City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	May 23, 2019	**Application ID:**	MSC 2019-09
Project:	Pembroke Isles Homeowners Association	**Project Number:**	N/A
Project Planner:	Cole Williams, Planner / Zoning Technician		
Owner:	Pembroke Isles Homeowners Association Inc.	**Agent:**	Grace Oliveros
Location:	1401 NW 169 Avenue		
Existing Zoning:	PUD (Planned Unit Development)	**Existing Land Use:**	Low 3 (2-3 du/acre) (L-3)
Reference Applications:	ZV 2012-06, MSC 2004-13, MSC 2003-16, SN 99-7, SP 98-24,SP 98-13, SP 98-11, SP 96-52, SP 96-09, SP 95-73, SP 95-31, SP 95-10		
Applicant Request:	Addition of a aluminum roof adjacent to the community clubhouse		
Staff Recommendation:	Approval		
Final:	☒Planning & Zoning Board	☐City Commission	
Reviewed for the Agenda:	Director: MS	Planning Administrator: JY	

Project Description / Background

Grace Oliveros, agent is requesting approval for the addition of a aluminum roof and fencing adjacent to the existing Pembroke Isles community clubhouse located at 1401 NW 169 Avenue. The area under the proposed addition will be used to store and protect maintenance equipment.

The residential community of Pembroke Isles was approved through a number of site plan applications in the mid and late 1990s. Modifications were made to the community in 2003 (addition of HOA fence), 2004 (modifications to the community parking field), and in 2012 (text amendment to the PUD guidelines).

BUILDINGS / STRUCTURES:

The applicant proposes a 1,497 square foot aluminum roof adjacent to the southeast corner of the existing clubhouse. The color of the roof and columns will be sand stone. A 6' tall black chain link fence is proposed around the structure to provide screening of the maintenance materials. Clussia will be planted adjacent to the fence to provide additional screening.

No other site modifications are being proposed at this time.

Staff has reviewed the proposed changes and find that the proposed changes meet code requirements. Staff therefore recommends approval of this application.

Enclosed:

Miscellaneous Plan Application
Memo from Planning Division, (5/15/19)
Memo from Zoning Administrator, (5/15/19)
Memo from Landscape Division (5/15/19)
Memo from Landscape Division (4/16/19)
Memo from Engineering Division (4/16/19)
Memo from Fire Prevention Bureau (4/16/19)
Memo from Zoning Administrator, (4/15/19)
Memo from Planning Division, (4/15/19)
Miscellaneous Plan
Site Aerials

City of Pembroke Pines
Planning and Economic Development Department
Unified Development Application

Planning and Economic Development
Building -B, Third Floor
10100 Pines Boulevard
Pembroke Pines, FL 33026
Phone: (954) 392-2100
Fax: (954) 435-6546
http://www.ppines.com

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

 # Plans for DRC _____ *Planner:* _____

Indicate the type of application you are applying for:

- ☐ Appeal*
- ☐ Comprehensive Plan Amendment
- ☐ Delegation Request
- ☐ DRI*
- ☐ DRI Amendment (NOPC)*
- ☐ Flexibility Allocation
- ☐ Interpretation*
- ☐ Land Use Plan Map Amendment*
- ☒ Miscellaneous
- ☐ Plat*
- ☐ Sign Plan
- ☐ Site Plan*
- ☐ Site Plan Amendment*
- ☐ Special Exception*
- ☐ Variance (Homeowner Residential)
- ☐ Variance (Multifamily, Non-residential)*
- ☐ Zoning Change (Map or PUD)*
- ☐ Zoning Change (Text)
- ☐ Zoning Exception*
- ☐ Deed Restriction

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark ***N/A***.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: Cole **Project #: PRJ 20** n/a **Application #:** MSC 2019-09

Date Submitted: 04/03/19 **Posted Signs Required:** (X) **Fees: $** ~~100~~ 1006

SECTION 1-PROJECT INFORMATION:

Project Name: PEMBROKE ISLES HOMEOWNERS ASSOC.

Project Address: 1401 NW 169 AVE PEMBROKE PINES, FL 33028

Location / Shopping Center: _____

Acreage of Property: _____ Building Square Feet: _____

Flexibility Zone: _____ Folio Number(s): 5140 08 09 4530

Plat Name: LAKES OF WESTERN PINES Traffic Analysis Zone (TAZ): _____

Legal Description:

LAKES OF WESTERN PINES REPLAT

157-46 B PARCEL P (RECREATION AREA)

Has this project been previously submitted? Yes (No)

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Pembroke Isles Homeowners Association Inc.

Owner's Address: 1401 NW 169th Ave Pembroke Pines, FL 33028

Owner's Email Address: Propertymanager@pembrokeisles.org

Owner's Phone: 954-450-8200 Owner's Fax: 954-450-0017

Agent: Grace Oliveros, LCAM - Property Manager

Contact Person: same as above

Agent's Address: JORGE QUINTERO

Agent's Email Address: ALUMINUM OUTDOOR DESIGNS@GMAIL.COM

Agent's Phone: 786-340-1885 Agent's Fax: _____

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING	**PROPOSED**
Zoning: _____	Zoning: _____
Land Use / Density: _____	Land Use / Density: _____
Use: _____	Use: _____
Plat Name: _____	Plat Name: _____
Plat Restrictive Note: _____	Plat Restrictive Note: _____
_____	_____
ADJACENT ZONING	**ADJACENT LAND USE PLAN**
North: _____	North: _____
South: _____	South: _____
East: _____	East: _____
West: _____	West: _____

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

_____

_____

_____

_____

_____

_____

_____

_____

_____

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

❑ City Amendment Only ❑ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

PEMBROKE ISLES

11/28/2018

The installation of the maintenance cover at Pembroke Isles Homeowner Association will be used for the purpose of securing multiple equipment from direct impact of constant weather changes. Here is a short list to name a few equipment that will benefit from the installation. Area will have a fence around it as well as a lock to secure the equipment.

Please see below equipment currently on property:

4. E2GO Golf Carts
1 Polaris Ranger 1000
1 Pressure Pro 3500 PSI with Trailer and 200-gallon tank
1 Kobalt Electric Cement Machine
1 Safety Cabinet that stores all Gas tanks
Plus, Maintenance room with tools and supplies.

If you have any questions, please feel free to contact me at (954) 450-8200 or send me an email at propertymanager@pembrokeisles.org.

Sincerely,

Grace Oliveros, LCAM

Grace Oliveros, LCAM

In behalf of the Board of Directors

Of Pembroke Isles HOA

1401 NW 169th Ave * Pembroke Pines, FL 33028
Phone: (954) 450-8200 * Fax: (954) 450-0017

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

(SEE ATTACHED)

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

12-21-18

Signature of Owner Date

Sworn and Subscribed before me this 21 day

of Dec, 20 18

Fee Paid Signature of Notary Public Sep. 09, 2022

My Commission Expires

Sonali Greiner
COMMISSION # GG256349
EXPIRES: Sept. 9, 2022
Bonded Thru Aaron Notary

AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

12/21/18

Signature of Agent Date

Sworn and Subscribed before me this 21 day

of Dec, 20 18

Sonali Greiner
COMMISSION # GG256349
EXPIRES: Sept. 9, 2022
Bonded Thru Aaron Notary

Fee Paid Signature of Notary Public Sep. 09, 2022

My Commission Expires

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: May 15, 2019

To: MSC 2019-08 file

From: Cole Williams, Planner / Zoning Technician

Re: Pembroke Isles

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS HAVE BEEN SATISFIED

MEMORANDUM

May 15, 2019

To: Cole Williams
Planning/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: MSC 2019-09 (Pembroke Isles HOA Structure)

All of my comments regarding the above Miscellaneous Plan have been satisfied.

MEMORANDUM

May 15, 2019

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner/ Designer

Re: (MSC 2019-09) Pembroke Isles

The City of Pembroke Pines Planning Division has conducted a landscape review for Pembroke Isle as per documents provided. The following items need to be addressed prior to this project being found in compliance:

There are no landscape comments at this time.

Note: Please make sure that any landscape damaged during construction be replaced to make sure the sign meets landscape ordinance 153.19, "The base of all ground signs must be adequately landscaped. Permit applications for ground signs must be accompanied by a landscape plan compliant with the following standards: (A) Landscape area must consist of shrubs, groundcover, or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement."

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen
Landscape Planner Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) · kjensen@ppines.com

MEMORANDUM

April 16, 2019

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner/ Designer

Re: (MSC 2019-09) Pembroke Isles

The City of Pembroke Pines Planning Division has conducted a landscape review for Pembroke Isle as per documents provided. The following items need to be addressed prior to this project being found in compliance:

1. Please provided disposition and landscape plans.
2. As per City of Landscape Ordinance 153.11 (E) Utility structures, garbage, and refuse areas shall be screened with landscaping material to the extent that these areas are not visible at a maximum height of six feet from abutting properties or adjacent right-of-ways. Please add a landscape hedge to the perimeter of the fenced area.
3. If any trees or palm trees are schedule to be removed please note that a tree removal permit is required along with proper mitigation of the plant material.
4. Irrigation must be repaired/installed properly to ensure that all new and existing landscape material is properly being irrigated. A "wet-check" shall be done at time of final inspection to ensure all irrigation heads are working properly etc.

Note: Please make sure that any landscape damaged during construction be replaced to make sure the sign meets landscape ordinance 153.19, "The base of all ground signs must be adequately landscaped. Permit applications for ground signs must be accompanied by a landscape plan compliant with the following standards: (A) Landscape area must consist of shrubs, groundcover, or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement."

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen
Landscape Planner/Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) · kjensen@ppines.com

CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION

DRC REVIEW FORM

April 16, 2019

PROJECT: ***PEMBROKE ISLES CLUBHOUSE - MAINTENANCE EQUIPMENT ALUMINUM ROOF***
MSC 2019-09

To: Cole Williams, Planner
Planning and Economic Development Department

From: John L. England, P.E., Assistant City Engineer
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046

RECOMMENDATION:

The Environmental Services/Engineering Division takes 'No Exception' to the proposed project improvements from an Engineering DRC standpoint and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

DRC REVIEW FORM

PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY: Michael Testagrossa, Prevention Captain
(954) 499-9560

PROJECT NAME: Pembroke Isles

REFERENCE #: MSC 2019 - 09

DATE REVIEWED: 04/16/2019

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THE SITE PLAN REVIEW.

MEMORANDUM

April 15, 2019

To: Cole Williams
Planning/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: MSC 2019-09 (Pembroke Isles HOA Structure)

The following are my comments regarding the above Miscellaneous Plan:

1. Provide all color numbers, color names, materials, finishes, etc. on elevations of structure.
2. Provide all details and elevations of fencing being used.
3. Landscaping along perimeter of enclosure for screening must be added.

Please contact me with any questions.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: April 15, 2019

