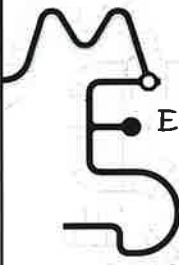


CULVER'S RESTAURANT
CITY OF PEMBROKE PINES, FLORIDA
SITE PLAN SUBMITTAL
FOR: BARON GROUP PROPERTIES LLC



MELENZ
ENGINEERING
DESIGN, INC.

9000 Sheridan Street, PMB #15
Pembroke Pines, FL 33029
Tel: (954) 992-6136
Fax: (954) 932-0972
Certificate of Authorization No. 26388

CONSULTANTS

DEVELOPER
H & M DEVELOPMENT
20200 WEST DIXIE HIGHWAY, SUITE 1205
AVENTURA, FL 33180
(305) 882-1311

CIVIL ENGINEER
MELENZ ENGINEERING DESIGN, INC.
9000 SHERIDAN ST. PMB #15
PEMBROKE PINES, FL 33024
(954) 855-4572

ARCHITECT
KENNETH R. CARLSON - ARCHITECT, P.A.
1166 W. NEWPORT CENTER DRIVE SUITE 311
DEERFIELD BEACH, FL 33442
(954) 427-8848

LANDSCAPE ARCHITECT
EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MANOR
PLANTATION, FL 33322
(305) 879-7965

SURVEYOR
COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE SUITE 1011
DAVIE, FL 33314
(954) 889-7765



LOCATION MAP
N.T.S.
SECTION 24, TOWNSHIP 51S, RANGE 40E
FOLIO NO: 514024020063

LEGAL DESCRIPTION

LAND DESCRIPTION: (PARCEL 2A)

A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT G-3; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF THE ABOVE MENTIONED TRACT G-2, A DISTANCE OF 67.17 FEET; THENCE NORTH 01 DEGREE 30' 38" EAST A DISTANCE OF 44.02 FEET; THENCE NORTH 45 DEGREES 23' 48" EAST A DISTANCE OF 476.33 FEET; THENCE NORTH 39 DEGREES 24' 09" EAST A DISTANCE OF 72.36 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 118.73 FEET; THENCE NORTH 45 DEGREES 00' 00" EAST A DISTANCE OF 81.00 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 28.63 FEET; THENCE SOUTH 00 DEGREES 00' 28" WEST A DISTANCE OF 396.91 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF SAID TRACT G-3, A DISTANCE OF 117.24 FEET; THENCE NORTH 89 DEGREES 55' 17" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 200.06 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 163.30 FEET TO THE POINT OF BEGINNING.

SHEET INDEX

-	COVER SHEET
S-1	SURVEY SITE PLAN
S-2	MASTER FIRE TRUCK ACCESS PLAN
FA-1	FIRE TRUCK ACCESS PLAN
FA-2	FIRE ACCESS NOTES & DETAILS
FA-3	
A1	2D IMAGES
A2	3D IMAGES
A3	ACCESSORY STRUCTURES
FS-1	FOOD SERVICE PLAN
A105	ROOF PLAN: REFRIGERATION DETAILS
A201	EXTERIOR ELEVATIONS
A202	BUILDING SECTIONS
GD101	GARBAGE DUMPSTER
SE101	SITE PHOTOMETRIC PLAN
SE201	SITE FUTURE DETAILS
C-1	SURFACE WATER POLLUTION PREVENTION PLAN
C-2	SURFACE WATER POLLUTION PREVENTION NOTES
C-3	SURFACE WATER POLLUTION PREVENTION DETAILS
C-4	DEMOLITION PLAN
C-5	PAVEMENT PLAN
C-6	PAVING & GRADING PLAN
C-7	DRAINAGE PLAN
C-8	PAVING & GRADING DETAILS
C-9	PAVING & GRADING DETAILS
C-10	SBDD DETAIL SHEET
C-11	SIGNING & MARKING PLAN
C-12	SIGNING & MARKING DETAILS
C-13	SIGNING & MARKING DETAILS
C-14	WATER & SEWER PLAN
C-15	WATER & SEWER DETAILS
L-1	DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	DETAILS & NOTES



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

City of Pembroke Pines
Received

JUN 10 2025
SP2025-0004

Planning & Economic Development

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E. ON PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.



REV	DATE	DESCRIPTION
1	05-12-2025	PER DRG COMMENTS
2	05-27-2025	PER SBDD COMMENTS
3	06-02-25	PER DRG COMMENTS

ALTA/NSPS LAND TITLE SURVEY

SCHEDULE B-II REVIEW IT IS BASED ON TITLE COMMITMENT BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER:25010858
COMMITMENT EFFECTIVE DATE: FEBRUARY 12, 2025

7. ALL MATTERS CONTAINED ON THE PLAT OF PEMBROKE LAKES SOUTH, AS RECORDED IN PLAT BOOK 119, PAGE 1, AS AFFECTED BY:

- A. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 23362 PAGE 78,
B. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 43258, PAGE 1560,
C. AGENT NOTICE RECORDED IN OFFICIAL RECORDS BOOK 43258, PAGE 1619,
D. AMENDMENT TO NONVEHICULAR ACCESS LINES RECORDED IN OFFICIAL RECORD BOOK 45601, PAGE 1142,
E. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 47236, PAGE 1727,
F. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 47463, PAGE 158,
G. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 49665, PAGE 1896AND
H. AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT RECORDED IN OFFICIAL RECORD BOOK 51154, PAGE 1299 (AFFECTS/PLOTTED)

8. GENERAL NOTICE OF LIEN FOR WASTEWATER TREATMENT PLANT ASSESSMENTS RECORDED IN OFFICIAL RECORD BOOK 23012, PAGE 152, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

9. RESOLUTION NO.2000-06 OF THE SOUTH BROWARD DRAINAGE DISTRICT RECORDED IN OFFICIAL RECORD BOOK 31125, PAGE 1113, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

10. BROWARD COUNTY ORDINANCE NO.2004-40 RECORDED IN OFFICIAL RECORD BOOK 38770, PAGE 388, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

11. CITY OF PEMBROKE PINES ORDINANCE NO.1536 RECORDED IN OFFICIAL RECORD BOOK 41589, PAGE 1985, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

12. DECLARATION OF RESTRICTIVE COVENANTS FOR THE BENEFIT OF THE CITY OF PEMBROKE PINES RECORDED IN OFFICIAL RECORD BOOK 42392, PAGE 1952, AS AMENDED BY: (AFFECTS/NOT PLOTTABLE)

- A. CORRECTIVE DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORD BOOK 44218, PAGE 1631,
B. AMENDMENT TO DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORD BOOK 46638, PAGE 1291,
C. FIRST AMENDMENT TO DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORD BOOK 49450, PAGE 410
D. SECOND AMENDMENT TO DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORD BOOK 50269, PAGE 1959, AND
E. THIRD AMENDMENT TO DECLARATION OF RESTRICTIVE COVENANTS RECORDED AS INSTRUMENT NUMBER 114698090. (AFFECTS/NOT PLOTTABLE)

13. ACCESS EASEMENTS AND USE AGREEMENT RECORDED IN OFFICIAL RECORD BOOK 42742, PAGE 586, AS AMENDED BY:

- A. AMENDMENTS THERETO RECORDED IN OFFICIAL RECORD BOOK 46485, PAGE 1323AND
B. AMENDMENTS THERETO RECORDED IN OFFICIAL RECORD BOOK 50269, PAGE 1967 (AFFECTS/NOT PLOTTABLE)

14. DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORD BOOK 43185, PAGE 165, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WHICH CONTAIN PROVISIONS CREATING EASEMENTS AND/OR ASSESSMENTS. (AFFECTS/NOT PLOTTABLE)

15. POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT NOTICE RECORDED IN OFFICIAL RECORD BOOK 43258, PAGE 1610, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

16. INSTALLATION OF REQUIRED IMPROVEMENTS SECURITY/LIEN RECORDED IN OFFICIAL RECORD BOOK 45601, PAGES 1197, AS AFFECTED BY THE RELEASE OF LIEN IN AGREEMENT FOR INSTALLATION OF REQUIRED IMPROVEMENTS RECORDED IN OFFICIAL RECORD BOOK 47969, PAGE 1681, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

17. EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORD BOOK 46107, PAGE 915, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

18. PROPERTY ACCESS CONSTRUCTION AGREEMENT BETWEEN RAINTREE DEVELOPMENT OF BROWARD, LLC AND THE CITY OF PEMBROKE PINES RECORDED IN OFFICIAL RECORD BOOK 46118, PAGE 693, AS AFFECTED BY

- A. AMENDMENT RECORDED IN OFFICIAL RECORD BOOK 50269, PAGE 1977AND
B. AMENDMENT RECORDED IN OFFICIAL RECORD BOOK 50662, PAGE 757 (AFFECTS/NOT PLOTTABLE)

19. AGREEMENT RELATED TO PLATTING OBLIGATIONS RECORDED IN OFFICIAL RECORD BOOK 48118, PAGE 724, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

20. TERMS AND CONDITIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT NOTICE OF ENVIRONMENTAL RESOURCE OR SURFACE WATER MANAGEMENT PERMIT RECORDED IN OFFICIAL RECORD BOOK 48061, PAGE 628, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

21. DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 46485, PAGE 1374, AS AMENDED BY (AFFECTS/BLANKET EASEMENT)

- A. FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 49869, PAGE 1659,
B. SECOND AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORD BOOK 51314, PAGE 798
C. THIRD AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED AS INSTRUMENT NUMBER 114698089, AND
D. FOURTH AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS RECORDED AS INSTRUMENT NUMBER 115516080.

22. NOTICE TO PROSPECTIVE PURCHASERS OF POTENTIAL AIRCRAFT OVERFLIGHTS, NOISE IMPACTS, AND NOISE MITIGATION POLICY FOR PROPERTY IN THE VICINITY OF COUNTY OWNED AIRPORTS RECORDED IN OFFICIAL RECORD BOOK 48972, PAGE 342, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

23. JOINT DEED OF CONSERVATION EASEMENT AND AGREEMENT BETWEEN THE CITY OF PEMBROKE PINES, SOUTH FLORIDA WATER MANAGEMENT DISTRICT, AND BROWARD COUNTY RECORDED IN OFFICIAL RECORD BOOK 49662, PAGE 773, AS AFFECTED BY PARTIAL RELEASE OF JOINT DEED OF CONSERVATION EASEMENT AND AGREEMENT RECORDED IN OFFICIAL RECORD BOOK 50940, PAGE 935, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

24. LAKE MAINTENANCE EASEMENT (RAINTREE GOLF COURSE REDEVELOPMENT) RECORDED IN OFFICIAL RECORD BOOK 50793, PAGE 784, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

25. ORDER OF THE CITY OF PEMBROKE PINES, FLORIDA CITY COMMISSION RECORDED IN OFFICIAL RECORD BOOK 51004, PAGE 1571, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

26. NOTICE RECORDED IN OFFICIAL RECORD BOOK 51154, PAGE 1325, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

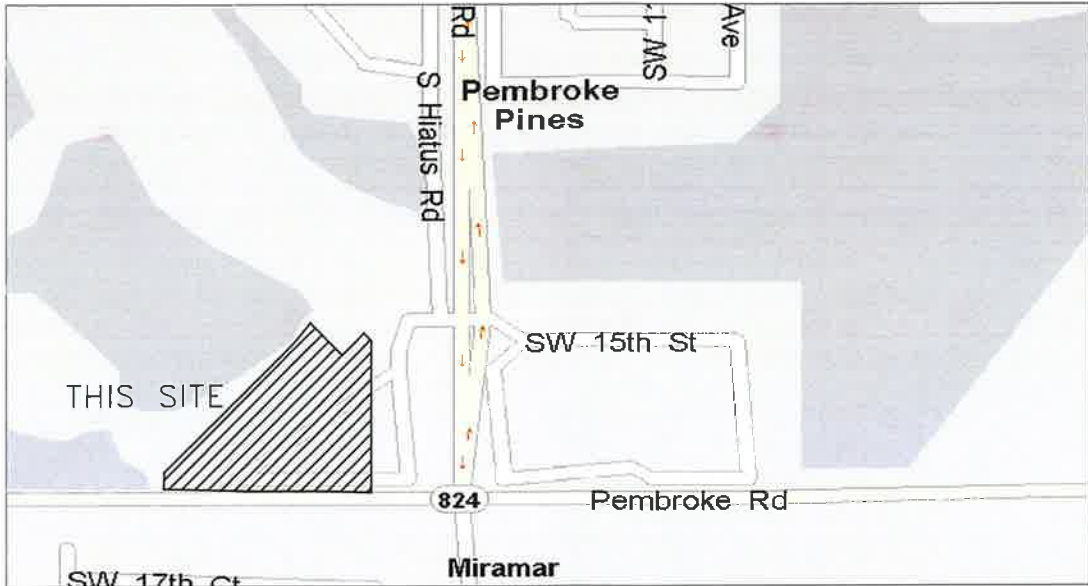
27. VILLAGE OF MAYFAIR EASEMENT AND USE AGREEMENT RECORDED IN OFFICIAL RECORD BOOK 44758, PAGE 694 AS AMENDED BY AMENDMENT TO VILLAGE OF MAYFAIR EASEMENT AND USE AGREEMENT RECORDED AS INSTRUMENT NUMBER 114698088, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/BLANKET EASEMENT)

28. EASEMENT GRANTED TO FLORIDA POWER AND LIGHT COMPANY RECORDED AS INSTRUMENT NUMBER 114933425, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

29. DRAINAGE EASEMENT RECORDED AS INSTRUMENT NUMBER 117142084, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

30. TERMS AND CONDITIONS OF MAINTENANCE AND INDEMNIFICATION AGREEMENT RECORDED AS INSTRUMENT NUMBER 117584865, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION MAP (NTS)

NOTES:

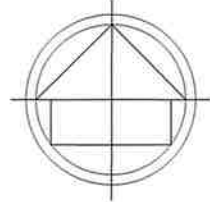
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 25010858, COMMITMENT EFFECTIVE DATE: FEBRUARY 12, 2025
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3181, ELEVATION = 7.81' (NAVD88)
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO PEMBROKE ROAD, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 119, PAGE 1 SAME BEING A PAVED AND DEDICATED PUBLIC ROADWAY MAINTAINED BY THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.
- THERE ARE --- STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.

LAND DESCRIPTION: (PARCEL 2A)

A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT G-3; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF THE ABOVE MENTIONED TRACT G-2, A DISTANCE OF 67.17 FEET; THENCE NORTH 01 DEGREE 30' 38" EAST A DISTANCE OF 44.02 FEET; THENCE NORTH 45 DEGREES 23' 48" EAST A DISTANCE OF 476.33 FEET; THENCE NORTH 39 DEGREES 24' 09" EAST A DISTANCE OF 72.36 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 118.73 FEET; THENCE NORTH 45 DEGREES 00' 00" EAST A DISTANCE OF 81.00 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 28.63 FEET; THENCE SOUTH 00 DEGREES 00' 28" WEST A DISTANCE OF 396.91 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF SAID TRACT G- 3, A DISTANCE OF 117.24 FEET; THENCE NORTH 89 DEGREES 55' 17" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 200.06 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 163.30 FEET TO THE POINT OF BEGINNING.

2024 FLOOD ZONE INFORMATION			
COMMUNITY NUMBER	120053		
PANEL NUMBER	0710J		
ZONE	X & AE		
BASE FLOOD ELEV.	N/A & 6.7		
EFFECTIVE DATE	07/31/24		



SITE 2A
MAYFAIR OFFICE PARK
PEMBROKE ROAD
& HIATUS ROAD

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
-X-	CHAIN LINK/ WOOD FENCE
CBS	CONCRETE BLOCK STRUCTURE
A/C	AIR CONDITIONER
FPL	FLORIDA POWER & LIGHT
WM	WATER METER
ICV	IRRIGATION CONTROL VALVE
6.23	ELEVATION
U/G	UNDERGROUND
CTV	CABLE TELEVISION
SSMH	SANITARY SEWER MANHOLE
INV	INVERT
ELEV	ELEVATION
O/S	OFF SET
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
EB	ELECTRIC BOX
MLP	METAL LIGHT POLE
CPP	CONCRETE POWER POLE
TSP	TRAFFIC SIGNAL POST
TSB	TRAFFIC SIGNAL BOX
CMP	CORRUGATED METAL PIPE
CLP	CONCRETE LIGHT POLE
PRM	PERMANENT REFERENCE MONUMENT
ALTA	AMERICAN LAND TITLE ASSOCIATION
ACSM	AMERICAN CONGRESS ON SURVEYING & MAPPING
ORB	OFFICIAL RECORDS BOOK

CERTIFIED TO:

RAINTREE AT PINES, LLC, A FLORIDA LIMITED LIABILITY COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
ATTORNEYS TITLE FUND SERVICES, LLC
SEYMOUR N. SINGER, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MARCH 11, 2025.

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER FLORIDA
REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 680-9885 FAX (954) 680-0213

CLIENT :

RAINTREE AT PINES, LLC

REVISIONS

	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	11/24/14	SKETCH	AV	REC
ADDED CERTIFICATION	01/26/15	-----	REC	REC
UPDATE SURVEY	12/16/24	SKETCH	JD	REC
UPDATE ALTA/NSPS LAND TITLE SURVEY	03/03/25	----	AM	REC
ADDITIONAL INFORMATION ADDED	03/11/25	SKETCH	JD	REC

REVISIONS

	DATE	FB/PG	DWN	CKD

REVISIONS

	DATE	FB/PG	DWN	CKD

PROJECT NUMBER : 5735-06

SCALE : 1" = 20'

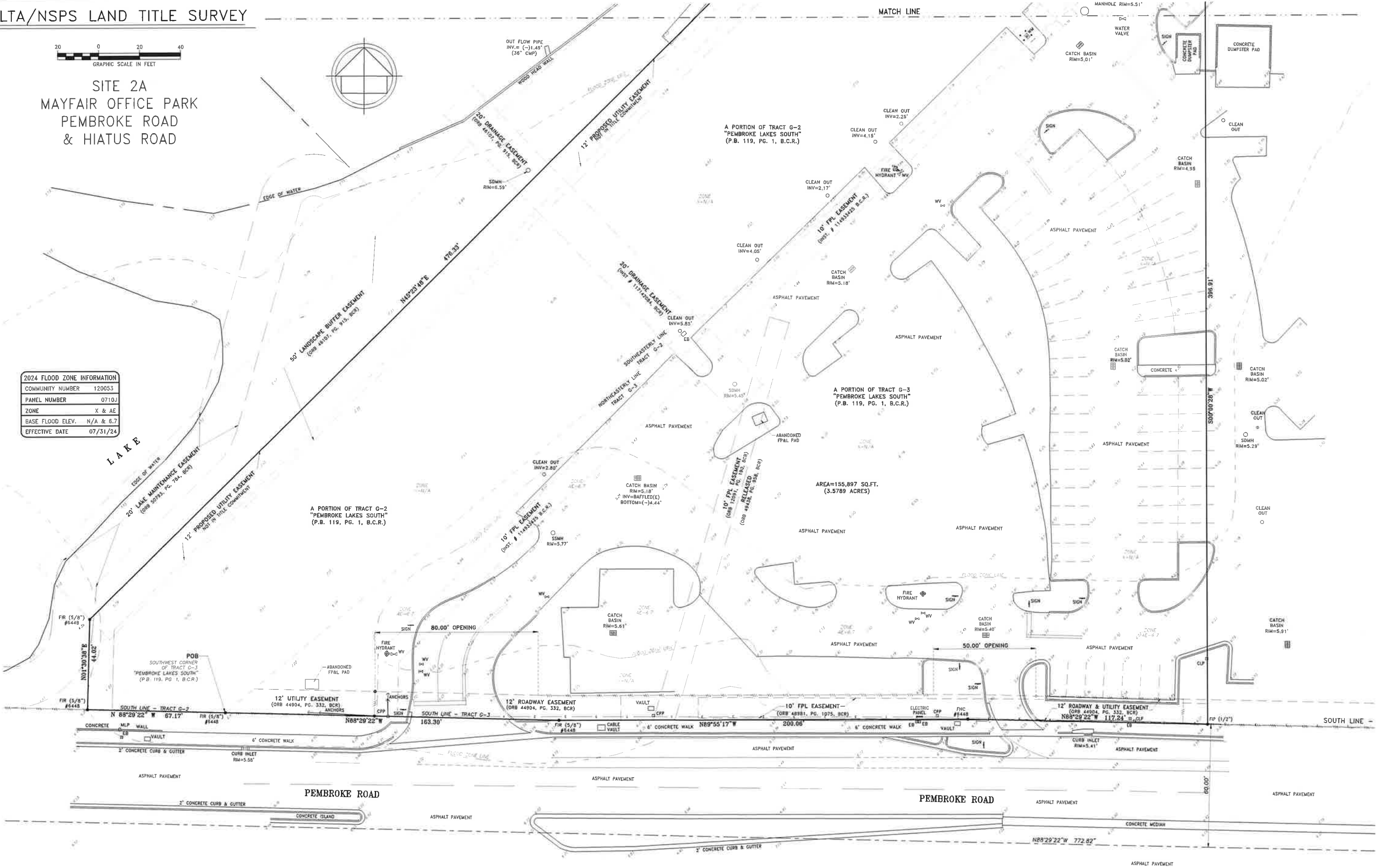
SHEET
1
OF
2
SHEETS

ALTA/NSPS LAND TITLE SURVEY



SITE 2A
MAYFAIR OFFICE PARK
PEMBROKE ROAD
& HIATUS ROAD

2024 FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 680-9885 FAX (954) 680-0213

CLIENT :

RAINTREE AT PINES, LLC

REVISIONS				
BOUNDARY & IMPROVEMENTS SURVEY	DATE	FB/PG	DWN	CKD
ADDED CERTIFICATION	11/24/14	SKETCH	AV	REC
UPDATE SURVEY	01/26/15	REC	REC	REC
UPDATE ALTA/NSPS LAND TITLE SURVEY	12/10/24	SKETCH	JD	REC
ADDITIONAL INFORMATION ADDED	03/03/25	AM	REC	REC
	03/11/25	SKETCH	JD	REC

REVISIONS				
DATE	FB/PG	DWN	CKD	

REVISIONS				
DATE	FB/PG	DWN	CKD	

PROJECT NUMBER: 5735-06

SCALE : 1" = 20'

SHEET
2
OF
2
SHEETS



THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY MICHELLE
DIAZ-MENDEZ, P.E. ON THE DATE
SHOWN ABOVE. PRINTED COPIES OF
THIS DOCUMENT ARE NTO CONSIDERE
SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON
ELECTRONIC COPIES.

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

NO.	REVISION	DATE
1	PER OBC COMMENTS	05.12.25
3	PER OBC COMMENTS	06.02.25

SCALE:	1 IN = 50 FT
DATE:	03.20.2025
PROJECT NO.	25-165.01
MASTER SITE PLAN	
SH. 1 OF 20	
S-1	

BUILDING USE	BUILDING HT.	GROSS BUILDING AREA (SF)	EXTERIOR COMMON AREA (SF)	TOTAL GROSS BUILDING CONSTRUCTION AREA (SF)	NET FLOOR AREA FOR PARKING CALCS. (SF)	PARKING RATIO	REQUIRED PARKING SPACES	TOTAL PARKING SPACES REQUIRED
PROPOSED FAST FOOD RESTAURANT	23'-6"	4,572 MAIN BUILDING 48 KIOSK TOTAL: 4,620	0	4,620	4,285 RESTAURANT 500 OUTDOOR SEATING	10/1000 15/1000	42.85 7.50	50,35
EXIST. RETAIL, MEDICAL & DAY-CARE	14'-6"	19,147	8,909	28,056	WELLMAX (BUS): 9,259 WELLMAX (MED): 4,871 RETAIL: 1,335 DAYCARE: 3,928	3.5/1000 OFFICE 5.75/1000 MEDICAL 3.5/1000 RETAIL 3/1000 DAY CARE	32.41 27.22 4.87 11.78	76,08
EXISTING RESTAURANT	14'-6"	8,076	2,261	10,328	RESTAURANT: 5,715 FOOD PRODUCTION: 3,167	10/1000 3.5/1000	57.15 11.08	68.23
EXISTING MEDICAL	22'-6"	10,387	235	10,622	MEDICAL: 6,334 BUSINESS: 1,879 RETAIL: 494 ASSEMBLY: 1,243	5.75/1000 3.5/1000 3.5/1000 5/1000	36.42 6.58 1.73 6.22	50.95

LAND DESCRIPTION: (PARCEL 2A)

LAND DESCRIPTION: (PARCEL 2A)

A PORTION OF TRACT G-2 AND TRACT G-3 OF PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT G-3; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF THE ABOVE MENTIONED TRACT G-2, A DISTANCE OF 67.17 FEET; THENCE NORTH 01 DEGREE 30' 38" EAST A DISTANCE OF 44.02 FEET; THENCE NORTH 45 DEGREES 23' 48" EAST A DISTANCE OF 478.33 FEET; THENCE NORTH 39 DEGREES 24' 09" EAST A DISTANCE OF 72.36 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 118.73 FEET; THENCE NORTH 45 DEGREES 00' 00" EAST A DISTANCE OF 81.00 FEET; THENCE SOUTH 45 DEGREES 00' 00" EAST A DISTANCE OF 28.63 FEET; THENCE SOUTH 00 DEGREES 00' 00" WEST A DISTANCE OF 396.91 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG THE SOUTH LINE OF SAID TRACT G-3, A DISTANCE OF 117.24 FEET; THENCE NORTH 89 DEGREES 55' 17" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 200.06 FEET; THENCE NORTH 88 DEGREES 29' 22" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 163.30 FEET TO THE POINT OF BEGINNING.

NET TOTAL PARKING SPACES REQUIRED	245.61
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GROSS TOTAL PARKING SPACES REQUIRED	246 (7 ACCESSIBLE SPACES REQUIRED)
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REGULAR SPACES:	248 SPACES
ACCESSIBLE SPACES:	9 SPACES

TOTAL PARKING PROVIDED: 257 SPACES

SITE AREA: 9.99AC
CURRENT ZONING: C-1
CURRENT LAND USE: IRR 5.52
FLEX ZONE: 7

TOTAL GROSS BUILDING - 1 STORY:	42,230 SF	100%
TOTAL GROSS BUILDING - 2 STORY:	0 SF	71.83%
<hr/>		
TOTAL GROSS BUILDING AREA:	42,230 SF	100%

ALLOWABLE GROSS BUILDING:
ALLOWABLE 1 STORY BUILDING AREA: $435,492 \times 25\% = 108,873$ SF
TOTAL ALLOWABLE GROSS BUILDING AREA: 108,873 SF
42,230 SF PROVIDED < 108,873 SF ALLOWABLE

TOTAL SITE AREA:	435,482 SF	9.99 AC	100%
PERVIOUS AREA/OPEN SPACE:	109,380 SF	2.51 AC	25.11%
IMPERVIOUS AREA:	326,112 SF	7.48 AC	74.89%
BUILDING AREA:	52,749 SF	1.21 AC	16.18%
SIDEWALK AREA:	35,526 SF	0.82 AC	10.89%
VEHICULAR USE AREA:	194,350 SF	4.46 AC	59.60%
*FUTURE BUILDING:	32,910 SF	0.76 AC	10.09%
*FUTURE SIDEWALK AREA:	2,797 SF	0.06 AC	0.86%
*FUTURE VEHICULAR USE AREA:	7,780 SF	0.17 AC	2.38%

• FUTURE DEVELOPMENT UNDER SEPARATE APPLICATION

PROPOSED SELF STORAGE GROSS BUILDING AREA:	134,382 SF
PROPOSED FAST FOOD GROSS BUILDING AREA:	4,572 SF
EXISTING MEDICAL OFFICE GROSS BUILDING AREA:	10,387 SF
FUTURE BANK GROSS BUILDING AREA:	4,395 SF
EXISTING GAS STATION/C-STORE GROSS BUILDING AREA:	6,119 SF
EXISTING RESTAURANT GROSS BUILDING AREA:	8,076 SF
EXISTING BUSINESS/MEDICAL/PRESCHOOL GROSS BUILDING AREA:	19,147 SF

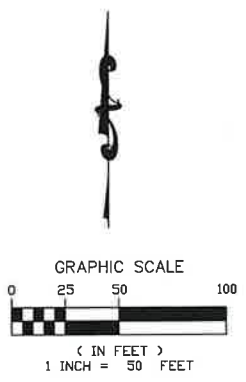
BIKE RACK DETAIL



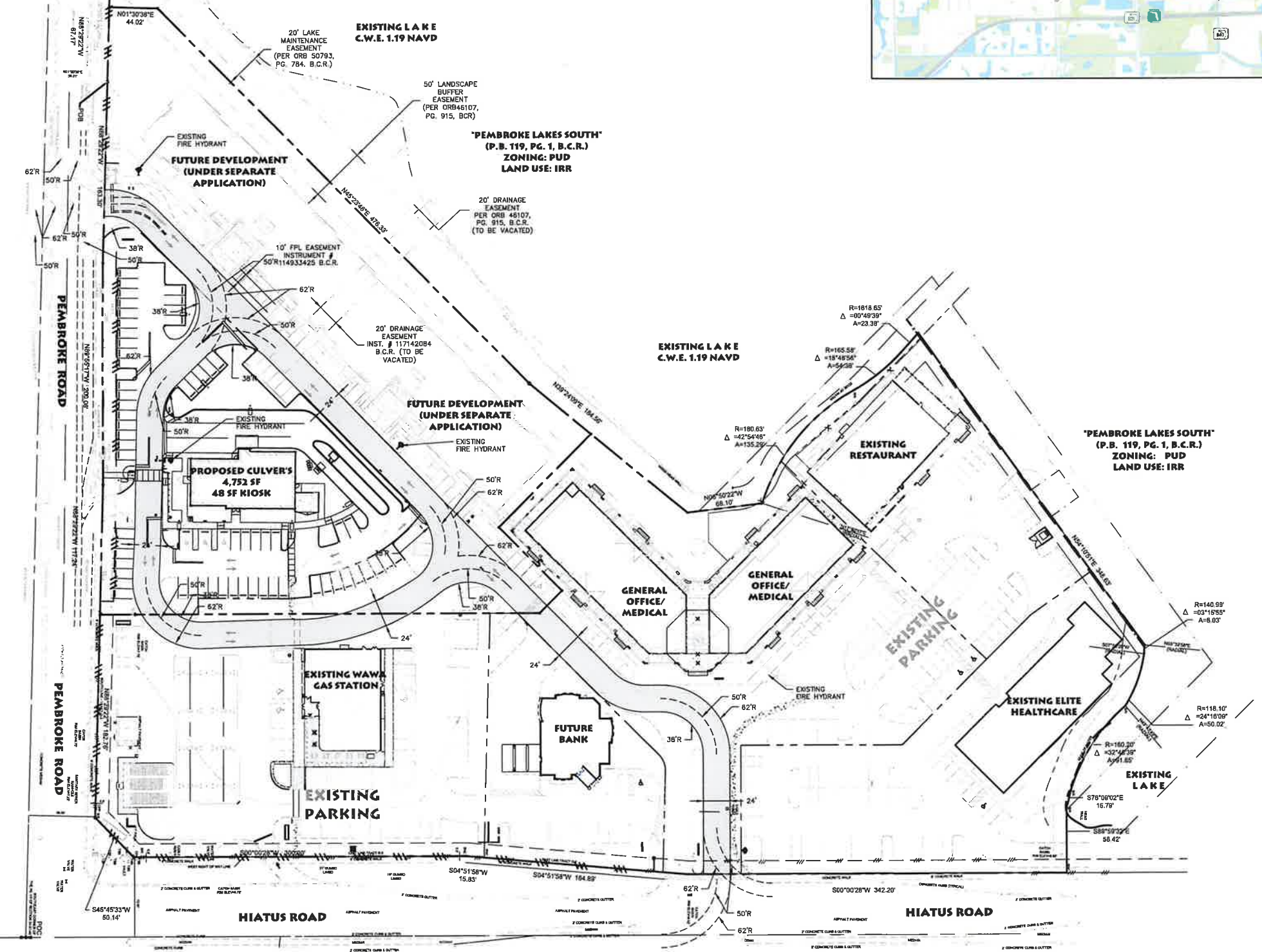
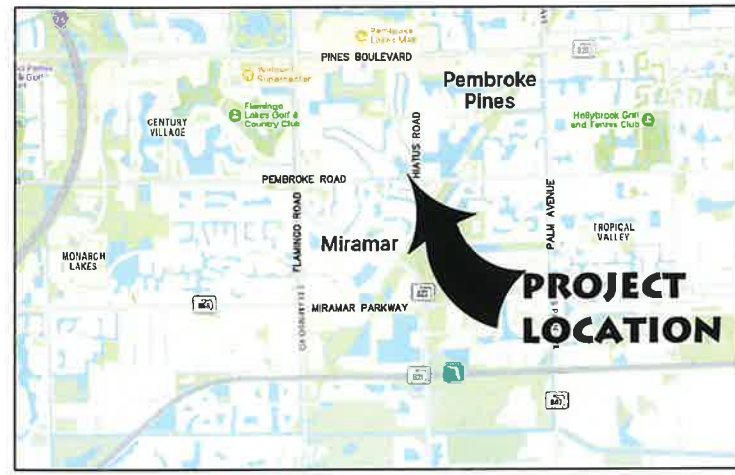
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AND SEALED BY MICHELLE
DIAZ-MENDEZ, P.E. ON THE DATE
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SIGNATURE MUST BE VERIFIED ON
ELECTRONIC COPIES.

