINES S.O.C.**

13900 PINES BLVD.  
 PEMBROKE PINES  
 FL US

F9604

SHEET TITLE:  
**PARTIAL SITE PLAN  
ARCHITECTURAL**

AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED
	DRAWN BY:	CHECKED BY:
AT&T AUTHORIZATION:	SHEET: 1 OF	SHEETS SHEET NO.
LISSET MOREJON	AT&T DRAWING NO:	
	E9604A10102	A102

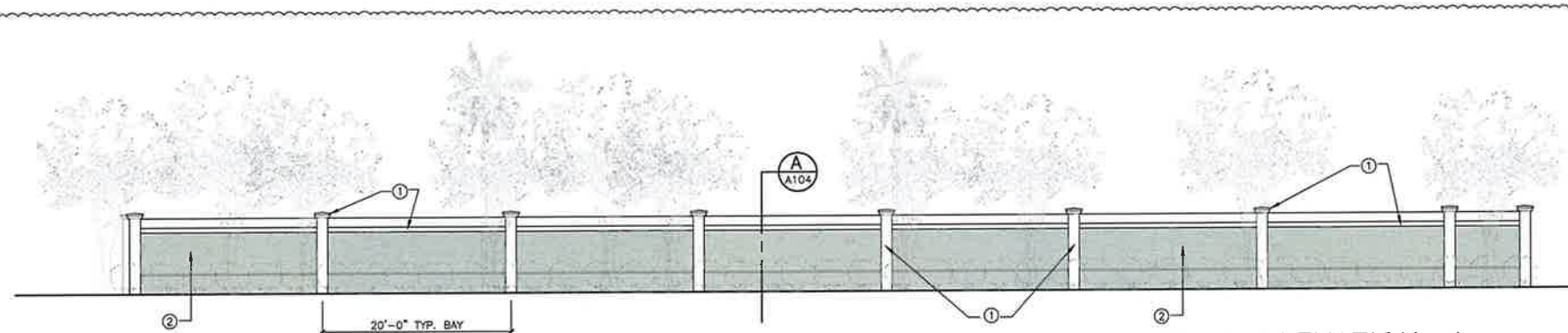




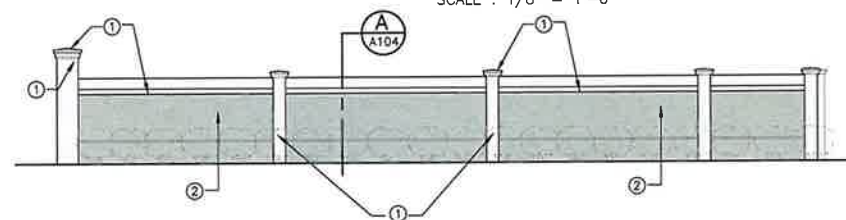
NOTE:  
WALL PAINTED BOTH SIDES WITH TEXTURED COATING  
OF AMERICA INC.  
TEXCOTE XL-70, SEE ELEVATIONS FOR COLOR.  
ARCHITECT WILL SUPPLY PAINT CHIP FOR EXACT COLOR  
SELECTED.

**COLOR BOARD (TEX-COTE):**

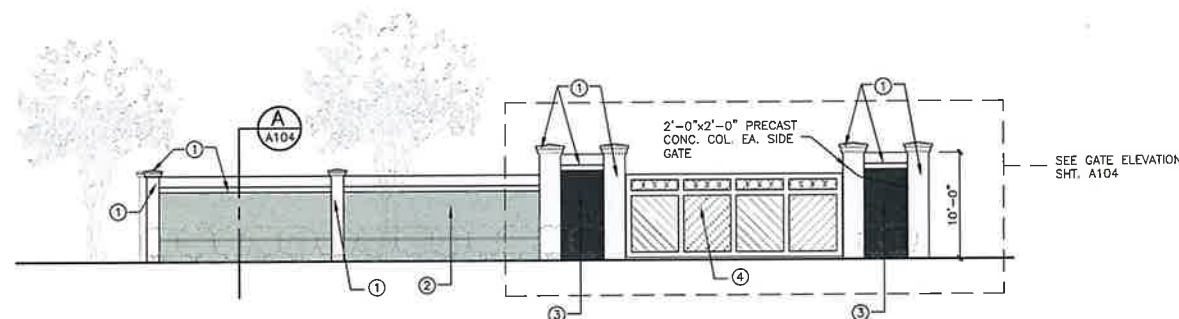
- ① WHITE TEXCOTE-MATCH SHERWIN-WILLIAMS  
EXTRA WHITE SW 7006
- ② T141/MISTY BAY CT TEXCOTE
- ③ DARK GREY TEXCOTE-MATCH SHERWIN WILLIAMS  
GIBRALTAR SW 6257
- ④ WHITE SHERWIN-WILLIAMS  
EXTRA WHITE SW 7006



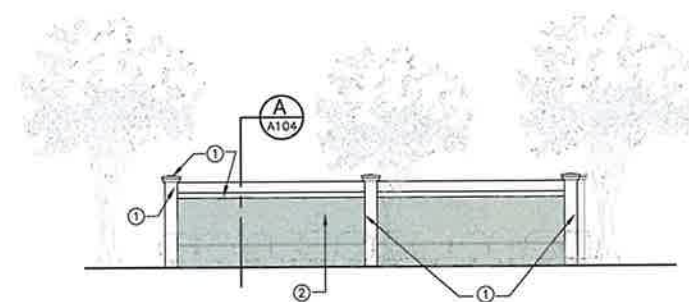
**WALL ELEVATION-4**  
SCALE : 1/8" = 1'-0"



**WALL ELEVATION-3**  
SCALE : 1/8" = 1'-0"



**WALL ELEVATION-2**  
SCALE : 1/8" = 1'-0"



**WALL ELEVATION-1**  
SCALE : 1/8" = 1'-0"

**PROJECT TITLE**  
NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET

**SUB-CONSULTANT STAMP**

**EVELYN  
+ ROUX**  
Theodore Roux AIA  
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4854 S. 72nd Ave.  
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1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518  
P 919.851.8481 F 919.851.9703 www.engineereddesigns.com

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4	DRC COMMENTS	9/24/24	TR

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**AT&T CORPORATE  
REAL ESTATE**

**PEMBROKE PINES S.O.C.**

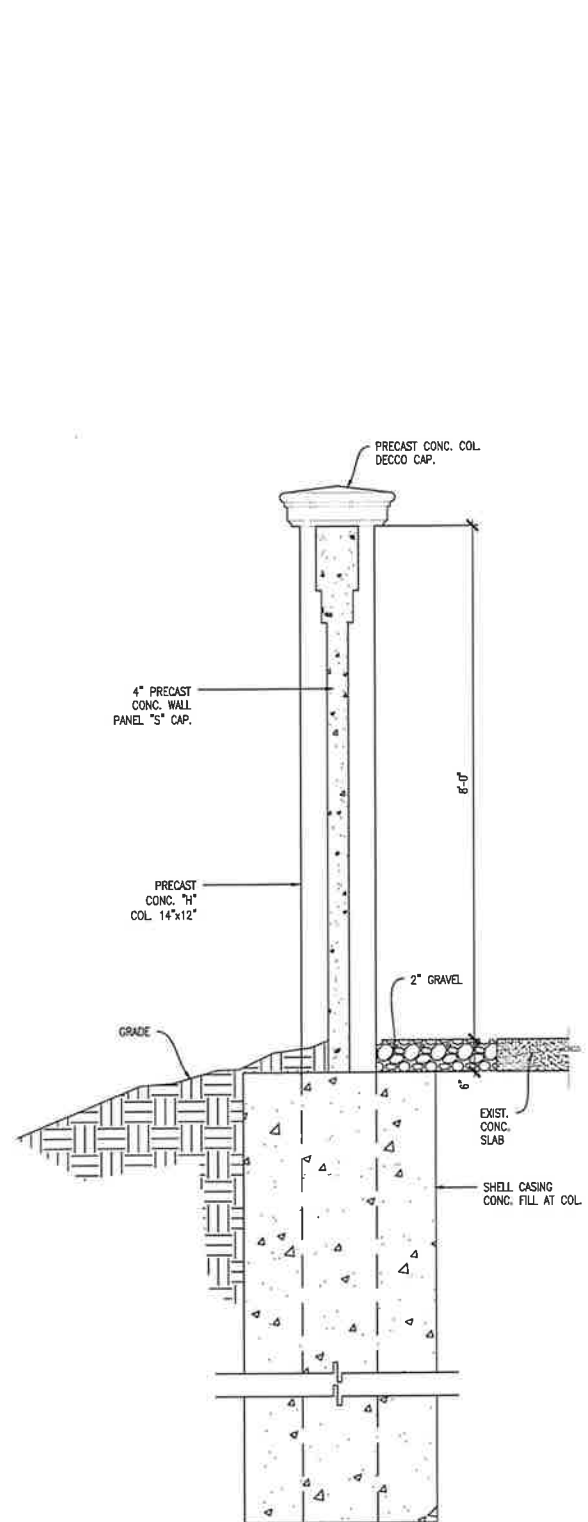
13900 PINES BLVD.  
PEMBROKE PINES  
FL US