To: MSC 2019-08 file

From: Cole Williams, Planner / Zoning Technician

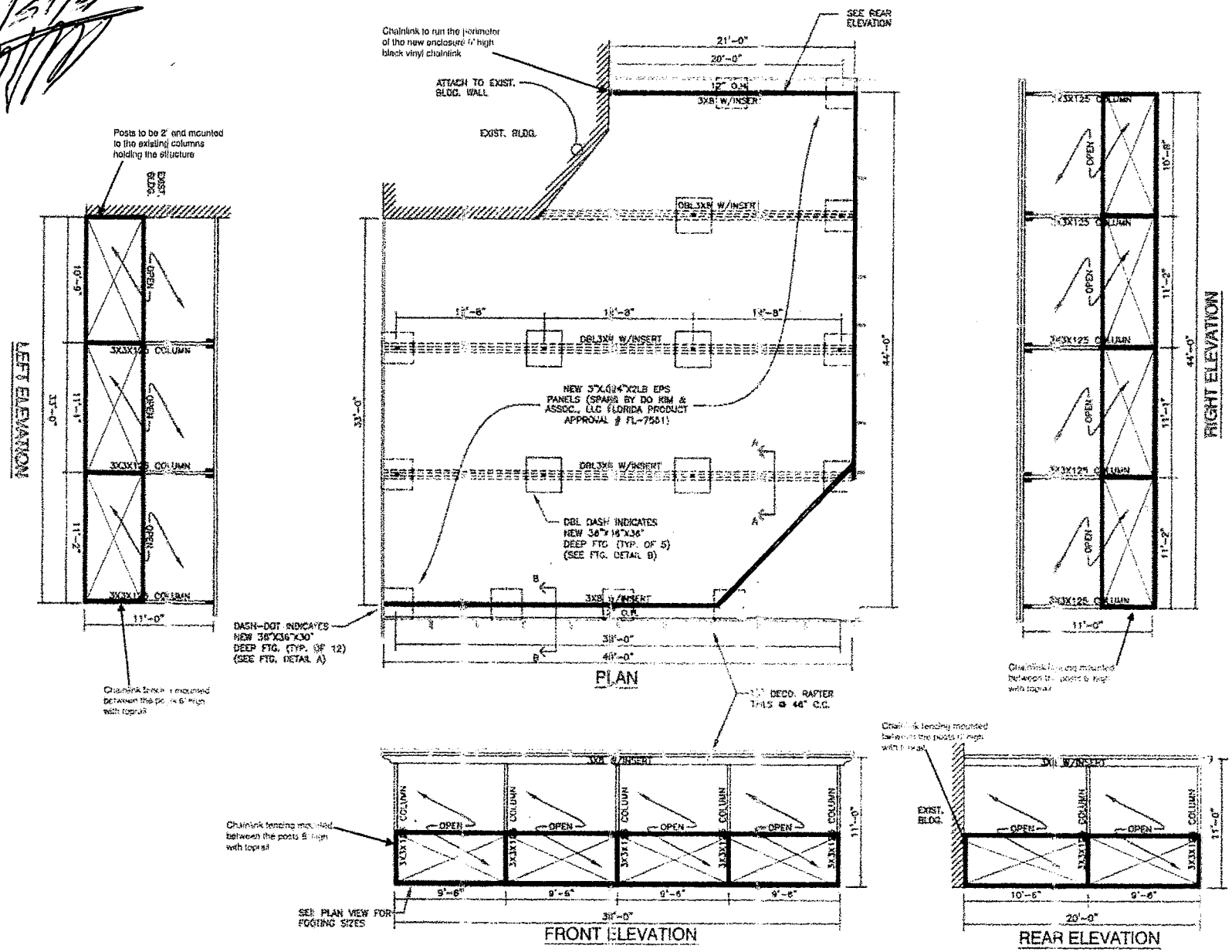
Re: Pembroke Isles

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

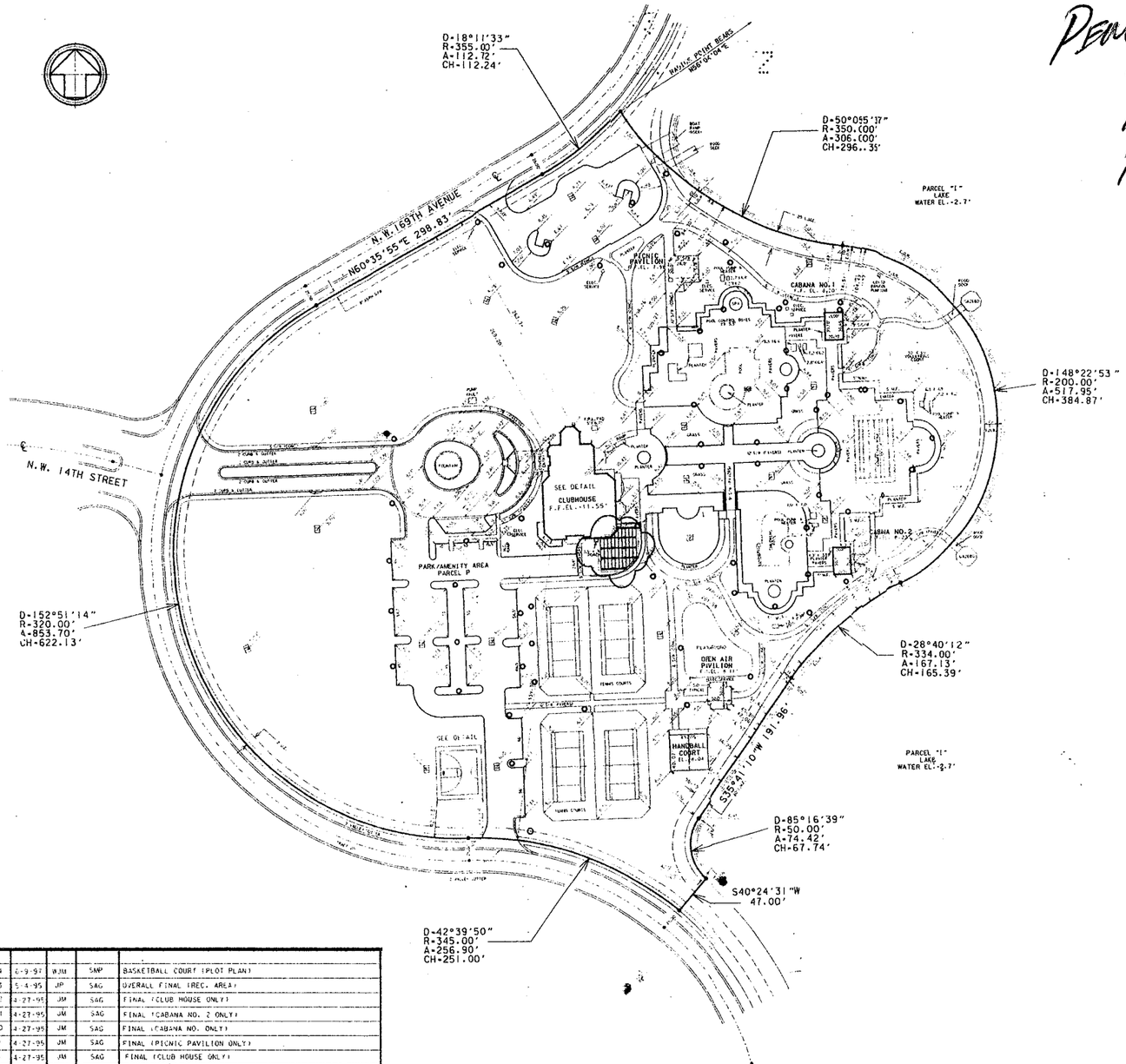
1. Provide colors of cover and columns.
2. Is the cover illuminated?
3. Provide fence details (material, height, color).
4. What will the equipment be stored on top of (dirt, gravel, pavers, concrete, etc...)?

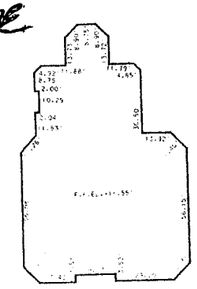
SUBJECT SITE AERIAL PHOTO

Pembroke Isles (MSC 2019-09)

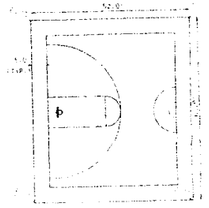

Chainlink to run the perimeter of the new enclosure 6' high black vinyl chainlink
ATTACH TO EXIST. BLDG. WALL
EXIST. BLDG.
SEE REAR ELEVATION
21'-0"
20'-0"
12" O.H.
3X8 W/INSERT
DBL.3X8 W/INSERT
NEW 3"X.094"X2LB EPS PANELS (SPARS BY DO KIM & ASSOC., LLC FLORIDA PRODUCT APPROVAL # FL-7551)
DBL DASH INDICATES NEW 36"X16"X36" DEEP FTG (TYP. OF 5) (SEE FTG. DETAIL B)
DASH-DOT INDICATES NEW 36"X36"X30" DEEP FTG. (TYP. OF 12) (SEE FTG. DETAIL A)
33'-0"
44'-0"
38'-0"
PLAN
Posts to be 2' and mounted to the existing columns holding the structure
LEFT ELEVATION
3X3X125 COLUMN
OPEN
11'-0"
Chainlink fencing mounted between the posts 6' high with toprail
RIGHT ELEVATION
11'-2"
Chainlink fencing mounted between the posts 6' high with toprail
12" DECO. RAFTER THRU @ 44" C.C.
Chainlink fencing mounted between the posts 6' high with toprail
9'-6"
SEE PLAN VIEW FOR FOOTING SIZES
FRONT ELEVATION
EXIST. BLDG.
10'-6"
20'-0"
REAR ELEVATION

PEMBROKE ~~PARKS~~ ISLES
CLUB HOUSE
1401 NW 169 AVE
PEMBROKE PINES



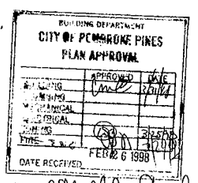


CLUBHOUSE



HALF COURT BASKETBALL SURFACE

OFFICE COPY



Basketball Court only

3 Sheets

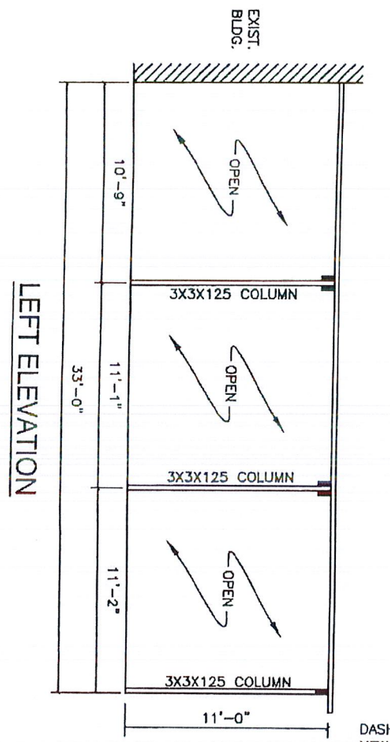
NO	DATE	BY	CK'D	REVISIONS	FB/PG:
14	2-9-97	WJM	SNP	BASKETBALL COURT (PLOT PLAN)	
13	5-4-95	JP	SAG	OVERALL FINAL (REC. AREA)	
12	4-27-95	JM	SAG	FINAL (CLUB HOUSE ONLY)	
11	4-27-95	JM	SAG	FINAL (CABANA NO. 2 ONLY)	
10	4-27-95	JM	SAG	FINAL (CABANA NO. ONLY)	
9	4-27-95	JM	SAG	FINAL (PICNIC PAVILION ONLY)	
8	4-27-95	JM	SAG	FINAL (CLUB HOUSE ONLY)	
7	3-27-95	JP	SAG	ADD IRRIGATION PUMP SLAB	717/12
6	3-13-95	JM	SAG	SLAB SPOT (HANDBALL COURTS) & REVISED LEGAL	
5	2-2-95	JP	SAG	SLAB SPOT (CABANAS)	
4	1-27-95	JM	SAG	FORMBOARD SPOT (CABANAS)	
3	12/9/94	JP	SAG	SLAB SPOT PAVILIONS & COLUMNS	
2	12/9/94	JP	SAG	SLAB SPOT CLUBHOUSE	670/22
1	11/17/94	JP	SAG	FORMBOARD SPOT CLUBHOUSE	670/22

SCALE: 1"=60'
DATE: 12-9-94
FB/PG: 670-22
DRAWN BY: JSH,ML,R
CHECKED BY:
TYPE OF SURVEY: SLAB SPOT

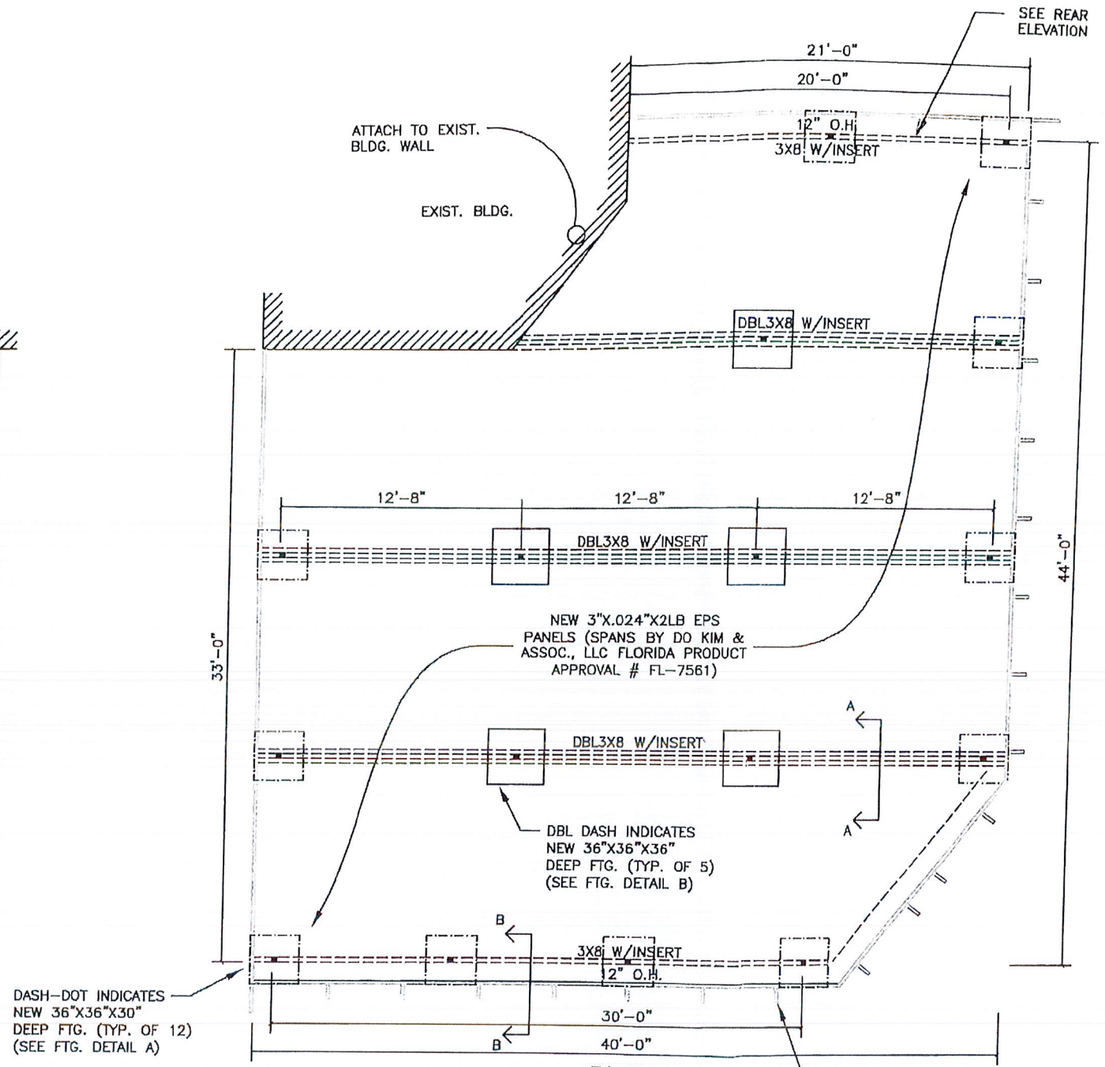
CARNAHAN-PROCTOR AND ASSOCIATES, INC.

CARNAHAN-PROCTOR AND ASSOCIATES, INC.
CONSULTING ENGINEERS
SURVEYORS LAND DEVELOPMENT CONSULTANTS PLANNERS
6191 West Atlantic Blvd. (954) 972-3959 (FAX) 972-4178 Margate, Florida 33063

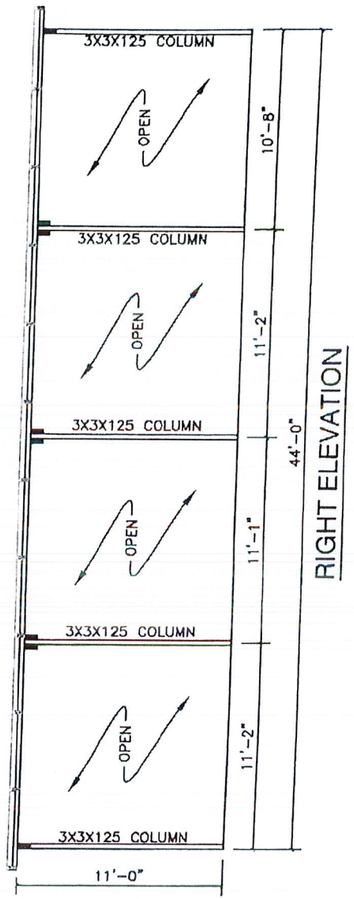
BOUNDARY SURVEY
(PLOT PLAN)
BASKETBALL COURT ONLY
LAKES OF WESTERN PINES REPLAT
PARCEL "P"
FILE NO. 941004-S2 SHEET 2 OF 2



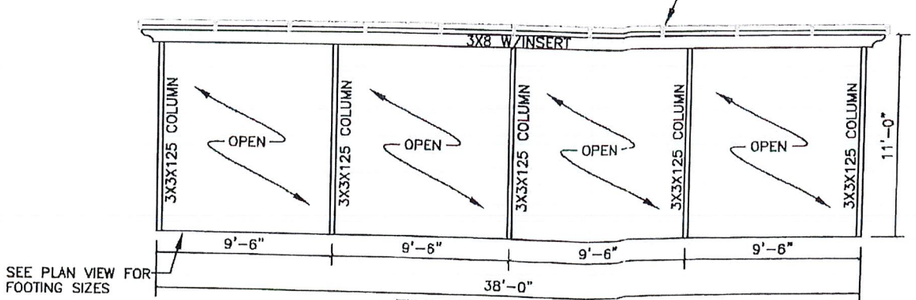
LEFT ELEVATION



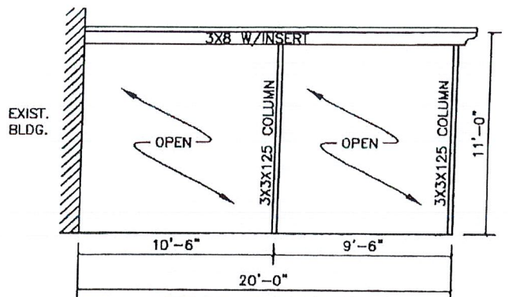
PLAN



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

NOTE:
REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1:1.14.1

NOTE:
FIRE CODES IN EFFECT:
FLORIDA FIRE PREVENTION CODE (FFPC) 6TH EDITION, EFFECTIVE DECEMBER 31, 2017 WITH BROWARD COUNTY AMENDEMENTS, INCLUDING NFPA 101, 2015 EDITION, NFPA 1, 2015 EDITION, & STATE STATUTES, 2017 EDITION

OCCUPANCY CLASSIFICATION : A-Z

TOTAL SQUARE FOOTAGE: 1497 SQ. FT.