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

DATE	05.12.25
REVISION	PER DRC COMMENTS
NO.	1
SCALE:	1 IN = 50 FT
DATE:	03.20.2025
PROJECT NO.	25-165.01
MASTER FIRE TRUCK ACCESS PLAN	
SH. 3 OF 20	
FA-1	



- LEGEND**
- PROPERTY LINE/ PARCEL LINE
 - NON-VEHICULAR ACCESS LINE
 - EASEMENT LINE
 - LIMITS OF CONSTRUCTION LINE
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
 - EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
 - FIRE TRUCK ACCESS ROAD





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DIAZ-MENDEZ, P.E. ON THE DATE
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CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

NO.	REVISION	DATE
1	PER DRC COMMENTS	05.12.25
2	PER DRC COMMENTS	06.02.25
3	PER DRC COMMENTS	

SCALE:
1 IN = 30 FT

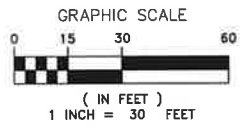
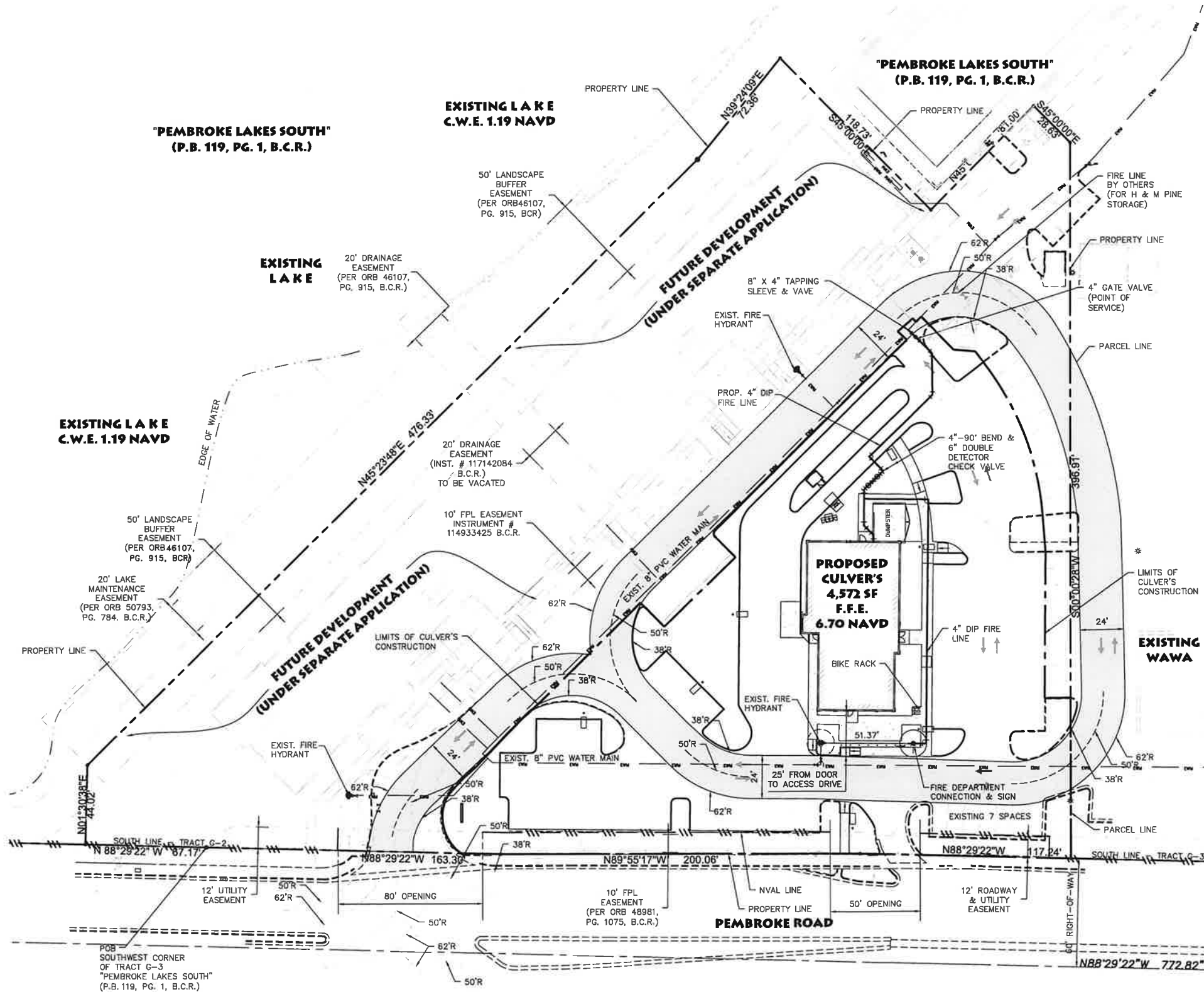
DATE:
03.20.2025

PROJECT NO.
25-165.01

**FIRE TRUCK
ACCESS PLAN**

SH. 4 OF 20

FA-2



- LEGEND**
- PROPERTY LINE/ PARCEL LINE
 - NON-VEHICULAR ACCESS LINE
 - EASEMENT LINE
 - LIMITS OF CONSTRUCTION LINE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
 - PROPOSED WATER MAIN GATE VALVE, TEE &

BUILDING CONSTRUCTION TYPE V-000

GENERAL NOTES:

- SEE SHEET FA-3 FOR NOTES AND DETAILS.
- CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- FIRE LINE IS TO BE DIP, CLASS 52 OR BETTER AS REQUIRED BY THE AHJ AND IS TO BE PRESSURE TESTED AT 200 PSI.
- THE SUB-CONTRACTOR INSTALLING THE UNDERGROUND FIRE LINE MUST SUBMIT A PERMIT APPLICATION TO THE CITY OF PEMBROKE PINES BUILDING DEPARTMENT.
- WATER MAIN/FIRE LINE SHALL HAVE 36" MINIMUM COVER.
- ALL FITTINGS USED IN PRIVATE FIRE SERVICE MAINS SHALL BE RATED FOR THE MAXIMUM SYSTEM WORKING PRESSURE TO WHICH THE FITTINGS ARE EXPOSED BUT SHALL NOT BE RATED AT LESS THAN 150 PSI PER NFPA 24.
- FIRE LINE PIPE JOINTS SHALL NOT BE LOCATED UNDER FOUNDATION.
- ALL PIPING, FDC, FITTINGS, RESTRAINTS, VALVES, BACKFLOW PREVENTER, ETC. ASSOCIATED WITH THE FIRE LINE SHALL COMPLY WITH NFPA 24, 10.1.1, 10.1.1.1 LISTING AND 10.2 FOR FITTINGS.

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

FIRE SYSTEM NOTES

GENERAL NOTES:

1. REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THE CODE PER NFPA 1:1.14.4.
2. FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC), 6TH EDITION, EFFECTIVE DECEMBER 31, 2017 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2018 EDITION, NFPA 1, 2018 EDITION, & STATE STATUTES, 2019 EDITION

ACCESS BOX:

3. THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE AN ACCESS BOX(ES) TO BE INSTALLED IN AN ACCESSIBLE LOCATION WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS DIFFICULT BECAUSE OF SECURITY. THE ACCESS BOX(ES) SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037. A KNOX BOX SHALL BE PROVIDED ON ALL BUILDING THAT HAVE REQUIRED SPRINKLER SYSTEMS, STANDPIPE SYSTEMS OR FIRE ALARM SYSTEMS.

ACCESS ROADS:

4. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTION OR RELOCATED. NFPA-1:18.2.3.1.1
- 4.1. FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF ROADWAY, FIRE LANES, PARKING LOT LANES, OR A COMBINATION THEREOF. NFPA-1:18.2.3.1.2
- 4.2. FIRE LANES SHALL BE PROVIDED FOR ALL BUILDINGS WHICH ARE SETBACK MORE THAN 150' FROM A PUBLIC ROADWAY, OR WHICH EXCEED 30' IN HEIGHT AND ARE SETBACK OVER 50' FROM A PUBLIC ROAD. FIRE LANES SHALL BE AT LEAST 20 FEET IN WIDTH WITH ROAD EDGE CLOSEST TO THE BUILDING AT LEAST TEN FEET FROM THE BUILDING. COPP CO 93.11(B)
5. A FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 50 FEET OF A SINGLE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING. NFPA-1:18.2.3.2.1
- 5.1. WHEN REQUIRED BY THE AHJ, ROADS OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA-1:18.2.3.4.1.1 AND NFPA-1:18.2.3.4.1.2
6. FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150'-FEET (450'-FEET FOR SPRINKLERED BUILDINGS) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. NFPA-1:18.2.3.2.2 AND NFPA-1:18.2.3.2.2.1
- 6.1. MORE THAN ONE FIRE APPARATUS ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATE CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS. NFPA-1:18.2.3.3
- 6.2. FIRE APPARATUS ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT. NFPA-1:18.2.3.5.1.1
- 6.3. DRIVING LANES SHALL HAVE A MINIMUM CLEAR WIDTH OF 24 FEET FOR TWO-WAY TRAFFIC, 15'-FEET FRO ONE-WAY TRAFFIC. COPP CO 154.35(S)
- 6.4. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT. NFPA-1:18.2.3.4.1.1
7. FIRE ACCESS ROADS SHALL BE A MINIMUM CENTERLINE TURNING RADIUS OF 50', WITH A MINIMUM INSIDE RADIUS 36' AND MINIMUM 62' OUTSIDE RADIUS. COPP CO 154.35(3)
8. THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY PARKING OF VEHICLES. NFPA-1:18.2.4.1.1
9. FIRE DEPARTMENT ACCESS ROADS SHALL BE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOTE LESS THAN 13FT-6IN. NFPA-1:18.2.3.4.1.2
- 9.1. THERE SHALL BE A 14' MINIMUM WIDTH AT LEVEL 6' - 8' FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS.
- 9.2. MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.5 SHALL BE MAINTAINED AT ALL TIMES. NFPA-1:18.2.4.1.2
10. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. NFPA-1:18.2.3.4.2
- 10.1. HARD COMPACTED SURFACE SUPPORTING 32 TONS SHALL BE PROVIDED ON ROADS FOR FIRE APPARATUS TO ACCESS OF BUILDINGS UNDER CONSTRUCTION.
11. THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ. NFPA-1:18.2.3.4.2
12. FIRE DEPARTMENT ACCESS ROAD CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FEET BEYOND EACH OF THE FIRE LANE. NFPA-1:18.2.3.4.6.3
13. THE DESIGN AND USE OF TRAFFIC CALMING DEVICES SHALL REQUIRE APPROVAL BY THE AHJ AND COPP ENGINEERING DEPARTMENT. NFPA-1:18.2.3.4.7
14. WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND PROHIBIT THE OBSTRUCTION THEREOF OR BOTH. NFPA-1:18.2.3.5.1
- 14.1. THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED Y HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES. COP CO 93.12
- 14.2. FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE; SIGN(S) SHALL BE PROVIDED.
- 14.3. FIRE LANE SIGN(S) SHALL BE 18" X 24" AND SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. SUCH SIGNS SHALL BE 12 IN X 18 IN WITH WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF SEVEN FEE IN HEIGHT FROM THE ROADWAY TO THE BOTTOM PART OF THE SIGN. THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART. NFPA-1:18.2.3.6.3

WATER SUPPLY:

15. A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLES MATERIAL ACCUMULATES. NFPA-1:16.4.3.1
- 15.1. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. NFPA-1:16.5.3.1.3
16. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WITH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION. THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 18.4 FIRE FLOW REQUIREMENTS FOR BUILDING. NFPA-1:18.3.1
- 16.1. FIRE FLOW CALCULATIONS FOR MANUAL FIRE SUPPRESSION PURPOSES ARE REQUIRED TO BE PROVIDED IN ACCORDANCE WITH NFPA-1:18.4.

FIRE HYDRANTS:

17. THE NUMBER AND TYPE OF FIRE HYDRANT AND CONNECTIONS TO OTHER APPROVE WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NFPA-1:18.5.1

- 17.1. FIRE HYDRANTS AND CONNECTIONS TO APPROVED WATER SUPPLIES MUST BE INSTALLED AND MAINTAINED IN A MANNER THAT ALLOWS THE FIRE DEPARTMENT TO ACCESS THE WATER SUPPLY POINT WITHOUT BEING DELAYED BY FENCES, SIGNS, OR OTHER OBSTRUCTIONS. NFPA-1:18.5.2
- 17.2. FIRE HYDRANTS SHALL BE LOCATED NOT MORE THAN 12 FEET FROM THE FIRE DEPARTMENT ACCESS ROAD. NFPA-1:18.5.1.6
- 17.3. WHERE REQUIRED BY THE AHJ, FIRE HYDRANTS SUBJECT TO VEHICULAR DAMAGE SHALL BE PROTECTED UNLESS LOCATED WITHIN A PUBLIC RIGHT OF WAY. NFPA-1:18.5.8
- 17.4. FIRE HYDRANTS SHALL BE MARKED WITH AN APPROVED REFLECTOR AFFIXED TO OR PROXIMATE TO THE FIRE HYDRANT WHERE REQUIRED BY THE AHJ. NFPA-1:18.5.10.1
- 17.5. FIRE HYDRANTS IN ALL COMMERCIAL AND BUSINESS ZONED AREAS SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAYS OR EASEMENTS AND SHALL NOT BE SPACED NOT FURTHER THAN 500 FEET APART AS MEASURED ALONG STREET OR ALLEYS. COPP CO 93.25(C)
- 17.6. FIRE HYDRANT 4 1/2 INCH STREAMER CAP SHALL FACE THE NEAREST ROADWAY, SHALL BE 24 INCHES AND 30" INCHES ABOVE GROUND, AND REQUIRE A BLUE REFLECTOR IN CENTER OF ROADWAY IN FRONT OF THE HYDRANT COPP CO 93.25(E). REFER TO DETAIL.
- 17.7. NO TREE, BUSH, HEDGE, OR SHRUB SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND LOCATED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. COPP CO 93.25(F).
- 17.8. IN EVERY CASE, AT LEAST TWO FIRE HYDRANTS SHALL BE WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING, AND BE SPACED 500 FEET APART THROUGHOUT. MEASUREMENTS TAKEN AS THE FIRE TRUCK TRAVELS. COPP CO 93.25(G)
- 17.9. BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITHIN 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION. COPP CO 93.25(D) AND NFPA-14:6.4.5.4 (2019 ED.)

FIRE DEPARTMENT CONNECTIONS:

18. FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED AND ARRANGED SO THAT HOSE LINES CAN BE READILY AND CONVENIENTLY ATTACHED WITHOUT INTERFERENCE FROM NEARBY OBJECTS, INCLUDING BUILDINGS, FENCES, POSTS OR OTHER DEPARTMENT CONNECTIONS. NFPA-14:6.4.5.1.1 (2016 ED.)
- 18.1. FIRE DEPARTMENT CONNECTIONS SHALL BE VISIBLE AND RECOGNIZABLE FROM THE STREET OF NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY OR N THE STREET SIDE OF THE BUILDING. NFPA-14:6.4.5.1 (2016 ED.) FIRE DEPARTMENT CONNECTIONS SHALL BE ON THE SAME SIDE OF THE STREET AS THE FIRE HYDRANT.
- 18.2. EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNED BY A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS, HAVING RAISED OR ENGRAVED LETTER AT LEAST 1 IN. IN HEIGHT ON PLATE OF FITTED READING SERVICE SIGN THAT SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSIONS RESISTANT FASTENERS, FOR EXAMPLE - AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE AS APPLICABLE NFPA-14:6.4.5.2.1. (2016 ED.)
- 18.3. THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18 IN NORM ORE THAN 48 IN. ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK OR GRADE SURFACE. NFPA-14:6.4.6 (2019 ED.) PEMBROKE PINES FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED AT 3 FEET ABOVE GRADE.

FIRE LINE INSTALLATION:

19. THE POINT OF SERVICE FOR THE FIRE LINE IS IDENTIFIED ON THE PLAN.
- 19.1. ANY UNDERGROUND WORK COMMENCING AT THE POINT OF SERVICE SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS SPECIFIED IN FSS 633.102.

FIRE FLOW TEST:

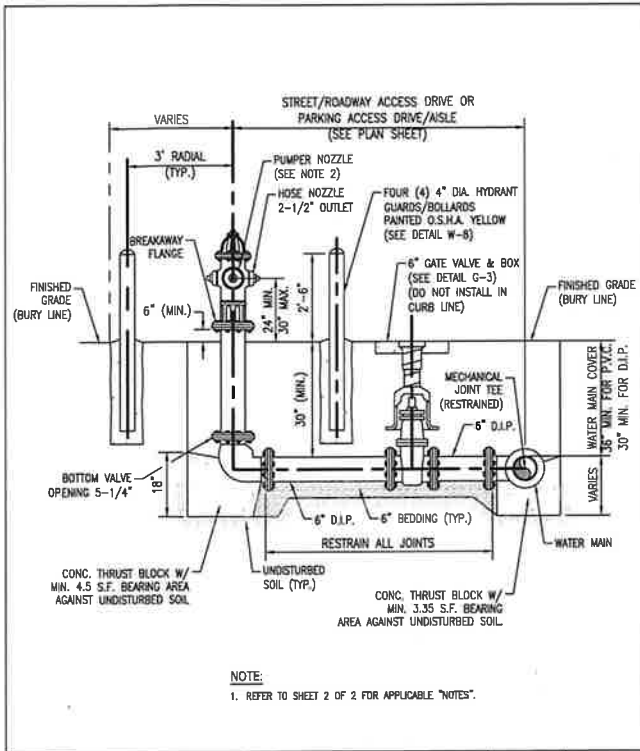
20. BACKFLOW PREVENTION VALVES. MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FLOW TESTS AT SYSTEM DEMAND. NFPA-13:8.17.4.6.1
- THE FULL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE. A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTION LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT. WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPLISHED, CLOSED LOOP FLOW CAN BE ACCEPTABLE IF A FLOWMETER OR SITE GLASS IS INCORPORATED INTO THE SYSTEM TO ENSURE FLOW. NFPA-13:8.17.4.6.1

SIGNAGE:

21. NOTICE REQUIRED FOR STRUCTURES WITH LIGHT-FRAME TRUSS-TYPE CONSTRUCTION FOR NEW AND EXISTING STRUCTURES, EFFECTIVE 12-13-09. DECLARE IF STRUCTURE(S) ARE TO BE CONSTRUCTED WITH LIGHT-FRAME TRUSS-TYPE CONSTRUCTION FAC 69A-60.0081
- 21.1. ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTI-STORY BUILDINGS WITHIN THE CITY SHALL BE NUMBERED WITH THE STREET ADDRESS, FRONT & REAR AND/OR SIDE NUMBERS WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS. COPP CO 52.10
- 21.2. NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET. COPP CO 52.10 (D)
22. ALL SUPPORT/SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED 'GROUND SIGN ASSEMBLY DETAILS'. SEE DETAIL.

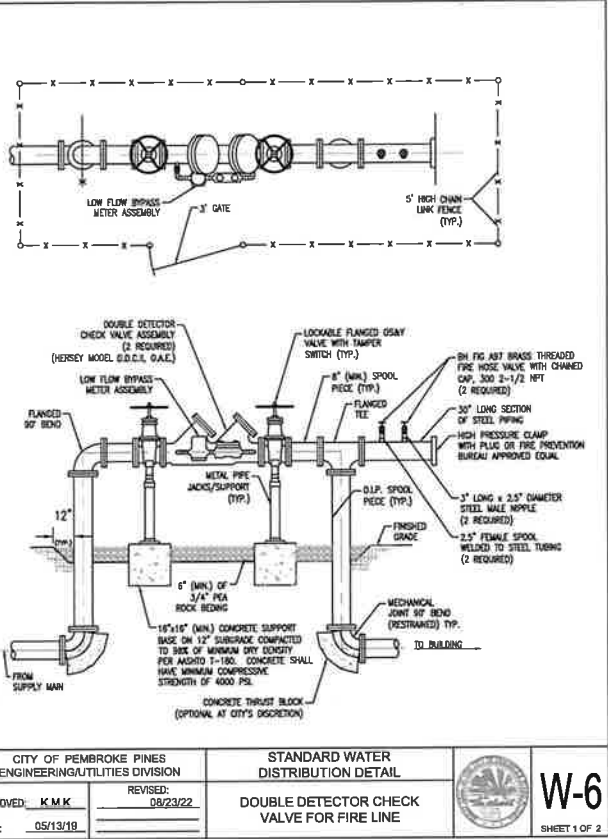
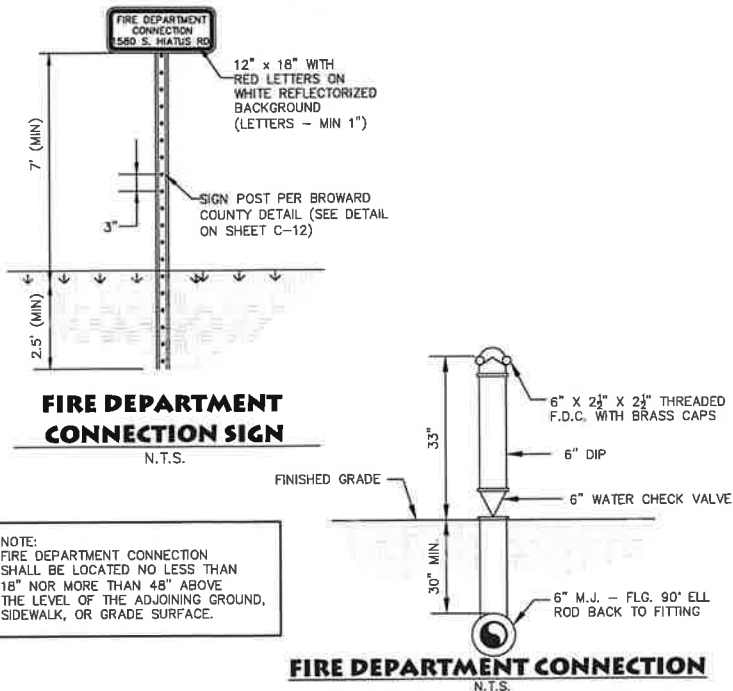
RADIO SIGNAL:

23. IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ. NFPA-1:11.10.1
- 23.1. THE OWNERS REP OR GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS.
- 23.2. PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITIONS, WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRA-RED THERMOMETER TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED.
- 23.3. AN ASSESSMENT WILL BE CONDUCTED BY THE OWNER'S REP OR GC TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IN THE OCCUPANCY IS IN COMPLIANCE, IN ACCORDANCE WITH NFPA-1:11.10.1 AND NFPA-72:24.5.2.2.1 THROUGH NFPA-72:24.5.2.2.3.
- 23.4. RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72:14.4.12.1.2 THROUGH NFPA-72:14.4.12.1.4 AND NFPA-24.5.2.3.
- 23.5. A TEST GRID (HEAT MAP) PLAN SHALL BE PRODUCED TO ENSURE TESTING THROUGHOUT THE BUILDING.
- 23.6. SIGNAL LEVELS SHALL BE MEASURED TO ENSURE THE SYSTEM MEETS THE CRITERIA OF NFPA-72:24.5.2.3 WITH A MINIMUM SIGNAL STRENGTH OF -95 DBM AND A MINIMUM OUTBOUND SIGNAL ON -95 DBM AT THE DONOR SITE.



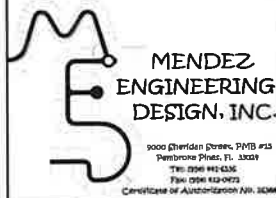
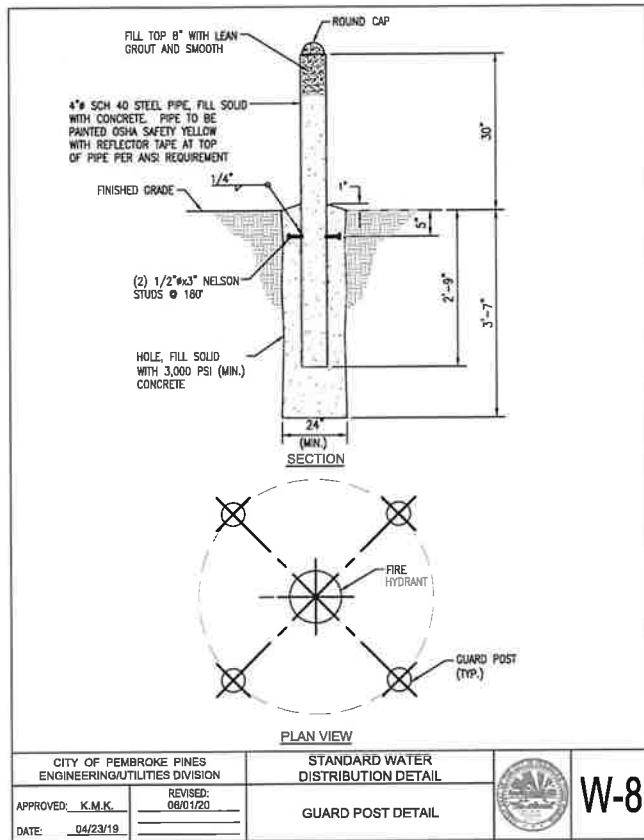
FIRE HYDRANT NOTES:

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4\"/>
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET /ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ AISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR 'TURNING RADIUS'.
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.
6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE 'SUPPLY MAIN'. SHOULD THE DISTANCE FROM THE 'SUPPLY MAIN' TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.



DDCV NOTES:

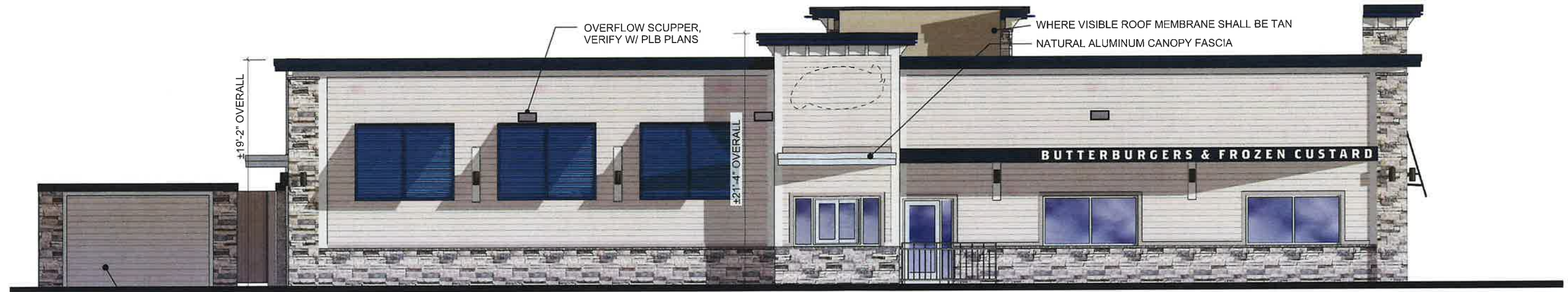
1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA-101 CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E. ON THE DATE SHOWN ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

DATE	05.12.25
REVISION	PER DRG COMMENTS
NO.	1
SCALE:	11 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-165.01
FIRE ACCESS NOTES & DETAILS	
SH. 5	OF 20
FA-3	



WEST / DRIVE THRU ELEVATION



SOUTH / FRONT ELEVATION

NORTH / REAR ELEVATION




EAST / MAIN ENTRY ELEVATION

REPRESENTATION	MATERIAL	COLOR
ROOF EDGE	EXCEPTIONAL METALS	"REGAL BLUE"
FIBER CEMENT TRIM	BOARDS, SMOOTH	ARCTIC WHITE
FIBER CEMENT SIDING	SMOOTH FACE, JAMES HARDIE	ESTATE GRAY (BOTTOM TRIM SAME COLOR)
METAL AWNINGS	(BY OTHERS)	"SIGNAL BLUE" RAL 5005
SCONCE FIXTURE		BRONZE
MFGR'D STONE	W/ STONE SILL TRIM	"ECHO RIDGE" BORAL

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NEW CULVER'S RESTAURANT
1580 South Hiatus Road
Pembroke Pines, FL 33025
County of BROWARD



Culver Franchising System, Inc.
1240 Water Street
Prairie du Sac, WI 53578
608-643-7960

OLLMANN ASSOCIATES
ARCHITECTS
200 South State Street
Belvidere Illinois 61008
815-544-7790 Phone

2D IMAGES

NOTE: THOUGH THESE IMAGES HAVE PHOTO
REALISTIC QUALITIES, THE ACTUAL BUILDING
MATERIALS MAY VARY IN APPEARANCE.

