





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	September 11, 2025	Application ID:	SP2025-0005
Project:	H & M Self-Storage	Project Number:	PRJ2024-0017
Project Planner	Cole Williams, Senior Planner		
Owner:	Raintree at Pines LLC	Agent:	Michelle Diaz-Mendez
Location:	1520 South Hiatus Road	Commission District	1
Existing Zoning:	C-1 (Commercial)	Existing Land Use:	Commercial (Flexibility Rule Applied)
Reference Applications:	ZV2025-0008, ZC 2024-0003, SP2021-08, SP2020-09, ZV 2020-08, SP 2017-03, ZV 2017-02, ZV 2017-03, ZV 2017-04, ZV 2017-14, ZC 2017-02, SP 2015-01, SP 2014-22, MSC 2010-07, SP 2008-02, MSC 2007-71, SP 2006-53, ZC 2005-06, ZC 2005-07, ZC 2003-02, AM 2003-07		
Applicant Request:	Construction of a self-storage facility with associated site, signage, circulation, parking and landscape improvements.		
Staff Recommendation:	Approval subject to the recordation of the underlying plat		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director:  Assistant Director: 		

Project Description / Background

Michelle Diaz-Mendez, agent, requests approval to construct a self-storage facility with associated site, signage, circulation, parking and landscape improvements within the Village of Mayfair shopping center located at 1520 south Hiatus Road.

The City Commission approved the base site plan for the shopping center (SP 2006-53) at its April 18, 2007 meeting. Modifications to the site plan were made in 2007, 2008 and 2010, 2014 and 2015 (SP2015-01). Wawa gas station, outparcel to the shopping center was approved in 2017 through SP2017-03. Only a portion of the approved commercial shopping center and the Wawa gas station were constructed, leaving the vacant remaining parcels for future development.

Recently the following development applications have been approved by the Planning and Zoning Board or the City Commission:

- April 16, 2025, the City Commission approved the rezoning of the underlying property from B-3 (General Business) to C-1 (Commercial) with amended restrictive covenants (Ordinance 2043)
 - The amended restrictive covenants allow for:
 - Only self-storage use within the C-1 use list.
 - 65' maximum height for self-storage buildings
- May 7, 2025 the City Commission passed Resolution 3905 amending the plat allowing for 136,000 square feet of self-storage use.
- June 26, 2025 the Planning and Zoning Board approved site plan application SP2025-0004 for a Culver's restaurant.
- August 14, 2025, the Planning and Zoning Board approved zoning variance ZV2025-0008 allowing 285 parking spaces instead of the required 344 parking spaces.

BUILDINGS / STRUCTURES:

The proposed four story self-storage facility located on the vacant parcel on the southwest corner of the shopping center will be 47'-7" in height and 134,074 square feet in area. The applicant is proposing the following colors and materials for the building and structures:

- Main Body: SW 7006 (Extra White), SW 7029 (Agreeable Gray)
- Accent: SW 7030 (Anew Gray), SW 7031 (Mega Greige)
- Shutters: SW 7006 (Extra White)
- Awnings: Hartford Green
- Spandrel: Dark Gray
- Dumpster Enclosure: SW 7006 (Extra White), SW 7029 (Agreeable Gray), SW 7030 (Anew Gray)
- Dumpster Gates: SW 7029 (Agreeable Gray)

SIGNAGE:

The wall signage for the site is regulated through uniform sign plan for the shopping center and will be reviewed and approved through the building permit process. Any wall signage shown is for illustrative purposes only.

ACCESS / CIRCULATION:

Access to the shopping center shall remain through the existing four access points, two along Hiatus Road and two along Pembroke Road. The southern most access point along Hiatus Road and eastern most access point along Pembroke Road is ingress only. Internal driveways remain for circulation throughout the shopping center.

PARKING:

Code requires self-storage facility to have 0.5 parking spaces per 1,000 square feet of building area; therefore, the proposed use requires 64 parking spaces. 28 new parking spaces for the shopping center are proposed as part of this development. 285 parking spaces in total are proposed for the shopping center. At the August 14, 2025 meeting, the Planning and Zoning Board approved zoning variance ZV2025-0008 allowing 285 parking spaces to be constructed on site.

The 285 proposed parking spaces must be constructed prior to the issuance of the Certificate of the Occupancy.

LANDSCAPING:

The following landscape is being proposed for this site:

- Installation of 40 trees, 24 palms, 529 shrubs, and 1330 ground covers.
 - Primary tree species include: *Cordia sebestena* - Orange geiger, *Clusia rosea* - Autograph tree, *Quercus virginiana* - Live oak, *Myrcianthes fragrans* - Simpson stopper, and *Ficus aurea* - Strangler fig.
 - Primary palm species include: *Roystonea elata* - Florida Royal palm and *Caryota mitis* - Fishtail palm.
 - Primary shrub species are: *Chrysobalanus icaco* 'Red tip' - Red tip cocoplum, *Clusia rosea* 'nana' - Dwarf pitch apple, *Psychotria nervosa* - Wild coffee, *Capparis cynophallophora* - Jamaican caper, *Casasia clusiifolia* - Seven year apple, *Plumbago auriculata* - Imperial blue and *Bougainvillea* x 'Helen Johnson' - Compact Bougainvillea.
 - Primary groundcover species are: *Juniperus chinensis* 'Parsonii' - Chinese juniper, *Nephrolepis biserrata* 'Macho' - Macho fern, *Tripsacum dactyloides* - Fakahatchee grass, *Ixora taiwanensis* 'Dwarf Red' - Dwarf red Ixora and *Nephrolepis exaltata* - Boston fern.
 - Additionally, three (3) *Ptychosperma elegans* - Alexander palms and one (1) *Ficus benjamina* - Benjamin fig trees are being protected and retained on site.

OTHER SITE FEATURES:

The site shall be illuminated by 6 wall mounted and 6 under canopy LED fixtures.

Staff recommend approval of site plan SP2025-0005, subject to the recordation of the underlying plat.

Enclosed:

Site Plan Application
Memo from Planning Division (9/2/2025)
Memo from Landscape Planner (7/23/2025)
Memo from Zoning Division (7/8/2025)
Memo from Planning Division (7/1/2025)
Memo from Landscape Planner (6/30/2025)
Memo from Engineering Division (6/9/2025)
Memo from Fire Prevention Bureau (6/2/2025)
Memo from Zoning Division (5/20/2025)
Memo from Landscape Planner (5/19/2025)
Memo from Planning Division (5/13/2025)
Memo from Engineering Division (4/9/2025)
Memo from Landscape Planner (4/8/2025)
Memo from Fire Prevention Bureau (4/7/2025)
Memo from Zoning Division (4/1/2025)
Memo from Planning Division (3/25/2025)
Site Plan
Subject Site Aerial Photo



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: 1/14/2025

Plans for DRC _____ Planner: Cole Williams

Indicate the type of application you are applying for:

- | | |
|-------------------------------------------------------|-------------------------------------------------------------------|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 foot radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - ____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$_____

SECTION 1-PROJECT INFORMATION:Project Name: H & M Pines StorageProject Address: 1520 S. Hiatus RoadLocation / Shopping Center: Villages of MayfairAcreage of Property: 3.58 Building Square Feet: 134,482Flexibility Zone: 7 Folio Number(s): 514024020063Plat Name: Pembroke Lakes South Traffic Analysis Zone (TAZ):

Legal Description: A portion of Tract G-2 and Tract G-3 of Pembroke Lakes South,
according to the plat thereof, as recorded in Plat Book 119, Page 1 of the Public
Records of Broward County, Florida

Has this project been previously submitted? ☐ Yes ☒ No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval
2/11/21	ZV 2020-08	Provide 424 sp.	Approved		
Current	ZC2024-0004	Rezone to C-1		2025-04	
Current	DR2024-0004	Plat Note Amend			

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Raintree at Pines LLC

Owner's Address: 6540 East Tropical Way Plantation, FL 33317

Owner's Email Address: manny@msrein.com

Owner's Phone: 954-804-3515 Owner's Fax: _____

Agent: Mendez Engineering Design, Inc.

Contact Person: Michelle Diaz-Mendez, P.E.

Agent's Address: 9000 Sheridan Street PMB #15 Pembroke Pines, FL 33024

Agent's Email Address: michelle@mendezengdesign.com

Agent's Phone: 954-655-4572 Agent's Fax: _____

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning: B-3

Land Use / Density: IRR (5.52)

Use: Vacant

Plat Name: Pembroke Lakes South

Plat Restrictive Note: B-2 Uses

and Gas Station

PROPOSED

Zoning: C-1

Land Use / Density: IRR (5.52)

Use: Restaurant (Fast Food)

Plat Name: Pembroke Lakes So.

Plat Restrictive Note: B-3 Uses

and Self-Storage

ADJACENT ZONING

North: PUD

South: City of Miramar

East: R-MF (Apt. R-4)

West: PUD

ADJACENT LAND USE PLAN

North: IRR 5.52

South: City of Miramar

East: Commercial (Flex to Res)

West: IRR 5.52

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): ☐ Variance ☐ Zoning Appeal ☐ Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

The property is part of the Villages of Mayfair commercial project located at the northwest corner of Hiatus Road and Pembroke Road. The project site was previously approved for four office buildings as part of the master plan for the Villages of Mayfair. Instead of the four office buildings, the project site will now include a Self-Storage Facility (Under separate application) and a Culver's Restaurant.

The project will consist of 4,572 sf of restaurant with a 48 sf kiosk. The restaurant will utilize two drive-thru lanes with a pick-up window where patrons will make their payment and then be asked to queue until their food is brought to them. When the drive-thru becomes busy, an employee will be tend the kiosk in the second drive-thru lane and take payment there. This will eliminate the need for a second stop to make payment, improving flow of traffic, reducing stacking and making the overall process more efficient.

Parking is provided as part of the overall shopping center for the Villages of Mayfair.

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]
Signature of Owner

3/18/2025
Date

Sworn and Subscribed before me this 18th day

of March, 20 25

Fee Paid

Lori Matos
Signature of Notary Public

My Commission Expires



AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]
Signature of Agent

3/18/25
Date

Sworn and Subscribed before me this 18th day

of March, 20 25

Fee Paid

Lori Matos
Signature of Notary Public

My Commission Expires



Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: Raintree at Pines LLC

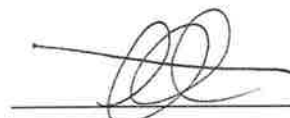
Authorized Representative: Manuel Synalovski

Application Number: _____

Application Request: Site Plan App.I-H & M Pines Storage

I, Manuel Synalovski (print Applicant/Authorized Representative name), on behalf of Raintree at Pines LLC (Applicant), hereby waive the deadlines and/or procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/ or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.



Signature of Applicant or Applicant's
Authorized Representative

3/18/2025
Date

Manny Synalovski
Print Name of Applicant/Authorized Representative

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: September 2, 2025
To: SP 2025-0005 file
From: Cole Williams, Senior Planner
Re: Self-Storage Village of Mayfair.

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED.

MEMORANDUM
July 23, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2025-0005) Village of Mayfair – H & M Self Storage Sign-Off

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- 1. All landscape comments addressed. There are no further comments.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
954-292-2100 (Office) • yhall@ppines.com

MEMORANDUM

July 8, 2025

To: Cole Williams
Senior Planner

From: Julia Aldridge
Planner / Zoning Technician

Re: SP 2025-0005 (H & M Pines Storage @ Village of Mayfair)

All of my comments regarding the above Site Plan have been satisfied.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: July 1, 2025
To: SP 2025-0005 file
From: Cole Williams, Senior Planner
Re: Self-Storage Village of Mayfair.

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. ~~Provide completed public notice affidavit. The project number is PRJ2024-0017. The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.~~
 - * ~~Raintree Club Quarters at Raintree Brenda Harper 1941 NW 150 Avenue Pembroke Pines FL 33028 954-392-6000 ext. 248 Brenda@landmarkmgmt.com Landmark Management Services, Inc.~~
 - * ~~Raintree Condos Club Quarters at Raintree Condos Carlos J. Botero 1941 NW 150 Avenue Pembroke Pines FL 33028 954-392-6000 ext. 248~~
 - * ~~Pembroke Lakes South Woodbridge Richard Ciarsolo 10112 USA Today Way Miramar, FL 33025 954-922-3514 X3053 rcarsolo@associaflorida.com Association Services of Florida~~
2. ~~Proposed use subject to the approval of the zoning change.~~
3. ~~Provide alternative bufferyard per code section 155.632, contact staff to discuss further. **Ongoing**~~
4. ~~Provide letter detailing business operations, hours of operation, drop off / pick up method, etc.~~
5. ~~Provide the total number of storage units.~~
6. ~~Provide South Broward Drainage District approval. **Ongoing**~~
7. ~~Update zoning on the site information table once the zoning change is adopted.~~
8. ~~30' street side setback required (Variance in process)~~
9. ~~Provide material board with physical samples of all colors and materials used. **Ongoing**~~
10. ~~Label the all colors and materials on the color elevations.~~
11. ~~The building must be architectural compatible with the existing shopping center. Similar colors and / or elements must be used. Provide letter detailing how this is accomplished.~~
12. ~~Provide letter from Wastepro approving the proposed dumpster.~~
13. ~~The dumpster gates must be metal.~~
14. ~~Provide updated required parking for the shopping center based on the current minimum parking requirements. **Adjust based on previous discussions.**~~
15. ~~Clarify if there are any short-term parking spaces. These spaces must be in surplus.~~

~~16. Building signage must comply with the shopping center's uniform sign plan and will be approved through the building permit process. You may show the signs here for illustrative purposes. Be advised the signage as proposed does not comply with the uniform sign plan for the shopping center.~~

~~17. Clarify what light poles are existing and which are proposed.~~

~~18. A maximum of 12 foot candles is permit for the site. **Not addressed.**~~

▪ **7/1: not addressed.**

~~19. Clarify CCT level. CCT cannot exceed 4,000k.~~

~~20. Add note to the plans that all lights are angled at 90 degrees and full cutoff.~~

~~21. Clarify that the roof mounted equipment is not visible from the property lines per code section 155.637.~~

~~22. Provide authorization from the adjacent property owner allowing the landscape material to be planted within their property. **Ongoing**~~

~~23. Provide letter detailing who shall maintain the landscape planted off site.~~

~~24. Provide economic impact statement for the proposed development.~~

~~25. Provide sustainable impact statement outlining sustainable practices used within the proposed development.~~

~~26. Update overall site plans as modifications are made to the adjacent proposed development. This can be done with the final submission. **Ongoing.**~~

~~27. **Provide letter from the Wawa site owner allowing the use of the surplus parking spaces.**~~

~~28. Further comments may apply as more details are provided.~~

~~29. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.~~

~~30. Please contact me prior to resubmittal 954-392-2100.~~

MEMORANDUM

June 30, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2025-0005) Village of Mayfair – H & M Self Storage v3

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- ~~1. The H&M site and proposed plantings must be evaluated as part of the overall landscape requirements for the entire shopping center. Please provide the originally approved site plan along with landscape Code Calculations for the entire shopping center. The Culver's layout should be superimposed onto the master plan to demonstrate how Code requirements are satisfied.~~
- ~~2. Is the proposed self storage going to be an outparcel or a part of the shopping center? The landscape staff confirmed with Zoning that H&M is not considered an outparcel, and as such, the site is required to satisfy all Code requirements for the shopping center.~~
- ~~3. As per BCPA, palms #3, 5, and 7 appear to be within the property lines of the parcel and would count towards minimum landscape requirements. Tree disposition on L-1 to be updated for palm #3 to be noted as "on-site" within comment section.~~
- ~~4. Was approval obtained from Raintree ownership for the proposed removal of the invasive Brazilian pepper and installation of plant materials, outside of the property lines? If so, a narrative letter must be provided for staff review, referring to the approval of the removal, installation, irrigation set up/maintenance, and maintenance of the plant material.~~
 - ~~• The existing adjacent 50 ft Landscape Buffer Easement (OR BK 46107, Page 915) stipulates that Raintree Development grants rights for installation and maintenance of landscaping.~~
 - ~~i. Acknowledged. Landscape buffer easement agreement provided to be verified by City legal staff.~~
- ~~5. Concrete walkway noted in the rear of the building. Will it lead someplace, what is the proposed use? The "concrete" graphic is still showing on L-2/3.~~
- ~~6. A 10-foot FPL easement noted in front of the building. Additionally, staff notes only Jatrophas (canopy) proposed within interior parking islands, which do not count towards the minimum landscape requirements. Please contact FPL to request approval to install manageable Category 3/4 plantings, to propose materials which will count. Typically, FPL will allow certain species from Category 3 and 4, given the location.~~
 - ~~• Coordination is ongoing with FPL; however, FPL has been receptive of providing small trees with non-extensive root systems in these easements.~~
 - ~~i. Acknowledged. Please provide an approval letter from FPL regarding the proposed species, within FPL easement.~~
7. Based on the City's Preferred Tree Planting List, please make the following corrections to the Plant Schedule and the Site Canopy Coverage Chart:
 - *Cordia sebestena* (Geiger Tree) is a Category 2 canopy tree and must be a minimum of 12 feet tall at planting.
 - *Myrcianthes fragrans* (Simpson's Stopper) is a Category 3 canopy tree.

- ~~8. Provide confirmation from South Broward Drainage District (SBDD) from Luis Ochoa, approving the proposed plantings (species, quantities, and locations) within the wetland areas.~~
- ~~9. As per LDC SEC. 155.670 (1) — Category 1 invasive material (#2 noted on L-1) must be removed, replacement not required. Please revise the disposition and comments for tree #2.~~
- ~~10. A site visit will be performed at the next round of review, to confirm the species, locations, and existing condition of plant materials on site.~~
11. Further comments will be provided once complete and accurate information is submitted for review.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL

LIAF Certified Landscape Inspector #21-259

Planning and Economic Development Department

954.392.2100 (Office) • yhall@ppines.com

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**

DRC REVIEW FORM



June 9, 2025

PROJECT: *H&M PINES STORAGE (SP2025-0005) AT THE VILLAGES OF MAYFAIR*
CITY REFERENCE NO: *SP2025-0005*

TO: Cole Williams, AICP
Senior Planner, Planning and Economic Development Department

FROM: John L. England, P.E., Assistant City Engineer
Engineering Division
(954) 518-9046

RECOMMENDATION:

The Engineering Division's DRC 'Comments' have been satisfied, and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed project's site-related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the "Engineering Review Queue" pending receipt of the Plans Review Fee based on an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.



DRC REVIEW FORM

FIRE PLANS EXAMINER

Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME:

Self Storage Facility

REFERENCE #:

SP 2025 - 005

DATE REVIEWED:

6/2/2025

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THIS REVIEW.

MEMORANDUM

May 20, 2025

To: Cole Williams
Senior Planner

From: Julia Aldridge
Planner / Zoning Technician

Re: SP 2025-0005 (H & M Pines Storage @ Village of Mayfair)

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

- ~~1. Provide South Broward Drainage District approval. 5/20/25 Ongoing~~
- ~~2. Provide alternative buffer yard for non-residential development adjacent to residential. Refer to code section 155.632(D). 5/20/25 Ongoing~~
- ~~3. 30' street side setback required. Street side setback subject to variance approval.~~
- ~~4. Update parking data according to current Code parking requirements. 5/20/25 Not addressed~~
- ~~5. The signage as proposed does not comply with the uniform sign plan for the shopping center. Building signage must comply with the shopping center's uniform sign plan. Signage will be approved through the building permit process.~~
- ~~6. Is any lighting proposed on/ under the canopy?~~
- ~~7. Lighting cannot exceed a maximum of 12 f.c. for the site. Lighting cannot exceed 24 f.c. under canopy.
5/20/25- Not addressed
7/2/25- Not addressed~~
- ~~8. Verify light fixtures are full cut-off and angled at 90 degrees.~~
- ~~9. Clarify the CCT of light fixtures. CCT cannot exceed 4,000k.~~
- ~~10. Provide all color names, color number, finishes, materials, etc. on both color and black and white elevations.~~
- ~~11. Clarify rooftop equipment is screened from view. Reference 155.637.~~
- ~~12. Provide letter from Wastepro approving the proposed dumpster. 5/20/25 Ongoing~~
- ~~13. Provide detail of garbage enclosure. Provide note that enclosure will be painted to match the building façade and gates will be metal.~~
- ~~14. Building must be architecturally compatible with the existing shopping center.~~
- ~~15. Provide a sustainability statement as required by section 155.6120—155.6123.~~
- ~~16. Provide a letter detailing the economic impact of the proposed development.~~
- ~~17. Provide material board of all exterior colors, finishes, materials to be used on the façade. Label all materials and colors on the material board. 5/20/25 Ongoing~~
- ~~18. After review of resubmittal, additional comments may be made.~~
- ~~19. If needed contact Sherrell Jones-Ruff, in Building @ (954) 628-3725, to discuss and/or set up pre-app meeting for Building Permit Process.~~

Please contact me with any questions.

MEMORANDUM
May 19, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2025-0005) Village of Mayfair – H & M Self Storage v2

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. The H&M site and proposed plantings must be evaluated as part of the overall landscape requirements for the entire shopping center. **Please provide the originally approved site plan along with landscape Code Calculations for the entire shopping center. The Culver's layout should be superimposed onto the master plan to demonstrate how Code requirements are satisfied.**
2. Is the proposed self-storage going to be an outparcel or a part of the shopping center? **The landscape staff confirmed with Zoning that H&M is not considered an outparcel, and as such, the site is required to satisfy all Code requirements for the shopping center.**
3. As per BCPA, palms #3, 5, and 7 appear to be within the property lines of the parcel and would count towards minimum landscape requirements. **Tree disposition on L-1 to be updated for palm #3 to be noted as "on-site" within comment section.**
4. Was approval obtained from Raintree ownership for the proposed removal of the invasive Brazilian pepper and installation of plant materials, outside of the property lines? If so, a narrative letter must be provided for staff review, referring to the approval of the removal, installation, irrigation set up/maintenance, and maintenance of the plant material.
 - The existing adjacent 50 ft Landscape Buffer Easement (OR BK 46107, Page 915) stipulates that Raintree Development grants rights for installation and maintenance of landscaping.
 - i. **Acknowledged. Landscape buffer easement agreement provided to be verified by City legal staff.**
5. Concrete walkway noted in the rear of the building. Will it lead someplace, what is the proposed use? **The "concrete" graphic is still showing on L-2/3.**
6. A 10-foot FPL easement noted in front of the building. Additionally, staff notes only *Jatropha* (canopy) proposed within interior parking islands, which do not count towards the minimum landscape requirements. Please contact FPL to request approval to install manageable Category 3/4 plantings, to propose materials which will count. Typically, FPL will allow certain species from Category 3 and 4, given the location.
 - **Coordination is ongoing with FPL; however, FPL has been receptive of providing small trees with non-extensive root systems in these easements.**
 - i. **Acknowledged. Please provide an approval letter from FPL regarding the proposed species, within FPL easement.**
7. Based on the City's Preferred Tree Planting List, please make the following corrections to the Plant Schedule and the Site Canopy Coverage Chart:
 - *Cordia sebestena* (Geiger Tree) is a Category 2 canopy tree and must be a minimum of 12 feet tall at planting.
 - *Myrcianthes fragrans* (Simpson's Stopper) is a Category 3 canopy tree.

8. Provide confirmation from South Broward Drainage District (SBDD) from Luis Ochoa, approving the proposed plantings (species, quantities, and locations) within the wetland areas.
9. As per LDC SEC. 155.670 (I) – Category 1 invasive material (#2 noted on L-1) must be removed, replacement not required. Please revise the disposition and comments for tree #2.
10. A site visit will be performed at the next round of review, to confirm the species, locations, and existing condition of plant materials on site.
11. Further comments will be provided once complete and accurate information is submitted for review.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL

LIAF Certified Landscape Inspector #21-259

Planning and Economic Development Department

954.392.2100 (Office) • yhall@ppines.com

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: May 13, 2025
To: SP 2025-0005 file
From: Cole Williams, Senior Planner
Re: Self-Storage Village of Mayfair.

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. ~~Provide completed public notice affidavit. The project number is PRJ2024-0017. The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.~~
 - ~~▪ Raintree Club Quarters at Raintree — Brenda Harper 1941 NW 150 Avenue Pembroke Pines FL 33028 — 954-392-6000 ext. 248 Brenda@landmarkmgmt.com Landmark Management Services, Inc.~~
 - ~~▪ Raintree Condos — Club Quarters at Raintree Condos — Carlos J. Botero — 1941 NW 150 Avenue Pembroke Pines FL 33028 — 954-392-6000 ext. 248~~
 - ~~▪ Pembroke Lakes South — Woodbridge — Richard Ciarsolo — 10112 USA Today Way Miramar, FL 33025 — 954-922-3514 X3053 rciarsolo@associaflorida.com Association Services of Florida~~
2. ~~Proposed use subject to the approval of the zoning change.~~
3. Provide alternative bufferyard per code section 155.632, contact staff to discuss further. **Ongoing**
4. ~~Provide letter detailing business operations, hours of operation, drop off / pick up method, etc.~~
5. ~~Provide the total number of storage units.~~
6. Provide South Broward Drainage District approval. **Ongoing**
7. ~~Update zoning on the site information table once the zoning change is adopted.~~
8. ~~30' street side setback required (Variance in process)~~
9. Provide material board with physical samples of all colors and materials used. **Ongoing**
10. ~~Label the all colors and materials on the color elevations.~~
11. ~~The building must be architectural compatible with the existing shopping center. Similar colors and / or elements must be used. Provide letter detailing how this is accomplished.~~
12. ~~Provide letter from Wastepro approving the proposed dumpster.~~
13. ~~The dumpster gates must be metal.~~
14. Provide updated required parking for the shopping center based on the current minimum parking requirements. **Adjust based on previous discussions.**
15. ~~Clarify if there are any short-term parking spaces. These spaces must be in surplus.~~

- ~~16. Building signage must comply with the shopping center's uniform sign plan and will be approved through the building permit process. You may show the signs here for illustrative purposes. Be advised the signage as proposed does not comply with the uniform sign plan for the shopping center.~~
- ~~17. Clarify what light poles are existing and which are proposed.~~
18. A maximum of 12 foot candles is permit for the site. **Not addressed**
- ~~19. Clarify CCT level. CCT cannot exceed 4,000k.~~
- ~~20. Add note to the plans that all lights are angled at 90 degrees and full cutoff.~~
- ~~21. Clarify that the roof mounted equipment is not visible from the property lines per code section 155.637.~~
22. Provide authorization from the adjacent property owner allowing the landscape material to be planted within their property. **Ongoing**
- ~~23. Provide letter detailing who shall maintain the landscape planted off site.~~
- ~~24. Provide economic impact statement for the proposed development.~~
- ~~25. Provide sustainable impact statement outlining sustainable practices used within the proposed development.~~
26. Update overall site plans as modifications are made to the adjacent proposed development. This can be done with the final submission. **Ongoing.**
27. **Provide letter from the Wawa site owner allowing the use of the surplus parking spaces.**
28. Further comments may apply as more details are provided.
29. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
30. Please contact me prior to resubmittal 954-392-2100.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**

DRC REVIEW FORM



April 9, 2025

PROJECT: H&M PINES STORAGE (SP2025-0005)

**TO: Cole Williams, Senior Planner
Planning and Economic Development Department**

**FROM: Eliheser Rayo, Engineer Intern
Engineering Division
(954) 518-9074**

COMMENTS:

ADA Compliance

1. All ADA parking stalls must be drawn with the appropriate striping and signage. All ADA access aisles must be shown as required to be three (3) 4" white diagonals evenly spaced and 5' wide. See City Detail R-32. See plan mark-ups for reference.
2. Provide a parking chart showing the number of parking spaces provided. This is required to verify that the number of ADA parking stalls shown meet ADA compliance at a minimum. See 2010 ADA Standard for Accessible Design by the Department of Justice section 208 Parking Spaces Chart.
3. A sidewalk will be required for the accessible route. Concrete sidewalk to be 3,500 psi with fiber mesh. See City Detail R-28 for reference.
4. Crosswalk will require combined appropriate signage on both sides. The sign is W-11 (30"x30") and W16-7P (24"x12") and BCTED approved post. See BCTED W-11Sign Assembly detail.

Demolition C-1

5. Limits of work must reflect all areas of construction, even when work is beyond the limits of the property. Also, there are missing hatches for pavement to be removed. See mark-ups for reference.

SWPP Plan C-2

6. The silt fence should follow the limits of work. See mark-ups for reference.
7. Call out each individual inlet to be protected. See mark-ups for reference.

SWPP Detail C-3

8. Missing construction entrance. See mark-ups for reference.
9. Missing detail for inlet protection and construction entrance. See mark-ups for reference.
10. The Stormwater Pollution Prevention and Erosion Control Plans and Details must comply with all requirements/criteria of Part V of the 'Generic Permit' for 'Stormwater Discharge of Large and Small Construction Activities'. The plans and details must address the "Plan Requirement Items" per the 'FDEP Stormwater Pollution Prevention Plan Template' for coverage under the 'FDEP Generic Permit' (NOI), which the city has been tasked with enforcing and documenting for future NPDES Stormwater audits by the FDEP under the Broward County MS4 Permit Program. (Refer to the attached 'FDEP Template for Development of Stormwater Pollution Prevention Plan' for general guidelines for use in preparing typical FDEP compliant plans.). However, you should also refer to the attached FDEP 'Generic Permit' to verify that your plans are meeting all FDEP plan/permit requirements.

Note that the city has a typical Stormwater Pollution Prevention and Erosion Control Details sheet, which the CADD and PDF files could be provided for use if requested.

Paving and Grading Plan C-4

11. Might need to apply for a LOMR through FEMA since part of the property is in a flood zone. Also, the finished floor elevation cannot be the same as the base flood elevation, even though the building is in an X zone. This is why a LOMR form might need to be filled out to avoid any conflicts with this unique situation.
12. Specify FDOT ramp type for the proposed ramps and add details. See mark-ups for reference.
13. Adjust limits of work and silt fence to include all proposed grading. See mark-ups for reference.
14. Proposed asphalt must be 1.5" thick of type SP-9.5 asphalt and must be placed in two (2) 3/4" lifts with a tack coat in between lifts. See City Detail R-47 notes and mark-ups for reference.
15. Proposed Asphalt around existing inlets must be field verified prior to construction by the EOR to verify if the mudwork around the bricks is damaged and must be repaired. Minimum asphalt repair dimensions around the inlet are 4'x4' on each side of the inlet. See City Detail R-39 and R-47 for reference.
16. Roof drains included in the notes but not shown on the plans, please clarify. See mark-ups for reference.

Drainage Plan C-5

17. The proposed outfall has no structure or headwall, clarify the intent for the connection to the existing lake. See mark-ups for reference.
18. The SW invert that is being increased to allow for 30" RCP, confirm that there is no conflict with the NE invert since it is not shown. See plan mark-ups for reference.

Paving & Grading Details C-6

19. The City of Pembroke Pines standard must reflect the City's Title Block and cannot be modified or separated to fit in the plans. See plan mark-ups for reference.