TOTAL OCCUPANT LOAD: 100 PEOPLE

REVISED 12/07/18-BLDG. DEPT. COMM.-S.F.

Engineering Business CA 00009677

12/7/18

C.T. "GUS" TARNOWSKI
P.E. # 50662

JOB #: 180852
DATE: 10/16/18
SCALE: 1/8"= 1'-0"
DRAWN BY: S.F.
CHECKED BY:
SHEET NO. 1 OF 2

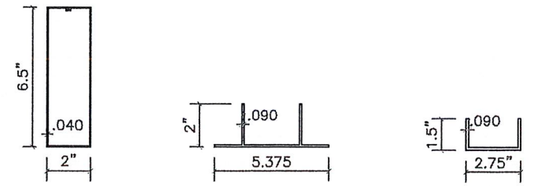
NEW ALUMINUM ROOF FOR:

PEMBROKE ISLES CLUB HOUSE
1401 N.W. 169 AVE.
PEMBROKE PINES, FL.

CONTRACTOR: ALUMINUM OUTDOOR DESIGNS

THESE PLANS CONFORM TO THE FBC 2017 ED. & ASCE 7-10
DESIGN BASED ON 170 MPH ULTIMATE WINDS, EXPOSURE "C", CATEGORY II

TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL. 33317
Phone (954) 727 - 2027
Fax (954) 727 - 9644



2X6.5

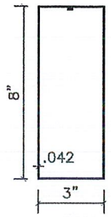
N.T.S.

FLANGE MOUNT

N.T.S.

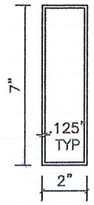
U CLIP

N.T.S.



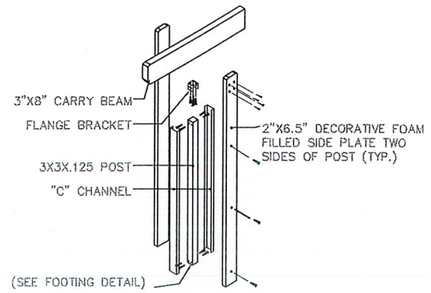
3X8

N.T.S.



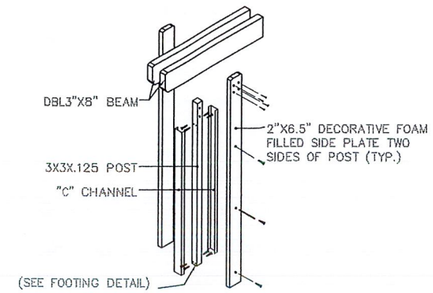
2X7 INSERT

N.T.S.



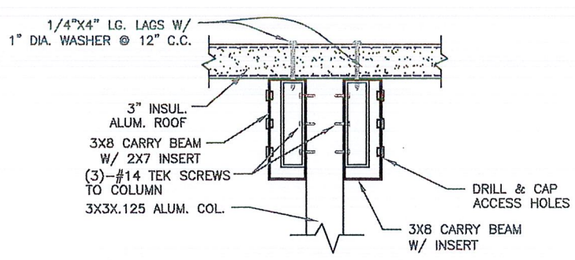
DECO COLUMN COVER

N.T.S.



DECO COLUMN COVER

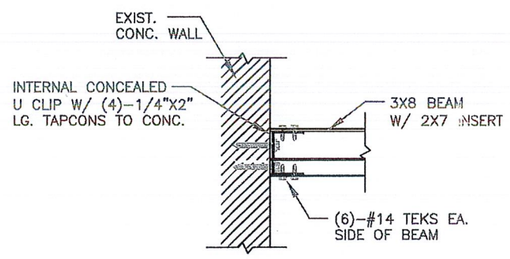
N.T.S.



TYP. INSULATED ROOF SECTION

(SECTION A-A)

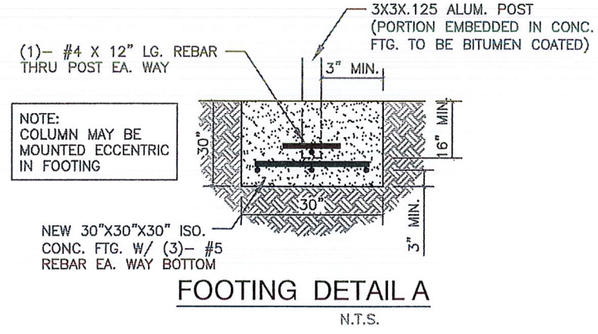
N.T.S.



BEAM TO WALL DETAIL

(PLAN VIEW)

N.T.S.



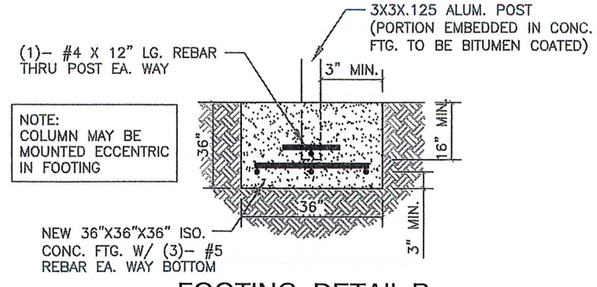
FOOTING DETAIL A

N.T.S.

TYP. INSULATED ROOF SECTION

(SECTION B-B)

N.T.S.



FOOTING DETAIL B

N.T.S.

THESE PLANS CONFORM TO THE FBC 2017 ED. & ASCE 7-10
DESIGN BASED ON 170 MPH ULTIMATE WINDS, EXPOSURE "C", CATEGORY II

Engineering Business CA 00009677

4/11/19

C.T."Gus" TARNOWSKI
P.E. # 50662

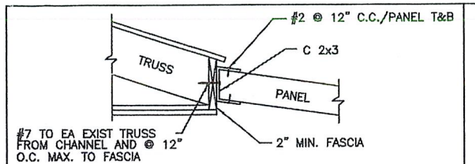
JOB #: 180852
DATE: 10/16/18
SCALE: 1/8"= 1'-0"
DRAWN BY: S.F.
CHECKED BY:
SHEET NO. 2 OF 2

NEW ALUMINUM ROOF FOR:

PEMBROKE ISLES CLUB HOUSE
1401 N.W. 169 AVE.
PEMBROKE PINES, FL.

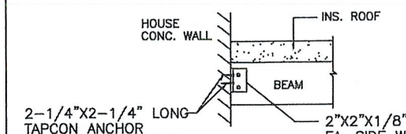
CONTRACTOR: ALUMINUM OUTDOOR DESIGNS

TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL. 33317
Phone (954) 727 – 2027
Fax (954) 727 – 9644

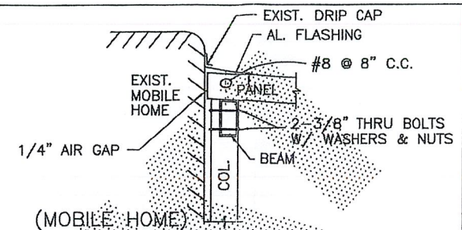


NOTE: FASCIA MAY BE BUILT UP BY LAGGING NEW 1" MEM. TO OLD/ 2-1/4" x 3-1/2" LAGS/TRUSS OR RAFTER.
2" SUB-FASCIA BEHIND 1" FASCIA IS ALSO ACCEPTABLE.

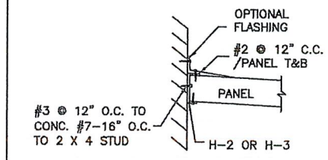
FASCIA CONN.



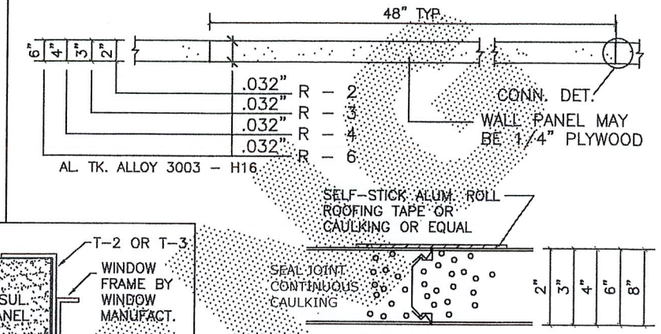
BM TO HOUSE CONN.



(MOBILE HOME) COL./FLASHING DETAIL



PANEL TO WALL CONN.



ROOF SPAN FROM TABLE OR FL PRODUCT APPROVAL
MIN. ROOF PITCH IS ¼" PER 12", MAX IS 6" IN 12"

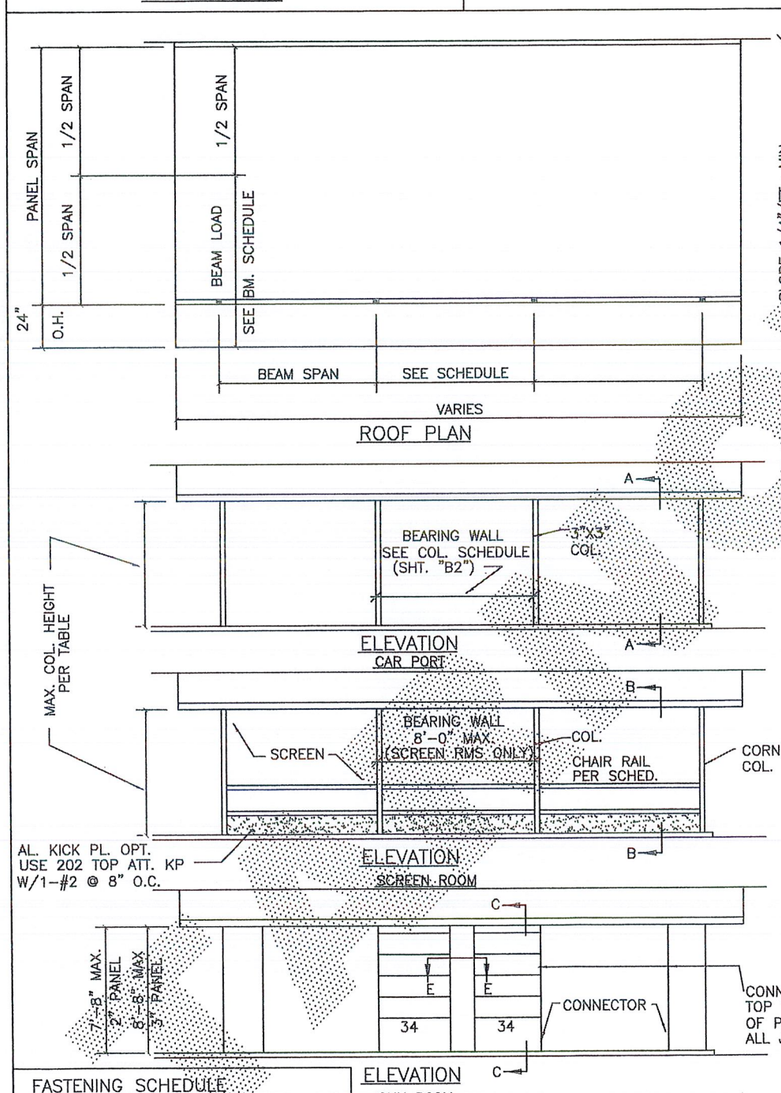
ROOF PANEL CONNECTION (FRONT ELEVATION)

ROOF & WALL PANEL DETAILS

PANEL SCHEDULE: ROOF PANELS

PANEL	L/80* 12' SPAN OR LESS	L/120	L/180* OVER 12'
R - 2	11'-6"	12'-0"	--
R - 3	12'-0"	13'-6"	--
R - 4	--	16'-2"	13'-10"
R - 6	--	20'-8"	17'-10"
R - 8	--	24'-4"	21'-3"

* = FOR USE IN HVHZ AREAS ONLY

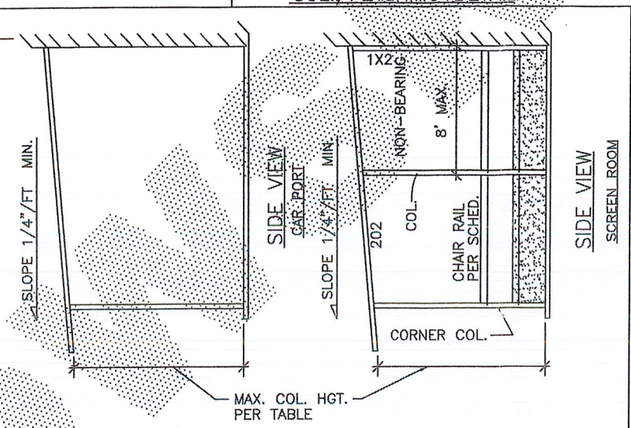


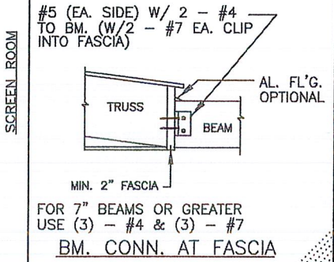
ROOF PLAN

ELEVATION CAR PORT

ELEVATION SCREEN ROOM

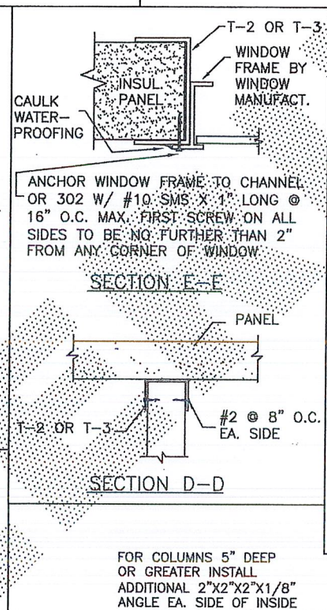
ELEVATION SUN ROOM





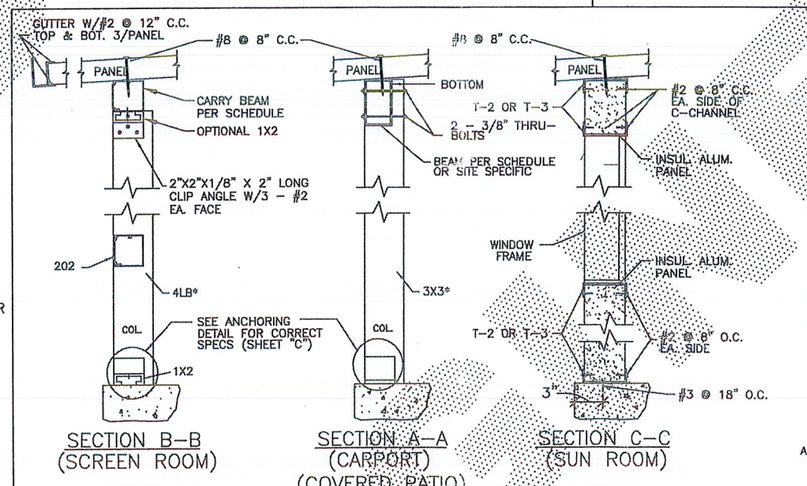
FOR 7" BEAMS OR GREATER USE (3) - #4 & (3) - #7