Date: 6-5-2025 Revision:

2025-035

A1



REAR LEFT VIEW (NWC)



REAR RIGHT VIEW (NEC)



FRONT LEFT VIEW (SWC)




FRONT RIGHT VIEW (SEC)

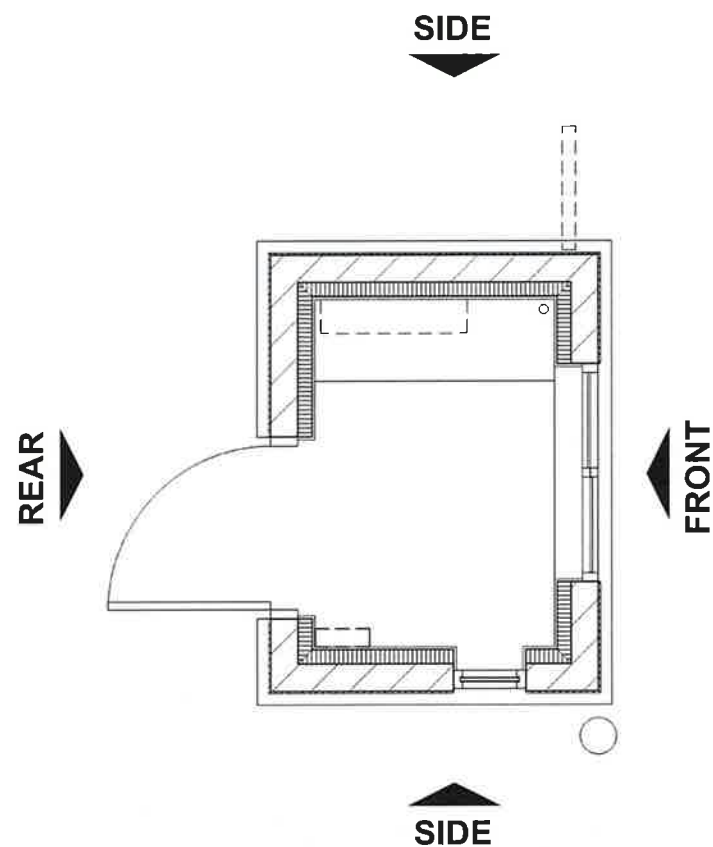


LEFT PERSPECTIVE (WEST VIEW)



RIGHT PERSPECTIVE (EAST VIEW)

©2025	
NEW CULVER'S RESTAURANT 1580 South Hiatus Road Pembroke Pines, FL 33025 County of BROWARD	
 Culver Franchising System, Inc. 1240 Water Street Prairie du Sac, WI 53578 608-643-7980	
OLLMANN ASSOCIATES ARCHITECTS 200 South State Street Belvidere Illinois 61008 815-544-7790 Phone	
<div> <div>3D IMAGES</div> <div> NOTE: THOUGH THESE IMAGES HAVE PHOTO REALISTIC QUALITIES, THE ACTUAL BUILDING MATERIALS MAY VARY IN APPEARANCE. </div> </div>	
Date: 6-5-2025 Revision:	
2025-035	
A2	



APPROACH VIEW



PATIO - AERIAL VIEW



VIEW FROM POST ORDERING



PATIO - FRONT RIGHT VIEW



OWNER FURNISHED, FOOD SERVICE EQUIPMENT CONTRACTOR (FSEC) INSTALLED					
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER (BOX, LINE SETS, & COIL DRAIN PIPES)	47	FRONT PASS-THRU STAINLESS STEEL CHANNEL TRIM	83	REACH IN REFRIGERATOR - ROUGH IN ONLY
2	WALK IN FREEZER (BOX, LINE SETS, & COIL DRAIN PIPES)	48	REFRIGERATED MEAT CART	88	DELIVERY SHELF
3	WALK IN COOLER RACKS	50	MOBILE WORKTABLE	90	FRONT SERVICE COUNTER
3A	THAWING RACKS - OPTIONAL	51	GRILL AND STAND	92	CUP DISPENSERS
4	WALK IN COOLER DRAINAGE RACKS	52	TRANSFER STATION - ROUGH-IN ONLY	93	STAINLESS STEEL DRIVE-THRU COUNTER
4A	MOBILE CUSTARD MIX RACKS	53A	SANDWICH WRAP STATION LEFT	94	STAINLESS STEEL DRIVE-THRU COUNTER
5	WALK IN FREEZER SHELVING	53B	SANDWICH WRAP STATION RIGHT	95	CUP DISPENSERS
6	WALK IN FREEZER DRAINAGE RACKS	54	WALL SHELF	99	OPEN NUMBER
7	WORKTABLE / SINK	55	ORDER BARS	100	DISPLAY CABINET - NOT INCLUDED
8	WALL SHELF	57	STAINLESS STEEL REFRIGERATION CHASE COVER	101	TRAY / TRASH / RECYCLE CABINETS
11	LOCKERS	58	FRY STATION HEAT LAMP - ROUGH IN ONLY	102	TRAY / TRASH CABINET - NOT INCLUDED
14	STAINLESS STEEL WALL CORNER GUARDS, SHOWN 14	60	FRYERS	106	RETAIL FREEZER
16	WIRE SHELVING	61	CUSTOM FISH REFRIGERATOR	107	CONDIMENT CUP DISPENSERS
20	DISHWASHERS AND UTENSIL SINKS	62	OPEN NUMBER	108	TABLES / CHAIRS / BOOTHS
21	WALL SHELF	65	MOBILE STAINLESS STEEL WORKTABLE	109	CONDIMENT DISPENSERS
24	OPEN NUMBER	66	ICE MACHINE WITH BIN - ROUGH IN ONLY	110	NAPKIN DISPENSERS
27	SLANTING WALL SHELF	68A	REMOTE ICE MAKER	113	BEVERAGE COUNTER
28	CLEAN PAN SHELVING	67	WORKTABLE	114	CONDIMENT COUNTER
31	JANITOR'S SHELVING	68	WALL SHELF	115	OPEN NUMBER
34	REACH-IN FREEZER	71	OPEN NUMBER	119	WASTE RECEPTACLES
35	OPEN NUMBER	74	REFRIGERATED TOPPING TABLE	120	HIGH TOP TABLES AND CHAIRS
37	REFRIGERATED DRAWER BASE	75	CUSTARD DIPPING CABINET	121	DROP IN CUSTARD COLD PAN
38	DUAL FRY DISPENSER - NOT INCLUDED	76	CAKE CONE DISPENSER	123	WORKTOP REFRIGERATOR
39	OPEN NUMBER	77A	SUNDAE TOPPING DISPENSERS	124	WORKTABLE
40	BREAD SHELF - NOT INCLUDED	77B	SUNDAE TOPPING WALL SHELF	125	MOBILE WORKTABLE
41	REFRIGERATED WORKTABLES	78	DISH / CUP DISPENSERS	126	SLANTING WALL SHELF
42	MOBILE WORKTABLE / OVERSHELF	79	WALL SHELVES	127	OPEN NUMBER
43	GRILL SIDE WARMER CART	80	REFRIGERATED S/S BACKCOUNTER	505	REFRIGERATION LINE SETS (SEE H6 / A105)
44	STAINLESS STEEL WALLCAP / ELEC CHASE COVER	81	HEATED PASS-THRU UNIT		
46	HEATED FRY BIN	82	TOOL SHELF		

SEATING SUMMARY	
2 6-PERSON TABLES = 12 SEATS	5 TO-GO / ORDER WAITING
11 4-PERSON TABLES = 44 SEATS	
1 3-PERSON TABLES = 3 SEATS	
16 2-PERSON TABLES = 32 SEATS	
32 TOPS	95 SEATS
100 INDOOR SEATS	
29 PATIO SEATS	

OWNER FURNISHED, VENDOR INSTALLED			
ITEM		EQUIPMENT SCHEDULE	
9	COOKER / WARMERS	98	ICED TEA BREWER / DISPENSER
12	WASTE OIL RECOVERY SYSTEM	103	ICE AND SODA DISPENSER
15	BAG-IN-BOX SYSTEM	104	CARBONATOR
17	TRASH CANS / CART	105	SELF SERVICE LID DISPENSER
18	BUN RACKS	111	STRAW DISPENSERS
33	CHEMICAL DISPENSING SYSTEM	112	CONDIMENT PANS
36	MICROWAVE OVEN	118	MONITOR BRACKETS
43	BUN TOASTER		
45	WRAP PAPER HOLDERS		
46	HEATED BUN WARMER		
47	TRIPLE CUSTARD MACHINE		
49	ASTRO BLENDERS		
70	MILKSHAKE MACHINE		
72	HEATED SYRUP DISPENSERS		
73	LIQUID TOPPING DISPENSERS		
84	COFFEE MAKER		
85	POWER WASHER - NOT INCLUDED		
86	MENU BOARD / SIGNAGE PACKAGE		
87	WAFFLE CONE DISPENSER		
89	FOOD LABEL MARKER		
91	CASH REGISTER / POS SYSTEM		
96	ICE AND SODA DISPENSER		
97	CARBONATOR		

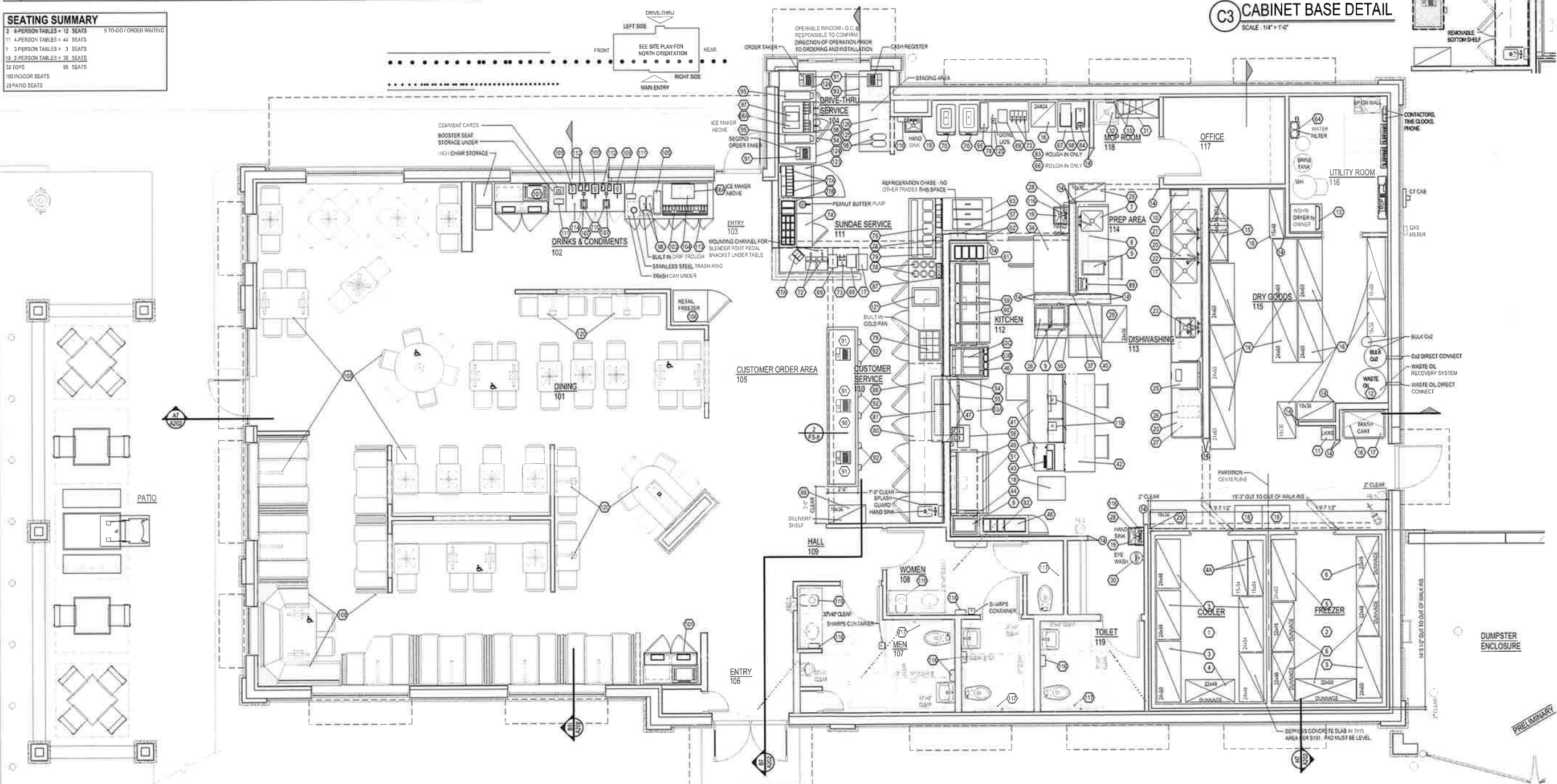
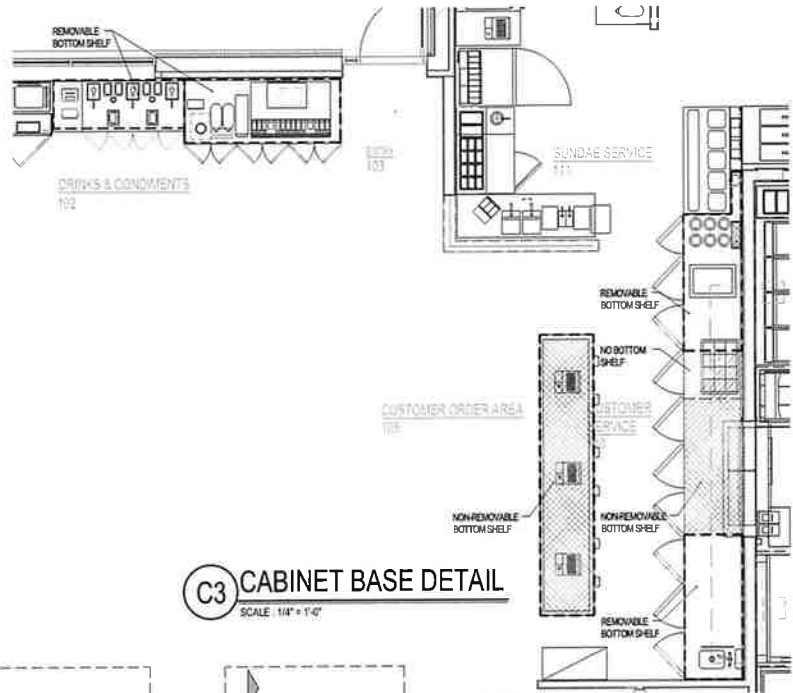
CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	
ITEM	EQUIPMENT SCHEDULE
25A	DISHWASHER CONDENSATE HOOD - NOT INCLUDED
38	FIRE SUPPRESSION SYSTEMS
12	MOP SINK
49	EXHAUST HOOD - GRIDDLE
59	EXHAUST HOOD - FRYERS

CONTRACTOR FURNISHED,
CONTRACTOR INSTALLED

ITEM	EQUIPMENT SCHEDULE
25A	DISHWASHER CONDENSATE HOOD - NOT INCLUDED
28	FIRE SUPPRESSION SYSTEMS
32	MOP SINK
49	EXHAUST HOOD - GRIDDLE
59	EXHAUST HOOD - FRYERS

NOTE: SOME ITEMS INSTALLED BY OTHERS REQUIRE ROUGH IN AND/OR WIRING BY CONTRACTOR AS NOTED IN PLUMBING AND ELECTRICAL SCHEDULES.

OWNER FURNISHED, CONTRACTOR INSTALLED	
ITEM	EQUIPMENT SCHEDULE
10	KETCH-UP VOL. PAK DISPENSER
13	WASHER / DRYER
19	HAND SINK
22	PRE-RINSE SPRAY ASSEMBLY
23	PRE-RINSE SPRAY ASSEMBLY
25	DISHWASHER
26	BOOSTER HEATER
30	EYE WASH STATION (CONTRACTOR TO PROVIDE MIXING VALVE PER PLUMBING SCHEDULE)
64	WATER FILTER
116	HAND TOWEL DISPENSERS
117	TOILET PAPER DISPENSERS
300	TRIM PACKAGE (SEE H2 / A103)
	FOOD SERVICE EQUIP. COUNTER BASES (SEE FINISH PLAN, SHARP'S CONTAINERS)
	AED OPTIONAL - CONFIRM WITH OWNER
	MOP HANGER
	ARTWORK (SEE SHEET A103.1)



NEW CULVER'S RESTAURANT
1580 South Hiatus Road
Pembroke Pines, FL 33025
County of BROWARD

SEAL

OWNER:
BARON GROUP PROPERTIES LLC
610 Parsons Way
Deerfield Beach, FL 33442
Baron Waller
312-498-2686

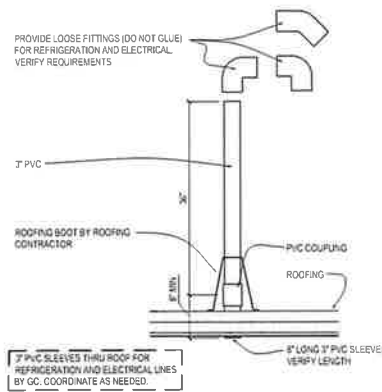
CLIMANN ASSOCIATES ARCHITECTS, P.C.
200 South State Street
Belvidere, Illinois 61008
815-544-7790 Phone
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FOOD SERVICE PLAN

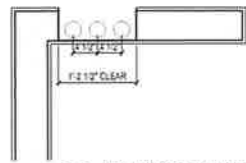
2025-035

FS-1

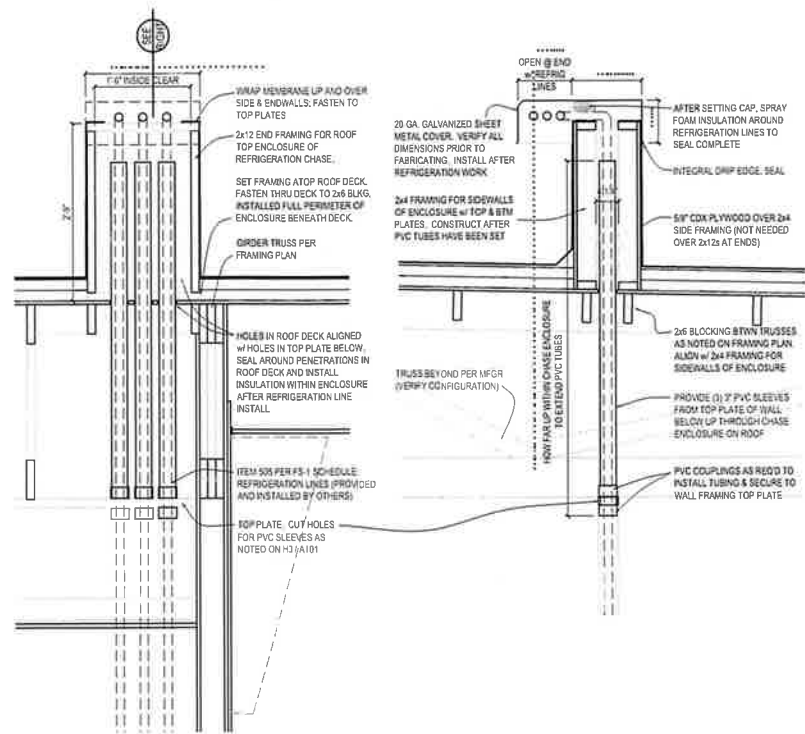
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Revision:



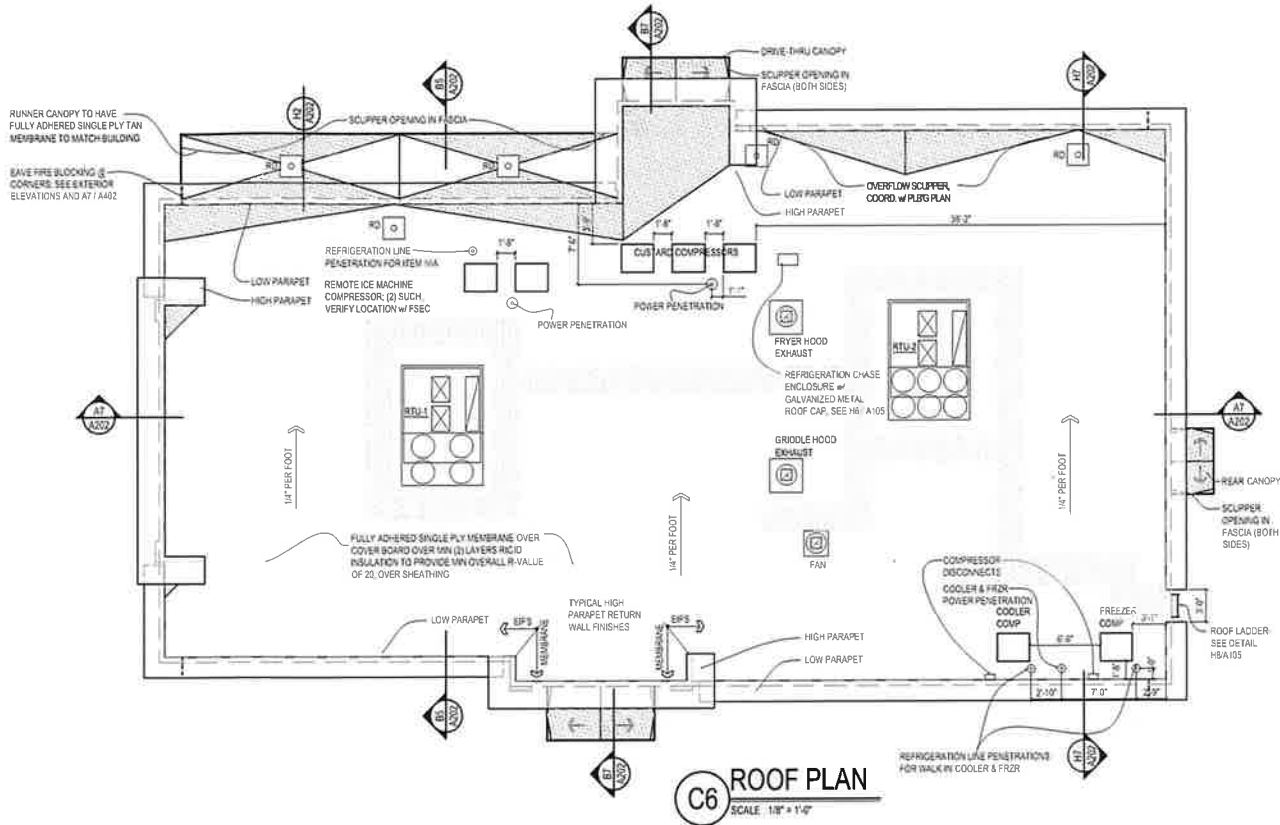
E3 PENETRATION DETAIL
SCALE: 3/4" = 1'-0"



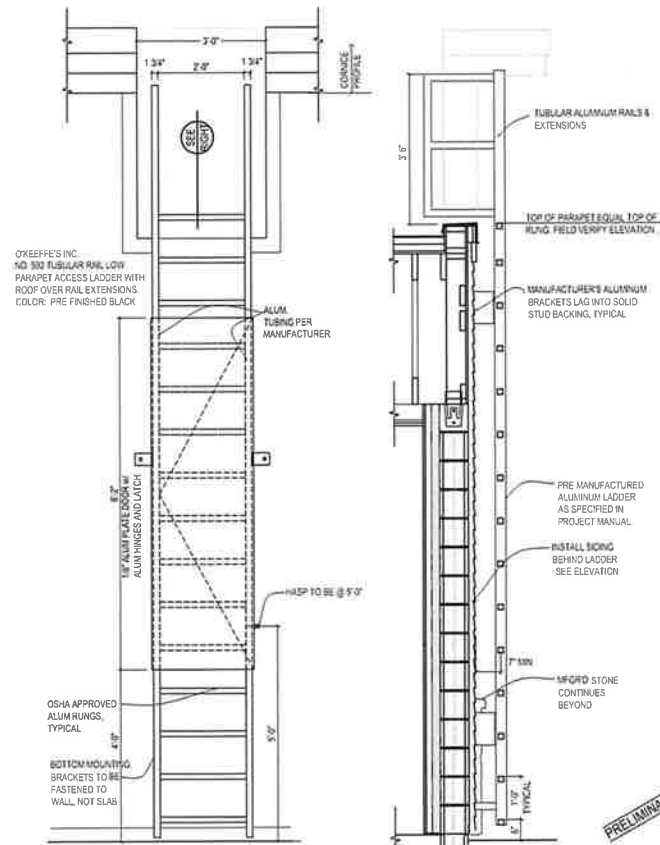
E6 REFRIGERATION CHASE
SCALE: 3/4" = 1'-0"



H6 REFRIGERATION CHASE
SCALE: 3/4" = 1'-0"



C6 ROOF PLAN
SCALE: 1/8" = 1'-0"



H8 RUNG LADDER
SCALE: 1/2" = 1'-0"

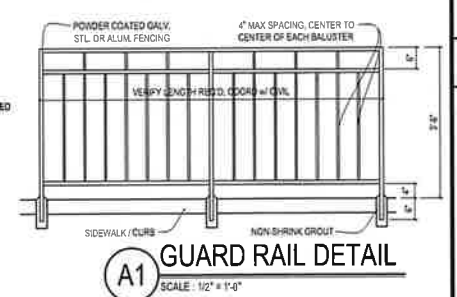
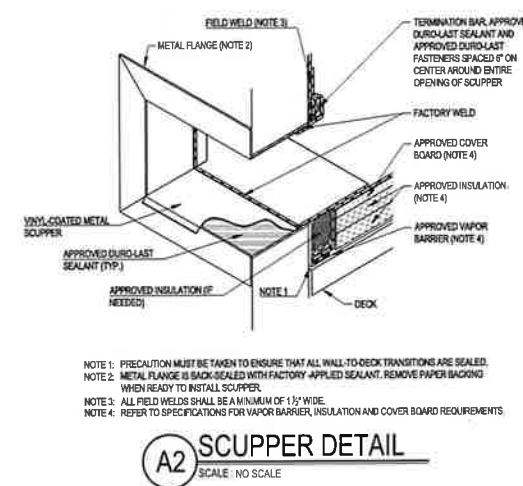
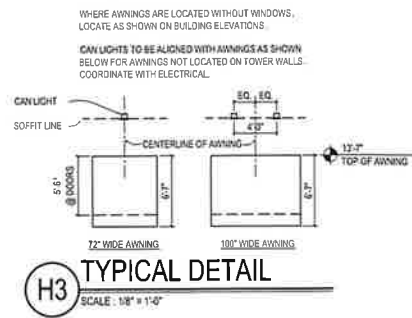
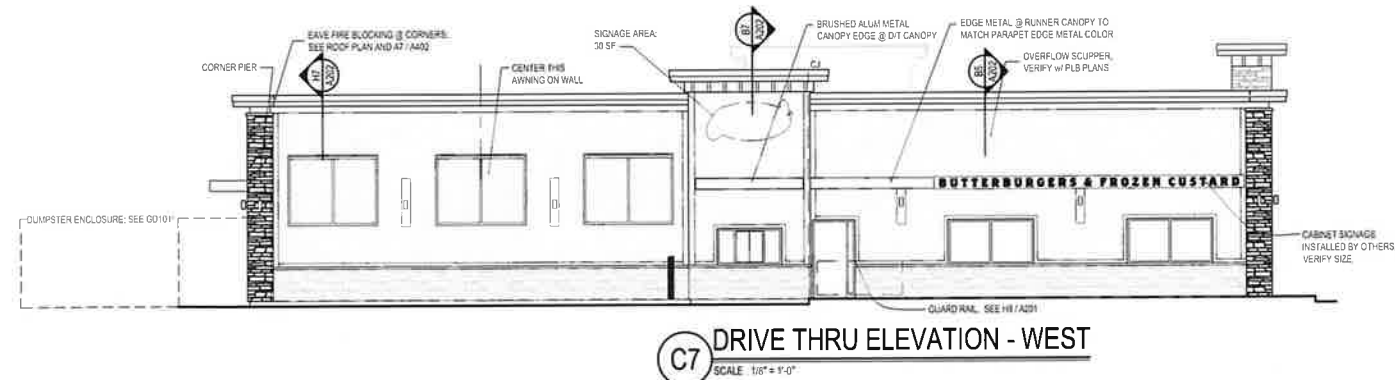
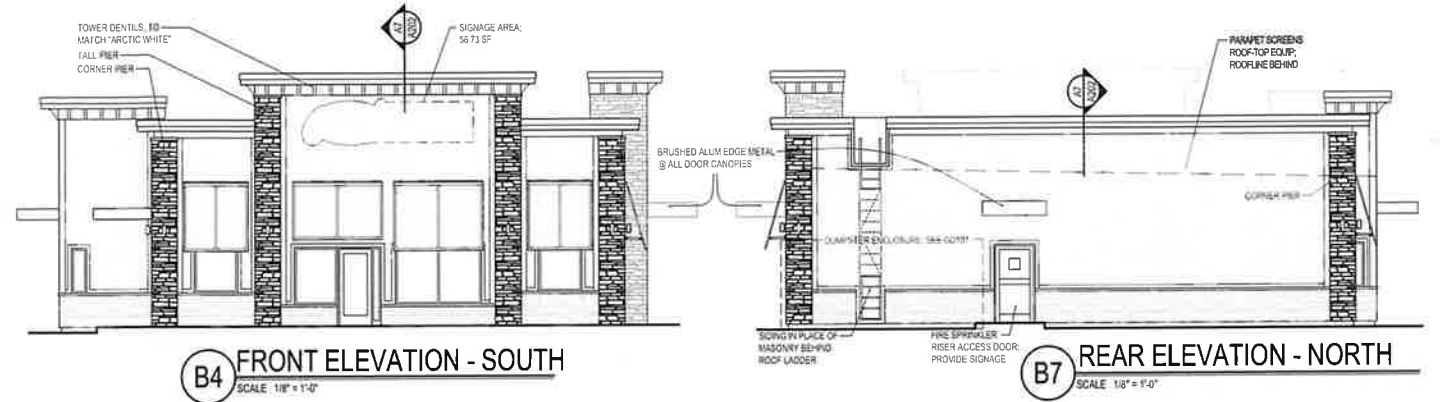
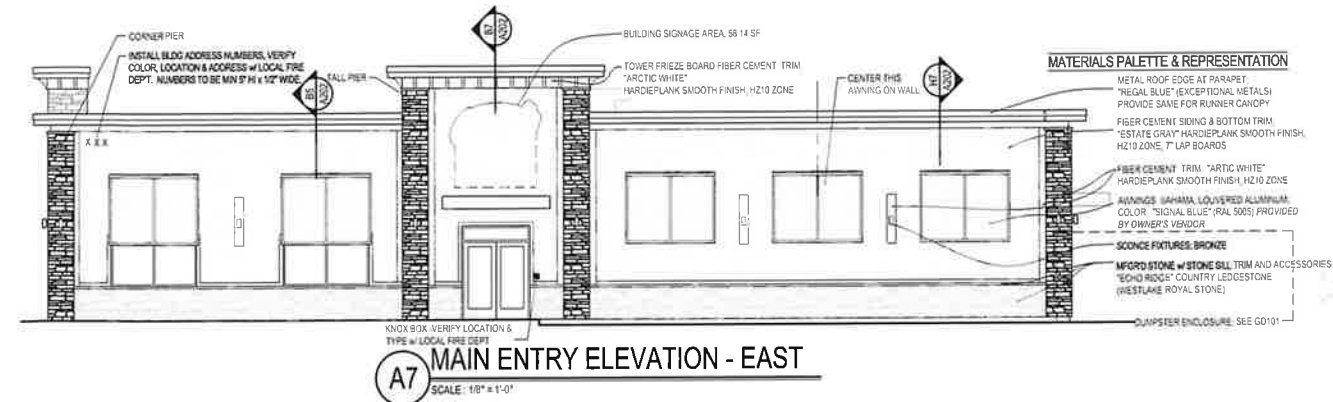
ROOF PLAN NOTES:
CONTRACTOR TO VERIFY ROOF TOP UNIT SPECIFICATIONS AND TRUSS SIZE AND SPACING
THIS PATTERN INDICATES TAPERED INSULATION. PROVIDE AS SHOWN OR REDD @ MIN. PITCH OF 1/4" PER FOOT
VERIFY NUMBER OF ROOF DRAINS AND THEIR LOCATIONS W/ PLUMBING SHEET P101
G.G. TO LIFT UP TO ROOF ALL REFRIGERATION CONDENSING UNITS FOR THE FOOD SERVICE EQUIPMENT. EACH UNIT WEIGHS APPROXIMATELY 250#. COORDINATE DELIVERY TIMING WITH OWNER AND FOOD SERVICE EQUIPMENT SUPPLIER.
PAINT ANY PIPING REQUIRED BY CODE
NATIONAL ACCOUNT CONTACT
DURO-LAST MEMBRANE SYSTEM
MARK SUMAN
NATIONAL ACCOUNT MANAGER
mark.suman@shokim.com
704-425-9408
CONTACT REP FOR APPROVED INSTALLERS.

