





**City of Pembroke Pines**  
**Planning & Economic Development Department**  
**601 City Center Way 3<sup>rd</sup> Floor**  
**Pembroke Pines FL, 33025**

## Summary

<b>Agenda Date:</b>	September 11, 2025	<b>Application ID:</b>	SP2025-0001
<b>Project:</b>	Chabad of Pembroke Pines Mikveh	<b>Project Number:</b>	PRJ2025-0002
<b>Project Planner</b>	Cole Williams, Senior Planner		
<b>Owner:</b>	Chabad Lubavitch of Pembroke Pines INC	<b>Agent:</b>	Jeremy Shir
<b>Location:</b>	18490 Johnson Street	<b>Commission District</b>	4
<b>Existing Zoning:</b>	PUD (Planned Unit Development)	<b>Existing Land Use:</b>	Commercial
<b>Reference Applications:</b>	SUBDR2025-0001, ZV2025-0010		
<b>Applicant Request:</b>	Construct a free-standing Mikveh.		
<b>Staff Recommendation:</b>	Approval subject to the recordation of the underlying plat		
<b>Final:</b>	<input checked="" type="checkbox"/> Planning & Zoning Board <input type="checkbox"/> City Commission		
<b>Reviewed for the Agenda:</b>	Director:  Assistant Director: 		

## **Project Description / Background**

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Jeremy Shir, agent, requests approval to construct a free-standing Mikveh with associated site, signage, lighting and landscape modifications for the Chabad of Pembroke Pines located at 18490 Johnson Street.

The site, previously owned and operated by the city as a daycare facility, was sold to the Chabad in 2021 for use as a religious institution.

Additionally at the March 5, 2025 the City Commission passed Resolution 3895 amending the plat allowing for 24,298 square feet of religious institution use.

On June 26, 2025, the Planning and Zoning Board approved ZV2025-0010 to allow 43 existing parking spaces instead of the required 79 parking spaces.

### **BUILDINGS / STRUCTURES:**

The proposed Mikveh will be 14' in height and 1,315 square feet in area located to the east of the existing modular buildings and to the south of the northern parking lot. The applicant is proposing the following colors and materials for the building and structures:

- Main Body: Split Face Masonry Glacier color
- Accent: SW 7004 (Snowbound), SW 7069 (Iron Ore)

### **SIGNAGE:**

The applicant is proposing one, 25.625 square foot channel letter sign reading, "Chabad Pembroke Pines Mikveh" in white copy. The sign shall be located on the north elevation.

### **ACCESS / CIRCULATION:**

Access to the site shall remain on the western side of the property via the access road south of Johnson Street.

### **PARKING:**

Code requires religious institutions to have 8.5 parking spaces per 1,000 square feet of building area; therefore, the proposed use requires 51 parking spaces. Based current and proposed uses 79 parking spaces are required. On June 26, 2025, the Planning and Zoning Board approved ZV2025-0010 to allow 43 existing parking spaces instead of the required 79 parking spaces.

### **LANDSCAPING:**

The following landscape is being proposed for site:

- Installation of 2 trees, 4 palms, 66 shrubs, and 311 ground covers.
  - Primary tree species include: Simarouba glauca - Paradise tree.
  - Primary palm species include: Veitchia arecina - Montgomery palm.
  - Primary shrub species are: Chrysobalanus icaco 'Red tip' - Red tip cocoplum.
  - Primary groundcover species are: Liriope muscari 'Big Blue' - Liriope 'Blue Daze', Lantana montevidensis - purple trailing Lantana, Evolvulus glomeratus - Blue Daze, Alocasia odora 'California' - Dwarf elephant ear, Neomarica caerulea 'Regina' - Giant Apostles iris.
  - Additionally, one (1) Quercus virginiana - Southern live oak tree is being protected and retained on site.

#### OTHER SITE FEATURES:

The site shall be illuminated by the existing poles and fixtures. One silver wall sconce is proposed adjacent to the Mikveh entryway.

**Approval subject to the recordation of the underlying plat.**

**Enclosed:**

Site Plan Application  
 Memo from Landscape Division (9/2/2025)  
 Memo from Landscape Division (8/19/2025)  
 Memo from Engineering Division (8/19/2025)  
 Memo from Zoning Division (8/19/2025)  
 Memo from Planning Division (8/19/2025)  
 Memo from Fire Prevention Bureau (8/19/2025)  
 Memo from Engineering Division (5/22/2025)  
 Memo from Zoning Division (5/13/2025)  
 Memo from Landscape Division (5/12/2025)  
 Memo from Fire Prevention Bureau (5/12/2025)  
 Memo from Planning Division (5/6/2025)  
 Memo from Fire Prevention Bureau (2/25/2025)  
 Memo from Engineering Division (2/25/2025)  
 Memo from Landscape Division (2/20/2025)  
 Memo from Zoning Division (2/18/2025)  
 Memo from Planning Division (2/12/2025)  
 Site Plan  
 Subject Site Aerial Photo



## City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: \_\_\_\_\_

# Plans for DRC \_\_\_\_\_ Planner: \_\_\_\_\_

Indicate the type of application you are applying for:

- |   |   |
|---|---|
| <input type="checkbox"/> Appeal*                      | <input type="checkbox"/> Sign Plan                                |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan*                               |
| <input type="checkbox"/> Delegation Request           | <input checked="" type="checkbox"/> Site Plan Amendment*          |
| <input type="checkbox"/> DRI*                         | <input type="checkbox"/> Special Exception*                       |
| <input type="checkbox"/> DRI Amendment (NOPC)*        | <input type="checkbox"/> Variance (Homeowner Residential)         |
| <input type="checkbox"/> Flexibility Allocation       | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation*              | <input type="checkbox"/> Zoning Change (Map or PUD)*              |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text)                     |
| <input type="checkbox"/> Miscellaneous                | <input type="checkbox"/> Zoning Exception*                        |
| <input type="checkbox"/> Plat*                        | <input type="checkbox"/> Deed Restriction                         |

### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

### Staff Use Only

Project Planner: \_\_\_\_\_ Project #: PRJ 20\_\_\_\_ - \_\_\_\_\_ Application #: \_\_\_\_\_

Date Submitted: \_\_\_\_/\_\_\_\_/\_\_\_\_ Posted Signs Required: (\_\_\_\_) Fees: \$\_\_\_\_\_

**SECTION 1-PROJECT INFORMATION:**Project Name: Chabad of Pembroke Pines MikvehProject Address: 18490 Johnson StreetLocation / Shopping Center: 18490 Johnson StreetAcreage of Property: 2.27 acres Building Square Feet: 1,315 proposedFlexibility Zone: \_\_\_\_\_ Folio Number(s): 513911030091Plat Name: Chapel Trail II Traffic Analysis Zone (TAZ): \_\_\_\_\_Legal Description: Please see Opinion of Title for full Legal DescriptionCHAPEL TRAIL II 112-16 B POR OF PAR A DESC AS: COMM NLY MOST SE COR  
OF SAID PAR A, N 300, NE 200.36, N 303.96, W 285.39 TO POB, CONT W 314.86,Has this project been previously submitted? ☐ Yes ☒ No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Chabad Lubavitch of Pembroke Pines Inc.

Owner's Address: 18490 Johnson Street

Owner's Email Address: RabbiPPines@gmail.com

Owner's Phone: 954-638-7800 Owner's Fax: \_\_\_\_\_

Agent: Jeremy Shir

Contact Person: Jeremy Shir

Agent's Address: 3029 NE 188th Street., #404

Agent's Email Address: Jeremyben82@gmail.com

Agent's Phone: 954-662-3496 Agent's Fax: \_\_\_\_\_

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.*

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: PUD

Land Use / Density: Commercial

Use: Religious

Plat Name: Chapel Trail II

Plat Restrictive Note: See Narrative

### PROPOSED

Zoning: PUD

Land Use / Density: Commercial

Use: Religious

Plat Name: Chapel Trail II

Plat Restrictive Note: See Narrati

### ADJACENT ZONING

North: PUD

South: PUD

East: PUD

West: PUD

### ADJACENT LAND USE PLAN

North: Commercial

South: Commercial

East: Commercial

West: Commercial

*-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-*

**SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY**

Application Type (Circle One): ☐ Variance ☐ Zoning Appeal ☐ Interpretation

Related Applications: \_\_\_\_\_

Code Section: \_\_\_\_\_

Required: \_\_\_\_\_

Request: \_\_\_\_\_

Details of Variance, Zoning Appeal, Interpretation Request:

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**SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY**

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: \_\_\_\_\_

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_

**SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)**

Chabad Lubavitch of Pembroke Pines, Inc. ("Chabad of Pembroke Pines"), is planning an addition of a 1,315 sq. ft. mikveh or ritual bath for the site, at 18490 Johnson Street. The site comprises a portion of Parcel A, Chapel Trail II plat, recorded in Plat Book 112, Page 16, according to Broward County Public Records.



## SECTION 7- PROJECT AUTHORIZATION

### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]  
Signature of Owner

1/15/2025  
Date

Sworn and Subscribed before me this 15<sup>th</sup> day  
of JANUARY, 20 25

\_\_\_\_\_  
Fee Paid

[Signature]  
Signature of Notary Public

01-21-2025  
My Commission Expires



MOTI J. DOVER  
Commission # HH 045154  
Expires January 21, 2025  
Bonded Thru Budget Notary Services

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]  
Signature of Agent

1/23/25  
Date

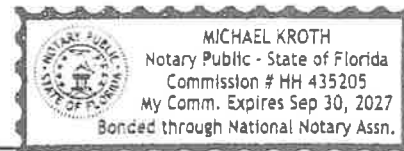
STATE OF FLORIDA, COUNTY OF MIAMI-DADE

Sworn and Subscribed before me this 23<sup>RD</sup> day  
of JANUARY, 20 25

\_\_\_\_\_  
Fee Paid

[Signature]  
Signature of Notary Public

01/30/2027  
My Commission Expires



Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: Chabad Lubavitch of Pembroke Pines Inc.

Authorized Representative: Jeremy Shir

Application Number: 2025-008

Application Request: Site plan amendment

I, Jeremy Shir (print Applicant/Authorized Representative name), on behalf of Chabad Lubavitch of Pembroke Pines (Applicant), hereby waive the deadlines and/or procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/ or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.

[Signature] 1/23/25  
Signature of Applicant or Applicant's Date  
Authorized Representative

Jeremy Shir  
Print Name of Applicant/Authorized Representative

MEMORANDUM  
September 2, 2025

From: Yelena Hall  
Landscape Planner/ Inspector

Re: (SP2025-0001) Chabad Mikveh – Sign Off

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The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

**Landscape Inspection Comments:**

**1. All landscape comments were addressed.**

*Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.*

YELENA HALL  
LIAF Certified Landscape Inspector #21-259  
Planning and Economic Development Department  
954.392.2166 (Office) • [yhall@ppines.com](mailto:yhall@ppines.com)

MEMORANDUM  
August 19, 2025

From: Yelena Hall  
Landscape Planner/ Inspector

Re: (SP2025-0001) Chabad Mikveh v3

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- ~~1. Will any landscape be affected by the proposed scope of work? Will any trees, palms, shrubs, or groundcovers require removal? Please show these clearly on the plans.~~
- ~~2. Will additional parking or interior parking islands be added to the existing parking lot? As per LDC SEC. 155.663, a certain number of trees and shrubs are required depending upon the parking counts and interior parking islands.~~

Staff performed a courtesy inspection of the site to assess the overall condition of existing landscape materials. Staff identified, counted, and reviewed materials on site and as per BCPA aerials, to determine what, if anything, has been removed over time. **While the following comments will not place the Mikveh on hold, staff require a letter narrative from the ownership on how and when these issues will be addressed.**

1. Perimeter hedges located on the Western buffer appear to end abruptly, however they are required to provide a lush and continuous hedge. Any deficient shrubs require filling in, or removal and replacement, depending upon condition of existing shrubs. **Awaiting the letter from ownership.**
  2. Two (2) Ficus trees located on the Western side of the parcel (two within one interior parking island), were observed to have significant decay at the base of the trunk, as well as significant dieback was observed in tree canopies. Both trees appear to be in poor condition and require removal and replacement, with proper species for the location. Tree species which like "wet feet" are recommended. **Awaiting the letter from ownership.**
  3. **Awaiting the letter from ownership.** One (1) hat-racked Live oak noted within an interior parking island, located within the gated area. Tree should be assessed by a certified arborist and an arborist report is required to determine if:
    - a. Structural pruning is required for structural safety, after hat-racking.
    - b. If the tree is in good standing regarding structural safety, regular pruning is required.
    - c. Or does this tree require removal and replacement, due to other existing conditions not noted by staff.
  4. Dead or declining palm/s noted on site. Dead palms and trees require permitted removal and replacement. **Awaiting the letter from ownership.**
3. Additional comments may apply, based on responses provided by the applicant.

*Plant diversification is important for the project to sustain a healthy and vigorous landscape, it is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.*

YELENA HALL  
LIAF Certified Landscape Inspector #21-259  
Planning and Economic Development Department  
954.392.2100 (Office) • [yhall@ppines.com](mailto:yhall@ppines.com)

**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENGINEERING DIVISION**

# **DRC REVIEW FORM**



**August 19, 2025**

**PROJECT: *CHABAD OF PEMBROKE PINES MIKVEH*  
CITY REFERENCE NO: *SP2025-0001***

**TO: Cole Williams, AICP  
Senior Planner, Planning and Economic Development Department**

**FROM: John L. England, P.E., Assistant City Engineer  
Engineering Division  
(954) 518-9046**

**RECOMMENDATION:**

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The Engineering Division's DRC 'Comments' have been satisfied, and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

**NOTE** that an Engineering Permit is required for construction of the proposed project's site-related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the "Engineering Review Queue" pending receipt of the Plans Review Fee based an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.

MEMORANDUM

August 19, 2025

To: Cole Williams, AICP  
Senior Planner

From: Julia Aldridge  
Planner/ Zoning Tech

Re: SP 2025-0001 (Chabad Mikveh)

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All of my comments regarding the above Site Plan have been satisfied.

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** August 19, 2025  
**To:** SP 2025-0001 file  
**From:** Cole Williams, Senior Planner  
**Re:** Chabad Mikveh

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**Items which do not conform with the City of Pembroke Pines Code of Ordinances  
or other Governmental Regulations:**

**ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED**



## **DRC REVIEW FORM**

**FIRE PLANS EXAMINER**

Brian Nettina, Asst. Fire Marshal  
[Bnettina@ppines.com](mailto:Bnettina@ppines.com)  
954.499.9566

**PROJECT NAME:**

**Chabad of Pembroke Pines Mikveh**

**REFERENCE #:**

SP 2025 – 001

**DATE REVIEWED:**

8/19/2025

**CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS**

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YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THIS REVIEW.



**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENGINEERING DIVISION**

# **DRC REVIEW FORM**



**May 22, 2025**

**PROJECT: *CHABAD OF PEMBROKE PINES MIKVEH***  
**CITY REFERENCE NUMBER: *SP2025-0001***

**To: Cole Williams, AICP, Senior Planner**  
**Planning and Economic Development Department**

**From: Eliheser Rayo, Engineer Intern**  
**Engineering Division, Public Services Department**  
**(954) 518-9074**

## **COMMENTS:**

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### General Comments

1. This Civil Plan Submittal should not have been provided at a preliminary design level. At a minimum, a 60% design submittal is preferred from the outset to ensure a more effective and productive review process. The objective is to achieve a 90% to 100% design level by the conclusion of the Development Review Committee (DRC) process, which will help expedite the subsequent Engineering Construction Permit application and approval timeline.
2. Provide SBDD 5-year Operation and Maintenance Permit. If it is expired, it must be renewed.
3. Provide a topographical survey signed and sealed by a professional surveyor. Include elevations for the parking lot, Johnson Street, Elevations around the proposed building, and elevations spots around the dry retention area.
4. Provide a Demolition sheet showing the impact to the existing conditions. For example, there is an entire sand pit playground and structure that is not being shown to be removed. There are existing trees in the area that are not being shown to be removed.
5. Apply for a tree removal permit for the trees that must be removed for the proposed building.

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**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE LETTER  
ACCOMPANIED BY THE REVISED/UPDATED PLANS**

### Drainage Plan

6. Rename the sheet to "Grading & Drainage Plan".
7. Provide proposed and existing elevation spots to show how the proposed building will affect the existing topography of the site. The proposed elevations should include elevation spots around the building showing how the runoff will get to the proposed drainage structure and the dry retention area.
8. Provide the finished floor elevation of the building using the required topographical survey as mentioned in the general comments above (comment #3). See City Ordinance referenced below:

#### *§ 155.6114 RELATION OF GRADE OF FLOORS TO CROWN OF STREET.*

*The top surface of all floors of residential buildings shall be not less than eighteen inches (18"), and of non-residential buildings shall be not less than six inches (6"), above the highest point of the crown of all streets adjacent to the lot upon which the buildings are located.*

*(Ord. 2021-02, adopted 3-17-21; sought to be reconsidered, Commission passed 4-21-2021)*

9. Include the dry retention area in the plans showing how the proposed grading will modify the dry retention area.
10. Verify that the drainage structure in the dry retention area labeled as existing yard drain is not actually an existing drainage inlet.
11. The proposed 24" ADS Nyloplast Yard Drain must have a concrete apron on it. See City Detail R-49 and plan mark-ups for reference.
12. The proposed 24" ADS Nyloplast Yard Drain must have a minimum of 12" of slump.
13. Provide the slopes and inverts for all the proposed 6" drainage PVC pipes.
14. Provide elevations for the proposed sidewalk to verify ADA compliance. Include existing elevations to the existing sidewalk and the finished floor elevation to verify that the sidewalk connection will be flush.
15. Proposed sidewalk to follow City Detail R-28 and include the detail to the set.
16. Provide proposed elevations and limits for the enclosed sand playground since it needs to be modified to incorporate the proposed building.
17. There are two dark grey concrete hatches on the north and west side of the proposed building, it is not called out in the legend nor on the plans. Clarify what these areas are and add it to the legend.

### Drainage Details

18. The proposed 24" ADS Nyloplast Yard Drain must have a concrete apron on it. See City Detail R-49 and plan mark-ups for reference.
19. The proposed 24" ADS Nyloplast Yard Drain must have a minimum of 12" of slump.

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**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE LETTER  
ACCOMPANIED BY THE REVISED/UPDATED PLANS**

### Water and Sanitary Sewer Plan

20. The existing utilities depicted on the plans do not match the legend, it is difficult to distinguish between the proposed and existing utilities. Grey out the existing utilities and only keep the proposed utilities in black.
21. There is a meter box on the north side of Trailer B based on the land title survey provided, therefore a new meter box must be placed for the proposed water service line for the proposed building. Reference service water later City Detail W-4 for water meter requirements. Add detail to set.
22. The proposed water service line calls for a 2"x 2" tee with a 2" PVC line coming out an 8" existing DIP water main, which is not possible. You need an 8" x 8" or 8" x 6" or 8" x 4" tee with a reducer to a 2" line. Note that a 1" line is called out per Pembroke Pines City Detail W-4. Add detail to set.
23. For the proposed water service line call out the length of the pipe.
24. For the proposed sanitary laterals call out the slopes, lengths, bends, inverts, and pipe material.
25. Sanitary cleanouts in unpaved areas are required to have concrete collars per City Detail S-10, add detail to set.
26. The proposed sanitary laterals going through existing concrete on the west side of the sheet. Call out concrete to be demolished in the demolition sheet and call out concrete to be replaced in the grading and drainage plan. Reference City Detail R-28 for concrete requirements.

### Pollution Prevention Control Plan

27. It is up to the Engineer of Record (EOR) to determine the exact location, outlines, and devices for pollution prevention measures. This cannot be left up to the contractor.
28. The proposed silt fence outline encloses an existing trailer building and part of the existing sand pit playground. Is the intent to shut these two locations down during construction? If so, the playground might have to be enclosed around the entire perimeter.
29. There is a detail for a construction entrance and the legend calls out for one, but there is no construction entrance on the plans. Include the location of the construction entrance.
30. Call out the existing inlets to be protected during construction, there are two in the dry retention area that need to be protected.
31. Show the entire dry retention area in the plans.

**NOTE** that an Engineering Permit is required prior to construction. Submittal of a completed and executed Engineering Permit application, one (1) set of signed and sealed Site Engineering Plans in both hard copy and PDF format, payment of the applicable Plans Review Fees, and a Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.

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**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE LETTER  
ACCOMPANIED BY THE REVISED/UPDATED PLANS**

## MEMORANDUM

May 13, 2025

To: Cole Williams, AICP  
Senior Planner

From: Julia Aldridge  
Planner/ Zoning Tech

Re: SP 2025-0001 (Chabad Mikveh)

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The following are my comments regarding the above Site Plan:

1. Provide parking analysis showing addition meets the required parking based on square footage and use of existing structures. **5/13/25- Variance ongoing**
- ~~2. Will there be any wall lighting provided? If so, provide all details of fixtures.~~
- ~~3. Provide all color names, color number, finishes, materials, etc. on both color and black and white elevations.~~
- ~~4. Provide sign details showing dimensions and square footage of all outside signs.~~
- ~~5. Will any modifications or additions be made to site lighting? Additional comments may apply.~~
6. Provide material board of all exterior colors, finishes, materials to be used on the façade. Label all materials and colors on the material board. **5/13/25- Provide physical paint samples.**
7. If desired, contact Sherrell Jones-Ruff (954-628-3725 or at [sjonesruff@cgasolutions](mailto:sjonesruff@cgasolutions)) in the Building Department to set up Pre-Application meeting to review submittal and review of Building Permits.
8. If you have any questions, you can contact me at [jaldridge@ppines.com](mailto:jaldridge@ppines.com).

MEMORANDUM

May 12, 2025

From: Yelena Hall  
Landscape Planner/ Inspector

Re: (SP2025-0001) Chabad Mikveh v2

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

**Landscape Inspection Comments:**

- ~~1. Will any landscape be affected by the proposed scope of work? Will any trees, palms, shrubs, or groundcovers require removal? Please show these clearly on the plans.~~
- ~~2. Will additional parking or interior parking islands be added to the existing parking lot? As per LDC SEC. 155.663, a certain number of trees and shrubs are required depending upon the parking counts and interior parking islands.~~

Staff performed a courtesy inspection of the site to assess the overall condition of existing landscape materials. Staff identified, counted, and reviewed materials on site and as per BCPA aerials, to determine what, if anything, has been removed over time. **While the following comments will not place the Mikveh on hold, staff require a letter narrative from the ownership on how and when these issues will be addressed.**

1. Perimeter hedges located on the Western buffer appear to end abruptly, however they are required to provide a lush and continuous hedge. Any deficient shrubs require filling in, or removal and replacement, depending upon condition of existing shrubs. **Awaiting the narrative.**
  2. Two (2) Ficus trees located on the Western side of the parcel (two within one interior parking island), were observed to have significant decay at the base of the trunk, as well as significant dieback was observed in tree canopies. Both trees appear to be in poor condition and require removal and replacement, with proper species for the location. Tree species which like "wet feet" are recommended. **Awaiting the narrative.**
  3. **Awaiting the narrative.** One (1) hat-racked Live oak noted within an interior parking island, located within the gated area. Tree should be assessed by a certified arborist and an arborist report is required to determine if:
    - a. Structural pruning is required for structural safety, after hat-racking.
    - b. If the tree is in good standing regarding structural safety, regular pruning is required.
    - c. Or does this tree require removal and replacement, due to other existing conditions not noted by staff.
  4. Dead or declining palm/s noted on site. Dead palms and trees require permitted removal and replacement. **Awaiting the narrative.**
- 3. Additional comments may apply, based on responses provided by the applicant.**

*Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.*

YELENA HALL  
LIAF Certified Landscape Inspector #21-259  
Planning and Economic Development Department  
954.392.2100 (Office) • [yhall@ppines.com](mailto:yhall@ppines.com)



## DRC REVIEW FORM

**FIRE PLANS EXAMINER**

Brian Nettina, Asst. Fire Marshal  
[Bnettina@ppines.com](mailto:Bnettina@ppines.com)  
954.499.9566

**PROJECT NAME:**

**Chabad of Pembroke Pines Mikveh**

**REFERENCE #:**

SP 2025 - 01

**DATE REVIEWED:**

05/12/2025

Previous Comments Not Addressed

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

**Note: Please provide Building Construction Type**

**Note: On Fire Access (FA) Sheet, depict each building and label accordingly. Additionally, show Fire Department Paving Markings (Thermoplastic paint, Road Pavement Markings)**

**1. Place Note on Plan:** Fire Codes in effect: Florida Fire Prevention Code (FFPC) 8<sup>th</sup> Edition, effective December 31, 2023 with Broward County Amendments, which includes NFPA 101, 2021 edition, NFPA 1, 2021 edition, & State Statutes, 2019 edition (Adopted referenced publications found herein.)