E9604

**WALL ELEVATIONS  
ARCHITECTURAL**

AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED
AT&T AUTHORIZATION:	DRAWN BY:	CHECKED BY:
LISSET MOREJON	SHEET: 1 OF 1	SHEETS
	AT&T DRAWING NO:	SHEET NO.
	E9604A10103	A103

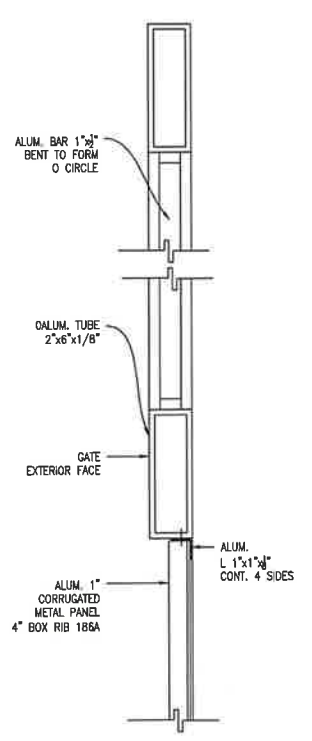




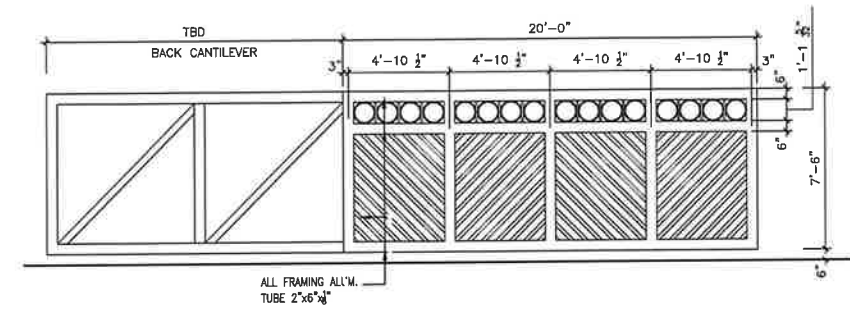
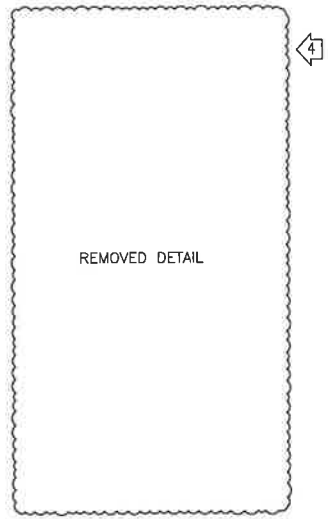
**TYPICAL WALL SECTION** (A)  
SCALE : 3/4" = 1'-0"

**PRECAST WALL SYSTEM**

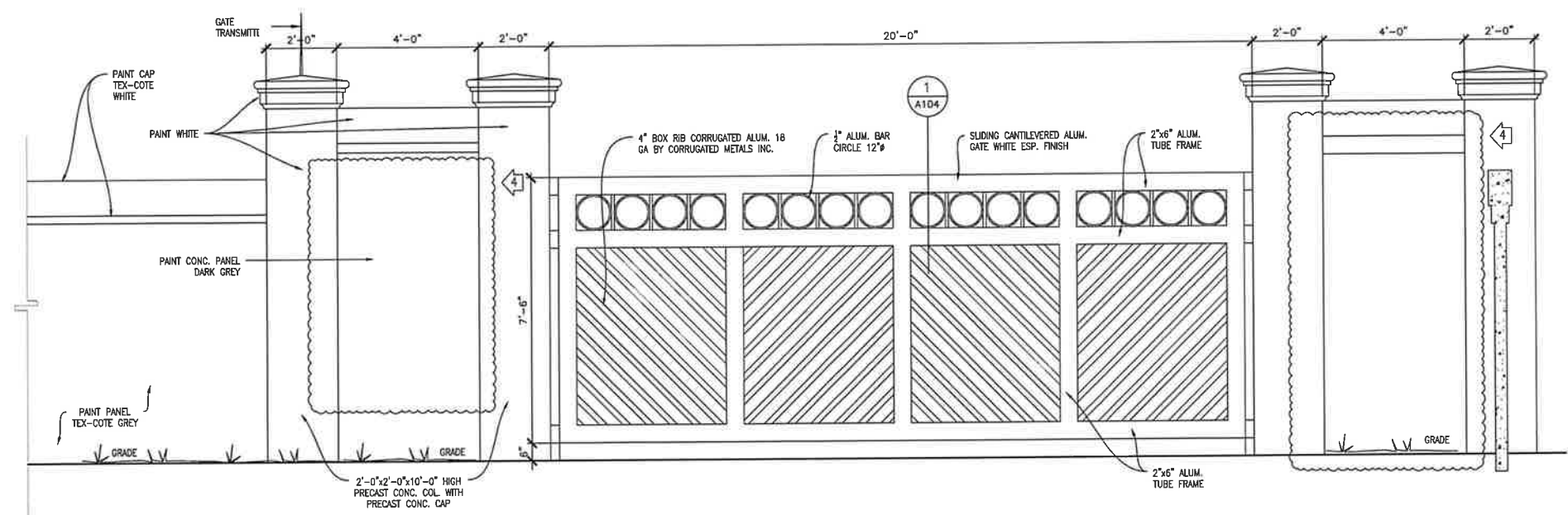
- 1.-, SHALL BE BY PRECAST WALL SYSTEM INC. 1858 NW 22nd COURT, POMPANO BEACH, FL, 33069, PHONE: 954 973 8488.
- 2.-. DESIGN WILL BE DELEGATED TO SPECIALTY ENGINEER INCLUDING FOUNDATION PROVIDE SIGNED AND SEALED SHOP DRAWINGS AND CALCULATIONS BY FLORIDA REGISTERED ENGINEER FOR APPROVAL.
- 3.-WALL SHALL BE COMPLIANT WITH FBC 2023 SECTION CHAPTER 15-6, HVHZ.