NEW CULVER'S RESTAURANT 1580 South Hiatus Road Pembroke Pines, FL 33025 County of BROWARD	
SEAL	
OWNER: BARON GROUP PROPERTIES LLC 610 Parsons Way Deerfield Beach, FL 33442 Baron Waller 312-436-2686	OWNER: OLLMANN ASSOCIATES ARCHITECTS, P.C. 200 South State Street Belvidere, Illinois 61008 615-544-7790 Phone All rights reserved; any copying, translation or disclosure subject to OIA written approval.
ROOF PLAN; REFRIGERATION DETAILS	
Date: 6-5-2025	Revision:
2025-035	
A105	

USED ENHANCED ADHESION SETTING BED MORTAR FOR STONE INSTALLED 10' ABOVE GRADE. WHERE STONE IS INSTALLED BELOW 10' ABOVE GRADE, USE TRADITIONAL SETTING BED MORTAR. AT CONTRACTOR'S OPTION, USE ENHANCED ADHESION MORTAR FOR ALL STONE.

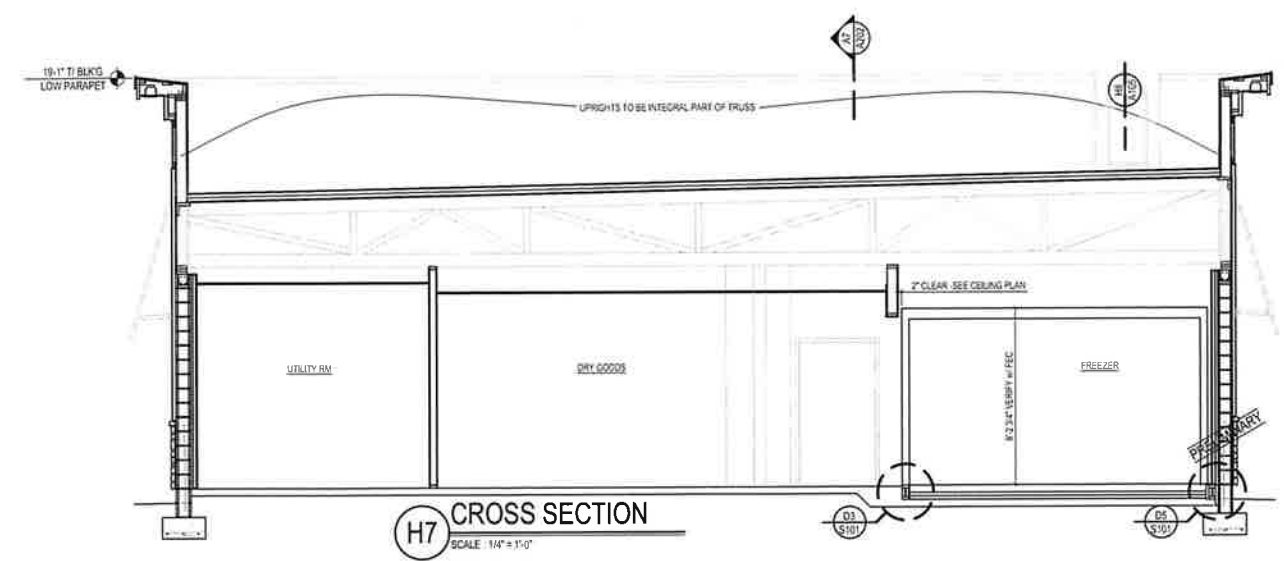
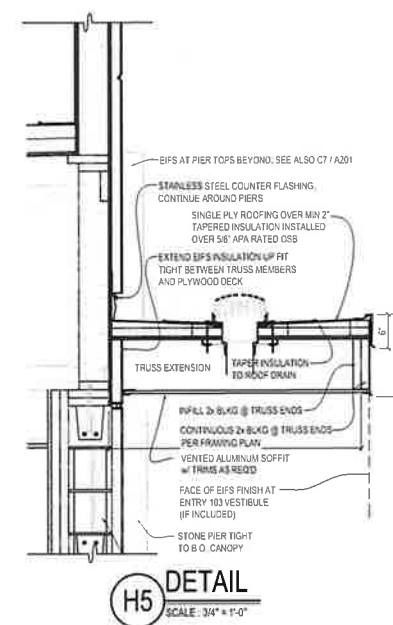
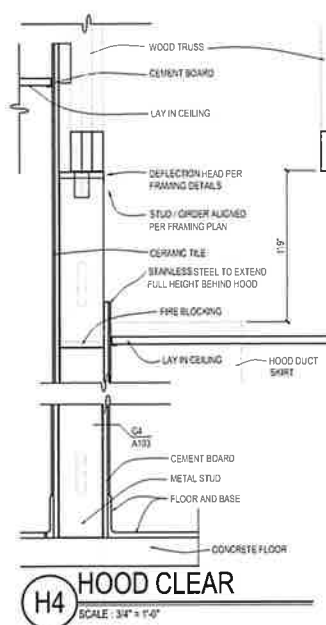
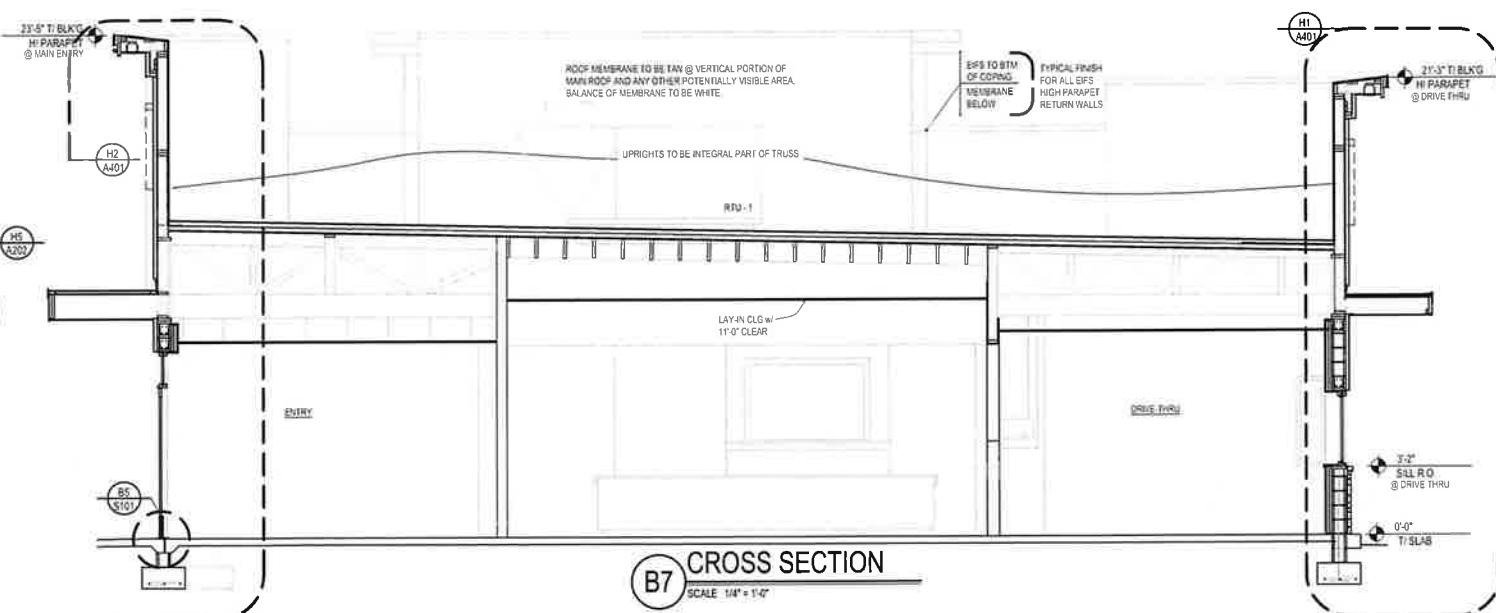
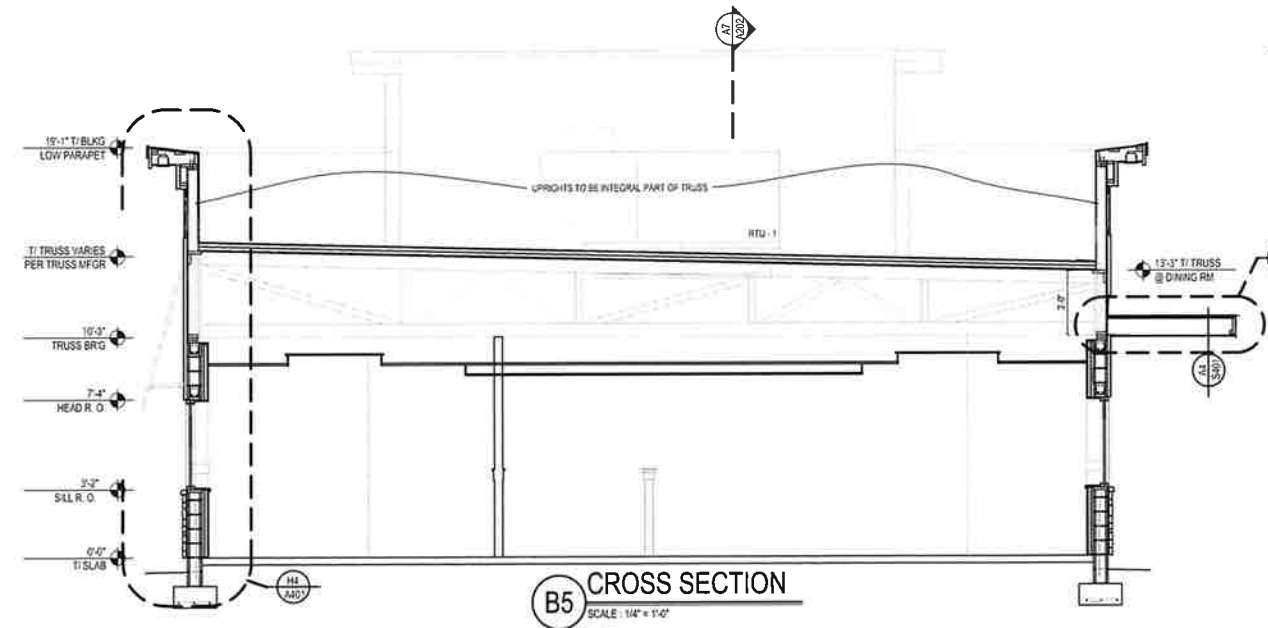
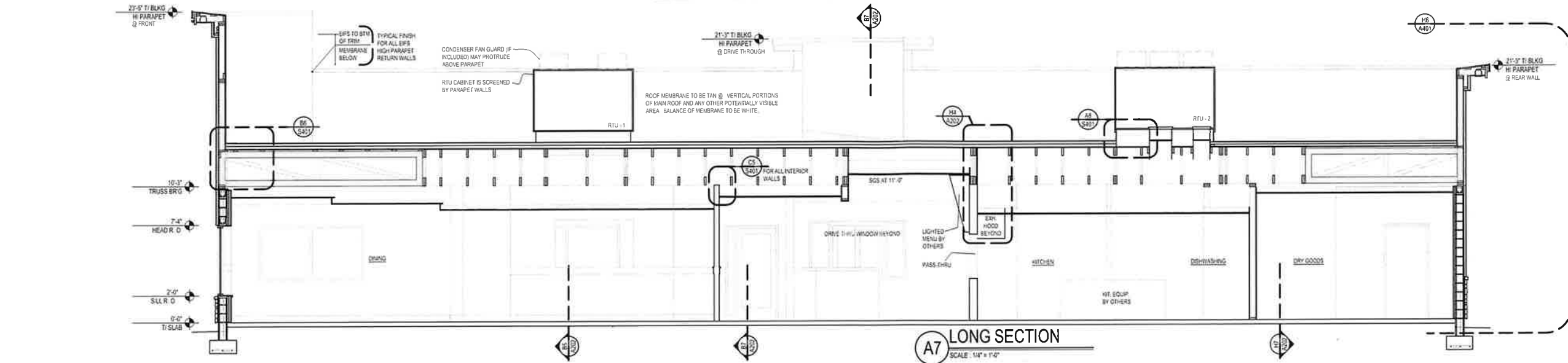
ALL SIGNAGE & AWNINGS ARE SHOWN FOR REFERENCE ONLY. GC TO COORDINATE W/ VENDORS & VERIFY REQMT. GC/OWNER MUST OBTAIN A SEPARATE PERMIT FOR EACH BEFORE INSTALL, IF REQD BY MUNICIPALITY.

SEE G0101 FOR DUMPSTER ENCLOSURE ELEVATIONS

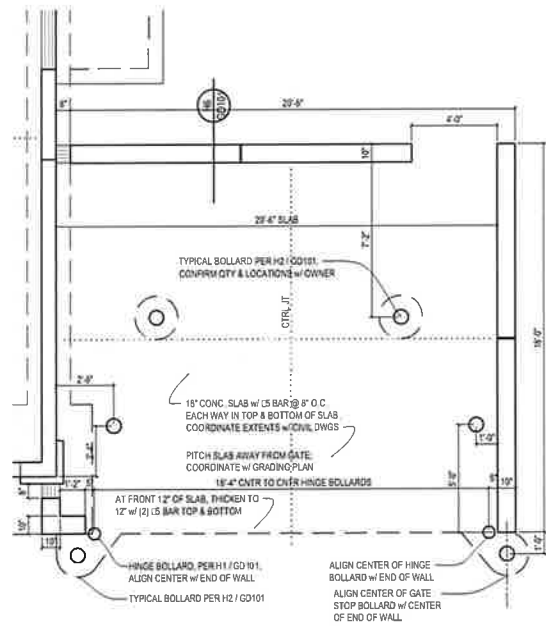


NEW CULVER'S RESTAURANT 1580 South Hiatus Road Pembroke Pines, FL 33025 County of BROWARD	
SEAL	
OWNER: BARON GROUP PROPERTIES LLC 610 Parsons Way Deerfield Beach, FL 33442 Baron Waller 312-495-2686	CULLMANN ASSOCIATES ARCHITECTS, P.C. 200 South State Street Belvidere, Illinois 61008 815-544-7790 Phone All rights reserved; any copying, transmission or disclosure subject to CMA written approval.
EXTERIOR ELEVATIONS	
Date: 6-5-2025	Revision:
2025-035	
A201	

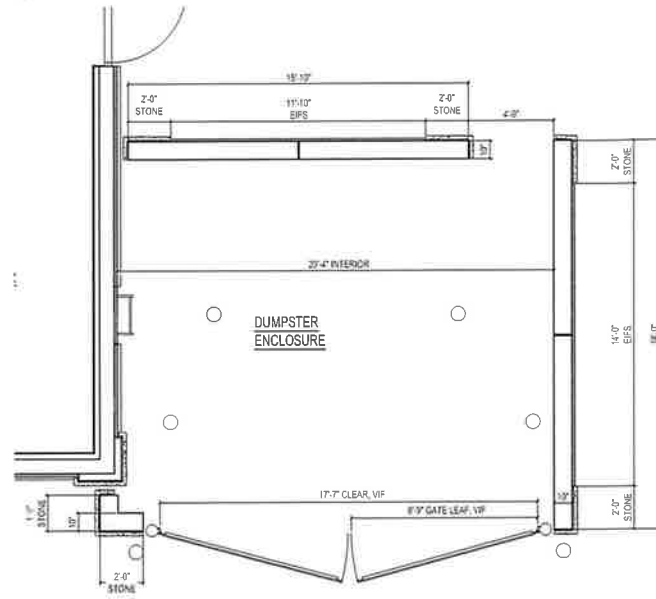
EXTERIOR FINISHES SHOWN ON BUILDING SECTIONS ARE GENERIC. REFER TO BUILDING ELEVATIONS AND WALL SECTIONS FOR ACTUAL FINISHES.



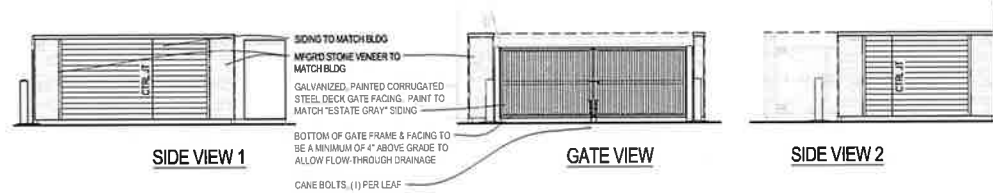
NEW CULVER'S RESTAURANT 1580 South Hiatus Road Pembroke Pines, FL 33025 County of BROWARD	
SEAL	
OWNER: BARON GROUP PROPERTIES LLC 610 Parsons Way Deerfield Beach, FL 33442 Baron Waller 312-498-2686	CLIMANN ASSOCIATES ARCHITECTS, P.C. 200 South State Street Belvidere, Illinois 61008 615-544-7790 Phone All rights reserved, any copying, transmission or disclosure subject to OAA written approval.
BUILDING SECTIONS	
Date: 6-5-2025	Revision:
2025-035	
A202	



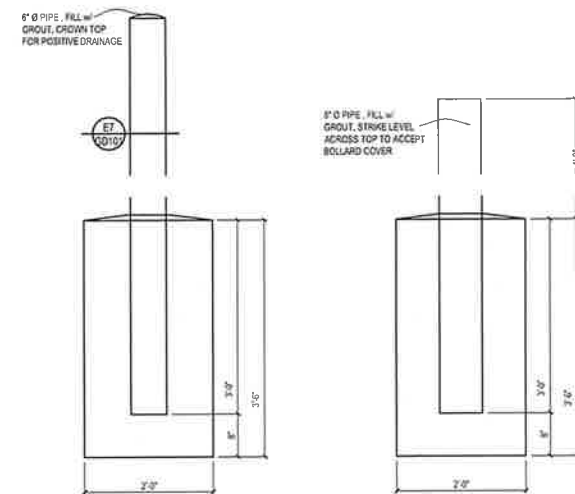
C2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



C3 FLOOR PLAN
SCALE: 1/4" = 1'-0"

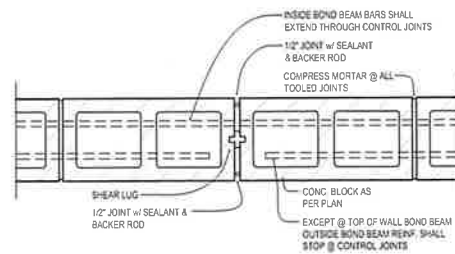


E2 ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"

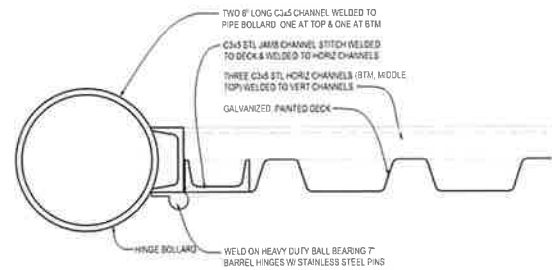


H1 HINGE BOLLARD
SCALE: 3/4" = 1'-0"

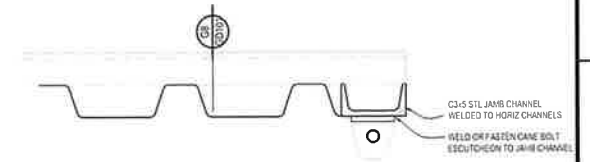
H2 BOLLARD
SCALE: 3/4" = 1'-0"



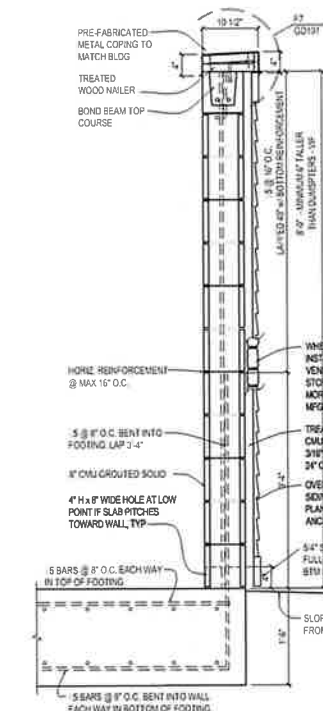
F1 CMU CONTROL JOINT
SCALE: 1 1/2" = 1'-0"



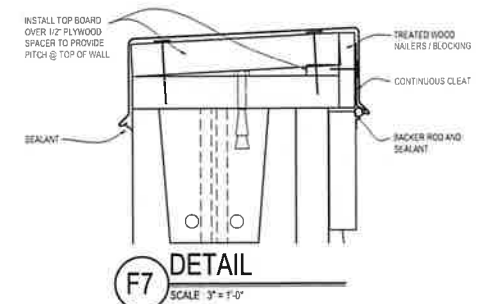
E7 HINGE DETAIL
SCALE: 3" = 1'-0"



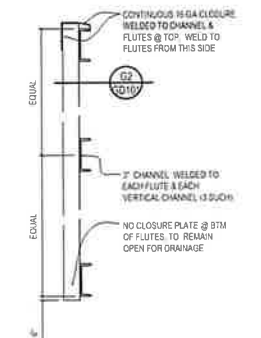
E8 SECT @ GATE MTG STILES
SCALE: 3" = 1'-0"



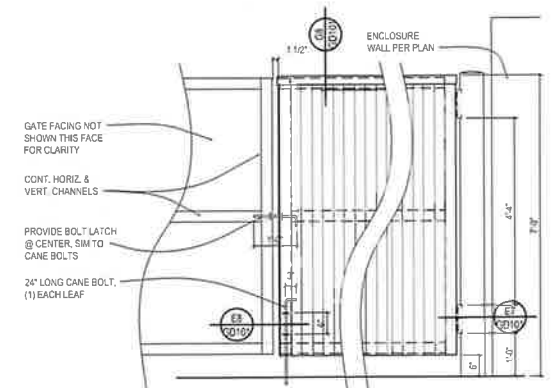
H6 ENCLOSURE WALL
SCALE: 3/4" = 1'-0"



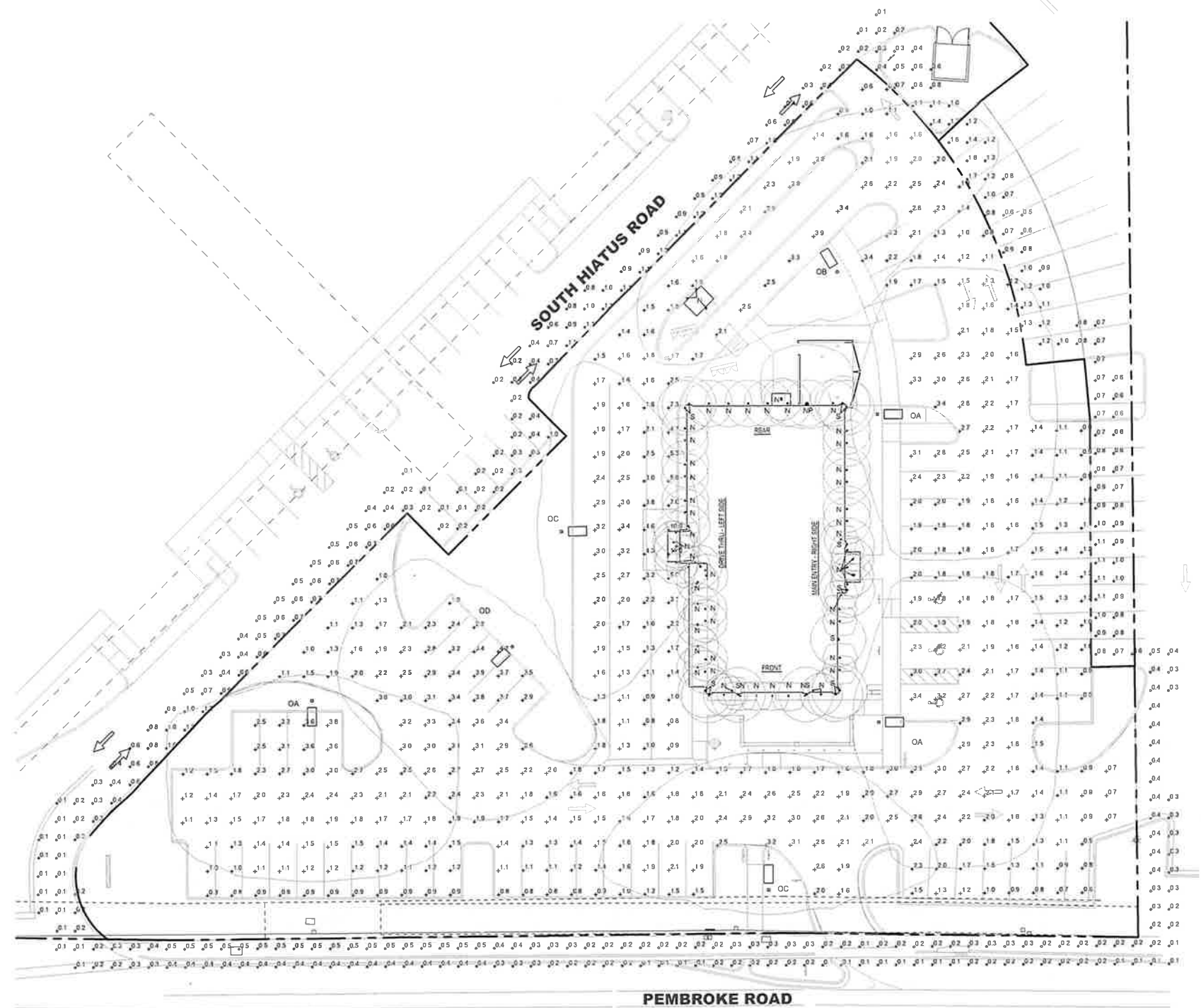
F7 DETAIL
SCALE: 3" = 1'-0"



G8 DETAIL
SCALE: 1 1/2" = 1'-0"



H7 ENCLOSURE GATE ELEV
SCALE: 1/2" = 1'-0"



H3 SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

LUMINAIRE SCHEDULE - SITE LIGHTING				
SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
□	OA	DSX1 LED P6 40K 70CRI TFFIM HS 25' POLE (forward throw housewide shield)	LED	165.2
□	OB	DSX1 LED P6 40K T2M MVOLT 25' POLE	LED	153
□	OC	DSX1 LED P6 40K T2M MVOLT HS (housewide shield)	LED	163
□	OD	DSX1 LED P6 40K 4TM MVOLT HS (housewide shield)	LED	163
ALL FIXTURES ABOVE ARE FULL CUT-OFF AND ANGLED AT 90 DEGREES.				

LUMINAIRE SCHEDULE - BUILDING MOUNT				
SYMBOL	LABEL	CATALOGUE NUMBER	LAMP	WATTS
●	N	LDM 4006 LOGAR LS MVOLT G210 LITHONIA	LED	58
□	P	SUM17FA15ADJ 4000K RAB LIGHTING	LED	15
■	S	CS34 6WZ 4000K (down light only) RAB LIGHTING	LED	21
ALL FIXTURES ABOVE ARE FULL CUT-OFF AND ANGLED AT 90 DEGREES.				

NEW CULVER'S RESTAURANT
1580 South Hiatus Road
Pembroke Pines, FL 33025
County of BROWARD

SEAL

OWNER:
BARON GROUP PROPERTIES LLC
610 Parsons Way
Deerfield Beach, FL 33442
Baron Waller
312.498.2856

OLLMANN ASSOCIATES ARCHITECTS, P.C.
200 South State Street
Belvidere, Illinois 61008
815-544-7790 Phone
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disclosure subject to OAA written approval.

SITE PHOTOMETRIC PLAN

2025-035

SE
101

Date: 6-5-2025

Revision:

NO.	REVISION	DATE
1	PER DRC COMMENTS	05.12.25
3	PER DRC COMMENTS	06.02.25

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-165.01
SWPP PLAN	
SH. 6	OF 20
C-1	

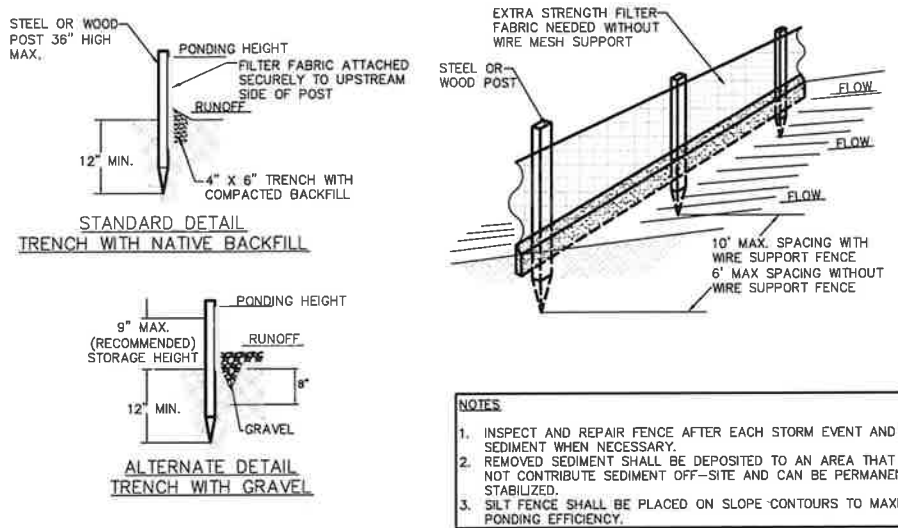


CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

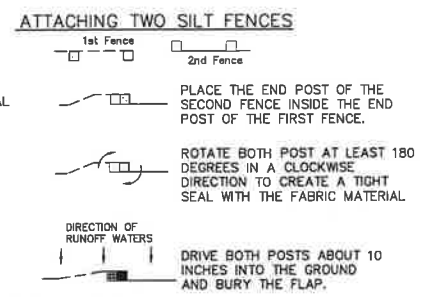
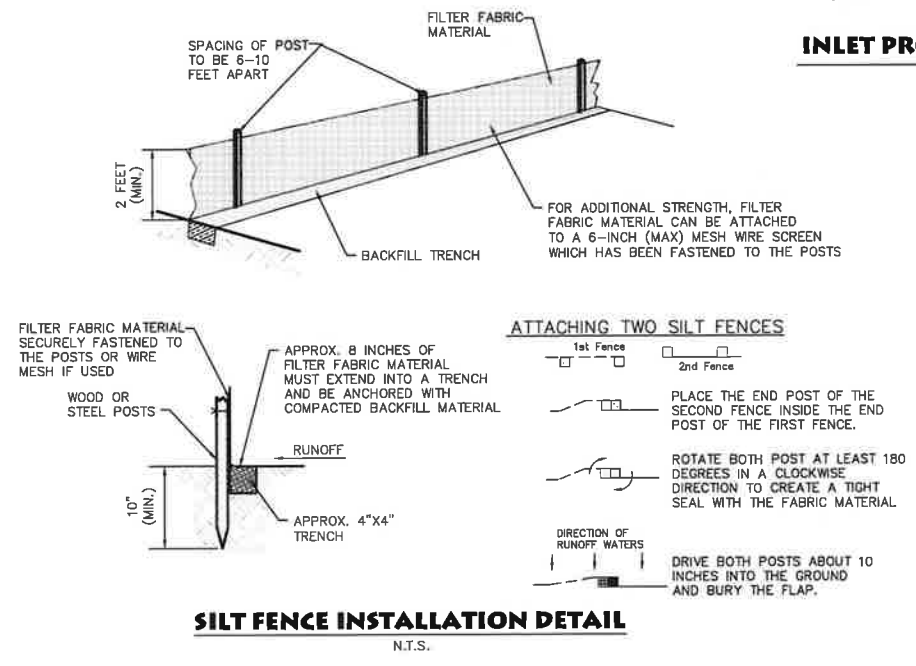
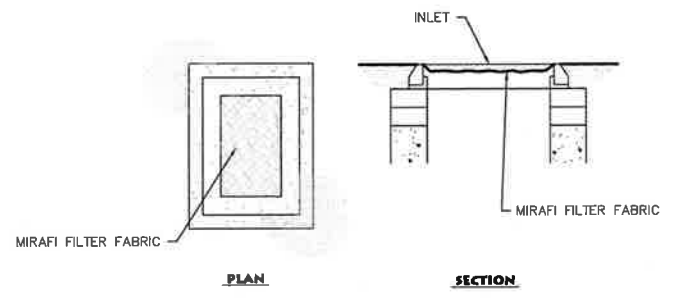
BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

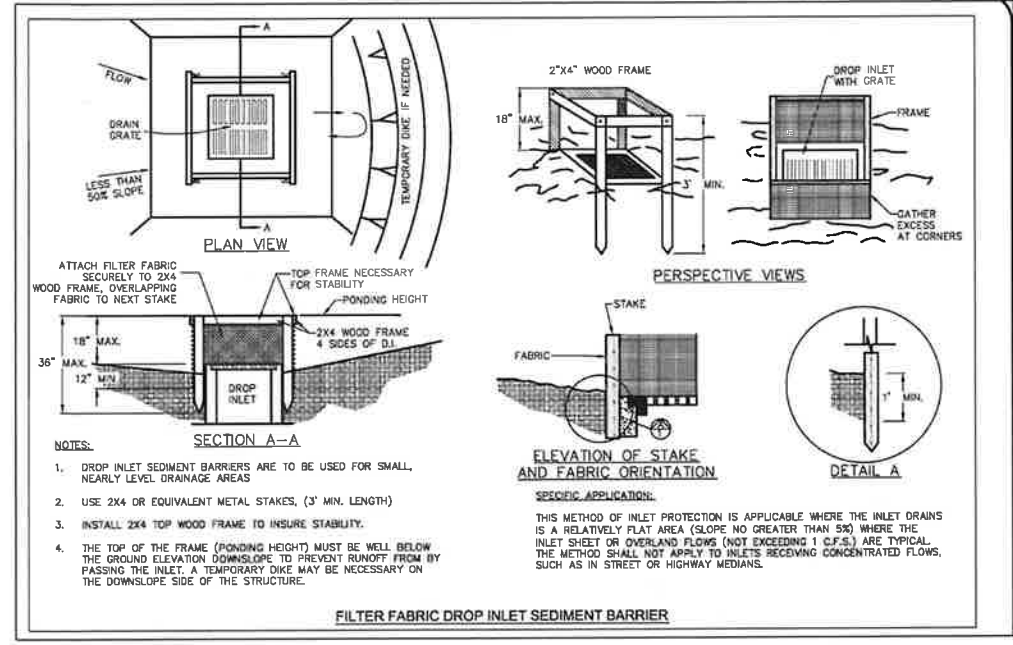
C-2



SILT FENCE DETAIL
N.T.S.