**2. Access Box(s).** The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at [www.knoxbox.com](http://www.knoxbox.com).*

**NFPA 1-18.2.2.1**

**3. Place note on plan:** Notice Required for Structures with Light-frame Truss-type Construction for new and existing structures, effective 12-13-09. Declare if structure(s) are to be constructed with Light-frame truss-type Construction: (Please provide a detail on site plans addressing type of construction and placard to be posted) **FAC 69A-60.0081**

All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions. **COPP CO 52.10**

Numbers to be maintained in a conspicuous place where they can be seen and read from the street. **COPP CO 52.10 (D)**

**4. Place note on plan:** In all **new** and **existing** buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ.  
**NFPA-1:11.10.2**

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed. It is recommended that the structure is equipped with an infrastructure to allow for installation if it is later determined that a BDA is required.

An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signals strength for fire department communication in the occupancy is in compliance, in accordance with **NFPA-1:11.10.1** and **NFPA-72:24.5.2.2.1** through **NFPA-72:24.5.2.2.3**.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with **NFPA-72:14.4.12.1.2** through **NFPA-72:14.4.12.1.4** and **NFPA-24.5.2.3**.

**NOTE:** A test grid (Heat Map) plan shall be produced to ensure testing throughout the building.

**NOTE:** Signal levels shall be measured to ensure the system meets the criteria of NFPA 24.5.2.3 with a minimum inbound signal strength of -95 dBm and a minimum outbound signal on -95 dBm at the donor site.

## PLANNING DIVISION STAFF COMMENTS

### Memorandum:

**Date:** May 6, 2025  
**To:** SP 2025-0001 file  
**From:** Cole Williams, Senior Planner  
**Re:** Chabad Mikveh

---

### Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide completed public notice affidavit. The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.
  - Chapel Trail, Mauricio Muela 9050 Pines Boulevard, Suite 480 Pembroke Pines, FL 33024 954-458-5557x227 [manager@chapeltrailfl.com](mailto:manager@chapeltrailfl.com) American Management Group
  - Silverlakes Robert Moses 6941 SW 196 Avenue, Suite 27 Pembroke Pines, FL 33332 954-438-6570x240 [robert@pinespropertymanagement.com](mailto:robert@pinespropertymanagement.com)
2. Provide material board with physical samples of all colors and materials used. **Provide physical samples of the color chips**
3. ~~Label all colors and materials that are proposed.~~
4. ~~Provide setbacks.~~
5. ~~Provide square footage breakdown of the existing structures and the use associated.~~
6. Provide parking data for the entire site. Religious institutions require 8.5 parking spaces per 1,000 square feet. **Variance ongoing**
7. ~~Clarify if any lighting is being added to the site or exterior of the building, if so provide details.~~
8. ~~Provide details of the proposed signage. Clarify if the signage is illuminated.~~
9. ~~Provide operational statement for the Mikveh~~
10. Further comments may apply as more details are provided.
11. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
12. Please contact me prior to resubmittal 954-392-2100.





## DRC REVIEW FORM

**FIRE PLANS EXAMINER** Brian Nettina, Asst. Fire Marshal  
[Bnettina@ppines.com](mailto:Bnettina@ppines.com)  
954.499.9566

**PROJECT NAME:** Chabad of Pembroke Pines Mikveh  
**REFERENCE #:** SP 2025 - 01  
**DATE REVIEWED:** 02/25/2025

**THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS**

**Note: Please provide Building Construction Type**

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**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENGINEERING DIVISION**

# **DRC REVIEW FORM**



**February 25, 2025**

**PROJECT: *Chabad of Pembroke Pines Mikveh***  
**CITY REFERENCE NUMBER: *SP2025-0001***

**To: Julia Aldridge, Planner/Zoning Technician**  
**Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer**  
**Engineering Division, Public Services Department**  
**(954) 518-9046**

## **RECOMMENDATIONS:**

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The Engineering Division hereby recommends the proposed project for 'Consideration' by the Planning and Zoning Board, which is subject to the following conditions:

1. Applicant/Owner agrees to prepare a Civil Engineering Set of plans that is signed and sealed by a Professional Engineer. The required sheets are as follows:
  - a. Survey Plan – Signed and sealed by a professional surveyor
  - b. Demolition and Erosion Control Plan – Showing the impacted of the proposed work on the existing conditions and what erosion control devices will be used
  - c. Site Plan – Showing what the proposed work will look like as a finished project
  - d. Utility Plan – Showing all utilities associated with the proposed work
  - e. Grading & Drainage Plan – Showing proposed elevations and drainage system
  - f. Details – All details associated with all the proposed work
2. The survey plan should be a Topographical Survey providing elevation information for the entire property. Including topography for Johnson Street in the area adjacent to the property. The Engineer of Record (EOR) must set the building's finished floor elevation (FFE) using the survey plan as justification. See City Ordinance below:

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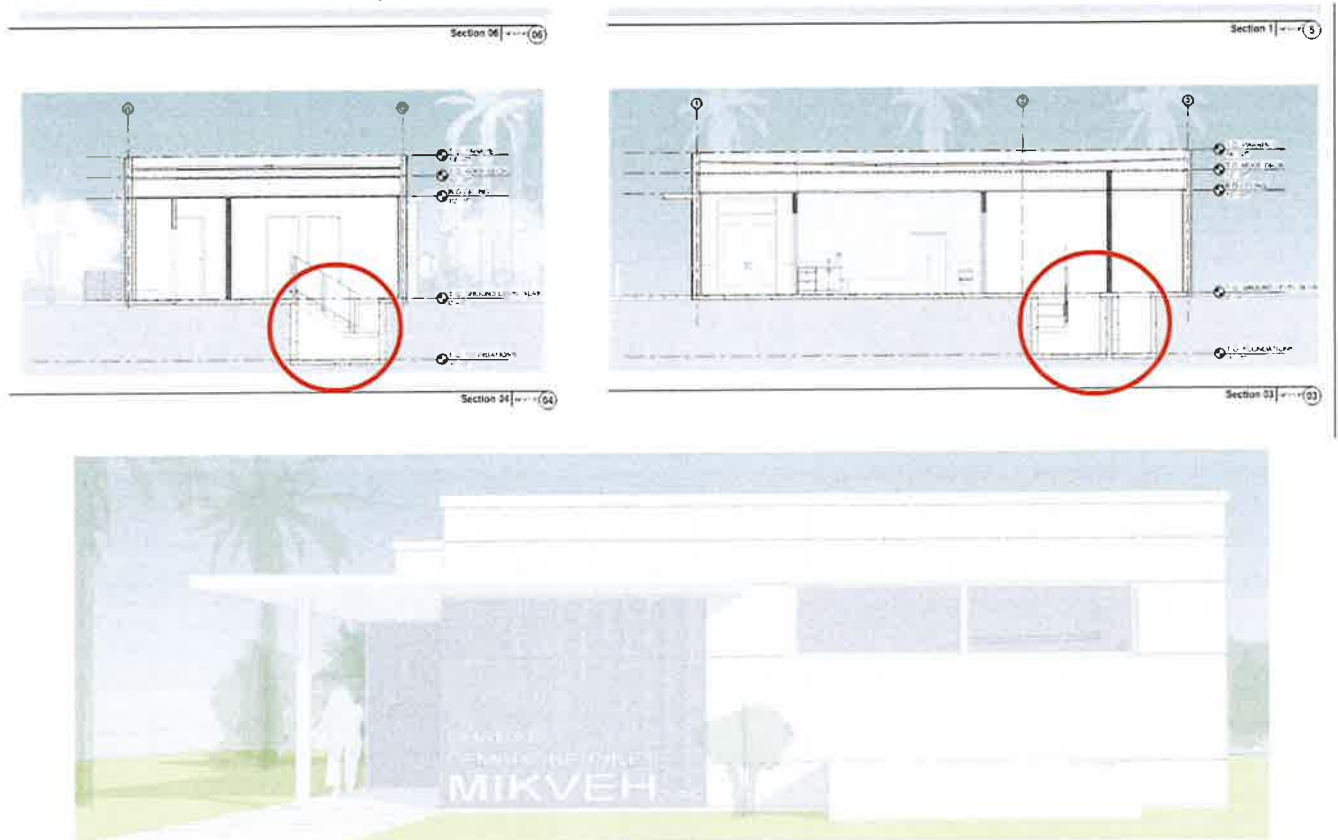
**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE LETTER  
ACCOMPANIED BY THE REVISED/UPDATED PLANS**

§ 155.6114 RELATION OF GRADE OF FLOORS TO CROWN OF STREET.

*The top surface of all floors of residential buildings shall be not less than eighteen inches (18"), and of non-residential buildings shall be not less than six inches (6"), above the highest point of the crown of all streets adjacent to the lot upon which the buildings are located.*

*(Ord. 2021-02, adopted 3-17-21; sought to be reconsidered, Commission passed 4-21-2021)*

3. What is the intent of this area? Provide more information to clarify if the intention is truly to go six feet below ground. There seems to be a misunderstanding on the datum being used, it is difficult to go deep below ground without running into the water table in Florida. All the buildings in the area are elevated, using stairs and ramps for access. Clarify if the building will be flushed to the ground level.



4. Apply for an Engineering Construction Permit application. Approval is required prior to construction.

**NOTE** that an Engineering Permit is required prior to construction. Submittal of a completed and executed Engineering Permit application, one (1) set of signed and sealed Site Engineering Plans in both hard copy and PDF format, payment of the applicable Plans Review Fees, and a Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.

**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE LETTER  
ACCOMPANIED BY THE REVISED/UPDATED PLANS**

## MEMORANDUM

February 20, 2025

From: Yelena Hall  
Landscape Planner/ Inspector

Re: (SP2025-0001) Chabad Mikveh v1

---

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

### Landscape Inspection Comments:

1. Will any landscape be affected by the proposed scope of work? Will any trees, palms, shrubs, or groundcovers require removal?
2. A site visit was performed to assess the overall condition of existing landscape materials. Staff identified, counted, and reviewed materials on site and as per BCPA aerials, to determine what, if anything, has been removed over time. Trees removed will require replacement.
3. Perimeter hedges located on the Western buffer appear to end abruptly, however they are required to provide a lush and continuous hedge. Any deficient shrubs require filling in, or removal and replacement, depending upon condition of existing shrubs.
4. Will additional parking or interior parking islands be added to the existing parking lot? As per LDC SEC. 155.663, a certain number of trees and shrubs are required depending upon the parking counts and interior parking islands.
5. Two (2) Ficus trees located on the Western side of the parcel (two within one interior parking island), were observed to have significant decay at the base of the trunk, as well as significant dieback was observed in tree canopies. Both trees appear to be in poor condition and require removal and replacement.
6. One (1) hat-racked Live oak noted within an interior parking island, located within the gated area. Tree should be assessed by a certified arborist and an arborist report is required to determine if:
  - a. Structural pruning is required for structural safety, after hat-racking.
  - b. If the tree is in good standing regarding structural safety, regular pruning is required.
  - c. Or does this tree require removal and replacement, due to other existing conditions not noted by staff.
7. Dead or declining palm/s noted on site. Dead palms and trees require permitted removal and replacement.
8. Should your landscape professional have any questions or concerns regarding the provided comments, staff can schedule a meeting or a conference call, should it be necessary.
9. Additional comments may apply, based on responses provided by the applicant.

*Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.*

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL  
LIAF Certified Landscape Inspector #21-259  
Planning and Economic Development Department  
954.392.2100 (Office) • [yhall@ppines.com](mailto:yhall@ppines.com)

## MEMORANDUM

February 18, 2025

**To:** Cole Williams, AICP  
Senior Planner

**From:** Julia Aldridge  
Planner/ Zoning Tech

**Re:** SP 2025-0001 (Chabad Mikveh)

---

The following are my comments regarding the above Site Plan:

1. Provide parking analysis showing addition meets the required parking based on square footage and use of existing structures.
2. Will there be any wall lighting provided? If so, provide all details of fixtures.
3. Provide all color names, color number, finishes, materials, etc. on both color and black and white elevations.
4. Provide sign details showing dimensions and square footage of all outside signs.
5. Will any modifications or additions be made to site lighting? Additional comments may apply.
6. Provide material board of all exterior colors, finishes, materials to be used on the façade. Label all materials and colors on the material board.
7. If desired, contact Sherrell Jones-Ruff (954-628-3725 or at [sjonesruff@cgasolutions](mailto:sjonesruff@cgasolutions)) in the Building Department to set up Pre-Application meeting to review submittal and review of Building Permits.
8. If you have any questions, you can contact me at [jaldridge@ppines.com](mailto:jaldridge@ppines.com).

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** February 12, 2025  
**To:** SP 2025-0001 file  
**From:** Cole Williams, Senior Planner  
**Re:** Chabad Mikveh

---

### **Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:**

1. Provide completed public notice affidavit. The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.
  - Chapel Trail, Mauricio Muela 9050 Pines Boulevard, Suite 480 Pembroke Pines, FL 33024 954-458-5557x227 [manager@chapeltrailfl.com](mailto:manager@chapeltrailfl.com) American Management Group
  - Silverlakes Robert Moses 6941 SW 196 Avenue, Suite 27 Pembroke Pines, FL 33332 954-438-6570x240 [robert@pinespropertymanagement.com](mailto:robert@pinespropertymanagement.com)
2. Provide material board with physical samples of all colors and materials used.
3. Label all colors and materials that are proposed.
4. Provide setbacks.
5. Provide square footage breakdown of the existing structures and the use associated.
6. Provide parking data for the entire site. Religious institutions require 8.5 parking spaces per 1,000 square feet.
7. Clarify if any lighting is being added to the site or exterior of the building, if so provide details.
8. Provide details of the proposed signage. Clarify if the signage is illuminated.
9. Provide operational statement for the Mikveh
10. Further comments may apply as more details are provided.
11. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
12. Please contact me prior to resubmittal 954-392-2100.



SUBJECT SITE AERIAL PHOTO

Chaba Mikveh (SP2025-0001, PRJ2025-0002)





# NEW MIKVEH (RELIGIOUS BATHING) CHABAD OF PEMBROKE PINES

**PROJECT LOCATION:** 18490 JOHNSON ST, PEMBROKE PINES, FL 33029

**PROJECT ISSUANCE:** SITE PLAN PACKAGE - JUNE 14, 2024

**DITMAN ARCHITECTURE PROJECT NUMBER:** 212080

SUBMITTAL FOR:



**CITY OF PEMBROKE PINES**

601 CITY CENTER WAY  
PEMBROKE PINES, FL 33025  
T 954.450.1060

ARCHITECT



**DITMAN ARCHITECTURE**

1358 WEST NEWPORT CENTER DRIVE, STE B  
DEERFIELD BEACH, FL 33442  
T 954.379.3015

LANDSCAPE ARCHITECT



**CABEZAS ALVAREZ LANDSCAPE ARCHITECTS**

80 NE 5th AVENUE  
DELRAY BEACH, FL 33483  
T 561.515.1275

CIVIL ENGINEER



**ROSS ENGINEERING, INC.**

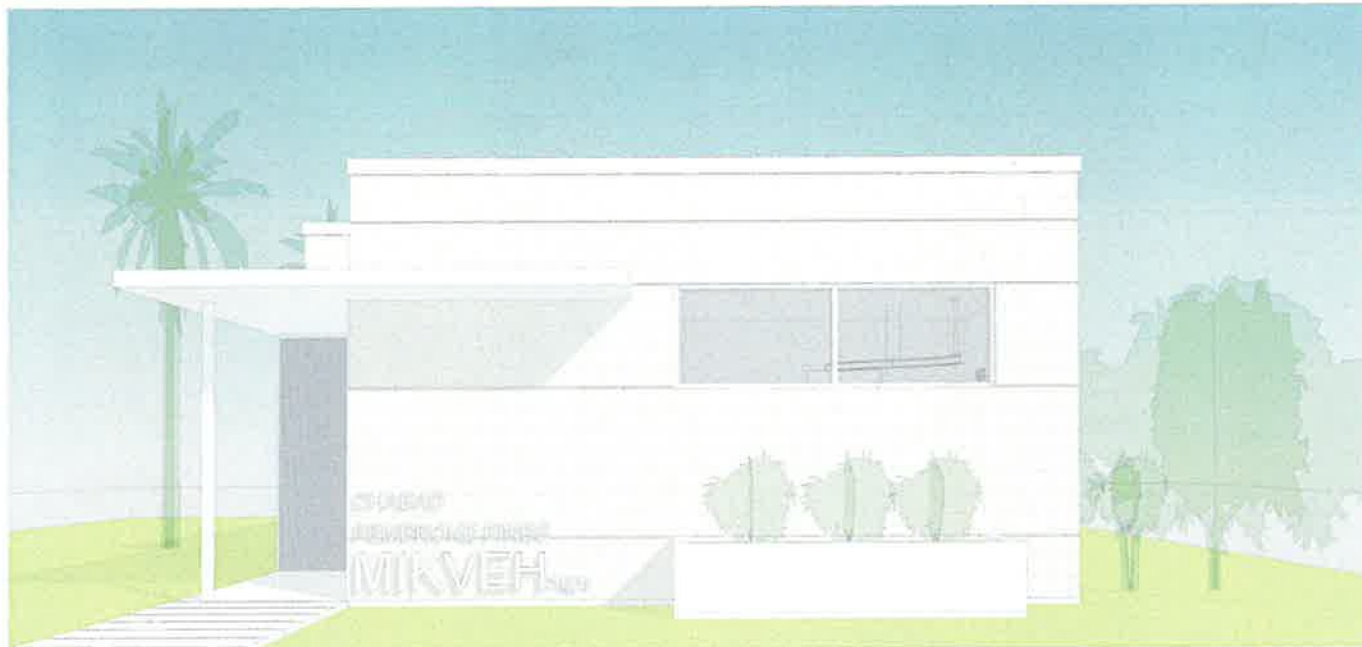
3325 SOUTH UNIVERSITY DRIVE, STE 111  
DAVIE, FL 33328  
T 954.318.0624



CONTEXT MAP N.T.S.



VICINTY MAP N.T.S.



3D PERSPECTIVE VIEW

01

## GENERAL PERMITTING NOTES

1. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS COMPLY WITH THE MINIMUM APPLICABLE CODES.

## PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF CONSTRUCTION OF A NEW 1-STORY BUILDING, APPROXIMATELY 1,315 GSF, UTILIZED FOR RELIGIOUS CEREMONIES.

BUILDING TO CONSIST OF SPLIT FACE CONCRETE BLOCKS, OPEN WEB STEEL ROOF JOISTS, SINGLE PLY ROOF MEMBRANE OVER INSULATION AND RESIDE ON A SHALLOW FOUNDATION.

## FIRE GENERAL NOTES

- BUILDING CONSTRUCTION TYPE SHALL BE TYPE IIB.
- FIRE ACCESS IS THROUGH AN EXISTING PARKING LOT AND DRIVE AISLES TO SERVICE EXISTING BUILDINGS. THE PROPOSED MIKVEH BUILDING AND ACCESS TO THE FRONT DOOR IS SITED WITHIN 18 FEET OF AN EXISTING FIRE ACCESS DRIVE AISLE, COMPLYING WITH NFPA.
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 8TH EDITION, EFFECTIVE DECEMBER 31, 2023 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2021 EDITION, NFPA 1, 2021 EDITION, & STATE STATUTES, 2019 EDITION.
- DURING CONSTRUCTION, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MEASURED TO CONFIRM COMPLIANCE WITH NFPA-1, 11, 10.1 AND NFPA-72.24.5.2.1 THROUGH NFPA-72.24.5.2.2.3.