Signing & Marking Plan C-8

20. All parking related striping must be reflective paint, this includes but is not limited to standard parking stalls, ADA parking stalls, and no parking designated areas. See City detail R-22 and R-32 for reference.
21. All traffic related striping to be alkyd-based thermoplastic and fully retro-reflectORIZED. See BCTED pavement markings and signs detail for reference.
22. All traffic related existing sign panels and/or sign assemblies need to be replaced/adjusted if non-compliant to BCTED standards and must be shown on the plans. Field verification by the Engineer of Record (EOR) of the exact quantity of sign assemblies and sign panels to be replaced/adjusted is required prior to plan approval. See BCTED sign details for reference.
23. Call out that a minimum requirement of 25 Linear Feet of thermoplastic 6" double yellow striping and yellow/yellow RPMs at 20' on center for all stop conditions is required. Along with 24" solid white thermoplastic stop bar. See City Detail R-22 and mark-ups for reference.
24. Add directional arrow per FDOT standard plan detail to set. See mark-ups for reference.
25. Add blue RPM for all fire hydrants to this sheet. See plan mark-up for reference.
26. The City of Pembroke Pines must be kept as an original, cannot be modified or separated to fit in the plans. See plan mark-ups for reference.

Water & Sewer Plan C-9

27. Adjust the limit of works to include the proposed fire line and valves. See mark-ups for reference.
28. Denote/label all sections of proposed Fire Line between fittings/appurtenances from the Point of Fire Service to the proposed Building and Fire Department Connection (FDC).

Details

29. The following details are required to be added to the plan set
 - a. City Detail R-22 "Typical Parking Area Requirements"
 - b. City Detail R-28 "Concrete Sidewalk"
 - c. City Detail R-32 "Accessible Parking Space Details" Sheet 1 and 4 of 4
 - d. City Detail R-39 "Pavement Connection"
 - e. City Detail R-41 "Standard Parking Space" Sheet 1 of 3
 - f. City Detail R-47 "Asphalt and Pavement Repair"
 - g. City Accessibility and Pavement Markings and Signage Requirements Notes
 - h. BCTED Detail "Pavement Markings and Signs Detail"
 - i. BCTED Detail "Stop Sign Assembly"
 - j. BCTED Detail "W11-2 (30"x30") and supplemental (24"x12") sign assembly"
 - k. FDOT Standard Plans FY 2024-25 "Pavement Markings" Index 711-001 Pg. 1 of 13
 - l. FDOT Standard Plans FY 2024-25 "Pavement Markings" Index 711-001 Pg. 9 of 13
 - m. FDOT Standard Plans FY 2024-25 "Pavement Markings" Index 711-001 Pg. 10 of 13

NOTE: All resubmittals must include 'Responses' to all 'Comments' in letter format. Based upon the 'Responses' and/or 'Plan Revisions', additional 'Comments' may be forthcoming prior to Engineering DRC approval/sign-off for the proposed project.

NOTE that an Engineering Permit is required for construction of the proposed project's site-related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the "Engineering Review Queue" pending receipt of the Plans Review Fee based an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.

MEMORANDUM

April 8, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2025-0005) Village of Mayfair – H & M Self Storage v1

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. Attached at the end of this document please find the Cities Code Calculation table. Add the current calculation table provided onto the plans and fill in all sections which apply.
2. Is the proposed self-storage going to be an outparcel or a part of the shopping center? If not an outparcel, please provide Code calculations and landscape plans for the entire shopping center and show how the commercial Code requirements are met, for the above-mentioned development.
3. Tree Disposition chart provided on L-1, does not provide disposition for tree #13.
4. As per BCPA, palms #3, 5, and 7 appear to be within the property lines of the parcel and would count towards minimum landscape requirements.
5. Clearly show location of property lines dividing the two properties.
6. Was approval obtained from Raintree ownership for the proposed removal of the invasive Brazilian pepper and installation of plant materials, outside of the property lines? If so, a narrative letter must be provided for staff review, referring to the approval of the removal, installation, irrigation set up/maintenance, and maintenance of the plant material.
 - a. If no approval was obtained, the removals may only occur within the property lines of H & M parcel lines. Additionally, Code required plant material may only be planted, within the property lines of the above-referenced project.
7. Is there functioning/proposed irrigation in the rear of the building, where most of the planting is proposed?
8. Will there be a separate monument sign proposed for self-storage?
9. Buffer required trees and shrubs, appear to be missing on the West side of the proposed self-storage.
10. Concrete walkway (?) noted in the rear of the building. Will it lead someplace, what is the proposed use?
11. Clearly show linear feet for each perimeter side, on L-2, to determine and confirm the number of trees required.
12. Clearly show location and labeling of existing and proposed lighting on site and Fire Department check valves. Please ensure that 15-foot diameter clearance is provided of all plant material, as per Fire Code.
13. As per LDC SEC. 155.657 (A) 8 – A proposed plant list by **symbol**, quantity, required specifications, native or non-native, drought tolerance, mature canopy spread, total mature canopy spread proposed on site, and botanical and common names. The plant list shall be indicated on all planting sheets.
14. As per LDC SEC. 155.663 (A), please ensure that all parking islands are equipped with a minimum of one (1) tree, ground materials, and sod. Sod may not exceed 50% of the island's size. An exception would be made to the interior parking islands with existing fire hydrants/fire connections, which require clearance.
15. Please add a note to the plans for the GC, to reference the recent Code amendment regarding island maintenance. As per LDC SEC. 155.633 (A). Ground materials installed within interior parking islands are required to be maintained 24 inches tall.
 - a. Proposed shrubs on L-2 may require swapping for naturally slow and low growing shrubs, to simplified maintenance, given then 24" maintenance requirement.
16. Category 1 canopy trees require installation of a root barrier if proposed within 10 feet of any hardscapes. Please show proposed root barriers clearly on the plans. Alternatively, swap for site appropriate Category 2 trees recommended. Comment refers to some of the proposed plantings in the rear of the building.
17. A 10-foot FPL easement noted in front of the building. Additionally, staff notes only Jatrophas (canopy) proposed within interior parking islands, which do not count towards the minimum landscape requirements. Please

contact FPL to request approval to install manageable Category 3/4 plantings, to propose materials which will count. Typically, FPL will allow certain species from Category 3 and 4, given the location.

18. Double check that the proposed *Casasia clusiifolia*, is available on the market. Only one (1) nursery appears to have them available within a 50-mile radius. Substitution may be necessary to avoid site delays.
19. A site visit will be performed at the next round of review, to confirm the species, locations, and existing condition of plant materials on site.
20. Further comments will be provided once complete and accurate information is submitted for review.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL

LIAF Certified Landscape Inspector #21-259

Planning and Economic Development Department

954 392.2100 (Office) • yhall@ppines.com

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		
<u>SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.</u> 1. All properties three stories and below minimum: (a) 20% of required trees meet 14-16' H with 3" diameter at breast height. (b) 20% of required trees meet 12-14' H with 2" diameter at breast height. (c) 60% of required trees required meet 155.664 (M). 2. All properties four stories and above minimum: (a) 30% of required trees meet 14-16' H with 3" diameter at breast height. (b) 30% of required trees meet 12-14' H with 2" diameter at breast height. (c) 40% of required trees required meet 155.664 (M).		
<u>SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways – All Properties.</u> One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.		
<u>SEC 155.661 (J) Landscaping Adjacent to Abutting Properties – All Properties.</u> The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.		
<u>SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.</u> 1. For non-residential properties the planting requirement shall be calculated on the following basis; (a) One tree every 5,000 square feet of gross area. (b) Ten shrubs every 5,000 square feet of gross area.		
<u>SEC. 155.663 (F) Interior parking and paved area landscaping.</u> Parking lots shall comply with the following minimum requirements: 1. One tree: (a) Every five parking spaces; and (b) Every 100 square feet of interior landscaping; 2. Ten square feet of interior landscaping every parking space up to 50 spaces; 3. One hundred square feet of landscaping every ten parking spaces over 50 spaces; 4. One square foot of landscaping: (a) Every 100 square feet of paved areas up to 50,000 square feet; and (b) Every 200 square feet of paved area over 50,000 square feet; and		
City of Pembroke Pines Landscape Code Requirements		
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: Storage Facility
REFERENCE #: SP 2025 – 05
DATE REVIEWED: 04/07/2025

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

Note: Please provide Building Construction Type

Note: Please Place All Notes Below On a Separate Fire Access (FA) Sheet

1. Place Note on Plan: Review and approval by the AHJ shall not relieve the applicant of the responsibility of compliance with this Code per NFPA 1:1.14.4

2. Place Note on Plan: Fire Codes in effect: Florida Fire Prevention Code (FFPC) 6th Edition, effective December 31, 2017 with Broward County Amendments, which includes NFPA 101, 2018 edition, NFPA 1, 2018 edition, & State Statutes, 2019 edition (Adopted referenced publications found herein.)

3. Access Box(s). The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*

NFPA 1-18.2.2.1

4. Required Access: Approved fire department access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**

a. Fire department access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building.

COPP CO 93.11 (B)

5. Place notes on plan and depict on Fire Access Sheet: A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building.

NFPA-1:18.2.3.2.1

NOTE: For the purposes of this section, a single exterior door shall be in compliance with **BCLCA F-101.2.2(J)**.

a. When required by the AHJ, roads(s) or parking lots providing access to main entrance door(s) shall be considered access roads and shall comply with the requirements of NFPA 1-18.2.3.4.1.1 and NFPA 1-18.2.3.4.1.2. **NFPA-1:18.2.3.2.1.2**

6. Place notes on plan and demonstrate: Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (450 ft. for sprinklered buildings) from fire department access roads as measured by an approved route around the exterior of the building or facility. **NFPA-1:18.2.3.2.2 and NFPA-1:18.2.3.2.2.1**

a. More than one Fire Department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access. **NFPA-1:18.2.3.3**

b. Fire department access roads for fire department use only shall have an unobstructed width of not less than 20ft. **NFPA-1:18.2.3.4.1.1**

Note: The minimum 20ft. width required by **NFPA-1:18.2.3.4.1.1** allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

c. Driving lanes shall have a minimum clear width of 24 feet for two-way traffic, 15 feet for one-way traffic. **COPP CO 154.35 (5)**

NOTE: Fire department access roads shall have an unobstructed width on not less than 20ft. **NFPA-1:18.2.3.4.1.1**

7. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

Note: Depict Fire Department Apparatus maneuvering all proposed buildings including Emergency Phase 2A, Parking Garage Phase 2B, Building Phase 2C

8. Place note on plan: The required width of a fire department access road shall not be obstructed in any manner, including by the parking of vehicles.

NFPA-1:18.2.4.1.1

9. Place note on plan and depict: Fire department access roads shall have an unobstructed vertical clearance of not less than 13ft. 6in. **NFPA-1:18.2.3.4.1.2**

Note: Permanent, weatherproof signage will be required for fire truck access routes.

Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.4 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

10. Place note on plan: Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA-1:18.2.3.4.2**

Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

11. Place note on plan: The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. **NFPA-1:18.2.3.4.6.2**

12. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each of the fire lane. **NFPA-1:18.2.3.4.6.3**

13. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.4.7**

14. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and prohibit the obstruction thereof or both. **NFPA-1:18.2.3.5.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones.

COPP CO 93.12

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided.

See Fire Lane Detail.

c. Fire Lane Sign(s) shall be 18" by 24", shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.5.3**

15. Place notes on plan: A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustibles material accumulates. **NFPA-1:16.4.3.1.1**

a. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. **NFPA-1:16.4.3.1.3**

Note: It is not intended to prohibit the construction of noncombustible structure foundation elements, such as foundations and footings, prior to the completion of underground water mains and hydrants. **NFPA-1:A.16.4.3.1.3**

16. Place note on plans: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of building are hereafter constructed or moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4 Fire Flow Requirements for Buildings. **NFPA-1:18.3.1**

Fire flow calculations for manual fire suppression purposes are required to be provided in accordance with **NFPA-1:18.4.**

Note: Fire flow calculations must be provided on separate sheets prior to approval on engineering permits. Fire Flows must be signed and sealed by a Professional Engineer.

Note: The Fire Flow Test must be witnessed by a Pembroke Pines Fire Inspector. Please call **(954) 499-9560** to coordinate a test date and time.

17. Place notes on plan: The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. **NFPA-1:18.5.1**

Note: Please depict all new and existing Fire Hydrants, Fire Department Connections (FDC), and Fire Line Backflow Devices

NOTE: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

a. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. **NFPA-1:18.5.2**

b. Fire hydrants shall be located not more than 12 ft. from the fire department access road. **NFPA-1:18.5.1.6**

c. Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.8**

d. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.10.1**

e. Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six-inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (A)**

f. Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight-inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (B)**

g. Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight-inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. **COPP CO 93.25 (C)**

h. Fire hydrants 4 ½ inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant.

COPP CO 93.25 (E)

NOTE: Fire Hydrant Detail to be provided on submittal.

i. No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. **COPP CO 93.25 (F)**

j. In every case, at least two fire hydrants shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. **Measurements taken as the fire truck travels.**

COPP CO 93.25 (G) Engineering department verification required.

k. Buildings with standpipes/sprinklers require a fire hydrant within 100 feet of each standpipe/sprinkler Fire Department connection. **COPP CO 93.25 (D) and NFPA-14:6.4.5.4 (2016 Ed.)**

18. Place notes on plan: Fire department connections should be located and arranged so that hose lines can be readily and conveniently attach without interference from nearby objects, including buildings, fences posts, or other department connections.

NFPA-14:6.4.5.1.1 (2016 Ed.)

a. Fire department connections shall be visible and recognizable from the street of nearest point of fire department apparatus accessibility or on the street side of building.

NFPA-14:6.4.5.1 (2016 Ed.)

NOTE: Fire department connections shall also be shown on same side of the street as the fire hydrant.

b. Each fire department connection to sprinkler systems shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic materials with red and white letters , having raised or engraved letters at least 1 in. in height on plate of fitted reading service sign that shall be attached to the exterior of the building adjacent to the connection or on the connection, secured with substantial and corrosion resistant fasteners– for example, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE as applicable.

NFPA-14:6.4.5.2.1 (2016 Ed.)

c. The fire department connection should be located not less than 18 in. nor more than 48 in. above the level of the adjoining ground, sidewalk, or grade surface.

NFPA-14:6.4.6 (2016 Ed.)

NOTE: Pembroke Pines Fire Department requires FDC to be installed at 3 ft. above grade.

19. Place note on plan and show: The point of service for the fire line must be shown and labeled on the water Civil Sheets (This is the tie in where the water is being used exclusively for the sprinkler/standpipe system).

a. Any underground work commencing at the point of service shall be performed by a licensed contractor as specified in **FSS 633.102**.

20. Place note on plan: Backflow Prevention Valves. Means shall be provided downstream of all backflow prevention valves for flow tests at system demand. **NFPA-13:8.17.4.6.1**

The full flow test of the backflow prevention valve can be performed with a test header or other connection downstream of the valve. A bypass around the check valve in the fire department connector line with a control valve in the normally closed position can be an acceptable arrangement. When flow to a visible drain cannot not be accomplished, closed loop flow can be acceptable if a flowmeter or site glass is incorporated into the system to ensure flow. **NFPA-13:A.8.17.4.6.1**

21. Place note on plan: Notice Required for Structures with Light-frame Truss-type Construction for new and existing structures, effective 12-13-09. Declare if structure(s) are to be constructed with Light-frame truss-type Construction: (Please provide a detail on site plans addressing type of construction and placard to be posted) **FAC 69A-60.0081**

All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions. **COPP CO 52.10**

Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
COPP CO 52.10 (D)

22. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED 'Ground Sign Assembly Details'.

NOTE: Detail Provided Below

23. Place note on plan: In all **new** and **existing** buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ.

NFPA-1:11.10.1

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed. It is recommended that the structure is equipped with an infrastructure to allow for installation if it is later determined that a BDA is required.

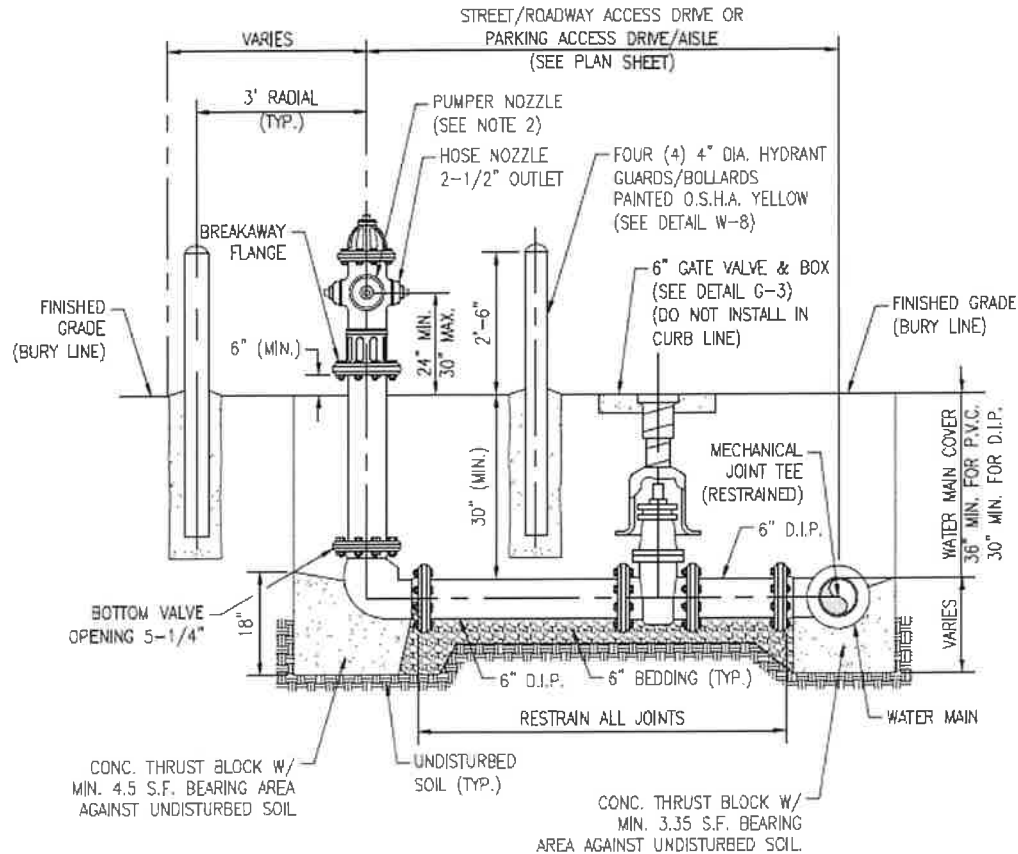
An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signals strength for fire department communication in the occupancy is in compliance, in accordance with **NFPA-1:11.10.1** and **NFPA-72:24.5.2.2.1** through **NFPA-72:24.5.2.2.3**.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with **NFPA-72:14.4.12.1.2** through **NFPA-72:14.4.12.1.4** and **NFPA-24.5.2.3**.

NOTE: A test grid (Heat Map) plan shall be produced to ensure testing throughout the building.

NOTE: Signal levels shall be measured to ensure the system meets the criteria of NFPA 24.5.2.3 with a minimum inbound signal strength of -95 dBm and a minimum outbound signal on -95 dBm at the donor site.

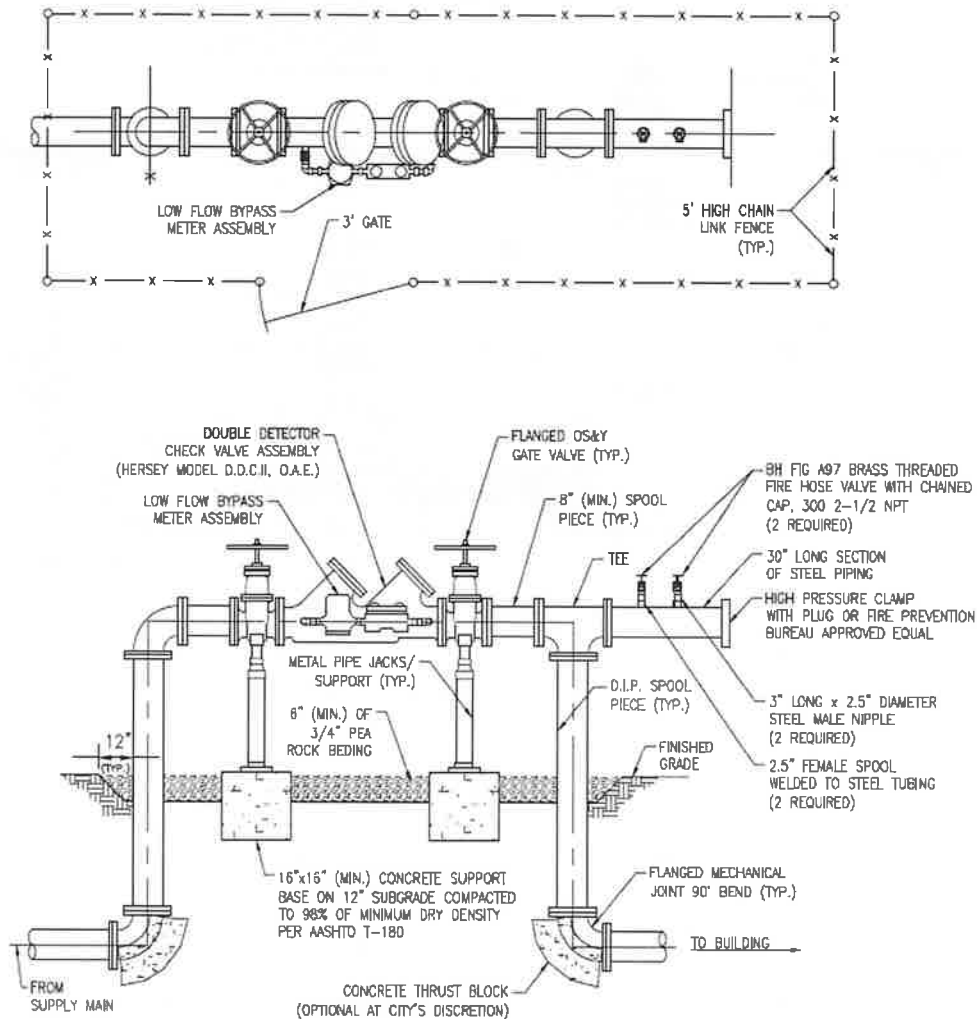
FIRE HYDRANT DETAIL



NOTES:

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4" BOTTOM VALVE WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE / ISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR "TURNING RADIUS".
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.
6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.

DDCV Detail



NOTES:

1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA / CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

MEMORANDUM

April 1, 2025

To: Cole Williams
Senior Planner

From: Julia Aldridge
Planner / Zoning Technician

Re: SP 2025-0005 (H & M Pines Storage @ Village of Mayfair)

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide South Broward Drainage District approval.
2. Provide alternative buffer yard for non-residential development adjacent to residential. Refer to code section 155.632(D).
3. 30' street side setback required. Street side setback subject to variance approval.
4. Update parking data according to current Code parking requirements.
5. The signage as proposed does not comply with the uniform sign plan for the shopping center. Building signage must comply with the shopping center's uniform sign plan. Signage will be approved through the building permit process.
6. Is any lighting proposed on/ under the canopy?
7. Lighting cannot exceed a maximum of 12 f.c. for the site. Lighting cannot exceed 24 f.c. under canopy.
8. Verify light fixtures are full cut-off and angled at 90-degrees.
9. Clarify the CCT of light fixtures. CCT cannot exceed 4,000k.
10. Provide all color names, color number, finishes, materials, etc. on both color and black and white elevations.
11. Clarify any rooftop equipment is screened from view. Reference 155.637.
12. Provide letter from Wastepro approving the proposed dumpster.
13. Provide detail of garbage enclosure. Provide note that enclosure will be painted to match the building façade and gates will be metal.
14. Building must be architecturally compatible with the existing shopping center.
15. Provide a sustainability statement as required by section 155.6120—155.6123.
16. Provide a letter detailing the economic impact of the proposed development.
17. Provide material board of all exterior colors, finishes, materials to be used on the façade. Label all materials and colors on the material board.
18. After review of resubmittal, additional comments may be made.
19. If needed contact Sherrell Jones-Ruff, in Building @ (954) 628-3725, to discuss and/or set up pre-app meeting for Building Permit Process.

Please contact me with any questions.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: March 25, 2025
To: SP 2025-0005 file
From: Cole Williams, Senior Planner
Re: Self-Storage Village of Mayfair.

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide completed public notice affidavit. The project number is PRJ2024-0017 The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.
 - Raintree Club Quarters at Raintree Brenda Harper 1941 NW 150 Avenue
Pembroke Pines FL 33028 954-392-6000 ext. 248
Brenda@landmarkmgmt.com Landmark Management Services, Inc.
 - Raintree Condos Club Quarters at Raintree Condos Carlos J.
Botero 1941 NW 150 Avenue Pembroke Pines FL 33028 954-
392-6000 ext. 248
 - Pembroke Lakes South Woodbridge Richard Ciarsolo 10112
USA Today Way Miramar, FL 33025 954-922-3514 X3053
rciarsolo@associaflorida.com Association Services of Florida
2. Proposed use subject to the approval of the zoning change.
3. Provide alternative bufferyard per code section 155.632, contact staff to discuss further.
4. Provide letter detailing business operations, hours of operation, drop off / pick up method, etc.
5. Provide the total number of storage units.
6. Provide South Broward Drainage District approval.
7. Update zoning on the site information table once the zoning change is adopted.
8. 30' street side setback required (Variance in process)
9. Provide material board with physical samples of all colors and materials used.
10. Label the all colors and materials on the color elevations.
11. The building must be architectural compatible with the existing shopping center. Similar colors and / or elements must be used. Provide letter detailing how this is accomplished.
12. Provide letter from Wastepro approving the proposed dumpster.
13. The dumpster gates must be metal.
14. Provide updated required parking for the shopping center based on the current minimum parking requirements.
15. Clarify if there are any short-term parking spaces. These spaces must be in surplus.
16. Building signage must comply with the shopping center's uniform sign plan and will be approved through the building permit process. You may show the signs here for

illustrative purposes. Be advised the signage as proposed does not comply with the uniform sign plan for the shopping center.

17. Clarify what light poles are existing and which are proposed.
18. A maximum of 12 foot candles is permit for the site.
19. Clarify CCT level. CCT cannot exceed 4,000k.
20. Add note to the plans that all lights are angled at 90 degrees and full cutoff.
21. Clarify that the roof mounted equipment is not visible from the property lines per code section 155.637.
22. Provide authorization from the adjacent property owner allowing the landscape material to be planted within their property.
23. Provide letter detailing who shall maintain the landscape planted off site.
24. Provide economic impact statement for the proposed development.
25. Provide sustainable impact statement outlining sustainable practices used within the proposed development.
26. Update overall site plans as modifications are made to the adjacent proposed development. This can be done with the final submission.
27. Further comments may apply as more details are provided.
28. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
29. Please contact me prior to resubmittal 954-392-2100.

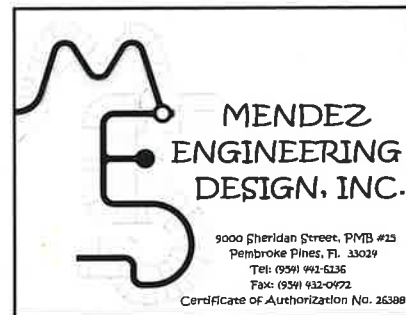


H & M PINES STORAGE

CITY OF PEMBROKE PINES, FLORIDA

SITE PLAN SUBMITTAL

FOR: H & M DEVELOPMENT



CONSULTANTS

DEVELOPER

H & M DEVELOPMENT
20200 WEST DIXIE HIGHWAY, SUITE 1206
AVENTURA, FL 33180
(305) 682-1311

CIVIL ENGINEER

MENDEZ ENGINEERING DESIGN, INC.
9000 SHERIDAN ST. PMB #15
PEMBROKE PINES, FL 33024
(954) 655-4572

ARCHITECT

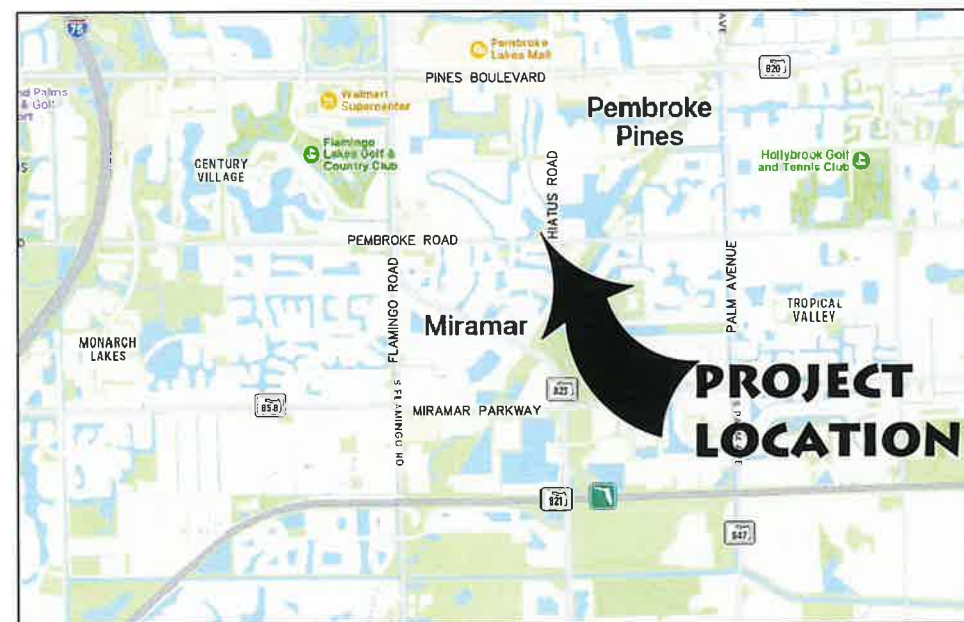
KENNETH R. CARLSON - ARCHITECT, P.A.
1166 W. NEWPORT CENTER DRIVE SUITE 311
DEERFIELD BEACH, FL 33442
(954) 427-8848

LANDSCAPE ARCHITECT

EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MANOR
PLANTATION, FL 33322
(305) 879-7965

SURVEYOR

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE SUITE 1011
DAVIE, FL 33314
(954) 689-7766



LOCATION MAP

N.T.S.
SECTION 24, TOWNSHIP 51S, RANGE 40E
FOLIO NO: 514024020063

LEGAL DESCRIPTION

LAND DESCRIPTION: (PARCEL 2A)

A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT G-3; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF THE ABOVE MENTIONED TRACT G-2, A DISTANCE OF 67.17 FEET; THENCE NORTH 01 DEGREE 30' 38" EAST A DISTANCE OF 44.02 FEET; THENCE NORTH 45 DEGREES 23' 48" EAST A DISTANCE OF 476.33 FEET; THENCE NORTH 39 DEGREES 24' 09" EAST A DISTANCE OF 72.36 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 118.73 FEET; THENCE NORTH 45 DEGREES 00' 00" EAST A DISTANCE OF 81.00 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 28.63 FEET; THENCE SOUTH 00 DEGREES 00' 28" WEST A DISTANCE OF 396.91 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF SAID TRACT G-3, A DISTANCE OF 117.24 FEET; THENCE NORTH 89 DEGREES 55' 17" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 200.06 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 163.30 FEET TO THE POINT OF BEGINNING.