BM. CONN. AT FASCIA



SECTION E-E

SECTION D-D

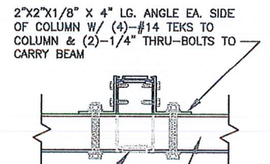


SECTION B-B (SCREEN ROOM)

SECTION A-A (CARPORT) (COVERED PATIO)

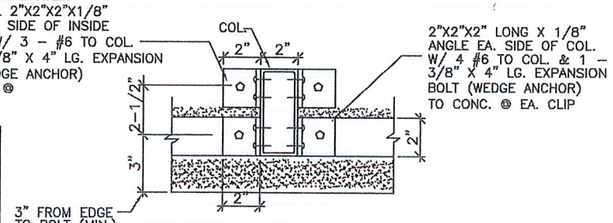
SECTION C-C (SUN ROOM)

* SEE TABLES OR SITE SPECIFIC DRAWINGS FOR REQUIRED BEAM AND COLUMN SIZES.

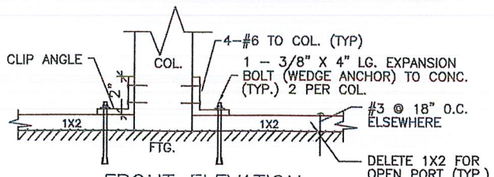


ALT. CARRY BEAM TO COLUMN

FOR COLUMNS 5" DEEP OR GREATER INSTALL ADDITIONAL 2"X2"X2"X1/8" ANGLE EA. SIDE OF INSIDE OF COL. W/ 3 - #6 TO COL. & 1 - 3/8" X 4" LG. EXPANSION BOLT (WEDGE ANCHOR) TO CONC. @ EA. CLIP



COLUMN ANCHORING DETAIL



FRONT ELEVATION

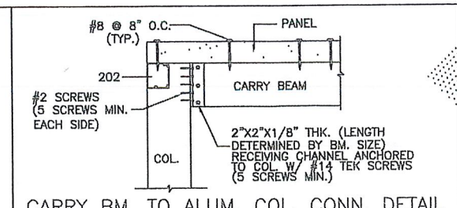
NOTE: ANGLES ARE NOT REQ'D. FOR 202 DOOR JAMB COLS.

ALL ANGLES SECURING THE COLUMN TO THE CONCRETE TO BE 2"X2"X1/8"X2" LONG. USE ONE ANCHORS PER CLIP - MIN. TWO ANCHORS PER COLUMN IN ALL CASES. 3/8" DIA. BOLTS ARE TO BE EXPANSION TYPE. (SEE ANGLE TO CONC. DETAIL) EXPANSION BOLTS TO BE "HILTI KWIK BOLT II" SYSTEM OR EQUAL.

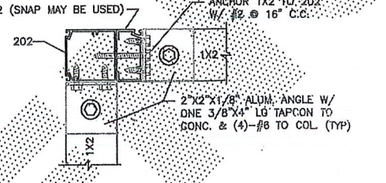
*3/8" TAPCON MAY BE USED IN LIEU OF 3/8" EXPANSION BOLT SEE GENERAL NOTE 4 FOR ADDITIONAL REQUIREMENTS

FASTENING SCHEDULE

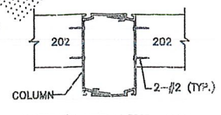
#1 - #14 TEK SCREW/HEX HEAD
#2 - #10 S.M.S./ HEX HD.
#3 - 1/4" X 2 1/4" TAPCON ANCHOR
#4 - 1/4" BOLTS/WASHER/NUT
#5 - CLIP ANGLE,.125" MIN. THICKNESS
#6 - #12X1" LG. S.M.S./HEX HD.
#7 - 1/4" X 3" LAG
#8 - 1/4" LAG*, WITH 1" WASHER
#9 - #10 X 1 1/2" S.M.S./HEX HD.
#12 - CLIP ANGLE, 3/32" MIN.THICKNESS
*LAG BOLT LENGTH TO BE 1" LONGER THAN ALUMINUM PANEL THICKNESS



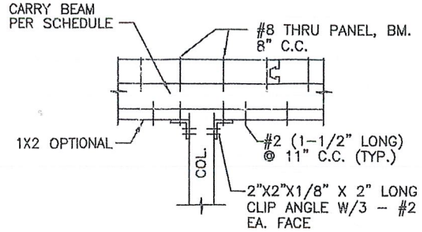
CARRY BM. TO ALUM. COL. CONN. DETAIL



CORNER COL.



INTERMEDIATE COL. FOR SCREEN ROOM



SCREEN ROOM COL. TO BEAM CONN.

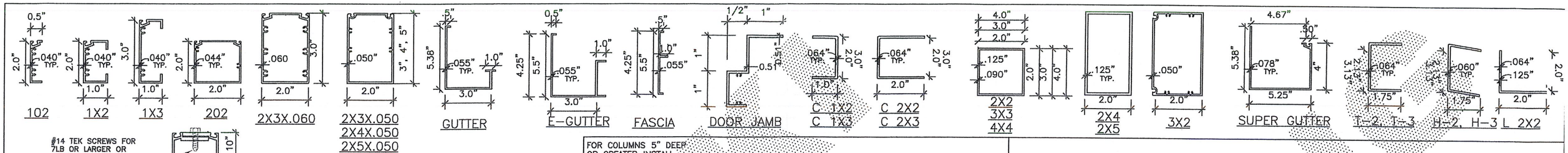
INSULATED ALUM. PANEL DETAIL SHEET:

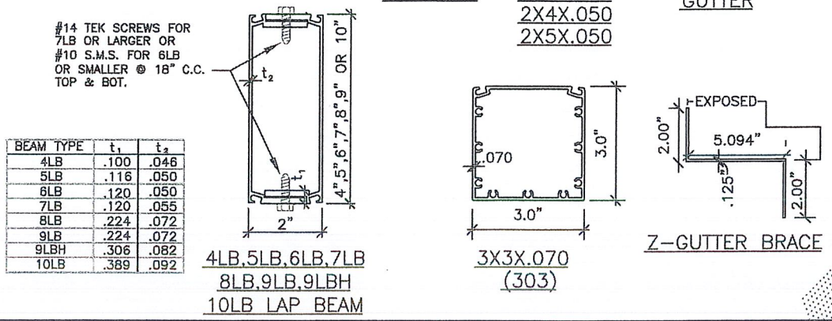
F.B.C. 2017 EDITION & ASCE 7-10

DATE : 01/01/18
SCALE : N.T.S.
SHEET : D

10/22/18

ENGINEERING BUSINESS CA 00009677
TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL. 33317
Phone (954) 727 - 2027
Fax (954) 727 - 9644
C.T. TARNOWSKI, P.E.
STRUCTURAL ENGINEER - FIA. LIC. 0050662



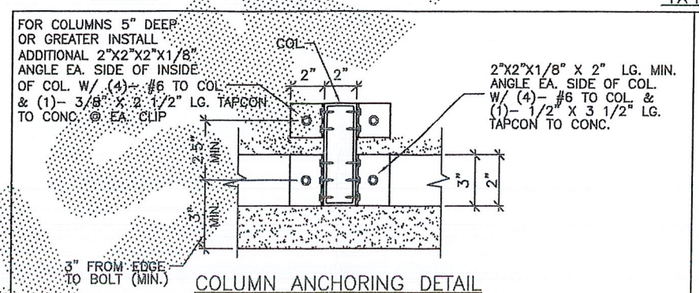


BEAM TYPE	t_1	t_2
4LB	.100	.046
5LB	.116	.050
6LB	.120	.050
7LB	.120	.055
8LB	.224	.072
9LB	.224	.072
9LBH	.306	.082
10LB	.389	.092

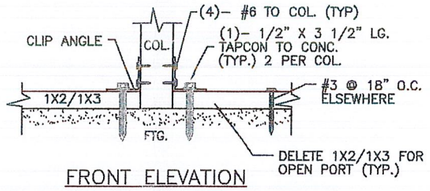
4LB,5LB,6LB,7LB
8LB,9LB,9LBH
10LB LAP BEAM

3X3X.070
(303)

Z-GUTTER BRACE



COLUMN ANCHORING DETAIL

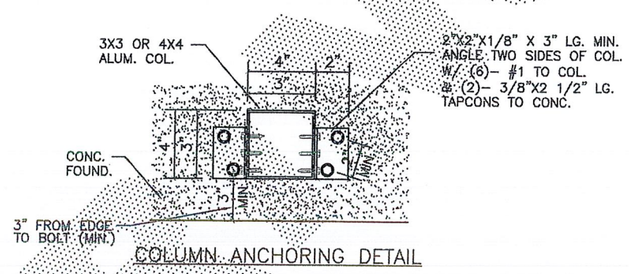


FRONT ELEVATION

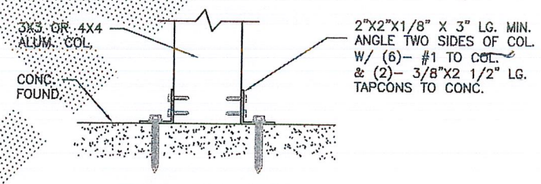
NOTE: ANGLES ARE NOT REQ'D. FOR 202 DOOR JAMB COLS.

ALL ANGLES SECURING THE COLUMN TO THE CONCRETE TO BE A MIN. 2"X2"X1/8"X2" LONG. 1/2" DIA. BOLTS ARE TO BE EXPANSION TYPE. (SEE ANGLE TO CONC. DETAIL) EXPANSION BOLTS TO BE "HILTI KWIK BOLT II" SYSTEM OR EQUAL.

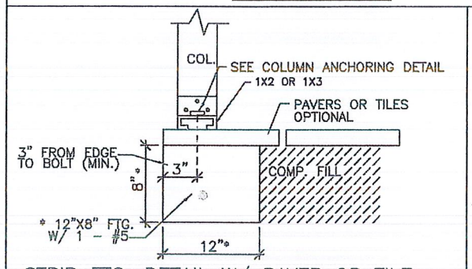
*4" LG. EXPANSION BOLT OF SAME DIAMETER MAY BE USED IN LIEU OF TAPCON TAPCONS ARE TO BE SIMPSON "TITEN" OR EQUAL
SEE GENERAL NOTES 2 & 4 FOR ADDITIONAL REQUIREMENTS



COLUMN ANCHORING DETAIL

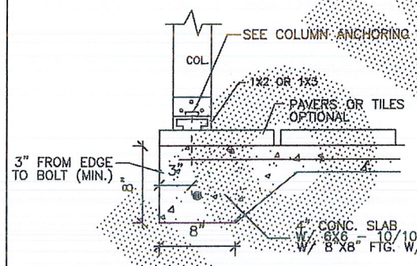


FRONT ELEVATION



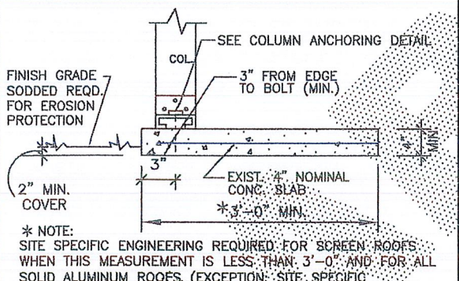
STRIP FTG. DETAIL W/ PAVER OR TILE

* 12"X 8" FTG. IS MINIMUM FOOTING SIZE. REFER TO SITE SPECIFIC PLANS, AND STRIP FTG. SCHED. FOR ANY ADDITIONAL REQUIREMENTS. MIN. FOOTING SIZES SHOWN APPLY TO NEW FOOTING'S ONLY. FOR EXIST. FOOTING'S SEE SITE SPECIFIC PLAN.



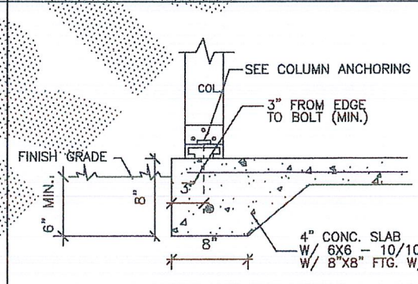
FTG./SLAB W/ PAVER OR TILE

NOTE: FIBERMESH MAY BE USED IN LIEU OF 6X6 - 10/10 W.W.M.



* NOTE:
SITE SPECIFIC ENGINEERING REQUIRED FOR SCREEN ROOFS WHEN THIS MEASUREMENT IS LESS THAN 3'-0" AND FOR ALL SOLID ALUMINUM ROOFS (EXCEPTION: SITE SPECIFIC ENGINEERING IS NOT REQUIRED FOR SCREEN WALLS UNDER EXISTING HOUSE ROOFS)

TYP. SLAB FOOTING

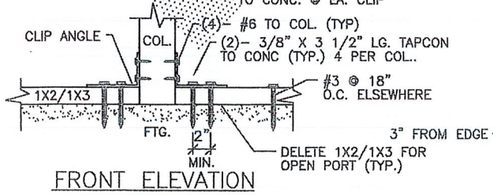


FTG. & SLAB DETAIL

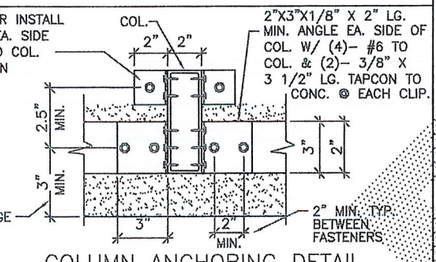
NOTE: FIBERMESH MAY BE USED IN LIEU OF 6X6 - 10/10 W.W.M.