- NOTES:**
1. MAINTENANCE INSPECTIONS WILL BE CONDUCTED AT A MINIMUM ON A WEEKLY BASIS AND ON DAY WITH RAIN EVENTS OF 1/2" OR GREATER. INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 2. IF REPAIR OR REPLACEMENT OF STABILIZATION OR EROSION CONTROL FEATURES IS NECESSARY, IT MUST BE COMPLETED AT THE EARLIEST DATE POSSIBLE.
 3. ANY CHANGES OR AMENDMENTS TO THE SWPPP MUST BE NOTED.



Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: _____ FDEP NPDES Stormwater Identification Number: FLR10

Location	Rain data	Type of control (see below)	Has installed / modified	Current Condition (see below)	Corrective Action - Other Remarks

Condition Code:
G = Good M = Marginal, needs maintenance or replacement soon P = Poor, needs immediate maintenance or replacement
C = Needs to be cleaned O = Other

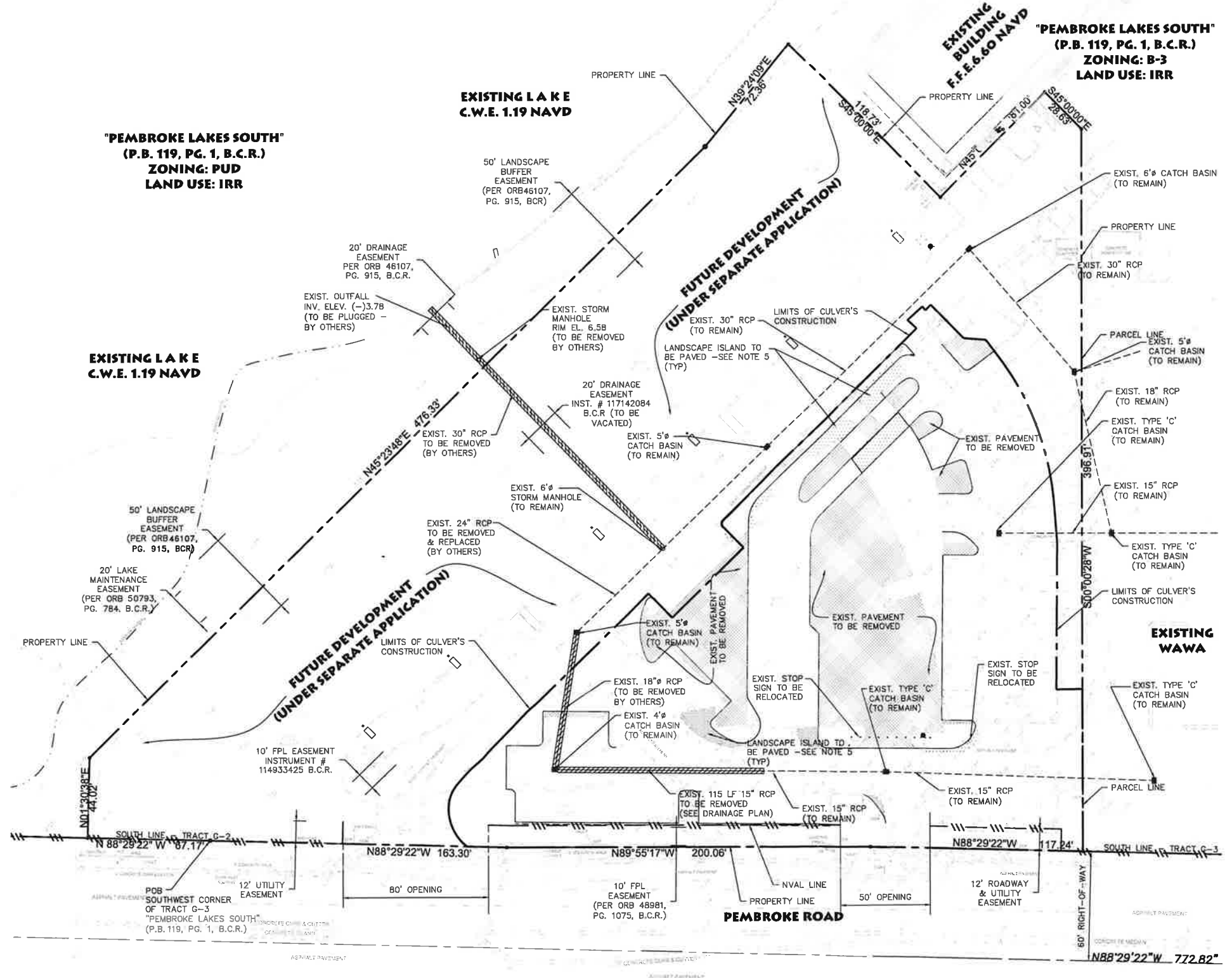
Control Type Codes	Control Type Codes	Control Type Codes	Control Type Codes
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Silt dikes	11. Vegetative buffer strip	20. Stabilization	29. Extension pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basins	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / soil	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / soil	32. Trench
6. Check dam	15. Perimeter ditch	24. Mulch	33. Silted Flap
7. Subsurface drain	16. Check and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Slope cap	

Inspector Information: _____
Name: _____ Qualification: _____ Date: _____
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

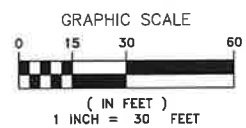
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Responsible Authority): _____ Date: _____

INSPECTION REPORT TEMPLATE
N.T.S.



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND	
---	PROPERTY LINE/ PARCEL LINE
---	NON-VEHICULAR ACCESS LINE
---	EASEMENT LINE
---	LIMITS OF CONSTRUCTION LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING WATER MAIN
---	EXISTING SEWER MAIN
---	EXISTING DRAINAGE PIPE
---	EXISTING PAVEMENT & ROCK BASE TO BE REMOVED
---	EXISTING LANDSCAPE AREA (SEE NOTE 5)
---	EXISTING ELEVATION (NAVD)
---	EXISTING FIRE HYDRANT
---	EXISTING SIGN (SINGLE POST)

- NOTES:**
- REFER TO PAVING PLAN FOR PAVEMENT REMOVAL AND REPLACEMENT WORK TO BE COMPLETED.
 - CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF PEMBROKE PINES ENGINEERING DESIGN STANDARDS MANUAL.
 - CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
 - CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN AREA OF OVERHEAD ELECTRICAL LINES.
 - CONTRACTOR SHALL RESTORE AREA IMPACTED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER INCLUDING PAVEMENT, FENCING, SODDING, IRRIGATION AND/OR GENERAL GRADING.
 - WHERE EXISTING LANDSCAPE AREAS ARE TO BE PAVED, CONTRACTOR SHALL REMOVE ALL DELETERIOUS MATERIAL AND SHALL CONSTRUCT NEW PAVEMENT AREAS PER CITY STANDARDS.
 - BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT FROM NAVD 88 TO NGVD 29, ADD 1.51 FEET.
 - BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3181, ELEVATION = 7.81' (NAVD88)
 - REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION.

MEÑDEZ ENGINEERING DESIGN, INC.
3000 Sheridan Drive, PMB #2
Pembroke Pines, FL 33029
Tel: (954) 942-6345
Fax: (954) 942-6372
Certificate of Authorization No. 12345



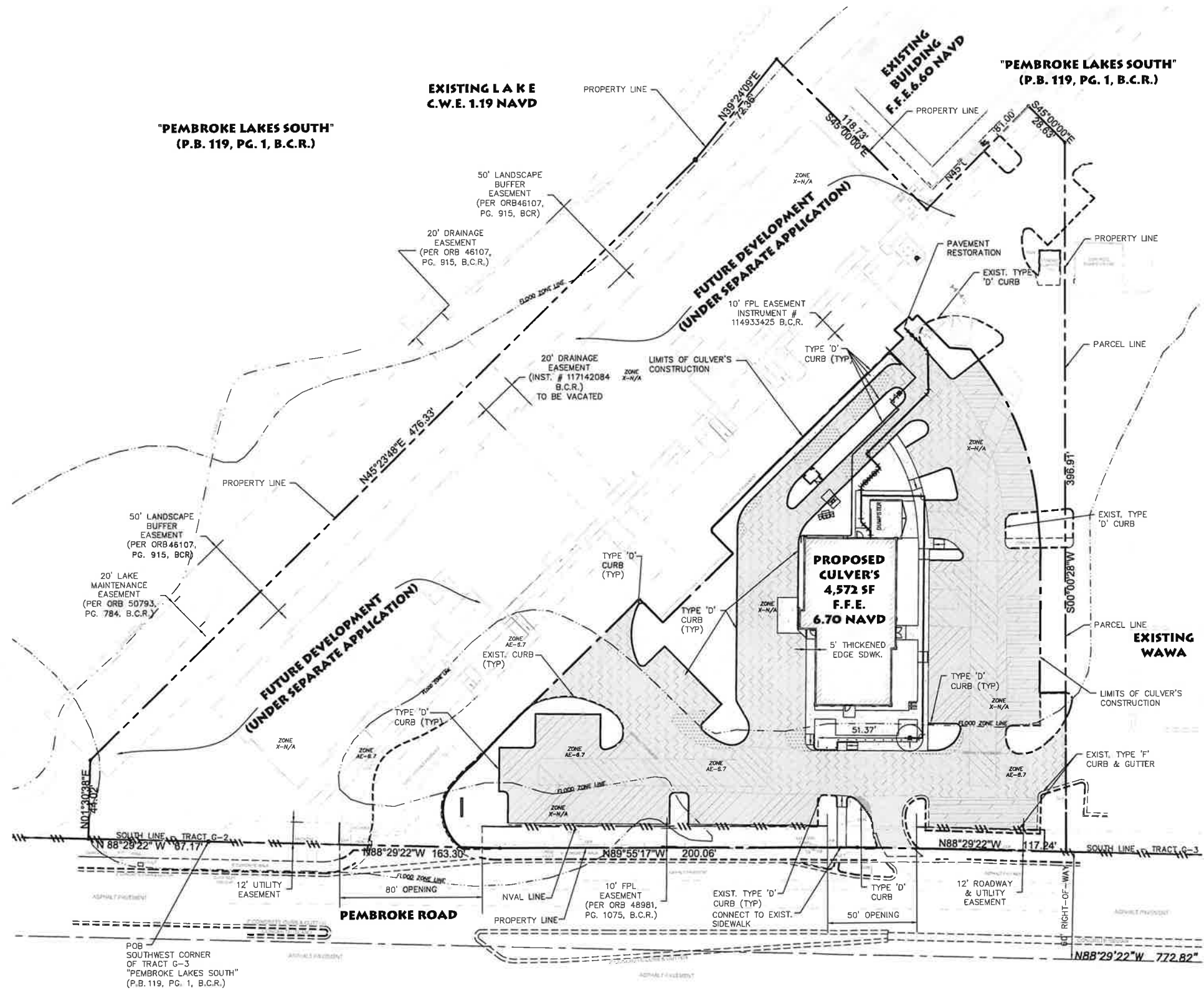
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E. ON THE DATE SHOWN ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

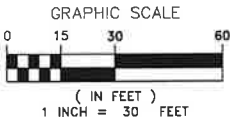
DATE	REVISION
05.12.25	PER DRG COMMENTS
05.27.25	PER SBDD COMMENTS
06.02.25	PER DRG COMMENTS

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.:	25-165.01
DEMOLITION PLAN	
SH. 9 OF 20	
C-4	

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND

- PROPERTY LINE/ PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- LIMITS OF CONSTRUCTION LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
- EXISTING DRAINAGE PIPE

PAVEMENT LEGEND

- PAVEMENT AREA
- REMOVE EXISTING ASPHALT, REGRADE/ADD ROCK AND PAVE W/ TWO LIFTS AS PER CITY STANDARD DETAILS
- ADD 3/4" SECOND LIFT TO EXISTING PAVEMENT
- MILL EXIST. PAVEMENT & RE-PAVE TO MATCH PROPOSED ELEVATIONS
- REMOVE EXIST. PAVEMENT & ROCK BASE, ADD NEW 8" ROCK BASE AND PAVE TO PROPOSED ELEVATIONS
- EXISTING LANDSCAPE AREA- REMOVE ALL DELETERIOUS MATERIAL, ADD 12" SUBGRADE, 8" ROCK BASE AND PAVE PER CITY STANDARD DETAILS
- PAVEMENT RESTORATION PER CITY STANDARD DETAILS

NOTES

- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 6.70 FT. NAVD.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
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- CONTRACTOR SHALL PREPARE & FILL THE SITE/ BUILDING PAD IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

MEÑDEZ ENGINEERING DESIGN, INC.

9000 Sheridan Drive, PHB #15
Pembroke Pines, FL 33024
TEL: (954) 915-6145
FAX: (954) 915-0973
Certificate of Authorization No. 30288

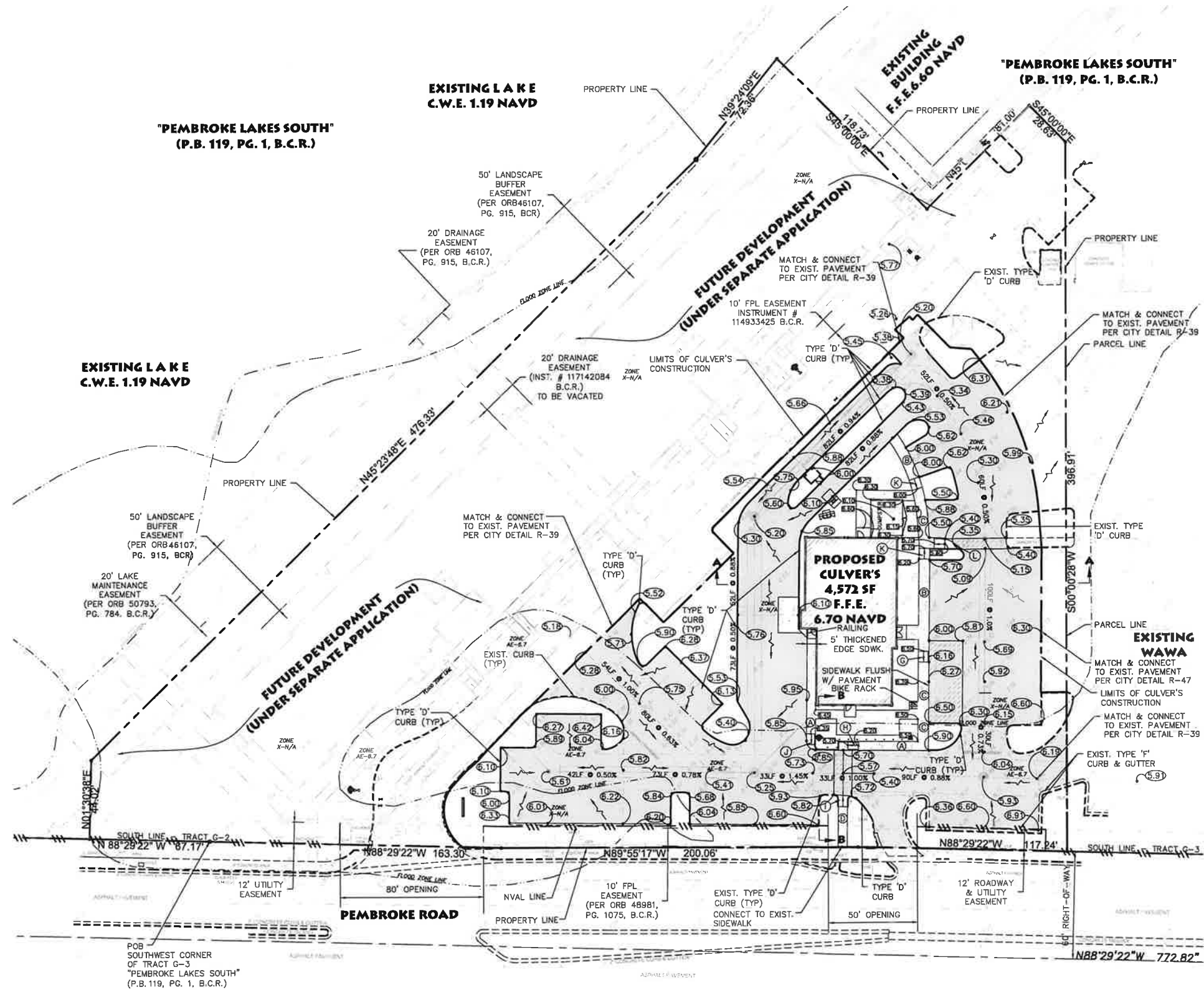
MICHELLE DIAZ-MENDEZ

License No. 51348
STATE OF FLORIDA
PROFESSIONAL ENGINEER

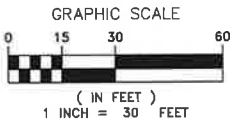
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CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

DATE	05.12.25
REVISION	PER DRC COMMENTS
NO.	1
SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.	25-165.01
PAVEMENT PLAN	
SH. 10 OF 20	
C-5	



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



LEGEND

- PROPERTY LINE/ PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- LIMITS OF CONSTRUCTION LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
- EXISTING FIRE HYDRANT
- EXISTING DRAINAGE PIPE
- PROPOSED DRAINAGE PIPE AND STORM MANHOLE (BY OTHERS)
- PROPOSED CONCRETE
- VEHICULAR USE AREA
- ACCESSIBLE PARKING AREA/ CROSSWALK - MAX. 2% SLOPE IN ANY DIRECTION
- PROPOSED PAVEMENT ELEVATION
- PROPOSED SIDEWALK ELEVATION
- EXISTING ELEVATION (NAVD)
- 5' THICKENED EDGE SIDEWALK
- 6' THICKENED EDGE SIDEWALK
- 6' CONCRETE SIDEWALK (FLUSH WITH PAVEMENT WHERE ADJACENT)
- 5' CONCRETE SIDEWALK
- VEHICULAR PROTECTIVE BOLLARDS (SEE DETAIL)
- SPECIAL EMPHASIS CROSSWALK PER FDOT INDEX 711-001 (SEE SITE PLAN AND SIGNING & MARKING PLANS)
- CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-D SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-E SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-G SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- IN-LINE CURB RAMP - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-G SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET

NOTES

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- CONTRACTOR SHALL PREPARE & FILL THE SITE/ BUILDING PAD IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- REFER TO PLUMBING PLANS FOR ROOF DRAIN LEADERS & CONDENSATE LINE INFORMATION. CONTRACTOR TO COORDINATE EXACT LOCATION OF TIE-INS IN THE FIELD.
- ALL ROOF DRAIN PIPES SHALL HAVE A MINIMUM 1% SLOPE WITH CLEANOUTS AS SHOWN.

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

MENDEZ ENGINEERING DESIGN, INC.

3000 STEVENSON DRIVE, SUITE #15
PENSACOLA, FL 32504
TEL: 904-464-4342
FAX: 904-464-4343
Certificate of Authorization No. 33388

MICHELLE DIAZ-MENDEZ

License No. 51348
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

DATE	REVISION	PER DRC COMMENTS	PER SHD COMMENTS
05/12/25	1		
05/27/25	2		

SCALE:
1 IN = 30 FT

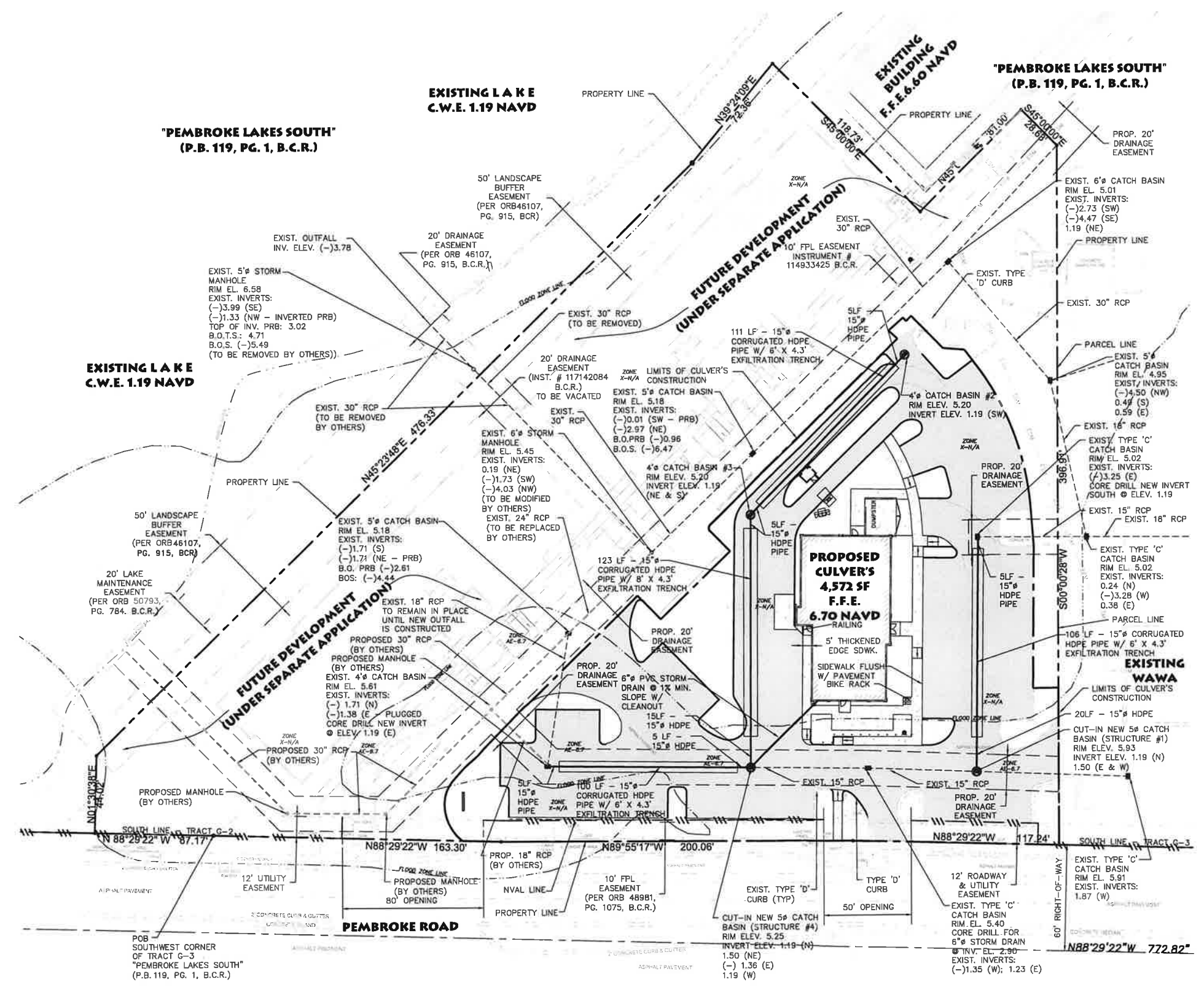
DATE:
03.20.2025

PROJECT NO.
25-165.01

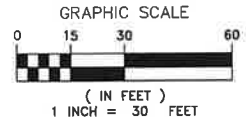
PAVING & GRADING PLAN

SH. 11 OF 20

C-6



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24



- LEGEND**
- PROPERTY LINE/ PARCEL LINE
 - NON-VEHICULAR ACCESS LINE
 - EASEMENT LINE
 - LIMITS OF CONSTRUCTION LINE
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED EDGE OF PAVEMENT W/ TYPE 'D' CURB
 - EXISTING FIRE HYDRANT
 - EXISTING DRAINAGE PIPE
 - PROPOSED DRAINAGE PIPE AND STORM MANHOLE (BY OTHERS)
 - PROPOSED CONCRETE
 - VEHICULAR USE AREA

NOTES

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Sunshine811

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MELENZ ENGINEERING DESIGN, INC.

3000 Sheridan Drive, P.O. Box 100
Pembroke Pines, FL 33029
Tel: 954-972-6126
Fax: 954-972-6127
Certificate of Authorization No. 30388

MICHELLE DIAZ-MENDEZ

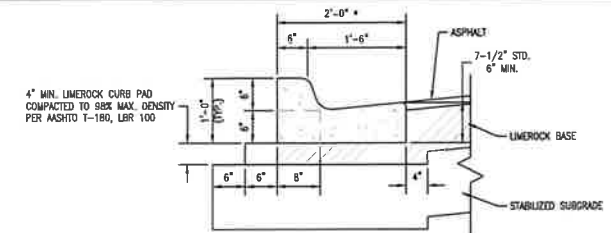
No. 51348
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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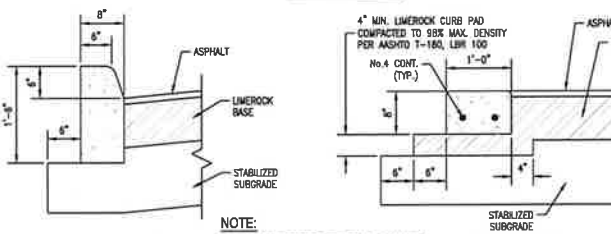
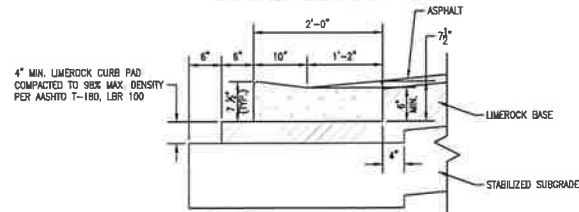
CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

REVISION	DATE
1	05/27/25
2	06/02/25

SCALE:	1 IN = 30 FT
DATE:	03.20.2025
PROJECT NO.:	25-165.01
DRAINAGE PLAN	
SH. 12 OF 20	
C-7	

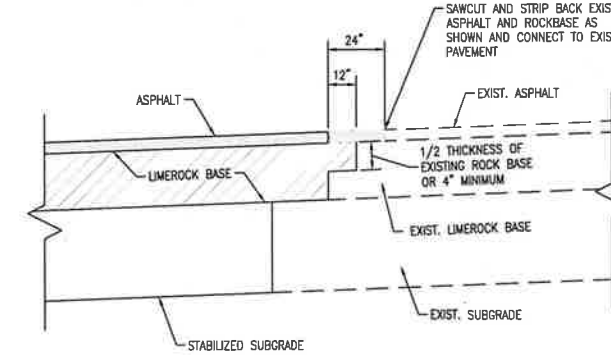


NOTE:
(*) WHEN USED ON HIGH OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6\"/>



NOTE:
MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR ALL CURB TYPES SHALL BE 3,500 PSI.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISD:	CONCRETE CURBS	
DATE: 11/05/99	10/20/22		



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISD:	PAVEMENT CONNECTION	
DATE: 11/05/99	10/19/18		

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISD:	CONCRETE SIDEWALK	
DATE: 11/05/99	02/19/21		

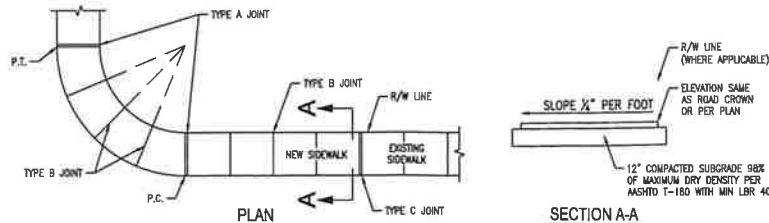
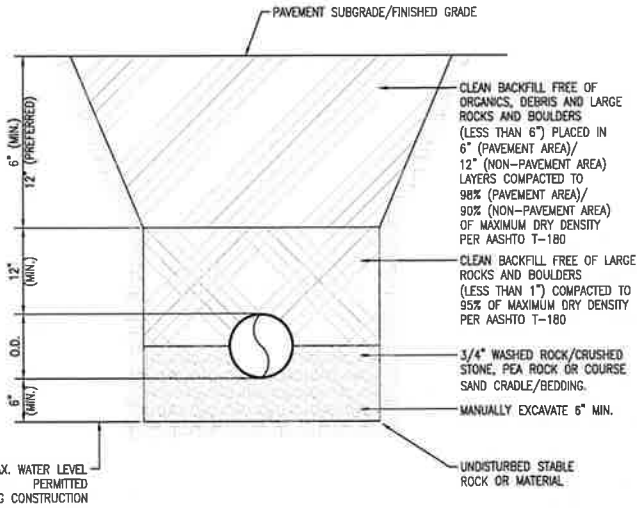


TABLE OF SIDEWALK JOINTS	
LOCATION/APPLICATION	
A	P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK
B	5'-0\"/>

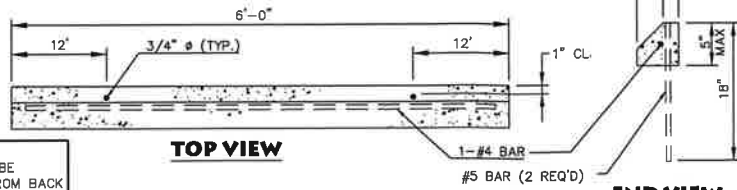
TABLE OF SIDEWALK THICKNESS - "T"	
LOCATION	T
PRIVATE STREETS AND PRIVATE DEVELOPMENT	4"
CITY STREETS, AT DRIVEWAYS OF PRIVATE STREETS AND CITY PROJECTS	6"

- NOTES:**
- CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 4,000 PST AT 28 DAYS, WITH FIBER MESH REINFORCEMENT FOR CITY STREETS AND CITY PROJECTS.
 - CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR PRIVATE STREETS AND PRIVATE DEVELOPMENT.
 - SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET A.D.A. STANDARDS.
 - SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER F.D.O.T. STANDARD PLANS INDEX NO. 522-002.
 - THE VERTICAL DEVIATION OF THE COVER/ID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE AND SHALL BE "PEDESTRIAN FRIENDLY APPROVED".