SHEET INDEX

	COVER SHEET
	SURVEY
S-1	MASTER SITE PLAN
S-2	SITE PLAN
FA-1	MASTER FIRE TRUCK ACCESS PLAN
FA-2	FIRE TRUCK ACCESS PLAN
FA-3	FIRE ACCESS NOTES & DETAILS
A4.0	FLOOR PLANS
A4.1	FLOOR PLANS
A5.0	ELEVATIONS
A6.0	BUILDING SECTIONS
A7.0	ROOF PLAN
	3D RENDERINGS
	COLOR BOARD
SL-1	SITE PHOTOMETRIC PLAN
C-1	SURFACE WATER POLLUTION PREVENTION PLAN
C-2	SURFACE WATER POLLUTION PREVENTION NOTES
C-3	SURFACE WATER POLLUTION PREVENTION DETAILS
C-4	DEMOLITION PLAN
C-5	PAVING & GRADING PLAN
C-6	DRAINAGE PLAN
C-7	PAVING & DRAINAGE DETAILS
C-8	SITE CROSS SECTIONS & DETAILS
C-9	PAVING & DRAINAGE DETAILS
C-10	SBDD DETAIL SHEET
C-11	SIGNING & MARKING PLAN
C-12	SIGNING & MARKING DETAILS
C-13	SIGNING & MARKING DETAILS
C-14	WATER & SEWER PLAN
C-15	WATER & SEWER DETAILS
L-1	DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	DETAILS & NOTES



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

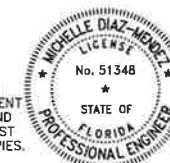
Check positive response codes before you dig!

City of Pembroke Pines
Received

AUG 27 2025

Planning & Economic Development

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
MICHELLE DIAZ-MENDEZ, P.E. ON
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST
BE VERIFIED ON ELECTRONIC COPIES.



REV	DATE	DESCRIPTION
1	05.12.25	PER DRC COMMENTS

PROJECT NO. 25-164.01



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY MICHELLE
DIAZ-MENDEZ, P.E. ON THE DATE
SHOWN ABOVE. PRINTED COPIES OF
THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON
ELECTRONIC COPIES.

H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	REVISION	NO.	SCALE	DATE	PROJECT NO.	MASTER SITE PLAN	SH. 1 OF 20	S-1
05.12.25		1	1 IN = 50 FT	03.20.2025	25-164.01			
06.16.25	PER DRC COMMENTS	3						
	PER DRC COMMENTS							

PARKING CALCULATIONS & BUILDING DATA

BUILDING USE	BUILDING HT.	GROSS BUILDING AREA (SF)	EXTERIOR COMMON AREA (SF)	TOTAL GROSS BUILDING CONSTRUCTION AREA (SF)	NET FLOOR AREA FOR PARKING CALCS. (SF)	PARKING RATIO	REQUIRED PARKING SPACES	TOTAL PARKING SPACES REQUIRED
PROPOSED FAST FOOD RESTAURANT	23'-6"	4,572 MAIN BUILDING 48 KIOSK TOTAL: 4,620	0	4,620	4,285 RESTAURANT 500 OUTDOOR SEATING	10/1000 15/1000	42.85 7.50	50.35
PROPOSED SELF-STORAGE BUILDING	53'-0" (PARAPET) 47'-7" (HIGHEST ROOF POINT)	134,074	0	134,074	127,993	0.5/1000	64.00	64.00
EXIST. RETAIL MEDICAL & DAY-CARE	14'-6"	19,147	8,909	28,056	WELLMAX (BUS): 9,259 WELLMAX (MED): 4,871 RETAIL: 1,335 DAYCARE: 3,928	3.5/1000 OFFICE 5.75/1000 MEDICAL 3.5/1000 RETAIL 3/1000 DAY CARE	32.41 27.22 4.67 11.78	76.08
EXISTING RESTAURANT	14'-6"	8,076	2,261	10,328	RESTAURANT: 5,715 FOOD PRODUCTION: 3,167	10/1000 3.5/1000	57.15 11.08	68.23
EXISTING MEDICAL	22'-6"	10,387	235	10,622	MEDICAL: 6,334 BUSINESS: 1,879 RETAIL: 494 ASSEMBLY: 1,243	5.75/1000 3.5/1000 3.5/1000 5/1000	36.42 6.58 1.73 6.22	50.95
NET TOTAL PARKING SPACES REQUIRED:							309.61	310 (8 ACCESSIBLE SPACES REQUIRED)
VARIANCE:							-59 SPACES	
NET TOTAL PARKING SPACES PROVIDED:							251 SPACES	

LEGAL DESCRIPTION

LAND DESCRIPTION: (PARCEL 2A)
A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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PARKING PROVIDED

REGULAR SPACES:	272 SPACES
ACCESSIBLE SPACES:	13 SPACES
TOTAL PARKING PROVIDED:	285 SPACES

SITE INFORMATION

SITE AREA:	9.99 AC
CURRENT ZONING:	C-1
CURRENT LAND USE:	IRR 5.52
FLEX ZONE:	7

FLOOR AREA RATIO

TOTAL GROSS BUILDING - 1 STORY:	52,696 SF	28.17%
TOTAL GROSS BUILDING - 2 STORY:	134,074 SF	71.83%
TOTAL GROSS BUILDING AREA:	186,770 SF	100%
ALLOWABLE GROSS BUILDING:		
ALLOWABLE 1 STORY BUILDING AREA:	28.17% X 435,492 X 25% = 30,651 SF	
ALLOWABLE 2 STORY BUILDING AREA:	71.83% X 435,492 X 50% = 156,444	
TOTAL ALLOWABLE GROSS BUILDING AREA:	187,095 SF	
186,770 SF PROVIDED < 187,095 SF ALLOWABLE		

SITE DATA TABLE

TOTAL SITE AREA:	435,492 SF	9.99 AC	100%
PERVIOUS AREA/OPEN SPACE:	109,380 SF	2.51 AC	25.11%
IMPERVIOUS AREA:	326,112 SF	7.48 AC	74.89%
BUILDING AREA:	85,659 SF	1.97 AC	26.27%
SIDEWALK AREA:	38,323 SF	0.88 AC	11.75%
VEHICULAR USE AREA:	202,130 SF	4.64 AC	61.98%

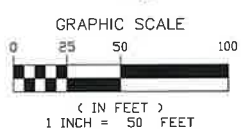
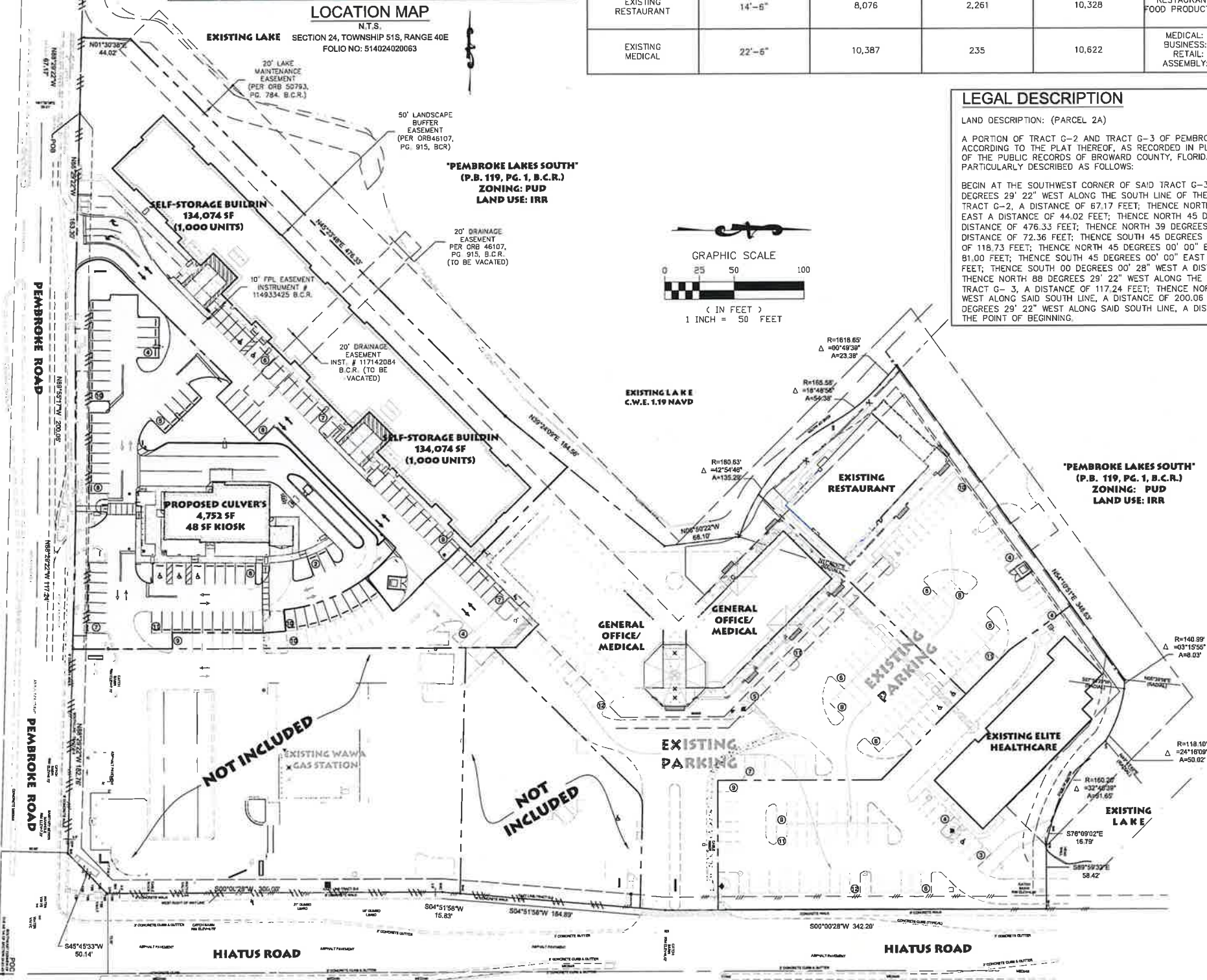
BUILDING SQUARE FOOTAGES

PROPOSED SELF STORAGE GROSS BUILDING AREA:	134,074 SF
PROPOSED FAST FOOD GROSS BUILDING AREA:	4,572 SF
EXISTING MEDICAL OFFICE GROSS BUILDING AREA:	10,387 SF
FUTURE BANK GROSS BUILDING AREA:	4,395 SF
EXISTING GAS STATION/C-STORE GROSS BUILDING AREA:	6,119 SF
EXISTING RESTAURANT GROSS BUILDING AREA:	8,076 SF
EXISTING BUSINESS/MEDICAL/PRESCHOOL GROSS BUILDING AREA:	19,147 SF



LOCATION MAP

SECTION 24, TOWNSHIP 51S, RANGE 40E
FOLIO NO: 514024020063





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H & M PINES STORAGE

AT THE VILLAGES OF MAYFAIR

1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

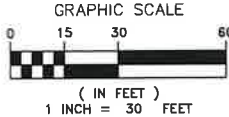
DATE	05.12.25
REVISION	PER DRG COMMENTS
NO.	3
SCALE	1 IN = 30 FT
DATE	03.20.2025
PROJECT NO.	25-164.01

SITE PLAN

SH. 2 OF 20
S-2

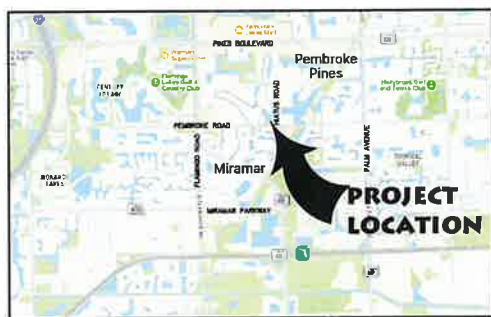
NOTES:

1. NEW PARKING SPACES ARE TO BE CONSTRUCTED PER CITY STANDARD R-41.
2. ACCESSIBLE PARKING SPACES ARE TO BE CONSTRUCTED PER CITY STANDARD R-32.
3. REFER TO SIGNING & MARKING PLAN AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.



LEGEND

- PROPERTY LINE/ PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- PARCEL LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
- PROPOSED CONCRETE
- PROPOSED VEHICULAR USE AREA
- SIGN (SINGLE POST)
- CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- IN-LINE CURB RAMP - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET



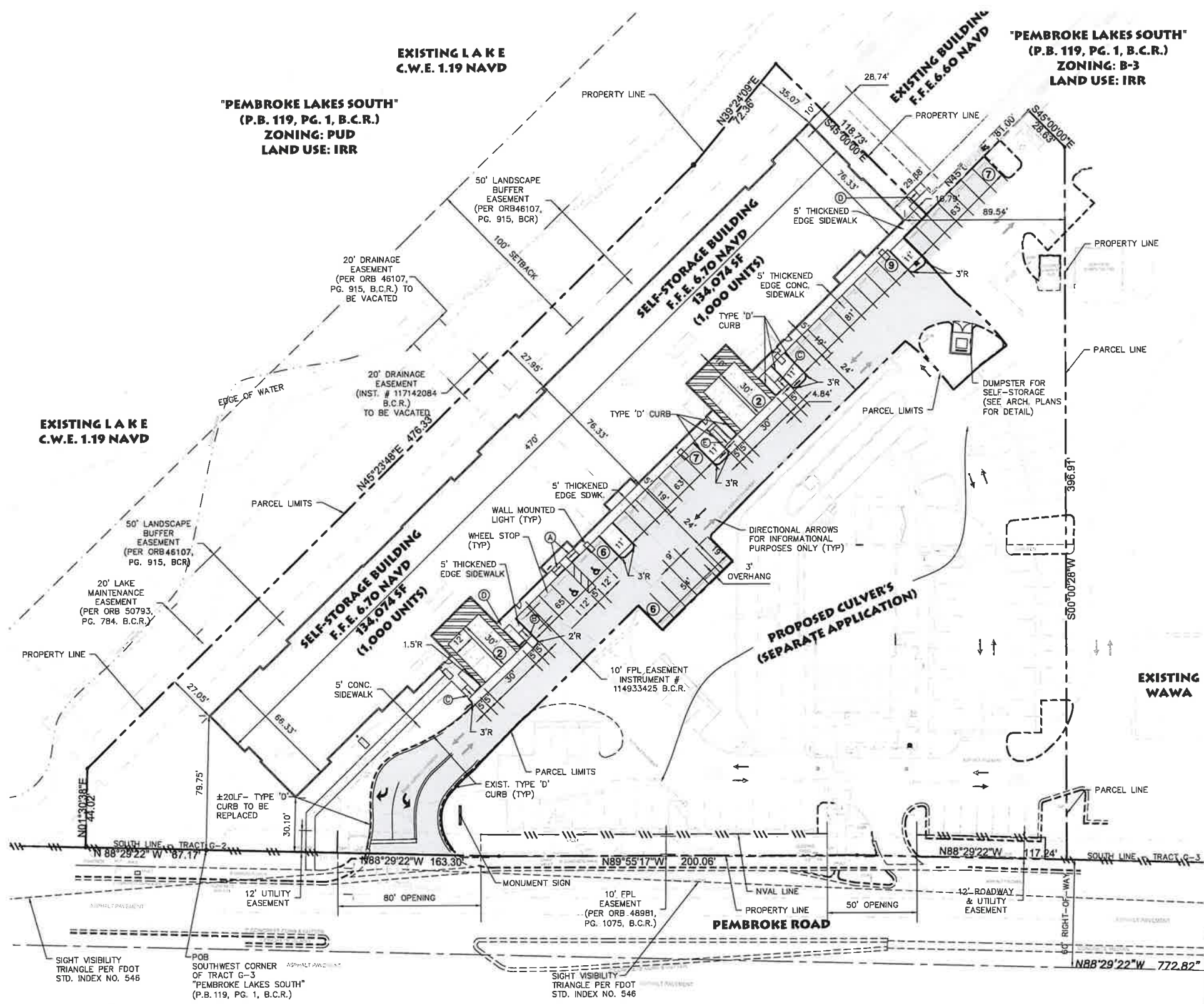
LOCATION MAP
FOLIO NO. 514024020063

LEGAL DESCRIPTION

LAND DESCRIPTION: (PARCEL 2A)
A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT G-3; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF THE ABOVE MENTIONED TRACT G-2, A DISTANCE OF 67.17 FEET; THENCE NORTH 01 DEGREE 30' 38" EAST A DISTANCE OF 44.02 FEET; THENCE NORTH 45 DEGREES 23' 48" EAST A DISTANCE OF 476.33 FEET; THENCE NORTH 39 DEGREES 24' 09" EAST A DISTANCE OF 72.36 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 118.73 FEET; THENCE NORTH 45 DEGREES 00' 00" EAST A DISTANCE OF 81.00 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 28.63 FEET; THENCE SOUTH 00 DEGREES 00' 28" WEST A DISTANCE OF 396.91 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF SAID TRACT G-3, A DISTANCE OF 117.24 FEET; THENCE NORTH 89 DEGREES 55' 17" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 200.06 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 163.30 FEET TO THE POINT OF BEGINNING.

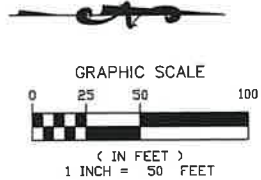
SITE DATA TABLE

TOTAL SITE AREA:	83,483 SF	1.92 AC	100%
PERVIOUS AREA/OPEN SPACE:	27,589 SF	0.63 AC	26.45%
IMPERVIOUS AREA:	55,894 SF	1.29 AC	73.55%
BUILDING AREA:	32,968 SF	0.76 AC	7.80%
SIDEWALK AREA:	2,908 SF	0.07 AC	3.63%
VEHICULAR USE AREA:	20,048 SF	0.46 AC	62.12%
TOTAL NO. OF UNITS	1,000		

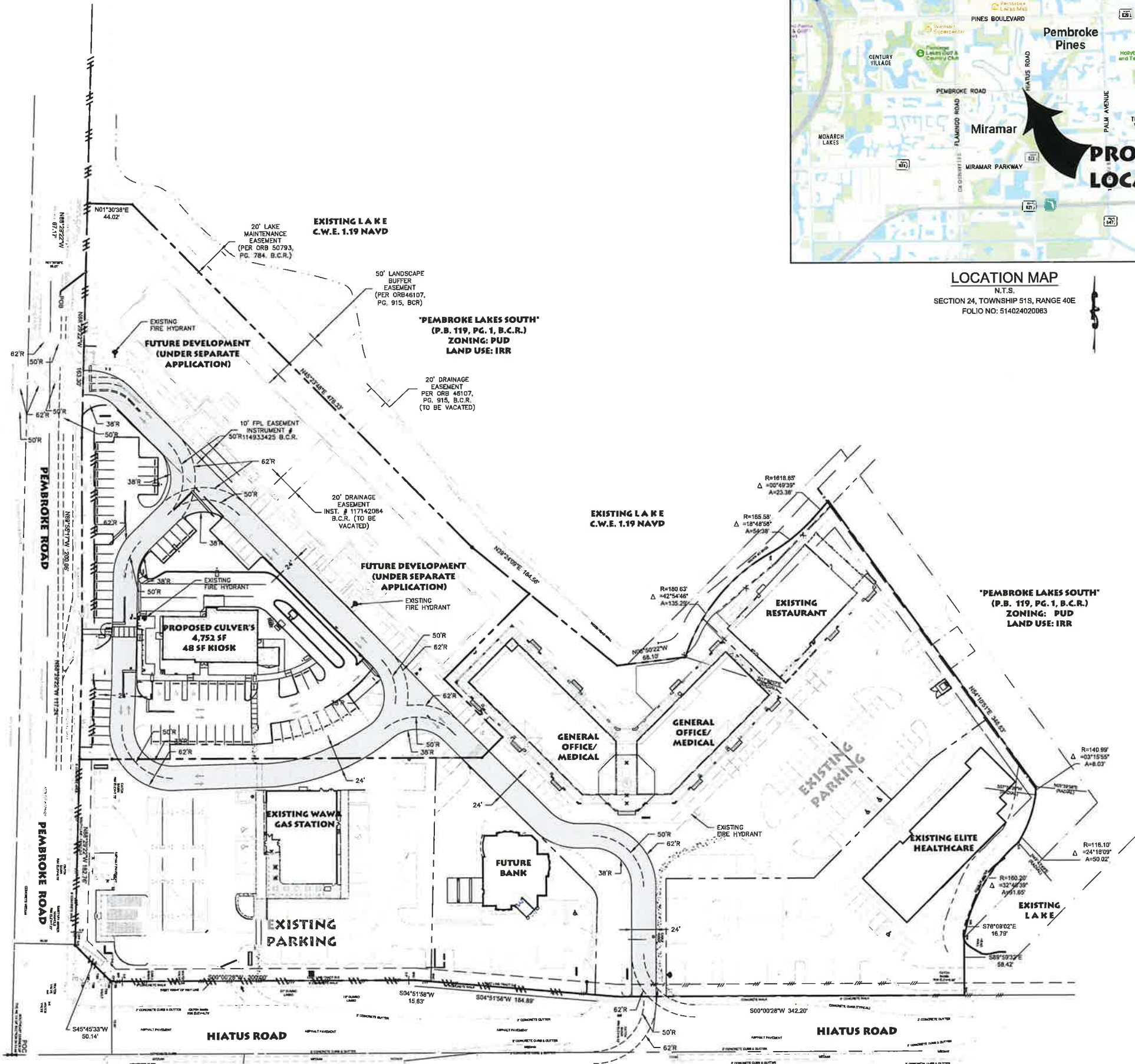
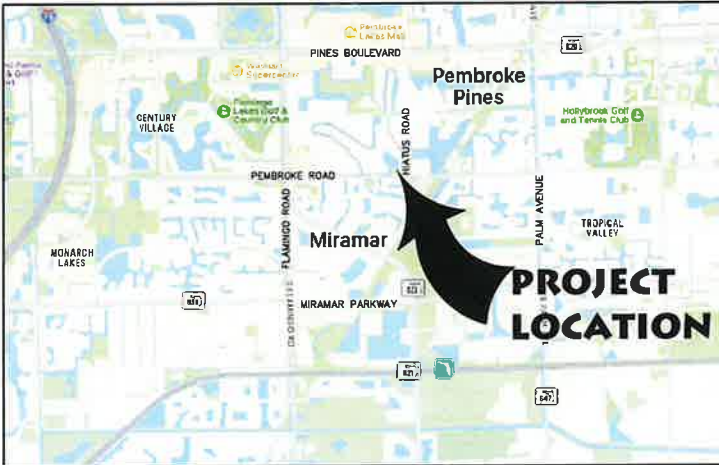


H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	05.12.25
REVISION	PER DRC COMMENTS 06.16.25
NO.	1
SCALE: 1 IN = 50 FT	
DATE: 03.20.2025	
PROJECT NO. 25-164.01	
MASTER FIRE TRUCK ACCESS PLAN	
SH. 3 OF 20	
FA-1	



- LEGEND**
- PROPERTY LINE/ PARCEL LINE
 - NON-VEHICULAR ACCESS LINE
 - EASEMENT LINE
 - LIMITS OF CONSTRUCTION LINE
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
 - EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
 - FIRE TRUCK ACCESS ROAD



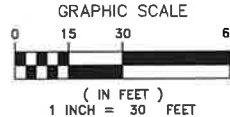
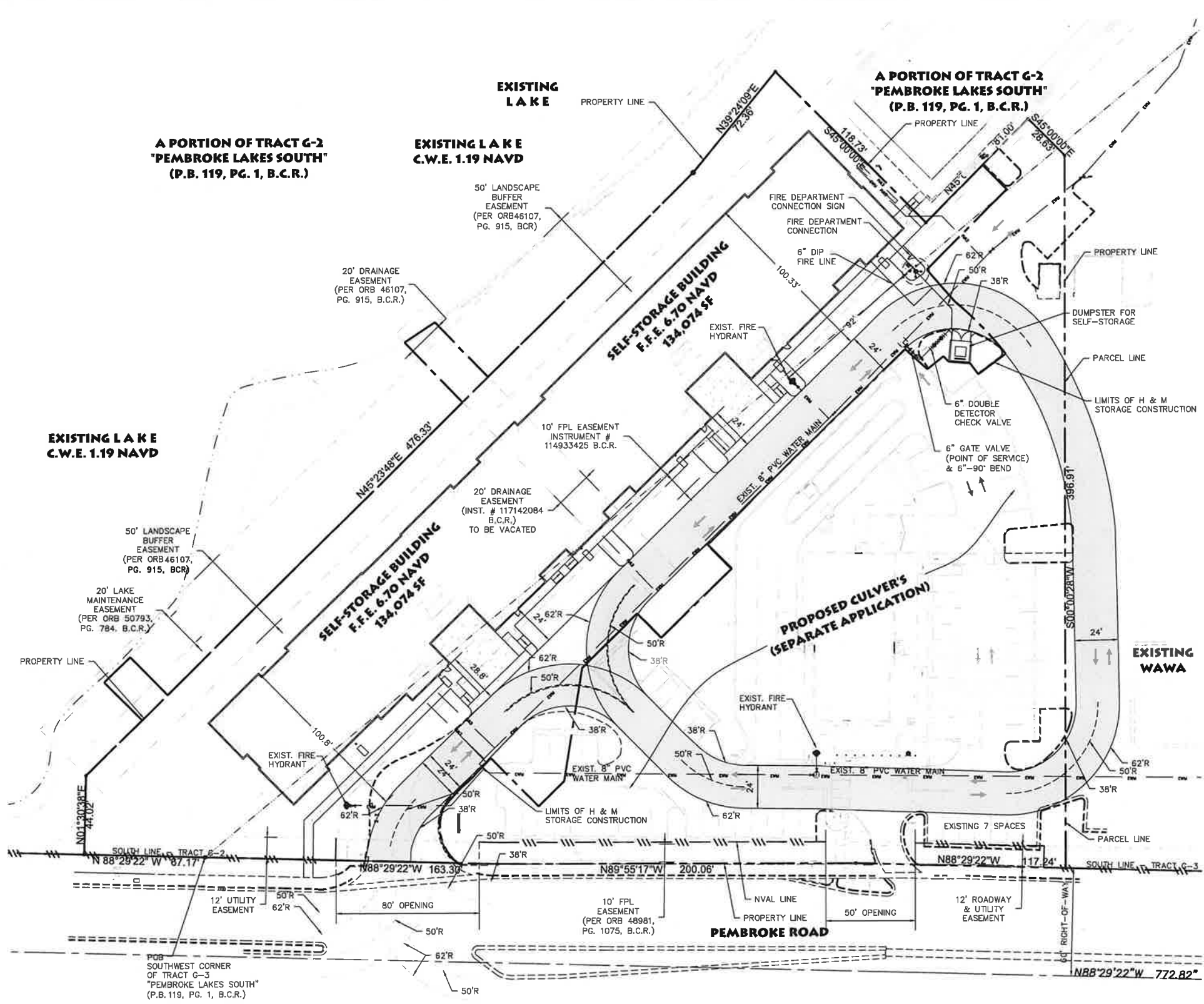


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**H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR**
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	REVISION	NO.
05.12.25	PER DRC COMMENTS	1
08.18.25	PER DRC COMMENTS	3

SCALE:
1 IN = 30 FT
DATE:
03.20.2025
PROJECT NO.
25-164.01
**FIRE TRUCK
ACCESS PLAN**
SH. 4 OF 20
FA-2



- LEGEND**
- PROPERTY LINE/ PARCEL LINE
 - NON-VEHICULAR ACCESS LINE
 - EASEMENT LINE
 - LIMITS OF CONSTRUCTION LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
 - PROPOSED WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
 - FIRE TRUCK ACCESS ROAD

BUILDING CONSTRUCTION TYPE IIA

GENERAL NOTES:

- SEE SHEET FA-3 FOR NOTES AND DETAILS.
- CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- FIRE LINE IS TO BE DIP, CLASS 52 OR BETTER AS REQUIRED BY THE AHJ AND IS TO BE PRESSURE TESTED AT 200 PSI.
- THE SUB-CONTRACTOR INSTALLING THE UNDERGROUND FIRE LINE MUST SUBMIT A PERMIT APPLICATION TO THE CITY OF PEMBROKE PINES BUILDING DEPARTMENT.
- WATER MAIN/FIRE LINE SHALL HAVE 36" MINIMUM COVER.
- ALL FITTINGS USED IN PRIVATE FIRE SERVICE MAINS SHALL BE RATED FOR THE MAXIMUM SYSTEM WORKING PRESSURE TO WHICH THE FITTINGS ARE EXPOSED BUT SHALL NOT BE RATED AT LESS THAN 150 PSI PER NFPA 24.
- FIRE LINE PIPE JOINTS SHALL NOT BE LOCATED UNDER FOUNDATION.
- ALL PIPING, FDC, FITTINGS, RESTRAINTS, VALVES, BACKFLOW PREVENTER, ETC. ASSOCIATED WITH THE FIRE LINE SHALL COMPLY WITH NFPA 24, 10.1.1, 10.1.1.1 LISTING AND 10.2 FOR FITTINGS.

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

GENERAL NOTES:

- ACCESS BOX:

- ACCESS ROADS:

- WATER SUPPLY:

- FIRE HYDRANTS:

- FIRE DEPARTMENT CONNECTIONS:

- FIRE LINE INSTALLATION:

- FIRE FLOW TEST:


- SIGNAGE:

- RADIO SIGNAL:

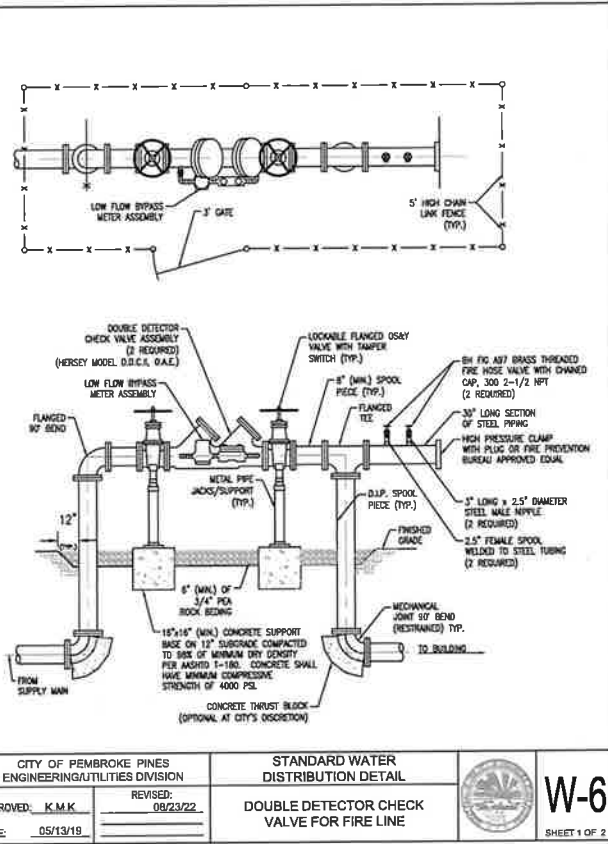
-
- STREET/ROADWAY ACCESS DRIVE OR
PARKING ACCESS DRIVE/ALSE
(SEE PLAN SHEET)
- VARIES
- 3' RADIAL
(TYP.)
- PUMPER NOZZLE
(SEE NOTE 2)
- HOSE NOZZLE
2-1/2" OUTLET
- FOUR (4) 4" DIA. HYDRANT
GUARDS/BOLLARDS
PAINTED O.S.H.A. YELLOW
(SEE DETAIL W-8)
- 6" GATE VALVE & BOX
(SEE DETAIL G-3)
(DO NOT INSTALL IN
CURB LINE)
- FINISHED GRADE
(BURY LINE)
- FINISHED GRADE
(BURY LINE)
- 6" (MIN.)
- 24" MIN.
30" MAX.
- 2'-6"
- 30" (MIN.)
- MECHANICAL
JOINT TEE
(RESTRAINED)
- 6" D.I.P.
- WATER MAIN COVER
136" MIN. FOR P.V.C.
30" MIN. FOR D.I.P.
- VARIES
- 18"
- BOTTOM VALVE
OPENING 5-1/4"
- 6" D.I.P.
- 6" BEDDING (TYP.)
- RESTRAIN ALL JOINTS
- UNDISTURBED
SOIL (TYP.)
- CONC. THRUST BLOCK W/
MIN. 4.5 S.F. BEARING AREA
AGAINST UNDISTURBED SOIL
- CONC. THRUST BLOCK W/
MIN. 3.35 S.F. BEARING
AREA AGAINST UNDISTURBED SOIL
- WATER MAIN

NOTE:

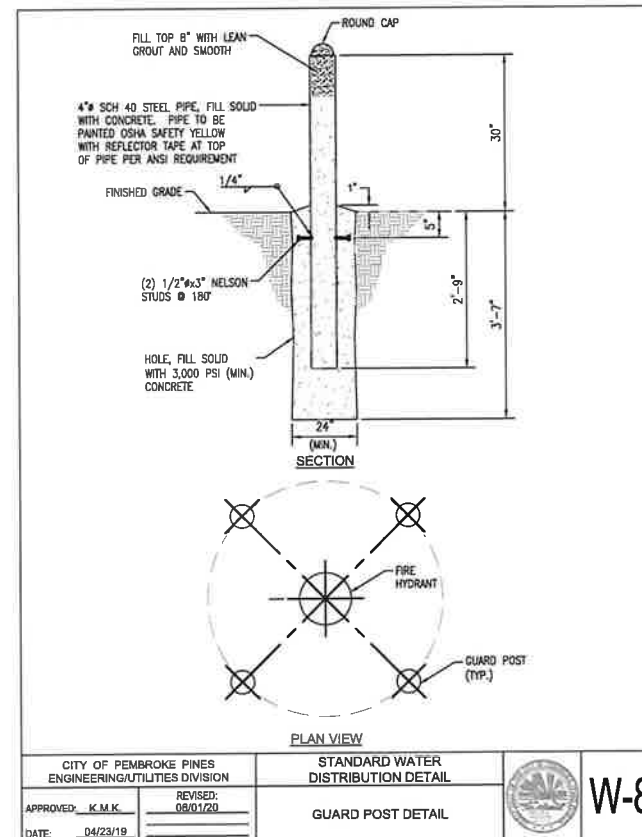
1. REFER TO SHEET 2 OF 2 FOR APPLICABLE "NOTES".