NOTE: THIS DETAIL ALSO APPLIES TO THE TOP OF 8" WIDE MASONRY WALLS

FOR COLUMNS 5" DEEP OR GREATER INSTALL ADDITIONAL 2"X2"X2"X1/8" ANGLE EA. SIDE OF INSIDE OF COL. W/ (3)- #6 TO COL. & (1)- 3/8" X 2 1/2" LG. TAPCON TO CONC. @ EA. CLIP



FRONT ELEVATION



COLUMN ANCHORING DETAIL

NOTE: ANGLES ARE NOT REQ'D. FOR 202 DOOR JAMB COLUMNS.
*4" LG. EXPANSION BOLT OF SAME DIAMETER MAY BE USED IN LIEU OF TAPCON TAPCONS ARE TO BE SIMPSON "TITEN" OR EQUAL
SEE GENERAL NOTES 2 & 4 FOR ADDITIONAL REQUIREMENTS

GENERAL NOTES

THIS STRUCTURE HAS BEEN DESIGNED & TESTED IN ACCORDANCE W/ THE REQUIREMENTS OF THE F.B.C 2017 EDITION. THE MIN. MECH. PROPERTIES OF ALUM. ARE IN ACCORDANCE W/ LATEST ED. OF THE ALUM. CONST. MANUAL. THIS STRUCTURE ALSO CONFORMS TO THE DESIGN CRITERIA OF THE ASCE 7-10

SCREEN WALL & SCREEN ROOF LOADS BASED ON 18X14 SCREEN MESH.
ALUM. PAN & INS. PANEL STRUCTURES BASED ON 100% LIVE LOADS

1. ALL PRIMARY MEMBERS WILL BE CONNECTED W/ BOLTS, POP RIVETS OR OTHER POSITIVE FASTENERS.
2. ANCHORS SHALL BE PLACED GREATER THAN 3" FROM EDGE OF CONCRETE SLAB OR FOOTINGS. ALL CONC. FASTENERS MUST BE EMBED. A MIN. OF 1 1/2" INTO SOLID CONC. REGARDLESS OF LENGTHS SPECIFIED IN INDIVIDUAL DETAILS.
3. FASTENERS FOR ALUM. SHEETS SHALL NOT EXCEED 8" ON CENTER
4. ALL CONC. ANCHORS SHALL HAVE A 1/2" MIN. HEAD OR BE PROVIDED W/ 1/2 INCH DIA. WASHERS MIN.
5. CONTRACTOR IS RESPONSIBLE TO INSULATE ALUM. MEMBERS FROM DISSIMILAR METALS TO PREVENT ELECTROLYSIS.
6. ALUM. IN CONTACT W/ CONC. OR WOOD SHALL BE PROTECTED W/ HEAVY BOOTED BITUMINOUS PAINT OR WATER WHITE METHACRYLATE LACQUER OR THE WOOD SHALL BE PAINTED W/ TWO COATS OF ALUM. HOUSE PAINT AND THE JOINTS SEALED W/ A GOOD QUALITY CAULKING.
7. ALL DOORS TO BE SELF-CLOSING AND LATCHING, W/5 FT. HIGH DOOR HANDLES WHERE POOL OR SPA EXIST. DOOR LOCATION & 202 DOOR JAMB PLACEMENT IS OPTIONAL. ALL OTHER COLUMNS TO REMAIN AS SHOWN.
8. ALL NOTES & DETAILS SHOWN ON SITE-SPECIFIC PLAN SUPERCEDES ANY REQ.'S SHOWN ON THIS STANDARD DETAIL SHEET.
9. 1X2'S AND 1X3'S ARE NON-STRUCTURAL MEMBERS AND MAY BE USED INTERCHANGEABLY.

ALL CONCRETE FOR FOUNDATIONS TO BE 2500PSI MIN, CONCRETE EXCEEDING THIS SPECIFICATION MAY BE REQUIRED PER LOCAL BUILDING CODES.

BEAMS, PURLINS, COLUMNS .....*AL. 6005-T5
ALL OTHER EXTRUSIONS .....AL. 6063-T5
ALUMINUM SHEET .....*AL. 3003-H16
BOLTS, SCREWS, RIVETS, WASHERS .....AL. 2024-T4

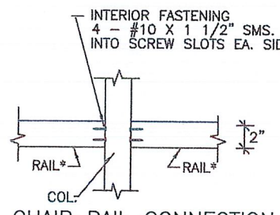
ALL FASTENERS TO BE ALUM., NON-MAGNETIC STAINLESS STEEL, CADMIUM PLATED STEEL, OR NYLON HEADED (NYLO-TEC OR PRO-TECT)

*UNLESS OTHERWISE NOTED

STRIP FOOTING SCHEDULE

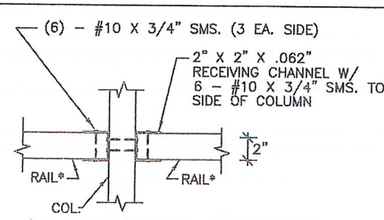
STRUCTURE	FOOTING (MIN.) WIDTH X DEPTH	REBAR
SCREEN ROOF W/ UP TO 7LB	12"X10"	2-#5
SCREEN ROOF W/8LB	12"X12"	2-#5
SCREEN ROOF W/ 9LB OR 10LB	12"X16"	2-#5
ALL SOLID ALUMINUM ROOF	12"X16"	2-#5

FOOTING SIZES SMALLER THAN SHOWN MAY BE USED WITH SITE SPECIFIC PLAN.



CHAIR RAIL CONNECTION

* CHAIR RAIL PER SCHEDULE



ALT. CHAIR RAIL CONNECTION

* CHAIR RAIL PER SCHEDULE

FASTENING SCHEDULE

#1 - #14 TEK SCREW/HEX HEAD
#2 - #10 S.M.S./ HEX HD.
#3 - 1/4" X 2 1/4" TAPCON ANCHOR
#4 - 1/4" BOLTS/WASHER/NUT
#5 - CLIP ANGLE,.125" MIN. THICKNESS
#6 - #12X1" LG. S.M.S./HEX HD.
#7 - 1/4" X 3" LAG
#8 - 1/4" LAG*, WITH 1" WASHER
#9 - #10 X 1 1/2" S.M.S./HEX HD.
#12 - CLIP ANGLE, 3/32" MIN.THICKNESS
*LAG BOLT LENGTH TO BE 1" LONGER THAN ALUMINUM PANEL THICKNESS

DATE : 07/16/18
SCALE : N.T.S.
SHEET : C

10/22/18
C.T. TARNOWSKI, P.E.
STRUCTURAL ENGINEER - FLA. LIC. 0050662

ENGINEERING BUSINESS CA 00009677
TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL. 33317
Phone (954) 727 - 2027
Fax (954) 727 - 9644

GENERAL DETAIL SHEET:

F.B.C. 2017 EDITION & ASCE 7-10

6005-T5

18X14 MESH

ALL CALCULATIONS ARE BASED ON THE FOLLOWING CRITERIA:

1. FOR SCREENING WITH 18X14X.013" MESH SPANS ARE BASED ON LOADS FROM ASCE 7-10, SHAPE FACTORS X 1.3 HORIZ & X 0.7 VERT. LOADS ARE APPLIED SIMULTANEOUSLY TO WALL & ROOF
2. 38 PSF ROOF LOAD, 20 PSF WALL LOAD
3. WIND LOAD = 170 M.P.H. / EXPOSURE C / CATEGORY II

CHAIR RAIL SCHEDULE

MAXIMUM RAIL SPAN						
RAIL	4.0'	5.0'	6.0'	7.0'	8.0'	> LOAD FACTOR*
202	6.5	5.8	5.3	4.9	4.6	
2X3X050	9.4	8.5	7.8	7.2	6.7	RAIL LENGTH
2X3X060	9.9	9.2	8.7	8.2	7.9	
2X4X050	11.0	10.2	9.3	8.6	8.0	
2X5X050	11.0	11.0	10.6	9.8	9.1	

*LOAD FACTOR = 1/2 THE DISTANCE TO CHAIR RAIL OR GROUND BELOW + 1/2 THE DISTANCE TO CHAIR RAIL OR BEAM ABOVE

BEAM PROPERTIES

MARK	TYPE	SIZE		THICKNESS	
		b	d	t1	t2
4LB	LAP BEAM	2.0	4.0	0.100	0.046
5LB	LAP BEAM	2.0	5.0	0.116	0.050
6LB	LAP BEAM	2.0	6.0	0.120	0.050
7LB	LAP BEAM	2.0	7.0	0.120	0.055
8LB	LAP BEAM	2.0	8.0	0.224	0.072
9LB	LAP BEAM	2.0	9.0	0.224	0.072
9LBH	LAP BEAM	2.0	9.0	0.306	0.082
10LB	LAP BEAM	2.0	10.0	0.389	0.092

COLUMN SCHEDULES WITH SOLID ALUMINUM ROOF (OPEN WALLS)

COLUMN TYPE: 3X3X.090 — LOADING = 38 PSF — AREA = 1.08 — K = 1.5 — I = 1.52

COL. SPACING	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	> BEAM LOAD FACTOR*
4	21.3	19.1	17.4	16.1	15.1	14.2	13.5	12.9	12.3	11.8	11.4	11.0	10.7	10.3	10.1	9.8	9.5	
5	19.1	17.1	15.6	14.4	13.5	12.7	12.1	11.5	11.0	10.6	10.2	9.8	9.5	9.2	9.0	8.7	8.5	
6	17.4	15.6	14.2	13.2	12.3	11.6	11.0	10.5	10.1	9.7	9.3	9.0	8.7	8.4	8.2	8.0	7.8	
7	16.1	14.4	13.2	12.2	11.4	10.7	10.2	9.7	9.3	8.9	8.6	8.3	8.1	7.8	7.6	7.4	7.2	
8	15.1	13.5	12.3	11.4	10.7	10.1	9.5	9.1	8.7	8.4	8.1	7.8	7.5	7.3	7.1	6.9	6.7	
9	14.2	12.7	11.6	10.7	10.1	9.5	9.0	8.6	8.2	7.9	7.6	7.3	7.1	6.9	6.7	6.5	6.4	
10	13.5	12.1	11.0	10.2	9.5	9.0	8.5	8.1	7.8	7.5	7.2	7.0	6.7	6.5	6.4	6.2	6.0	
11	12.9	11.5	10.5	9.7	9.1	8.6	8.1	7.8	7.4	7.1	6.9	6.6	6.4	6.2	6.1	5.9	5.7	
12	12.3	11.0	10.1	9.3	8.7	8.2	7.8	7.4	7.1	6.8	6.6	6.4	6.2	6.0	5.8	5.6	5.5	
14	11.4	10.2	9.3	8.6	8.1	7.6	7.2	6.9	6.6	6.3	6.1	5.9	5.7	5.5	5.4	5.2	5.1	
16	10.7	9.5	8.7	8.1	7.5	7.1	6.7	6.4	6.2	5.9	5.7	5.5	5.3	5.2	5.0	4.9	4.8	
18	10.1	9.0	8.2	7.6	7.1	6.7	6.4	6.1	5.8	5.6	5.4	5.2	5.0	4.9	4.7	4.6	4.5	
20	9.5	8.5	7.8	7.2	6.7	6.4	6.0	5.7	5.5	5.3	5.1	4.9	4.8	4.6	4.5	4.4	4.3	

> COLUMN HEIGHT

TABLE GIVES MAX. COLUMN HEIGHT FOR GIVEN COLUMN SPACING AND BEAM LOAD
*BEAM LOAD FACTOR = THE SUM OF 1/2 THE SPAN OF THE LONGEST MEMBER ATTACHED TO EACH SIDE OF THE CARRY BEAM.

COLUMN SCHEDULES WITH SOLID ALUMINUM ROOF (OPEN WALLS)

COLUMN TYPE: 4X4X.090 — LOADING = 38 PSF — AREA = 1.45 — K = 1.5 — I = 3.70

COL. SPACING	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	> BEAM LOAD FACTOR*
4	33.2	29.7	27.1	25.1	23.5	22.1	21.0	20.0	19.2	18.4	17.8	17.1	16.6	16.1	15.7	15.2	14.9	
5	29.7	26.6	24.3	22.5	21.0	19.8	18.8	17.9	17.1	16.5	15.9	15.3	14.9	14.4	14.0	13.6	13.3	
6	27.1	24.3	22.1	20.5	19.2	18.1	17.1	16.4	15.7	15.0	14.5	14.0	13.6	13.2	12.8	12.4	12.1	
7	25.1	22.5	20.5	19.0	17.8	16.7	15.9	15.1	14.5	13.9	13.4	13.0	12.6	12.2	11.8	11.5	11.2	
8	23.5	21.0	19.2	17.8	16.6	15.7	14.9	14.2	13.6	13.0	12.6	12.1	11.7	11.4	11.1	10.8	10.5	
9	22.1	19.8	18.1	16.7	15.7	14.8	14.0	13.4	12.8	12.3	11.8	11.4	11.1	10.7	10.4	10.2	9.9	
10	21.0	18.8	17.1	15.9	14.9	14.0	13.3	12.7	12.1	11.7	11.2	10.8	10.5	10.2	9.9	9.6	9.4	
11	20.0	17.9	16.4	15.1	14.2	13.4	12.7	12.1	11.6	11.1	10.7	10.3	10.0	9.7	9.4	9.2	9.0	
12	19.2	17.1	15.7	14.5	13.6	12.8	12.1	11.6	11.1	10.6	10.2	9.9	9.6	9.3	9.0	8.8	8.6	
14	17.8	15.9	14.5	13.4	12.6	11.8	11.2	10.7	10.2	9.8	9.5	9.2	8.9	8.6	8.4	8.1	7.9	
16	16.6	14.9	13.6	12.6	11.7	11.1	10.5	10.0	9.6	9.2	8.9	8.6	8.3	8.1	7.8	7.6	7.4	
18	15.7	14.0	12.8	11.8	11.1	10.4	9.9	9.4	9.0	8.7	8.4	8.1	7.8	7.6	7.4	7.2	7.0	
20	14.9	13.3	12.1	11.2	10.5	9.9	9.4	9.0	8.6	8.2	7.9	7.7	7.4	7.2	7.0	6.8	6.6	

> COLUMN HEIGHT

TABLE GIVES MAX. COLUMN HEIGHT FOR GIVEN COLUMN SPACING AND BEAM LOAD
*BEAM LOAD FACTOR = THE SUM OF 1/2 THE SPAN OF THE LONGEST MEMBER ATTACHED TO EACH SIDE OF THE CARRY BEAM.