## PROJECT DATA

PROPERTY ID	513911030091	
SITE AREA	98,924 SF (2.27 ACRES)	
BUILDING AREA	1,315 GSF PROPOSED + 7,332 GSF EXISTING + 9,247 GSF TOTAL	
FAR	0.09	
BUILDING COVERAGE	40% ALLOWED / 9.3% PROPOSED	
OPEN SPACE	2,447 SF / 2.5%	
PERVIOUS AREAS	49,817 SF / 50.2%	
IMPERVIOUS AREAS	37,613 SF / 38.0%	
EXISTING/REQUIRED		PROPOSED
LAND USE	COMMERCIAL	COMMERCIAL
ZONING	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT
BUILDING HEIGHT	35'-0"	12'-0" (T.O. FLAT ROOF)
SETBACKS		
FRONT (NORTH)	65'-0" (FIRST 40' LS)	130'-0"
REAR (SOUTH)	15'-0"	140'-0"
STREET SIDE (WEST)	40'-0" (FIRST 25' LS)	217'-7"
SIDE (EAST)	15'-0"	72'-4"
OFF-STREET PARKING (RELIGIOUS)	79 SPACES PER SEC. 155.005 8.5 SPACES PER 1,000 SF FOR 9,247 SF + 78.2	43 SPACES

## SHEET INDEX

Sheet No.	Sheet Name	4 - SITE PLAN PACKAGE REVIEW	PL - CITY'S COMMENTS DURING	PL - CITY'S COMMENTS STATUS
GENERAL				
GS-01	COVER SHEET AND INDEX			
SURVEY				
S	SURVEY			
CIVIL				
PD-1	PAVING, GRADING AND DRAINAGE PLAN			
PD-2	PAVING, GRADING AND DRAINAGE PLAN			
PD-3	PAVING, GRADING AND DRAINAGE DETAILS			
PD-4	PAVING, GRADING AND DRAINAGE DETAILS			
PD-5	STORMWATER POLLUTION PREVENTION PLAN			
PD-6	WATER AND SEWER PLAN			
PD-7	WATER AND SEWER PLAN			
PD-8	WATER AND SEWER DETAILS			
LANDSCAPE				
L-1	TREE DISPOSITION PLAN			
L-2	LANDSCAPE PLAN			
L-3	PLANTING DETAILS AND NOTES			
IR-1	IRRIGATION PLAN			
IR-2	IRRIGATION PLAN			
ARCHITECTURAL				
A1-10	ARCHITECTURAL OVERALL SITE PLAN			
A2-10	GROUND LEVEL FLOOR PLAN AND ROOF PLAN			
A6-10	EXTERIOR BUILDING ELEVATIONS			
A7-10	BUILDING SECTIONS			
A8-10	BUILDING PERSPECTIVES			
M1-11	EXTERIOR PERSPECTIVES			
A9-12	AXONOMETRIC AERIAL VIEW			
A8-13	SECTION PERSPECTIVES			
A8-14	SECTION PERSPECTIVES			

City of Pembroke Pines  
Received

SEP 4 2025

Planning & Economic Development



BUILDER

CONTRACT

SUBJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

SUBJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029



SUBMITTAL HISTORY



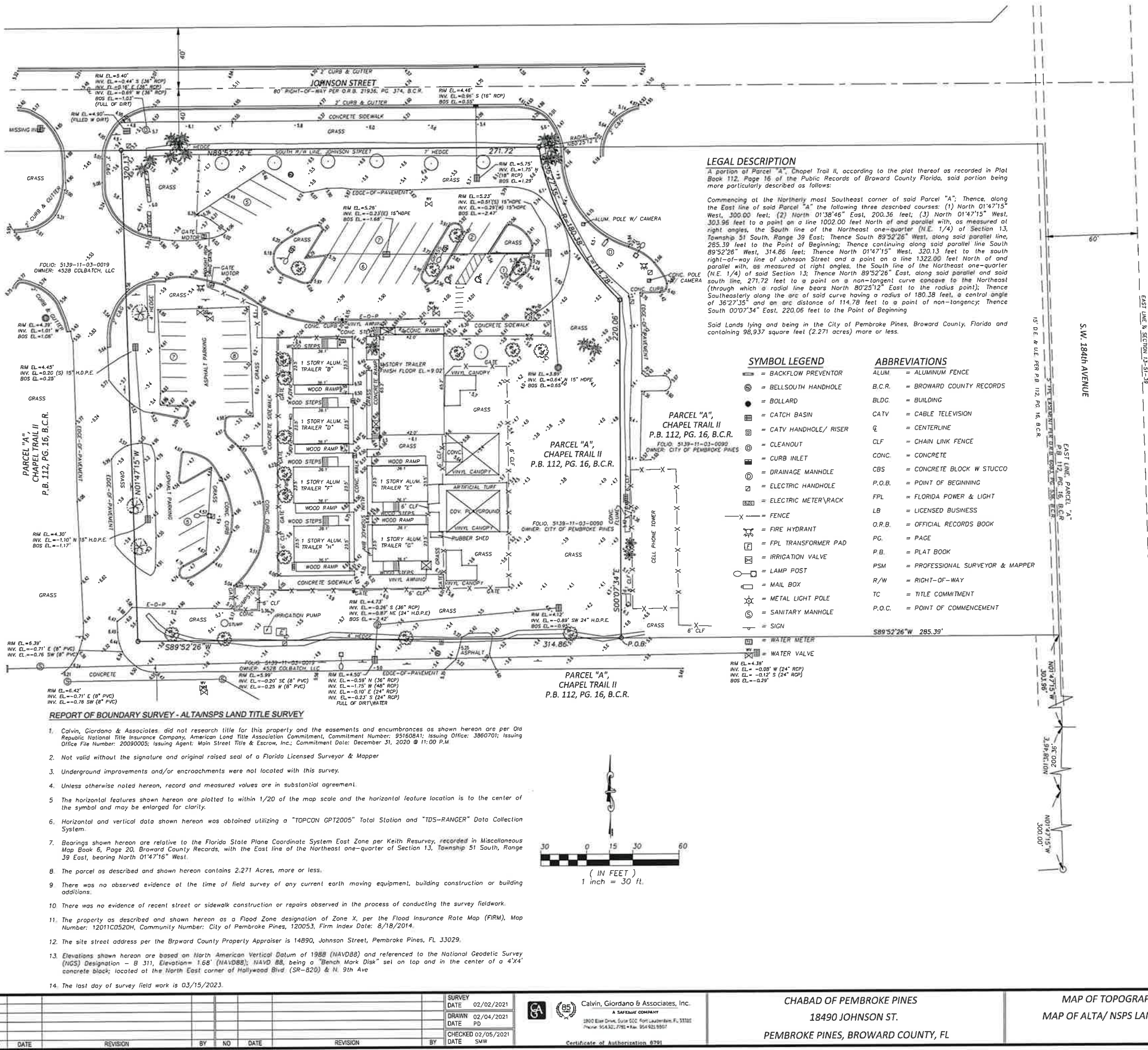
PROJECT NUMBER  
212080

SHEET NAME  
COVER SHEET AND  
INDEX

SHEET NUMBER  
G0.01



File Name: P:\Projects\2019\193249-Chabad of Pembroke Pines-Topo-2022.dwg (Plotted by: Steve Watts on Thursday, September 28, 2023 1:33:05 PM)



**TITLE COMMITMENT REPORT**

Old Republic National Title Insurance Company, American Land Title Association Commitment, Commitment Number: 951608A1; Issuing Office: 3860701; Issuing Agent: Main Street Title & Escrow, Inc.; Commitment Date: December 31, 2020 @ 11:00 P.M., has been reviewed and Schedule B-ii Exceptions as they pertain to survey matters are as follows:

5. All matters contained on the Plot of CHAPEL TRAIL II, as recorded in Plat Book 112, Page 16, as amended by O.R. Book 12512, Page 29 (re-recorded in O.R. Book 12537, Page 864), O.R. Book 14683, Page 949, O.R. Book 14683, Page 956, O.R. Book 14683, Page 961, O.R. Book 14683, Page 966, O.R. Book 14986, Page 454, O.R. Book 16279, Page 337, O.R. Book 16862, Page 728, O.R. Book 16948, Page 530, O.R. Book 19066, Page 374, O.R. Book 19772, Page 840, O.R. Book 20265, Page 861, O.R. Book 20884, Page 929, O.R. Book 23325, Page 895, O.R. Book 28783, Page 1769, O.R. Book 32287, Page 364, O.R. Book 48520, Page 1715 and O.R. Book 50568, Page 1540, together with the Agreement with Broward County, Relating to Nonvehicular Access Lines recorded in O.R. Book 23968, Page 401, and the Warranty Deed from Chapel Trail Associates, Ltd., to Broward County, recorded in O.R. Book 24013, Page 272, Public Records of Broward County, Florida "AFFECTS PARCEL-PLAT INFORMATION SHOWN HEREON"

6. All matters contained on the Plot of Florida Fruit Lands Company Subdivision No. 1, as recorded in Plat Book 2, Page 17, Public Records of Broward County, Florida "AFFECTS PARCEL, ARCEL HAS BEEN RE-PLATTED"

7. Covenants, conditions, and restrictions recorded in O.R. Book 15283, Page 283, as amended in O.R. Book 15979, Page 959, O.R. Book 15979, Page 963, O.R. Book 17189, Page 740, O.R. Book 17787, Page 926, O.R. Book 23028, Page 815, O.R. Book 25078, Page 423, O.R. Book 25934, Page 511, O.R. Book 25934, Page 514, O.R. Book 25934, Page 517, O.R. Book 25934, Page 520, O.R. Book 27092, Page 558, O.R. Book 27092, Page 560, O.R. Book 27181, Page 191, O.R. Book 27642, Page 836, O.R. Book 28438, Page 215, O.R. Book 29567, Page 1700, O.R. Book 34687, Page 61, O.R. Book 39027, Page 729, O.R. Book 39027, Page 731, O.R. Book 40123, Page 1481, O.R. Book 49021, Page 1535; Instrument Number 114748515 and Instrument Number 116039999; and Certificates recorded in Instrument Number 114955582, Instrument Number 115699256 and Instrument Number 115922905, Public Records of Broward County, Florida, which contain provisions creating easements and/or assessments "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

8. Reservations recorded in Deed Book 470, Page 160 and Deed Book 470, Page 322, as affected by Non-Use Commitments recorded in O.R. Book 10170, Page 943, O.R. Book 10170, Page 956 and O.R. Book 19058, Page 507 released in part by O.R. Book 10170, Page 951, and affected by the Surveyor's Affidavit recorded in O.R. Book 17138, Page 204, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

9. Reservations in favor of the State of Florida, as set forth in the deed from the Trustees of the Internal Improvement Fund of the State of Florida, recorded in Deed Book 631, Page 155, said Reservations have been partially released and Right of Entry assigned in O.R. Book 10234, Page 140 and O.R. Book 18140, Page 949, respectively, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE GROUND LEASE AS DESCRIBED IN SAID DOCUMENTS"

10. Reservations in favor of the State of Florida, as set forth in the deed from the Trustees of the Internal Improvement Fund of the State of Florida, recorded in Deed Book 475, Page 1; together with Non-Use Commitment No. 371 recorded in O.R. Book 10170, Page 943, Public Records of Broward County, Florida. Resolution No. 85-1080 recorded in O.R. Book 12512, Page 29 and re-recorded in O.R. Book 12537, Page 888, Public Records of Broward County, Florida "DOES NOT AFFECT"

11. Agreement to City of Pembroke Pines recorded in O.R. Book 14833, Page 747, Public Records of Broward County, Florida "DOES NOT AFFECT"

12. Notice recorded in O.R. Book 14188, Page 69, Public Records of Broward County, Florida. Ordinance No. 843 as recorded in O.R. Book 14924, Page 728, as modified in O.R. Book 20055, Page 342 and O.R. Book 23876, Page 838, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

13. Ordinance No. 2005-53 recorded in O.R. Book 41179, Page 1696, Public Records of Broward County, Florida "DOES NOT AFFECT"

14. Agreement with Starer Cable TV of Florida, Inc., recorded in O.R. Book 15716, Page 554, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

15. Drainage Easements recorded in O.R. Book 15852, Page 624, O.R. Book 15852, Page 639, O.R. Book 15979, Page 871 and O.R. Book 15979, Page 894, Public Records of Broward County, Florida Grant of Easement to Florida Power & Light Company recorded in O.R. Book 33538, Page 1623 and re-recorded in O.R. Book 33598, Page 1311, Public Records of Broward County, Florida "DOES NOT AFFECT"

16. Easement Dedication to City of Pembroke Pines recorded in O.R. Book 33084, Page 716, Public Records of Broward County, Florida "DOES NOT AFFECT"

17. Resolutions of the South Broward Drainage District recorded in O.R. Book 31125, Page 1113, O.R. Book 34440, Page 855, O.R. Book 35003, Page 1709, O.R. Book 35122, Page 497, O.R. Book 35122, Page 577, O.R. Book 38172, Page 414, together with the Final Judgment regarding Special Assessments recorded in O.R. Book 35774, Page 1884, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

18. Resolution # 2000-R-45 recorded in O.R. Book 30768, Page 830, Public Records of Broward County, Florida "DOES NOT AFFECT"

19. South Broward Drainage District Resolution # 2000-15 recorded in O.R. Book 30655, Page 1545, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE PROPERTY AS DESCRIBED IN SAID DOCUMENTS"

20. Memorandum of Agreement from City of Pembroke Pines, Florida to Nextel South Corp. d/b/a Nextel Communications recorded in O.R. Book 30433, Page 283, as assigned in O.R. Book 45847, Page 930, together with Leasehold Mortgage recorded in O.R. Book 50083, Page 1019, as affected by Modification of Mortgage recorded in Instrument Number 113457700, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE GROUND LEASE AS DESCRIBED IN SAID DOCUMENTS"

21. Ordinance No. 86-73 recorded in O.R. Book 14030, Page 494, Public Records of Broward County, Florida Easement Agreement for Drainage Canal recorded in O.R. Book 5650, Page 763, Public Records of Broward County, Florida "AFFECTS PARCEL, PARCEL AS DESCRIBED HEREON A PORTION OF THE GROUND LEASE AS DESCRIBED IN SAID DOCUMENTS"

22. Covenants, conditions and restrictions recorded February 2, 1990, in O.R. Book 17138 Page 174, Public Records of Broward County, Florida "DOES NOT AFFECT"

23. Access Easement recorded in O.R. Book 17138, Page 185, Public Records of Broward County, Florida Cross Access Agreement recorded in O.R. Book 17138, Page 194, Public Records of Broward County, Florida "DOES NOT AFFECT"

24. Development Agreement recorded in O.R. Book 9145, Page 284, together with O.R. Book 10035, Page 652, as affected by the Agreement recorded in O.R. Book 15249, Page 361 and the Addendum thereto, recorded in O.R. Book 18862, Page 723, Agreement recorded in O.R. Book 18008, Page 81, and the Resolutions with Bill of Sale Absoluties attached thereto, recorded in O.R. Book 19474, Page 518, O.R. Book 19474, Page 526 and O.R. Book 19638, Page 655, Public Records of Broward County, Florida. Agreement recorded in O.R. Book 15249, Page 390, as affected by O.R. Book 21177, Page 154, Public Records of Broward County, Florida "DOES NOT AFFECT"

25. Ingress, Egress, Access, Parking and Property Maintenance Agreement recorded in O.R. Book 42848, Page 967, Public Records of Broward County, Florida "DOES NOT AFFECT"

26. Bill of Sale recorded in Instrument Number 115657652, Public Records of Broward County, Florida "AFFECTS, GOODS AND CHATTEL PART OF THE ABOVE GROUND IMPROVEMENTS SHOWN HEREON"

**CERTIFICATE**

To: Chabad Lubavitch of Pembroke Pines, Inc.; Main Street Title & Escrow; Seacoast National Bank, ISAOA, ATMA, Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based upon were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Table A items: 1, 2, 3, 4, 8, 11, 13, 14, 16, and 18 of Table A thereto, the field work was completed on July 18, 2018.

I, Steven M. Watts, do hereby certify that this Map of Boundary Survey was done under my direct supervision and is accurate and correct to the best of my knowledge and belief. I further state that this Map of Boundary Survey was completed in accordance with the Standards of Practice for Surveying and Mapping in the State of Florida as stated in Rule 5A-17 of the Florida Administrative Code, pursuant to Florida Statutes, Chapter 472.027.

CALVIN, GIORDANO & ASSOCIATES, INC. Digitally signed by Steven M. Watts  
Date: 2023.09.28 13:36:29 -04'00'

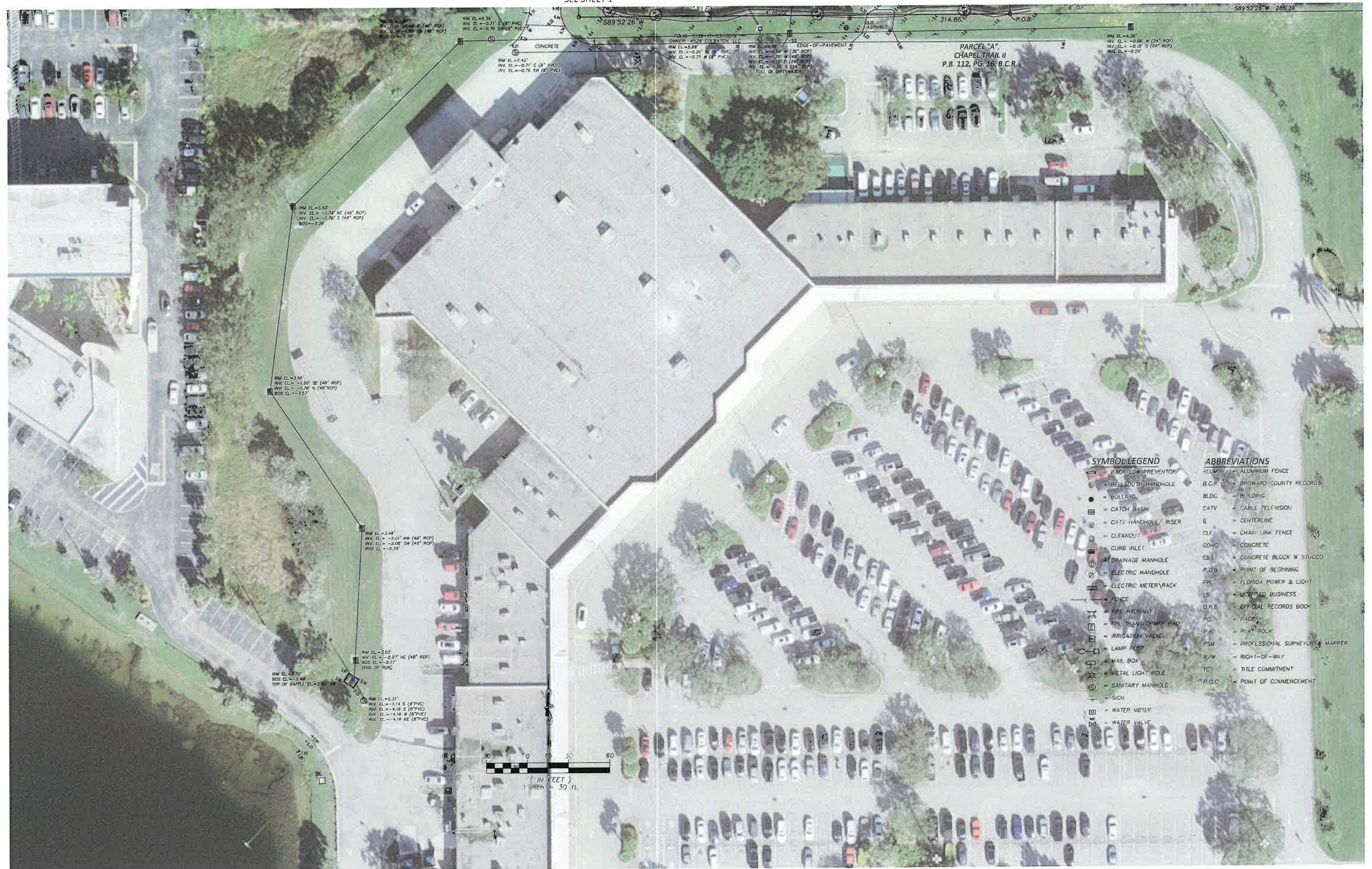
Signature: Steven M. Watts, PSM  
Professional Surveyor and Mapper  
Florida Registration No. 4588

**SEAL**  
NOT VALID WITHOUT THE SIGNATURE AND THE SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER  
STEVEN M. WATTS  
PSM NO. 4588



**SCALE**  
1" = 30'  
PROJECT NO.  
19-3249.1  
FIELD BOOK  
912

**SHEET:**  
SHEET 1 OF 1





										SURVEY
										DATE 02/02/2021
										DRAWN 02/04/2021
										DATE PD
										CHECKED 02/05/2021
NO	DATE	REVISION	BY	NO	DATE	REVISION	BY	DATE	SWW	

  Calvin, Giordano & Associates, Inc.  
A SAFEGUARD COMPANY  
1800 Eler Drive, Suite 500, Fort Lauderdale, FL 33304  
Phone: 954/321-7791 • Fax: 954/921-8857  
Certificate of Authorization: 6791

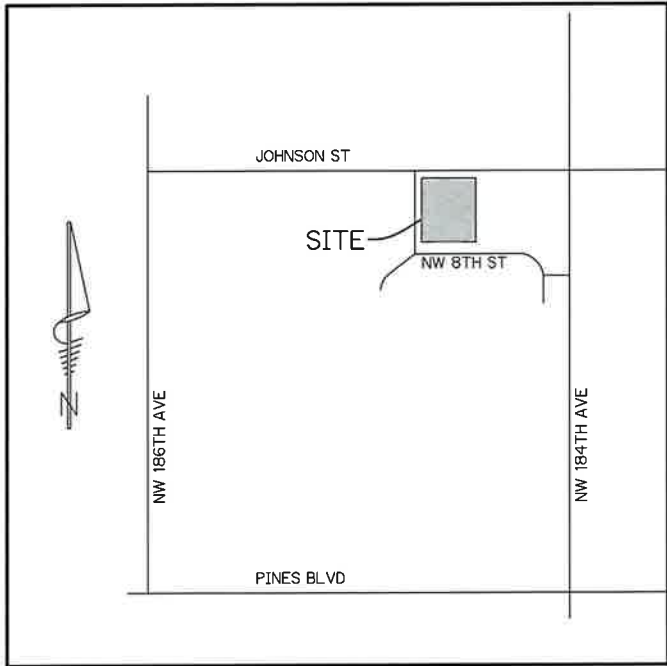
CHABAD OF PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, BROWARD COUNTY, FL

MAP OF TOPOGRAPHIC SURVEY  
MAP OF ALTA/ NSPS LAND TITLE SURVEY

SCALE 1" = 30'	SHEET:
PROJECT No 19-3249.1	SHEET 2 OF 2
FIELD BOOK 912	



PAVING, GRADING, & DRAINAGE PLAN  
FOR  
**PROPOSED MIKVEH AT**  
CHABAD OF PEMBROKE PINES  
18490 JOHNSON STREET, PEMBROKE PINES, FL



**LOCATION MAP**

N.T.S.  
SEC. 13 TWP. 51S REG. 39E

**INDEX OF SHEETS**

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	PAVING, GRADING, & DRAINAGE PLAN
3-4	PAVING, GRADING, & DRAINAGE DETAILS
5	STORMWATER POLLUTION PREVENTION PLAN

**LDi** PREPARED BY:  
**Last Devenport, Inc.**

1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)683-0872  
EB 9889

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER,  
LICENSE NO. 38707  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD  
W. LAST ON THE DATE INDICATED HERE.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON  
ANY ELECTRONIC COPIES.

PRELIMINARY ☐  
PROGRESS SET ☐  
BID SET ☐  
PERMIT SET ☐  
CONSTRUCTION SET ☐

**Ronald W Last**  
7/17/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

25-097 PD

SHEET 1 OF 5

NOTE: ALL ELEVATIONS REFER TO NAVD 1988

25-097 CHABAD PEMBROKE PINES



NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY CALVIN, GIORDANO & ASSOCIATES, INC. PROJECT NUMBER 19-3249.1, DATED 02/02/2021.
2. PROJECT SITE HAS AN EXISTING GOVERNING SOUTH FLORIDA WATER MANAGEMENT DISTRICT PERMIT APPLICATION NO. 020117-2.