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD WATER DISTRIBUTION DETAIL			W-1 SHEET 1 OF 2
APPROVED: <u>K.M.K.</u>	REVISED: _____	FIRE HYDRANT			
DATE: <u>04/23/19</u>	_____				

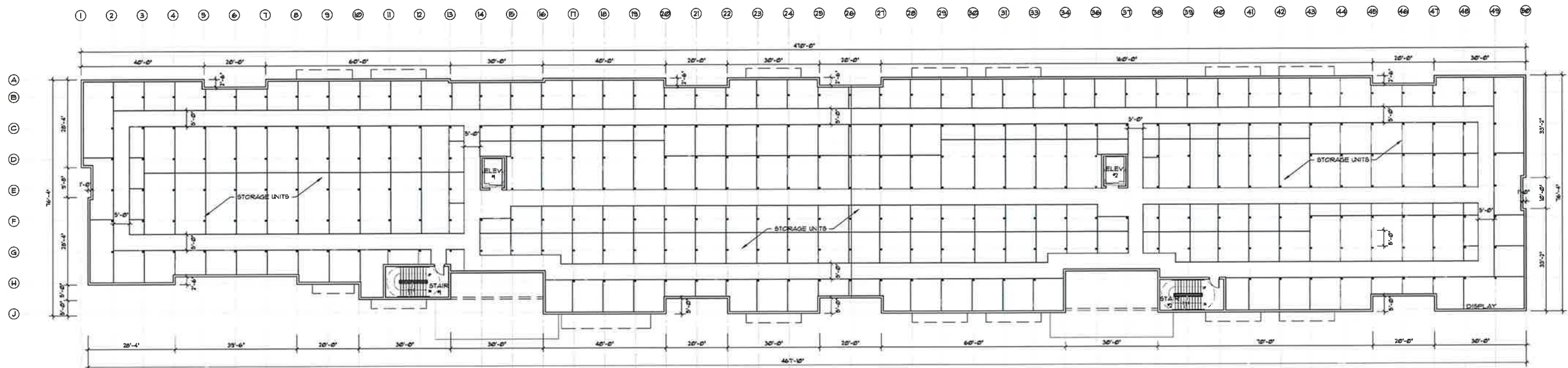
1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/2" BOTTOM VALVE WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET /ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ AISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6) FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR "TURNING RADIUS".
5. A SEVEN (7) AND HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.
6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE 'SUPPLY MAIN'. SHOULD THE DISTANCE FROM THE 'SUPPLY MAIN' TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.



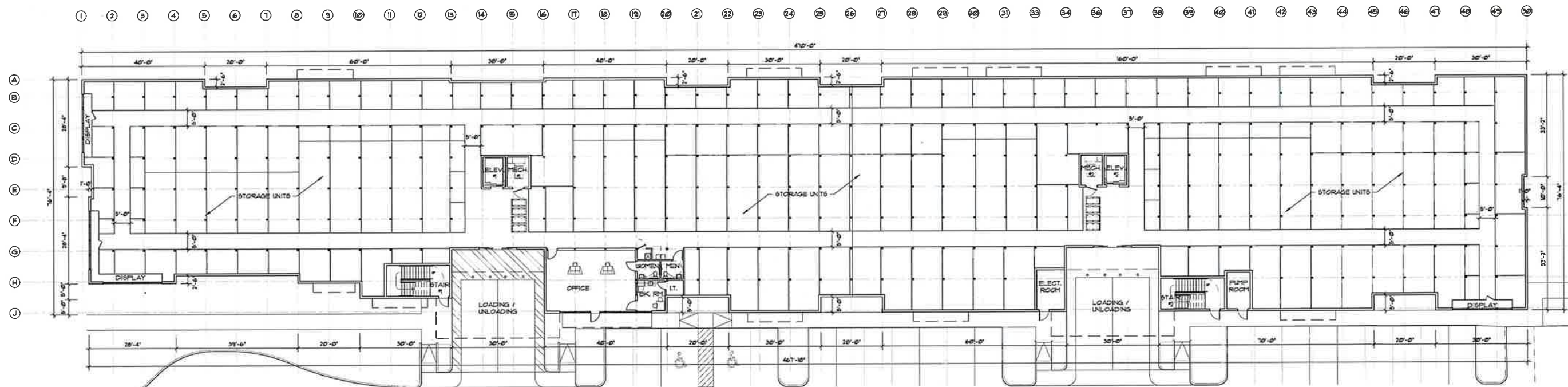
1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA / CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.



	<p align="center">MENDEZ ENGINEERING DESIGN, INC.</p> <p align="center">3000 Sheridan Drive, PMS #12 Pembroke Pines, FL 33027 Tel: (954) 435-6335 Fax: (954) 435-0773 Certificate of Authorization No. 32388</p>																																	
	<p><small>THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E., ON THE DATE SHOWN ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.</small></p>																																	
<h1 style="margin: 0;">H & M PINES STORAGE</h1> <h2 style="margin: 0;">AT THE VILLAGES OF MAYFAIR</h2>	<h3 style="margin: 0;">1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL</h3> <h3 style="margin: 0;">CLIENT: H & M DEVELOPMENT</h3>																																	
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DATE: 03.20.2025																																		
PROJECT NO. 25-164.01																																		
FIRE ACCESS NOTES & DETAILS																																		
SHEET NO. 5 OF 20																																		
FA-3																																		



1 SECOND FLOOR PLAN
A4.0 1/8"=1'-0"



1 GROUND FLOOR PLAN
A4.0 1/8"=1'-0"



H & M - PINES STORAGE

1520 SOUTH HIATUS ROAD
FEBROKE PINES, FLORIDA 33075

KENNETH R. CARLSON - ARCHITECT, P.A.

1166 W. NEWPORT CENTER DR., SUITE #311
DEERFIELD BEACH, FLORIDA 33442
P.H. (954) 421 - 8848 FAX (954) 421 - 9329
e-mail: krc@kenrcl.com

REVISIONS
DATE
BY

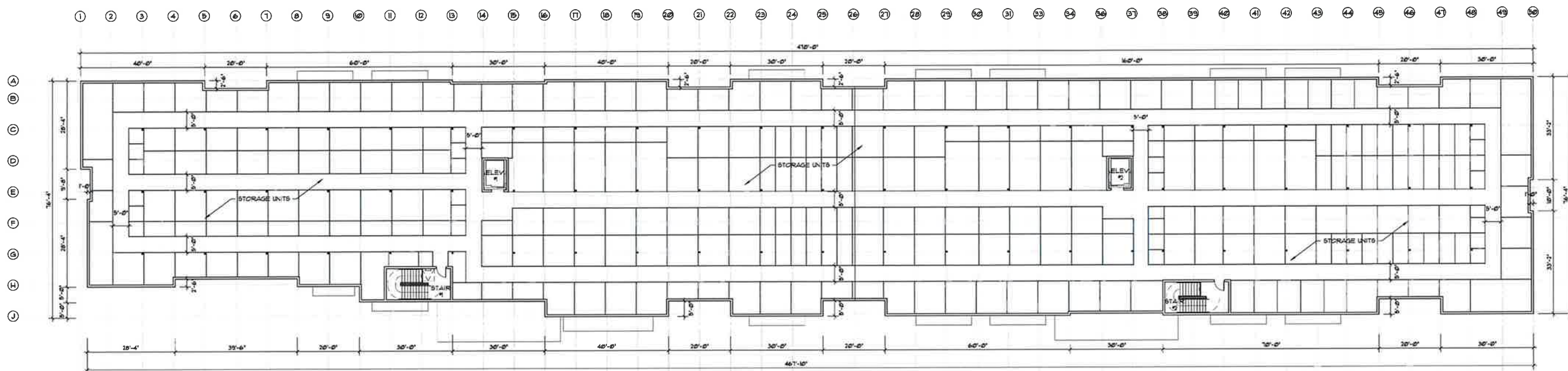
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DATE: 11/19/2024
SCALE: AS NOTED
PROJECT #: 24-0063
CAD DWG FILE: A4.0

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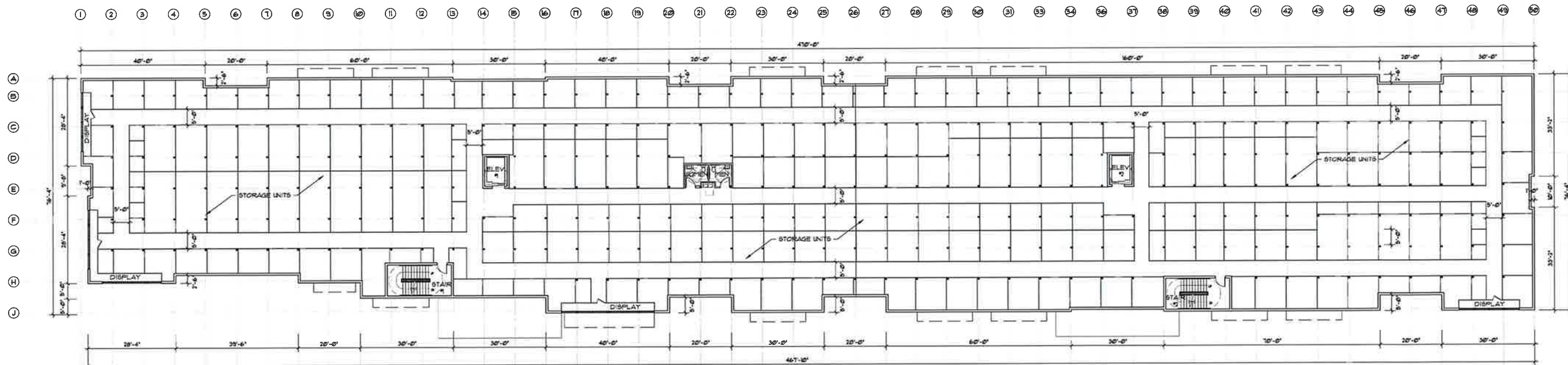
SHEET

A4.0

PAGE



1
A4.1
FOURTH FLOOR PLAN
1/8" = 1'-0"



1
A4.1
THIRD FLOOR PLAN
1/8" = 1'-0"



H & M - PINES STORAGE

1520 SOUTH HIATUS ROAD
PENSACOLA, FLORIDA 32505

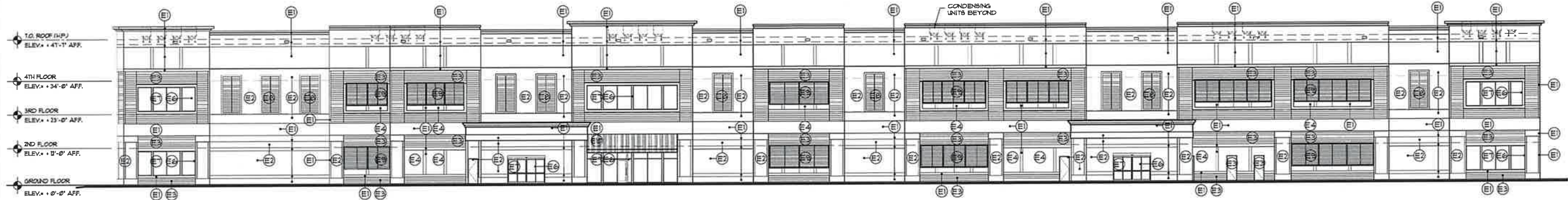
KENNETH R. CARLSON - ARCHITECT, P.A.

1166 W. NEWPORT CENTER DR., SUITE 201
DEERFIELD BEACH, FLORIDA 33442
P.H. (954) 421 - 8848 FAX (954) 421 - 9329
e-mail: krc@kenrcl.com

REVISIONS
DATE
BY
CITY COMMENTS

DRAWN BY: JFS
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DATE: 11/18/2014
SCALE: AS NOTED
PROJECT: 24-063
CAD FILE: 24-063

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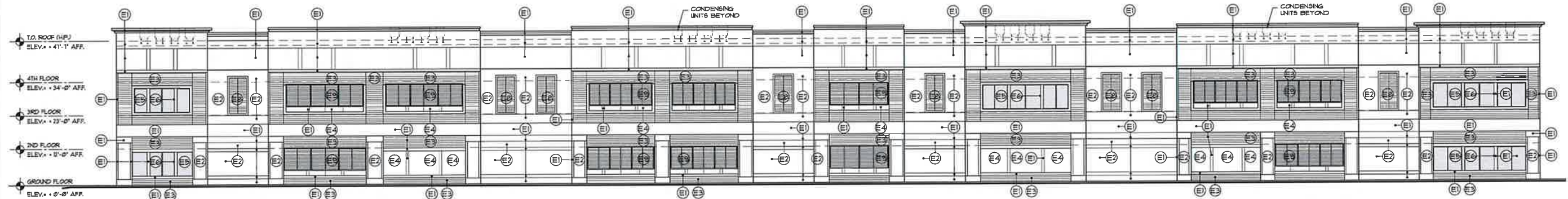
1 SOUTH-EAST ELEVATION
1/8"=1'-0"



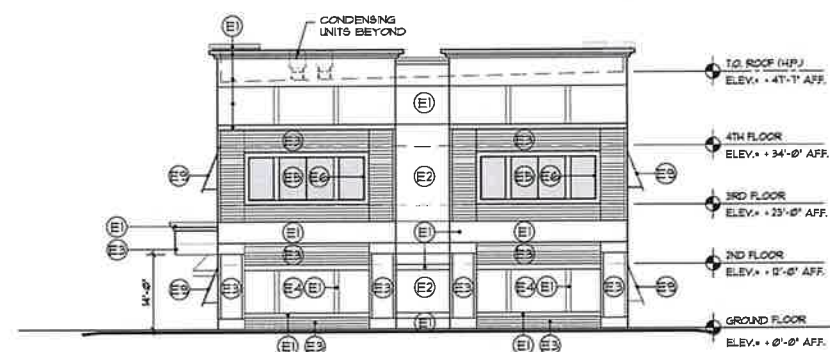
2 SOUTH-WEST ELEVATION
1/8"=1'-0"

MARK	DESCRIPTION	MATCH MARK	CATALOG NO.	COLOR NAME	COMMON NAME
E1	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	1006	EXTRA WHITE	WHITE
E2	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	1023	AGREEABLE GRAY	LIGHT BEIGE
E3	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	1030	ANNU GRAY	BEIGE
E4	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	1031	MEGA GREIGE	LIGHT BROWN
E5	SPANDREL	YKK	-	DARK GRAY	DARK GRAY
E6	STOREFRONT FRAME	YKK	-	MILL	MILL
E7	STOREFRONT GLAZING	YKK	-	LIGHT GRAY	LIGHT GRAY
E8	SIMULATED SHUTTER	TO MATCH SHERWIN WILLIAMS	1006	EXTRA WHITE	WHITE
E9	PRE-ENGINEERED BAHAMA SHUTTER	TO MATCH SHERWIN WILLIAMS	1006	EXTRA WHITE	WHITE
E10	CANVAS AWNING	-	-	HARTFORD GREEN	GREEN

3 EXTERIOR FINISH SCHEDULE
A5.0



3 NORTH-WEST ELEVATION
1/8"=1'-0"



4 NORTH-EAST ELEVATION
1/8"=1'-0"

H & M - PINES STORAGE

1520 SOUTH HATJUS ROAD
PENSACOLA PINES, FLORIDA 33025

KENNETH R. CARLSON - ARCHITECT, P.A.

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REVISIONS
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DRAWN BY: FS
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DATE: 11/19/2014
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PROJECT #: 24-063
CAD DWG FILE: A5.0

ARI2946
KENNETH R. CARLSON

SHEET OF
A5.0
PAGE 5 OF



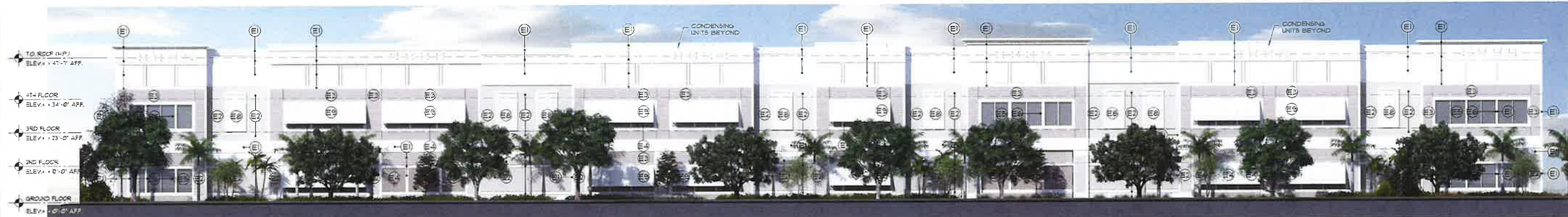
1 SOUTH-EAST ELEVATION - (COLORED)
1/8"=1'-0"



2 SOUTH-WEST ELEVATION - (COLORED)
1/8"=1'-0"

MARK	DESCRIPTION	MATCH NAME	CATALOG NO.	COLOR NAME	COPTON NAME
(E1)	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	7006	EXTRA WHITE	WHITE
(E2)	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	7009	AGREEABLE GRAY	LIGHT BEIGE
(E3)	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	7030	ANESJ GRAY	BEIGE
(E4)	PAINTED MEDIUM TEXTURE	SHERWIN WILLIAMS	7031	MEGA GREIGE	LIGHT BROWN
(E5)	SPANDREL	YKK	*	DARK GRAY	DARK GRAY
(E6)	STOREFRONT FRAME	YKK	*	MILL	MILL
(E7)	STOREFRONT GLAZING	YKK	*	LIGHT GRAY	LIGHT GRAY
(E8)	SIMULATED SHUTTER	TO MATCH SHERWIN WILLIAMS	7006	EXTRA WHITE	WHITE
(E9)	PRE-ENGINEERED BAHAMA SHUTTER	TO MATCH SHERWIN WILLIAMS	7006	EXTRA WHITE	WHITE
(E10)	CANVAS AWNING	*		HARTFORD GREEN	GREEN

5 EXTERIOR FINISH SCHEDULE
1/8"=1'-0"



3 NORTH-WEST ELEVATION - (COLORED)
1/8"=1'-0"



4 NORTH-EAST ELEVATION - (COLORED)
1/8"=1'-0"

H & M - PINES STORAGE

1520 SOUTH HIATUS ROAD
PEMBROKE PINES, FLORIDA 33025

KENNETH R. CARLSON - ARCHITECT, P.A.

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e-mail: krc@krcarlson.com

Revisions:
04-07-2023
01-11-2023

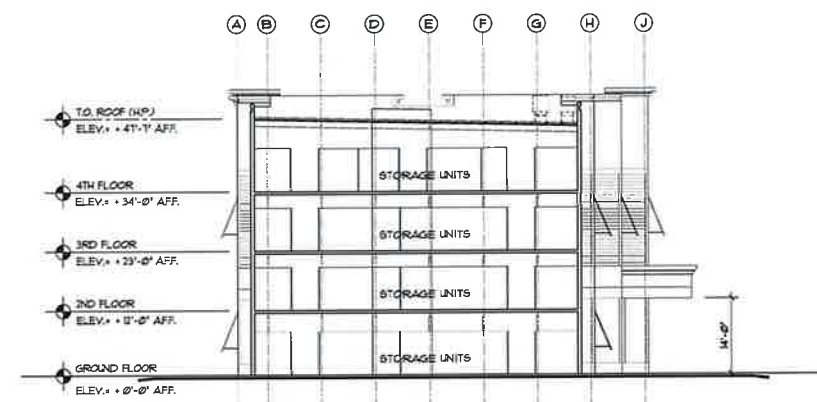
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DRAWN BY: ES
CHECKED BY: KRC

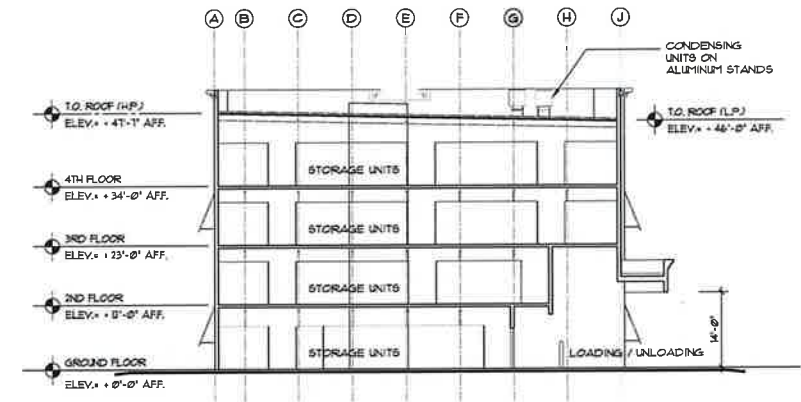
DATE: 1/15/2024
SCALE: AS NOTED
PROJECT #: 24-063
CAD DWG FILE: 24-063

ARCH-26
KENNETH R. CARLSON

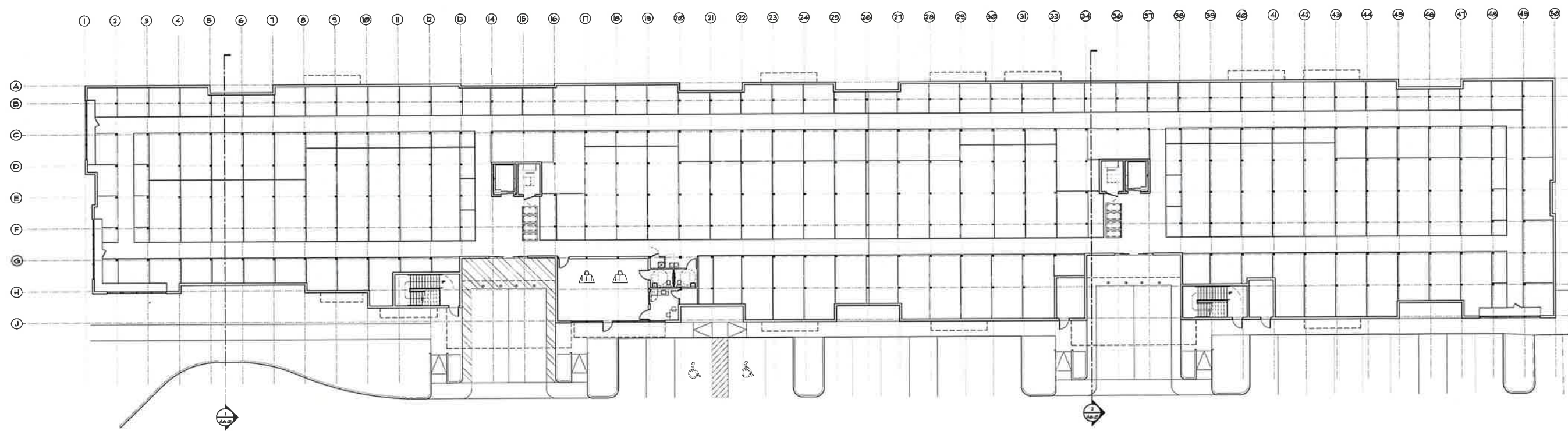
SHEET OF
A5.1
PAGE 5 OF



1 CROSS SECTION 1
A6.0 1/8" = 1'-0"



2 CROSS SECTION 2
A6.0 1/8" = 1'-0"



3 GROUND FLOOR PLAN
A6.0 1/8" = 1'-0"

H & M - PINES STORAGE

1520 SOUTH HIATUS ROAD
FEMBOKE PINES, FLORIDA 33025

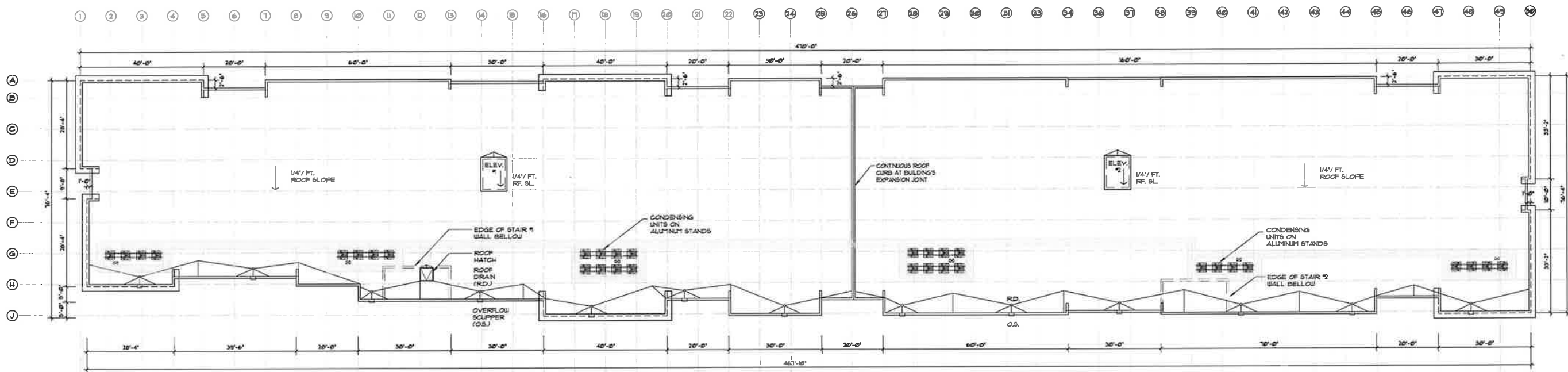
KENNETH R. CARLSON - ARCHITECT, P.A.

1166 W. NEUPORT CENTER DR., SUITE #311
DEERFIELD BEACH, FLORIDA 33442
PH. (354) 421 - 8848 FAX (354) 421 - 9329
e-mail: krc@kenrclson.com

REVISIONS	DATE	BY	CHKD
1	05/02/05		
2			
3			
4			

DRAWN BY: FS	CHECKED BY: GRC
DATE: 11/15/2004	SCALE: AS NOTED
PROJECT: 24-0063	CAD FILE: A6.0

KENNETH R. CARLSON
AR2546



1 ROOF PLAN
A10 1/8"=1'-0"



H & M - PINES STORAGE

1520 SOUTH HIATUS ROAD
PEMBROKE PINES, FLORIDA 33025

KENNETH R. CARLSON - ARCHITECT, P.A.