COLUMN SCHEDULES WITH SOLID ALUMINUM ROOF (SCREEN WALLS)

MAXIMUM COLUMN HEIGHT W/12' ALUMINUM ROOF										MAXIMUM COLUMN HEIGHT W/20' ALUMINUM ROOF									
COLUMN	4.0'	4.5'	5.0'	5.5'	6.0'	6.5'	7.0'	7.5'	8.0'	COLUMN	4.0'	4.5'	5.0'	5.5'	6.0'	6.5'	7.0'	7.5'	8.0'
2X3X060	7.8	7.4	7.0	6.7	6.4	6.1	5.9	5.8	5.5	2X3X060	6.5	6.3	6.0	5.9	5.7	5.4	5.0	5.2	4.9
3X3X090	10.7	10.2	9.7	9.3	8.9	8.5	8.2	7.9	7.7	3X3X090	8.2	7.8	7.6	7.3	7.1	6.9	6.8	6.6	6.5
3X3X125	11.8	11.4	11.0	10.6	10.3	10.0	9.8	9.5	9.2	3X3X125	9.0	8.7	8.4	8.1	7.9	7.7	7.5	7.3	7.1
4X4X090	14.1	13.3	12.6	12.0	11.5	11.1	10.7	10.3	10.0	4X4X090	11.0	10.6	10.2	9.9	9.6	9.3	9.1	8.9	8.7
4X4X125	15.9	15.3	14.8	14.3	13.9	13.5	13.2	12.9	12.6	4X4X125	12.1	11.7	11.3	10.9	10.6	10.3	10.1	9.8	9.6
4LB	10.1	9.5	9.0	8.6	8.2	7.8	7.5	7.2	6.9	4LB	8.9	8.6	8.3	7.9	7.4	6.9	6.5	6.2	5.7
5LB	12.7	12.0	11.3	10.8	10.3	9.9	9.4	9.1	8.7	5LB	11.1	10.6	10.3	9.9	9.7	9.2	8.8	8.4	8.0
6LB	14.4	13.5	12.8	12.1	11.6	11.0	10.6	10.2	9.8	6LB	12.9	12.4	11.9	11.6	11.0	10.5	10.0	9.6	9.2
7LB	16.3	15.3	14.4	13.7	13.0	12.5	11.9	11.5	11.0	7LB	14.7	14.1	13.6	13.2	12.5	11.9	11.3	10.8	10.4
8LB	25.0	23.6	22.4	21.4	20.5	19.7	19.0	18.3	17.7	8LB	19.1	18.3	17.7	17.2	16.7	16.2	15.8	15.5	15.1
9LB	27.2	25.6	24.3	23.2	22.2	21.3	20.5	19.8	19.2	9LB	21.0	20.1	19.4	18.8	18.3	17.8	17.4	17.0	16.6
9LBH	29.7	28.5	27.5	26.6	25.5	24.5	23.6	22.8	22.1	9LBH	22.6	21.8	21.0	20.3	19.8	19.2	18.8	18.3	18.0
10LB	34.3	32.9	31.8	30.8	29.8	28.6	27.6	26.6	25.8	10LB	26.1	25.1	24.3	23.5	22.8	22.2	21.7	21.2	20.7

> COLUMN SPACING

> COLUMN HEIGHT

TABLE GIVES MAX. COLUMN HEIGHT FOR GIVEN COLUMN SPACING AND BEAM LOAD
FOR LONGER SPANS SEE SITE SPECIFIC ENGINEERING.
NOTE: THIS TABLE APPLIES TO BOTH BEARING AND NON BEARING WALLS FOR HORIZONTAL WIND LOADS CONTROL IN DESIGN.
2X4X.050 MAY BE USED IN LIEU OF 4LB, 2X5X.050 MAY BE USED IN LIEU OF 5LB.

CARRY BEAM SCHEDULE FOR SOLID ALUMINUM ROOFS (OPEN WALLS)

	BEAM LOADS WHERE ROOF PROJECTION IS 12' OR LESS..... = L/80						BEAM LOADS WHERE ROOF PROJECTION IS 12' OR GREATER..... = L/180								
	MAXIMUM BEAM SPAN														
BEAM	4'	5'	6'	7'	8'	9'	4'	5'	6'	7'	8'	9'	10'	12'	> BEAM LOAD FACTOR*
2X4X125	10.9	10.1	9.4	8.7	8.2	7.7	8.3	7.7	7.3	6.9	6.6	6.3	6.1	5.8	
2X5X125	13.2	12.2	11.1	10.3	9.6	9.1	10.0	9.3	8.8	8.3	8.0	7.6	7.4	6.9	
4LB	7.9	7.0	6.4	5.9	5.5	5.2	7.2	6.7	6.3	5.9	5.5	5.2	5.0	4.5	
5LB	9.8	8.7	8.0	7.4	6.9	6.5	8.9	8.3	7.8	7.4	6.9	6.5	6.2	5.6	BEAM LENGTH B/T COLUMNS
6LB	10.9	9.8	8.9	8.2	7.7	7.3	10.4	9.6	8.9	8.2	7.7	7.3	6.9	6.3	
7LB	12.3	11.0	10.0	9.3	8.7	8.2	11.8	11.0	10.0	9.3	8.7	8.2	7.8	7.1	
8LB	19.0	17.0	15.5	14.4	13.4	12.7	15.4	14.3	13.4	12.8	12.2	11.7	11.3	10.7	
9LB	20.5	18.3	16.7	15.5	14.5	13.7	16.9	15.7	14.8	14.0	13.4	12.9	12.4	11.7	
9LBH	23.6	21.1	19.3	17.9	16.7	15.7	18.3	17.0	15.9	15.1	14.5	13.9	13.4	12.6	
10LB	27.4	24.5	22.4	20.7	19.4	18.3	21.1	19.6	18.4	17.5	16.7	16.1	15.5	14.6	

TABLE GIVES MAX. BEAM SPAN FOR GIVEN BEAM LOAD
*BEAM LOAD FACTOR = THE SUM OF 1/2 THE SPAN OF THE LONGEST MEMBER ATTACHED TO EACH SIDE OF THE CARRY BEAM.
2X4X.050 MAY BE USED IN LIEU OF 4LB, 2X5X.050 MAY BE USED IN LIEU OF 5LB.

CARRY BEAM SCHEDULE FOR SOLID ALUMINUM ROOFS (SCREEN WALLS)

WITH ROOF UP TO 12'						WITH ROOF UP TO 20'						
RAIL	4.0'	5.0'	6.0'	7.0'	8.0'	RAIL	4.0'	5.0'	6.0'	7.0'	8.0'	> BEAM LOAD FACTOR*
3X2X050	4.3	4.2	4.1	4.1	4.0	3X2X050	3.5	3.5	3.4	3.4	3.3	
2X3X097	5.8	5.7	5.6	5.5	5.5	2X3X097	4.3	4.3	4.3	4.3	4.3	
2X4X050	5.2	5.1	5.0	4.9	4.8	2X4X050	4.3	4.2	4.1	4.1	4.0	
2X4X125	7.9	7.8	7.6	7.5	7.4	2X4X125	5.9	5.9	5.9	5.9	5.9	BEAM LENGTH B/T COLUMNS
2X5X050	6.1	5.9	5.8	5.7	5.6	2X5X050	5.0	4.9	4.8	4.8	4.7	
2X5X125	8.0	8.0	8.0	8.0	8.0	2X5X125	7.1	7.1	7.1	7.1	7.1	

TABLE GIVES MAX. BEAM SPAN FOR GIVEN BEAM LOAD
*BEAM LOAD FACTOR = THE DISTANCE FROM CARRY BEAM TO CHAIR RAIL BELOW
2X4X.050 MAY BE USED IN LIEU OF 4LB, 2X5X.050 MAY BE USED IN LIEU OF 5LB.

**ALL CALCULATIONS ARE BASED ON 6005-T5 ALUMINUM ALLOY
**1/3 STRESS REDUCTION NOT USED IN CALCULATIONS
**LINEAR INTERPOLATION BETWEEN COLUMN SPACING IS ALLOWED

ALUMINUM ROOF SPAN TABLES: 18X14 MESH | EXPOSURE C | 170 MPH | F.B.C. 2017 EDITION & ASCE 7-10 | 6005-T5

DATE : 01/01/18
SCALE : N.T.S.
SHEET : B2 [170C*]

10/22/18
C.T. TARNOWSKI, P.E.
STRUCTURAL ENGINEER - FIA. LIC. 0050662

ENGINEERING BUSINESS CA 00009677
TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL. 33317
Phone (954) 727 - 2027
Fax (954) 727 - 9644

FL #	FL7561-R4
Application Type	Revision
Code Version	2017
Application Status	Approved
Comments	
Archived	
Product Manufacturer	Elite Aluminum Corporation
Address/Phone/Email	4650 Lyons Technology Parkway Coconut Creek, FL 33073 (954) 949-3200 dk@dokimengineering.net
Authorized Signature	Do Kim dk@dokimengineering.net
Technical Representative	Bruce Peacock
Address/Phone/Email	4650 Lyons Technology Parkway Coconut Creek, FL 33073 (954) 949-3200 bpeacock@elitealuminum.com
Quality Assurance Representative	
Address/Phone/Email	
Category	Roofing
Subcategory	Products Introduced as a Result of New Technology
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer Evaluation Report - Hardcopy Received
Florida Engineer or Architect Name who developed the Evaluation Report	Do Kim, P.E.
Florida License	PE-49497
Quality Assurance Entity	QAI Laboratories
Quality Assurance Contract Expiration Date	12/30/2022
Validated By	CBUCK Engineering ✓ Validation Checklist - Hardcopy Received
Certificate of Independence	FL7561_R4_COI_Cert of Independence.pdf
Referenced Standard and Year (of Standard)	
Equivalence of Product Standards Certified By	
Sections from the Code	1709.2

Product Approval Method	Method 2 Option B
Date Submitted	08/15/2017
Date Validated	08/16/2017
Date Pending FBC Approval	08/20/2017
Date Approved	10/10/2017

Summary of Products

FL #	Model, Number or Name	Description
7561.1	Aluminum/Aluminum Composite Panels	3"/4"/6"x0.024"x1lb EPS Composite Panel, 3"/4"/6"x0.032x1lb EPS Composite Panel, 3"/4"/6"x0.024"x2lb EPS Composite Panel, 3"/4"/6"x0.030"x2lb EPS Composite Panel,

Limits of Use
Approved for use in HVHZ: Yes
Approved for use outside HVHZ: Yes
Impact Resistant: No
Design Pressure: +80/-80
Other: In HVHZ, not to be used in structures considered living areas per FBC Section 1616 unless impact protection is provided. See installation drawing for nominal allowable design pressures and spans.

Installation Instructions
FL7561_R4_II_2017 FBC-Elite Aluminum Corp-Install Instruct.pdf
Verified By: Do Kim, P.E. PE 49497
Created by Independent Third Party: Yes

Evaluation Reports
FL7561_R4_AE_FL 7561 Evaluation Report-2017 FBC.pdf
Created by Independent Third Party: Yes

Back Next

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

Florida Board of Engineers Certificate of Authorization No. 26887

Product Evaluation Report

Date: August 10, 2017

Report No.: FL# 7561-R4

Product Category: Roofing

Product sub-category: Products Introduced as a Result of New Technology

Product Name: EPS Foam Core w/ Aluminum Skin Composite Panels

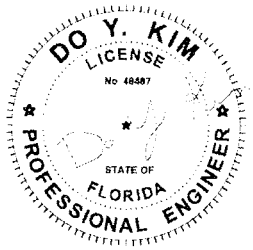
Manufacturer: Elite Aluminum Corporation
4650 Lyons Technology Parkway
Coconut Creek, FL 33073
Phone: 800-421-0682

Scope:

This product evaluation report issued by Do Kim and Associates, LLC and Do Kim, P.E. for Elite Aluminum Corporation is based on Florida Department of Business and Professional Regulation Rule 61G20-3.005 (2) Method 2 (b) of the State of Florida Product Approval. Re-evaluation of this product shall be required following pertinent Florida Building Code modifications or updates.

Do Kim and Associates, LLC and Do Kim, P.E. do not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named herein.

This product has been evaluated for use in locations adhering to the Florida Building Code, 6th Edition (FBC) and where pressure and deflection requirements, as determined by Chapter 16 of the Florida Building Code, do not exceed the design pressures as shown on the approval.



Do Kim, P.E.
FL #49497

P.O. Box 10039
Tampa, FL 33679

813.857-9955
dk@dokimengineering.net

Supporting Documents

1. Code Compliance
    a. The product assembly described herein has demonstrated compliance with the Florida Building Code 6th Edition (FBC), Section 1709.2.
2. Drawings:
    a. Drawing No. FL-1001 titled "EPS Foam Core Composite Panels", Sheets 1 and 2 prepared by Do Kim and Associates, LLC., signed and sealed by Do Kim, P.E.
3. Testing
    a. Testing per ASTM E72-05 as performed by Hurricane Engineering & Testing, Inc. (HETI), and reported in test report numbers HETI-05-1988, HETI-06-2104, HETI-06-2066, HETI-06-2105, HETI-06-2067, HETI-05-1002, HETI-06-2107, HETI-05-1987, HETI-06-2069, HETI-06-2070, HETI-06-2071, HETI-05-1994, HETI-05-1991, HETI-06-2072, HETI-06-2073, HETI-06-2074, HETI-05-1996, HETI-05-1989, HETI-05-1993, HETI-05-1985, HETI-05-1995, HETI-05-1990, HETI-05-1997, HETI-05-2037, HETI-05-2029, HETI-05-2039, HETI-05-2030, HETI-05-2041, HETI-05-2048, HETI-05-2036, HETI-05-2031, HETI-05-2038, HETI-05-2065, HETI-05-2040, HETI-05-2042.
4. Calculations
    a. Panel performance engineering analysis for tested loading conditions have been prepared based on comparative and/or rational analysis, prepared, and submitted by Do Kim, P.E.
5. Other
    a. Quality Assurance Agreement verified with Quality Auditing-Institute, LTD. (QAI Laboratories, LTD.) (FBC Organization #QUA7628).