# PAVING, GRADING, & DRAINAGE PLAN FOR CHABAD OF PEMBROKE PINES PEMBROKE PINES, FL

[illegible]

**LDI**  
**Last Devenport, Inc.**  
1360 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986  
EB 9889

SCALE: 1"=20'
DATE: JULY 2025
DESIGNED BY: SAS
CHECKED BY: RWL
DRAWING FILE: 25-097 PD

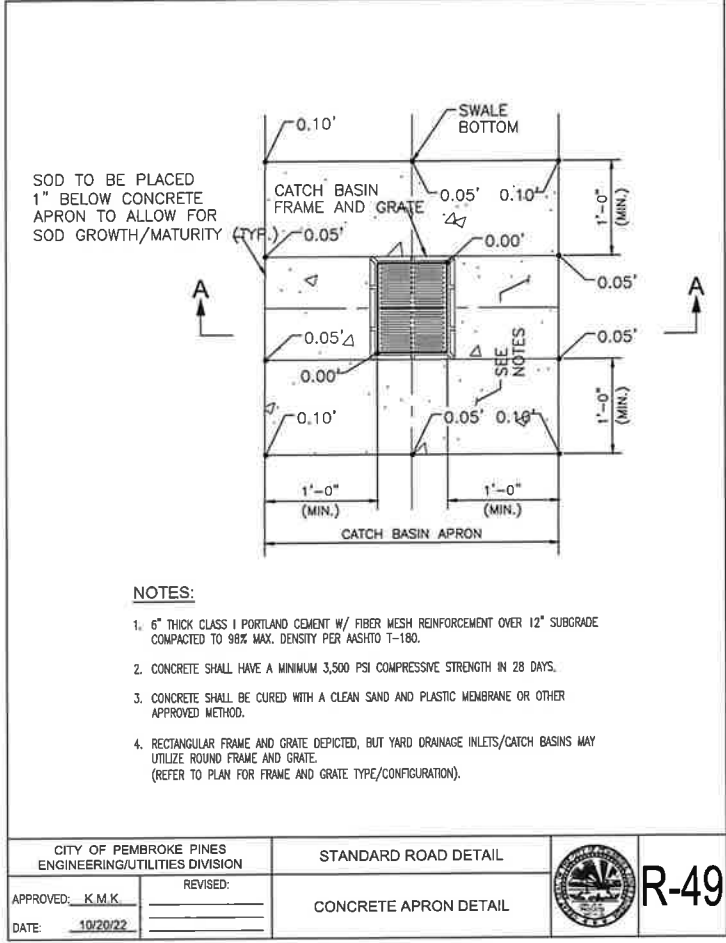
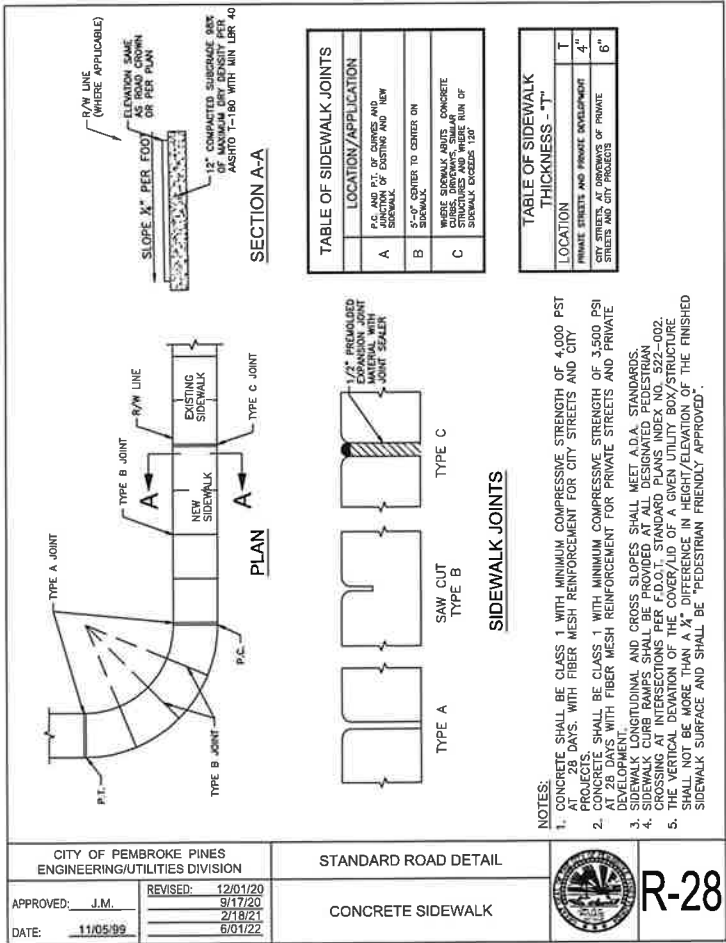
7/17/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

25-097	PD
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SHEET 2 OF 5

GENERAL NOTES

1. THE MINIMUM FINISH FLOOR ELEVATION FOR ANY STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 9.05 NAVD (WHICH IS ABOVE THE PROJECTED FLOOD STAGE PRODUCED BY THE ONE IN ONE HUNDRED YEAR FREQUENCY STORM).
2. ALL CHANGES SHALL BE APPROVED IN WRITING BY LAST DEVENPORT, INC.
3. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY, STATE OR FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED PRIOR TO INITIATING THE WORK. ALL MAINTENANCE OF TRAFFIC OPERATIONS SHALL CONFORM TO F.D.O.T. INDEX 600.
4. THE CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770), 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
5. AS-BUILTS - THE CONTRACTOR SHALL SUBMIT "AS-BUILT" INFORMATION OBTAINED BY A FLORIDA REGISTERED LAND SURVEYOR. INFORMATION SHALL BE IN A FORMAT SPECIFIED BY THE GOVERNING AGENCIES.
6. GUARANTY - ALL MATERIAL AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, INSTALLATION AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART FOR THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTY PERIOD, THE AFFECTED PART, PARTS OR MATERIALS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
7. ELEVATIONS - ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM 1988.
8. SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
9. CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION, ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
10. GUMBO - WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.
11. MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY SHALL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL.
12. SOD - WHERE SOD IS SHOWN, LOWER THE GROUND 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.
13. SUBGRADE - SHALL BE COMPACTED AS NOTED ON THE PLANS AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE A.A.S.H.T.O. T-180 SPECIFICATIONS. SUBGRADE SHALL BE 12" THICK AND EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER OR TYPE "D" CURB. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE PER FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, LATEST EDITION.
14. BASE - APPROVED LOCAL BASE MATERIAL SHALL BE COMPACTED TO NOT LESS THAN 98% MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. T-180 SPECIFICATIONS AND AS CALLED FOR IN FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION.
15. PRIME COAT - BITUMINOUS PRIME COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD, UNLESS A DIFFERENT RATE IS DIRECTED BY THE ENGINEER.
16. TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
17. SURFACE COURSE - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM WITH THE REQUIREMENTS OF THE FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION. THE MINIMUM COMPACTED THICKNESS TO BE AS NOTED ON PLANS.
18. PAVEMENT MARKINGS AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, BROWARD COUNTY TYPICAL NO. T-P-24, AND THE CITY OF PEMBROKE PINES.
19. CONCRETE - ALL CONCRETE SHALL DEVELOP 2500 P.S.I. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 P.S.I. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
20. ANY EXISTING ROADWAY AND/OR UTILITY THAT IS DAMAGED BY THE CONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE ENGINEER.
21. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FLORIDA D.O.T. SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (A.A.S.H.T.O.) T-99 SPECIFICATIONS.
22. UTILITIES - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXACT LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY DEVIATION FROM WHAT IS SHOWN ON THE PLAN.
23. ALL PIPE LENGTHS AND CENTERLINE SLOPE LENGTHS SHOWN ON THESE DRAWINGS ARE SCALED DISTANCES. THE CONTRACTOR SHALL CONFIRM ALL MEASUREMENTS IN THE FIELD AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY WITH THE DRAWINGS PRIOR TO PERFORMING THE WORK.
24. BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN:
- A. ALL RUNOFF SHALL BE ROUTED THROUGH THE WATER MANAGEMENT SYSTEM UNLESS THE CONTRACTOR SUBMITS A SEPARATE EROSION CONTROL PLAN.
- B. GRADE THE PERIMETER OF THE SITE TO ENSURE THAT RUNOFF DURING CONSTRUCTION DOES NOT FLOW DIRECTLY TO ADJACENT LANDS. PROVIDE SILT FENCES IN CONFORMANCE WITH F.D.O.T. STANDARD INDEX 120, OR EQUIVALENT SEDIMENT CONTROLS, AROUND THE ENTIRE WORK AREA DURING CONSTRUCTION.
- C. STABILIZATION IN THE FORM OF A VEGETATIVE BUFFER (SEED AND MULCH, SOD, TREES, ETC.) SHALL BE INSTALLED ON ANY AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION SHALL BE IN PLACE WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A LOG OF THE DATES OF ALL MAJOR GRADING ACTIVITIES. THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, AND THE DATES WHEN EACH STABILIZATION TECHNIQUE IS INITIATED.
- D. INSTALL BASEROCK AT THE CONSTRUCTION ENTRANCE TO LIMIT OFF-SITE TRACKING OF SEDIMENTS DURING CONSTRUCTION, AS NECESSARY, OR AS DIRECTED BY THE ENGINEER.
- E. THE SITE SHALL BE WATERED TO LIMIT DUST POLLUTION AS NEEDED OR AS DIRECTED BY THE ENGINEER.
- F. FERTILIZERS AND PESTICIDES SHALL BE APPLIED ONLY AT THE RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.
- G. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS OF THE TEMPORARY AND PERMANENT STABILIZATION DEVICES. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION SITE WITHIN 24 HOURS OF A STORM WITH A RAINFALL DEPTH OF 1/2" OR MORE, BUT NOT LESS FREQUENTLY THAN ONCE PER WEEK FOR DEFICIENCIES IN THE STORMWATER POLLUTION PREVENTION TECHNIQUES BEING USED. SHOULD THE STORMWATER POLLUTION PREVENTION TECHNIQUES BE FOUND TO BE INEFFECTIVE OR IN POOR CONDITION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND, WITHIN 72 HOURS, REPAIR OR REPLACE THEM AS NECESSARY AS DIRECTED BY THE ENGINEER.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIRS OF THE EROSION AND SEDIMENT CONTROL DEVICES UNTIL AN AREA IS DETERMINED BY THE ENGINEER TO BE PERMANENTLY STABILIZED AT WHICH TIME THE CONTRACTOR SHALL REMOVE ANY TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- I. THE CONTRACTOR SHALL REMOVE BUILT-UP SEDIMENT FROM STAKED SILT FENCES WHEN IT REACHES A HEIGHT OF 1/3 THE HEIGHT OF THE BARRIER OR WHEN WATER FLOW IS IMPEDED. THE CONTRACTOR SHALL INSPECT AND REPAIR ANY TEMPORARY OR PERMANENT SEEDING OR SODDING, AS NEEDED.
- J. THE CONTRACTOR SHALL MAINTAIN A COPY OF THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL LOGS AND INSPECTION REPORTS AS MENTIONED IN THE SWPPP ON SITE AT ALL TIMES.
- K. THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND (RULE 62-521.300(4), F.A.C.) TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST ONE WEEK PRIOR TO CONSTRUCTION. A COPY OF THE NOI SHALL BE PROVIDED TO THE ENGINEER AND LOCAL AGENCIES WITH THE SHOP DRAWINGS SUBMITTAL.
- L. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) OF GENERIC PERMIT COVERAGE (RULE 62-621.300(6), F.A.C.) TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AT THE COMPLETION OF THE PROJECT. A COPY OF THE NOT SHALL BE PROVIDED TO THE ENGINEER AND LOCAL AGENCIES WITH THE FINAL DOCUMENTS AND PRIOR TO THE FINAL INSPECTION.



PAVING, GRADING, & DRAINAGE DETAILS FOR CHABAD OF PEMBROKE PINES PEMBROKE PINES, FL

REVISTONS	DATE	BY	CK

EB 9889

**LDI** Last Devenport, Inc.

1860 Old Okeetobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

SCALE: 1"=20'

DATE: JULY 2025

DESIGNED BY: SAS

CHECKED BY:RWL

DRAWING FILE: 25-097 PD





STORMWATER POLLUTION PREVENTION PLAN  
FOR  
CHABAD OF PEMBROKE PINES  
PEMBROKE PINES, FL

DATE BY CK

REVISIONS

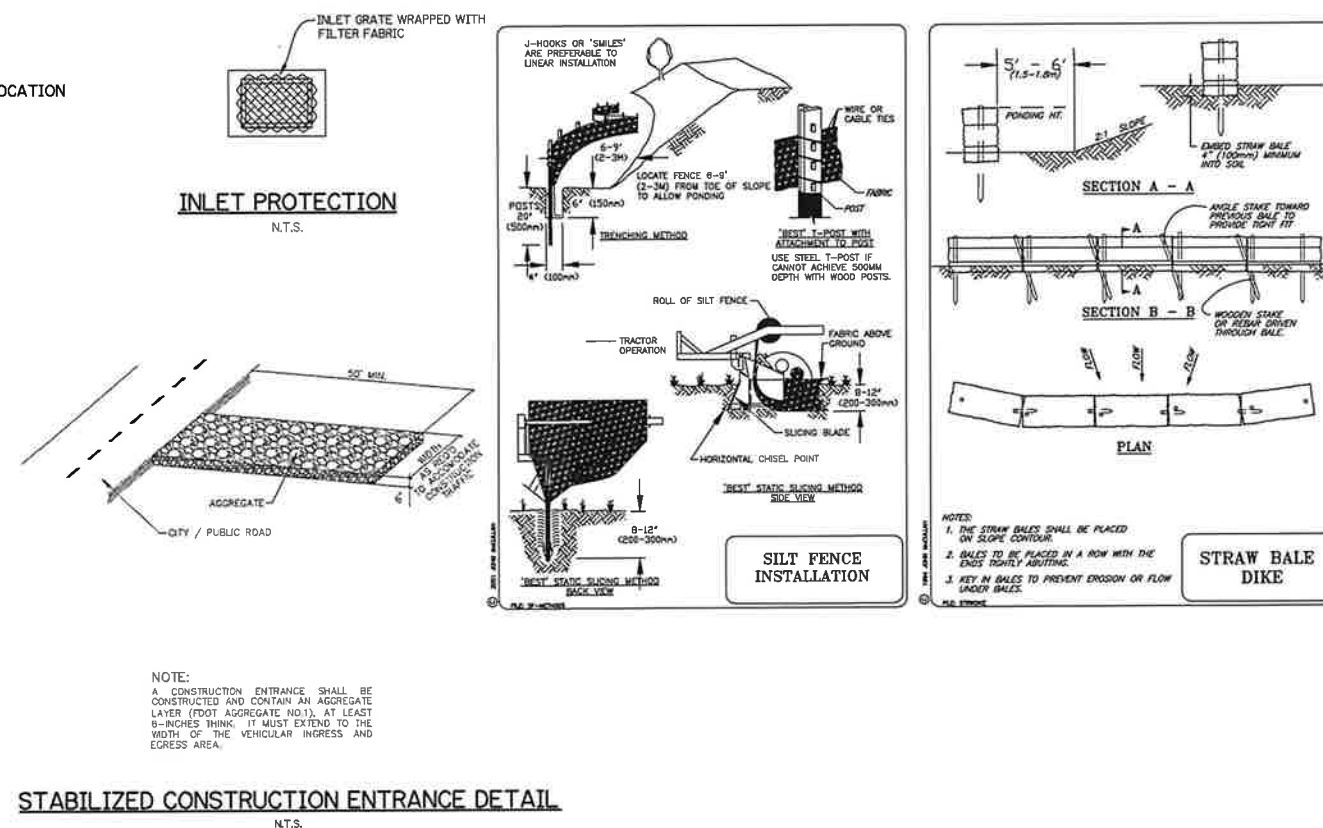
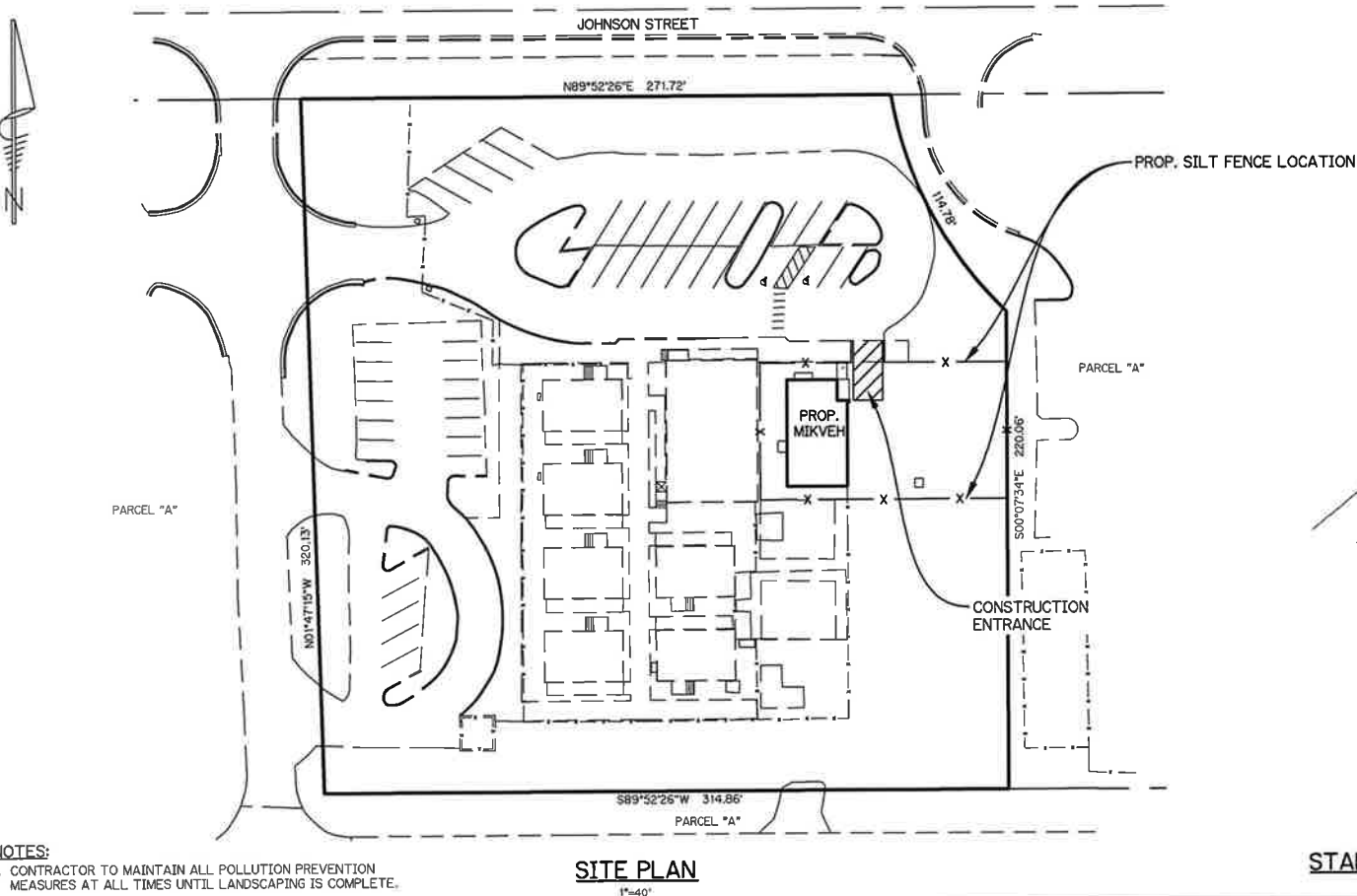
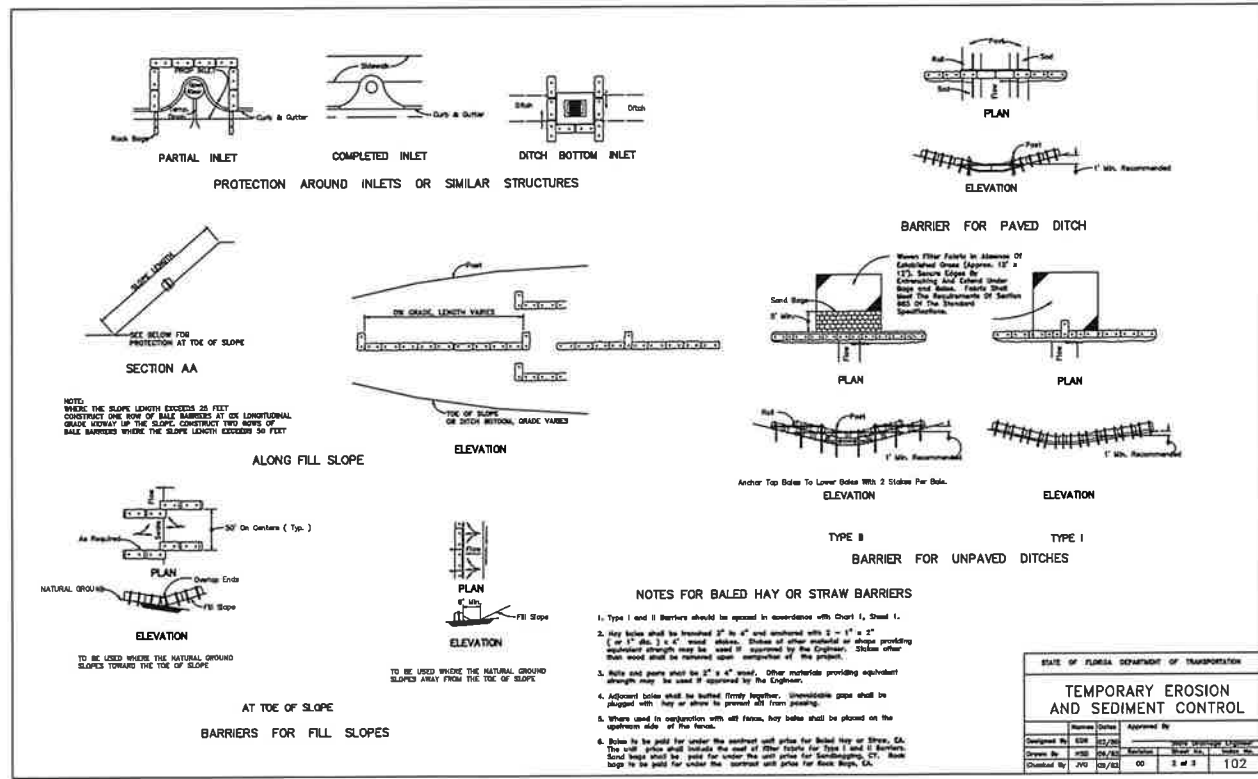
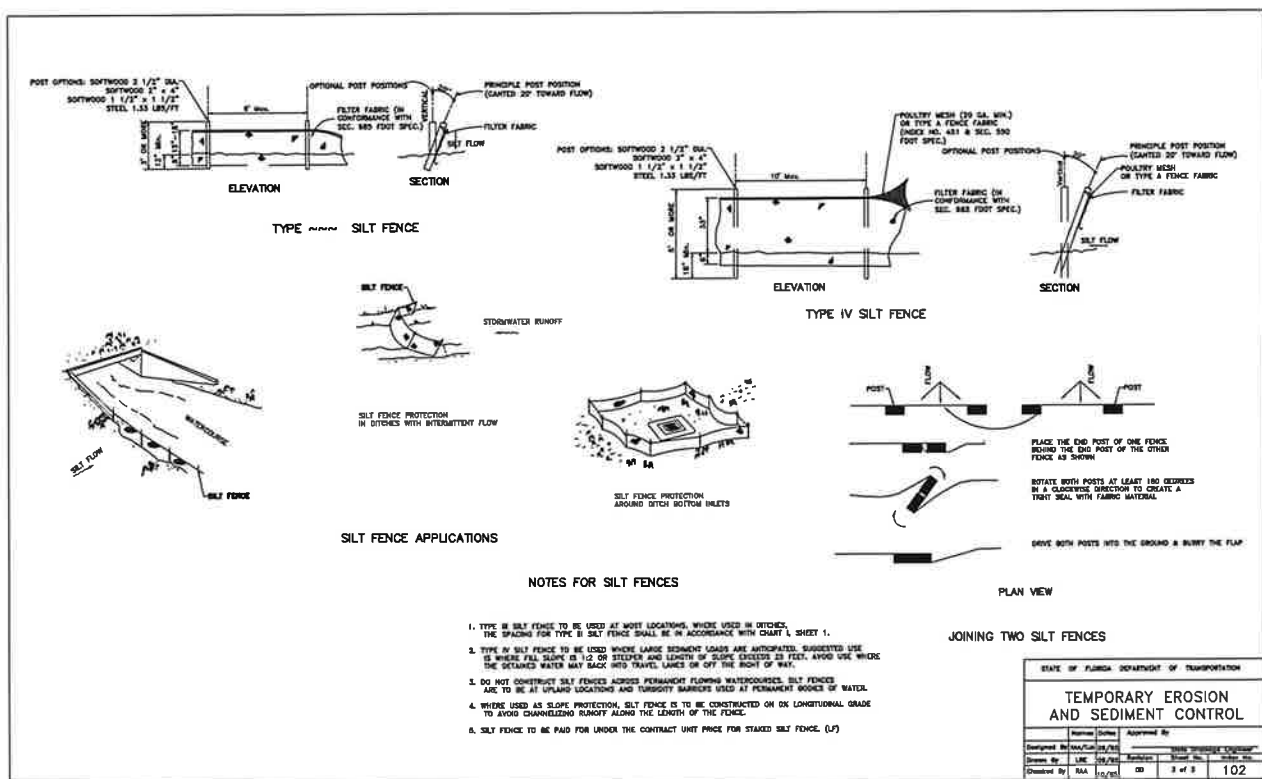
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**LDI**  
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7/17/2025  
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FLORIDA P.E. #38707

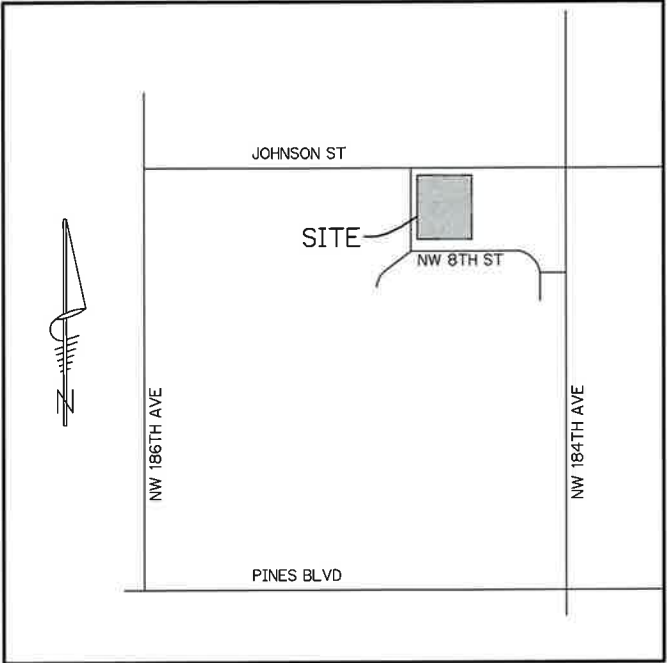
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SHEET 5 OF 5





WATER & SEWER PLAN  
FOR  
**PROPOSED MIKVEH AT**  
CHABAD OF PEMBROKE PINES  
18490 JOHNSON STREET, PEMBROKE PINES, FL



**LOCATION MAP**

N.T.S.