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Revisions
08/02/2025
CITY COMMENTS

DRAWN BY: RS
CHECKED BY: KRC

DATE: 11/02/2024
SCALE: AS NOTED
PROJECT #: 24-063
CAD DWG FILE: A4.0

AR2546
KENNETH R. CARLSON

SHEET OF
A7.0
PAGE OF



H & M PINES STORAGE
PEMBROKE PINES, FLORIDA

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PEMBROKE PINES, FLORIDA

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H & M PINES STORAGE

PEMBROKE PINES, FLORIDA



E1 - E8 - E9
SW 7006
EXTRA WHITE



E2
SW 7029
AGREEABLE GRAY



E3
SW 7030
ANEW GRAY



E4
SW 7031
MEGA GREIGE



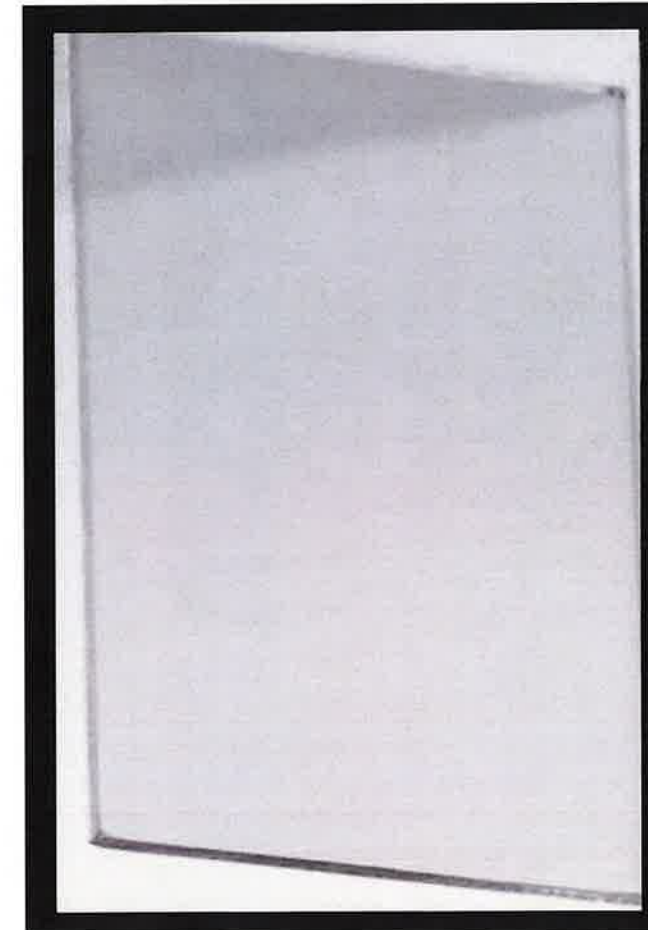
E5
DARK GRAY
SPANDREL GLASS



E6
ALUMINUM



E10
HARTFORD GREEN



E7
LIGHT GRAY
IMPACT RATED GLAZING



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& M PINES STORAGE
"THE VILLAGES OF MAYFAIR"
 SOUTH HIATUS ROAD PEMBROKE PINES, FL
 CLIENT: H & M DEVELOPMENT

[illegible]

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION		GENERAL	
PROJECT NAME AND LOCATION: H&M PINES STORAGE 1520 S. HATUS ROAD PINEBROOK PINES, FL 33025 OWNER NAME AND ADDRESS: H&M DEVELOPMENT 20200 W. OXIE HIGHWAY SUITE 1208 AVENTURA, FL 33180 DESCRIPTION: CONSTRUCTION OF A 134,074 SF SELF-STORAGE FACILITY		THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.	
		SEQUENCE OF MAJOR ACTIVITIES:	
		SEQUENCE OF MAJOR ACTIVITIES: 1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES 2. START BUILDING FOUNDATION. 3. INSTALL UNDERGROUND UTILITIES 4. CONTINUE WITH E&S CONTROL MEASURES. 5. START BUILDING CONSTRUCTION 6. GRADE, RESTORE AND REPAVE EXIST. PAVEMENT AREAS 7. COMPLETE CURBING 8. COMPLETE BUILDING CONSTRUCTION 9. COMPLETE FINAL LIFT OF ASPHALT WITH PAVEMENT MARKINGS 10.COMPLETE FINAL GRADING OPERATIONS 11.CLEAN DRAINAGE SYSTEM 12.REMOVE SILT FENCE, INLET PROTECTION AND TURBIDITY BARRIERS	
SOILS: FINE SAND (SP) SITE MAPS: REFER TO SURVEY PLAN SITE AREA: 1. TOTAL AREA OWNED: 1.92 AC. 2. AREA TO BE DISTURBED: 1.97 AC. (PROJECT AREA)		TIMING OF CONTROLS/MEASURES	
THE PROPOSED SYSTEM WILL CONVEY STORM WATER RUNOFF VIA HARD PIPES TO OFFSITE EXISTING LAKES.		AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH SLOPES/DIKS WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.	
CONTROLS		ENDANGERED SPECIES AND CRITICAL HABITAT	
THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.		1. ARE THERE ENDANGERED SPECIES ON SITE? NO. 2. ARE THERE CRITICAL HABITAT ON SITE? NO. IF YES TO EITHER QUESTION, PLEASE EXPLAIN. _____ _____ _____	
STORM WATER MANAGEMENT:		CONTROLS	
STORM WATER DRAINAGE WILL BE PROVIDED BY A POSITIVE DRAINAGE COLLECTION SYSTEM. THE PROPOSED SYSTEM WILL CONVEY STORM WATER RUNOFF VIA HARD PIPES TO THE EXISTING LAKES.		IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.	
TIMING OF CONTROLS/MEASURES		EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES (IF APPLICABLE): 1. HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION 2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.	
REFER TO " CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF CONTROL/MEASURES.			
CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS			
IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. SWFMD PERMIT # _____ NPDES PERMIT # _____			
POLLUTION PREVENTION PLAN CERTIFICATION			
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.			

THE 67 CUBIC YARDS OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.																
OTHER CONTROLS																
WASTE DISPOSAL (IF APPLICABLE):																
WASTE MATERIALS ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LOADED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.																
HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.																
SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.																
OFF-SITE VEHICLE TRACKING A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.																
INVENTORY FOR POLLUTION PREVENTION PLAN																
THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON-SITE DURING CONSTRUCTION: <table><tr><td><input checked="" type="checkbox"/> Concrete</td><td><input checked="" type="checkbox"/> Fertilizers</td><td><input checked="" type="checkbox"/> Wood</td></tr><tr><td><input checked="" type="checkbox"/> Asphalt</td><td><input checked="" type="checkbox"/> Petroleum Based Products</td><td><input checked="" type="checkbox"/> Masonry Blocks</td></tr><tr><td><input checked="" type="checkbox"/> Tar</td><td><input checked="" type="checkbox"/> Cleaning Solvents</td><td><input checked="" type="checkbox"/> Roofing Materials</td></tr><tr><td><input checked="" type="checkbox"/> Detergents</td><td><input checked="" type="checkbox"/> Paints</td><td><input checked="" type="checkbox"/> Metal Studs</td></tr><tr><td><input type="checkbox"/> _____</td><td><input type="checkbox"/> _____</td><td><input type="checkbox"/> _____</td></tr></table>		<input checked="" type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Fertilizers	<input checked="" type="checkbox"/> Wood	<input checked="" type="checkbox"/> Asphalt	<input checked="" type="checkbox"/> Petroleum Based Products	<input checked="" type="checkbox"/> Masonry Blocks	<input checked="" type="checkbox"/> Tar	<input checked="" type="checkbox"/> Cleaning Solvents	<input checked="" type="checkbox"/> Roofing Materials	<input checked="" type="checkbox"/> Detergents	<input checked="" type="checkbox"/> Paints	<input checked="" type="checkbox"/> Metal Studs	<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____
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<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____														
SPILL PREVENTION																
MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT. *AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. *ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. * PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LABEL. * SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. * WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. * MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. * THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.																

HAZARDOUS PRODUCTS THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. * PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. * ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. * IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED. PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE: PETROLEUM PRODUCTS ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZERS FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS. PAINTS ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.		* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. * THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SED	
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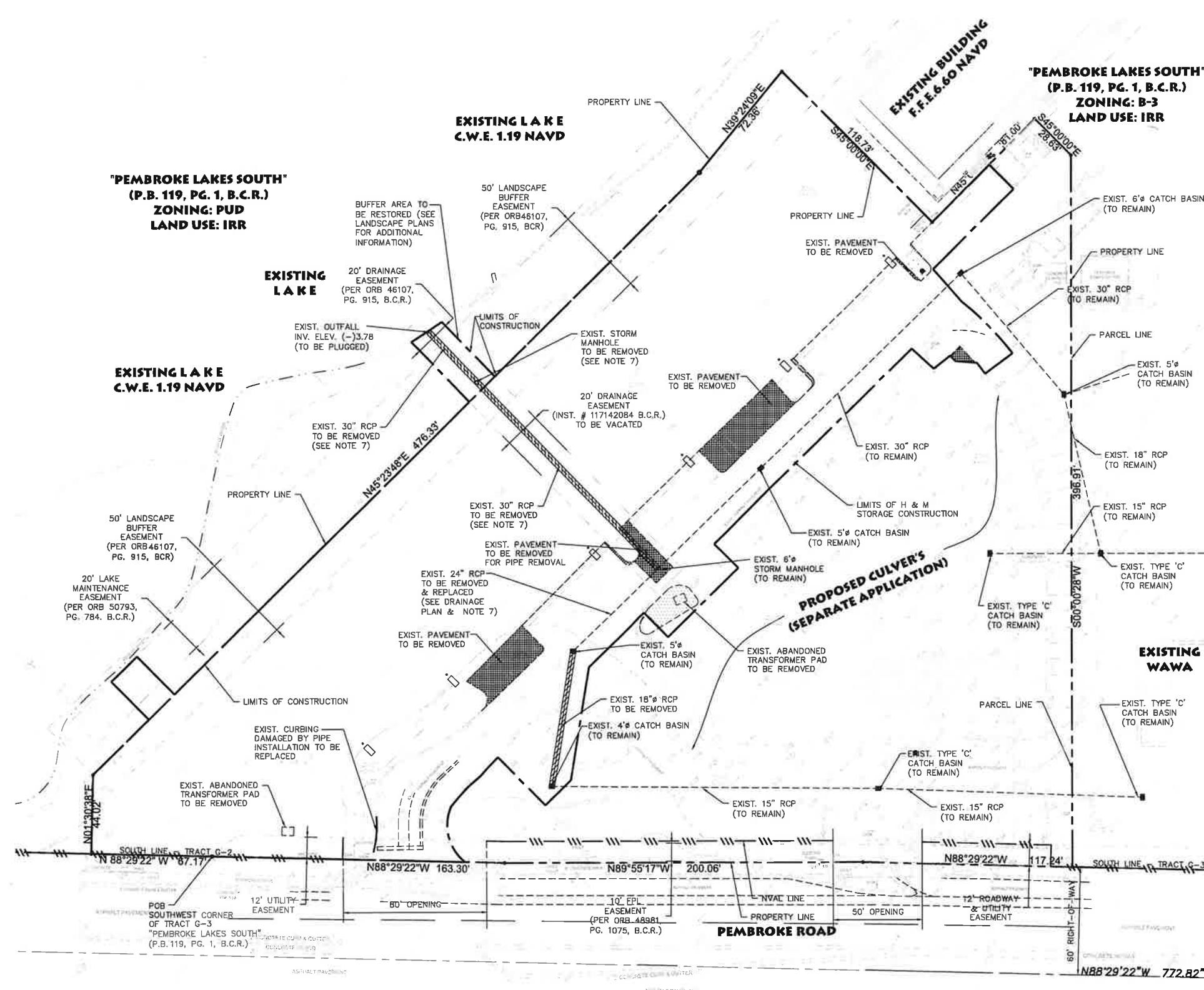


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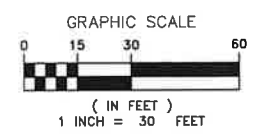
H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

[illegible]

NOTES	
1.	INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2.	EXPOSED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3.	SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND	
	PROPERTY LINE/ PARCEL LINE
	NON-VEHICULAR ACCESS LINE
	EASEMENT LINE
	LIMITS OF CONSTRUCTION LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING WATER MAIN
	EXISTING SEWER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING LANDSCAPE AREA (SEE NOTE 5)
	EXISTING ELEVATION (NAVD)
	EXISTING FIRE HYDRANT
	EXISTING SIGN (SINGLE POST)

- NOTES:**
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF PEMBROKE PINES ENGINEERING DESIGN STANDARDS MANUAL.
 - CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
 - CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN AREA OF OVERHEAD ELECTRICAL LINES.
 - CONTRACTOR SHALL RESTORE AREA IMPACTED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER INCLUDING PAVEMENT, FENCING, SODDING, IRRIGATION AND/OR GENERAL GRADING.
 - WHERE EXISTING LANDSCAPE AREAS ARE TO BE PAVED, CONTRACTOR SHALL REMOVE ALL DELETERIOUS MATERIAL AND SHALL CONSTRUCT NEW PAVEMENT AREAS PER CITY STANDARDS.
 - THE EXISTING DRAINAGE OUTFALL WILL REMAIN OPERATIONAL UNTIL THE NEW OUTFALL IS IN PLACE AND OPERATIONAL.
 - REFER TO DRAINAGE PLAN FOR ADDITIONAL INFORMATION ON THE REMOVAL/MODIFICATION OF THE DRAINAGE SYSTEM.
 - REFER TO PAVING & GRADING PLAN FOR ADDITIONAL INFORMATION ON PAVEMENT RESTORATION/MODIFICATIONS.
 - BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT FROM NAVD 88 TO NGVD 29, ADD 1.51 FEET.
 - BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3181, ELEVATION = 7.81' (NAVD88)
 - REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION.

MELENZ ENGINEERING DESIGN, INC.
3000 Sheridan Drive, PMB #13
Pembroke Pines, FL 33028
Tel: 954-421-6265
Fax: 954-421-0973
Certificate of Authorization No. 3288



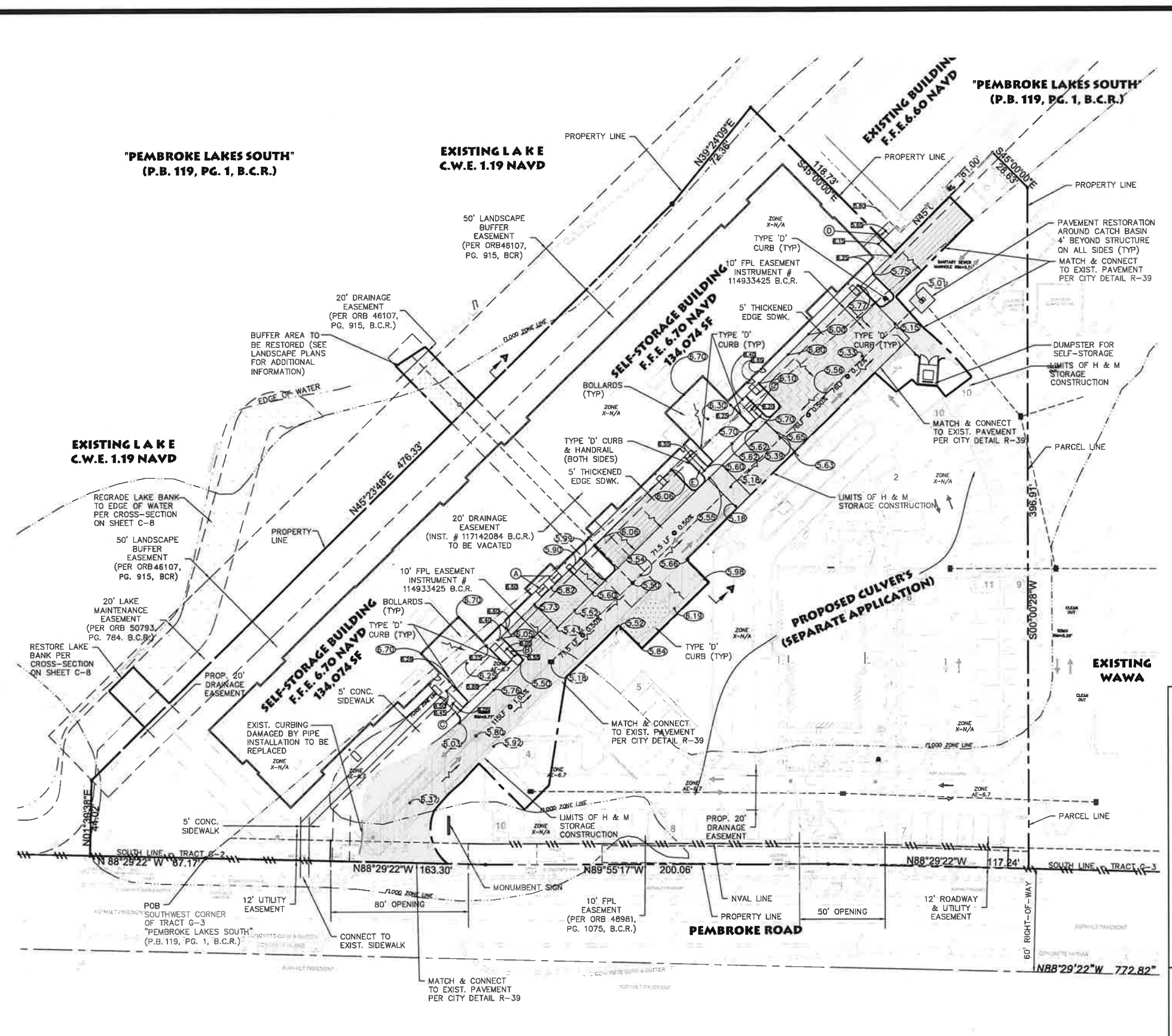
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H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

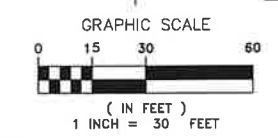
DATE	05.12.25
REVISION	PER DRC COMMENTS
1	PER SDD COMMENTS
2	PER DRC COMMENTS
3	PER DRC COMMENTS

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-164.01
DEMOLITION PLAN	
SH. 9	OF 20
C-4	

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND


- PROPERTY LINE/ PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- LIMITS OF CONSTRUCTION LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
- EXISTING FIRE HYDRANT
- EXISTING DRAINAGE PIPE
- PROPOSED DRAINAGE PIPE AND STORM MANHOLE (BY OTHERS)
- PROPOSED PAVEMENT ELEVATION
- PROPOSED SIDEWALK ELEVATION
- EXISTING ELEVATION (NAVD)
- (A) CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- (B) CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- (C) CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- (D) IN-LINE CURB RAMP - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- (E) CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- PROPOSED CONCRETE
- ACCESSIBLE PARKING AREA / CROSSWALKS - MAX. 2% SLOPE IN ANY DIRECTION

PAVEMENT LEGEND

- PAVEMENT AREA - TO BE RESEALED
- REMOVE EXISTING ASPHALT, REGRADE/ADD ROCK AND PAVE W/ TWO LIFTS AS PER CITY STANDARD DETAILS
- ADD 3/4" SECOND LIFT TO EXISTING PAVEMENT
- PAVEMENT RESTORATION PER CITY STANDARD DETAILS
- REMOVE EXIST. PAVEMENT & ROCK BASE, ADD NEW 8" ROCK BASE AND PAVE TO PROPOSED ELEVATIONS
- EXISTING LANDSCAPE AREA- REMOVE ALL DELETERIOUS MATERIAL, ADD 12" SUBGRADE, 8" ROCK BASE AND PAVE PER CITY STANDARD DETAILS

NOTES

- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6.70 FT. NAVD.
- ELEVATIONS ARE BASED ON NAVD OF 1988.
- TO CONVERT FROM NAVD 88 TO NAVD 29 ADD 1.51 FEET.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3181, ELEVATION = 7.81' (NAVD88)
- REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6.70 FT. NAVD.
- CONTRACTOR SHALL VERIFY LOCATION, SIZE, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PREPARE & FILL THE SITE/ BUILDING PAD IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- REFER TO PLUMBING PLANS FOR ROOF DRAIN LEADERS & CONDENSATE LINE INFORMATION. CONTRACTOR TO COORDINATE EXACT LOCATION OF TIE-INS IN THE FIELD.
- ALL ROOF DRAIN PIPES SHALL HAVE A MINIMUM 1% SLOPE WITH CLEANOUTS AS SHOWN.



**MENDEZ
ENGINEERING
DESIGN, INC.**

9000 Sheridan Drive, Suite #13
Pembroke Pines, FL 33027
Tel: (954) 995-0336
Fax: (954) 995-0336
Crest/Seal of Accreditation No. 2008




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**H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT**

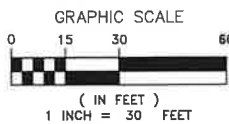
DATE	REVISION
05.12.25	PER DRC COMMENTS
05.27.25	PER SRD COMMENTS
06.16.25	PER DRC COMMENTS

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.:	25-164.01
PAVING & GRADING PLAN	
SH. 10 OF 20	
C-5	



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND

---	PROPERTY LINE/ PARCEL LINE
---	NON-VEHICULAR ACCESS LINE
---	EASEMENT LINE
---	LIMITS OF CONSTRUCTION LINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
---	EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	EXISTING SEWER MAIN
---	EXISTING DRAINAGE PIPE AND CATCH BASIN
---	PROPOSED WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	PROPOSED DRAINAGE PIPE AND STORM MANHOLE
---	PROPOSED CONCRETE
---	PROPOSED VEHICULAR USE AREA
---	LAKE BANK TO BE REGRADED UP TO WATER'S EDGE

NOTES

1. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6.70 FT. NAVD.
2. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
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5. REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION.
6. CONTRACTOR SHALL VERIFY LOCATION, SIZE, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
7. THE EXISTING DRAINAGE OUTFALL WILL REMAIN OPERATIONAL UNTIL THE NEW OUTFALL IS IN PLACE AND OPERATIONAL.
8. CONTRACTOR SHALL PREPARE & FILL THE SITE/ BUILDING PAD IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
9. REFER TO PLUMBING PLANS FOR ROOF DRAIN LEADERS & CONDENSATE LINE INFORMATION. CONTRACTOR TO COORDINATE EXACT LOCATION OF TIE-INS IN THE FIELD.
10. ALL ROOF DRAIN PIPES SHALL HAVE A MINIMUM 1% SLOPE WITH CLEANOUTS AS SHOWN.

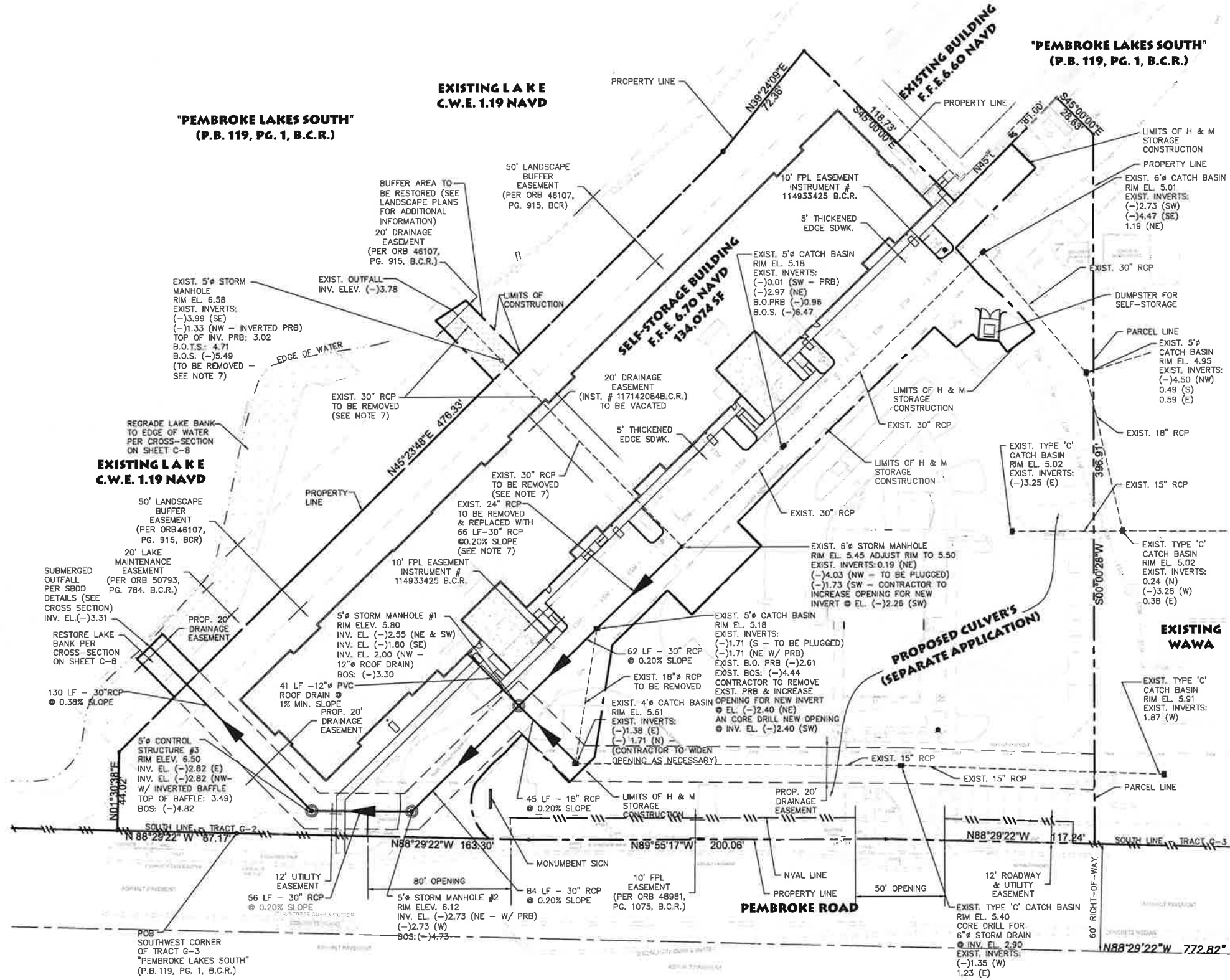
H & M PINES STORAGE AT THE VILLAGES OF MAYFAIR 1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL CLIENT: H & M DEVELOPMENT

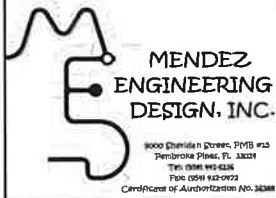
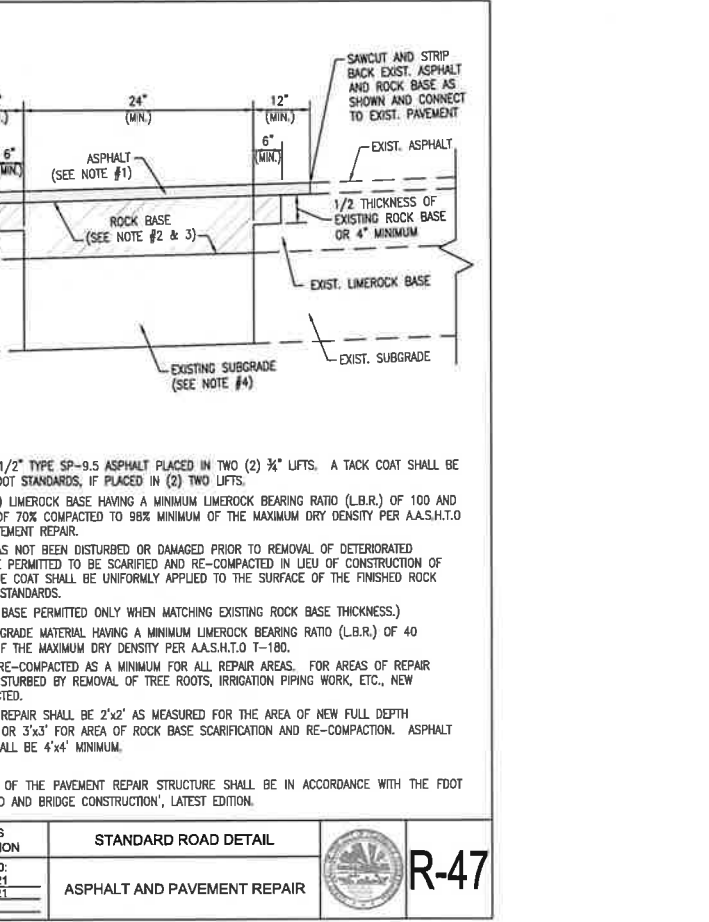
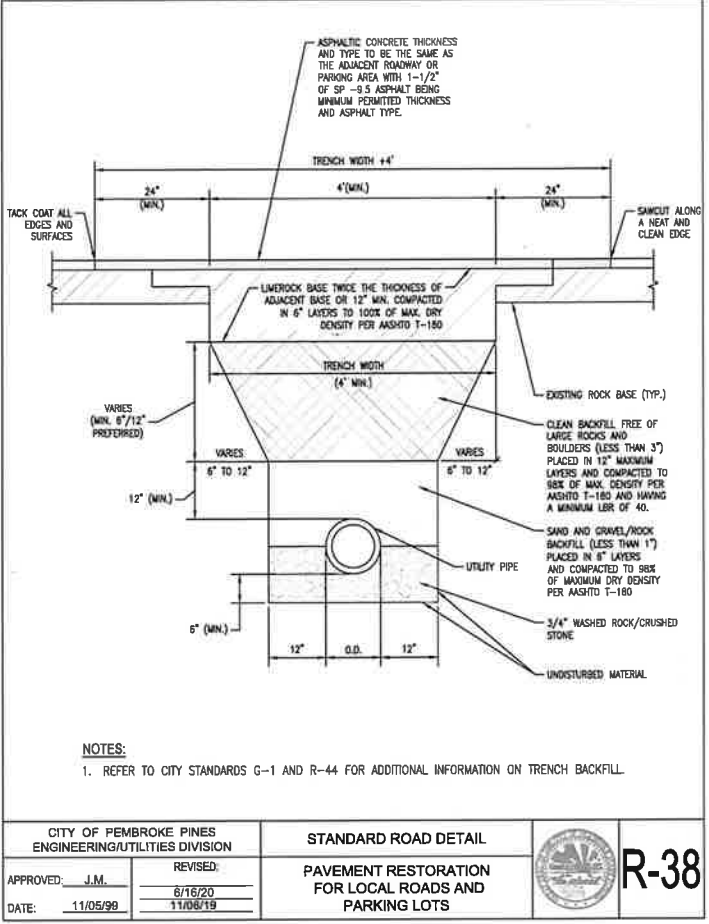
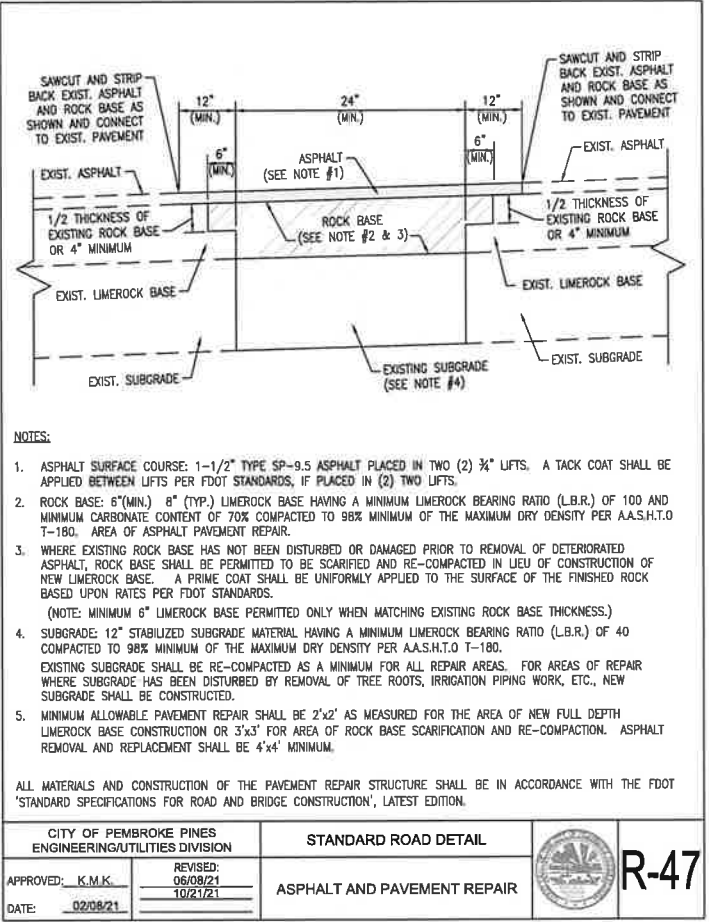
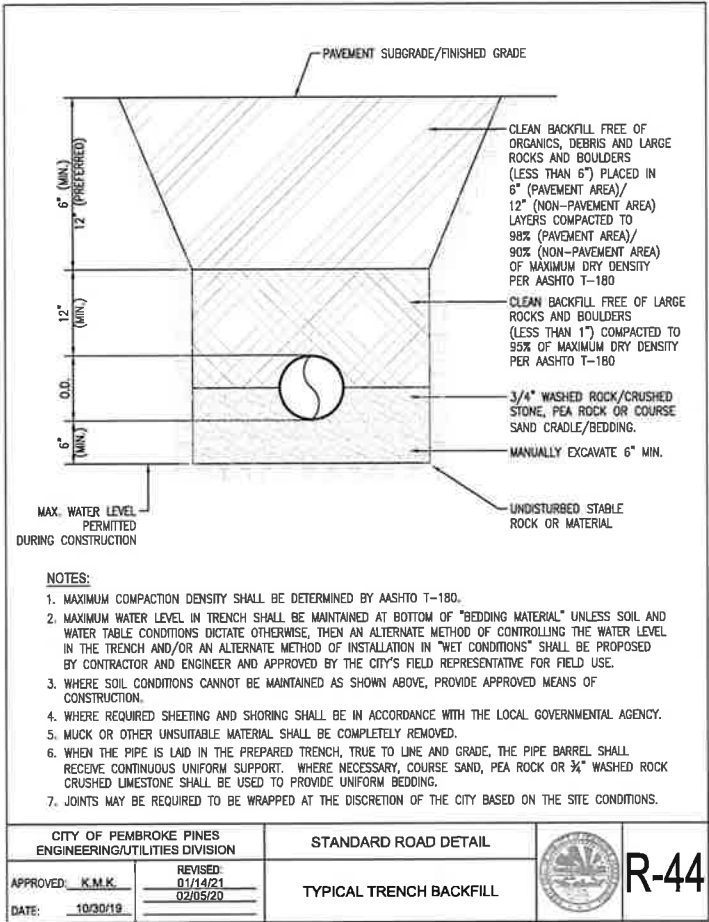
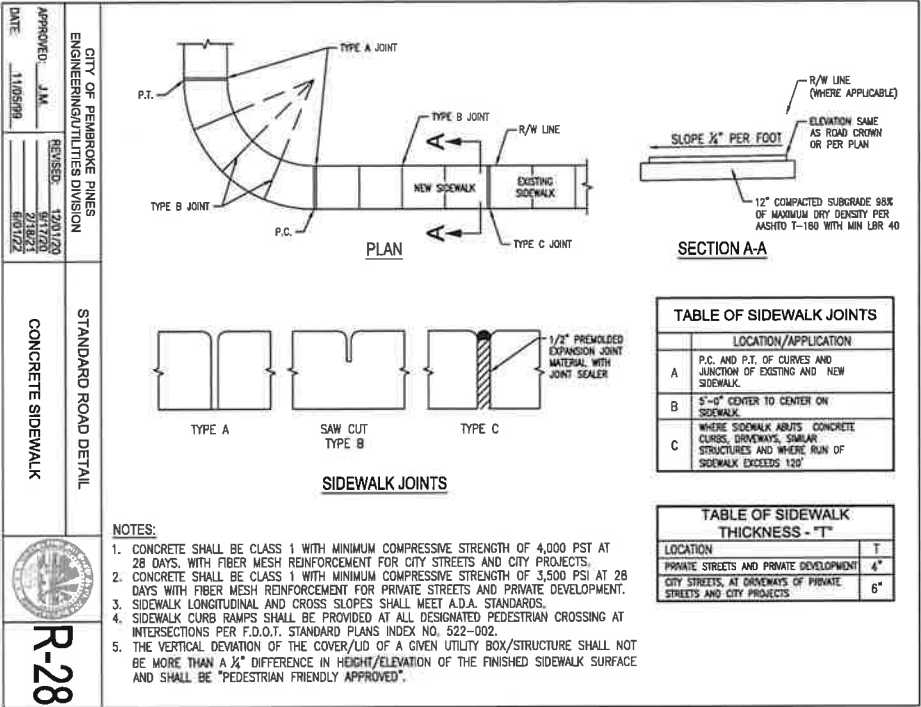
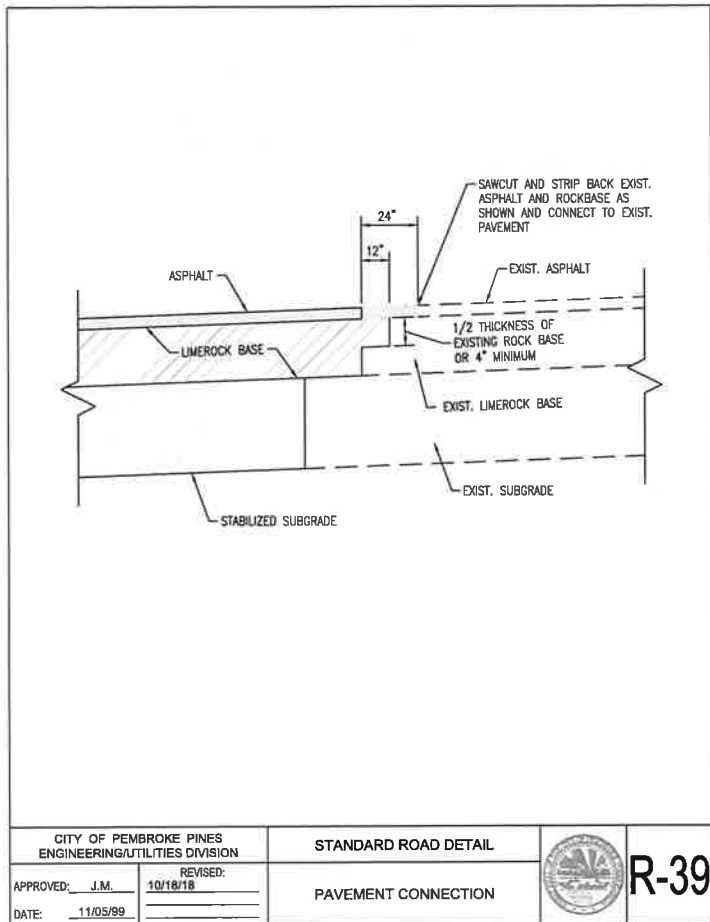
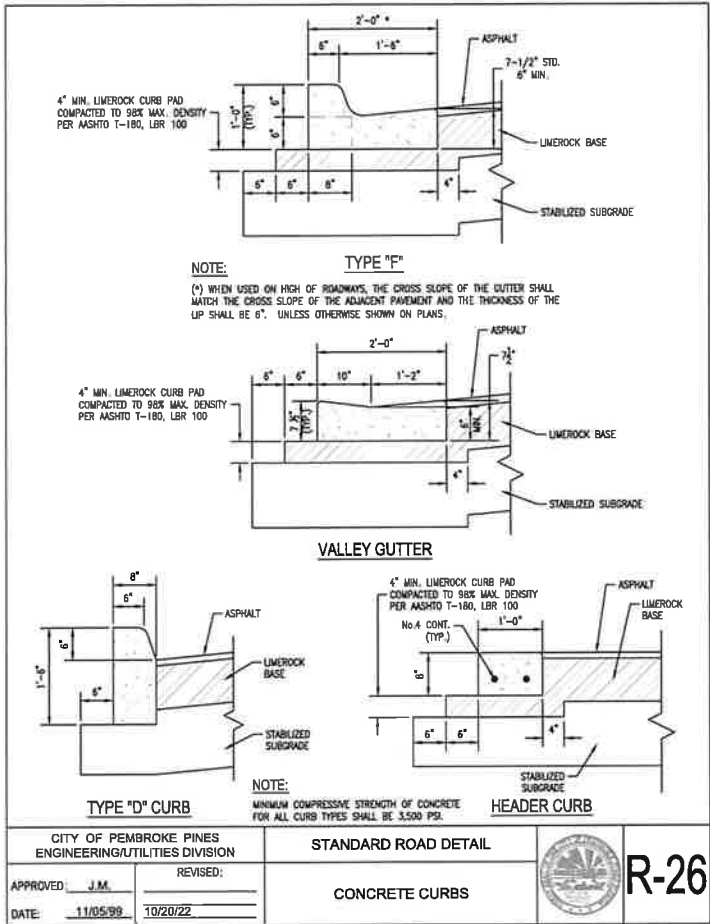
DATE	REVISION	NO.
05/12/25	PER DRG COMMENTS	1
05/27/25	PER SBDD COMMENTS	2
06/16/25	PER DRG COMMENTS	3