P.O. Box 10039
Tampa, FL 33679

813.857-9955
dk@dokimengineering.net

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

Limitations and Condition of Use

1. Code Compliance
    a. The product assembly described herein has demonstrated compliance with the Florida Building Code 6th Edition (FBC), Section 1709.2.
2. Large and small missile impact resistance has NOT been tested to or evaluated for in this approval. In HVHZ, this product shall be used in structures "not to be considered living areas" per Section 1616 unless impact resistance in accordance to the HVHZ requirements are met.
3. Each product listed above shall be installed in strict compliance with its respective Product Evaluation Document and site-specific engineering along with all components noted herein.
4. Use of each product shall be in strict accordance with its Product Approval Evaluation and Limitations of Use.
5. Composite panels shall be constructed using type 3003-H154 aluminum facings, 1 or 2 PCF ASTM C-578 Dyplast Products LLC brand EPS foam insulation (NOA No. 16-1129.05) adhere to aluminum facings with Ashland Chemical 2020D ISO grip. Fabrication to be by Elite panel products only in accordance with approved fabrication methods.
6. Elite roof panels maintain a UL 1715 (int) class 'B' (ext) rating and are NER-501 approved.
7. This specification has been designed and shall be fabricated in accordance with the requirements of the FBC, composite panels comply with Chapter 7 Section 720, Chapter 8 Section 803, Class A interior finish, and Chapter 26 Section 2603. All local building code amendments shall be adhered to as required.
8. The designer shall determine by accepted engineering practice the allowable loads for site specific load conditions (including load combinations) using the data from the allowable loads tables and spans in this approval.
9. Deflection limits and allowable spans have been listed to meet FBC including the HVHZ (L/80 for spans $\leq$ 12'-0" and L/180 for spans > 12'-0").
10. All supporting host structures shall be designed to resist all superimposed loads.
11. All components which are permanently installed shall be protected against corrosion, contamination, and other such damage.
12. Size and Span Limitations:
    a. Composite panels shall be limited to those specific panels listed in the DWG. FL-1001.
    b. Panel spans shall not exceed those listed in the tables of DWG. FL-1001.

P.O. Box 10039
Tampa, FL 33679

813.857-9955
dk@dokimengineering.net

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

Florida Board of Engineers Certificate of Authorization No. 26887

Certificate of Independence

Do Kim and Associates, LLC. and Do Kim, P.E. do not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named in the accompanying Florida Product Approval

Do Kim, P.E. 9-3-08
FL #49497

P O. Box 10039
Tampa, FL 33679

813.374 0321
813.374 0322 (fax)

ELITE PANEL SPAN TABLES:

1. Net allowable loads are permitted to be multiplied by 1.67 to derive ultimate loads (psf).

3" x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	16.17	15.76	15.03	14.10
20	13.44	13.44	12.22	10.35
30	10.78	10.78	9.41	6.60
40	9.22	9.22	6.60	2.85
50	8.17	8.17	3.79	-
60	7.40	6.39	0.98	-
70	6.81	4.51	-	-
80	6.33	2.64	-	-

3" x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	17.50	17.50	16.91	15.96
20	16.64	15.96	14.06	12.16
30	15.17	14.06	11.21	8.36
40	13.69	12.16	8.36	4.56
50	12.22	10.26	5.51	0.76
60	10.75	8.36	2.66	-
70	9.27	6.46	-	-
80	7.80	4.56	-	-

3" x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	19.33	18.95	18.31	17.66
20	18.11	17.66	16.36	15.06
30	16.80	16.36	14.41	12.46
40	15.49	15.06	12.46	9.86
50	14.18	13.76	10.51	7.26
60	12.87	12.46	8.57	4.67
70	11.57	11.16	6.62	2.07
80	10.26	9.86	4.67	-

3" x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	20.11	20.03	19.42	18.81
20	19.02	18.81	17.58	16.35
30	17.93	17.58	15.73	13.89
40	16.83	16.35	13.89	11.43
50	15.74	15.12	12.05	8.97
60	14.64	13.89	10.21	6.52
70	13.55	12.66	8.36	4.06
80	12.46	11.43	6.52	1.60

4" x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	19.00	19.00	17.17	16.53
20	15.01	15.01	15.01	13.95
30	12.50	12.50	12.50	11.38
40	10.97	10.97	10.97	8.80
50	9.92	9.92	9.44	6.22
60	9.13	9.13	7.51	3.64
70	8.52	8.52	5.58	1.07
80	8.02	8.02	3.64	-

4" x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	20.50	20.50	20.11	19.24
20	19.61	19.24	17.49	15.74
30	18.17	17.49	14.87	12.24
40	16.72	15.74	12.24	8.74
50	15.28	13.99	9.62	5.25
60	13.84	12.24	7.00	1.75
70	12.40	10.49	4.38	-
80	10.95	8.74	1.75	-

4" x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	21.97	21.97	21.52	20.97
20	20.77	20.77	19.86	18.76
30	19.57	19.57	18.21	16.55
40	18.36	18.36	16.55	14.34
50	17.16	17.16	14.89	12.13
60	15.96	15.96	13.24	9.93
70	14.75	14.75	11.58	7.72
80	13.55	13.55	9.93	5.51

4" x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.17	24.17	24.17	24.17
20	23.64	23.64	23.41	23.11
30	22.57	22.57	21.90	21.01
40	21.51	21.51	20.39	18.91
50	20.45	20.45	18.88	16.80
60	19.39	19.39	17.37	14.70
70	18.33	18.33	15.86	12.59
80	17.26	17.26	14.35	10.49

6" x 0.024 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	23.00	21.24	21.47	20.85
20	18.06	18.06	18.06	18.06
30	15.13	15.13	15.13	15.13
40	13.34	13.34	13.34	13.34
50	12.10	12.10	12.10	10.91
60	11.17	11.17	11.17	8.43
70	10.44	10.44	10.30	5.95
80	9.85	9.85	8.43	3.47

6" x 0.032 x 1 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.00	24.00	24.00	23.42
20	23.34	23.21	21.82	20.22
30	22.10	21.63	19.42	17.02
40	20.86	20.05	17.02	13.82
50	19.62	18.47	14.62	10.62
60	18.38	16.89	12.22	7.42
70	17.14	15.30	9.82	4.22
80	15.91	13.72	7.42	1.02

6" x 0.024 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

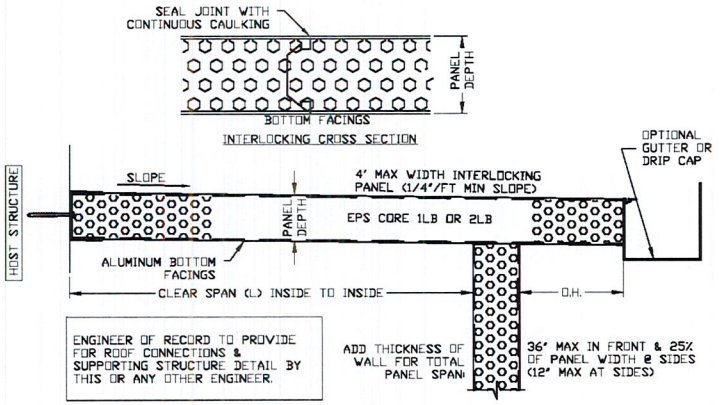
NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	23.93	23.93	23.88	23.60
20	23.20	23.20	23.03	22.46
30	22.47	22.47	22.18	21.33
40	21.75	21.75	21.33	20.20
50	21.02	21.02	20.49	19.07
60	20.29	20.29	19.64	17.94
70	19.57	19.57	18.79	16.81
80	18.84	18.84	17.94	15.68

6" x 0.030 x 2 - LB EPS PANELS (ALLOWABLE CLEAR SPAN CHARTS)

NET ALLOWABLE LOAD (PSF)[1]	MAX. ALLOWABLE SPAN (FT)			
	L/80	L/120	L/180	L/240
10	24.00	24.00	24.00	23.84
20	23.65	23.65	23.34	22.84
30	22.94	22.94	22.59	21.85
40	22.23	22.23	21.85	20.85
50	21.53	21.53	21.10	19.86
60	20.82	20.82	20.36	18.87
70	20.11	20.11	19.61	17.87
80	19.40	19.40	18.87	16.88

GENERAL NOTES

1. Composite panels shall be constructed using type 3003-H154 aluminum facings, 1 or 2 PCF ASTM C-578 carpenter brand EPS adhere to aluminum facings with Ashland Chemical 2020D ISO grip. Fabrication to be by Elite panel products only in accordance with approved fabrication methods.
2. Elite roof panels maintain a UL 1715 (int) class 'B' (ext) rating and are NER-501 approved.
3. This specification has been designed and shall be fabricated in accordance with the requirements of the Florida Building Code 6th Edition (FBC), composite panels comply with Chapter 7 Section 720, Chapter 8 Section 803, Class A interior finish, and Chapter 26 Section 2603. All local building code amendments shall be adhered to as required.
4. The designer shall determine by accepted engineering practice the allowable loads for site specific load conditions (including load combinations) using the data from the allowable loads tables and spans in this approval.
5. Deflection limits and allowable spans have been listed to meet FBC including the HVHZ. In HVHZ, this product shall be used in structures "not to be considered living areas" per Section 1616 unless impact resistance in accordance to the HVHZ requirements are met.
6. Safety factor of 2.0 has been used to develop allowable loads and spans from testing in accordance to the Guidelines for Aluminum Structures Part 1 and conforms to the FBC Chapter 16 and 20.
7. Testing has been conducted in accordance to ASTM E72-05: Strength Test of Panels for Building Construction.
8. Reference test reports: HETI-05-1988, HETI-06-2104, HETI-06-2066, HETI-06-2105, HETI-06-2067, HETI-05-1002, HETI-06-2107, HETI-05-1987, HETI-06-2069, HETI-06-2070, HETI-06-2071, HETI-05-1994, HETI-05-1991, HETI-06-2072, HETI-06-2073, HETI-06-2074, HETI-05-1996, HETI-05-1989, HETI-05-1993, HETI-05-1985, HETI-05-1995, HETI-05-1990, HETI-05-1997, HETI-05-2037, HETI-05-2029, HETI-05-2039, HETI-05-2030, HETI-05-2041, HETI-05-2048, HETI-05-2036, HETI-05-2031, HETI-05-2038, HETI-05-2065, HETI-05-2040, HETI-05-2042.
9. Linear interpolation shall be allowed for figures within the tables shown.
10. Panels with fan beams shall be considered equivalent to similar panels without fan beams. Design professionals may include the strength of the fan beam to exceed shown figures as part of site-specific engineering.



EPS ROOF PANEL/ SPAN DESCRIPTION

DO KIM
& ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS
PO BOX 10039
Tampa, FL 33679
Tel: (813) 857-9955

Rev /Date		Description
A	8/12 2017	ISSUED FOR FBC 6th Edition PRODUCT APPROVAL
△		
△		
△		
△		

Elite Aluminum Corporation
4650 Lyons Technology Parkway
Coconut Creek, FL 33073

EPS FOAM CORE COMPOSITE PANELS
ALUMINUM/ALUMINUM SKIN
FLORIDA STATEWIDE PRODUCT APPROVAL

DRAWN BY:	DYK
CHECKED BY	DYK
SCALE	AS SHOWN
DATE:	2/19/12

DO Y. KIM
LICENSE
STATE OF FLORIDA
DO YEOK KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
PO BOX 10039
Tampa, FL 33679
PROFESSIONAL ENGINEER

Drawing No. - FL-1001

SHEET 1 OF 1

Environmental Protection and Growth Management Department
PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Environmental Review Approval Certificate

Issue Date: 11/6/2018 **ER Review #:** 000418384

Title of Drawings: NEW ALUM. ROOF: Pembroke Isles Clubhouse **Project#:** 180852

Plan Last Revision Date: 16-OCT-18 **Bldg Dept Jurisdiction:** Pembroke Pines

Legal Description: **Plat Name:** LAKES OF WESTERN PINES REPLAT **Lot:** **Block:**

Address: 1401 NW 169 AVE, Pembroke Pines, Fl. 33028

Construction Type: Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

APPROVED

☑ **ATTENTION** THE BUILDING DEPARTMENT IS NOT REQUIRED TO ELECTRONICALLY UPDATE BUILDING PERMIT AND CO FOR THIS PROJECT

☑ **COMMENTS** NEW ALUMINUM ROOF FOR AN EXISTING CLUBHOUSE.

☑ **STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS REQUIRED**

A Statement of Responsibilities Regarding Asbestos is required. Please go to: ePermits.broward.org and sign in with your ePermits Online System user identification and password or register a new name and password. After signing in, Proceed to ePermits, submit application and Select Permit type: Asbestos-Statement of Responsibilities and follow instructions. Asbestos staff will review and issue a Certificate of Submittal you will be able to download from ePermits.broward.org website. Your project may require an asbestos survey and/or Notice of Demolition or Asbestos Renovation and applicable fee. Failure to comply with the asbestos regulatory requirements may subject the owner or operator to substantial penalties.
NOTE: This is a required NOTIFICATION and not a PERMIT.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Environmental Protection and Growth Management Department
PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Transportation Concurrency Satisfaction Certificate

* Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.