SEC. 13 TWP. 51S REG. 39E

**INDEX OF SHEETS**

<u>SHEET No.</u>	<u>DESCRIPTION</u>
1	COVER
2	WATER & SEWER PLAN
3	WATER & SEWER DETAILS



PREPARED BY:

**Last Devenport, Inc.**

1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)683-0872  
EB 9889

RONALD W. LAST, STATE OF FLORIDA, PROFESSIONAL ENGINEER,  
LICENSE NO. 39707  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD  
W. LAST ON THE DATE INDICATED HERE.  
7/17/2025  
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PERMIT SET ☐  
CONSTRUCTION SET ☐

**Ronald W Last**  
Digitally signed by  
Ronald W Last  
DN: cn=Ronald W Last, o=Last Devenport, Inc., email=Ronald.W.Last@ldi.com, c=US  
7/17/2025 14:07  
RONALD W. LAST, P.E.  
FLORIDA P.E. #39707

25-097 WS

SHEET 1 OF 3

NOTE: ALL ELEVATIONS REFER TO NAVD 1988

25-097 CHABAD PEMBROKE PINES

WATER & SEWER PLAN  
FOR  
CHABAD OF PEMBROKE PINES  
PEMBROKE PINES, FL

REVISIONS	DATE	BY	CK

EB 9869

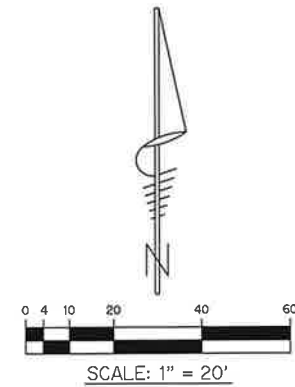
**LDI**  
Last Devenport, Inc.  
1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561) 615-6567 fax (561) 615-3986

SCALE: 1"=20'  
DATE: JULY 2025  
DESIGNED BY: SAS  
CHECKED BY: RWL  
DRAWING FILE:  
25-097 WS

7/17/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #36707

25-097 WS

SHEET 2 OF 3



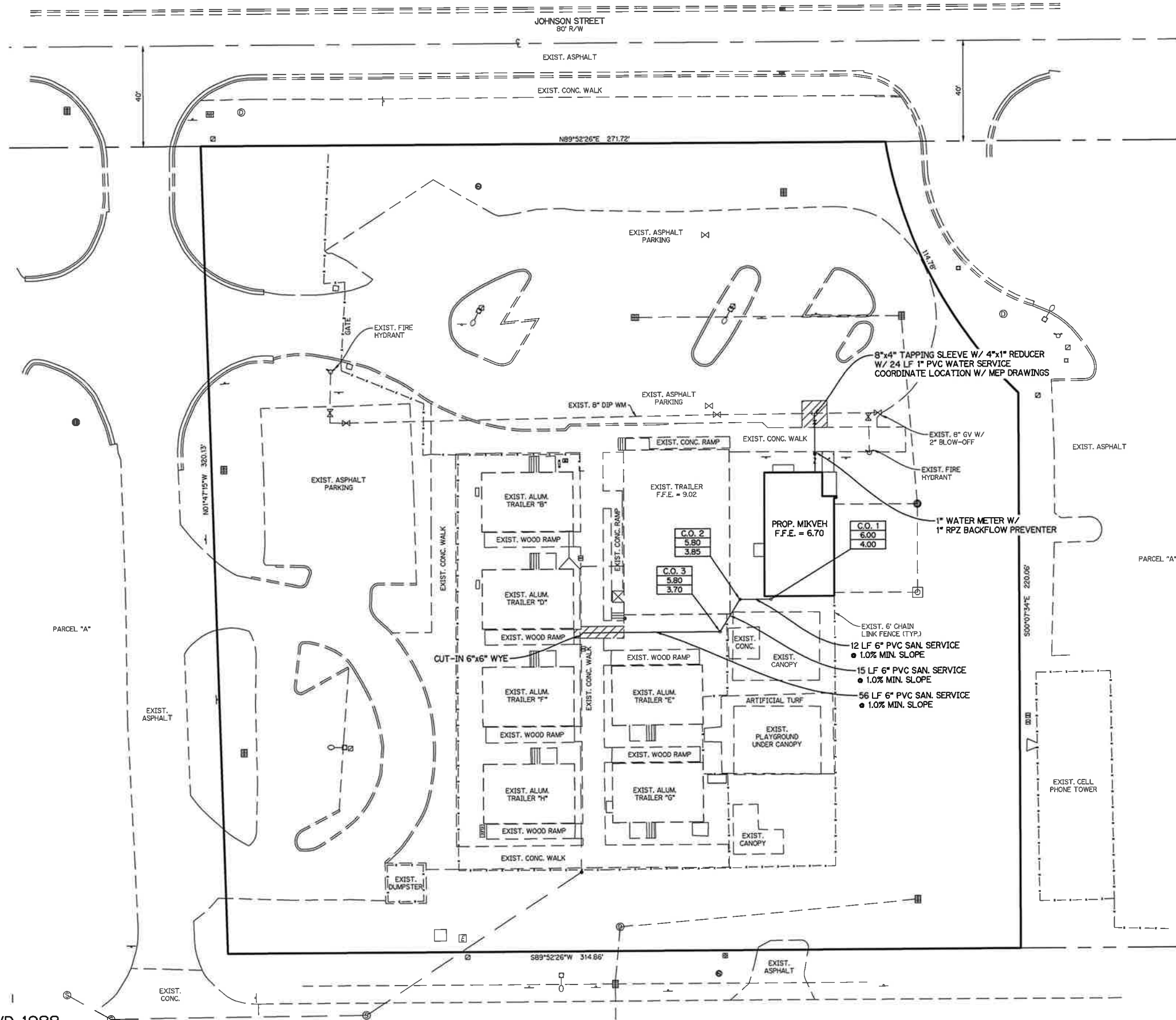
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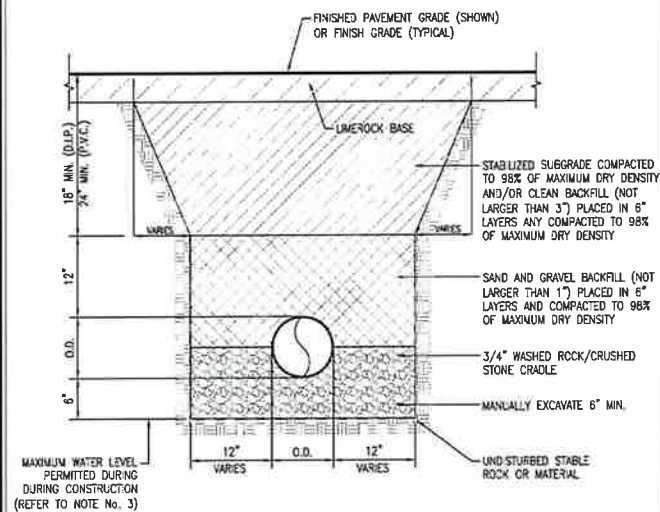
FINISH FLOOR ELEVATION	F.F.E.
EXISTING BACKFLOW PREVENTER	—
EXISTING CAMERA POLE	□
EXISTING CATCH BASIN	■
EXISTING CATV HANDHOLE/RISER	■
EXISTING CLEANOUT	•
EXISTING CURB INLET	■
EXISTING DRAINAGE MANHOLE	⊙
EXISTING ELECTRIC HANDHOLE	⊠
EXISTING ELECTRIC METER	⊠
EXISTING FIRE HYDRANT	⊠
EXISTING TRANSFORMER	⊠
EXISTING IRRIGATION VALVE	⊠
EXISTING LAMP POST	⊠
EXISTING SANITARY MANHOLE	⊙
EXISTING SIGN	⊠
EXISTING TELEPHONE RISER	⊙
EXISTING WATER METER	⊠
EXISTING WATER VALVE	⊠
EXISTING YARD DRAIN	⊠
PAVEMENT REPAIR	▨
CLEANOUT	C.O.
RIM EL.	0.00
INVERT EL.	0.00

NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY CALVIN, GIORDANO & ASSOCIATES, INC., PROJECT NUMBER 19-3249.1, DATED 02/02/2021.

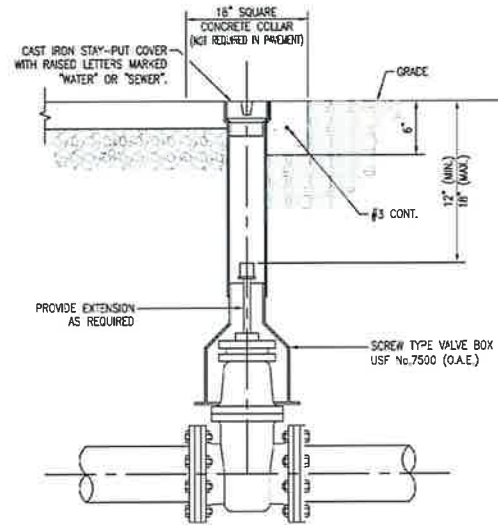
NOTE: ALL ELEVATIONS REFER TO NAVD 1988





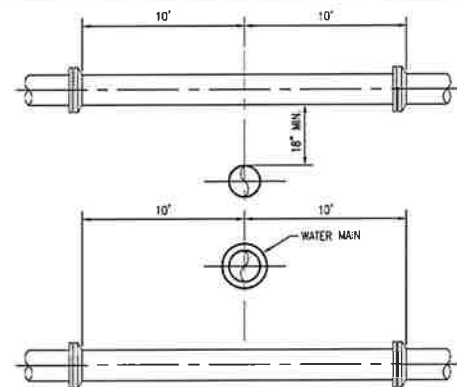
- NOTES:
1. MAXIMUM DENSITY SHALL BE DETERMINED BY AASHTO T-190.
  2. MAXIMUM DEPTH TO BOTTOM OF PRESSURE MAINS SHALL NOT EXCEED SIX (6) FEET UNLESS OTHERWISE APPROVED BY THE CITY OF PEMBROKE PINES UTILITY DEPARTMENT.
  3. MAXIMUM WATER LEVEL IN TRENCH SHALL BE MAINTAINED AT BOTTOM OF "BEDDING MATERIAL" UNLESS SOI AND WATER TABLE CONDITIONS DICTATE OTHERWISE, THEN AN ALTERNATE METHOD OF CONTROLLING THE WATER LEVEL IN THE TRENCH AND/OR ALTERNATE METHOD OF INSTALLATION IN "WET CONDITIONS" SHALL BE PROPOSED BY CONTRACTOR AND ENGINEER AND APPROVED BY CITY'S FIELD REPRESENTATIVE FOR FIELD USE.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: 8/15/20	WATER AND SEWER TRENCH BACKFILL	G-1



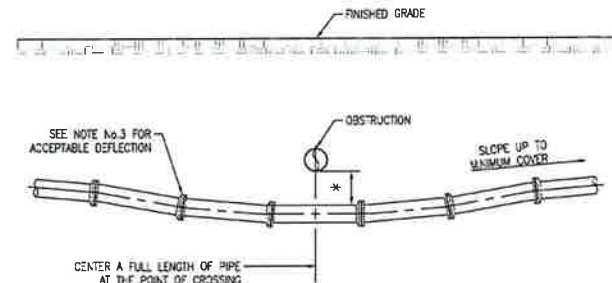
- NOTE:
1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR PRIVATE STREETS AND PRIVATE DEVELOPMENT.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: 1/23/23	VALVE AND BOX	G-3



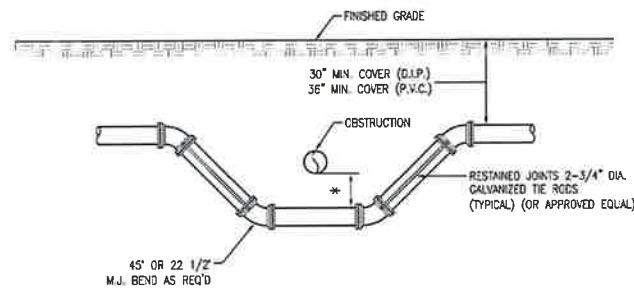
- NOTES:
1. A WATER MAIN SHOULD CROSS OVER PIPES WHEREVER POSSIBLE MAINTAINING A 36 INCH COVER FOR PVC, 30 INCH COVER FOR D.I.P. AND 18 INCH SEPARATION AS MINIMUMS.
  2. WHEREVER A WATER MAIN CROSSES UNDER A SEWER MAIN, OR CROSSES OVER WITH LESS THAN 18 INCHES VERTICAL SEPARATION, THEN D.I.P. SHALL BE USED FOR BOTH PIPES FOR A DISTANCE OF 20 FEET CENTERED ON CROSSING WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING.
  3. 18 INCH SEPARATION SHOULD BE MAINTAINED BETWEEN ALL PIPES (STORM, SEWER, WATER) WHENEVER POSSIBLE. 12 INCHES IS THE ABSOLUTE MINIMUM SEPARATION WITH D.I.P. REQUIRED FOR ANY SEPARATION LESS THAN 18 INCHES.
  4. MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN WATER AND SEWER AS A MINIMUM.
  5. 3 FOOT HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN UTILITIES AND ANY OBSTRUCTIONS (CATCH BASINS, CONCRETE POLES, ETC.).
  6. 5 FOOT HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN UTILITIES AND TREES.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: UTILITY CROSSING GENERAL REQUIREMENTS		G-4



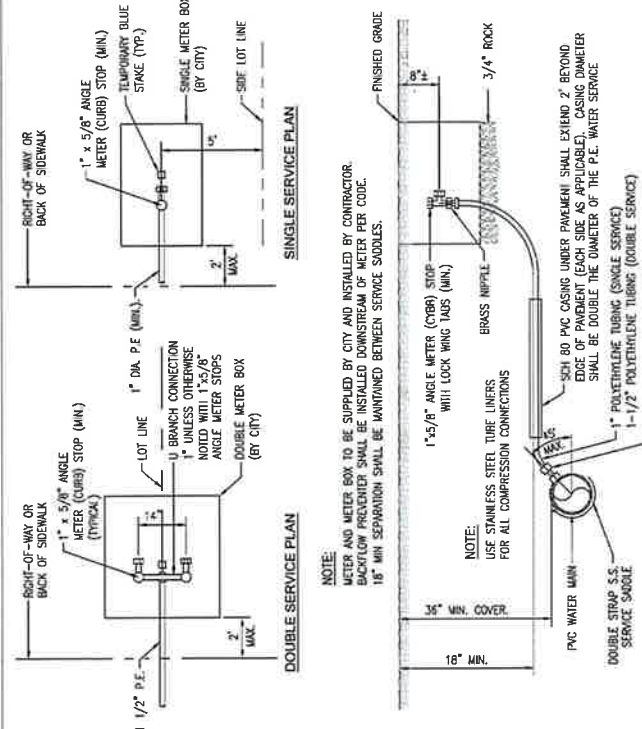
- NOTES:
1. (\*) 18" MINIMUM CLEARANCE REQUIRED FOR WATER AND SEWER MAIN CROSSINGS, 12" MINIMUM CLEARANCE REQUIRED FOR OTHER UTILITY CROSSINGS.
  2. THE DEFLECTION TYPE CROSSING SHALL BE USED WHENEVER POSSIBLE. ONLY UNDER SPECIFIC ORDERS BY THE ENGINEER SHALL THE FITTING TYPE CROSSING BE ALLOWED.
  3. CONSTRUCT CROSSING USING 75% OF MANUFACTURES MAXIMUM JOINT DEFLECTION (MAXIMUM).

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: UTILITY CROSSING DEFLECTION TYPE		G-5

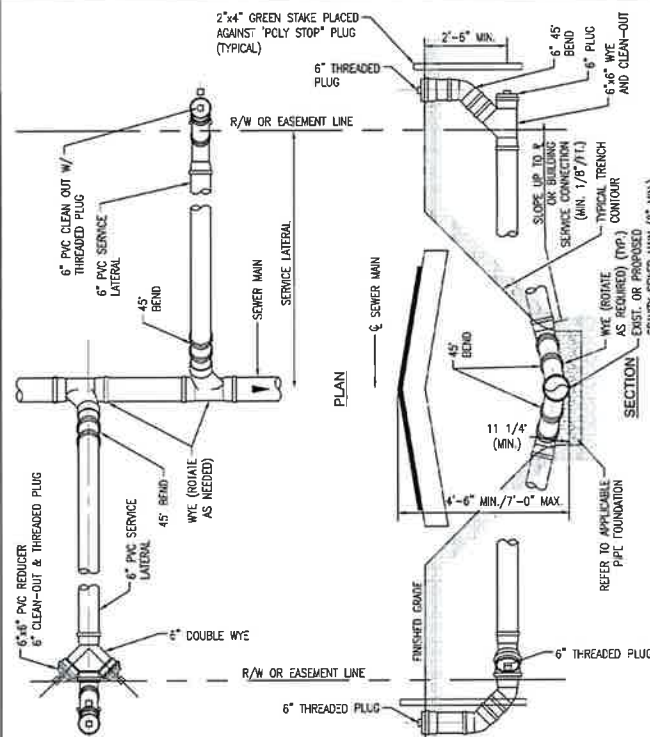


- NOTES:
1. (\*) 18" MINIMUM CLEARANCE REQUIRED FOR WATER AND SEWER MAIN CROSSINGS, 12" MINIMUM CLEARANCE REQUIRED FOR OTHER UTILITY CROSSINGS.
  2. COAT THE RODS WITH A COAL TAR ENAMEL AFTER ASSEMBLY (2 COATS MIN.)
  3. THE RODS MAY BE OMITTED WHEN OTHER APPROVED METHODS OF RESTRAINING ARE UTILIZED.

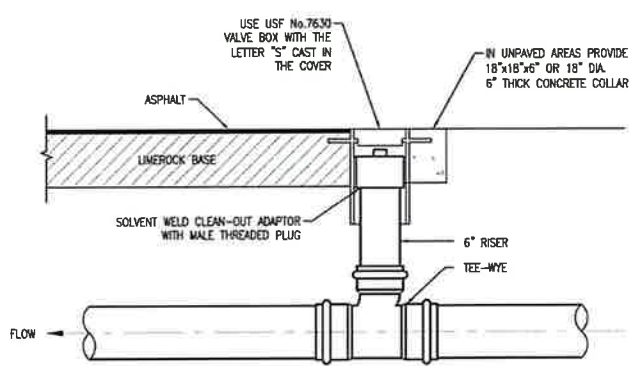
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: UTILITY CROSSING FITTING TYPE		G-6



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: TYPICAL SINGLE & DOUBLE SERVICE CONNECTION		W-4



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD SANITARY SEWER DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: SHALLOW SERVICE LATERAL		S-7



- NOTES:
1. ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND CAP. CUT BACK TO FINISHED GRADE DURING PAVING AND/OR PROJECT CLOSE-OUT.
  2. CONCRETE SHALL BE CLASS 1 PORTLAND CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD SANITARY SEWER DETAIL		
APPROVED: J.M. DATE: 11/05/99	REVISD: CLEAN OUT		S-10

WATER & SEWER DETAILS

FOR  
CHABAD OF PEMBROKE PINES  
PEMBROKE PINES, FL

DATE BY CK

REVISIONS

EB 9889

**LDI**  
Last Devenport, Inc.  
1860 Old Okeechobee Road, Suite 504  
West Palm Beach, FL 33409  
phone (561)615-6567 fax (561)615-3986

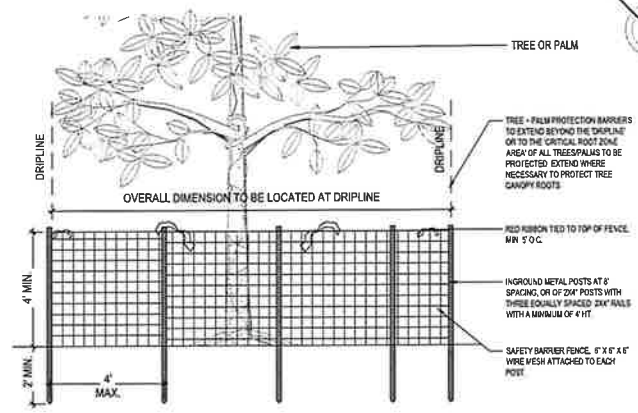
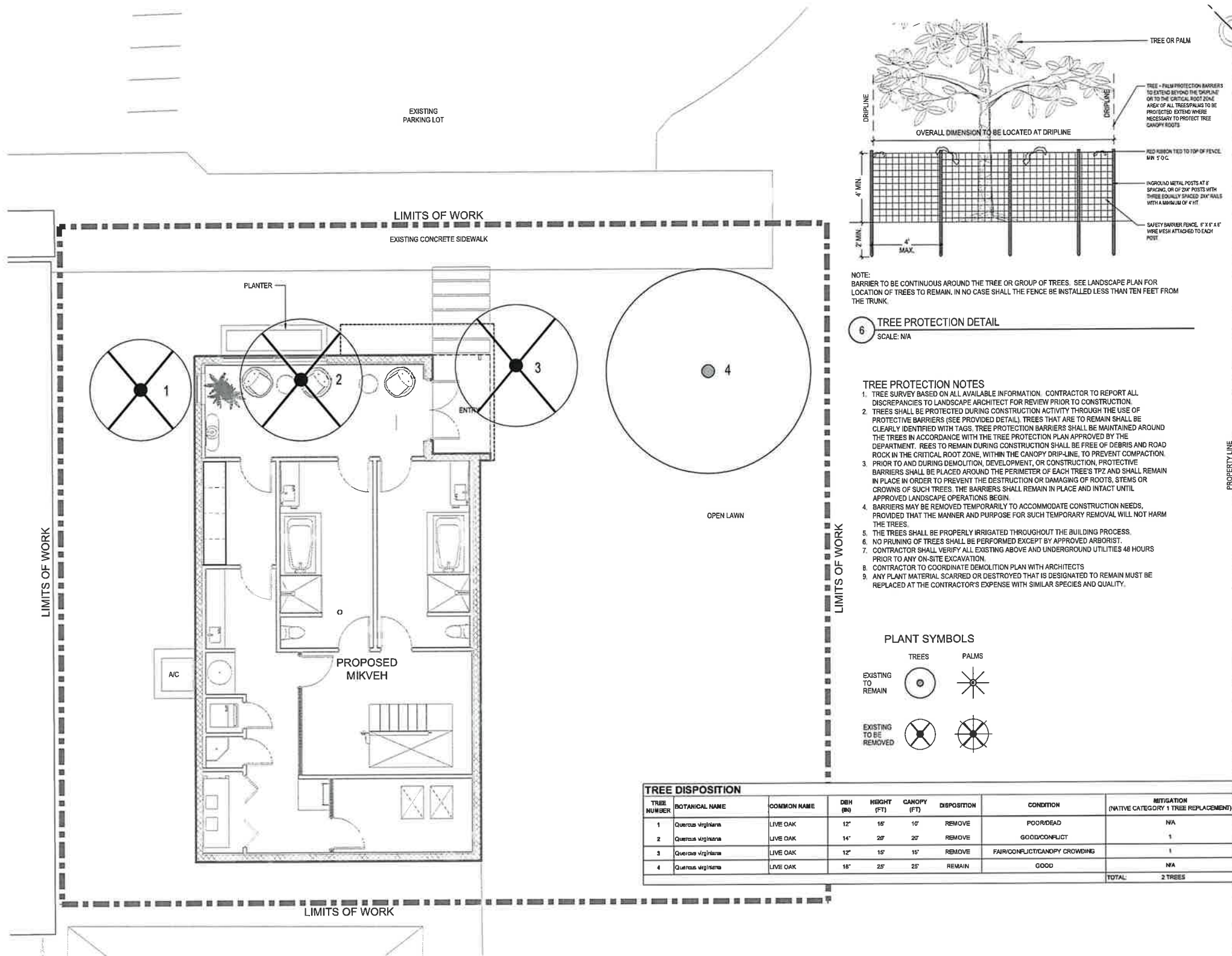
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DATE: JULY 2025  
DESIGNED BY: SAS  
CHECKED BY:RWL  
DRAWING FILE:  
25-097 WS

7/17/2025  
RONALD W. LAST, P.E.  
FLORIDA P.E. #38707

25-097 WS

SHEET 3 OF 3

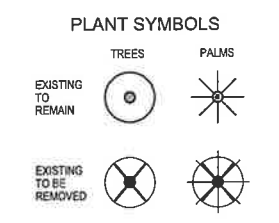




NOTE: BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN. IN NO CASE SHALL THE FENCE BE INSTALLED LESS THAN TEN FEET FROM THE TRUNK.