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-164.01
DRAINAGE PLAN	
SH. 11 OF 20	
C-6	



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



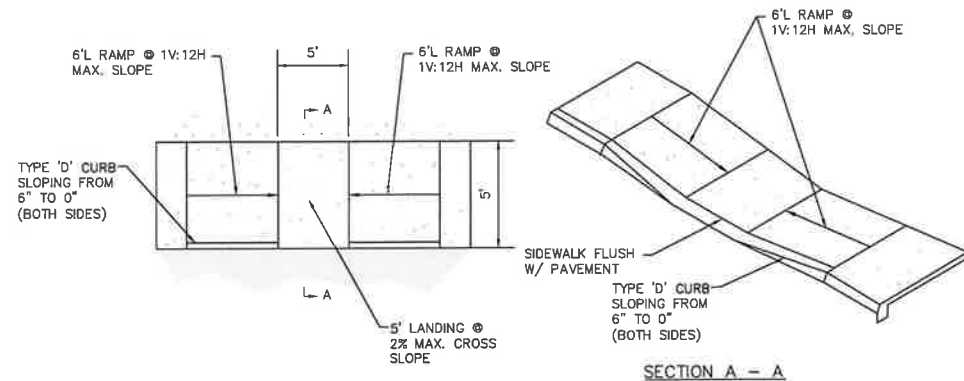


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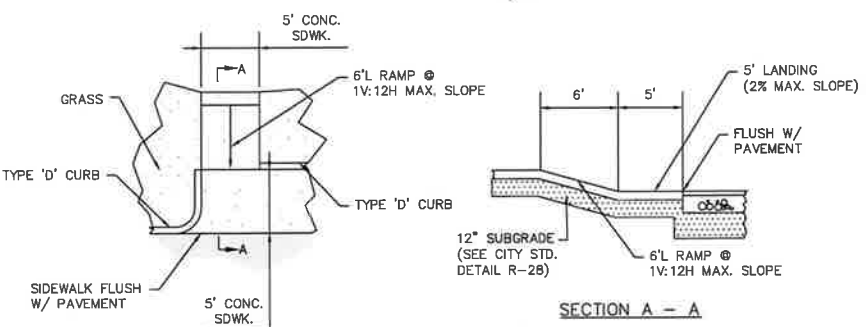
H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	
REVISION	
NO	
SCALE	N.T.S.
DATE	03.20.2025
PROJECT NO.	25-164.01
PAVING & DRAINAGE DETAILS	
SH. 12 OF 20	
C-7	

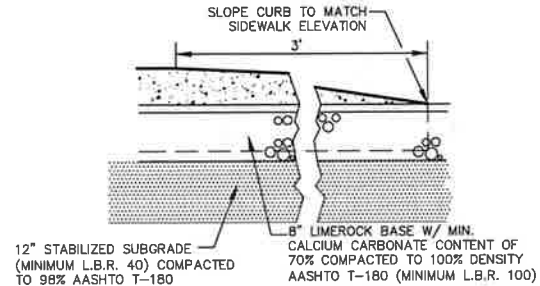
DATE	REVISION	NO.	SCALE	DATE	PROJECT NO.	SH. 14 OF 20
05/12/25	PER DRG COMMENTS	1	N.T.S.	03/20/2025	25-164.01	
05/27/25	PER SBDD COMMENTS	2			PAVING & DRAINAGE DETAILS	
						C-9



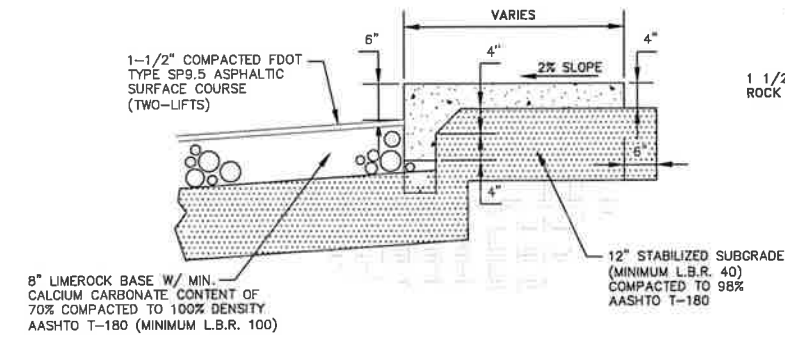
**A CURB RAMP CR-C PER FDOT STD.
INDEX NO. 522-002 (MODIFIED)**
N.T.S.



**B CURB RAMP CR-E PER FDOT STD.
INDEX NO. 522-002 (MODIFIED)**
N.T.S.



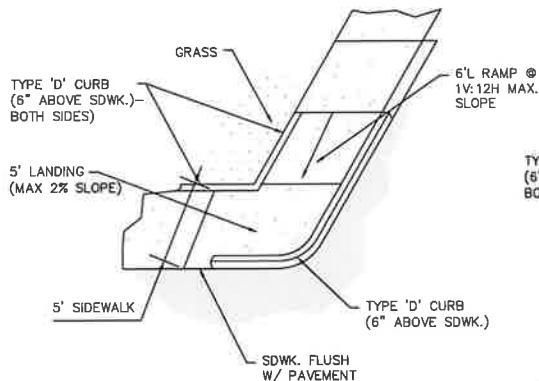
C CURB TRANSITION DETAIL
N.T.S.



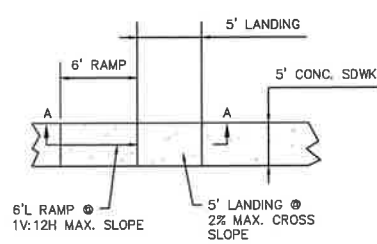
D THICKENED EDGE CONCRETE SIDEWALK
N.T.S.

SIDEWALK/CURB RAMP NOTES:

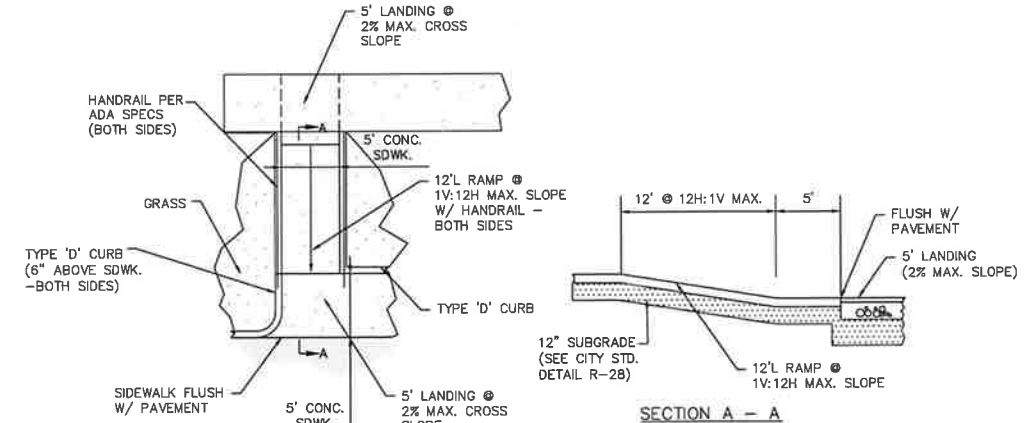
1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STD. INDEX NO. 522-002 AND THE CITY OF PEMBROKE PINES STD. DETAIL R-28.
2. SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE.



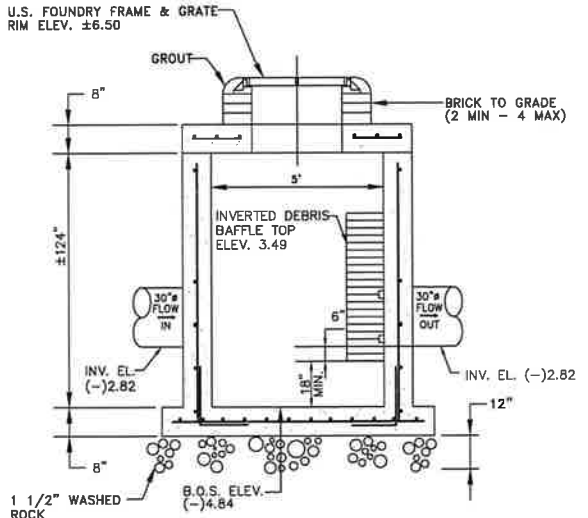
**E CURB RAMP CR-E PER FDOT STD.
INDEX NO. 522-002 (MODIFIED)**
N.T.S.



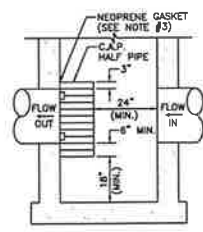
F IN-LINE RAMP ADJACENT TO GRASS
N.T.S.



**G CURB RAMP CR-E PER FDOT STD.
INDEX NO. 522-002 (MODIFIED)**
N.T.S.



H CONTROL STRUCTURE #3
N.T.S.



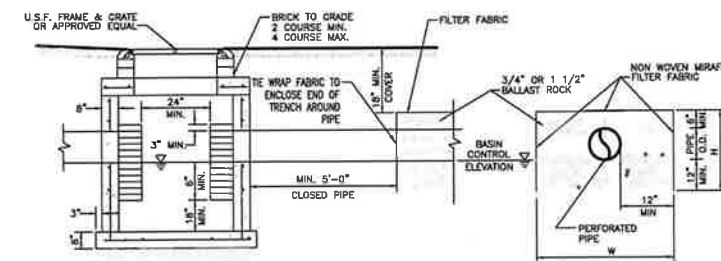
PIPE DIA. (IN)	W1 (IN)	W2 (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIES
18"	24"	24"	16	VARIES
21"	30"	30"	16	VARIES
24"	30"	36"	16	VARIES
30"	36"	42"	14	VARIES
36"	42"	48"	14	VARIES
42"	48"	54"	14	VARIES
48"	54"	60"	14	VARIES
54"	60"	66"	14	VARIES

1. RECTANGULAR STRUCTURE
2. ROUND STRUCTURE

NOTES:

1. ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
2. NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 3") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
3. POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8" x 4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
4. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL). THE BOTTOM OF THE BAFFLE SHALL BE A MIN. OF 12" BELOW C.I.C.
5. FIBERGLASS BAFFLES ARE NOT PERMITTED.
6. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.
7. FOR POLLUTION RETARDANT BASINS THE BOTTOM ELEVATION OF THE BAFFLE MUST BE A MINIMUM OF 2' BELOW THE CONTROL WATER ELEVATION.

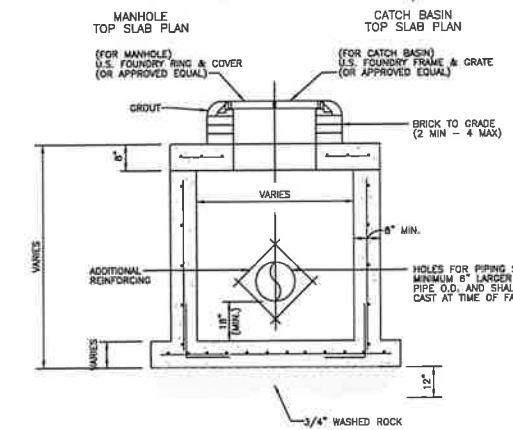
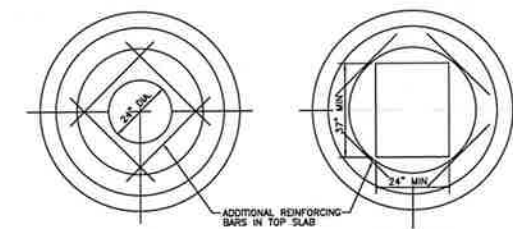
POLLUTION RETARDANT BAFFLE DETAIL



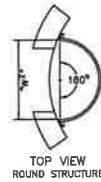
NOTES:

1. SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC, OVERLAP LINDER A MINIMUM OF 2' AT THE TOP OF THE TRENCH.
2. BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER.
3. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE POLLUTION RETARDANT BAFFLE DETAIL EXHIBIT 26).
4. GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.

EXFILTRATION TRENCH DETAIL



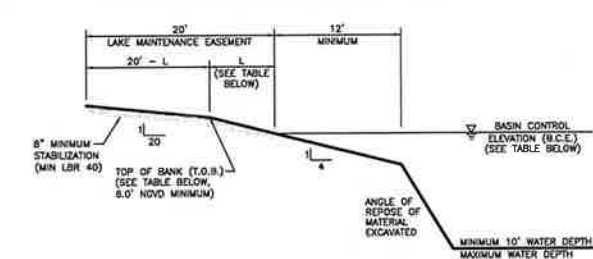
PRECAST CATCH BASIN AND MANHOLE DETAIL



NOTES:

1. OUTFALL SHALL EXTEND PAST DEEP CUT LINE OF LAKE NO LESS THAN 2' AND NO MORE THAN 5'.
2. APPLICANT/ENGINEER SHALL DEMONSTRATE THAT ADEQUATE LAKE DEPTH AND STABILIZATION ARE PROVIDED AT THE OUTFALL LOCATION.
3. SBDD MAY REQUIRE ADDITIONAL LAKE BANK STABILIZATION AT THESE LOCATIONS. (ABOVE AND BELOW WATER)
4. IF DISSIMILAR PIPE MATERIAL ARE TO BE USED REFER TO EXHIBIT 29.
5. OUTFALL PIPE SHALL HAVE A STAINLESS STEEL EYEBOLT AND MARKER BUOY.

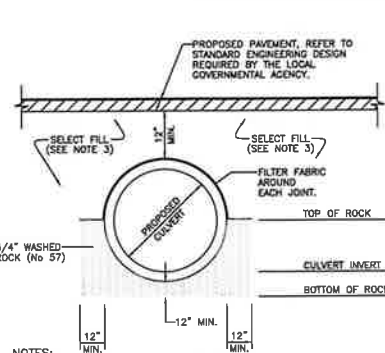
LAKE OUTFALL DETAIL WITHOUT HEADWALL



BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)	BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)
S-1	2.50	6.50	16.00	S-8	3.50	6.00	10.00
S-2 & S-7	2.70	6.00	13.20		4.00	6.50	10.00
S-3	3.00	6.50	14.00	S-9 & S-10	3.50	6.50	12.00
S-4	3.50	6.00	10.00		4.00	6.50	10.00
S-5	4.00	6.00	8.00	S-12	3.00	6.50	14.00
	4.25	6.50	8.00	S-13	3.00	6.50	14.00
	4.50	6.50	8.00				

* EXISTING LAKE BANKS AND SLOPES SHALL BE CLEARED AND REGRADED AS PER SBDD CRITERIA ALONG THE ENTIRE LIMITS OF ALL DEVELOPMENT AND REDEVELOPMENT PROJECTS.

LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT



NOTES:

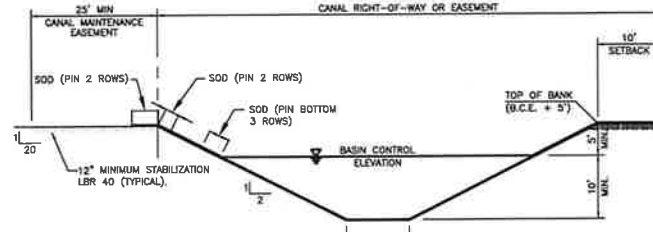
1. WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
3. BACKFILL IN 4"-12" LAYERS, TO 90% COMPACTION, WITH MATERIALS NOT LARGER THAN 3/4".
4. IF A CULVERT IS CORRUGATED ALUMINUM STRUCTURAL PLATE, FILTER FABRIC SHALL BE PLACED THE FULL LENGTH OF ANY SECTION OF CULVERT UNDER ASPHALT.
5. FILTER FABRIC SHALL BE PLACED THE FULL LENGTH OF ANY SECTION OF CULVERT UNDER ASPHALT.

LAKE/CANAL INTERCONNECT BEDDING DETAIL

NOTES:

1. WHERE SOIL CONDITION CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
2. WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
3. MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
4. WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" LIMESTONE GRAVEL SHALL BE USED TO PROVIDE UNIFORM BEDDING.
5. JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.

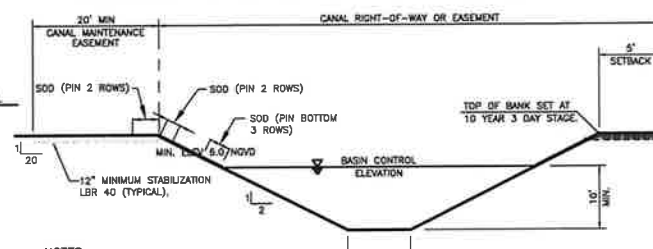
TRENCH EXCAVATION DETAIL



NOTES:

1. ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10' FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION.
2. MINIMUM CANAL BOTTOM IS 10' WIDE.
3. ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
4. THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
5. SOD PINS MUST BE WOOD.

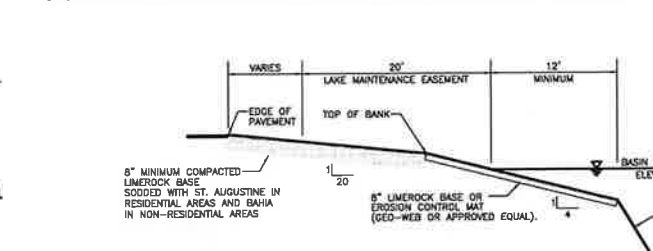
PRIMARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



NOTES:

1. ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10' FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION.
2. MINIMUM CANAL BOTTOM IS 10' WIDE.
3. ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
4. THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
5. SOD PINS MUST BE WOOD.

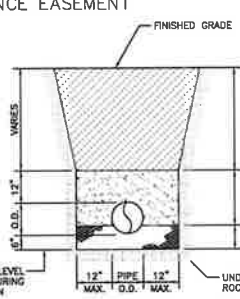
SECONDARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



NOTES:

1. LOCATION OF BOAT RAMP(S) MUST BE IDENTIFIED, INSPECTED AND APPROVED BY SBDD PRIOR TO CONSTRUCTION.
2. SLOPE DETAILS AS OUTLINED ABOVE MUST BE INSPECTED AND APPROVED BY THE DISTRICT PRIOR TO INSTALLATION OF EROSION CONTROL MAT.
3. UPON COMPLETION OF BOAT RAMP, DISTRICT MUST BE NOTIFIED FOR FINAL APPROVAL.
4. BOAT RAMP MUST INTERSECT ADJACENT ROAD AND WATER BODY AT 90° ANGLE UNLESS OTHERWISE APPROVED.
5. THE BOAT RAMP(S) MUST BE MINIMUM 12' WIDE.
6. PROVIDE DROP CURBS AT PAVEMENT WHERE APPLICABLE.
7. FOR BOAT RAMP CONSTRUCTION ON AN SBDD CANAL A SLOPE OF 3:1 CAN BE USED FROM EDGE OF WATER UP TO TOP OF BANK.
8. BOAT RAMP(S) SHALL BE CONSTRUCTED OF LIME ROCK OR EROSION CONTROL MAT, AT THE DISCRETION OF THE DISTRICT.
9. IF SBDD OPTS FOR AN EROSION CONTROL MAT, THE MAT SHALL BE FILLED WITH AT LEAST 4" OF 3/4" ROCK.

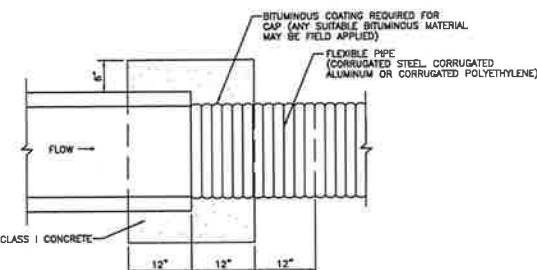
BOAT RAMP DETAIL



BACKFILL PLACED AND COMPACTED; FOR COMPACTION IN TRAFFIC AREA, SEE ROADWAY SPECIFICATIONS, AND 90% MAX. DENSITY IN NON TRAFFIC AREA 8" MAXIMUM SIZE, IN 12" LIFTS.

BACKFILL PLACED AND COMPACTED TO 90% MAX. DENSITY.

UNDISTURBED STABLE ROCK OR MATERIAL.



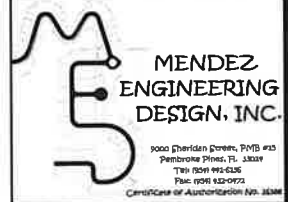
NOTES:

1. A CONCRETE JACKET SHALL NOT BE USED TO JOIN:
 - a) METAL PIPE OF DISSIMILAR MATERIALS.
 - b) FLEXIBLE PIPE WHEN THE MAXIMUM COVER REQUIRED IN ACCORDANCE WITH F.O.D.T. INDEX No. 205 CANNOT BE OBTAINED.
2. OPTIONAL FOR LAKE OR CANAL OUTFALL.
3. WHEN USED FOR LAKE OUTFALL, JACKET SHALL BE CENTERED 8' LANDWARD OF THE BASIN CONTROL ELEVATION.