**DETAIL 1**  
SCALE: 3" = 1'-0" A104



**GATE FRAMING ELEVATION**  
SCALE: 1/4" = 1'-0"



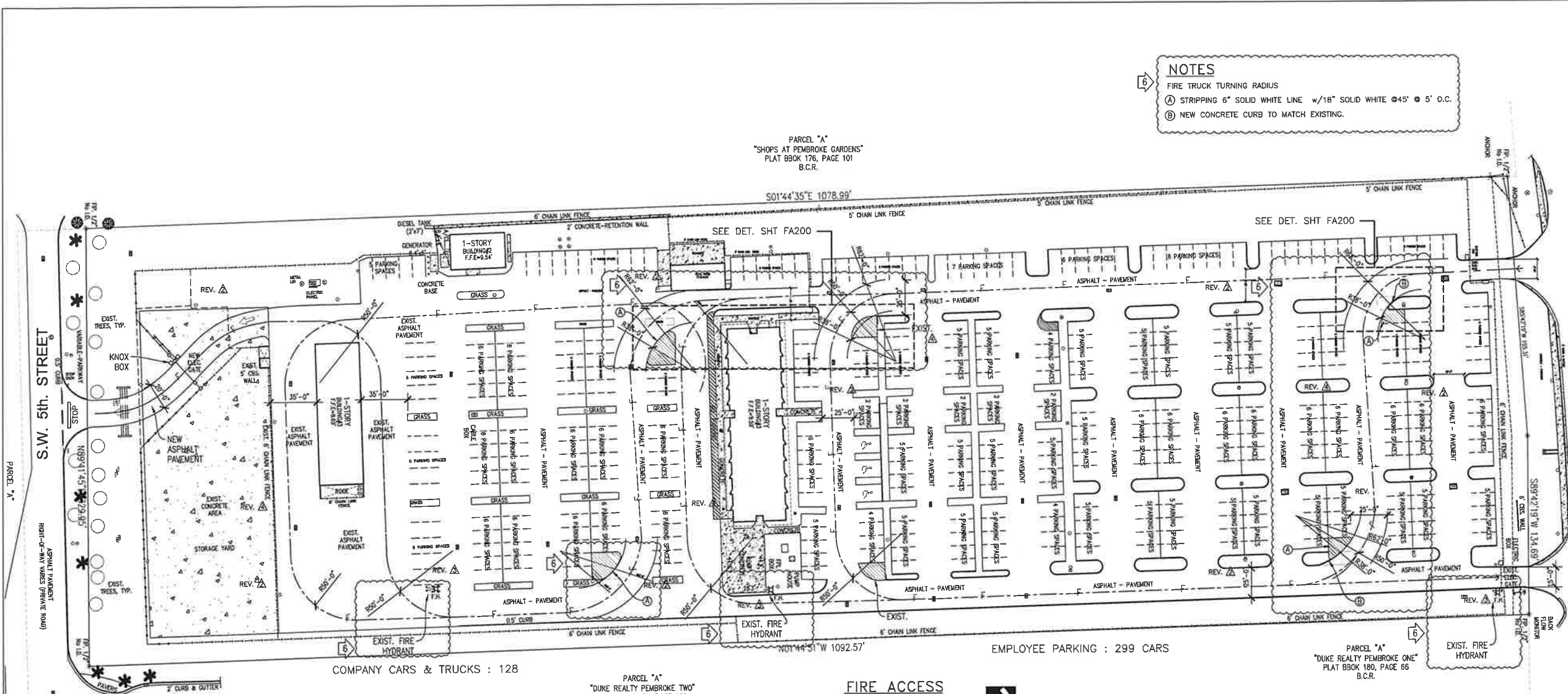
**GATE ELEVATION**  
SCALE : 1/2" = 1'-0"

SHOP DRAWING  
PROVIDE GATE SHOP DRAWING  
FOR ARCHITECTS APPROVAL

SUB-CONSULTANT STAMP			
<b>EVELYN + ROUX</b> architects Theodore Roux AIA Robert John Evelyn 4854 S.W. 22nd AVENUE MIAMI, FL 33155 phone (305) 443-8116 Job No. 2379			
CONSULTANT STAMP			
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REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/26/23	TR
1	PERMIT COMMENTS	2/27/24	
4	DRC COMMENTS	9/24/24	TR
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DRAWINGS PREPARED FOR <b>AT&amp;T CORPORATE REAL ESTATE</b> PROJECT: <b>PEMBROKE PINES S.O.C.</b> 13900 PINES BLVD. PEMBROKE PINES FL US E9604			
SHEET TITLE: <b>WALL ELEVATIONS ARCHITECTURAL</b>			
AT&T PROJECT NUMBER	DATE: 8/8/23	SCALE: AS NOTED	
AT&T AUTHORIZATION:	DRAWN BY:	CHECKED BY:	
LUSSET MOREJON	SHEET: 1 OF: 1	SHEETS	SHEET NO. A104
AT&T DRAWING NO.: E9604A10104			

**PROJECT TITLE**  
NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET





- NOTES**
- FIRE TRUCK TURNING RADIUS
- ① STRIPPING 6" SOLID WHITE LINE w/18" SOLID WHITE @45' @ 5' O.C.
- ② NEW CONCRETE CURB TO MATCH EXISTING.

**SITE DATA:**

1. SITE AREA: 8.24 ACRES
2. BUILDING AREA—
- EXISTING BUILDINGS:
- A. OFFICE BUILDING 5,845 S.F.
- B. STORAGE 3,550 S.F.
- C. STORAGE 1,098 S.F.
- OPEN PAVILION 1,058 S.F.
- TOTAL 11,551 S.F.

**LEGAL DESCRIPTION**

PARCEL "A" OF "SOUTHERN BELL PEMBROKE PINES", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 112, PAGE 40, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**LEGEND**

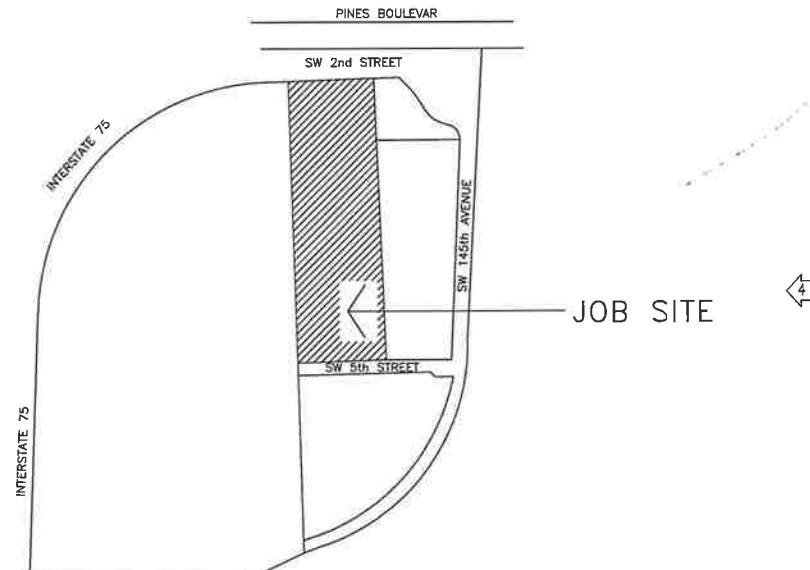
- ④ — FIRE TRUCK ROUTE
- CENTERLINE TURNING RADIUS OF 50' WITH 14' MIN. WIDTH AND 4' UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6" ACCESS ROUTE ASPHALT PAVED WILL SUPPORT IMPOSED LOAD OF 32 TONS. MAX SLOPE 1FT IN 20FT NO TRAFFIC CALMING DEVICES.
- EXISTING FIRE HYDRANTS

**SIGNAGE:**

ALL SUPPORT/SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED "GROUND SIGN ASSEMBLY DETAILS"

**FIRE ACCESS SITE PLAN**

SCALE : 1" = 40'-0"



**VICINITY MAP**

NOT TO SCALE



**SUB-CONSULTANT STAMP**

**EVELYN + ROUX**  
architects  
Theodore Roux AIA  
Robert John Evelyn  
1304 S.W. 22nd Avenue  
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Job No. 2379

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REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUED FOR CONSTRUCTION	11/28/21	TR
1	PERMIT COMMENTS (NEW SHEET)	2/23/24	TR
2	FIRE COMMENTS	7/1/24	TR
3	FIRE COMMENTS	7/22/24	TR
4	DRG COMMENTS	9/24/24	TR
6	DRG COMMENTS	1/15/25	TR

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**AT&T CORPORATE REAL ESTATE**