6 TREE PROTECTION DETAIL  
SCALE: N/A

- TREE PROTECTION NOTES**
1. TREE SURVEY BASED ON ALL AVAILABLE INFORMATION. CONTRACTOR TO REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
  2. TREES SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITY THROUGH THE USE OF PROTECTIVE BARRIERS (SEE PROVIDED DETAIL). TREES THAT ARE TO REMAIN SHALL BE CLEARLY IDENTIFIED WITH TAGS. TREE PROTECTION BARRIERS SHALL BE MAINTAINED AROUND THE TREES IN ACCORDANCE WITH THE TREE PROTECTION PLAN APPROVED BY THE DEPARTMENT. TREES TO REMAIN DURING CONSTRUCTION SHALL BE FREE OF DEBRIS AND ROAD ROCK IN THE CRITICAL ROOT ZONE, WITHIN THE CANOPY DRIPLINE, TO PREVENT COMPACTION.
  3. PRIOR TO AND DURING DEMOLITION, DEVELOPMENT, OR CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF EACH TREE'S TPZ AND SHALL REMAIN IN PLACE IN ORDER TO PREVENT THE DESTRUCTION OR DAMAGING OF ROOTS, STEMS OR CROWNS OF SUCH TREES. THE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL APPROVED LANDSCAPE OPERATIONS BEGIN.
  4. BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE CONSTRUCTION NEEDS, PROVIDED THAT THE MANNER AND PURPOSE FOR SUCH TEMPORARY REMOVAL WILL NOT HARM THE TREES.
  5. THE TREES SHALL BE PROPERLY IRRIGATED THROUGHOUT THE BUILDING PROCESS.
  6. NO PRUNING OF TREES SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  7. CONTRACTOR SHALL VERIFY ALL EXISTING ABOVE AND UNDERGROUND UTILITIES 48 HOURS PRIOR TO ANY ON-SITE EXCAVATION.
  8. CONTRACTOR TO COORDINATE DEMOLITION PLAN WITH ARCHITECTS.
  9. ANY PLANT MATERIAL SCARRED OR DESTROYED THAT IS DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES AND QUALITY.



TREE DISPOSITION								
TREE NUMBER	BOTANICAL NAME	COMMON NAME	DBH (IN)	HEIGHT (FT)	CANOPY (FT)	DISPOSITION	CONDITION	MITIGATION (NATIVE CATEGORY 1 TREE REPLACEMENT)
1	Quercus virginiana	LIVE OAK	12"	18'	10'	REMOVE	POOR/DEAD	N/A
2	Quercus virginiana	LIVE OAK	14"	20'	20'	REMOVE	GOOD/CONFLICT	1
3	Quercus virginiana	LIVE OAK	12"	15'	15'	REMOVE	FAIR/CONFLICT/CANOPY CROWDING	1
4	Quercus virginiana	LIVE OAK	18"	25'	25'	REMAIN	GOOD	N/A
TOTAL:								2 TREES

18490 JOHNSON STREET, PEMBROKE PINES  
FL 33029, UNITED STATES

DITMAN  
ARCHITECTURE  
1234 W. NEWPORT CENTER DRIVE, STE. B  
DADEFIELD BEACH, FL 33443  
(904) 994-7733 FAX: (904) 994-7733

CONSULTANT

cabezas alvarez  
landscape architects, inc.  
80 NE 5TH AVENUE  
DELUFT BEACH, FL 33443  
cabezasalvarez.com  
www.cabezasalvarez.com  
904.533.1275

PROJECT TITLE

MIKVEH CHABAD  
PEMBROKE PINES

PROJECT LOCATION

18490 JOHNSON STREET,  
PEMBROKE PINES FL  
33029, UNITED STATES

PROFESSIONAL OF RECORD

Digitally signed by  
Jose M. Alvarez  
Date: 2024.06.18  
18:05:22 -0400  
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A SITE PLAN PACKAGE/14/24

PROJECT NUMBER

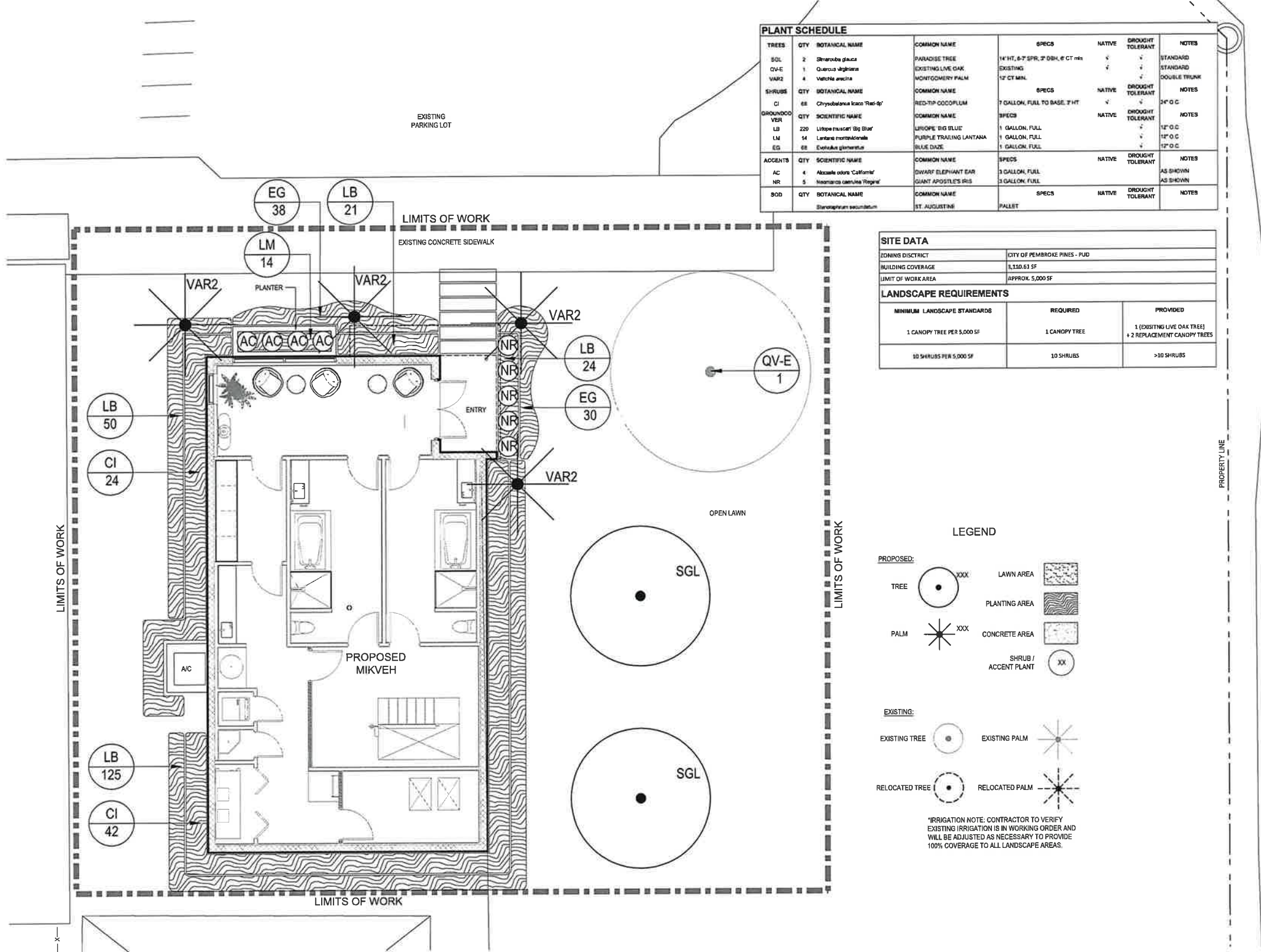
212080

SHEET NAME

TREE DISPOSITION  
PLAN

SHEET NUMBER

L-1



CLIENT

**CHABAD**  
PEMBROKE PINES

18490 JOHNSON STREET, PEMBROKE PINES  
FL 33029, UNITED STATES

ARCHITECT

**DA**

**DITMAN**  
ARCHITECTURE

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(561) 394-1770 FAX (561) 394-0034

BUILDER

CONTRACT

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904.513.1177

PROJECT TITLE

MIKVEH CHABAD  
PEMBROKE PINES

PROJECT LOCATION

18490 JOHNSON STREET,  
PEMBROKE PINES FL  
33029, UNITED STATES

PROFESSIONAL OF RECORD

Digitally  
Signed by Jose  
M Alvarez  
Date:  
2024.06.18  
20:55:17  
-04'00'

TO THE BEST OF MY KNOWLEDGE, THE  
INFORMATION ON THIS SHEET MEETS OR  
EXCEEDS APPLICABLE MINIMUM LIFE SAFETY  
AND RELATED CODE REQUIREMENTS AS TO  
PROTECT THE LIFE, SAFETY AND WELFARE  
OF THE PUBLIC.

SUBMITTAL HISTORY

A SITE PLAN PACKAGE/14/24

PROJECT NUMBER

212080

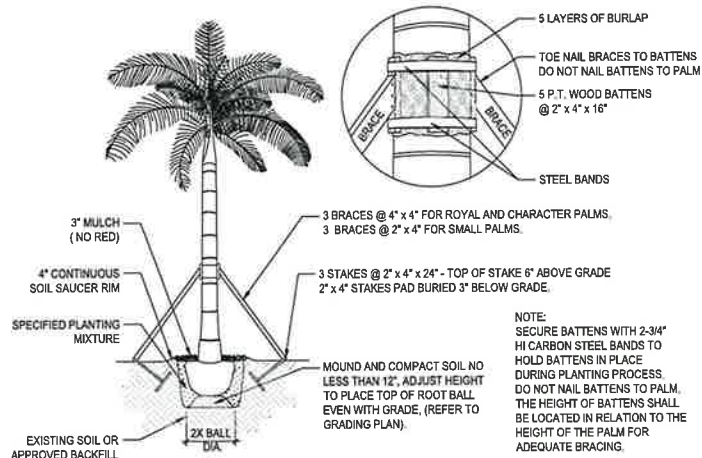
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LANDSCAPE PLAN

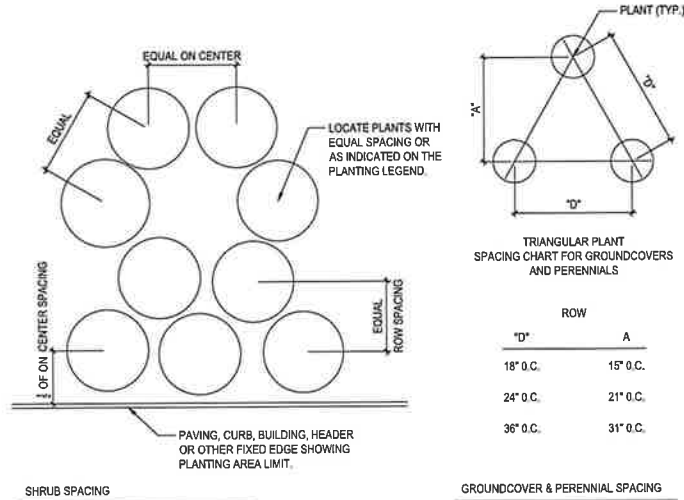
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L-2

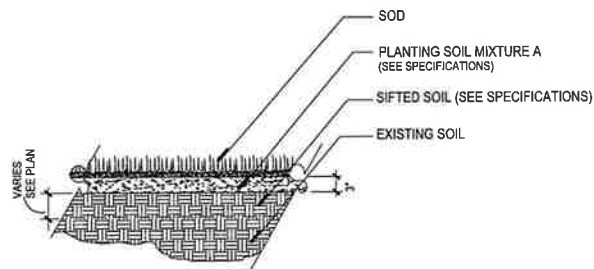




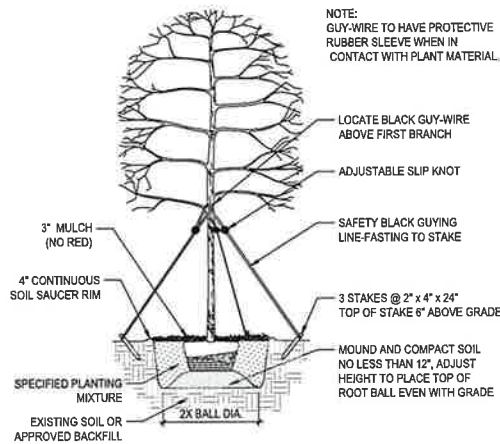
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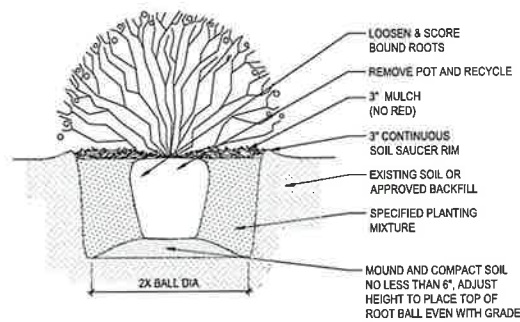
3 PLANT & SHRUB SPACING DETAIL  
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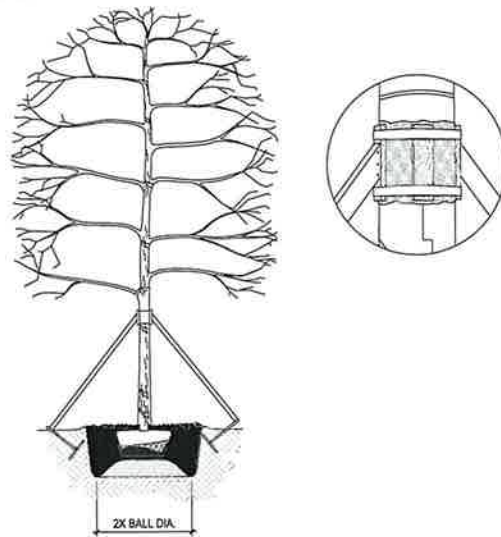
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SCALE: N/A



2 UNDERSTORY TREE PLANTING AND STAKING DETAIL  
SCALE: N/A



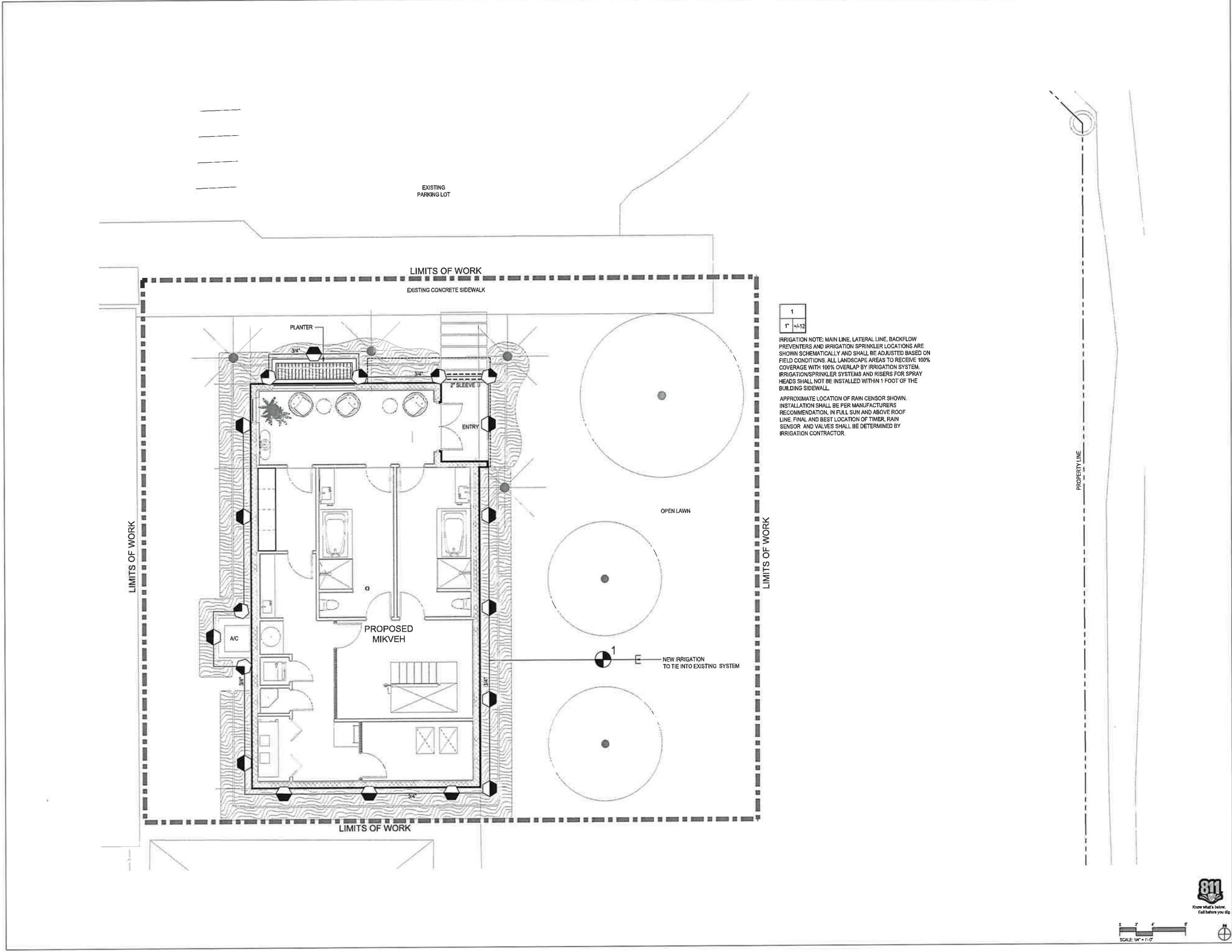
4 SHRUB PLANTING DETAIL  
SCALE: N/A



6 TREE PLANTING AND STAKING DETAIL  
SCALE: 3/32\"/>

#### GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO SUBMITTING A BID.
- LANDSCAPE CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLANS SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS.
- ALL SIZES SPECIFIED FOR PLANT MATERIAL ON THE PLAN AND PLANT LIST SHALL BE CONSIDERED MINIMUM.
- ALL PLANT MATERIAL MUST MEET OR EXCEED THE SPECIFIED MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION.
- ALL TREES, PALMS, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, THE REMOVAL OF ALL BUILDING CONSTRUCTION DEBRIS AND FOREIGN MATERIAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- SITE PREPARATION SHOULD INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS OR GRASS, REMOVAL AND CLEAN UP OF ANY DEAD MATERIAL AND ROUGH AND FINISH GRADING PER SPECS AND OR LANDSCAPE PLANS.
- FOR PLANT MATERIAL DESIGNATED TO BE REMOVED, THE ENTIRE ROOT SYSTEM SHALL BE DUG AND REMOVED FROM THE SITE.
- ALL PLANTING AREAS SHOULD RECEIVE AN 80/20 MIX FILL SOIL. SAND USED IN PLANTING SOIL MIX SHALL BE SILICA SAND.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO 1 OR BETTER AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE 'GRADES AND STANDARDS FOR NURSERY PLANTS' LATEST EDITION JULY 2022, INCLUDING REVISIONS AND WHICH MEET OR EXCEED THE SIZES INDICATED IN THE PLANTING SCHEDULE AND DETAILS.
- ALL TREES SHALL BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO BRACING NOTES AND PLANTING DETAILS)
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, ALL REMAINING HOLES SHALL BE BACK FILLED AROUND AND UNDER ROOT BALL.
- ALL EXISTING PLANT MATERIAL TO REMAIN, SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY PLANT MATERIAL SCARRED OR DESTROYED DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES SIZE AND QUALITY.
- ALL TREES AND ALL PLANTING BEDS TO BE TOPPED WITH 3\"/>
- ALL TREES SHALL HAVE 2\"/>
- ALL 1 GALLON MATERIAL SHALL HAVE 12\"/>
- ALL PLANTING AREAS WITHIN THE LIMITS OF WORK SHALL RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECTED BY OWNER. SEE IRRIGATION PLANS FOR ADDITIONAL SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR SHALL HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER APPROPRIATE CONTRACTORS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- THESE DRAWINGS, DOCUMENTS, AND ALL CONTENTS ARE THE PROPERTY OF CABEZAS ALVAREZ, LANDSCAPE ARCHITECTS, INC. ALL RIGHTS ARE RESERVED. UNAUTHORIZED USE OR PRODUCTION, IN PART OR WHOLE, FOR ANY PURPOSE IS UNLAWFUL AND PROHIBITED EXCEPT BY EXPRESS WRITTEN CONSENT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS OR APPROVALS FROM THE FEDERAL, STATE OR LOCAL GOVERNMENT REQUIRED FOR THE WORK INCLUDED IN THIS CONTRACT AND ON THESE DRAWINGS.
- NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY UNFORESEEN CONDITIONS, I.E., COMPACTED SOIL / SUBGRADE, POOR DRAINAGE, UNCONSOLIDATED SOIL, EROSION, UTILITY CONFLICTS, EXCESSIVE SUN OR SHADE, ETC., PRIOR TO PROCEEDING WITH LANDSCAPE INSTALLATION.
- ALL PLANTS, MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.