(PER FDOT INDEX 280)

CONCRETE JACKET DETAIL

UPDATED 3/26/2015



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H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	05.12.25
REVISION	PER DRC COMMENTS
NO.	1

SCALE:	N.T.S.
DATE:	03.20.2025
PROJECT NO.	25-164.01
	SBDD
	DETAILS
	SH. 15 OF 20
	C-10

EXHIBIT

16



SOUTH BROWARD DRAINAGE DISTRICT
DESIGN CRITERIA MANUAL STANDARD DETAILS

CULVER'S RESTAURANT

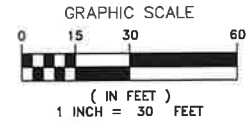


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H & M PINES STORAGE AT THE VILLAGES OF MAYFAIR 1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL CLIENT: H & M DEVELOPMENT

NO.	REVISION	DATE	PER DRG COMMENTS	PER DRG COMMENTS
1		05.12.25		
2		06.16.25		

SCALE: 1 IN = 30 FT
DATE: 03.20.2025
PROJECT NO. 25-164.01
SIGNING & MARKING PLAN
SH. 16 OF 20
C-11



LEGEND

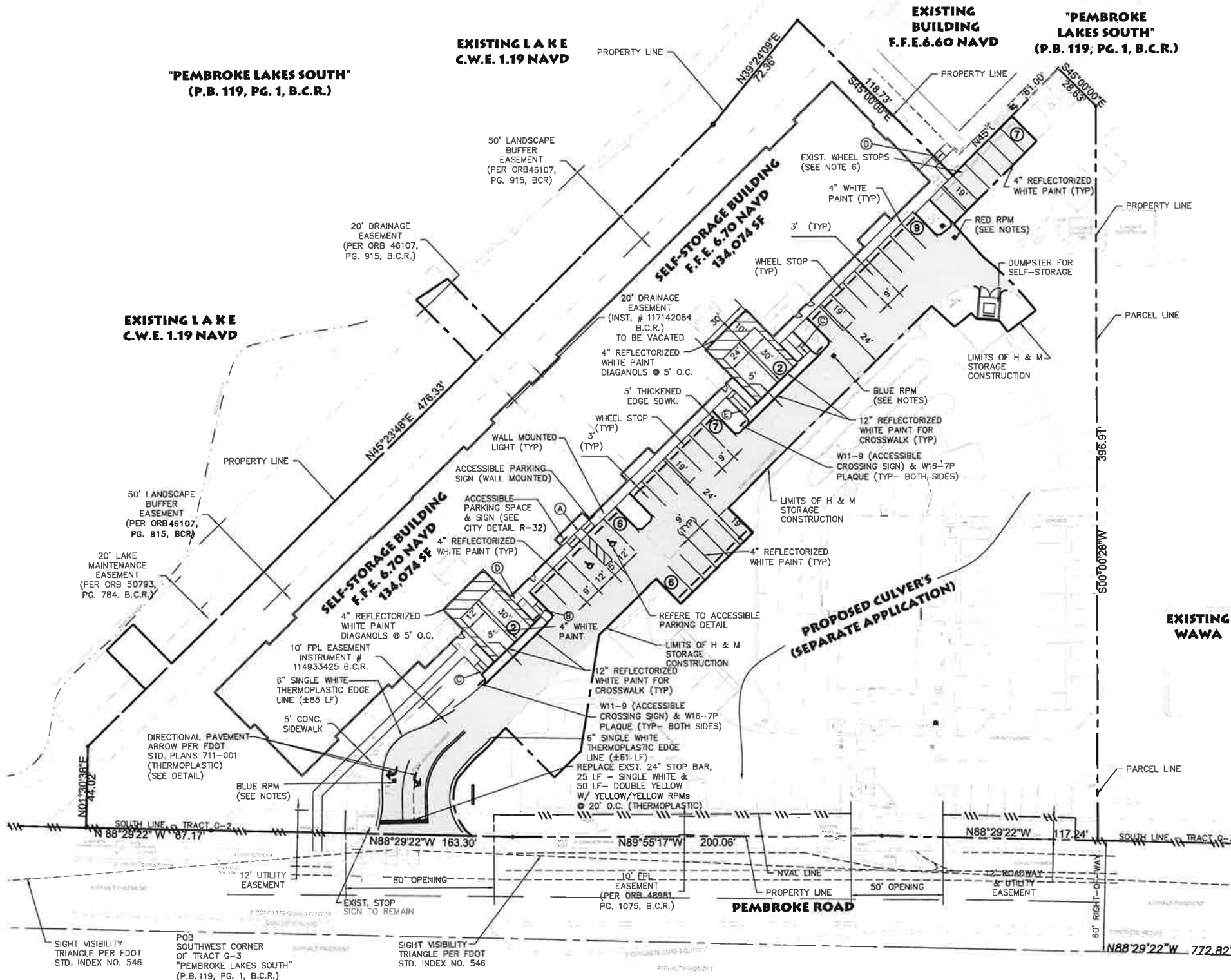
- PROPERTY LINE / PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- LIMITS OF CONSTRUCTION LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE
- PROPOSED VEHICULAR USE AREA
- EXISTING SIGN (SINGLE POST)
- PROPOSED SIGN (SINGLE POST)
- A CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- B CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- C CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- D IN-LINE CURB RAMP - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- E CURB RAMP PER FDOT INDEX 522-002 CR-E (MODIFIED - (EXTENDED RAMP WITH HANDRAILS) - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FDOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR "STANDARD PAINT".
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH "STOP BARS" ARE TO HAVE YELLOW/WHITE RAMP MARKINGS AT 2' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPMs) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS ADHESIVE PER FDOTS "APPROVED PRODUCTS LIST" (APL). PLACEMENT OF RPMs SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX NO. 700-601. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPMs) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
 - BLUE (FIRE HYDRANTS)
 - WHITE (WATER MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
 - ORANGE (SEWER MANHOLES IN ADJACENT GREEN/LANDSCAPE AREAS)
 - GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
 - RED (FIRE DEPARTMENT CONNECTIONS)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARD PLANS", INDEX NOS. 711-001 AND 700-101 AND LATEST CITY STANDARD DETAIL R-32, "ACCESSIBLE PARKING SPACE DETAILS".
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT STANDARD PLANS, INDEX NO. 522-002.
- ALL PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. "MID-BLOCK" TYPE PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN/ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN/ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT "DESIGN MANUAL", SECTION 230 AND MUTCD STANDARDS. IF A "CROSSING" STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-9) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-2) SIGNAGE. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE "REFLECTORIZED OR HIGH FRICTION THERMOPLASTIC" COMPLYING WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY".
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING SLOPING, NON-CONFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

SIGNING & MARKING NOTES

- PARKING AREAS SHALL CONFORM TO PROVISIONS OF SECTION 154.35 "DESIGN STANDARDS FOR PARKING AREAS" OF THE CITY CODE OF ORDINANCES.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS LATEST VERSION).
- ALL TRAFFIC RELATED STRIPING TO BE ALKYD-BASED THERMOPLASTIC AND FULLY RETRO-REFLECTORIZED.
- ALL VEHICULAR TRAFFIC RELATED PAVEMENT MARKINGS SHALL BE THERMOPLASTIC. PARKING SPACE MARKINGS SHALL BE 4" REFLECTORIZED PAINT.
- WHEEL STOP TO BE PLACED 3'-0" FROM FACE OF WHEELSTOP TO FACE OF THICKENED EDGE SIDEWALK. (SEE DETAILS)
- EXISTING WHEEL STOPS IN GOOD CONDITION MAY BE REUSED.
- PRIOR TO CONSTRUCTION, EXISTING POSTED SIGNS WILL BE INSPECTED FOR CONFORMANCE WITH CURRENT STANDARDS. ANY SIGNS NOT MEETING CURRENT STANDARDS WILL BE REPLACED.



"PEMBROKE LAKES SOUTH"
(P.B. 119, PG. 1, B.C.R.)

EXISTING LAKE
C.W.E. 1.19 NAVD

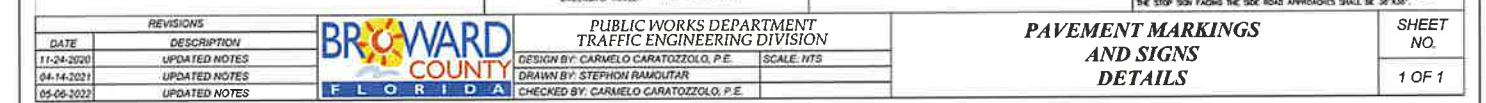
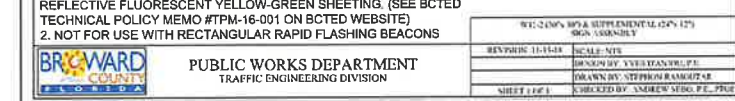
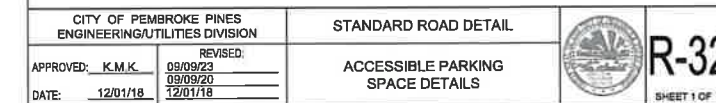
EXISTING BUILDING
F.F.E. 6.60 NAVD
"PEMBROKE
LAKES SOUTH"
(P.B. 119, PG. 1, B.C.R.)

EXISTING LAKE
C.W.E. 1.19 NAVD

SIGHT VISIBILITY
TRIANGLE PER FDOT
STD. INDEX NO. 546

POB
SOUTHWEST CORNER
OF TRACT G-3
"PEMBROKE LAKES SOUTH"
(P.B. 119, PG. 1, B.C.R.)

SIGHT VISIBILITY
TRIANGLE PER FDOT
STD. INDEX NO. 546

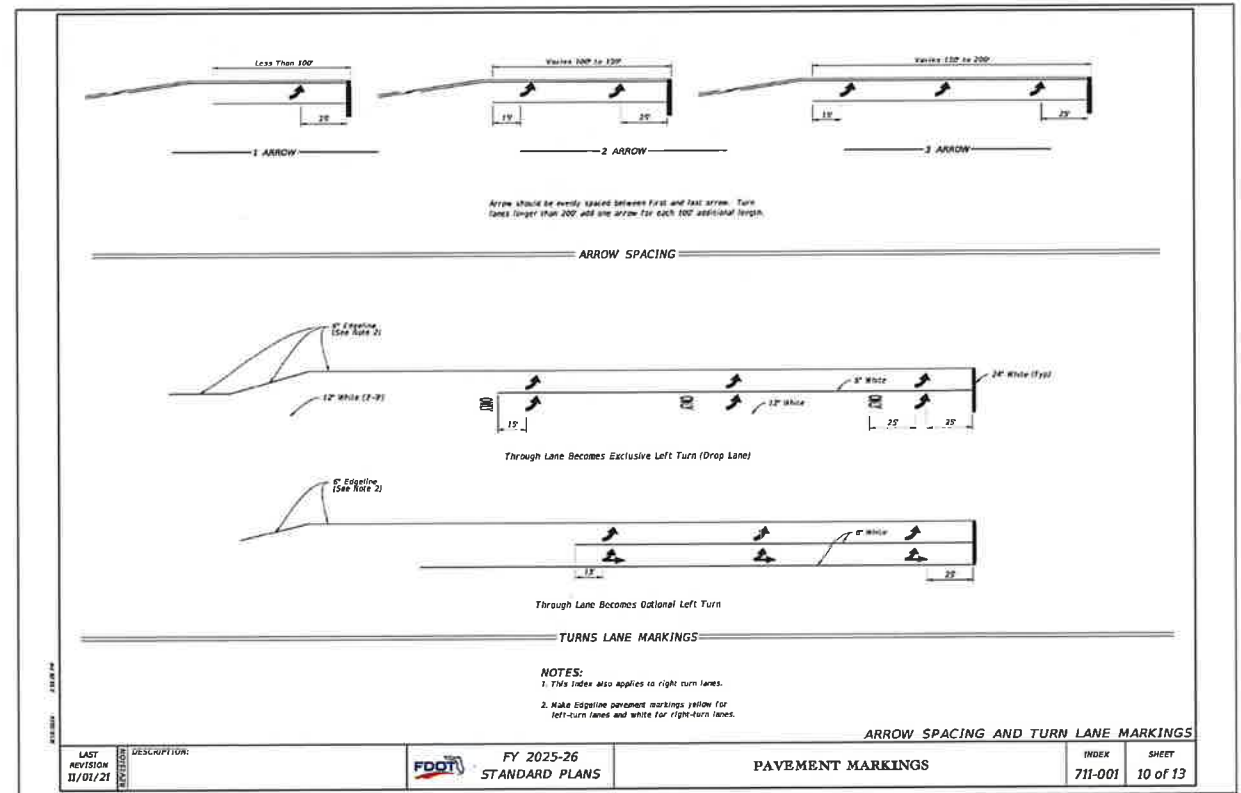
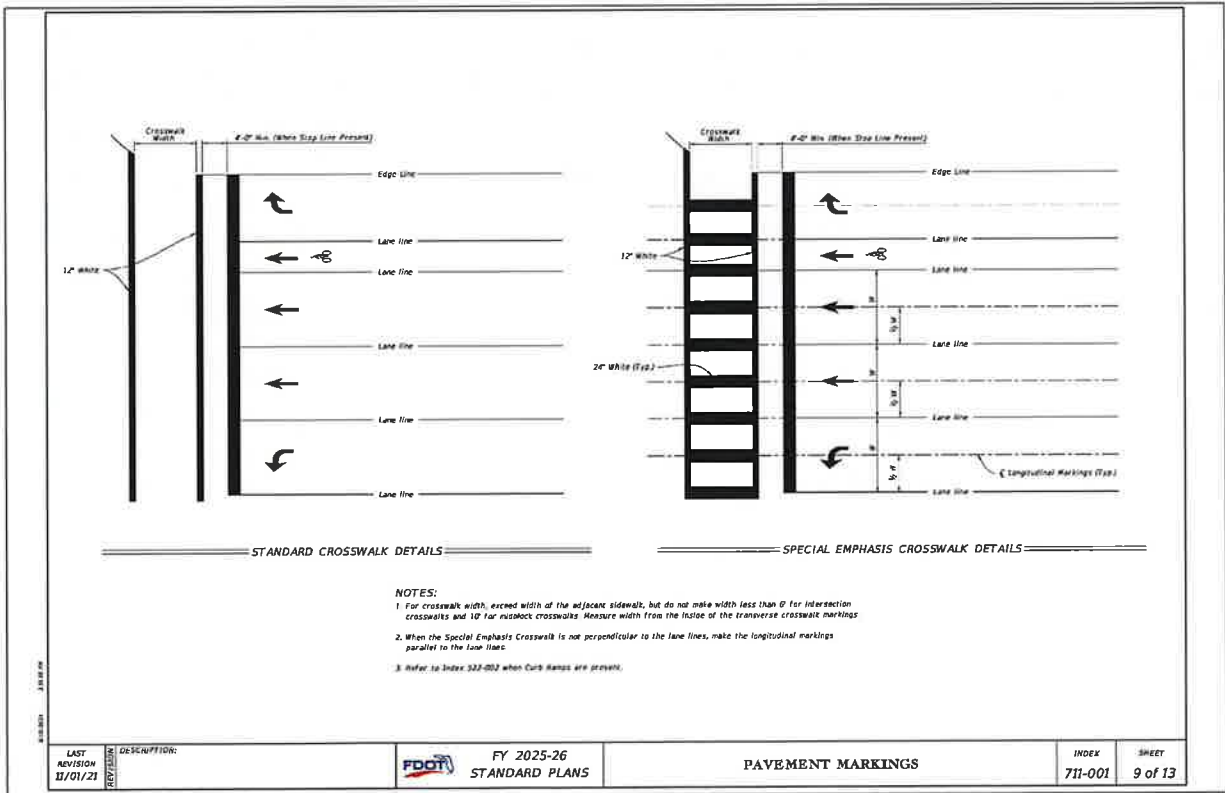
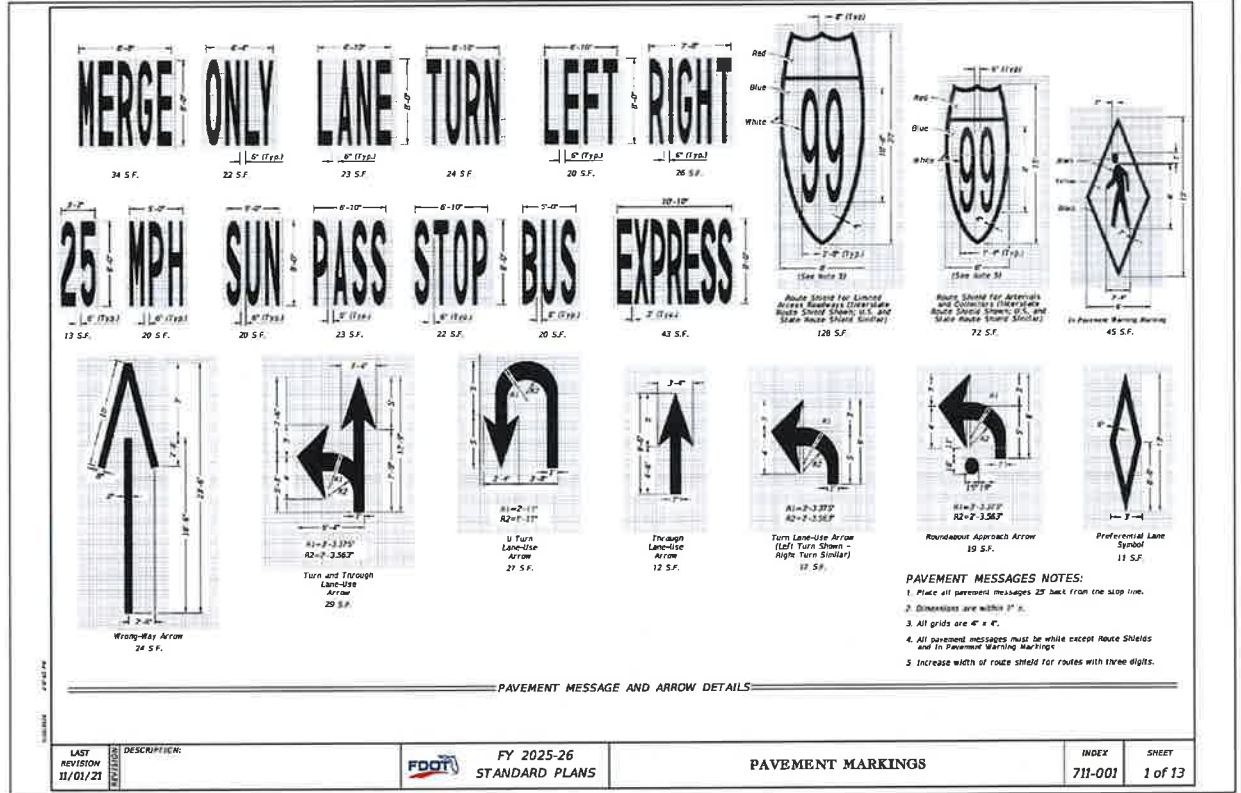
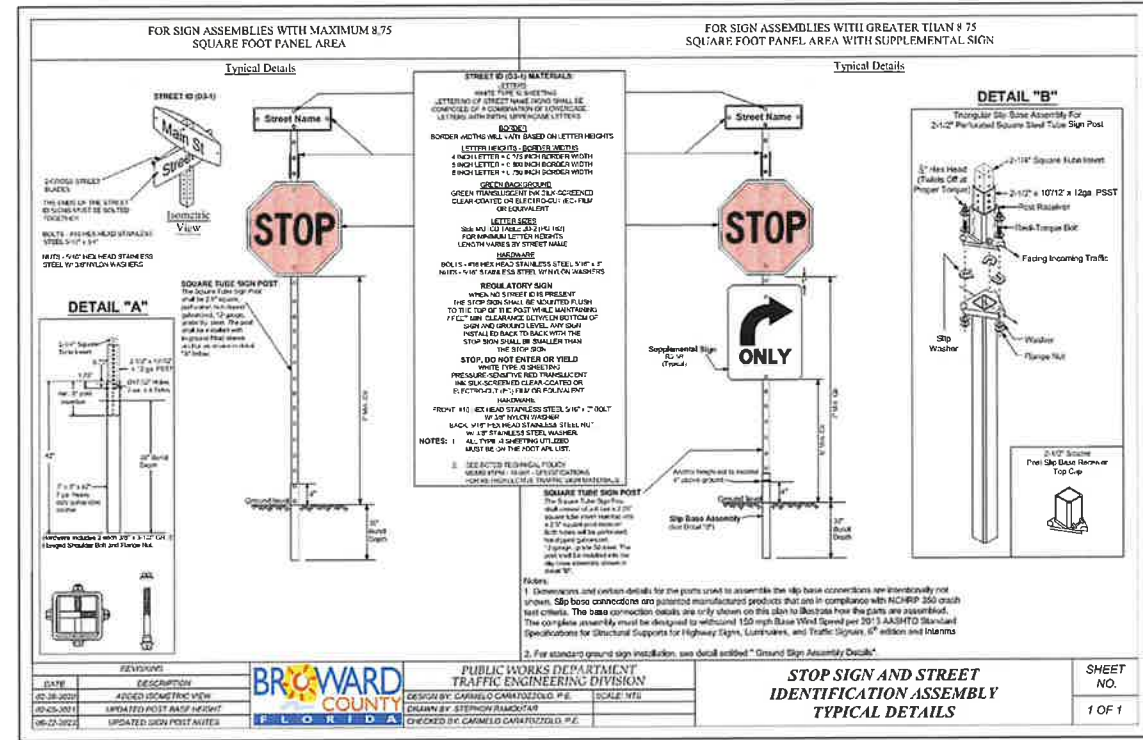


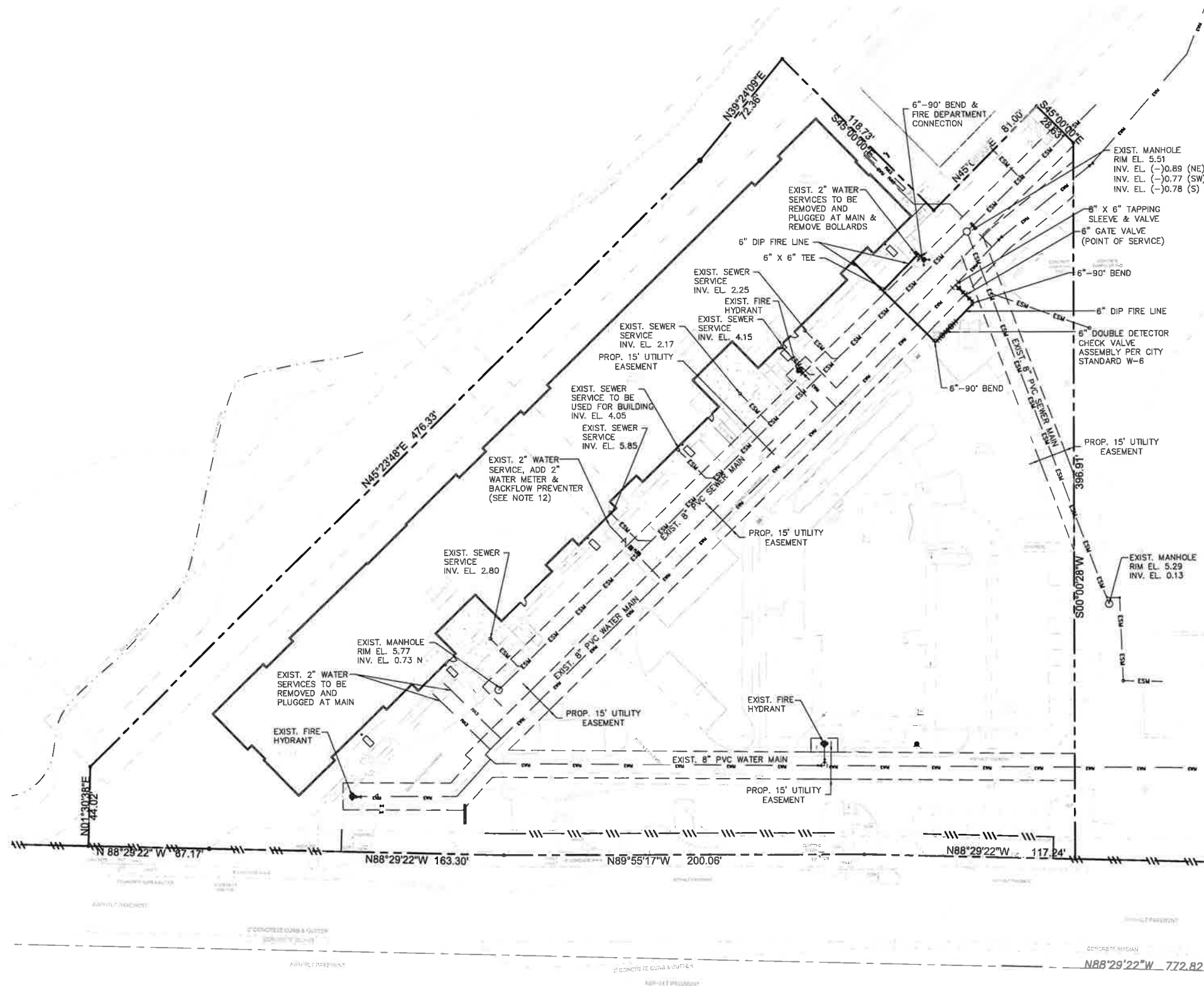


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SHOWN ABOVE. PRINTED COPIES OF
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SIGNED AND SEALED AND THE
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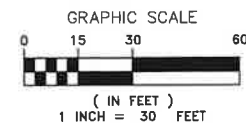
H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

NO.	DATE	REVISION	PER DRG COMMENTS
1	05/12/25		
SCALE: N.T.S.			
DATE: 03.20.2025			
PROJECT NO. 25-164.01			
SIGNING & MARKING DETAILS			
SH. 18 OF 20			
C-13			





FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND

---	PROPERTY LINE/ PARCEL LINE
---	NON-VEHICULAR ACCESS LINE
---	EASEMENT LINE
---	LIMITS OF CONSTRUCTION LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	EXISTING SEWER MAIN
---	EXISTING DRAINAGE PIPE AND CATCH BASIN
---	PROPOSED WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	PROPOSED SANITARY SEWER SERVICE WITH CLEANOUT
---	EXISTING ELEVATION (NAVD)
---	EXISTING FIRE HYDRANT
---	EXISTING SIGN (SINGLE POST)

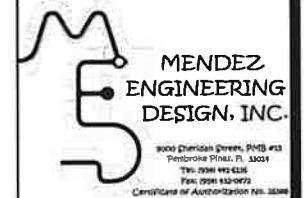
NOTES

1. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
2. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT FROM NAVD 88 TO NGVD 29, ADD 1.51 FEET.
3. BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3161, ELEVATION = 7.81' (NAVD88).
4. REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
6. CONTRACTOR SHALL PLAN ALL CROSSINGS INCLUDING SERVICE CROSSINGS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE WATER & SEWER SERVICE LOCATIONS AND INVERTS WITH MECHANICAL/PLUMBING PLANS.
8. ALL BENDS & FITTINGS REQUIRED FOR CROSSINGS SHALL BE INCLUDED ON CONTRACTOR'S BID.
9. NO VALVES IN CURB OR SIDEWALK.
10. WATER METER BOX SHALL BE PROVIDED AND INSTALLED BY THE CITY'S UTILITIES DEPARTMENT.
11. WATER MAIN/FIRE LINE SHALL HAVE 36" MINIMUM COVER.
12. WATER METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR. METER SHALL BE INSTALLED BY THE CITY'S UTILITIES DEPARTMENT.
13. REFER TO FA-2 FOR FIRE LINE REQUIREMENTS.
14. ALL WORKMANSHIP, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF PEMBROKE PINES ENGINEERING STANDARDS MANUAL.
15. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 62-555 OF THE FAC AS APPLICABLE.
16. RESTORE/ADJUST EXISTING VALVES AND MANHOLES TO FINAL ELEVATIONS.
17. SEWER SERVICE CLEANOUTS SHALL BE 6" PVC WITH USF NO. 7635 COVER.

ESTIMATED WATER DEMAND & SEWAGE FLOW

TYPE OF STRUCTURE:	WAREHOUSE, MINI-STORAGE
FLOW RATE:	0.01 GPD/ SF OF FLOOR SPACE
BUILDING AREA:	134,074 SF
ESTIMATED FLOW:	1,340.74 GPD

* BASED ON BROWARD COUNTY DESIGN FLOW CHART



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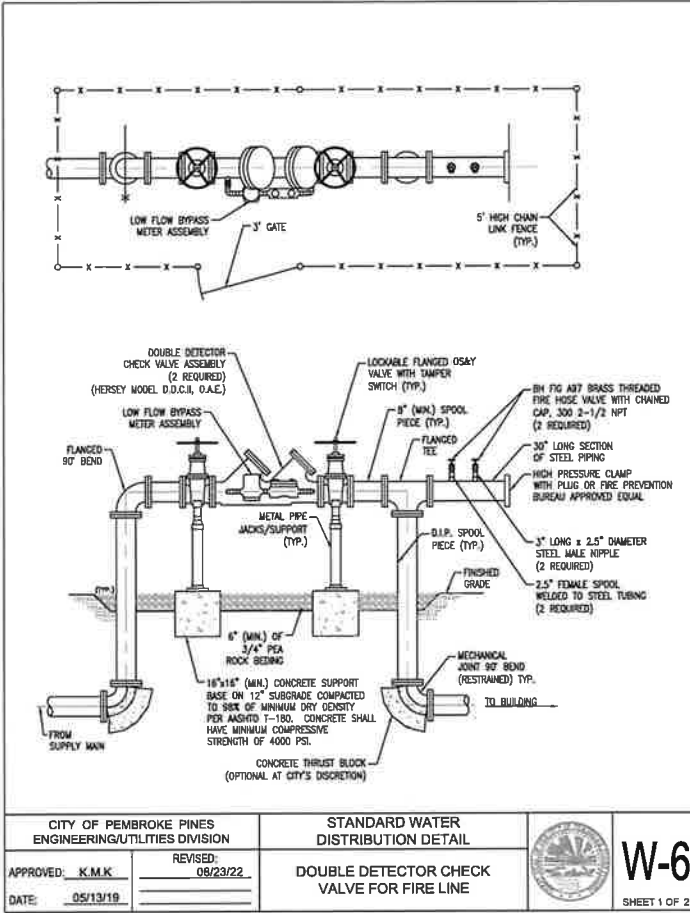
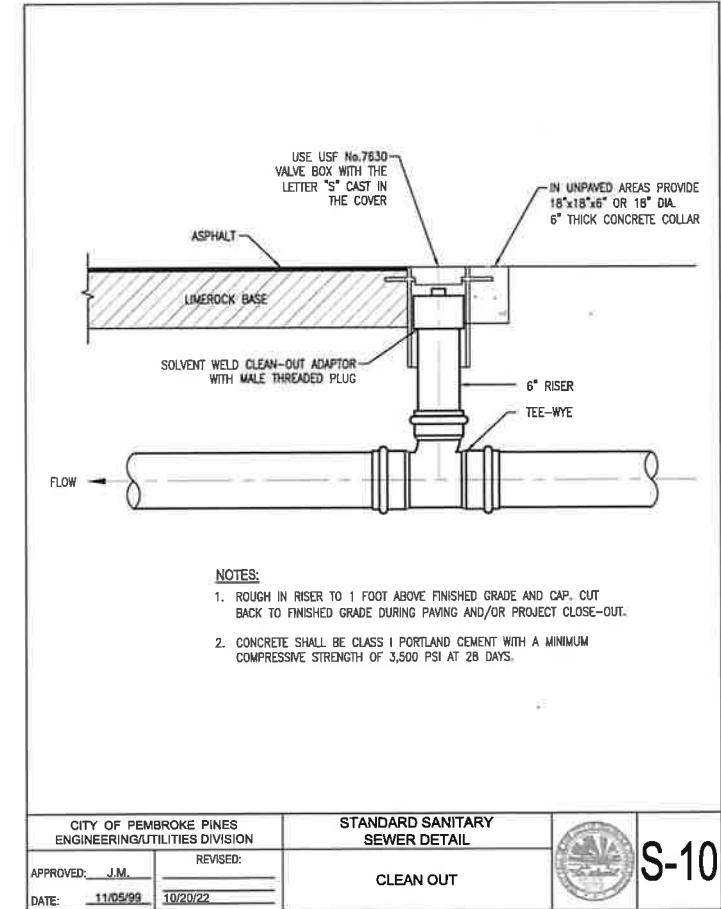
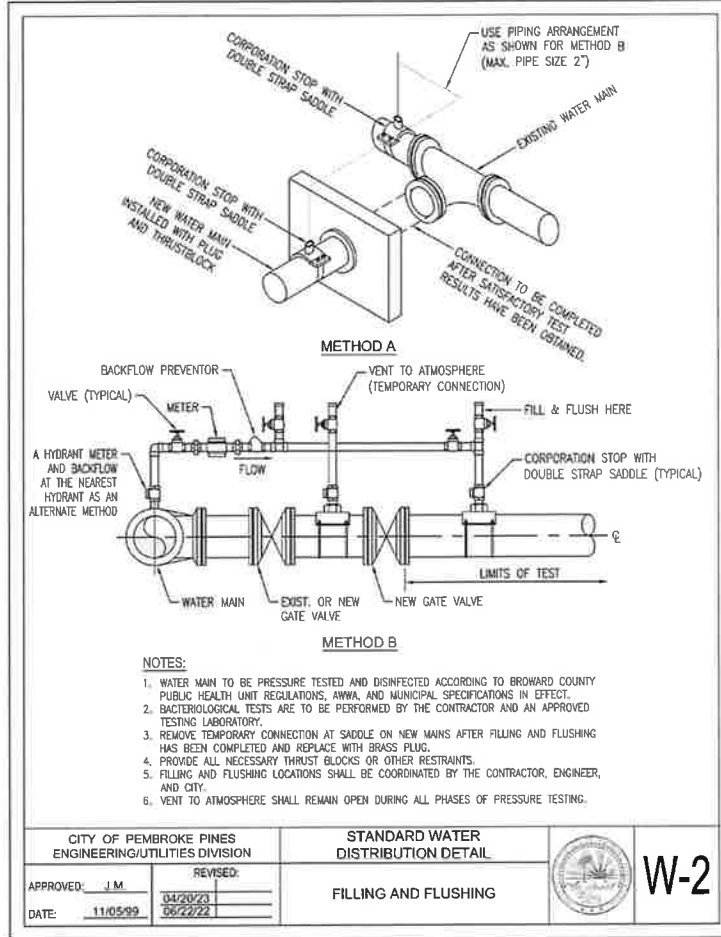
H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

DATE	05.12.25
REVISION	PER DRG COMMENTS
NO	1

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-164.01
WATER & SEWER PLAN	
SH. 19	OF 20
C-14	

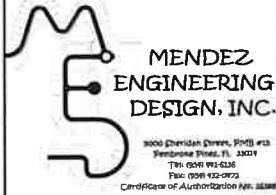


Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!