**PEMBROKE PINES S.O.C.**

13900 PINES BLVD.  
PEMBROKE PINES  
FL US

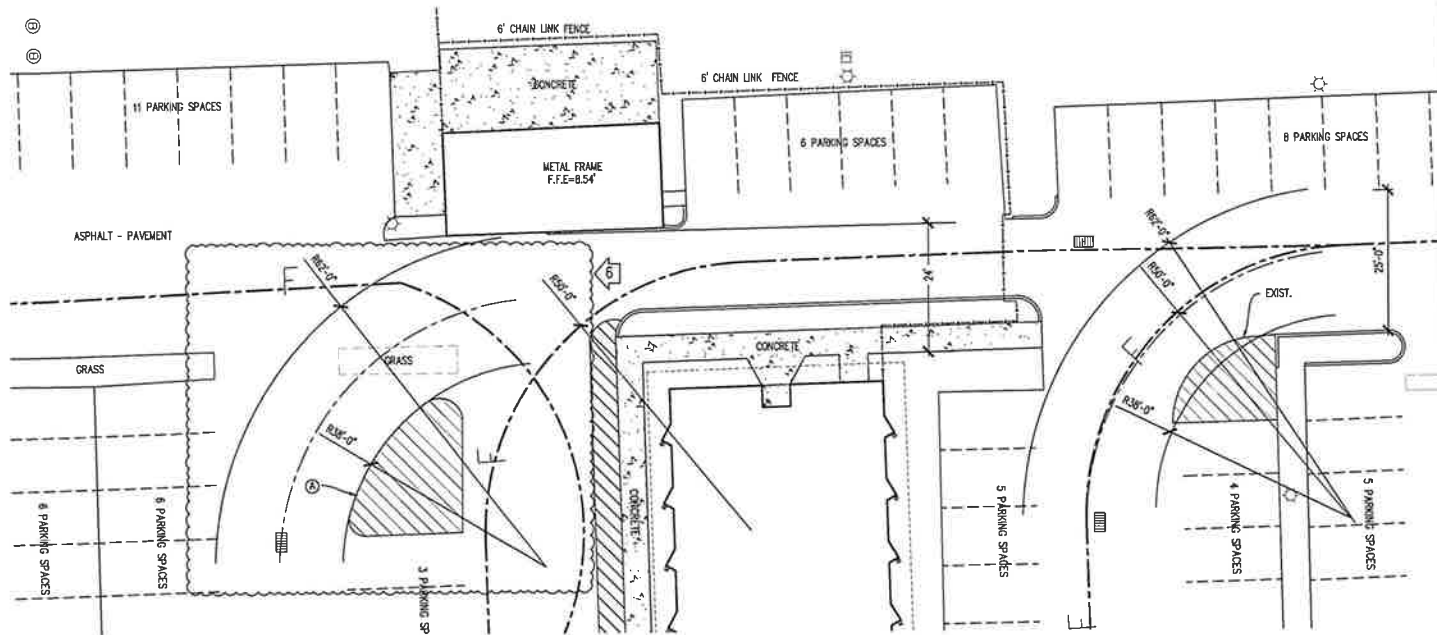
E9604

FIRE ACCESS SITE PLAN CIVIL			
AT&T PROJECT NUMBER:	DATE: 8/8/23	SCALE: AS NOTED	
AT&T AUTHORIZATION:	DRAWN BY:	CHECKED BY:	
LUSSET MOREJON	SHEET: 1 OF: 1	SHEETS	SHEET NO. FA100
AT&T DRAWING NO.:	E9604FA10100		

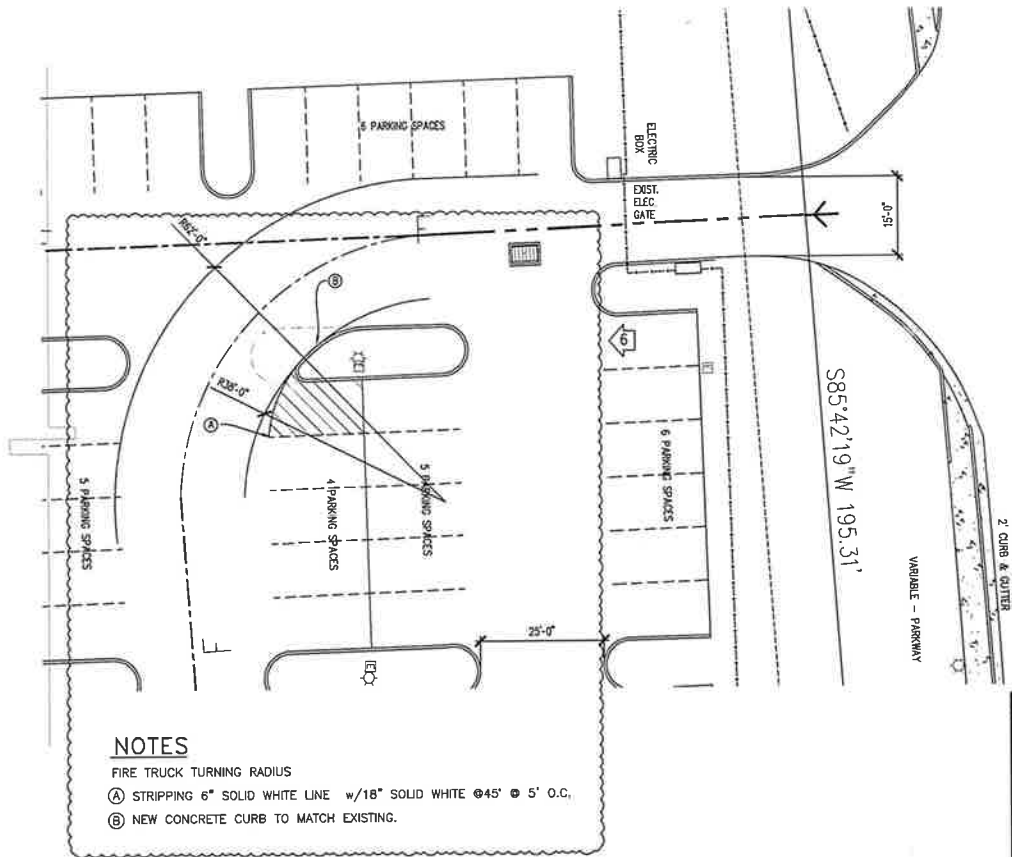
**PROJECT TITLE**

**NEW EXIT DRIVE/WALL TO S.W. 5th STREET**





**FIRE ACCESS  
SITE PLAN**  
SCALE: 1/8"=1'-0"



#### NOTES

FIRE TRUCK TURNING RADIUS

- (A) STRIPPING 6" SOLID WHITE LINE w/18" SOLID WHITE @45' @ 5' O.C.
- (B) NEW CONCRETE CURB TO MATCH EXISTING.

#### FIRE DEPARTMENT NOTES

1. A PROVIDE KNOX VAULT COMPATIBLE WITH PEMBROKE PINES FIRE DEPARTMENT REQUIREMENTS. TOGGLE SWITCH OPEN POSITION SHALL OPEN GATE OPEN UNTIL TOGGLE SWITCH IS RETURNED TO CLOSED POSITION.

B KNOX BOX SHALL BE MOUNTED AT GATE ENTRANCE, SEE PLAN FOR LOCATION.

C GATE SHALL BE EQUIPPED WITH A DIGITAL RADIO RECEIVER COMPATIBLE WITH PEMBROKE PINES FIRE DEPARTMENT'S SYSTEM. GATE SHALL OPEN UPON SIGNAL FROM FIRE DEPARTMENT REMOTE-TRANSMITTER, AT A MINIMUM DISTANCE OF 20' FROM GATE

D ENTRY AND EXIT GATES SHALL OPEN WITH THE ABOVE TRANSMITTERS AND WITH THE USE OF TOGGLE SWITCH.

E UPON LOSS OF POWER, ALL GATES WILL REMAIN UNLOCKED AND OPENED.

2. A A UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6" SHALL BE MAINTAINED IN FIRE APPARATUS ACCESS ROADS.

B PERMANENT, WEATHERPROOF SIGNAGE WILL BE REQUIRED FOR THE FIRE APPARATUS ACCESS ROUTES.