Issue Date: 11/06/2018 **DR Review #:** 0063173

Application Number: 000418384

Title of Drawings: NEW ALUM. ROOF: Pembroke Isles Clubhouse **Project#:** 180852

Plan Last Revision Date: 16-OCT-18 **Bldg Dept Jurisdiction:** Pembroke Pines

Legal Description: **Plat Name:** LAKES OF WESTERN PINES REPLAT
Plat Number: 017-MP-92 **Book:** 157 **Page:** 46 **Lot:** **Block:**

Address: 1401 NW 169 AVE, Pembroke Pines, Fl. 33028

Construction Type: Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

Development Review

☑ **BUILDING OFFICIAL:** No Impact/Concurrency Fees Due to Broward County Planning & Development Management Division
NEW ALUMINUM ROOF FOR AN EXISTING CLUBHOUSE.
- PEMBROKE ISLES CLUB HOUSE
Receipt# 0063173

☑ **TRANSPORTATION CONCURRENCY SATISFACTION:** Certificate is hereby issued

*Any revision to these plans requires a new development review by the division.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Development Reviewer Name: Christian Dumay

TARNOWSKI ENGINEERING

CIVIL & STRUCTURAL ENGINEERING

Rational Analysis (Worst Case)
Iso Footing

Slab Thickness = 0 in
Strip/Monolithic Footing Size = 0 X 0 in inches
Isolated Footing Size = 36 (w) X 36 (l) X 36 (d) in inches — 1 *Number of Iso Ftg's that apply

q_z = 38.00 psf -2 psf dead load

Wind Uplift =	36.00	X	11.1	X	12.7	=	5,075	LB		
Apply Safety Factor =	5075	X	1.67	=			8,475	LB		
Weight of Concrete Slab =	144	X	0	X	0	X	0	=	0	LB
Weight of Strip Footing =	144	X	0	X	0	X	0	=	0	LB
Weight of Iso. Footing =	144	X	3	X	3	X	3	=	3,888	LB
							Total Weight	=	3,888	LB

Apply Soil Friction Resistance:

$H = Af_o$ Friction Capacity = 4662 LB
where H = Load due to lateral earth pressure
A = Area of footing in contact with soil 2(wd + ld) = 34.00 ft^2
f_o = lessor of $c + p_h \tan\phi$ or $c + p_h \tan\delta$ = 137.13 lb/ft^2

δ = 24 for sand
ϕ = 30 for sand
c = 0 for sand

$p_h = k(\rho d - \mu)$ = 308.00 lb/ft^2
k = 2.5 for sand
ρ = 100 lb/ft^3 for saturated sand
μ = 62.4 X d = 176.8 ft
d = depth = 3.00 ft

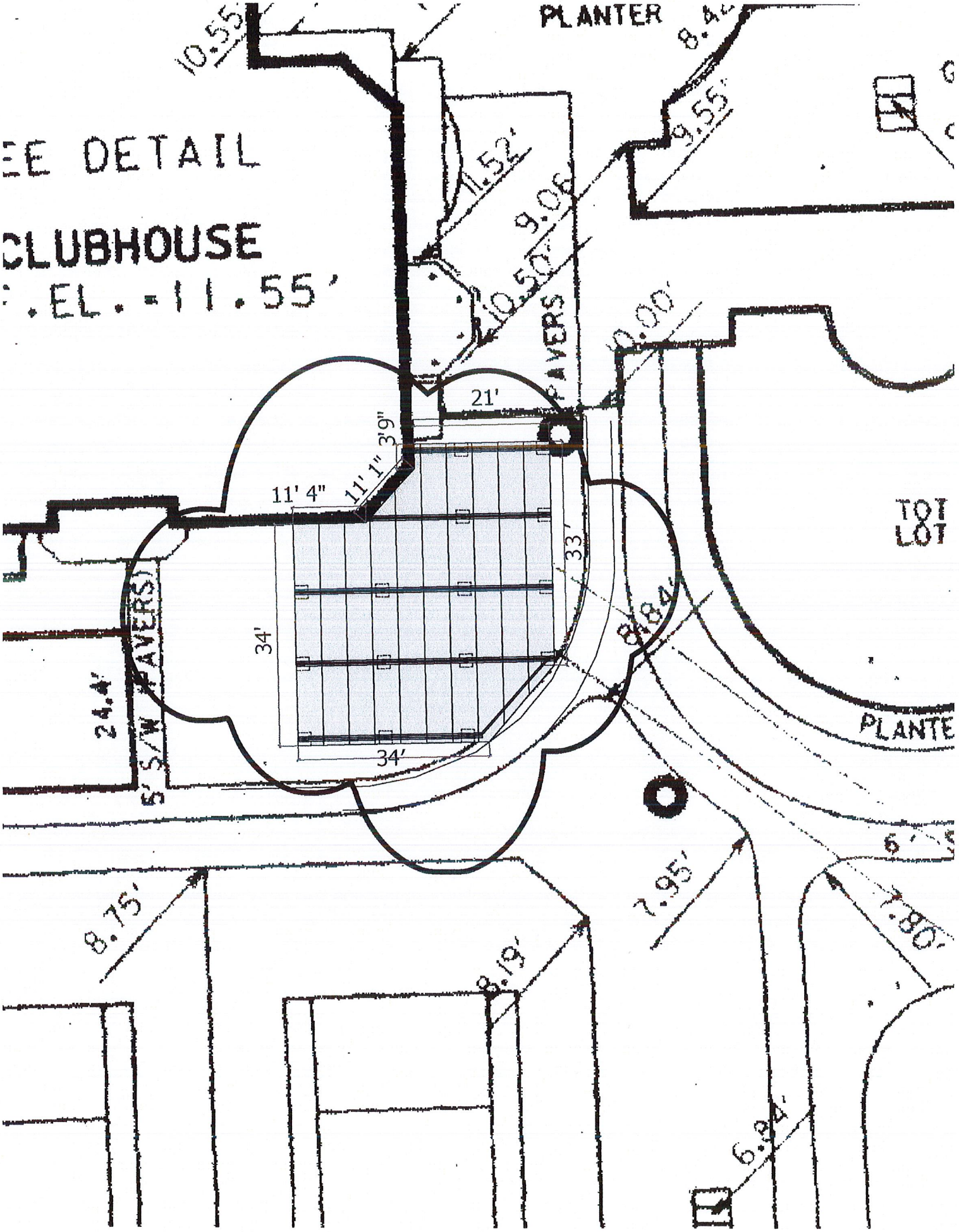
Total Weight from Soil Friction Resistance: 4662

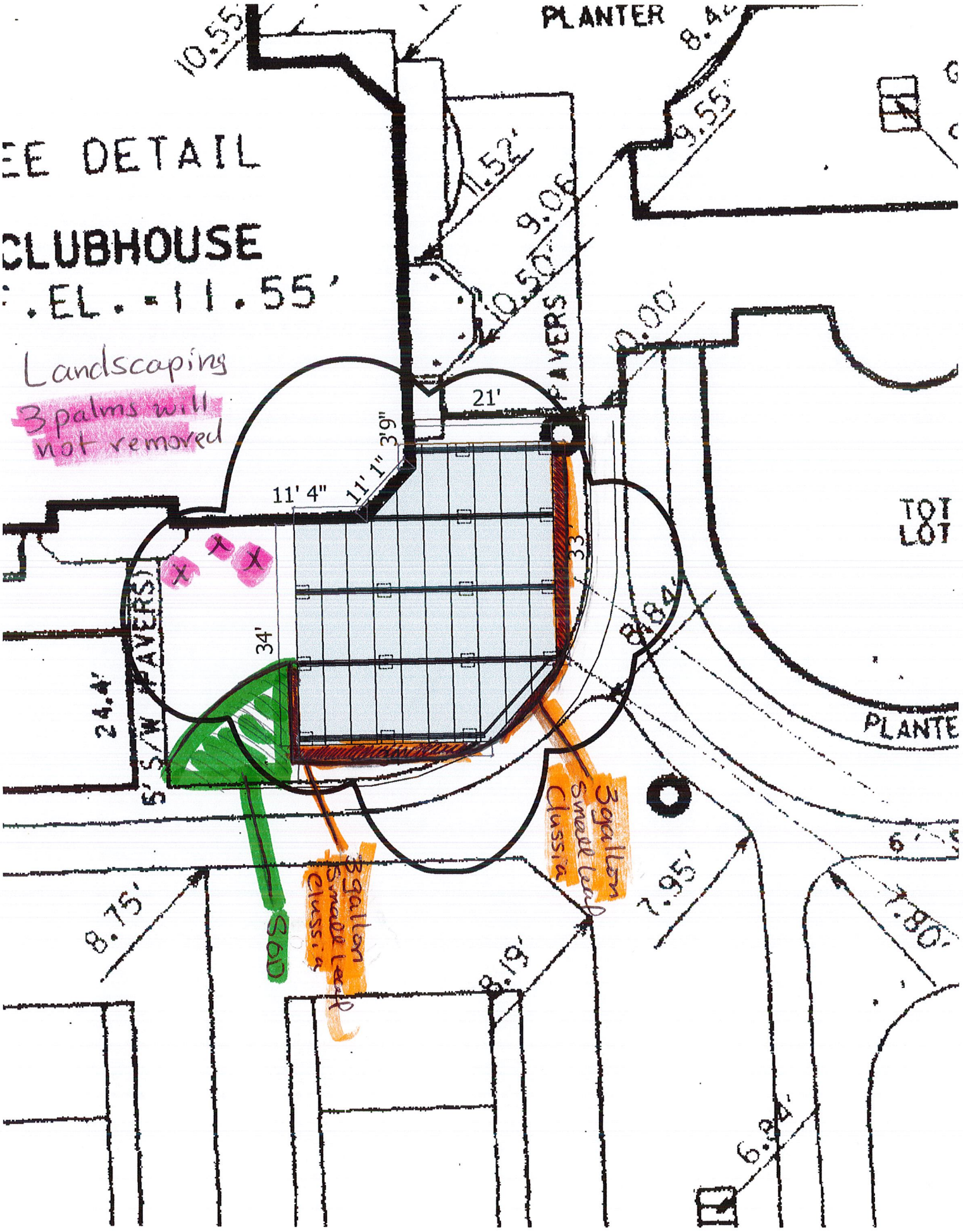
8550 > 8,475

Utilization = **99.119** % **FOOTING O.K.**

10/22/18

7360 N. W. 5 STREET PLANTATION, FL 33317 PHONE 954-727-2027 FAX 954-727-9644
WWW.TARNOWSKIENG.COM


PLANTER
10.55'
EE DETAIL
CLUBHOUSE
.EL. = 11.55'
11.52'
9.06'
10.50'
9.55'
10.00'
PAVERS
21'
11' 4"
11' 1"
3'9"
33'
34'
34'
8'8.4'
24.4'
5' S/W (PAVERS)
TOT LOT
PLANTE
6'
8.75'
8.19'
7.95'
7.80'
6.34'


PLANTER
10.55'
8.4'
9.55'
11.52'
9.06'
10.50'
10.00'
EE DETAIL
CLUBHOUSE
F.EL.=11.55'
Landscaping
3 palms will not removed
21'
11' 4"
11' 1"
3'9"
PAVERS
33'
34'
8.84'
24.4'
5' S/W
PAVERS)
TOT LOT
PLANTE
3gallon Small Leaf Clussia
3gallon Small Leaf Clussia
QTY
8.75'
8.19'
7.95'
7.80'
6.84'

Option 2

-Estimate15601
Epic Landscaping Inc.
16256 NW 17 STREET
PEMBROKE PINES, FL 33028
www.epiclandscaping.org
5615410202
alexlands25@aol.com

Customer

Pembroke Isles Homeowners Association, Inc.
1401 NW 169th Ave
Pembroke Pines, FL 33028-1362

Service Location

Maintenance NEW area, this prices includes materials and labor. - Deposit to start

Item(s)

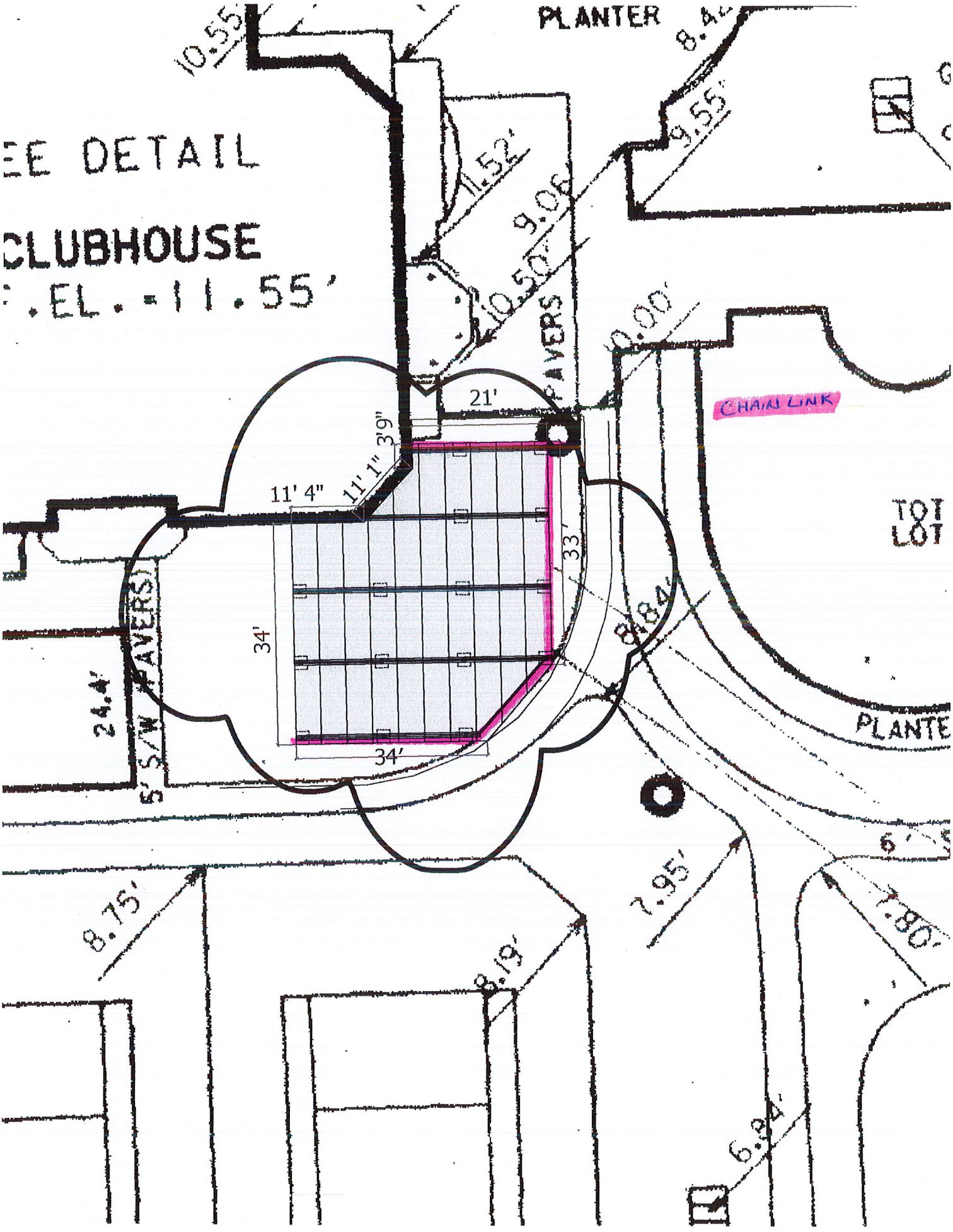
Qty	Part #	Name	Description	Rate	Amount	Tax	Approved
1		Aluminium Border	Aluminium border to separate stones from the mulch only and create walkway				
7		drain rock	Yards of drain rock, to create a access way to the golfcarts we recommend to do drain rock, its easier to maintain. we will install 2-3 inch of drain rock, this price includes grading and removal of grass.				
90		BAG MULCH	red mulch for new area				
60		Small leaf clussia 3 gal	install on the perimeter of fence and sidewalk. 3 gal will be 18-24 inch tall and planted 24 inch from center. in order to have a thick hedge we will include extra 10 plants to reduce the gap to 18-20 in of center.				
1		pallet of sod	to install grass on the side of entrance of the maintenance area and side of the fence.				

Subtotal _____
Tax _____
Total _____

Notes

Terms

option 2


PLANTER
10.55'
EE DETAIL
CLUBHOUSE
.EL. = 11.55'
11.52'
9.06'
9.55'
10.50'
10.00'
PAVERS
21'
11' 3"
11' 1" 3'9"
11' 4"
33'
34'
8'-8"
34'
24.4'
5' S/W (PAVERS)
CHAIN LINK
TOT LOT
PLANTE
6'
8.75'
8.19'
7.95'
7.80'
6.34'