1
1" = 1'-12"

IRRIGATION NOTE: MAIN LINE, LATERAL LINE, BACKFLOW PREVENTERS AND IRRIGATION SPRINKLER LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPE AREAS TO RECEIVE 100% COVERAGE WITH 100% OVERLAP BY IRRIGATION SYSTEM. IRRIGATION/SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1 FOOT OF THE BUILDING SIDEWALL.

APPROXIMATE LOCATION OF RAIN SENSOR SHOWN. INSTALLATION SHALL BE PER MANUFACTURERS RECOMMENDATION, IN FULL SUN AND ABOVE ROOF LINE. FINAL AND BEST LOCATION OF TIMER, RAIN SENSOR AND VALVES SHALL BE DETERMINED BY IRRIGATION CONTRACTOR.

NEW IRRIGATION TO TIE INTO EXISTING SYSTEM

CHABAD  
PEMBROKE PINES

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FL 33029, UNITED STATES

DITMAN  
ARCHITECTURE

1338 W NEARPOINT CENTER DRIVE, STE B  
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(561) 954-7730 | 561-954-7730

PROJECT TITLE

MIKVEH CHABAD  
PEMBROKE PINES

PROJECT LOCATION

18490 JOHNSON STREET,  
PEMBROKE PINES FL  
33029, UNITED STATES

PROFESSIONAL OF RECORD

Digitally  
signed by  
Jose M  
Alvarez  
Date:  
2024.06.18  
20:55:43  
-04'00'

TO THE BEST OF MY KNOWLEDGE, THE  
INFORMATION ON THIS SHEET MEETS OR  
EXCEEDS APPLICABLE MINIMUM LIFE SAFETY  
AND BUILDING CODE REQUIREMENTS AS TO  
PROTECT THE LIFE, SAFETY AND WELFARE  
OF THE PUBLIC.

SUBMITTAL HISTORY

A SITE PLAN PACK06/14/24

PROJECT NUMBER

212080

SHEET NAME

IRRIGATION PLAN

SHEET NUMBER

IR-1



Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES.

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 50% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKEYED 'O' RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

\*SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND  
\*INSTALL RAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPARATION FROM OTHER PIPING OR UTILITY SERVICES. AN 18" VERTICAL SEPARATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

WIRE SIZED AND COLORED AS FOLLOWS:  
#12 WHITE FOR COMMON  
#12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)  
#14 RED HOT WIRES  
#14 SPARE YELLOW HOT WIRE (1 SPARES NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

MISC.

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

SPRAY HEADS INSTALLED IN SHRUB AREAS TO BE 12 INCH POP-UPS OR INSTALLED ON RISERS.

DESIGN

THIS DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, , ETC. SHOWN WITHIN PERVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

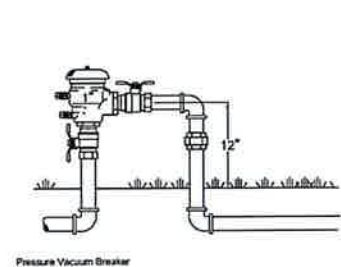
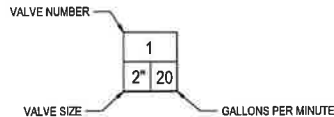
INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS FOR IRRIGATION EQUIPMENT TO BE APPROVED BY THE IRRIGATION DESIGNER. EQUIPMENT CHANGES TO INCLUDE BUT NOT LIMITED TO PUMP, CONTROLLER, SPRAY HEADS, ROTORS, AND VALVES.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTRUCTIONS OR DIFFERENCES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR TO ASSUME FULL RESPONSIBILITY.

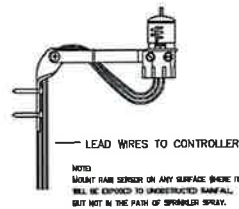
EQUIPMENT TABLE

Backflow Preventers	
Symbol	Description
	Pressure Vacuum Breaker
Controllers	
Symbol	Description
	Rainbird ESP-Me
	Rain Sensor
Irrigation Heads	
Symbol	Description
	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg EST
	RAINBIRD 1800 SERIES 16 Strip Series trajectory 30 deg SST
	RAINBIRD 1800 SERIES HE-VAN 08 Series 90°
	RAINBIRD 1800 SERIES HE-VAN 08 Series 180°
	RAINBIRD 1800 SERIES HE-VAN 10 Series 90°
	RAINBIRD 1800 SERIES HE-VAN 10 Series 180°
	RAINBIRD 1800 SERIES HE-VAN 12 Series 90°
	RAINBIRD 1800 SERIES HE-VAN 12 Series 180°
	RAINBIRD 1800 SERIES HE-VAN 12 Series 360°
	RAINBIRD 1800 SERIES HE-VAN 15 Series 90°
	RAINBIRD 5000 SERIES ROTARY FULL CIRCLE
	RAINBIRD 5000 SERIES ROTARY PART CIRCLE
Pipe (Lateral)	
Symbol	Description
	Class 160 PVC (Lateral)
Pipe (Mainline)	
Symbol	Description
	Schedule 40 PVC Pipe
Pipe (Sleeve)	
Symbol	Description
	Schedule 40 PVC Pipe
Valves	
Symbol	Description
	Rainbird PGA Valve
Water Meters	
Symbol	Description
	1" Water Meter

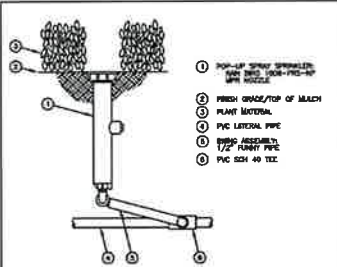
Drip Line Irrigation Area  
(To be selected by Irrigation Contractor)



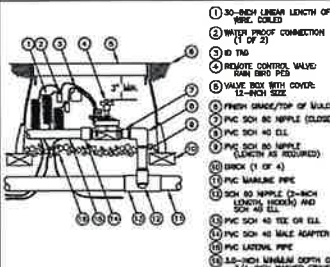
PRESSURE VACUUM BREAKER



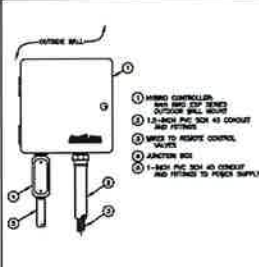
RAIN BIRD RAIN SENSOR



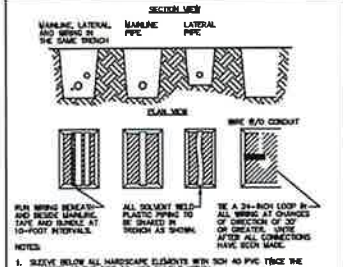
RAIN BIRD 1800 SERIES SPRINKLER



RAIN BIRD PGA VALVE



RAIN BIRD CONTROLLER DETAIL



TRENCH DETAIL

18490 JOHNSON STREET, PEMBROKE PINES  
FL 33029, UNITED STATES

1308 W. NEWPORT CENTER DRIVE, STE. B  
DADE COUNTY BEACH, FL 33135  
(305) 924-7793 X315 FAX: 305-924-0348

PROJECT TITLE  
MIKVEH CHABAD  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON STREET,  
PEMBROKE PINES FL  
33029, UNITED STATES

PROFESSIONAL OF RECORD  
Digitally  
signed by  
Jose M  
Alvarez  
Date:  
2024.06.18  
20:56:09  
-04'00'  
TO THE BEST OF MY KNOWLEDGE, THE  
INFORMATION ON THIS SHEET WERE OF  
EXERCISED APPROPRIATE JOHNSON LIFE SAFETY  
AND BUILDING CODE REQUIREMENTS AS TO  
PROTECT THE LIFE, SAFETY AND WELFARE  
OF THE PUBLIC.

SUBMITTAL HISTORY  
A SITE PLAN PACK/06/14/24

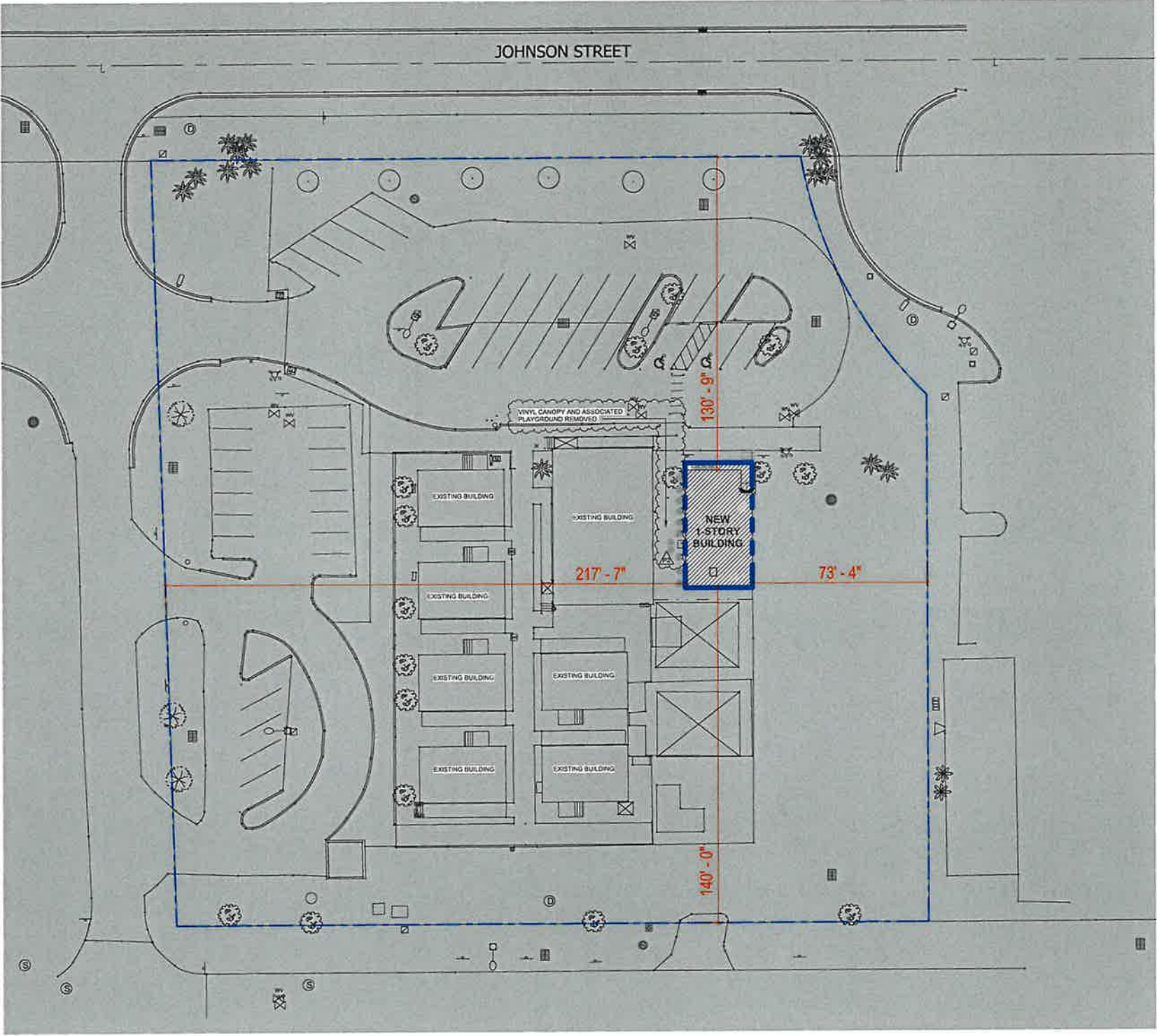
PROJECT NUMBER  
212080

SHEET NAME  
IRRIGATION PLAN

SHEET NUMBER  
IR-2



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DATE STAMP: 7/18/2025 5:00:14 PM



ARCHITECTURAL OVERALL SITE PLAN 1"=20'-0" 01

GENERAL SITE PLAN NOTES

1. FFE OF 6'-0" IN THESE PLANS REF TO CIVIL ELEV XX.XX' NAVD OR XX.XX' MVD
2. CONT SHALL FIELD VFY ALL EXIST COND PRIOR TO COMMENCING WORK
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO BEFORE EXECUTION OF WORK
4. DO NOT SCALE DIMENSIONS FROM DWGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI)
5. REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ETC.
6. REF TO STRUCT, PLUMB & ARCHITECTURAL DWGS FOR SLOPES & ELEV OF FINISHED FLOORS WITHIN THE BLDG FOOTPRINT. REF TO CIVIL FOR SLOPES AND ELEV OUTSIDE THE BLDG FOOTPRINT
7. REF TO ARCHITECTURE, CIVIL & LANDSCAPE DWGS FOR ALL WORK OUTSIDE THE BLDG ENVELOPE
8. ALL EXT DOORS, LOUVERS, WINDOWS, & FRAMES SHALL HAVE PRODUCT APPROVALS. LOUVERS SHALL BE WIND-DRIVEN RAIN RESISTANT
9. REF TO PLUMBING DWGS FOR ALL FIXTURES, RAIN WATER LEADERS, DRAINS & HOSE BIBB CONNECTIONS
10. REF TO LANDSCAPE AND HARDSCAPE DWGS FOR PLANTINGS AND IRRIGATION
11. REF TO SURVEY FOR THE IDENTIFICATION OF EXIST STRUCTURES NOT NOTED ON ANY SITE PLANS PROVIDED IN THE CONSTRUCTION DOCUMENTS. ALL DIMENSIONS, GRADE ELEV, AND EXIST COND INFO IS BASED ON THE SURVEY. INFO SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIAL. REPORT ANY DISCREPANCY TO THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION
12. ALL EXIST STRUCTURES SUCH AS BUT NOT LIMITED TO EQUIPMENT, UTILITIES, PAVEMENT, AND LANDSCAPE TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN A MANNER THAT MATCHES OR IMPROVES EXIST CONDITIONS
13. REF TO PAVING FUNCTIONALITY DWGS FOR PAVEMENT MARKINGS AND SIGNAGE WITHIN THE GARAGE
14. REF TO CIVIL FOR PAVEMENT MARKINGS AND SIGNAGE OUTSIDE THE BLDG FOOTPRINT
15. TREATMENT SOIL TREATMENT BENEATH THE BLDG SHALL EXTEND 5 FEET UNCH. BEYOND THE STRUCTURAL FOOTPRINT
16. HOUSE CONTROL DMS PROV FOR REF ONLY. COORD ALL DMS TO LOCATE AND ORIENT THE BLDG WITH THE SURVEY. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION

KEYNOTE LEGEND

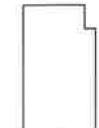
NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CS DIVISION

No.	DESCRIPTION
-----	-------------

GRAPHIC LEGEND



KEY PLAN



PLAN NORTH



BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.,  
PEMBROKE PINES, FL  
33029



SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 06/14/24  
P2 CITY'S COMMENTS 07/16/25



PROJECT NUMBER  
212080

SHEET NAME  
ARCHITECTURAL  
OVERALL SITE PLAN

SHEET NUMBER  
A1.00



1. ROOM AND DOOR REFERENCE NUMBERS ARE FOR CONSTRUCTION COORDINATION ONLY. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL ROOM & DOOR IDENTIFICATION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA MEETING.
3. ALL DIMENSIONS ARE TO FACE OF STUD, GRIND LINES AND FACE OF MASONRY WALL. WALL U-10 ALL DIMENSIONS TO EXISTING WALLS AND FINISH KESSES.
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
5. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO BEFORE EXECUTION OF WORK.
6. IN ORDER TO PARTITION TYPE 2 AND 3, CONTRACTOR SHALL INFORMATION CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF PARTITION WITH INSTALLATION OF EXISTING PARTITION, INCLUDING MILLWORK. U-11 CONCEALED WOOD PANEL SHALL BE FIRE RATED/TREATED IF R-1.
7. ALL WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
8. ALL INTERIOR PARTING PARTITIONS OF THE EXTERIOR ENVELOPE ARE TYPE 200 SERIES U-10.
9. ALL INTERIOR PARTITIONS ARE TYPE A330 U-10.
10. ALL CORRIDOR PARTITIONS ARE TYPE 943 U-10.
11. ARCHITECTURAL PLAN DATA REPRESENTS TO 1/8"=1'-0" NAD 2011. GC SHALL VERIFY IF FINAL CIVIL PLANS.

INDICATES MIN 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR MIN 1/8" SLOPE AT GRADE AND BALCONIES.

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
03.04	IF THE REINFC CONC SLAB AT SELECT LOCATIONS ON ROOF. REF TO STRUCT DINGS FOR FURTHER INFO.
05.01	STITCHED STEEL ROOF ASSEMBLY PROVIDE ECH SHIP MEMBRANE
05.01	STITCHED STEEL ROOF ASSEMBLY PROVIDE ECH SHIP MEMBRANE (CARLSLE SINTES SURF WELDED FLEECE BACK SINGLE PLY TWO (OR EQ) OVER LYFC W/ EPS BOARD TO ACHIEVE MINIMUM R-18 AT LOWEST POINT OF ROOF. INSTALL IN ACCORD W/ MINIMUM R-18 PER RUN MEMBRANE UP ENTIRE PARAPET AND UNDER CAP FLASHING
11.01	PAQUAMENTED MECH PROOF APP CONDENSERS PROOF MIN CLEARANCE PER MECH DINGS. PROOF PROOF APP FOR ALL STANDS REF TO MECH DINGS FOR FURTHER INFO.
22.03	ROOF DRAIN AND RUN. ROUTE TO STORM WATER MANAGEMENT SYS PER PLUMB DINGS FOR ROOF. STORM DRAINING AND TERN. WRAP ALL PIPE WITH ACQUSTIC PYE LAGGING MINIMUM OF 18" FT FULL LENGTH OF RUN AT ALL LOCATIONS WITHIN UNITS OR COMMON AREA SPACES

7



Age Group	Percentage
18-24	2.0%
25-34	4.0%
35-44	4.0%
45-54	4.0%
55-64	4.0%
65-74	4.0%
75-84	4.0%
85+	4.0%



18480 JOHNSON ST,  
BROKE PINES, FL 33029  
T 954.391.9999



**ITMAN**  
CHITECTURE  
NEWPORT CENTER DRIVE, STE B  
SEERFIELD BEACH, FL 33442  
54.379.3015 AA26003648

## BILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
EMBROKE PINES

PROJECT LOCATION  
490 JOHNSON ST.  
MADISON, FL  
33029

### PROFESSIONAL RECORD



REGISTERED ARCHITECT

SUBMITTAL HISTORY

1. *Journal of Management Studies*, 1996, 33, 1, 1-14.



PROJECT NUMBER  
212080

**SHEET NAME**  
**GROUND LEVEL**  
**FLOOR PLAN AND**  
**ROOF PLAN**

SHEET NUMBER

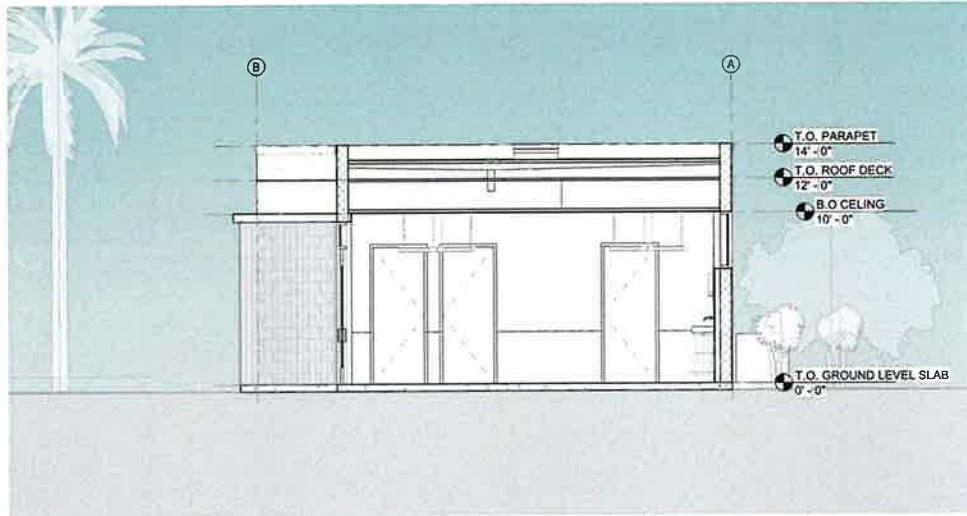
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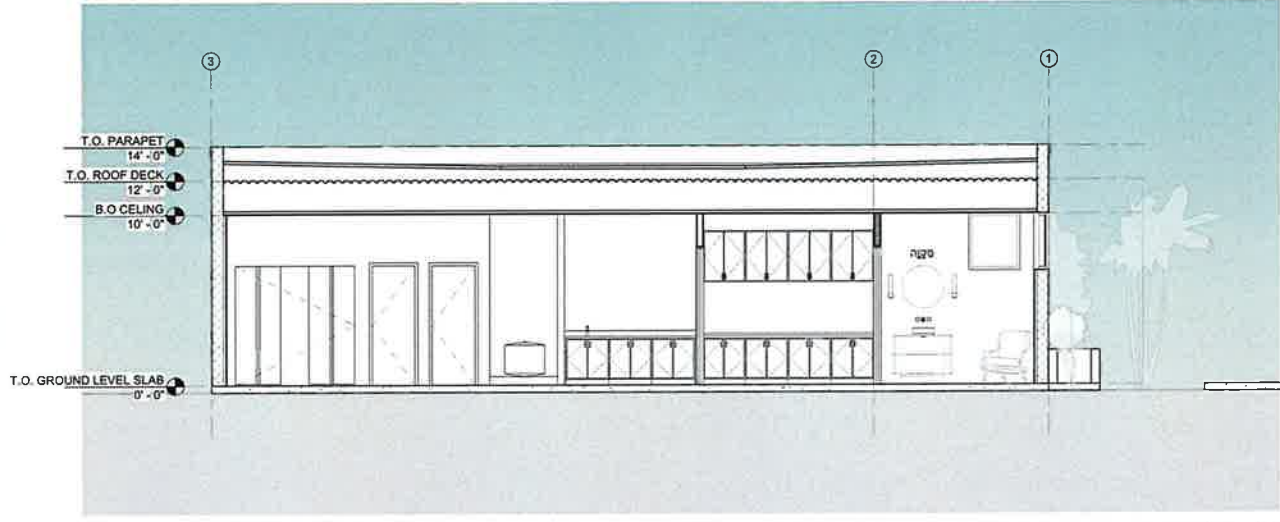