C VERTICAL CLEARANCES OR WIDTHS SHALL BE INCREASED WHEN VERTICAL CLEARANCES OR WIDTHS ARE NOT ADEQUATE TO ACCOMMODATE FIRE APPARATUS. NFPA-1:18.2.3.4.1.2.2.

D THERE SHALL BE A 14' MINIMUM WIDTH AT LEVEL 6' TO 6' FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE.

E MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.5 SHALL BE MAINTAINED AT ALL TIMES. NFPA 1-18.2.4.1.2.

3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHTING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. NFPA-1:18.2.3.5.2.

NOTE: ROADS DURING CONSTRUCTION:  
HARD COMPACTED SURFACE SUPPORTING 32 TONS SHALL BE PROVIDED ON ROADS FOR FIRE APPARATUS TO ACCESS OF BUILDINGS UNDER CONSTRUCTION.

4. THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ.

5. THE DESIGN AND USE OF TRAFFIC CALMING DEVICES SHALL REQUIRE APPROVAL BY THE AHJ AND COPP ENGINEERING DEPARTMENT. NFPA-1:18.2.3.5.7.

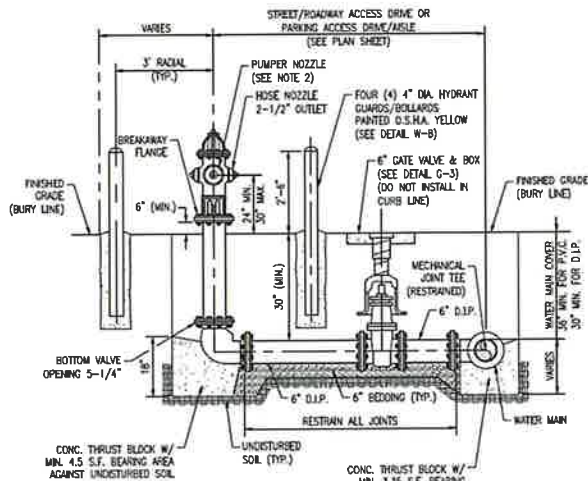
6. WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE APPARATUS ACCESS ROADS OR TO PROHIBIT THE OBSTRUCTION THEREOF OF BOTH. NFPA-1:18.2.3.5.11.

A. THE DESIGNATION OF THE FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED BY HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES. COPP CO 93.12.

B. FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING, OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE. SIGN(S) SHALL BE PROVIDED.

C. FIRE LANE SIGN(S) SHALL BE 18" BY 24" AND SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. SUCH SIGNS SHALL BE 12 IN BY 18 IN IN WHIT WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO BE THE BOTTOM PART OF THE SIGN. THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE MAXIMUM OF 60 FEET APART. NFPA-1:18.2.3.5.6.3.

7. ALL SUPPORT/SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SUP BASE PER BCTED "GROUND SIGN ASSEMBLY DETAILS". NOTE: DETAIL THIS SHIT.



**FIRE HYDRANT DETAIL**  
N.S.

#### NOTES:

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4" BOTTOM VALVE WITH A 4 1/4" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.

2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.

3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE / ISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.

4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / DRIVE OR "TURNING RADIUS".

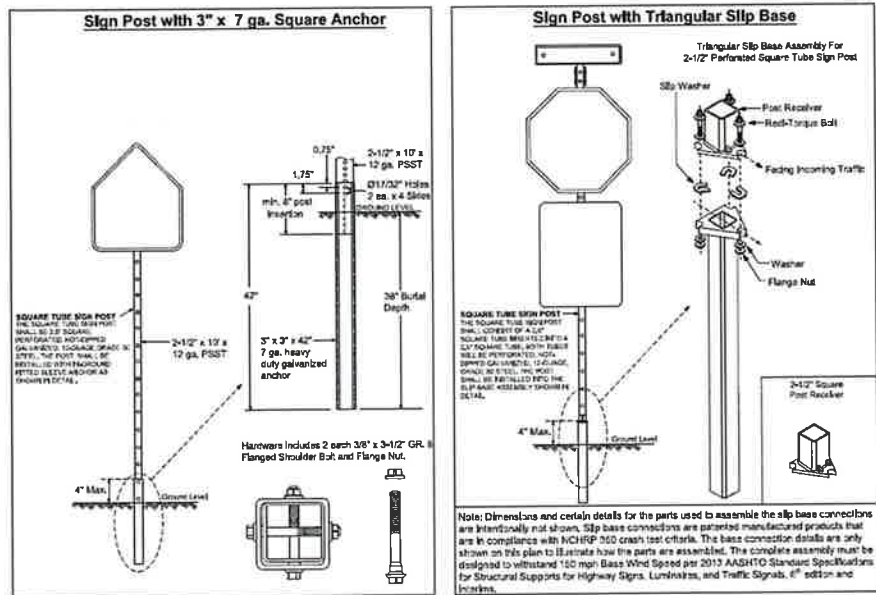
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.

6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.

7. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.

8. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

#### Ground Sign Assembly Details



**PROJECT TITLE**  
NEW EXIT DRIVE/WALL  
TO S.W. 5th STREET

S.W. 2nd. STREET

**SUB-CONSULTANT STAMP**

**EVELYN + ROUX**  
architects  
Theodore Roux AIA  
Robert John Evelyn  
4854 S.W. 72nd Avenue  
Miami, Florida  
phone: (305)443-8118  
Job No. 2379

**CONSULTANT STAMP**

**ED ENGINEERED DESIGNS INC.**  
1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27518  
P 919.851.8481 F 919.851.9703 www.engineereddesigns.com

REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
5	NEW SHEET	11/27/24	TR
6	ERC COMMENTS	1/15/25	TR

**PROPRIETARY AT&T INFORMATION**  
NOT FOR GENERAL USE OR DISCLOSURE OUTSIDE OF AT&T  
THIS INFORMATION MAY ONLY BE USED BY AUTHORIZED  
PERSONNEL OF THE LOCAL GOVERNMENT AGENCY IN CONNECTION  
WITH APPLICATION FOR PERMITS AND AUTHORIZATIONS FOR  
BUILDINGS, CONSTRUCTION, AND/ OR ZONING CHANGES.

**AT&T CORPORATE REAL ESTATE**  
PEMBROKE PINES S.O.C.

13900 PINES BLVD.  
PEMBROKE PINES  
FL US  
E9604

SHEET TITLE:			
FIRE ACCESS SITE PLAN CIVIL			
AT&T PROJECT NUMBER:	DATE: 11/27/24	SCALE: AS NOTED	
DRAWN BY:	CHECKED BY:		
AT&T AUTHORIZATION:	SHEET: 1 OF: SHEETS	SHEET NO.	
LISSET MOREJON	AT&T DRAWING NO: E9604FA10200	FA200	







S.W. 5th. STREET

PARCEL "A"  
"PEMBROKE CORPORATE CENTER"  
PLAT BBOOK 177, PAGE 92  
B.C.R.