DDCV NOTES:

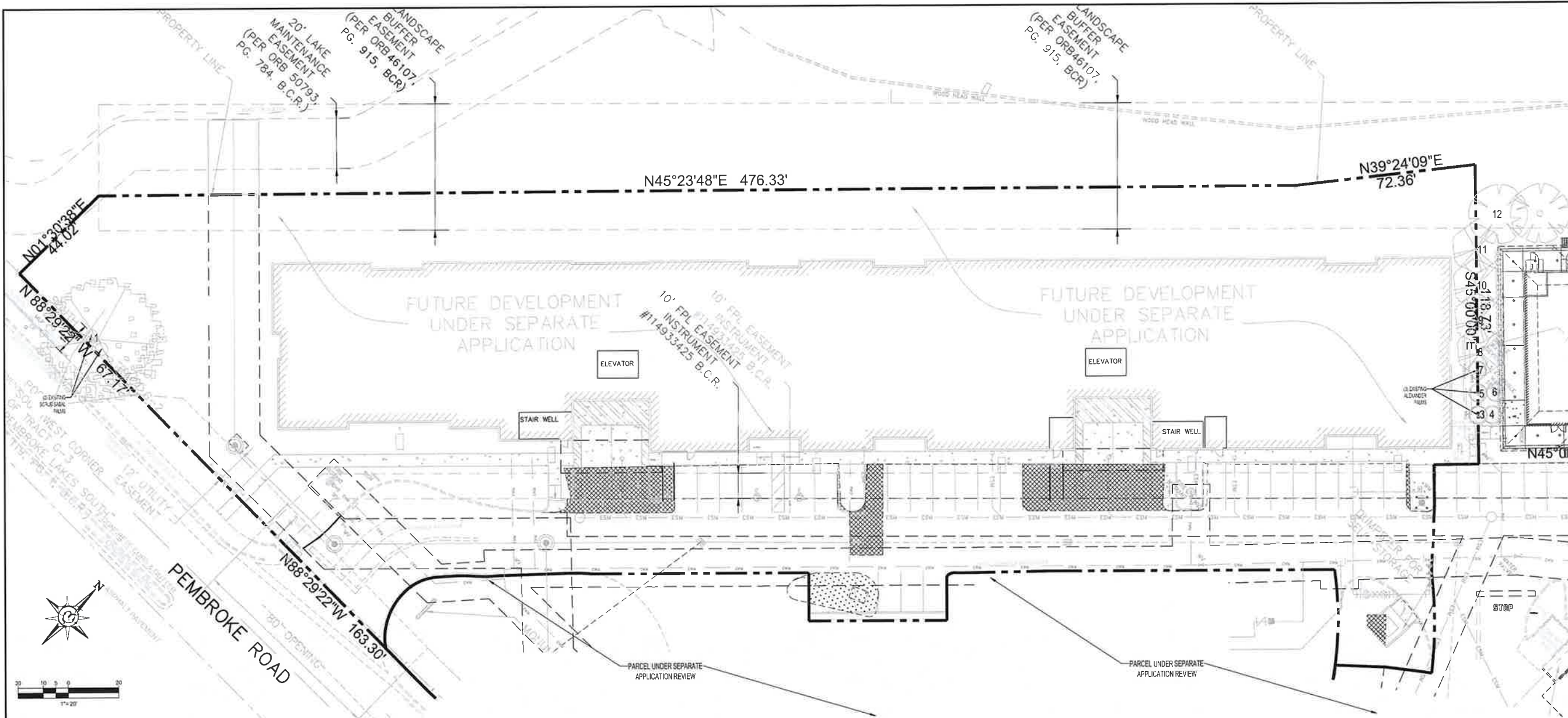
1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA / CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.



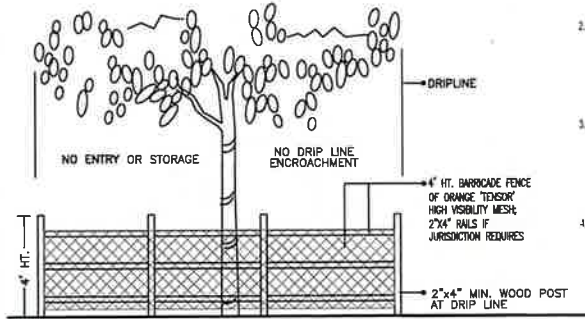
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H & M PINES STORAGE
AT THE VILLAGES OF MAYFAIR
1520 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: H & M DEVELOPMENT

NO.	REVISION	DATE
1	PER DRG COMMENTS	05.12.25
SCALE: N.T.S.		
DATE: 03.20.2025		
PROJECT NO. 25-164.01		
WATER & SEWER DETAILS		
SH. 20 OF 20		
C-15		



EXISTING TREE DISPOSITION CHART							= INDICATES SPECIMEN TREES		
H&M SELF STORAGE - 1520 S. HIATUS RD., PEMBROKE PINES, FL									
TREE NO.	BOTANICAL NAME	COMMON NAME	DBH (ins.)	HT (ft)	SPR (ft)	CONDITION (%)	DISPOSITION	COMMENTS	CANOPY (SF)
1	Ficus benjamina	Benjamin Fig	48	45	50	50%	REMAIN	Some gaps in crown; with scrub sabal palms at base. Minor chlorosis on 10% of leaves. Remove invasive exotics and clean leaf litter from base	1,965.63
2	Schefflera actinophylla	Umbrella Tree	4	55	7	60%	remove	Cat. 1 Invasive	38.53
3	Ptychosperma elegans	Alexander Palm	4	16-18' oa	7	70%	REMAIN	(ONSITE)	38.53
4	Ptychosperma elegans	Alexander Palm	4	16-18' oa	7	70%	REMAIN	OFFSITE/ADJACENT	38.53
5	Ptychosperma elegans	Alexander Palm	4	16-18' oa	7	70%	REMAIN	(ONSITE)	38.53
6	Ptychosperma elegans	Alexander Palm	4	16-18' oa	7	70%	REMAIN	OFFSITE/ADJACENT	38.53
7	Ptychosperma elegans	Alexander Palm	4	16-18' oa	7	70%	REMAIN	(ONSITE)	38.53
8	Quercus virginiana	Live Oak	7	25	14	70%	REMAIN	OFFSITE/ADJACENT	154.11
9	Quercus virginiana	Live Oak	6	25	13	65%	REMAIN	OFFSITE/ADJACENT	132.86
10	Coccoloba diversifolia	Pigeon Plum	5	17	9	65%	REMAIN	OFFSITE/ADJACENT	63.69
11	Quercus virginiana	Live Oak	4	21	9	65%	REMAIN	OFFSITE/ADJACENT	63.69
12	Roystonea regia	Royal Palm	16	24' ct	24	70%	REMAIN	OFFSITE	452.88
13	Ficus microcarpa	Indian laurel fig	24	18	18	60%	remove	Multi-trunk; In Landscape Easement Buffer; Cat. 1 Invasive; L. littoral	254.75
NOTE: EXISTING TREE INVENTORY PER SITE VISIT BY LANDSCAPE ARCHITECT & ARBORIST ON 3/10/2025									
SPECIMEN TREES NOTE: SPECIMEN TREES ARE THOSE TREES WITH A DBH ≥18" AND A CONDITION RATING OTHER THAN "POOR"							SEC. 155.677 TREE REPLACEMENT REQUIREMENTS		
PROTECTED TREE NOTE: PROTECTED TREES INCLUDE DICOTS & CONIFERS ≥2" DBH & MONOCOTS ≥8 FT OF CLEAR WOOD							TOTAL QUALIFIED CANOPY IN SITE WORK AREA:		
NOTE: INVASIVE/EXOTIC TREES & PALMS PER FL EXOTIC PEST PLANT COUNCIL 2023 LIST, OT INCLUDED IN ANY CANOPY TOTALS SHOWN ABOVE							TOTAL NON-SPECIMEN CANOPY TO REMAIN:		
							TOTAL NON-SPECIMEN CANOPY TO BE REMOVED:		
							TOTAL CANOPY TO BE REPLACED @ 1.5X PER SEC. 155.677(A):		
							TOTAL PALMS TO BE REMOVED / REPLACED:		
							**TOTAL SPECIMEN TREES TO BE REMOVED:		
							0.00		
							0		
** PER 155.677(B), SPECIMEN TREES, SHALL BE MITIGATED BASED ON THE DOLLAR VALUE TREE APPRAISAL, WITH EQUIVALENT REPLACEMENT AS TBD BY THE CITY									



TREE PRESERVATION BARRICADE FENCING DETAIL

NTA

GENERAL EXISTING TREE NOTES:

- TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING. DURING PERIODS OF DEVELOPMENT & CONSTRUCTION, THE AREA WITHIN THE Drip LINE OF PRESERVED TREES SHALL BE MAINTAINED AT THEIR ORIGINAL GRADE WITH PVIOUS LANDSCAPE MATERIAL. WITHIN THESE AREAS, THERE SHALL BE NO TRENCHING OR CUTTING OF ROOTS, EXCEPT WHERE NECESSARY DUE TO PROPOSED CONSTRUCTION NO FILL, COARCTION, OR REMOVAL OF SOIL, & NO USE OF CONCRETE, PAINT, CHEMICALS, OR OTHER FOREIGN SUBSTANCES.
- ALL ROOT-PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES. NO TREE CANOPY SHALL BE TRIMMED BY MORE THAN 25%. ALL TREES TO REMAIN SHALL BE STRUCTURALLY PRUNED. ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE JURISDICTIONAL PRUNING STANDARDS & ANSI A-30 PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
- ROOT PRUNING: PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF UNDERGROUND UTILITIES WITHIN THE EXISTING CANOPY DRIPLINE, ROOT PRUNE ALL TREES TO BE PRESERVED IN THE CONSTRUCTION IMPACT AREA FOR THIS SITE A MINIMUM OF SIX (6) WEEKS PRIOR TO CONSTRUCTION. TRENCHES FOR PROPOSED UTILITIES SHALL BE HAND DUG AS FAR FROM THE TRUNK OF EXISTING TREES TO REMAIN AS POSSIBLE. ALL WORK DONE WITHIN THE DRIPLINE OF ANY EXISTING TREE TO REMAIN SHALL BE DONE ONLY BY HAND WITH CARE.
- LIQUIDATED DAMAGES SHALL BE ASSESSED TO THE CONTRACTOR FOR TREES SPECIFIED TO BE PRESERVED THAT DIE OR ARE DAMAGED AS A RESULT OF IMPROPER TREE PROTECTION PROCEDURES AND CONSTRUCTION OPERATIONS. TREES KILLED OR DAMAGED SO THAT THEY ARE MESSY AND/OR UNUSUALLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER INCH OVER FOUR INCHES (4") DBH AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. DBH SHALL BE MEASURED AT FOUR FEET & A HALF (4 1/2) ABOVE SURROUNDING GROUND.
- IN ALL VEHICULAR USE AREAS, ALL TREES SHALL BE PRUNED & MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8'5" HEIGHT. EXISTING TREES ADJACENT TO VEHICULAR USE AREAS MAY BE TRIMMED UP TO 13'5" ABOVE VEHICULAR USE AREAS.
- ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THE LANDSCAPE DETAILS SHEET.
- ALL INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & ERADICATED FROM THE ENTIRE SITE & ADJACENT RIGHT-OF-WAYS IN PERPETUITY PRIOR TO FINAL LANDSCAPE CERTIFICATION. PERPETUAL MAINTENANCE IS REQUIRED TO PROMPT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES THROUGHOUT THE SITE & WITHIN ALL PRESERVATION & RESTORATION AREAS.
- ALL TREES SCHEDULED TO BE REMOVED OR THAT HAVE BEEN PREVIOUSLY REMOVED & HAVE REMAINING STUMPS SHALL BE CUT DOWN, STUMP GROUND, & SHALL HAVE ALL ROOTS REMOVED.
- DURING LAND ALTERATION & CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION

- MATERIALS, MACHINERY, OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN UNLESS OTHERWISE APPROVED BY THE JURISDICTION.
- UNLESS OTHERWISE NOTED, ALL SHRUBS, ACCENT PLANTS, & GROUNDCOVERS SHALL BE REMOVED FROM CONSTRUCTION AREA, EXCEPT NATIVE PLANTS IN PRESERVATION AREAS.
 - VIABLE & ARABLE WELL DRAINED NATIVE SOILS SHALL BE LAB TESTED, STOCKPILED, AMENDED IF NECESSARY, & REUSED BENEATH IMPORTED TOPSOILS IN LANDSCAPE AREAS.

TREE PROTECTION DURING CONSTRUCTION:

- ANY TREES REMAINING ONSITE IN PROXIMITY OF THE PROPOSED WORK AREA MUST BE PROTECTED DURING ALL PHASES OF CONSTRUCTION PER ANSI A-30 (PART 5): STANDARD PRACTICES (MANAGEMENT OF TREES AND SHRUBS DURING SITE PLANNING, SITE DEVELOPMENT, AND CONSTRUCTION).
- PROTECTION MEASURES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO:
- ESTABLISHING TREE PROTECTION ZONES (TPZ) WITH PROPER FENCING AND SIGNAGE (SEE PROTECTION DETAIL).
 - PROTECTING THE CRITICAL ROOT ZONE (CRZ) WITH A TEMPORARY APPLICATION OF A MINIMUM OF 6" OF MULCH TO DISPERSE HEAVY LOADS IN ACCESS ROUTES, THEREBY REDUCING SOIL COMPACTION AND MECHANICAL ROOT DAMAGE.
 - ENSURING THAT NO GRADE CHANGES OCCUR IN THE TREE PROTECTION ZONE, AND NO STORAGE OR DISPOSAL OF HARMFUL SUBSTANCES OCCURS IN TREE PROTECTION ZONE.
 - CAREFUL HAND OR AIR EXCAVATION WITHIN THE TPZ OF ANY TREES NEAR THE WORK TO IDENTIFY AND AVOID MAJOR STRUCTURAL ROOTS AND
 - CLEAN PRUNING CUTS AND AVOIDING CUTTING ANY ROOTS GREATER THAN 2" DIAMETER WHENEVER POSSIBLE. IF ANY LARGER ROOTS MUST BE CUT, CUTS SHOULD BE CLEAN AS FAR TOWARD THE EDGE OF THE TPZ AS POSSIBLE, AND PROPER CULTURAL METHODS SHOULD BE UTILIZED TO REDUCE SHOCK AND AID ROOT REGENERATION (IE IRRIGATION, SOIL ABRATION, MULCHING).
- IF THE TPZ OF ANY TREE MUST BE ALTERED, ONE OR MORE OF THE FOLLOWING ADDITIONAL MEASURES MAY BE TAKEN TO REDUCE ANY IMPACTS TO THE TREE:
- INCREASE THE REMAINING TPZ WHEREVER POSSIBLE TO COMPENSATE FOR THE REDUCTION OF TPZ IN ONE AREA.
 - TEMPORARILY REDUCE THE TPZ WHILE WORK IS DONE IN THE IMMEDIATE AREA AND THEN RE-ESTABLISH THE ORIGINAL SIZE OF THE TPZ AS SOON AS POSSIBLE.
 - INSTALL TRUNK PROTECTIVE MATERIALS SUCH AS WOOD PLANKS AND FOAM PADS TO PROTECT FROM MECHANICAL INJURY TO BARK OR VASCULAR TISSUES.
 - UTILIZE GEOTEXTILE FABRIC OR PLYWOOD ON TOP OF MULCH LAYER PER ANSI STANDARDS.
 - PROPER ROOT PRUNING TECHNIQUES PER ANSI STANDARDS IF NECESSARY, AND SUPERVISION AND/OR MONITORING BY A CERTIFIED ARBORIST.
- ADDITIONAL DETAILS ON PROTECTION DURING CONSTRUCTION CAN BE FOUND IN THE ANSI A-30 STANDARDS REFERENCED ABOVE, OR BY FURTHER CONSULTATION AND OVERSIGHT OF CONSTRUCTION ACTIVITIES BY A CERTIFIED ARBORIST.



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AVENUE, FL 33180

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PEMBROKE PINES, FL 33025

EXISTING TREE DISPOSITION PLAN

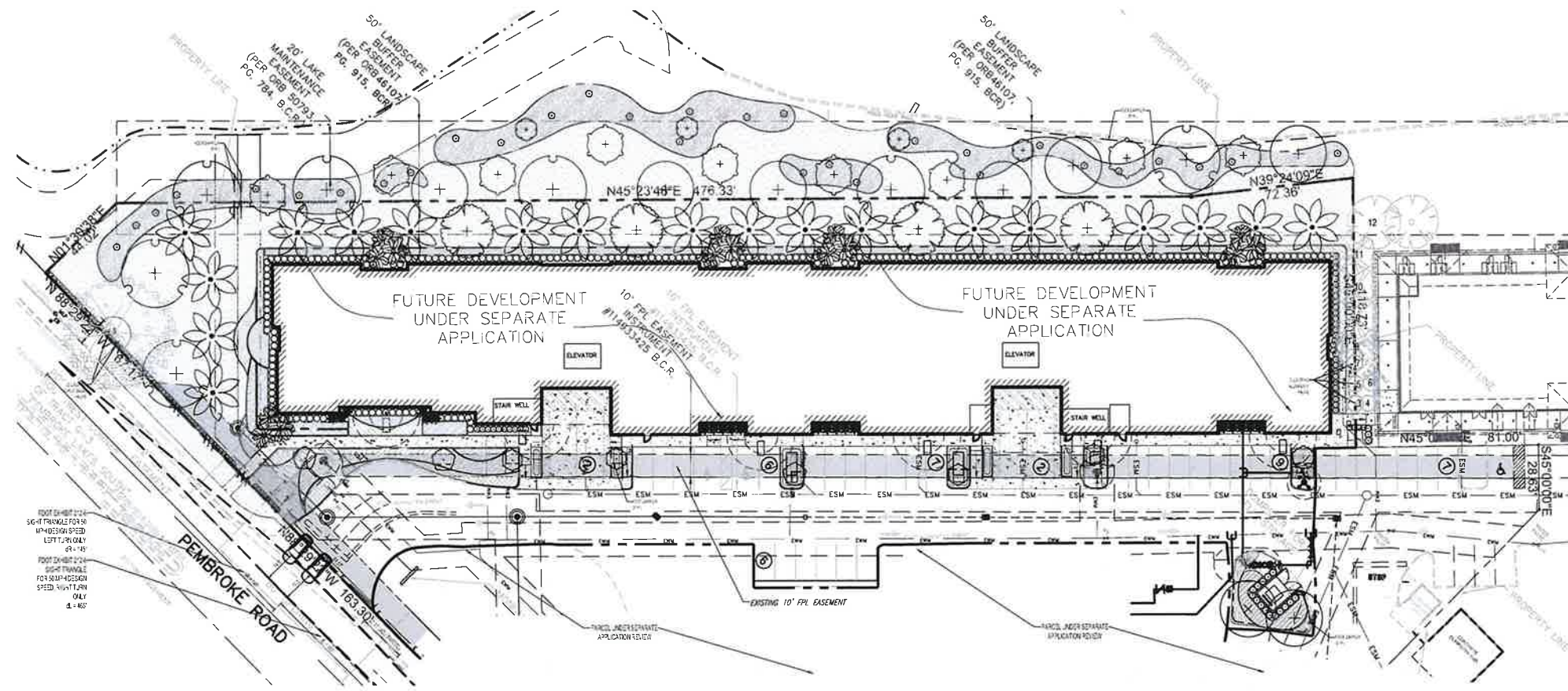
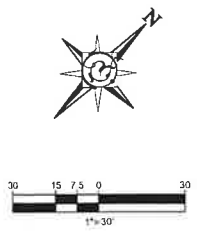


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CHECKED BY
DATE 2025-08-22

SHEET NUMBER

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CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES IN THE 10 FT FPL EASEMENT PRIOR TO INSTALLATION OF PROPOSED TREES; ADEQUATE CLEARANCE SHALL BE PROVIDED

ALL TREES SHALL BE PLACED A MINIMUM OF 6' AWAY FROM UTILITY LINES WITHOUT ROOT BARRIERS & A MINIMUM OF 3' AWAY WITH ROOTBARRIERS FOR SMALL TREES ONLY

AS PER LDC SEC. 155.633 (A), GROUND MATERIALS INSTALLED WITHIN INTERIOR PARKING ISLANDS ARE REQUIRED TO BE MAINTAINED 24 INCHES TALL.

IRRIGATION SHALL PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS & MINIMUM 50% OVERLAP. IRRIGATION POINT OF CONNECTION TO BE FROM PUMP & WELL. ALL LANDSCAPE AREAS MUST BE IRRIGATED FROM NON-POTABLE SOURCE. IRRIGATION PLANS TO BE PROVIDED AT TIME OF PERMIT APPLICATION

CITY OF PEMBROKE PINES LANDSCAPE CODE COMPLIANCE CHART			
H&M SELF STORAGE - 1520 S. HIATUS RD., PEMBROKE PINES, FL			
SEC. 155.664: MINIMUM STANDARDS <u>Trees:</u> 30% Cat. 1 Trees 14'-16' Ht, 3" DBH; 30% Cat. 2 Trees 12'-14' Ht, 2" DBH, 40% Other Categories <u>Palms:</u> 10' Ht, 10' spread Min. (@3:1) <u>Shrubs:</u> 24" ht. min., 12" spread Min.	ZONING DISTRICT: B-3 TOTAL SITE AREA: 63,482.56 SF (1.92 AC)	REQUIRED	PROVIDED
SEC. 155.632: BUFFERYARD BETWEEN RESIDENTIAL AND NON-RESIDENTIAL Buffer screening shall comply with the setback and yard requirements per SEC. 155.632 Bufferyards shall be a 100 ft wide Min. except at street facings. The first 50 ft Min. shall be dedicated to landscaping to permit minimum space for the creation of landscape berm, mounds, and the planting of vegetation. (1) Shade Tree / 500 sf of of landscaped bufferyard. 3' hedge/ wall & (1) Tree / 50 lf	(592.71 lf/50)	12 TREES	19 TREES <i>Complies - Lake + Landscape Buffer Easement</i>
SEC. 155.663: PARKING ISLANDS (A): No more than 50% of the total island areas or interior parking areas as turfgrass, sod, or mulch (F).1.a: (1) Tree / 5 parking spaces (32 Parking Spaces Provided) (F).1.b: (1) Tree / 100 sf of Interior Landscaping required (491.67 sf Interior Landscaping required) (F).2: 10 SF Interior Landscaping / Parking Space up to 50 spaces. 320 sf required (F).4.(a): (1) sf of landscaping for every 100 sf of paved areas up to 50,000 sf (17,238.32 sf Paved VUA) 172.38 sf required	(32 spaces / 5)	<1,685.30 SF SOD 6 TREES 5 TREES 320 SF 172.38 SF 492.38 SF TOTAL INT LS AREA REQ'D	274 SF SOD IN ISLANDS 10 TREES & REMAINDER RELOCATED TO LAKE 3,370.59 SF INT LS AREA
MITIGATION REQUIREMENTS 1.5x Canopy Coverage replaced : 1 Canopy tree Removed (1) Category IV Palm replaced : 1 Palm Removed 0 SF Canopy Removed; 0 Palms removed - No Mitigation Required		NA	
		TOTAL TREES: 23 TREES	50 TREES**
		30% CAT. 1 TREES	7 CAT 1 TREES
		30% CAT. 2 TREES	7 CAT 2 TREES
		40% OTHER CAT. TREES	9 OTHER TREES
* INCLUDES (1) EXISTING TREE, (2) PROPOSED TREES, & (1) TREE FROM [3] PROPOSED ROYAL PALMS @3:1			
** INCLUDES (40) PROPOSED TREES, (1) EXISTING TREE #1, & (9) TREES FROM [27] EXISTING & PROPOSED PALMS @3:1			
*** INCLUDES (1) EXISTING TREE #1			

SITE CANOPY COVERAGE CHART					
(PER CITY'S TREE LIST)					
H&M SELF STORAGE - 1520 S. HIATUS RD., PEMBROKE PINES, FL					
QUANTITY	CODE	SPECIES	TREE CATEGORY	MATURE SPREAD (FT)	AREA (SF)
4	AG	Pond Apple	CAT. 3	15	706.50
9	CR	Autograph Tree	CAT. 2	20	2,826.00
4	CS	Orange Geiger	CAT. 2	20	1,266.00
7	FA	Strangler Fig	CAT. 1	65	23,216.38
4	MF	Simpson's Stopper	CAT. 3	20	1,266.00
8	QV	Live Oak	CAT. 1	80	40,192.00
4	SG	Paradise Tree	CAT. 1	30	2,826.00
5	CM	Fishtail Palm	CAT. 4	20	1,570.00
19	RE	Royal Palm	CAT. 4	25	9,321.88
1	(NA) *	Benjamin Fig (Existing)	CAT. 1	80	5,024.00
3	(NA) *	Alexander Palm (Existing)	CAT. 4	8	150.72
TOTAL PROPOSED MATURE CANOPY COVERAGE AREA (SF):					88,345
* QUANTITIES INCLUDE EXISTING & PROPOSED TREES ON SITE					



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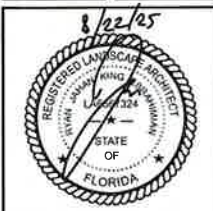
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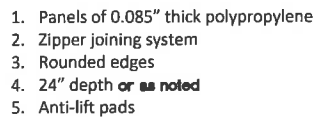
OVERALL LANDSCAPE
PLAN & CODE CHARTS



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*Contact the Landscape Division if you propose an equivalent root barrier option.

••See General Notes for Root Barrier Installation Specifications

NTS.

GENERAL LANDSCAPE NOTES:

- [illegible]

GENERAL EXISTING TREE NOTES:

1. TREE PROTECTION BARRIERS SHALL BE PROVIDED BY LANDSCAPE ARCHITECT BEFORE ANY EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRIAGE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAILS FOR TREE PROTECTION BARRIAGE FINISHES. DURING PERIODS OF DEVELOPMENT & CONSTRUCTION, THE AREAS WITHIN THE OUTLINE OF PRESERVED TREES SHALL BE MAINTAINED AT THEIR ORIGINAL GRADE WITH PERVIOUS LANDSCAPE MATERIAL. WITHIN THESE AREAS, THERE SHALL BE NO TRIMMING OR CUTTING OF BUSHES, OR OTHER NECESSARY DUE TO PROPOSED CONSTRUCTION, NO FILL, CONCRETION, OR REMOVAL OF SOIL, A NO USE OF CONCRETE, PAINT, CHEMICALS, OR OTHER FOREIGN SUBSTANCE.
2. ALL ROOT PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES. ALL TREE CANOPY SHALL BE TRIMMED BY MORE THAN 20%. ALL TREES TO REMAIN WITHIN 30 FEET OF PROPOSED DEVELOPMENT SHALL BE PUBLICLY REACHED. SHALL BE STRUCTURALLY PRUNED, THE BRANCHES OF A TREE EXTENDING OVER THE TRAVEL PORTION OF ANY PUBLIC STREET ON JUNE 15TH FOR VEHICULAR TRAFFIC SHALL BE TRIMMED TO THE HEIGHT OF ANY STREET LIGHTS ABOVE THE STREET OR ALLY ANY PROPOSED TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE ARBORICULTURAL PLANNING STANDARDS PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
3. ROOT PRUNING PRIOR TO CONSTRUCTION OR INSTALLATION OF UNDERGROUND UTILITIES WITHIN THE EXISTING CANOPY DRAINAGE ROOT PRUNE ALL TREES TO BE PRESERVED IN THE CONSTRUCTION IMPACT AREA FOR THIS SITE A MINIMUM OF 50 (FIFTY) WEEKS PRIOR TO CONSTRUCTION. TREACHES FOR ANY PROPOSED UTILITIES SHALL BE LOCATED AS FAR FROM THE TRUNK OF EXISTING TREES TO REMAIN AS POSSIBLE. ALL WORK DONE WITHIN THE DRAINAGE OF ANY EXISTING TREE TO REMAIN SHALL BE DONE ONLY BY HAND WITH CARE.
4. HARMED OR DAMAGED TREES SHALL BE ASSESSED TO THE CONTRACTOR FOR TREES SPOILED TO BE PRESERVED THAT ARE OR ARE NOT AS A RESULT OF WORKPRIOR TREE PROTECTION MEASURES & CONSTRUCTION OPERATIONS. TREES KILLED OR DAMAGED SO THAT THEY ARE WINDSHAKEN & UNSTABLE SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100 PER DBH INCH OR AN EQUIVALENT SPECIES WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") DBH'S PLUS AND ADDED LOGGING EQUIPMENT, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY. HOWEVER, IF GREATER, DBH SHALL BE MEASURED AT FOUR FEET & A HALF (4.5') ABOVE SURROUNDING GROUND.
5. IN ALL VEHICULAR USE AREAS, ALL TREES SHALL BE PRUNED & MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 15 FT HEIGHT. EXISTING TREES ADJACENT TO VEHICULAR USE AREAS MAY BE TRIMMED UP TO 15.5 FT ABOVE VEHICULAR USE AREAS.
6. ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THE LANDSCAPE DETAILS SHEET.
7. ALL INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & ERADICATED FROM THE ENTIRE SITE & ADJACENT RIGHT-OF-WAYS IN PERPETUITY PRIOR TO FINAL LANDSCAPE CERTIFICATION. FURTHER MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES THROUGHOUT THE SITE & WITHIN ALL PRESERVATION & RESTORATION AREAS.
8. ALL TREES SCHEDULED TO BE REMOVED THAT HAVE BEEN PREVIOUSLY REMOVED & HAVE REMAINING STUMPS SHALL BE CUT DOWN, STUMP GRAD, & SHALL HAVE ALL ROOTS REMOVED.
9. DURING LAND ALTERATION & CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY, OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRAINAGE OF A TREE TO REMAIN UNLESS OTHERWISE APPROVED BY THE JURISDICTION.
10. UNLESS OTHERWISE NOTED, ALL SHRUBS, ACCELT PLANTS, & GROUNDCOVERS SHALL BE REMOVED FROM CONSTRUCTION AREA, EXCEPT NATIVE PLANTS IN PRESERVATION AREAS.
11. VASES & ANSIBLE WET, DRAINED NATIVE SOILS SHALL BE LAB TESTED, STOCKPILED, AMENDED IF NECESSARY, & REUSED BENEATH REPORTED TOPSOILS IN LANDSCAPE AREAS.

IRRIGATION SCHEDULE FOR NEW TREES BASED ON UF/IFAS ENH857

Trunk diameter of tree	Irrigation schedule for vigor*	Irrigation schedule for survival
≤ 2"	Daily for 2 weeks, every other day for 2 months, then weekly until established	Twice weekly for 2-3 months
2" to 4"	Daily for 1 month, every other day for 3 months, then weekly until established	Twice weekly for 3-4 months
Over 4"	Daily for 6 weeks, every other day for 5 months, then weekly until established	Twice weekly for 4-5 months

NOTE: NEWLY PLANTED & RELOCATED TREES SHALL RECEIVE 3 GAL PER CALIPER INCH FOR EACH DAY THAT WATERING IS SCHEDULED PER THE ABOVE CHART; I.E. FOR VIGOR, A 4" TREE SHALL RECEIVE 12 GALLONS OF WATER DAILY FOR 1 MONTH, THEN EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED



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LANDSCAPE DETAILS & NOTES



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