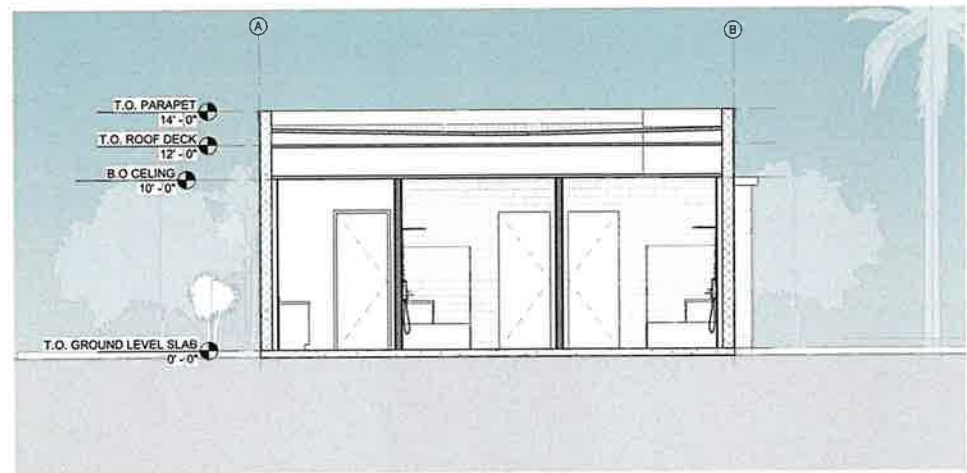
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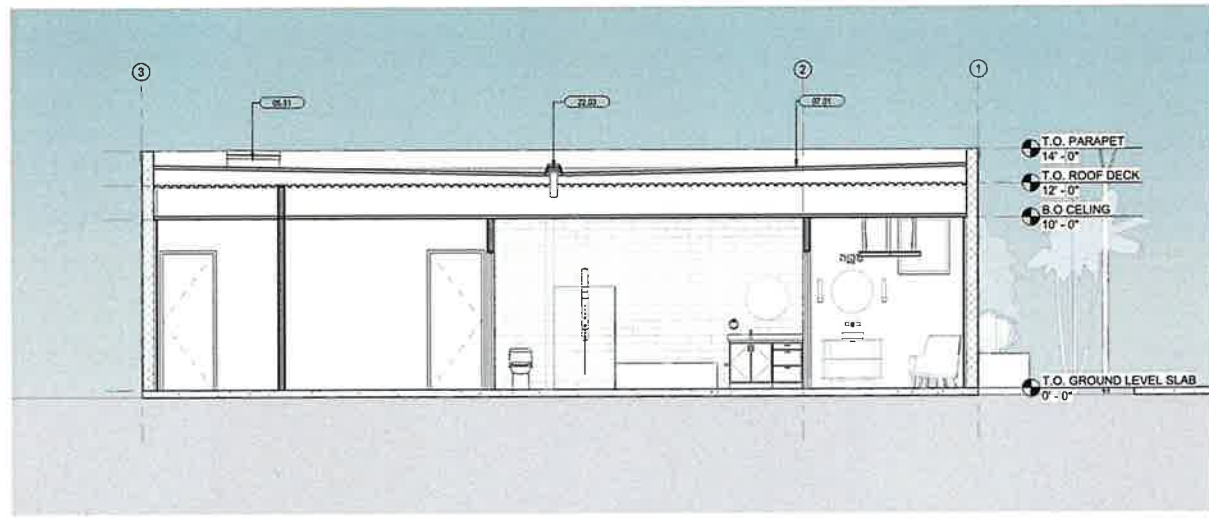
Section 6 | 1/4" = 1'-0" (06)



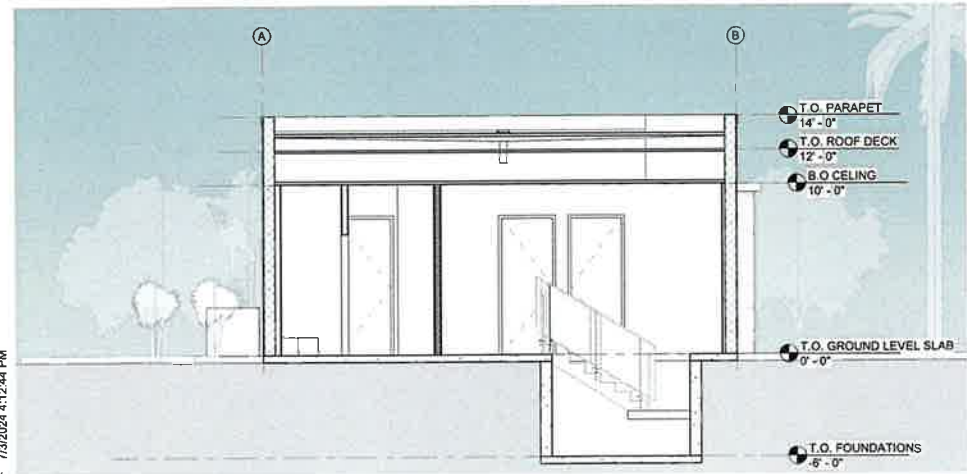
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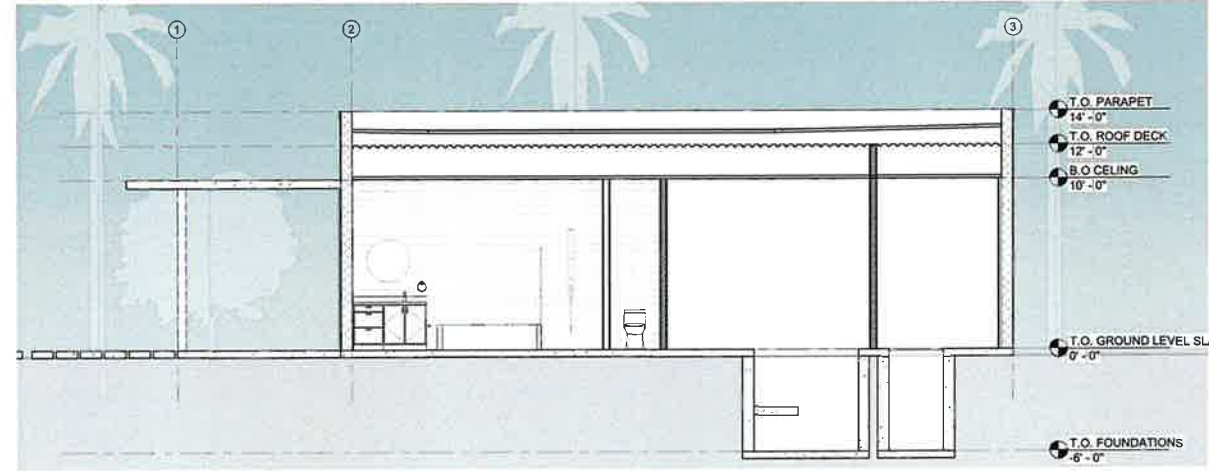
Section 5 | 1/4" = 1'-0" (05)



Section 2 | 1/4" = 1'-0" (02)



Section 4 | 1/4" = 1'-0" (04)



Section 1 | 1/4" = 1'-0" (01)

#### GENERAL SECTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORD. LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALL OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE PNT.
5. ALL SHAFTS PENETRATING SLABS SHALL BE RATED 2HR.
6. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT (MIN) UNO.

#### GRAPHICS LEGEND

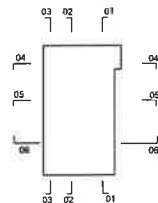
INDICATES 1/4" PER FOOT (MIN) SLOPE TO DRAIN AT ROOF OR FINISHED GRADE SLOPED PER CIVIL DRAWINGS

#### KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
05.51	FIXED PTD STEEL ROOF ACCESS. PROVIDE ENG SHOP DRAWINGS
07.01	FULLY ADHERED WHITE TPO ROOF SYS W/ 30 YR MEMBRANE, CARBIDE STITCHES, SURF W/ D FLEECE BACK, SINGLE R/T TPO OR APP ED, OVER UNO W/ EPS BOARD TO ACHIEVE MINIMUM R-19 AT LOWEST POINT OF ROOF. INSTALL IN ACCORD W/ PROD APP. RUN MEMBRANE UP ENTIRE PARAPET AND UNDER CAP FLASHING
22.01	ROOF DRAIN AND P/W ROUTED TO STORM WATER MANAGEMENT SYS REF TO PLUMB DWGS FOR SIZE, R/W, ROUTING AND TERNL. WRAP ALL P/W WITH ACOUSTIC PIPE LAGGING, MINIMUM OF 18" FT FULL LENGTH OF PIPE AT ALL LOCATIONS WITHIN UNITS OR COMMON AREA SPACES

#### KEY PLAN



0 2'-0" 4'-0" 6'-0"

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.761.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
1308 W NEWPORT CENTER DRIVE, STE B  
DEERFIELD BEACH, FL 33442  
(561) 879-3015 ARCH000046

#### BUILDING

#### CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

PROFESSIONAL OF RECORD  
STATE OF FLORIDA  
CRISTINA M. DITMAN  
APR99197  
04/23/24  
REGISTERED ARCHITECT  
I, THE SIGNER OF ANY INSTRUMENT, HAVE INFORMATION ON THE BASIS OF WHICH I AM SIGNING THIS INSTRUMENT AND I AM AWARE OF THE PENALTIES FOR VIOLATING THE PROFESSIONAL SEAL AND THE PUBLIC INTEREST.

SUBMITTAL HISTORY  
A. SITE PLAN PACKAGE 06/16/24

Craig Ditman

PROJECT NUMBER  
212080

SHEET NAME  
BUILDING SECTIONS

SHEET NUMBER  
A7.10



FILE NAME: C:\Users\Joel\Documents\212080\_CPF Mikveh\_ARCH\_R23\_Joel\APLX.dwg  
DATE STAMP: 7/2/2024 4:13:19 PM

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.391.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
1338 W NEWPORT CENTER DRIVE, STE B  
DEERFIELD BEACH, FL 33442  
(31) 954.379.3015 AA26003648

BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

PROFESSIONAL OF RECORD  
STATE OF FLORIDA  
JAMES W. DITMAN  
ARCHITECT  
AR99197  
04/23/24  
I, JAMES W. DITMAN, THE ENGINEER OR ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE PROFESSIONAL OF RECORD FOR THIS PROJECT. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND AM Satisfied THAT THEY COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE AND THE FLORIDA ARCHITECTURAL BOARD. I HAVE ALSO REVIEWED THE PLANS AND SPECIFICATIONS AND AM Satisfied THAT THEY COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE AND THE FLORIDA ARCHITECTURAL BOARD. I HAVE ALSO REVIEWED THE PLANS AND SPECIFICATIONS AND AM Satisfied THAT THEY COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE AND THE FLORIDA ARCHITECTURAL BOARD.

SUBMITTAL HISTORY  
A. SITE PLAN PACKAGE 06/14/24

Craig Ditman

PROJECT NUMBER  
212080

SHEET NAME  
BUILDING  
PERSPECTIVE

SHEET NUMBER  
A9.10



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DATE STAMP: 4/14/2025 4:34:54 PM



SIDE ENTRANCE PERSPECTIVE

03



CORNER ENTRANCE PERSPECTIVE

02



FRONT VIEW PERSPECTIVE

01

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.391.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
1308 W NEWPORT CENTER DRIVE, STE 9  
DEERFIELD BEACH, FL 33442  
(561) 994-3775 FAX (561) 994-3776

DESIGNER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

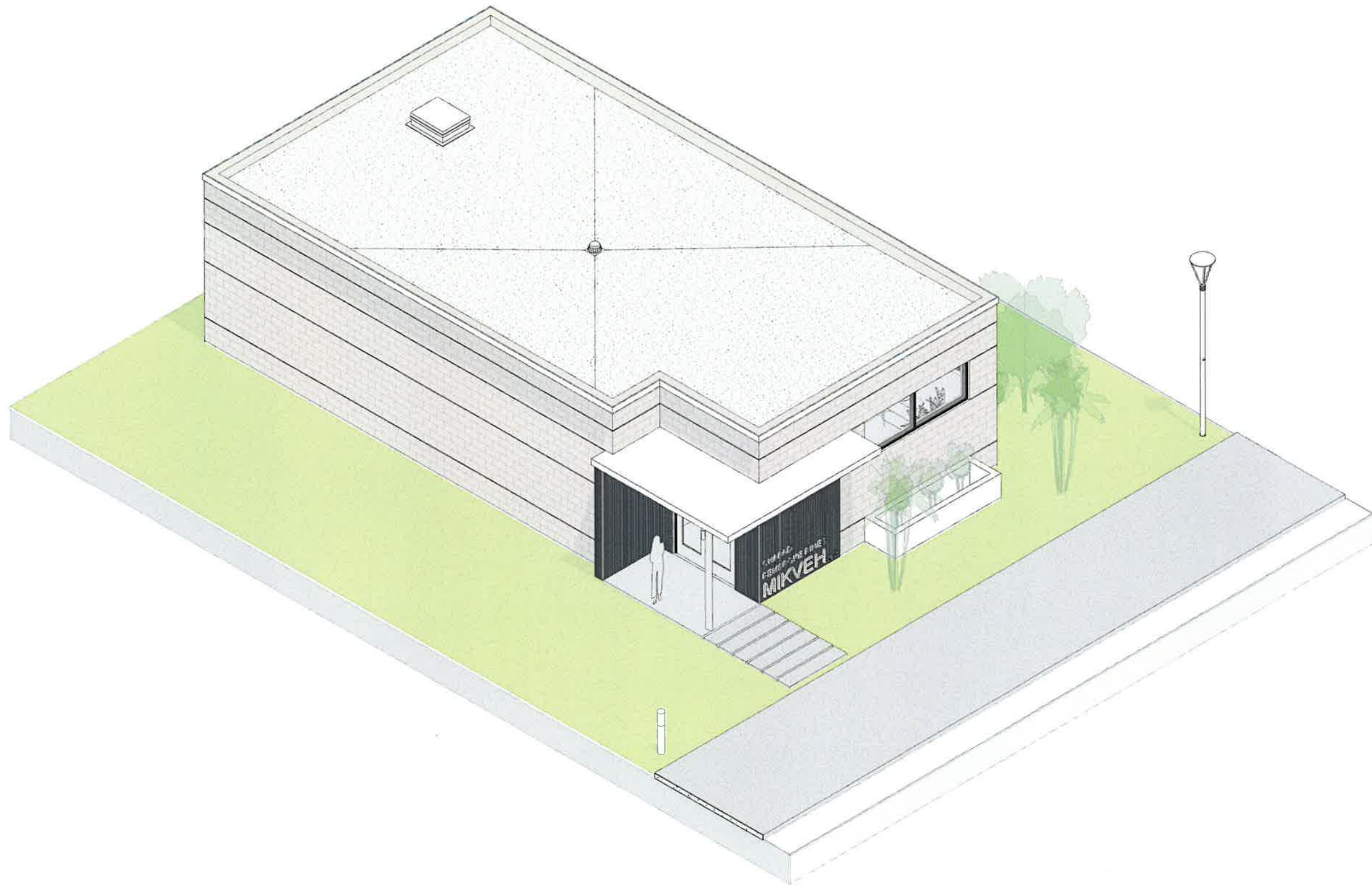
PROFESSIONAL SEAL  
STATE OF FLORIDA  
JAMES M. DITMAN  
ARCHITECT  
APR09197  
04/15/25  
I, JAMES M. DITMAN, ARCHITECT, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA.  
EXPIRATION DATE: 04/15/26

SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 05/14/24  
P1 CITY COMMENTS 04/15/25

PROJECT NUMBER  
212080

SHEET NAME  
EXTERIOR  
PERSPECTIVES

SHEET NUMBER  
A9.11



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DATE STAMP: 7/3/2024 4:14:28 PM

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.261.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
1338 W NEWPORT CENTER DRIVE, STE B  
CORPUS CHRISTI, TX 78401  
(512) 684-3793 FAX (512) 684-3794

BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

PROFESSIONAL OF RECORD  
  
I, THE SEAL OF MY KNOWLEDGE, THE INFORMATION ON  
THIS DRAWING, PROJECT AND ALL ASSOCIATED WORK, AND  
SAFETY AND WELL-BEING OF THE PUBLIC.  
CRAIG M. DITMAN  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LICENSE NO. 642324  
EXPIRATION DATE 4/19/2024

SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 06/18/24  
  
Craig Ditman

PROJECT NUMBER  
212080

SHEET NAME  
AXONOMETRIC  
AERIAL VIEW

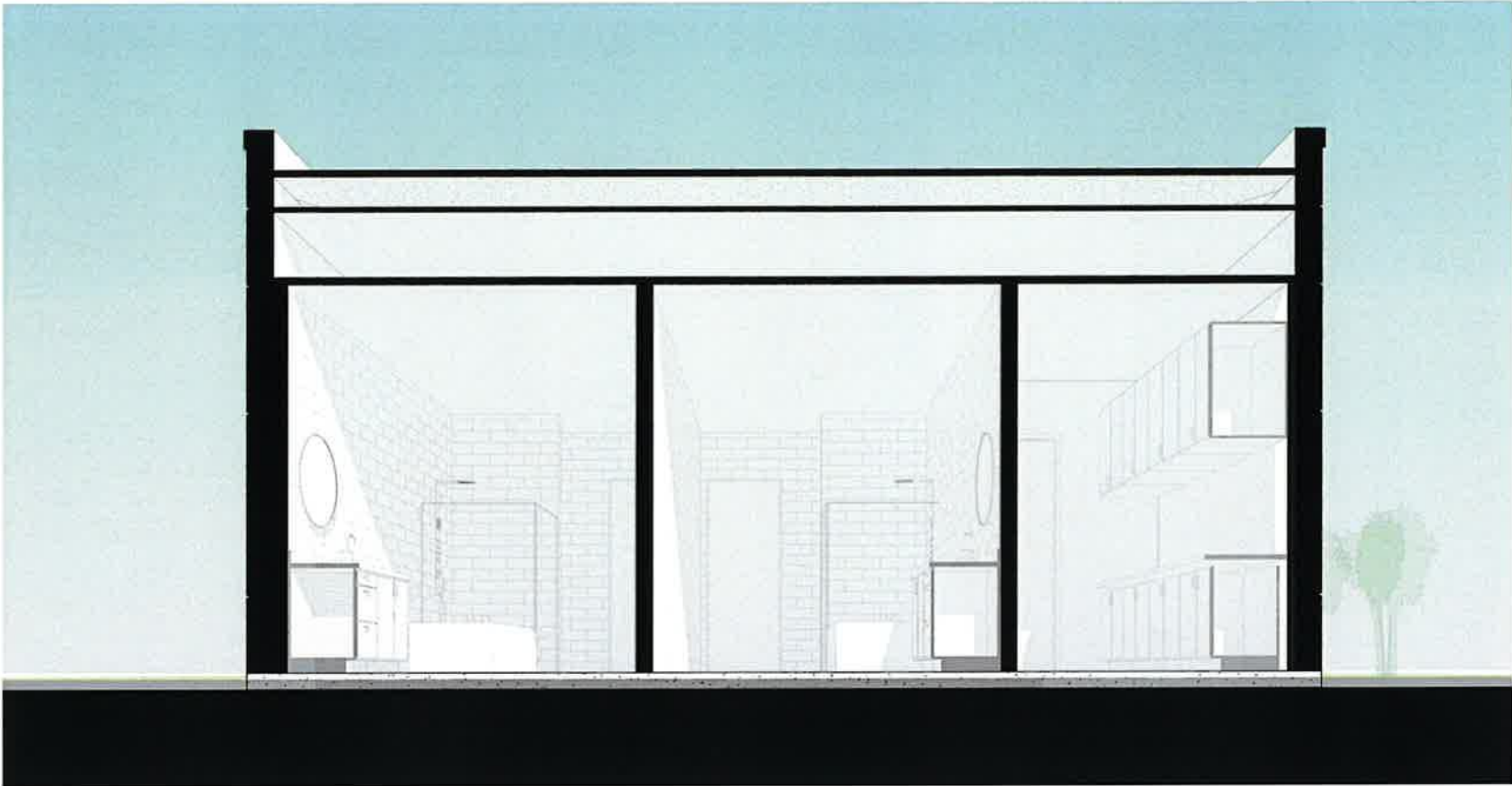
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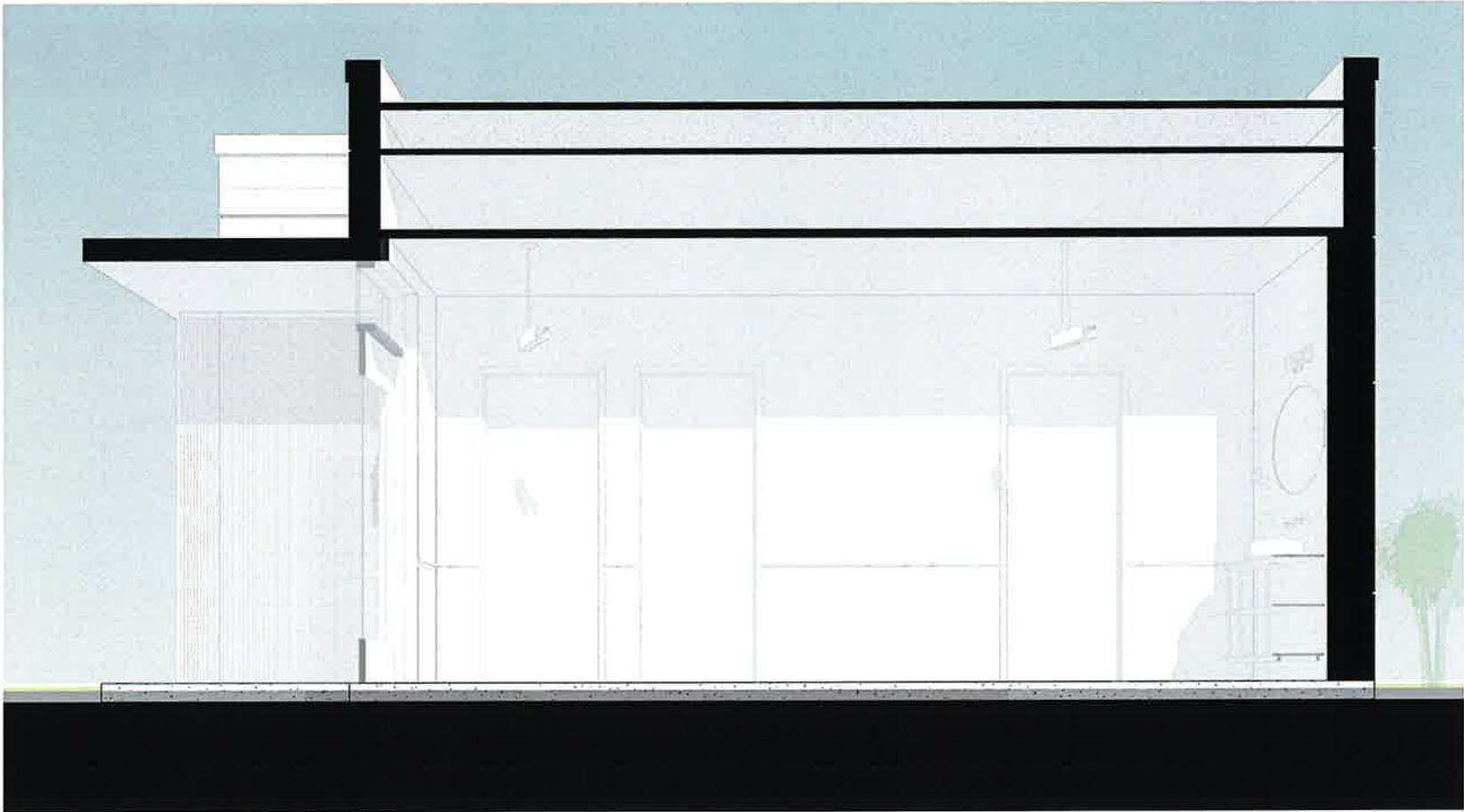




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SECTION PERSPECTIVE D | 02



SECTION PERSPECTIVE C | 01



PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029



SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 06/14/24



PROJECT NUMBER  
212080

SHEET NAME  
SECTION  
PERSPECTIVES

SHEET NUMBER  
A9.14