ASPHALT PAVEMENT  
RIGHT-OF-WAY VPIES (PRIVATE ROAD)

N 89° 41' 45" W 29.95'

PARTIAL SITE PLAN-PHOTOMETRIC STUDY  
SCALE: 1/16" = 1'-0"



PHOTOMETRIC CALCULATION							
AREA	CALC TYPE	UNITS	AVERAGE	MAXIMUM	MINIMUM	AVERAGE MINIMUM	MAXIMUM MINIMUM
NEW DRIVEWAY	ILLUMINATION	FC	3.71	10.6	0.4	9.28	26.50

SUB-CONSULTANT STAMP			
 ProCon Engineering, Inc. MEP Engineering Consultants 7540 S.W. 20TH TERRACE MIAMI, FLORIDA 33166 OFFICE (305) 282-7530 FAX (305) 286-7799 E-MAIL: proconengineers@bellsouth.net CA #0076 ProCon # 24-04	NAME: FERNANDO ANDRADA LIC # 36032 PHONE # 305-282-7530 ADDRESS: 7540 S.W. 20TH TR. MIAMI, FL 33166 SIGNATURE: _____ DATE: 01-30-2024		
CONSULTANT STAMP			
 ENGINEERED DESIGNS INC. 1151 SE Cary Parkway, Suite 200 Cary, North Carolina 27515 P 919.851.8481 F 919.851.8703 www.engineeredesigns.com			
REVISIONS / AUTHORIZATIONS			
NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
0	ISSUE FOR CONSTRUCTION.	01/30/24	AP/TA
1	REVISION #3	06/07/24	AP/TA
PROPRIETARY AT&T INFORMATION NOT FOR GENERAL USE OR DISCLOSURE OUTSIDE OF AT&T THIS INFORMATION MAY ONLY BE USED BY AUTHORIZED PERSONNEL OF THE LOCAL GOVERNMENT AGENCY IN CONNECTION WITH APPLICATION FOR PERMITS AND AUTHORIZATIONS FOR BUILDINGS, CONSTRUCTION, AND/OR ZONING CHANGES.			
DRAWINGS PREPARED FOR			
AT&T CORPORATE REAL ESTATE			
PROJECT TITLE: PROJECT DRAWING			
01 13900 PINES BLVD PEMBROKE PINES FL US HLWDFL09 143829.01.01 E9604			
SHEET TITLE: PARTIAL SITE PLAN PHOTOMETRIC STUDY			
AT&T PROJECT NUMBER	DATE: 01/30/2024	SCALE: N.T.S.	
DRAWN BY: AP.	CHECKED BY: F.A.		
AT&T AUTHORIZATION	SHEET: 2 OF 5 SHEETS	SHEET NO.	
LISSET MOREJON	AT&T DRAWING NO: E 10102	E02	

AT&T PEMBROKE  
PINES SOC NEW GATE



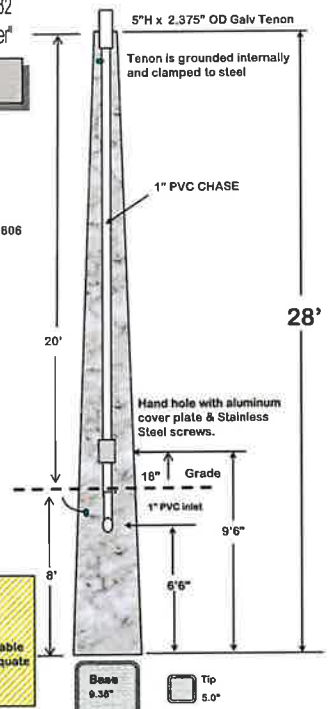
Utilities Structures, Inc.

PO Box 9303 Ft Myers, FL 33901  
Ph. 1-800-798-7653 Fax. 1-941-332-7132  
"Your Prestressed Concrete Pole Producer"

US128THS-9666

- Prestressed Concrete Pole**
- Pole Weight= 1,840lbs
  - Wind speeds= 180mph Vult
  - Exposure = C
  - Gust factor = 1.2
  - Risk Category III
  - ASCE 7-16
  - 7th Edition 2020 FBC 1620 HVHZ, 1609, 1806
  - Dead load per = AASHTO LTS-4
  - Live load per = AASHTO LTS-4
  - Wind load per AASHTO LTS-4
  - Concrete= 6,500lbs @ 28 days
  - Grd. Wire= #6 str. copper
  - Strand= 1/2" @ 70% Ultimate

Select Structural, LLC.  
Shawn R. Anderson, P.E., S.E.

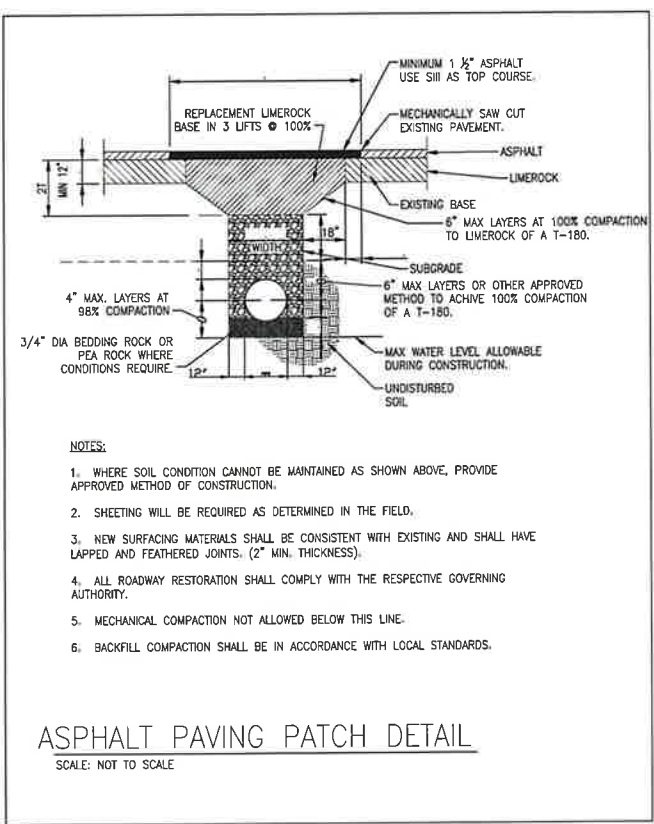


**PROJECT:**

This pole embedded 8' in to soils with an allowable passive pressure of 300pcf is structurally adequate to resist the local wind speed of Co. With the 2.5sqft epa attached