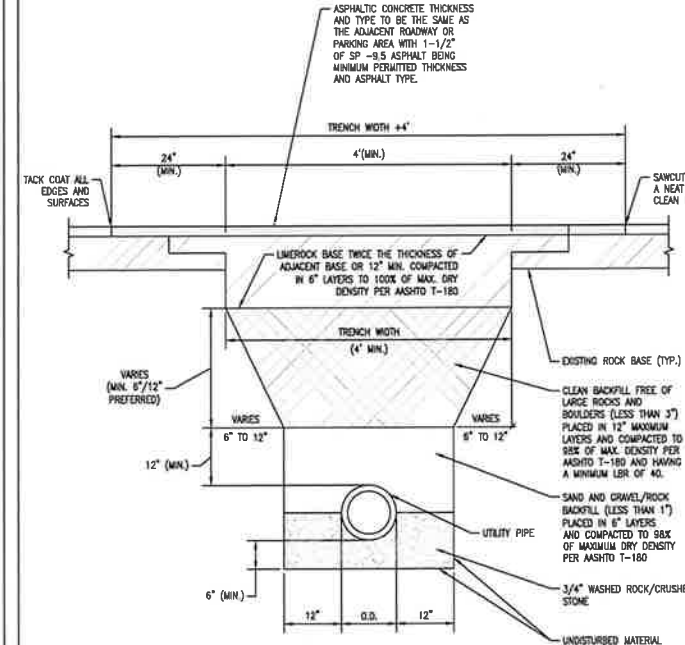


- NOTES:**
- MAXIMUM COMPACTION DENSITY SHALL BE DETERMINED BY AASHTO T-180.
 - MAXIMUM WATER LEVEL IN TRENCH SHALL BE MAINTAINED AT BOTTOM OF "BEDDING MATERIAL" UNLESS SOIL AND WATER TABLE CONDITIONS DICTATE OTHERWISE, THEN AN ALTERNATE METHOD OF CONTROLLING THE WATER LEVEL IN THE TRENCH AND/OR AN ALTERNATE METHOD OF INSTALLATION IN "WET CONDITIONS" SHALL BE PROPOSED BY CONTRACTOR AND ENGINEER AND APPROVED BY THE CITY'S FIELD REPRESENTATIVE FOR FIELD USE.
 - WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 - WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
 - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
 - WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" WASHED ROCK CRUSHED LIMESTONE SHALL BE USED TO PROVIDE UNIFORM BEDDING.
 - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE CITY BASED ON THE SITE CONDITIONS.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISD:	TYPICAL TRENCH BACKFILL	
DATE: 10/30/19	01/14/21		

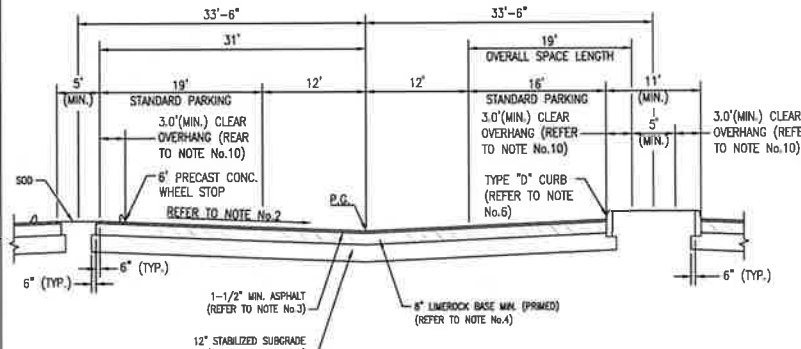


NOTE:
WHEEL STOP TO BE PLACED 3'-0" FROM BACK OF WHEELSTOP TO FACE OF THICKENED EDGE. SIDEWALK/CURB UNLESS OTHERWISE NOTED.



- NOTES:**
- REFER TO CITY STANDARDS G-1 AND R-44 FOR ADDITIONAL INFORMATION ON TRENCH BACKFILL.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISD:	PAVEMENT RESTORATION FOR LOCAL ROADS AND PARKING LOTS	
DATE: 11/05/99	6/16/20		



- NOTES:**
- SECTION SHOWN FOR 2-WAY TRAFFIC WITH 90 DEGREE PARKING.
 - FOR RUNS LESS THAN OR EQUAL TO 100 FEET, PAVEMENT SHALL HAVE A MINIMUM CROSS SLOPE OF 1% WITH AN AVERAGE CROSS SLOPE OF 2% PERCENT MINIMUM AND A LONGITUDINAL SLOPE OF 0.5% MINIMUM (NO EXCEPTIONS). FOR RUNS GREATER THAN 100 FEET, PAVEMENT SHALL HAVE A MINIMUM CROSS SLOPE OF 2% AND A LONGITUDINAL SLOPE OF 1% MINIMUM (NO EXCEPTIONS).
 - MINIMUM 1-1/2" COMPACTED FOOT TYPE S-III SP-9.5 ASPHALTIC SURFACE COURSE, PLACED IN TWO LIFTS.
 - MINIMUM 8" LIMEROCK BASE COURSE, COMPACTED TO 100% OF MAXIMUM DRY DENSITY PER AASHTO T-180 WITH A MINIMUM OF 100 L.B.R. (PRIMED) AND HAVING A MINIMUM CALCIUM CARBONATE CONTENT OF 70%.
 - MINIMUM STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM DRY DENSITY PER AASHTO T-180, WITH A MINIMUM OF 40 L.B.R.
 - TYPE "D" CURB SHALL BE PER F.D.O.T. INDEX NO. 522-001 AND CITY STANDARD R-26, WHEN CONTINUOUS ALONG FRONT OF PARKING.
 - CONCRETE WHEEL STOP SHALL BE 6" LONG AND HAVE A MAXIMUM HEIGHT OF 5".
 - ALL PAVEMENT CONSTRUCTION SHALL CONFORM TO F.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS APPLICABLE PER LATEST EDITION.
 - PARKING AREAS SHALL CONFORM TO THE PROVISIONS OF SECTION 154.35, "DESIGN STANDARDS FOR PARKING AREAS", OF THE CITY CODE OF ORDINANCES OR LATEST CITY ENGINEERING STANDARDS AS CURRENTLY IN EFFECT/REQUIRED FOR PERMIT.
 - 3 FOOT CLEAR OVERHANG IS MEASURED FROM EITHER THE INSIDE OF THE PRECAST WHEEL STOP OR INSIDE FACE OF THE TYPE "D" CURB TO THE FRONT OF THE PARKING SPACE.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISD:	PRIVATE PARKING AREA INVERTED CROWN SECTION	
DATE: 11/05/99	07/16/10		

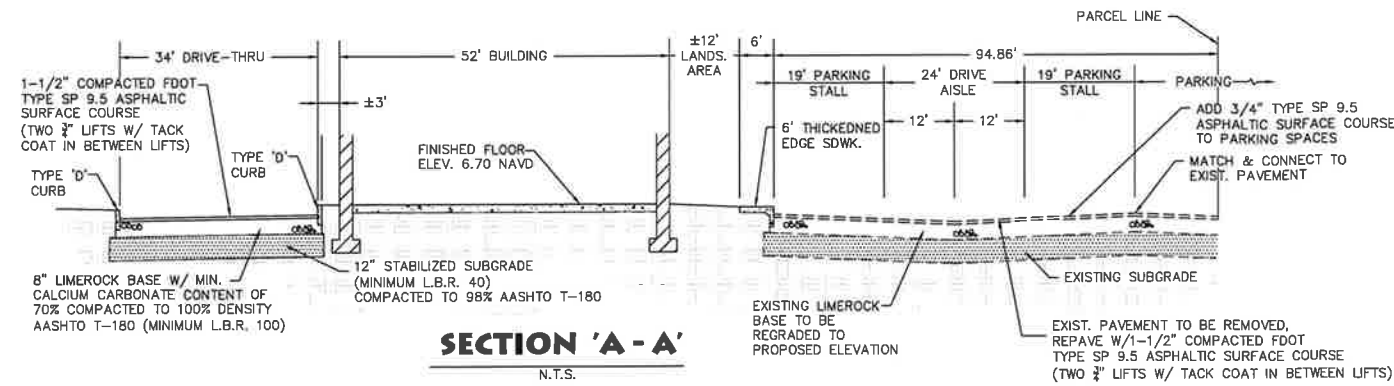
MENDEZ ENGINEERING DESIGN, INC.
9000 Sheridan Greenway, P.O. Box 215
Pembroke Pines, FL 33024
Tel: (954) 963-6336
Fax: (954) 933-0973
Certificate of Authorization No. 1204



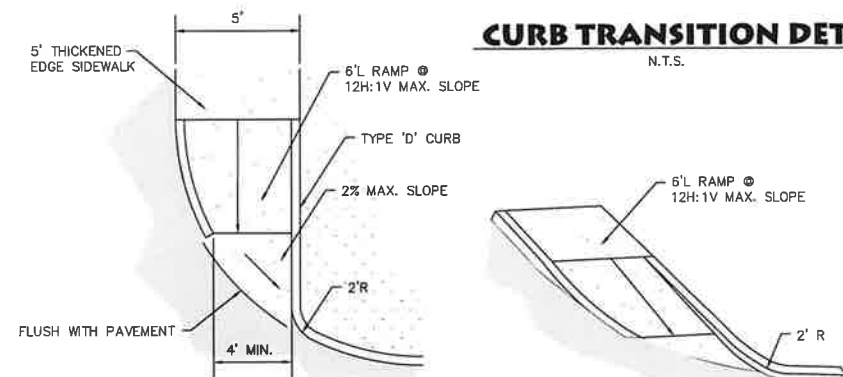
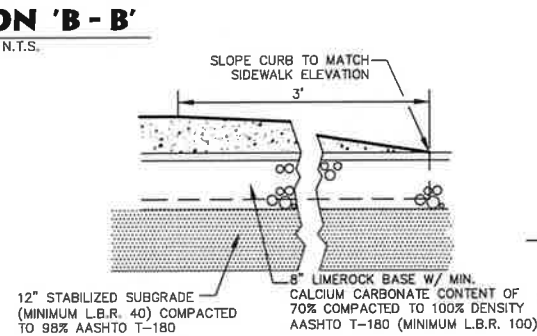
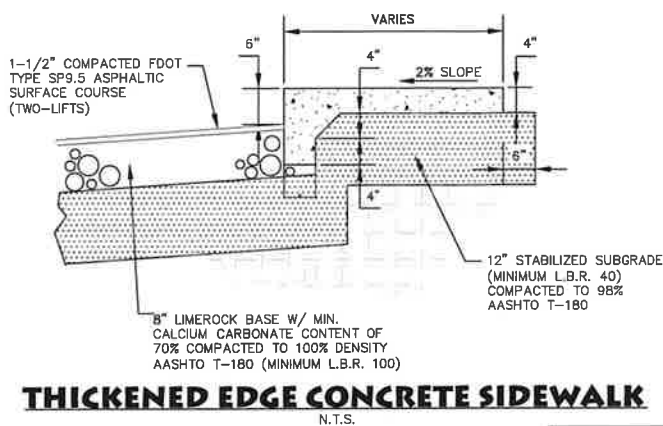
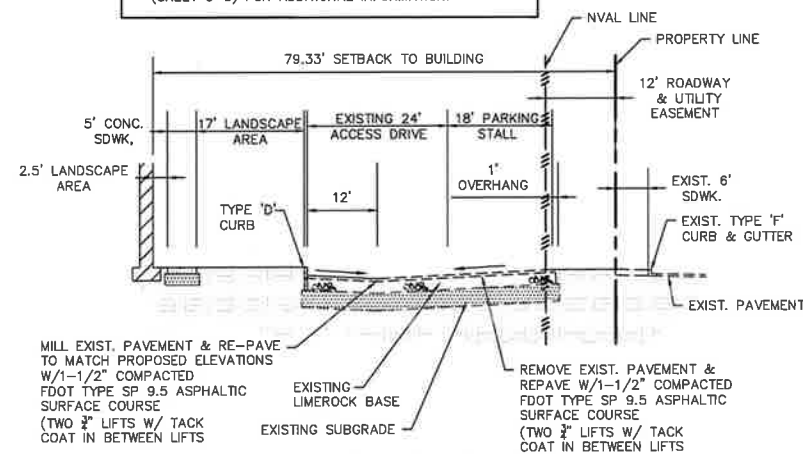
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E. ON THE DATE SHOWN ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

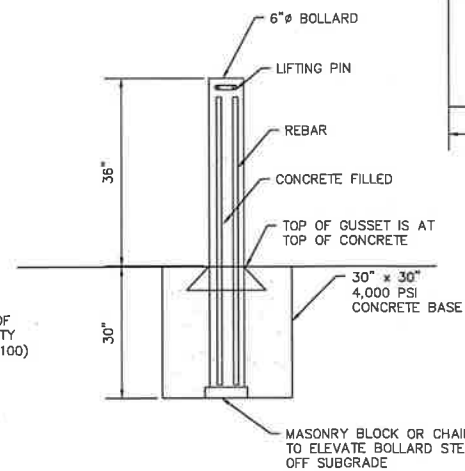
DATE	05/12/25
REVISION	PER DRG COMMENTS
NO.	1
SCALE:	N.T.S.
DATE:	03.20.2025
PROJECT NO.	25-165.01
PAVING & GRADING DETAILS	
SH. 13 OF 20	
C-8	



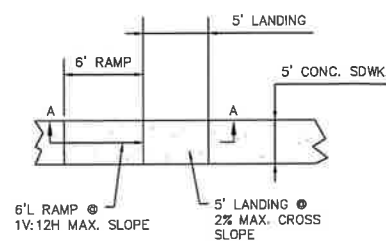
- NOTES:**
1. REFER CITY STANDARDS ON PAVING & GRADING DETAILS (SHEET C-7) FOR CURB & SIDEWALK CONSTRUCTION SPECIFICATIONS.
 2. REFER TO PAVING PLAN (SHEET C-5) FOR ADDITIONAL INFORMATION.



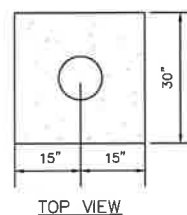
1 CURB RAMP CR-C PER FDOT STD. INDEX NO. 522-002 (MODIFIED)
N.T.S.



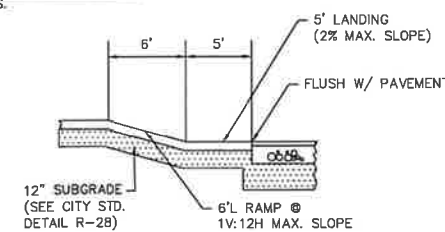
BOLLARD DETAIL
N.T.S.



K IN-LINE RAMP ADJACENT TO GRASS
N.T.S.

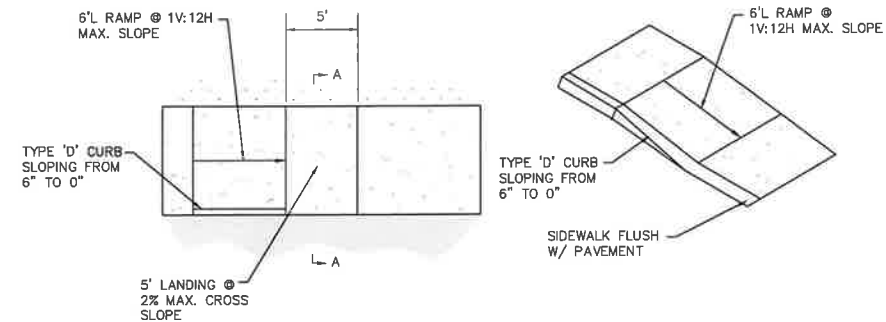


- NOTES:**
1. BOLLARD MODEL IDEAL SHIELD T18-67-SA, O.A.E.
 2. BOLLARD IS ENGINEERED TO ASTM C40 P1 STANDARD TO STOP 5,000 LBS. VEHICLE AT 30 MPH IMPACT.
 3. 1\"/>
 4. CONTRACTOR MAY POUR CONTINUOUS FOOTING FOR BOLLARDS IN A ROW.
 5. SEE MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INSTALLATION INFORMATION.

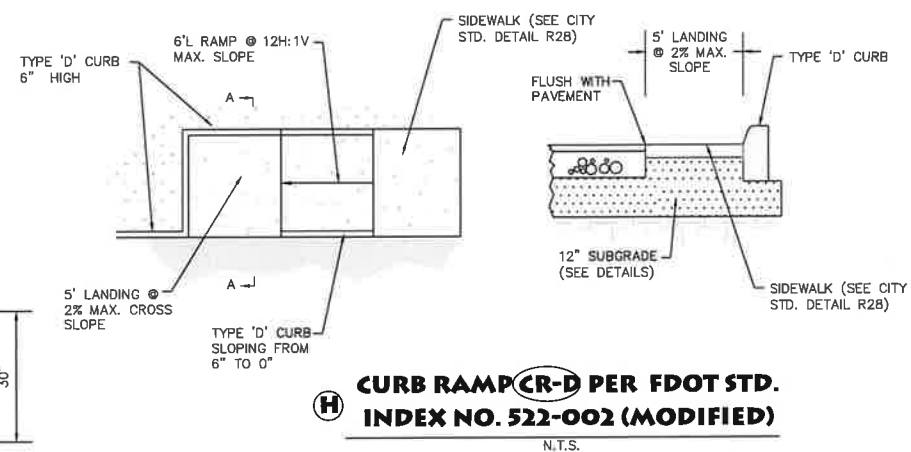


L CURB RAMP CR-C PER FDOT STD. INDEX NO. 522-002 (MODIFIED)
N.T.S.

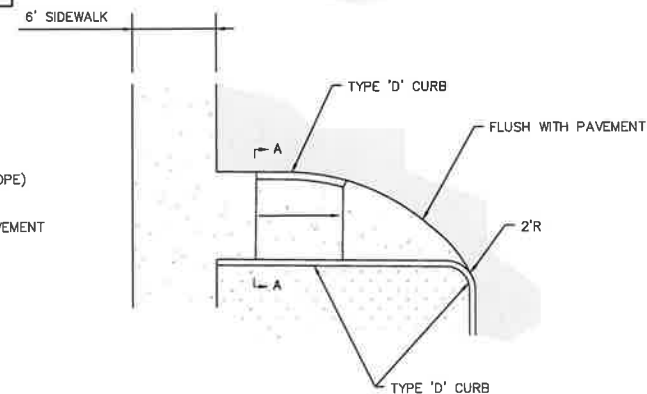
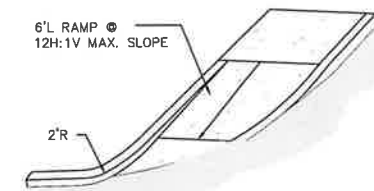
- SIDEWALK/CURB RAMP NOTES:**
1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STD. INDEX NO. 522-002 AND THE CITY OF PEMBROKE PINES STD. DETAIL R-28.
 2. SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE.



G CURB RAMP CR-C PER FDOT STD. INDEX NO. 522-002 (MODIFIED)
N.T.S.

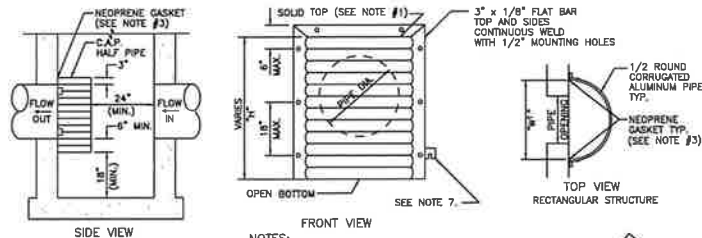


H CURB RAMP CR-D PER FDOT STD. INDEX NO. 522-002 (MODIFIED)
N.T.S.



L CURB RAMP CR-C PER FDOT STD. INDEX NO. 522-002 (MODIFIED)
N.T.S.

DATE	05.12.25
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NO.	1
SCALE	N.T.S.
DATE	03.20.2025
PROJECT NO.	25-165.01
SH. 14 OF 20	PAVING & GRADING DETAILS
C-9	

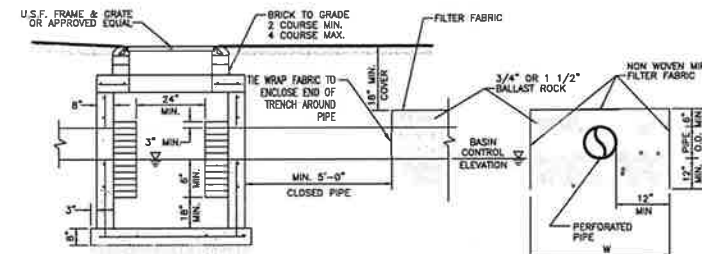


NOTES:

1. ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
2. NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 3") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
3. POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
4. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL). THE BOTTOM OF THE BAFFLE SHALL BE A MIN. OF 12" BELOW C.W.E.
5. FIBERGLASS BAFFLES ARE NOT PERMITTED.
6. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.
7. FOR POLLUTION RETARDANT BASINS THE BOTTOM ELEVATION OF THE BAFFLE MUST BE A MINIMUM OF 2' BELOW THE CONTROL WATER ELEVATION.

PIPE DIA. (IN)	W (IN)	H (IN)	T (GAUGE)
15"	21"	21"	16
18"	24"	24"	16
21"	30"	30"	16
24"	30"	36"	16
30"	36"	42"	14
36"	42"	48"	14
42"	48"	54"	14
48"	54"	60"	14
54"	60"	66"	14

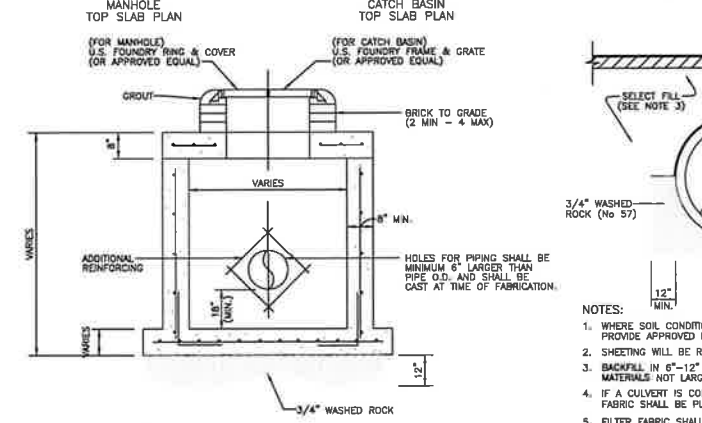
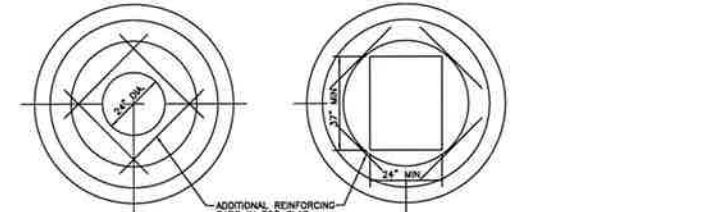
1. RECTANGULAR STRUCTURE
2. ROUND STRUCTURE



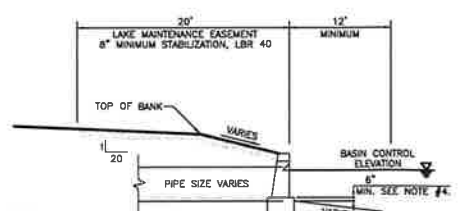
NOTES:

1. SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC. OVERLAP LINES A MINIMUM OF 2' AT THE TOP OF THE TRENCH.
2. BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER.
3. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE POLLUTION RETARDANT BAFFLE DETAIL, EXHIBIT 28).
4. GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.

EXFILTRATION TRENCH DETAIL



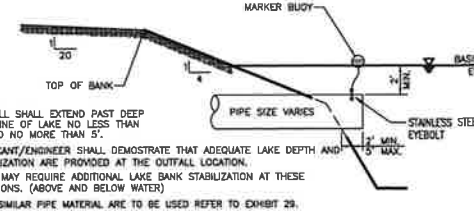
* RISER SECTIONS AND TOP SLABS TO HAVE "KEY-CUTS"



NOTES:

1. OUTFALL SHALL EXTEND PAST DEEP CUT LINE OF LAKE NO LESS THAN 2' AND NO MORE THAN 5'.
2. APPLICANT/ENGINEER SHALL DEMONSTRATE THAT ADEQUATE LAKE DEPTH AND STABILIZATION ARE PROVIDED AT THE OUTFALL LOCATION.
3. SBDD MAY REQUIRE ADDITIONAL LAKE BANK STABILIZATION AT THESE LOCATIONS. (ABOVE AND BELOW WATER)
4. IF DISSIMILAR PIPE MATERIAL ARE TO BE USED REFER TO EXHIBIT 29.
5. OUTFALL PIPE SHALL HAVE A STAINLESS STEEL EYEBOLT AND MARKER BUOY.

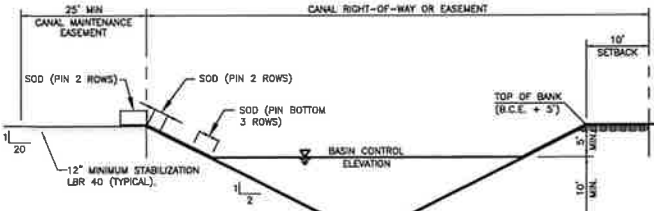
LAKE OUTFALL DETAIL WITHOUT HEADWALL



BASIN No.	B.C.E. (FT-NGVD) (FT-NGVD)	T.O.B. (FT) (FT)	L (FT)	BASIN No.	B.C.E. (FT-NGVD) (FT-NGVD)	T.O.B. (FT) (FT)	L (FT)
S-1	2.50	6.50	16.00	S-8	3.50	6.00	10.00
S-2 & S-7	2.70	8.00	13.20	S-9 & S-10	4.00	6.50	10.00
S-3	3.00	6.50	14.00	S-11	3.50	6.50	12.00
S-4	3.50	6.00	10.00	S-12	4.00	6.50	14.00
S-5	4.00	6.00	8.00	S-13	3.00	6.50	14.00
	4.25	6.50	9.00				
	4.50	6.50	8.00				

* EXISTING LAKE BANKS AND SLOPES SHALL BE CLEARED AND REGRADED AS PER SBDD CRITERIA ALONG THE ENTIRE LIMITS OF ALL DEVELOPMENT AND REDEVELOPMENT PROJECTS.

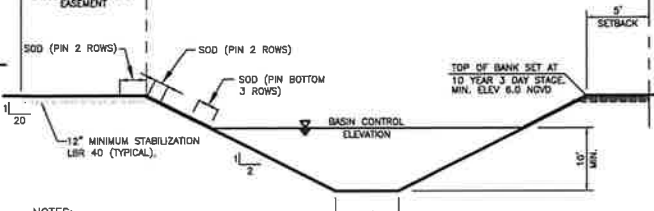
LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT



NOTES:

1. ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10' FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION.
2. MINIMUM CANAL BOTTOM IS 10' WIDE.
3. ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
4. THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
5. SOD PINS MUST BE WOOD.

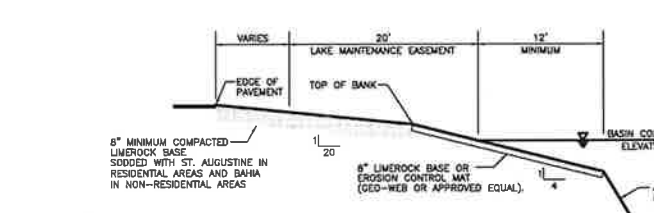
PRIMARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



NOTES:

1. ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10' FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION.
2. MINIMUM CANAL BOTTOM IS 10' WIDE.
3. ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
4. THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
5. SOD PINS MUST BE WOOD.

SECONDARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



NOTES:

1. LOCATION OF BOAT RAMP(S) MUST BE IDENTIFIED, INSPECTED AND APPROVED BY SBDD PRIOR TO CONSTRUCTION.
2. SLOPE DETAILS AS OUTLINED ABOVE MUST BE DETAIL AND APPROVED BY THE DISTRICT PRIOR TO INSTALLATION OF EROSION CONTROL MAT.
3. UPON COMPLETION OF BOAT RAMP, DISTRICT MUST BE NOTIFIED FOR FINAL APPROVAL.
4. BOAT RAMP MUST INTERSECT ADJACENT ROAD AND WATER BODY AT 90° ANGLE UNLESS OTHERWISE APPROVED.
5. THE BOAT RAMP(S) MUST BE MINIMUM 12' WIDE.
6. PROVIDE DROP CURB AT PAVEMENT WHERE APPLICABLE.
7. FOR BOAT RAMP CONSTRUCTED ON AN SBDD CANAL A SLOPE OF 3:1 CAN BE USED FROM EDGE OF WATER UP TO TOP OF BANK.
8. BOAT RAMP(S) SHALL BE CONSTRUCTED OF LIMESTONE OR EROSION CONTROL MAT, AT THE DISCRETION OF THE DISTRICT.
9. IF SBDD OPTS FOR AN EROSION CONTROL MAT, THE MAT SHALL BE FILLED WITH AT LEAST 4" OF 3/4" ROCK.

BOAT RAMP DETAIL

GENERAL NOTES

THE FOLLOWING GENERAL NOTES ARE REQUIRED BY THE SOUTH BROWARD DRAINAGE DISTRICT (SBDD). THEY ARE NOT MEANT TO BE ALL INCLUSIVE. IT IS THE ENGINEER'S RESPONSIBILITY TO ADD ANY NOTES WHICH WILL INFORM THE OWNER AND THE CONTRACTOR OF ANY ADDITIONAL REQUIREMENTS OF SBDD.