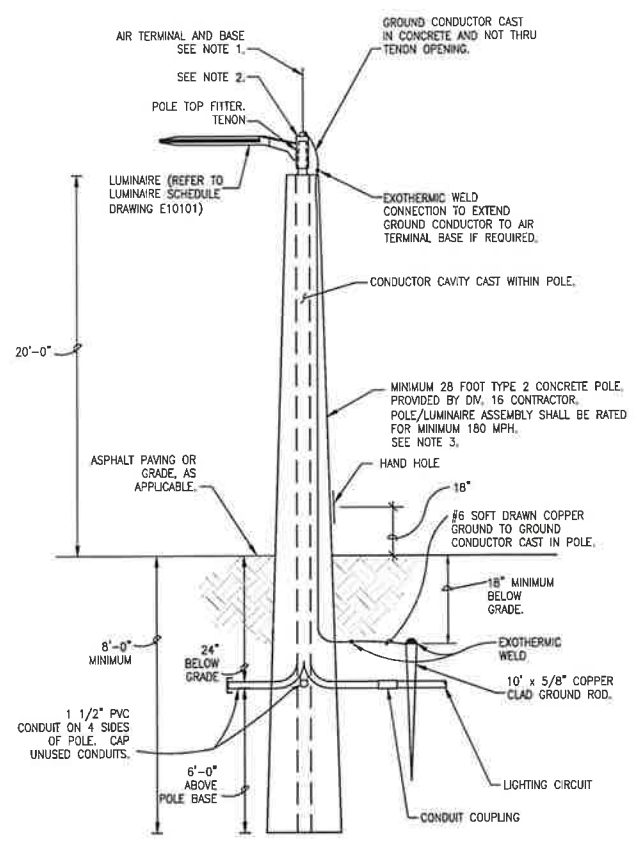
NEW POLE SPEC SHEET

SCALE: NOT TO SCALE



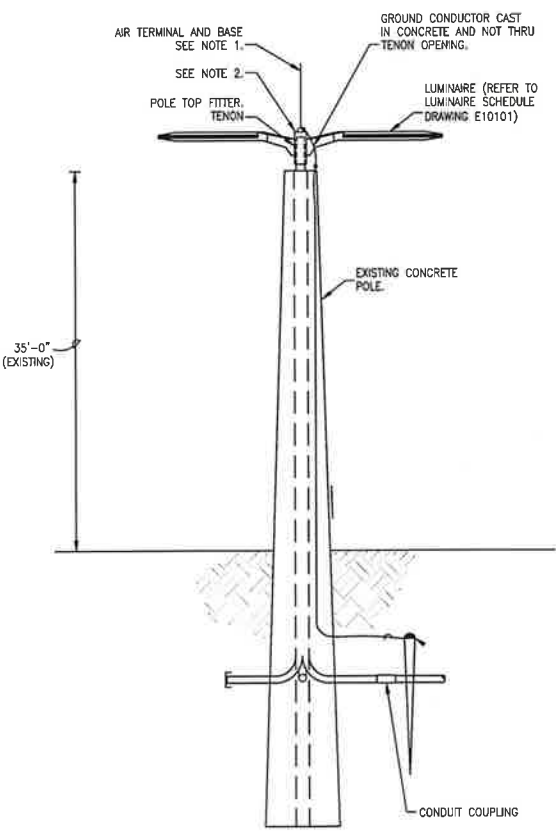
ASPHALT PAVING PATCH DETAIL

SCALE: NOT TO SCALE



NEW POLE & MARK A2 LUMINAIRE DETAIL

SCALE: NOT TO SCALE



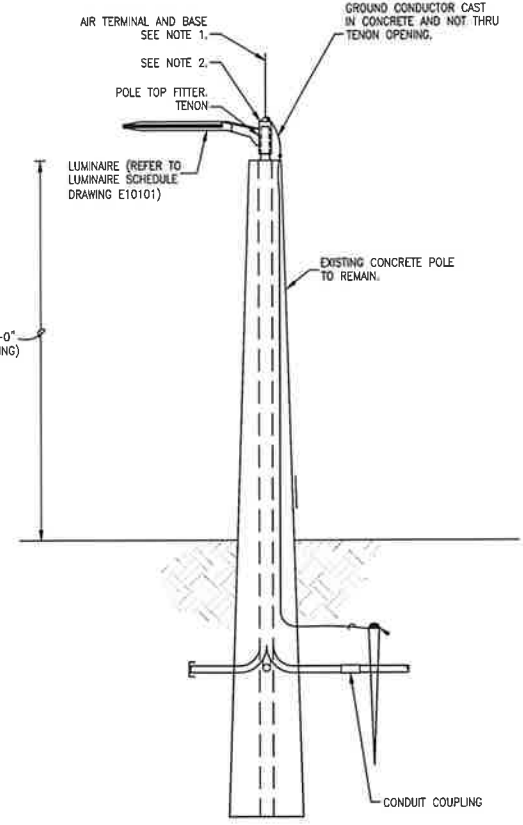
(APPLICABLE FOR 2 EXISTING 35'-0" POLES)

MARK A1- 180 DEGREES APART LUMINAIRE DETAIL

SCALE: NOT TO SCALE

ELECTRICAL NOTES

1. AIR TERMINAL AND BASE ASSEMBLY SHALL CONSIST OF THOMPSON LIGHTNING PROTECTION, INC. MODEL NO. 571 AIR TERMINAL (5/8" X 24" MINIMUM HEIGHT NICKEL TIPPED SOLID COPPER POINT) WITH THOMPSON LIGHTNING PROTECTION, INC. MODEL NO. 78 ONE BOLT MASONRY BASE. AIR TERMINAL SHALL BE HIGHER THAN TOP OF LUMINAIRE. THE ONE BOLT BASE SHALL BE CAPABLE OF MOUNTING ONE AIR TERMINAL AND ALLOWING GROUND CONDUCTOR TO MAKE CONTACT AND/OR PASS THRU BASE.
2. CONTRACTOR SHALL VERIFY WITH MANUFACTURER OF LUMINAIRE IF ADDITIONAL POLE TOP FITTER ARE REQUIRED TO MOUNT LUMINAIRE HOUSING(S) ONTO CONCRETE POLE. PROVIDE ANY ADDITIONAL HARDWARE AS REQUIRED. COORDINATE INSTALLATION OF TENON ON TOP OF NEW/EXISTING CONCRETE POLE WITH POLE MANUFACTURER.
3. CONTRACTOR SHALL PROVIDE FLORIDA ENGINEER SIGNED AND SEALED CALCULATIONS & SHOP DWGS. CONFIRMING THAT NEW CONCRETE POLE/LUMINAIRE ASSEMBLY (EPA) MEET THE MINIMUM 170 MPH WIND LOAD REQUIREMENTS. INCLUDE CALCULATIONS WITH SHOP DRAWINGS. REQUIRED STRUCTURAL SHOP DRAWINGS SHALL BE APPROVED BY BUILDING DEPARTMENT PRIOR TO PURCHASE & COMMENCEMENT OF PROJECT.



(APPLICABLE FOR 2 EXISTING 20'-0" POLES)

MARK A3 LUMINAIRE DETAIL

SCALE: NOT TO SCALE

EXISTING PANEL LG											
SURFACE MOUNTED											
NO.	TYPE	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT
1	1	100	100	100	100	100	100	100	100	100	100
2	1	100	100	100	100	100	100	100	100	100	100
3	1	100	100	100	100	100	100	100	100	100	100
4	1	100	100	100	100	100	100	100	100	100	100
5	1	100	100	100	100	100	100	100	100	100	100
6	1	100	100	100	100	100	100	100	100	100	100
7	1	100	100	100	100	100	100	100	100	100	100
8	1	100	100	100	100	100	100	100	100	100	100
9	1	100	100	100	100	100	100	100	100	100	100
10	1	100	100	100	100	100	100	100	100	100	100
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19	1	100	100	100	100	100	100	100	100	100	100
20	1	100	100	100	100	100	100	100	100	100	100
21	1	100	100	100	100	100	100	100	100	100	100
22	1	100	100	100	100	100	100	100	100	100	100
23	1	100	100	100	100	100	100	100	100	100	100
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34	1	100	100	100	100	100	100	100	100	100	100
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99	1	100	100	100	100	100	100	100	100	100	100
100	1	100	100	100	100	100	100	100	100	100	100

TOTAL ADDED LOAD KVA = 0.5  
TOTAL ADDED AMPS = 0.5 ÷ 0.36 = 1.38 AMPS  
EXISTING PANEL LG IS FED FROM MAIN DISTRIBUTION PANEL USING 3P 150AMP BREAKER.  
EXISTING LOAD ON THE



## THE SL-3000-UL™ SERIES SLIDE GATE OPERATORS



**Modular Board** – Uses LEDs to indicate all input and output functions of the gate operator.

**ERD** – If the gate hits a vehicle while closing, it re-opens. If it hits a vehicle while opening, it stops, reverses 4 to 6 inches and stops again.

**Digital Motor Protection** – Entrapment sensor shuts off the motor after it reaches the stall amp for 3 seconds, reverses direction for several inches, and stops.

**Electronic Inputs** – Radio receiver, key switch, safety loop, center loop, telephone entry system, computer input, fire dept. key switch & 3-push-button station.

**Timer** – Adjustable timer can be set from 0 to 60 seconds.

**Power Input On/Off Switch** – Controls power input to the board with convenient switch.

**Power Management** – Board includes electronic power management with over current shutdown and automatic recovery.

**Magnetic Lock** – With Omni Option board, magnetic lock system is incorporated, allowing you to easily add the "MCL300" electromagnetic locking system to the gate.

**Burglar Alarm** – With Omni Option board, interfaces with existing home alarm or alarm output.

**3 Push Button Control** – On board gate operator control for close, stop, and open.

The SL-3000-UL™ is smooth and exceptionally quiet. This unit can handle continuous cycles daily with gates up to 1000 lbs. and 37 ft. in length and has a traveling speed of 12 inches per second. It is designed for high traffic applications such as heavily accessed gated communities and commercial buildings.

The SL-3000 Series slide gate operators are used by high demand customers and are the most popular slide gate operators in the country. Users include large development and management companies, as well as prestigious residential gated communities and custom homes.

### Electrical Specifications

**Intelligent Master/Slave** – Precise, synchronized movement and communication between two gate operators using 3 wire RS-485 bi-directional technology.

**Spike Suppressors** – 20,000 Amps and near lightning protection with modular omni surge suppressor. Initial response time: 0.0000000001 seconds.

**Alternate Outputs** – With Omni Option Board 3 push button command control, burglar alarm input and output, QCC option available.