1. THE CONTRACTOR SHALL CONTACT SBDD 48 HOURS OR TWO (2) WORKING DAYS PRIOR TO ANY REQUIRED INSPECTION. TO SCHEDULE INSPECTIONS, PLEASE CALL SBDD AT (954)460-3333. SBDD'S WORKING HOURS ARE FROM 8:00 AM TO 4:30 PM MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS.
2. ANY REVISIONS TO PLANS PERMITTED BY SBDD MUST BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND HELD AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING CONSTRUCTION.
4. A SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO SBDD AFTER APPROVAL BY THE ENGINEER OF RECORD, PRIOR TO BEGINNING CONSTRUCTION.
5. DURING CONSTRUCTION, SBDD PERSONNEL WILL INSPECT THE FOLLOWING:
 - INSTALLATION OF ALL UNDERGROUND DRAINAGE FACILITIES BEFORE BACKFILLING.
 - BACKFILLING OF DRAINAGE TRENCHES.
 - SHARPING OF CANAL AND LAKE BANKS FROM THE DEEP CUT TO THE UPLAND EASEMENT LINE OR AS REQUIRED BY SBDD.
 - AND ANY OTHER DRAINAGE RELATED CONSTRUCTION WORK.
 RE-INSPECTIONS, EXTRAORDINARY INSPECTIONS AND FINAL INSPECTIONS WILL BE SUBJECT TO ADDITIONAL FEE CHARGES BY SBDD.
6. THE CONTRACTOR CONSTRUCTING OR EXCAVATING LAKES OR OTHER WATER BODIES SHALL EXERCISE EXTREME CAUTION TO ENSURE THAT THE SIDE SLOPES AND DEEP CUT LINES ARE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS FOR THE DEVELOPMENT. THE CONTRACTOR OR OWNER SHALL PERIODICALLY OR AS REQUIRED BY SBDD, OBTAIN A SURVEY, FROM A FLORIDA REGISTERED SURVEYOR OF THE LOCATION OF THE DEEP CUT LINES PRIOR TO FORMING THE SIDE SLOPES. THIS SURVEY SHALL BE PERFORMED PRIOR TO THE OBTAINING/CONSTRUCTION BEGINNING CONSTRUCTION OF ANY BUILDING OR ADJACENT TO THE WATER BODY. IN THE EVENT THAT THE CONTRACTOR OVER DIGS THE WATER BODY, THE OWNER/CONTRACTOR SHALL SUBMIT TO SBDD ITS SOLUTION TO CORRECT THE OVER DIGGING. ANY SUGGESTED REMEDY OR CORRECTION MUST BE APPROVED BY SBDD BEFORE THE CONTRACTOR BEGINS THE PROPOSED CORRECTION/REMEDY.
7. PAVING AND DRAINAGE "AS-BUILT" PLANS CERTIFIED BY THE ENGINEER OF RECORD AND APPROVED BY THE DISTRICTS ENGINEER SHALL BE REQUIRED BEFORE THE RELEASE OF THE BOND OR LETTER OF CREDIT. AS-BUILTS SHALL BE PROVIDED AS AN INDENT OF THE APPROVED CONSTRUCTION DRAWINGS AND AT THE SAME SCALE AS ORIGINALLY SUBMITTED. AS-BUILT SUBMITTALS SHALL CONFORM TO THE REQUIREMENTS OF SBDD'S CRITERIA MANUAL. AS-BUILTS MUST ALSO BE PROVIDED IN ELECTRONIC FORMAT.
8. AS-BUILT DRAWINGS OF WATER BODIES SHALL INCLUDE THE DATA REQUIRED UNDER EXHIBIT 39 OF SBDD'S CRITERIA MANUAL. THE AS-BUILT CROSS SECTIONS SHALL BE PROVIDED AT NOT MORE THAN 100 FOOT INTERVALS AND AT ALL OUTFALL PIPES CONSTRUCTED WITHOUT HEADWALLS.
9. SBDD WILL NOT COMPLETE THE FINAL INSPECTION UNTIL RECEIPT OF THE AS-BUILT PACKAGE WHICH MUST INCLUDE THE ENGINEER'S CERTIFICATION AND TEST RESULTS FOR STABILIZATION OF LAKE/CANAL MAINTENANCE EASEMENTS, ARE REQUIRED.

MELENDEZ ENGINEERING DESIGN, INC.

9000 Sheridan Street, PMB 153
Pembroke Pines, FL 33421
TEL: (954) 993-6336
FAX: (954) 993-6972
Certificate of Authorization No. 25389

NOELLE DIAZ-MENDEZ

License No. 51348

STATE OF FLORIDA

PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHELLE DIAZ-MENDEZ, P.E. ON THE DATE SHOWN ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

CULVER'S RESTAURANT

AT THE VILLAGES OF MAYFAIR

1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL

CLIENT: BARON GROUP PROPERTIES LLC

DATE	REVISION	PER DRC COMMENTS
05.12.25		

SCALE:

1 IN = 30 FT

DATE:

03.20.2025

PROJECT NO.:

25-165.01

SBDD DETAILS

SH. 15 OF 20

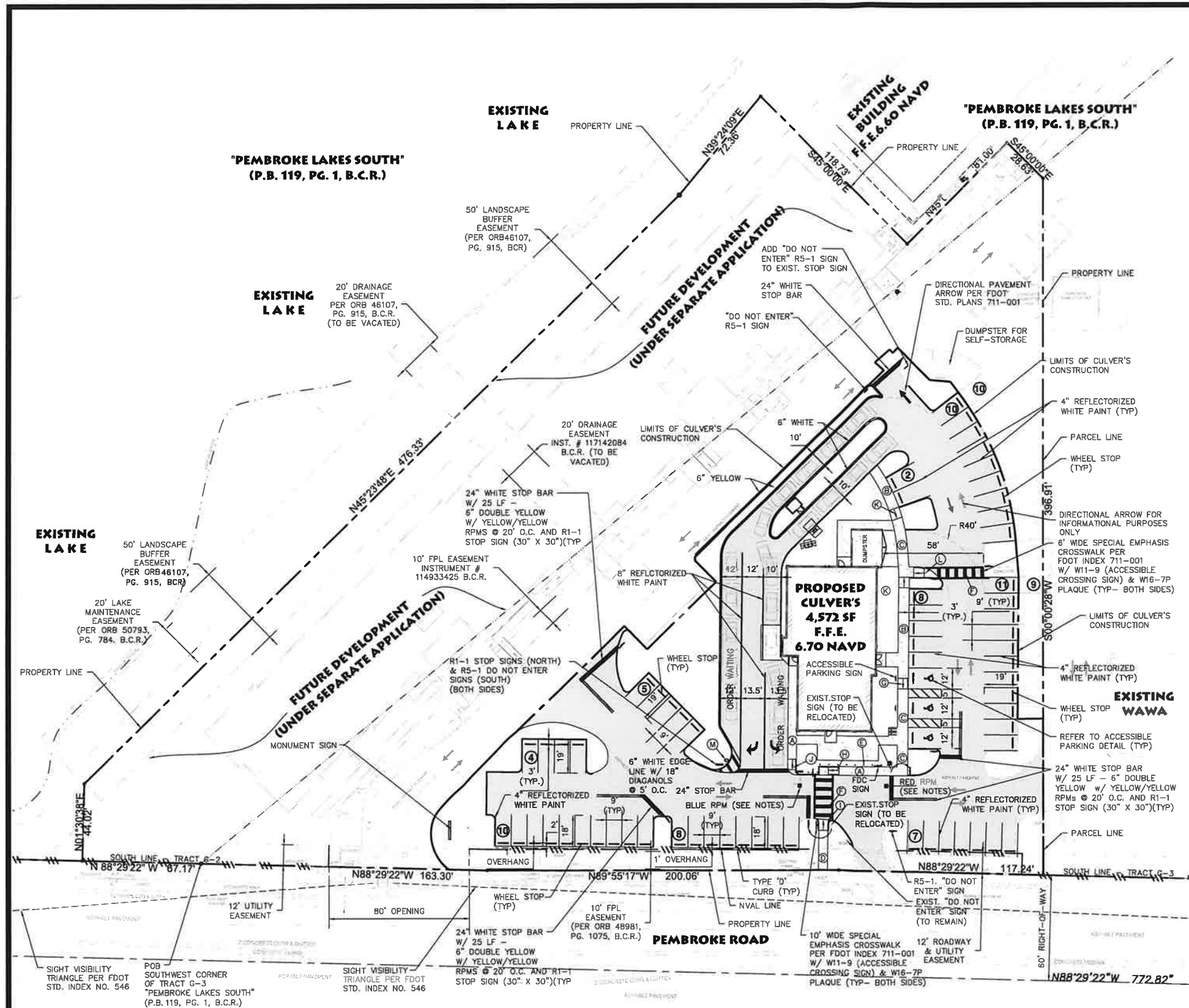
C-10

SOUTH BROWARD DRAINAGE DISTRICT

DESIGN CRITERIA MANUAL STANDARD DETAILS

CULVER'S RESTAURANT

EXHIBIT 16



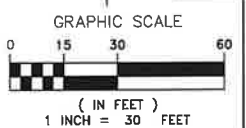
LEGEND

- PROPERTY LINE / PARCEL LINE
- NON-VEHICULAR ACCESS LINE
- EASEMENT LINE
- LIMITS OF CONSTRUCTION LINE
- EXISTING EDGE OF PAVEMENT



PROPOSED CONCRETE

VEHICULAR USE AREA



- EXISTING SIGN (SINGLE POST)
- PROPOSED SIGN (SINGLE POST)
- 5' THICKENED EDGE SIDEWALK
- 6' THICKENED EDGE SIDEWALK
- 6' CONCRETE SIDEWALK (FLUSH WITH PAVEMENT WHERE ADJACENT)
- 5' CONCRETE SIDEWALK
- VEHICULAR PROTECTIVE BOLLARDS (SEE DETAIL)
- SPECIAL EMPHASIS CROSSWALK PER FDOT INDEX 711-001 (SEE SITE PLAN AND SIGNING & MARKING PLANS)
- CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-C (MODIFIED) SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-E
- CURB RAMP PER FDOT INDEX 522-002 CR-G SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- IN-LINE CURB RAMP - SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- CURB RAMP PER FDOT INDEX 522-002 CR-G SEE DETAIL ON PAVING & DRAINAGE DETAIL SHEET
- DIRECTIONAL SIGN (CULVER'S "THANK YOU" ON NORTH SIDE AND "DO NOT ENTER" ON SOUTH SIDE TO BE SUBMITTED AS PART OF SIGN PACKAGE UNDER SEPARATE PERMIT APPLICATION - NOT PART OF THIS APPROVAL)

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FDOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR STANDARD PAINT.
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH 'STOP BARS' ARE TO HAVE YELLOW/YELLOW RPLS AT 20' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPMs) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS ADHESIVE PER FDOT'S 'APPROVED PRODUCTS LIST' (APL). PLACEMENT OF RPMs SHALL BE IN ACCORDANCE WITH FDOT 'STANDARD PLANS' INDEX NO. 706-401. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPMs) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
 - BLUE (FIRE HYDRANTS)
 - WHITE (WATER MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
 - ORANGE (SEWER MAINS/VALVES IN ADJACENT GREENLANDSCAPE AREAS)
 - GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
 - RED (FDC - FIRE DEPARTMENT CONVENTIONS)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS PLANS, INDEX NOS. 711-001 AND 706-102 AND LATEST CITY STANDARD DETAIL R-32, 'ACCESSIBLE PARKING SPACE DETAILS'.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMP 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT STANDARD PLANS, INDEX NO. 522-002.
- ALL PEDESTRIAN ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. MID-BLOCK TYPE PEDESTRIAN ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT DESIGN MANUAL, SECTION 220 AND MUTCD STANDARDS. IF A CROSSING STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-9) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-3) SIGNAGE. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE PERFORMED OR HIGH FRICTION THERMOPLASTIC COMPLYING WITH FDOT 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711'.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMP, ACCESSIBLE ROUTES AND RAMP MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION 'ACCESSIBILITY'.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMP, ACCESSIBLE ROUTES AND RAMP SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING SLOPING. NON-CONFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMP WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

SIGNING & MARKING NOTES

- PARKING AREAS SHALL CONFORM TO PROVISIONS OF SECTION 154.35 "DESIGN STANDARDS FOR PARKING AREAS" OF THE CITY CODE OF ORDINANCES.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS LATEST VERSION).
- ALL TRAFFIC RELATED STRIPING TO BE ALKYD-BASED THERMOPLASTIC AND FULLY RETRO-REFLECTORIZED.
- ALL VEHICULAR TRAFFIC RELATED PAVEMENT MARKINGS SHALL BE THERMOPLASTIC. PARKING SPACE MARKINGS SHALL BE 4" REFLECTORIZED PAINT.
- WHEEL STOP TO BE PLACED 3'-0" FROM FACE OF WHEELSTOP TO FACE OF THICKENED EDGE SIDEWALK. (SEE DETAILS)
- EXISTING WHEEL STOPS IN GOOD CONDITION MAY BE REUSED.
- PRIOR TO CONSTRUCTION, EXISTING POSTED SIGNS WILL BE INSPECTED FOR CONFORMANCE WITH CURRENT STANDARDS. ANY SIGNS NOT MEETING CURRENT STANDARDS WILL BE REPLACED.

MENDEZ ENGINEERING DESIGN, INC.

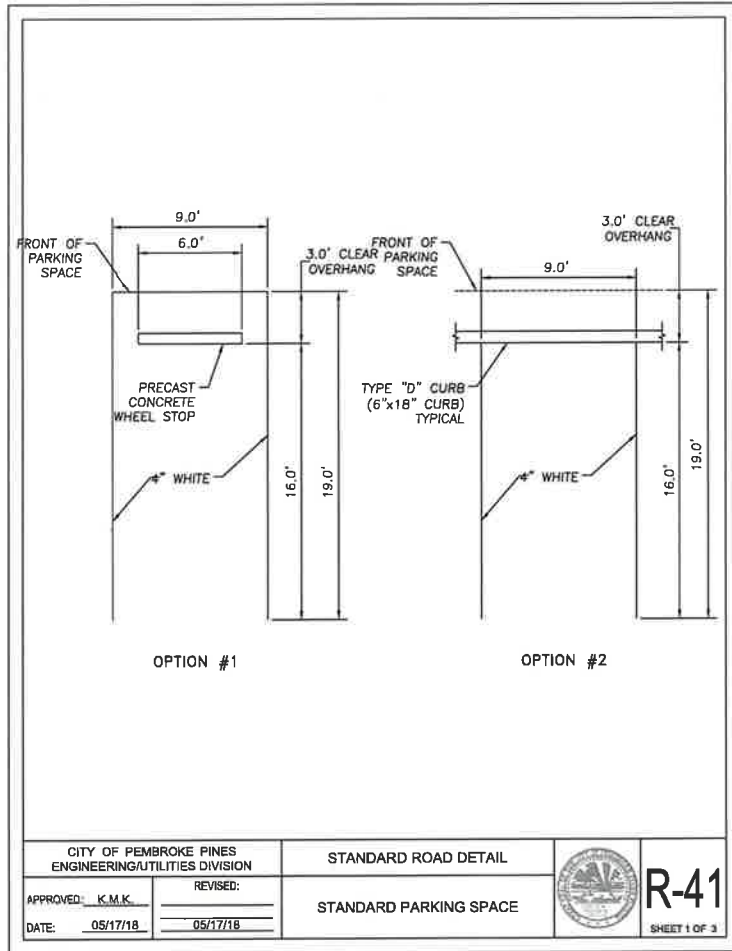
9000 SHARDON DRIVE, SUITE #100
PENSACOLA, FLORIDA 32504
TEL: 904.442.4326
FAX: 904.442.0972
CITY OF PENSACOLA LICENSE NO. 10000

MICHELLE DIAZ-MENDEZ
LICENSE
No. 51348
STATE OF FLORIDA
PROFESSIONAL ENGINEER

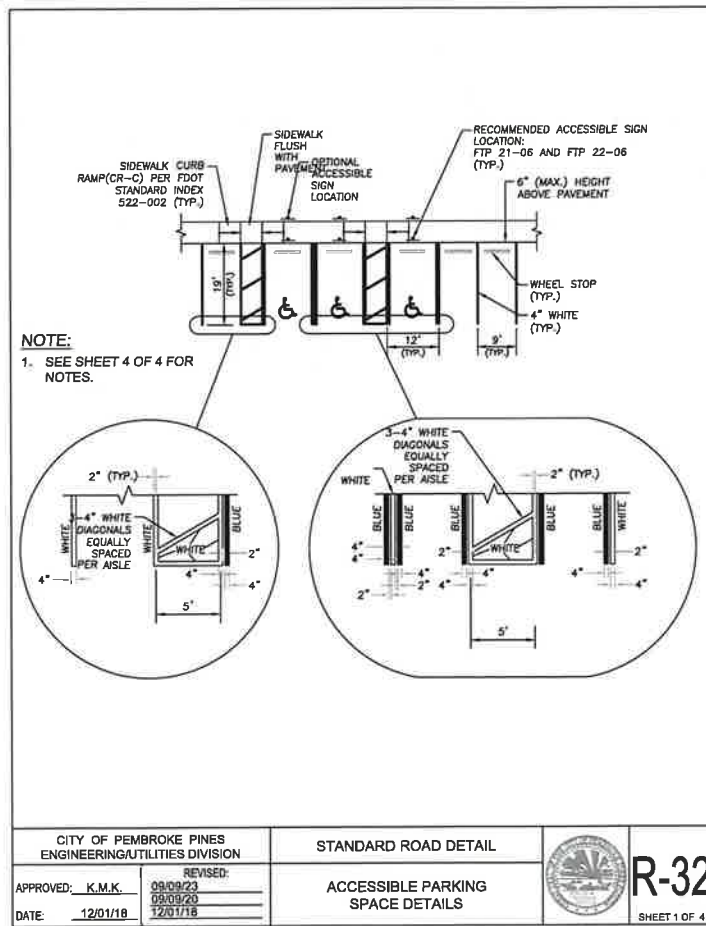
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CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

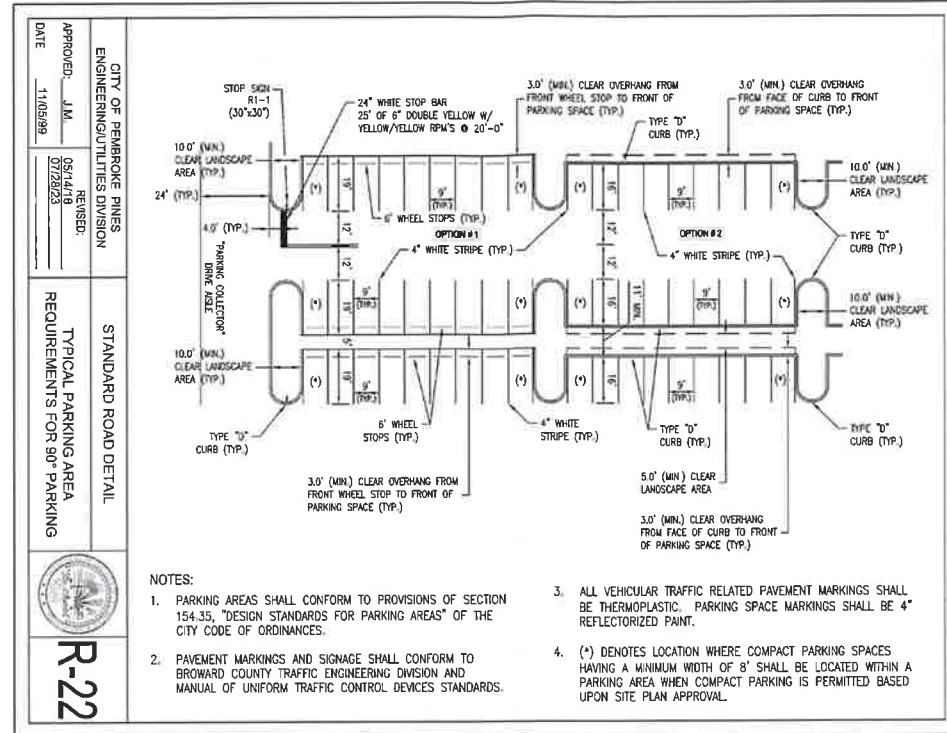
DATE	REVISION	NO.
05.12.25	PER DRC COMMENTS	1
06.02.25	PER DRC COMMENTS	3
SCALE: 1 IN = 30 FT		
DATE: 03.20.2025		
PROJECT NO. 25-165.01		
SIGNING & MARKING PLAN		
SH. 16 OF 20		
C-11		



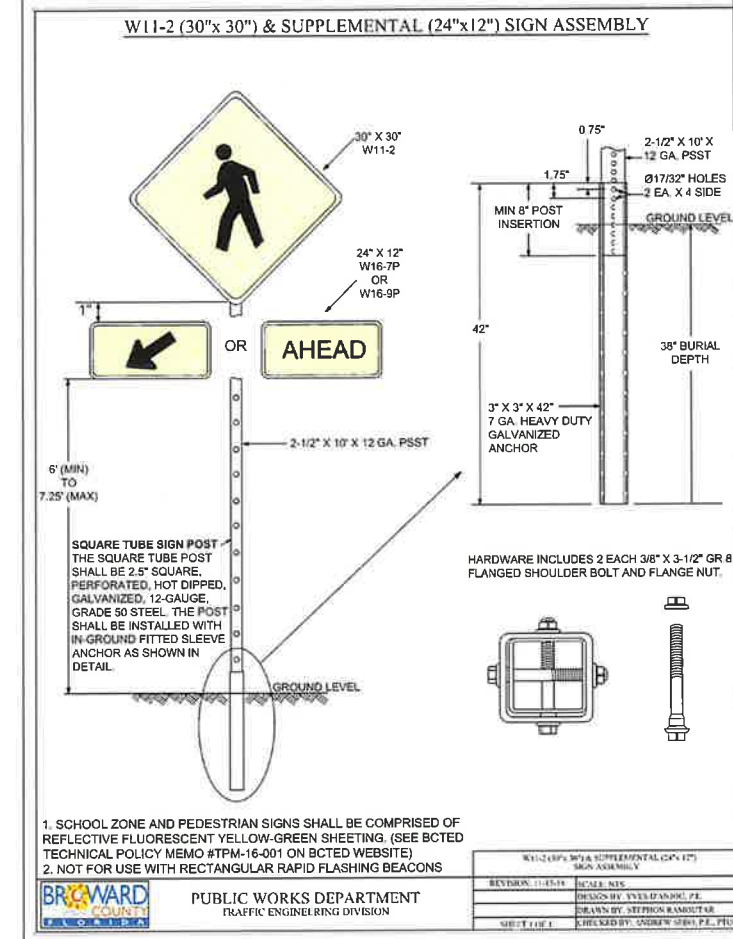
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISED:	STANDARD PARKING SPACE	
DATE: 05/17/18	05/17/18	SHEET 1 OF 3	



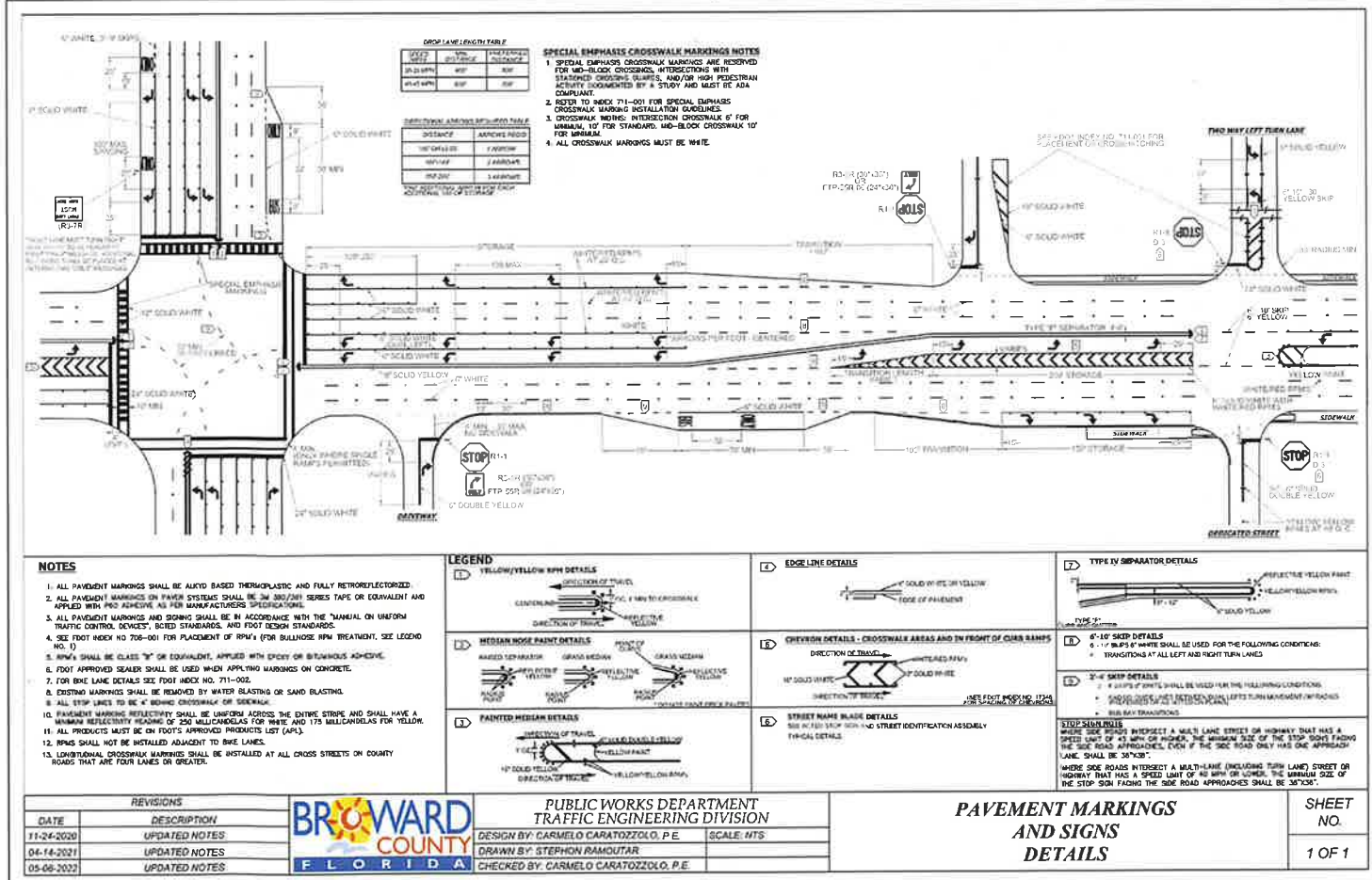
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISED:	ACCESSIBLE PARKING SPACE DETAILS	
DATE: 12/01/18	09/09/23 09/09/20 12/01/18	SHEET 1 OF 4	



APPROVED: J.M.	REVISIONS	STANDARD ROAD DETAIL
DATE: 11/05/89	05/14/18 07/28/23	TYPICAL PARKING AREA REQUIREMENTS FOR 90° PARKING



W11-2 (30"x 30") & SUPPLEMENTAL (24"x 12") SIGN ASSEMBLY	
REVISION: 11-15-11	DETAIL: NYS
DATE: 11-15-11	DRAWN BY: STEPHON RAMOUTAR
DATE: 11-15-11	CHECKED BY: ANDREW SHAW, P.E., PHS



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISED:	PAVEMENT MARKINGS AND SIGNS DETAILS	
DATE: 11-24-2020	04-14-2021	SHEET NO. 1 OF 1	

MELENZ ENGINEERING DESIGN, INC.

9000 Chumley Court, PMB #25
Pembroke Pines, FL 33099
Tel: (954) 955-6336
Fax: (954) 955-6337
Certificate of Authorization No. 30584

MOHELLE DIAZ-MENDEZ

No. 51348

STATE OF FLORIDA

PROFESSIONAL ENGINEER

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CULVER'S RESTAURANT

AT THE VILLAGES OF MAYFAIR

1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL

CLIENT: BARON GROUP PROPERTIES LLC

DATE: 05/12/25

REVISION: PER DRC COMMENTS

SCALE: N.T.S.