**Gate Traveling Time** – Adjusted by a precision mechanical device and electrical limit switch system.

**Soft Stop** – Gate travels through the cycle at normal speed and comes to a stop slowly for more accurate gate cycle. Equipped with integrated time delay for long mechanical life expectancy.

**Integrated Loop Detectors** – Easy to install modular, plug in loop detector inputs for exit loop, center loop, and safety loop.

**120 VAC Power** – Built-in 120 VAC power receptacle (NEMA 5-15).

**Motor Drive** – Solid-State electronic motor drive system is incorporated into board.

**Safety Alarm** – If the gate hits an object twice while opening or closing, the system will shut down and alarm will sound for five minutes. After five minutes the system will automatically reset itself. To reset the system during the five minutes, a manual reset button must be used.

**S** THE SL-3000-UL

Design and specifications subject to change without notice.

PAGE 1

## THE SL-3000-UL™ SERIES SLIDE GATE OPERATORS

Elite's operators are skillfully crafted in the USA. Every unit is carefully inspected both electronically and mechanically to provide the quality expected. Elite uses computer aided design to assure the most precise fit for their operator components. High quality and years of proven reliability places Elite SL Series slide gate operators ahead of the competition.

• #41 chain is guided by two slotted UHMW rollers which prevent the chain from slipping off of the drive sprocket thereby requiring less maintenance.

• The SL Series use a solid steel, machined pulley and notched V-groove belt for highly efficient torque transfer from motor to gear reducer.

• The 1/2 HP, instant reversing parking gate motor uses high speed ball bearings for a smooth and quiet operation.

• A highly efficient, extremely quiet, 30 to 1 worm gear reducer is used.

Limit switch device with high speed ball bearings

Modular Omni Control Board

Gold zinc plating

High density polyethylene plastic cover



Heavy duty, 30:1 ratio gearbox lubricated in and oil bath

1/2 HP instant reversing motor

1/4" steel metal chassis

### Mecanical Specifications

**Chassis** – Constructed with 1/4" sanded, welded, and gold zinc plated steel metal.

**Worm Gear Reduction** – 30-to-1 worm gear reduction in an oil bath.

**Motor** – 1/2 hp, instant reversing, 120VAC, 4 amp, 1625 rpm, high speed ball bearings.

**Cover** – High density polyethylene plastic for excellent heat and corrosion resistance.

**Finishing** – All metal parts are gold zinc plated for rust proof protection.

**Weight** – 112 lbs Shipping – 130 lbs.

**Emergency Release** – Hand crank is standard. Best option is our DC-1000U™.

**Cycles** – Continuous

**Output Shaft** – 1" cold rolled steel.

**Capabilities** – Maximum gate length 37'. Maximum gate weight 1000 lbs.

**Gate Traveling Speed** – 12" per second average.

**Dimensions** – L18" X W19" X H25"

**Approval** – ETL and UL Listed and compliant to UL325 and UL991 standards.

**S** THE SL-3000-UL

Design and specifications subject to change without notice.

PAGE 2

## THE SL-3000-UL™ SERIES SLIDE GATE OPERATORS

### FEATURES OF THE SL-3000-UL™ SLIDE GATE OPERATOR



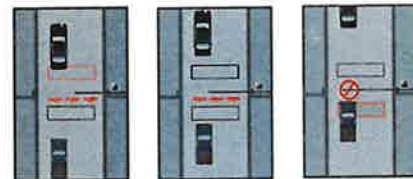
#### LIMIT SWITCH SYSTEM

The SL-3000-UL™ is manufactured with a precision limit switch system. This system uses high speed ball bearings and high quality components for efficiency.



#### REVERSING SENSOR

The digital current sensor continuously monitors the motor current. It can be set for both the opening and closing cycles. If the gate is closing and hits a vehicle, the sensor detects the increased load on the motor and reverses. If the gate is opening and hits a vehicle, it stops and reverses 4 to 6 inches. The sensor is smart enough to operate on off-level installations and not to react to wind resistance.



#### QUICK CLOSE CIRCUIT

The QCC is a function of Elite's slide gate operators that can be enabled by installation of a optional "Code Button" into the OmniOption control board sold exclusively by Elite. Recommended for large gates, 16 feet and longer, this unit is ideal for industrial applications like storage facilities, warehouses, and gated communities with a guard house. The illustrations below visually describe the effectiveness of the QCC. Picture #1: The authorized command vehicle enters and leaves the loop. Picture #2: The gate closes as the authorized vehicle clears the loop. Picture #3: Unauthorized vehicle attempts to enter, but QCC stops the gate, which forces the unauthorized vehicle to either move ahead (if there is room) or back up. QCC will not reset until the unauthorized vehicle has cleared the loop.

**S** THE SL-3000-UL

Design and specifications subject to change without notice.

PAGE 3

## THE SL-3000-UL™ SERIES SLIDE GATE OPERATORS

### OMNICONROL BOARD

All new UL model Elite SL-3000-UL™ commercial slide gate operators now use the OmniControl™ board for enhanced, reliable operation conforming to the new UL-325 and UL-991 specifications. This advanced electronic control board now offers integrated functions to make all input and outputs of the gate operator easy to access. It offers solid state motor control, spike suppressors, safety alarm and many other unique features. The new OmniControl™ board assures the latest requirements and most advanced technology in the industry, keeping all Elite commercial operators in a class by themselves.

### PLUG-IN LOOP DETECTORS

These high quality loop detectors are for use with the Elite Omni Board. The electronics are manufactured exclusively for Elite by Reno A&E, a respected name in loop detection technology. With Elite's proven design and integration technology, these component detectors will make installation and maintenance of loop detection systems simple. They are available for use with the SL-3000-UL™ for Exit Loop and Safety Loop.

### STANDARD LIGHTNING PROTECTION

Elite undertook the project of protecting the Elite commercial gate operators against lightning strike with a level of protection up to a 50 foot radius of near lightning strikes. The result of this project is a terminal block that has been specifically designed to prevent damage to the OmniBoard caused by lightning strike. The ability to handle high power and the fast response capability is accomplished by the use of a two-stage, hybrid network of surge suppressors integrated in the terminal block. This network of surge suppressors will protect a total of 11 lines for the gate operators (3 lines for the master/slave communication, and 8 lines for the various input commands). The 110 volt power line protection on the OmniBoard and the Plug-In Loop Detectors is built into the OmniBoard itself.



**S** THE SL-3000-UL

Design and specifications subject to change without notice.

PAGE 4

## THE SL-3000-UL™ SERIES SLIDE GATE OPERATORS

### OPTIONAL ITEMS FOR THE SL-3000-UL™ SLIDE GATE OPERATOR

#### POWER WHEELS

The 4", 5" and 6" Power Wheels™ are manufactured by a computer controlled lathe machine and made from solid, cold rolled steel. They can be used on heavy gates and never require any maintenance. Power Wheels™ are 30% more efficient in torque transfer from wheels to operator than other wheels such as cast iron or plastic. They are available in two models, the gold zinc plated Power Wheel™ or the heat treated Power Wheel 2™, for extra durability and rust resistance.



#### ALARM RESET BUTTON

The optional safety alarm reset button will instantly reset the built-in safety alarm siren on all new OmniControl operators, allowing normal function without waiting for the alarm status to time out.

#### THE DC-1000 POWER BACKUP

Don't be a prisoner of your own gate. Using the DC-1000™ keeps traffic moving during a power failure.

Set up A: In case of a power failure, the gate will open automatically. When the power is restored, the operator will return to normal condition.

Set up B: Gate will not open automatically until activated by a key switch, push button, or dry contact adjustable command.



#### GEARBOX HEATER

An optional gearbox heater is available to keep the gearbox running in it's optimum temperature range.

**S** THE SL-3000-UL

Design and specifications subject to change without notice.

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SUB-CONSULTANT STAMP	
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AT&T PEMBROKE  
PINES SOC NEW GATE

GATE MOTOR SPEC SHEET



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# LIGHT FIXTURE SPEC SHEET

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