DATE: 03.20.2025

PROJECT NO. 25-165.01

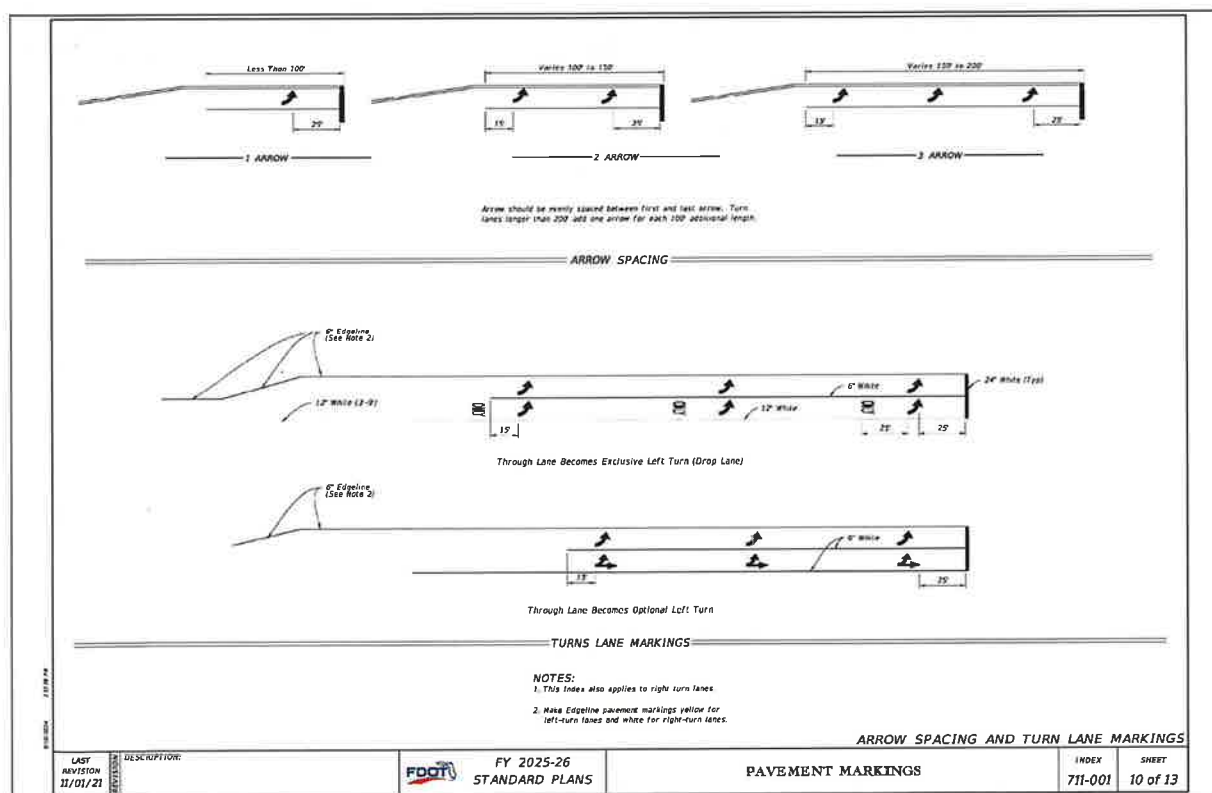
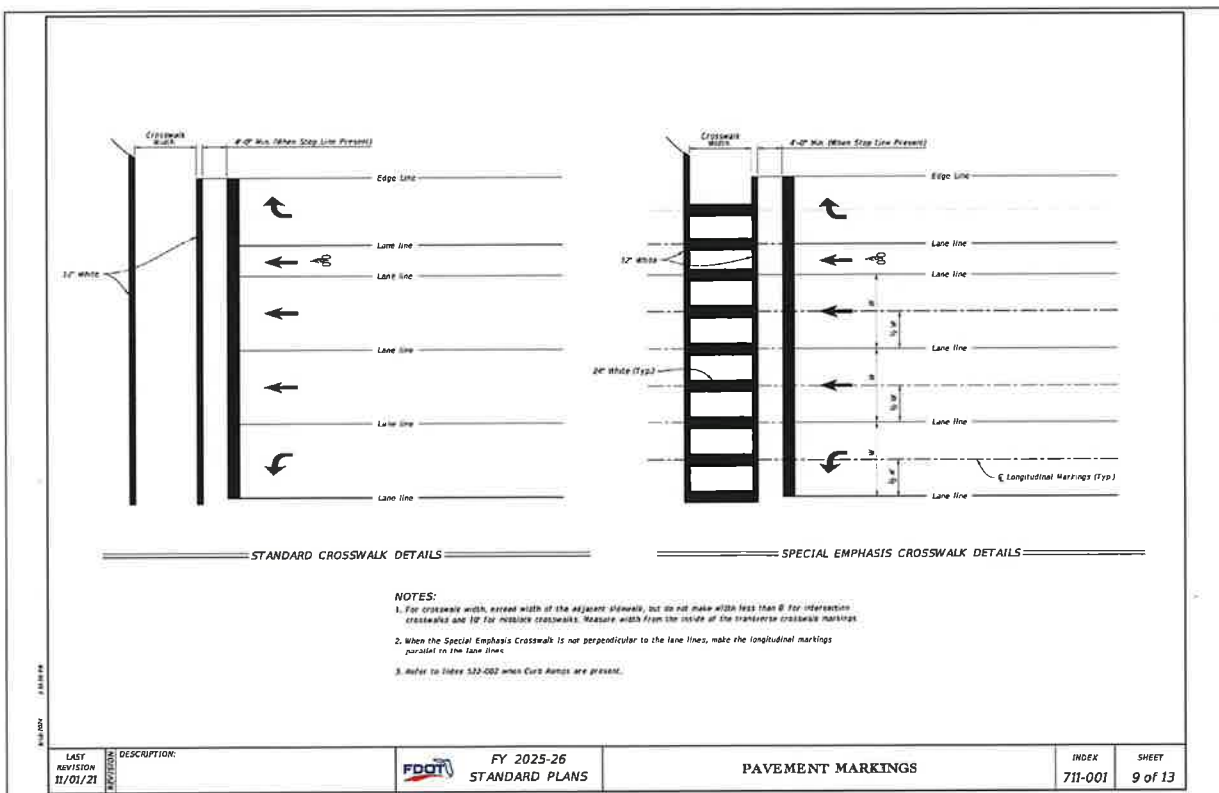
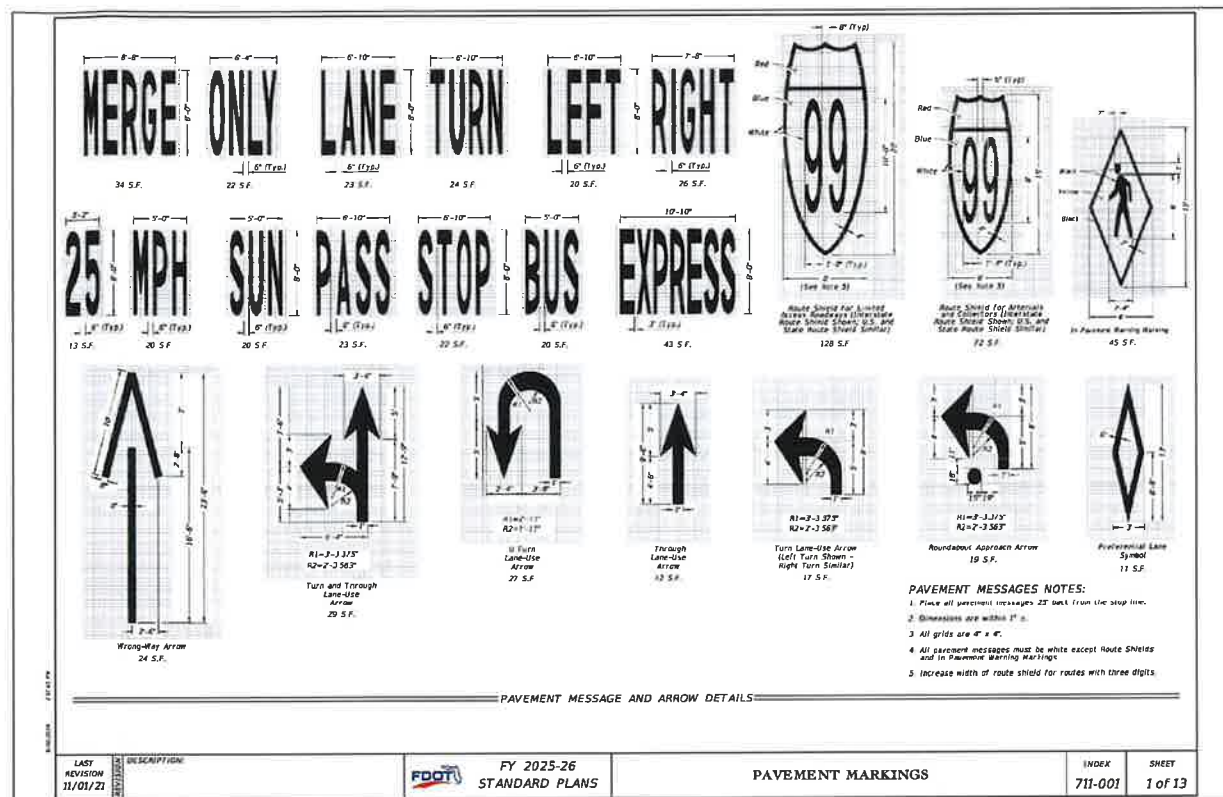
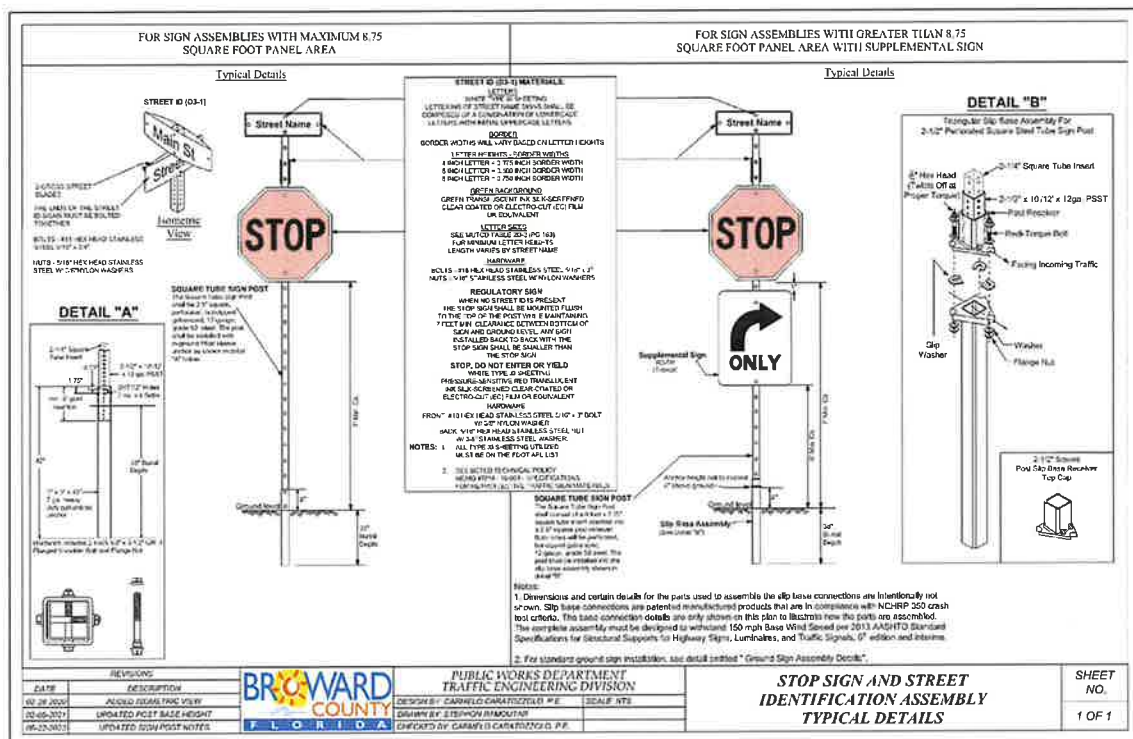
SIGNING & MARKING DETAILS

SH. 17 OF 20

C-12

CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
5580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

	REVISION	DATE	05.12.25							
		PER DRC COMMENTS								
NO.	1									
SCALE:										
N.T.S.										
DATE:										
03.20.2025										
PROJECT NO.										
25-165.01										
SIGNING & MARKING DETAILS										
SH. 18 OF 20										
C-13										



"PEMBROKE LAKES SOUTH"
(P.B. 119, PG. 1, B.C.R.)

EXISTING LAKE
C.W.E. 1.19 NAVD

EXISTING LAKE
C.W.E. 1.19 NAVD

"PEMBROKE LAKES SOUTH"
(P.B. 119, PG. 1, B.C.R.)

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120053
PANEL NUMBER	0710J
ZONE	X & AE
BASE FLOOD ELEV.	N/A & 6.7
EFFECTIVE DATE	07/31/24

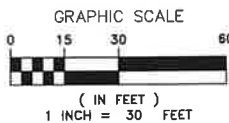
MENDEZ
ENGINEERING
DESIGN, INC.

10000 Charleston Drive, Suite 100
Pembroke Pines, FL 33024
Tel: (954) 424-4242
Fax: (954) 424-4242
Certificate of Authorization No. 20248



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CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC



LEGEND

---	PROPERTY LINE/ PARCEL LINE
---	NON-VEHICULAR ACCESS LINE
---	EASEMENT LINE
---	LIMITS OF CONSTRUCTION LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	EXISTING SEWER MAIN
---	EXISTING DRAINAGE PIPE AND CATCH BASIN
---	PROPOSED WATER MAIN GATE VALVE, TEE & FIRE HYDRANT
---	PROPOSED SANITARY SEWER SERVICE WITH CLEANOUT
---	EXISTING ELEVATION (NAVD)
---	EXISTING FIRE HYDRANT
---	EXISTING SIGN (SINGLE POST)

NOTES

- ELEVATIONS ARE BASED ON NAVD OF 1988.
- TO CONVERT FROM NAVD TO NGVD ADD 1.51 FEET.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "PEMBROKE LAKES SOUTH", (P.B. 119, PG. 1, B.C.R.) SAID LINE BEARS S88°29'22"E.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK # 3181, ELEVATION = 7.81' (NAVD88).
- REFER TO SURVEY PREPARED BY COUSINS SURVEYORS & ASSOCIATES DATED 3/11/25 FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO VERIFY ALL LOCATIONS, SIZES, & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL PLAN ALL CROSSINGS INCLUDING SERVICE CROSSINGS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WATER & SEWER SERVICE LOCATIONS AND INVERTS WITH MECHANICAL/PLUMBING PLANS.
- ALL BENDS & FITTINGS REQUIRED FOR CROSSINGS SHALL BE INCLUDED ON CONTRACTOR'S BID.
- NO VALVES IN CURB OR SIDEWALK.
- WATER METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR. METER SHALL BE INSTALLED BY THE CITY'S UTILITIES DEPARTMENT.
- WATER MAIN/FIRE LINE SHALL HAVE 36" MINIMUM COVER.
- REFER TO FA-2 FOR FIRE LINE REQUIREMENTS.
- ALL WORKMANSHIP, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF PEMBROKE PINES ENGINEERING STANDARDS MANUAL.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 62-555 OF THE FAC AS APPLICABLE.
- RESTORE/ADJUST EXISTING VALVES AND MANHOLES TO FINAL ELEVATIONS.
- SEWER SERVICE CLEANOUTS SHALL BE 6" PVC WITH NSF NO. 7635 COVER.

ESTIMATED WATER DEMAND & SEWAGE FLOW

TYPE OF STRUCTURE: RESTAURANT, OPEN LESS THAN 24 HOURS, WITH DRIVE-THROUGH WINDOW, PER SEAT INCLUDING BAR	
FLOW RATE:	35 GPD/ SEAT
NO. OF SEATS (INC. OUTDOOR):	120 SEATS
ESTIMATED FLOW:	4,200 GPD

* BASED ON BROWARD COUNTY DESIGN FLOW CHART

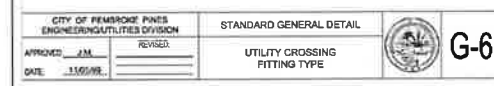
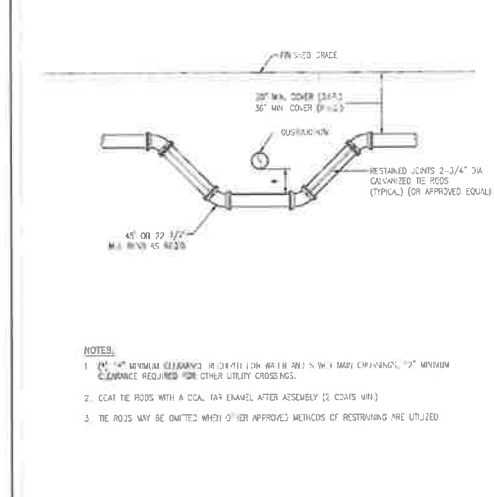
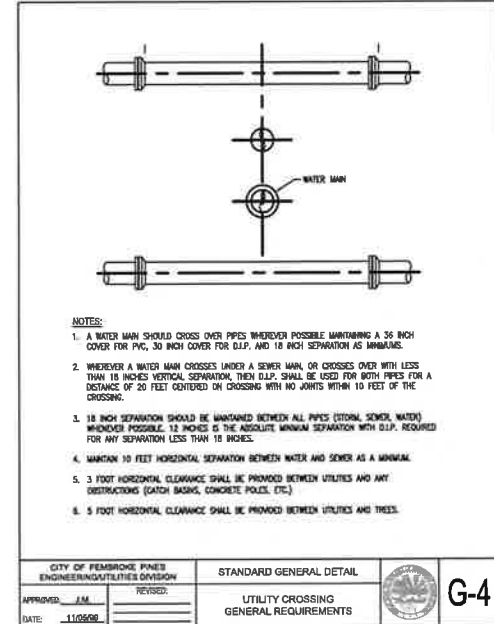
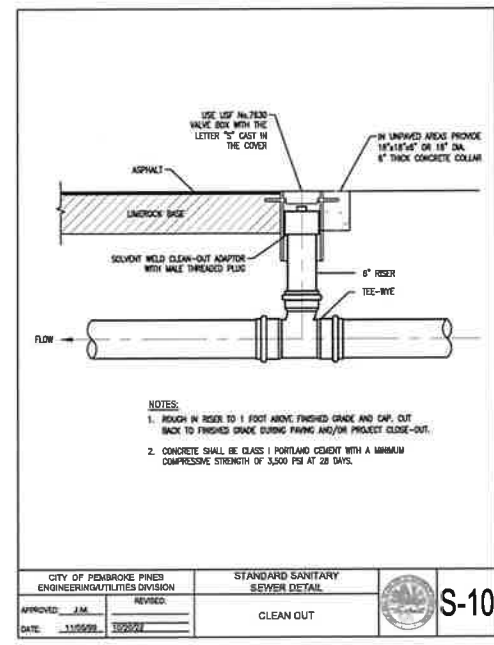
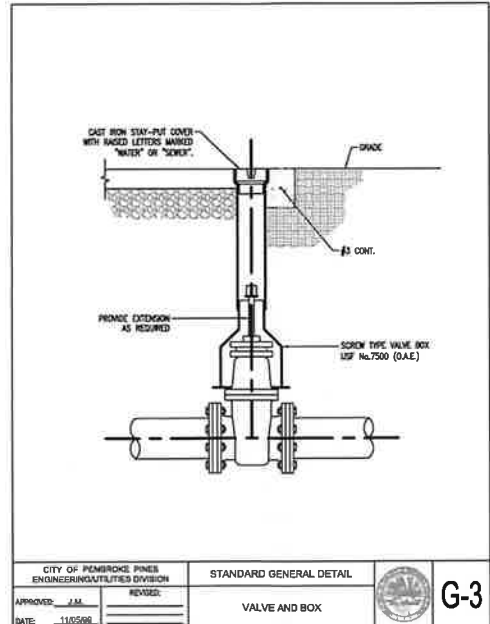
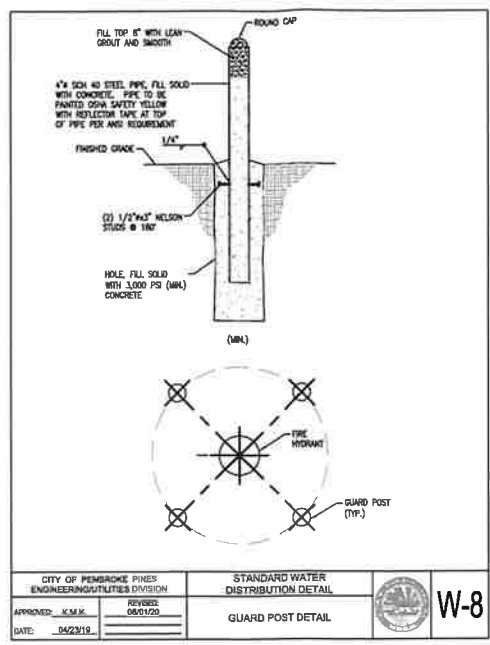
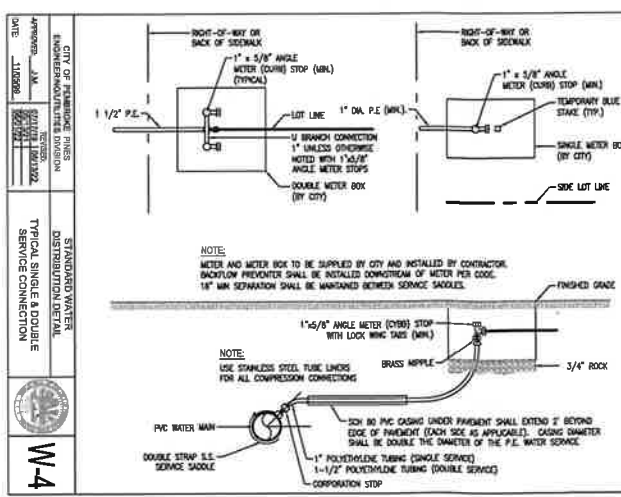
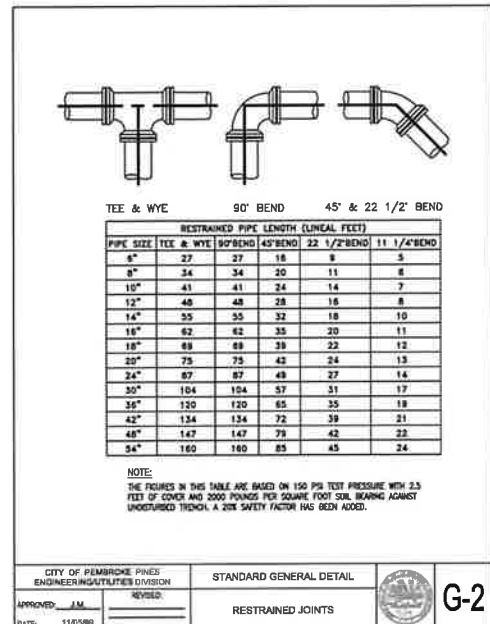
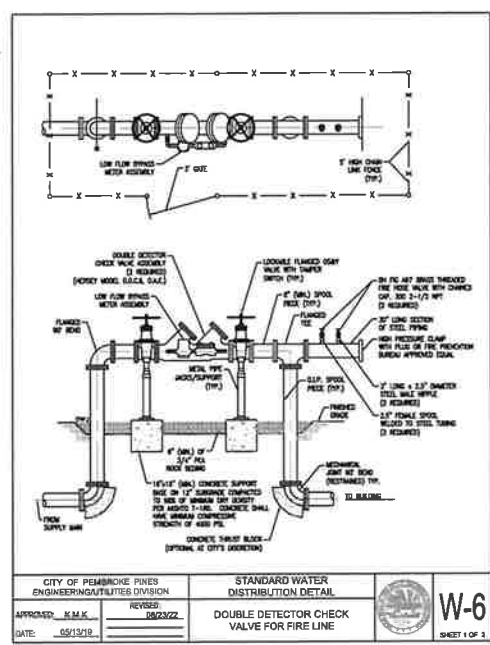
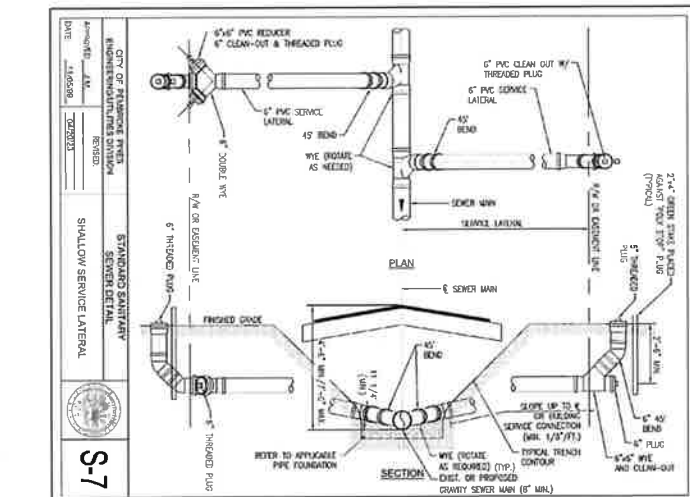
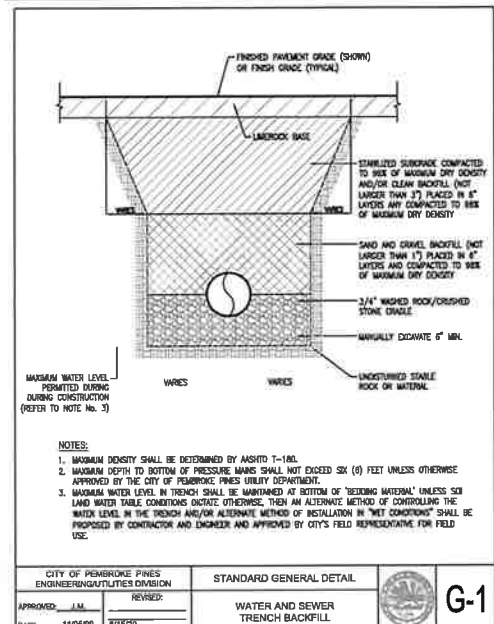
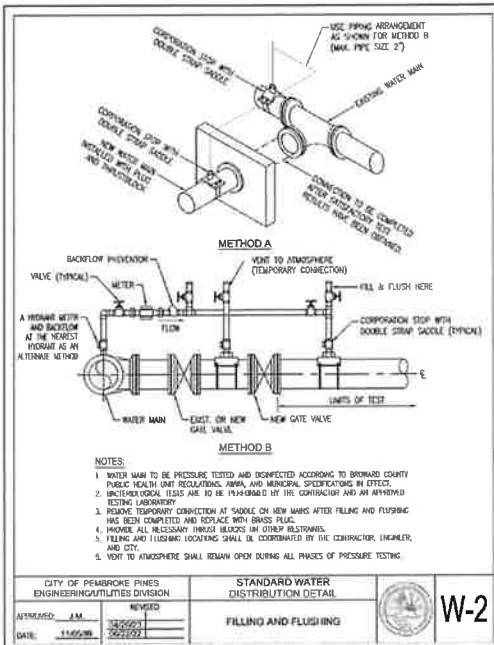





Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

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

















CULVER'S RESTAURANT
AT THE VILLAGES OF MAYFAIR
1580 SOUTH HIATUS ROAD PEMBROKE PINES, FL
CLIENT: BARON GROUP PROPERTIES LLC

DATE	REVISION	NO.	SCALE
05.12.25	PER DRC COMMENTS	1	1 IN = 30 FT
08.02.25	PER DRC COMMENTS	3	
DATE: 03.20.2025			
PROJECT NO. 25-165.01			
WATER & SEWER DETAILS			
SH. 20 OF 20			
C-15			



 <div style="display: inline-block; vertical-align: middle;"><h1 style="margin: 0;">ECG</h1><p style="margin: 0;">EBRAHIMIAN CREATIVE GROUP</p></div>	
10708 NW 12TH MNR. PLANTATION, FL 33322 R.KINGELURA@ECG.LAND PH: 305.819.7985 WWW.ECG.LAND	
REVISIONS / SUBMISSIONS	
<div style="display: flex; align-items: center;"><div><p>Know what's below. Call before you dig.</p></div></div>	
PHASE	
CLIENT	
BARON GROUP PROPERTIES LLC 810 PARRSONS WAY DEERFIELD BEACH, FL 33442	
<p style="text-align: center; font-weight: bold; font-size: 1.2em;">CULVER'S RESTAURANT</p> <p style="text-align: center;">1590 S. HIATUS RD. PEMBROKE PINES, FL 33025</p>	<p style="text-align: center; font-weight: bold; font-size: 1.2em;">EXISTING TREE DISPOSITION PLAN</p>
	
RYAN J. KING EBRAHIMIYAN LA6667324 ISA FL-10101A	
DRAWN BY _____ RKE	
CHECKED BY _____	
DATE _____ 2025-06-09	
SHEET NUMBER	
L-1	

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
TREES											
	CS	5	Orange Geiger Tree	Cordia sebestena	B & B	2" DBH	12' Ht	5'	Yes	High	4' CT, FL FANCY, CAT. 2, FULL
	MF	16	Simpson's Stopper	Myrcianthes fragrans	B & B	1.5" DBH	10' Ht	4'-5'	Yes	High	4' CT, STD, CAT. 3, FULL
	PD	6	Slash Pine	Pinus elliotti densa	B & B	3" DBH	15' Ht	7'	Yes	High	6' CT, CAT. 1
	QV	4	Southern Live Oak	Quercus virginiana	B & B	3" DBH	15' Ht	7-8' spr.	Yes	High	7' CT, FL FANCY, CAT. 1
	SG	1	Paradise Tree	Simarouba glauca	B & B	3" DBH	14' Ht	6-7'	Yes	High	6' CT, STD, CAT. 1
	TA	10	Golden Trumpet	Tabebuia aurea	B & B	2" DBH	12' Ht	6'	Yes	High	6' CT, FL FANCY, CAT. 2
PALM TREES											
	PT	21	Alexander Palm	Ptychosperma elegans	B & B		20-22' Ht	7-8' spr.	No	High	CAT. 4
	TR	8	Florida Thatch Palm	Thrinax radiata	B & B		10' oa		Yes	High	6' CT, COUNTED @3:1, CAT. 4
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SHRUBS											
	AVL	6	Vanegated Shell Ginger	Alpinia zoroebet 'Variegata'	n/a	30"	24-30"	24"	No	High	
	CBM	5	Red Sister Ti Plant	Cordyline fruticosa 'Red Sister'	7 gal	30"	As Shown	18-24"	No	High	
	OCF	13	Seven Year Apple	Cassia clusoides	7 gal	30"	30-48"	30"	Yes	High	Full to Base
	CHR	130	Red Tip Coco Plum	Chrysobalanus icaco 'Red Tip'	NA	24"	24"	24"	Yes	High	Full to Base
	CLG	203	Small Leaf Clusia	Clusia guttifera	NA	30"	18"	18"	Yes	High	Full to Base, Continuous
	PHB	12	Cut Leaf Philodendron	Philodendron bipinnatifidum	NA	As Shown	30"	30"	No	High	
	PSL	77	Desert Wild Coffee	Psychotria ligustrifolia 'Nana'	n/a	30"	18"	18"	Yes	High	
SHRUB AREAS											
	CLN	183	Dwarf Patch Apple	Clusia rosea 'nana'	n/a	30"	16"	16"	Yes	High	Full Mounds
	HAC	22	Firebush	Hamelia patens 'compacta'	n/a	30"	18"	16-18"	Yes	High	Full, low-branched
	PLM	30	Leadwort	Plumbago auriculata	n/a	30"	20"-24"	18"-20"	No	High	Full
	TRF	286	Florida Gamagrass	Tripsacum floridanum	n/a	36"	20"	16"-20"	Yes	High	
	ZMA	5	Coontie	Zamia integrifolia	n/a	36"	16"-18"	18"	Yes	High	
GROUND COVERS											
	DTA	153	Blueberry Flax Lily	Dianella lasmanica 'Blueberry'	n/a	24"	12-14"	14-16"	No	High	Full Clumps
	FMG	45	Green Island Ficus	Ficus microcarpa 'Green Island'	n/a	24"	12"	12"	No	High	Full Clumps
	HLM	252	Spider Lily	Hymenocallis latifolia	n/a	24"	16"-18"	18"	Yes	High	
	IXR	66	Dwarf Red Ixora	Ixora taiwanensis 'Dwarf Red'	n/a	24"	14-16"	12"	No	High	
	JCP	378	Chinese Juniper	Juniperus chinensis 'Parsoni'	n/a	20"	8-10"	10-12"	No	High	Full
	LIR	126	Lilyturf	Liriodie muscari	n/a	30"	12-14"	16"	No	High	Full Mounds
	NEB	26	Boston Fern	Nephrolepis exaltata	n/a	30"	12-14"	16"-18"	Yes	High	Full Mounds
SOD/SEED											
	SAT	3,049 sf	'Palmetto' St. Augustine	Stenolophrum secundatum	sod				No	Medium	Solid Sod

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
ROCK			
K-01	Egg Rock 1"-3"Ø, 3" Depth w/ Weed Barrier underlay; See Detail	0.34 cy	

CITY OF PEMBROKE PINES LANDSCAPE CODE COMPLIANCE CHART

CULVER'S RESTAURANT - 1580 S. HIATUS RD., PEMBROKE PINES, FL			
ZONING DISTRICT: B-3 TOTAL SITE AREA: 59,190.18 SF (1.4 AC)			
SEC. 155.664: MINIMUM STANDARDS Trees: 20% Cat. 1 Trees 14'-16" Ht, 3" DBH; 20% Cat. 2 Trees 12'-14" Ht, 2" DBH, 60% Other Categories Palms: 10' Ht, Min. (Ø 3") Shrubs: 24" Ht, Min., 12" spread Min			
SEC. 155.663: PARKING ISLANDS (A) No more than 50% of the total island areas or interior parking areas as turfgrass, sod, or mulch (F) 1 a (1) Tree / 5 parking spaces (55 Parking Spaces Provided) (F) 1 b (1) Tree / 100 sf of Interior Landscaping required (Ø 14" of Interior Landscaping required) (F) 2 10 SF Interior Landscaping / Parking Space up to 50 spaces: 500 sf required (F) 3 100 SF of landscaping every (10) parking spaces over 50 spaces: 50 required (F) 4 (a) 1 sf of landscaping for every 100 sf of paved areas up to 50,000 sf (34,014.25 sf Paved VUA) 340.14 sf required			
MITIGATION REQUIREMENTS 1.5x Canopy Coverage replaced: 1 Canopy Tree Removed (1) Category IV Palm replaced: 1 Palm Removed 0 SF Canopy Removed, 0 Palms removed - No Mitigation Required			
REQUIRED		PROVIDED	
<4,855.38 SF SOD		482.22 SF SOD	
11 TREES		13 TREES	
9 TREES		24 TREES	
500 SF		50 SF	
340.14 SF		9,710.76 SF	
890.14 SF TOTAL INT LS AREA REQD		INT LS AREA	
TOTAL TREES: 20 TREES		54 TREES*	
20% CAT 1 TREES		4 CAT 1 TREES	
20% CAT 2 TREES		16 CAT 2 TREES**	
60% OTHER CAT TREES		34 OTHER TREES	
INCLUDES (42) PROPOSED TREES, (4) EXISTING TREES, & (10) TREES FROM (22) EXISTING & PROPOSED PALMS (Ø 1")		* INCLUDES (13) EXISTING TREES ** INCLUDES (1) EXISTING TREE	

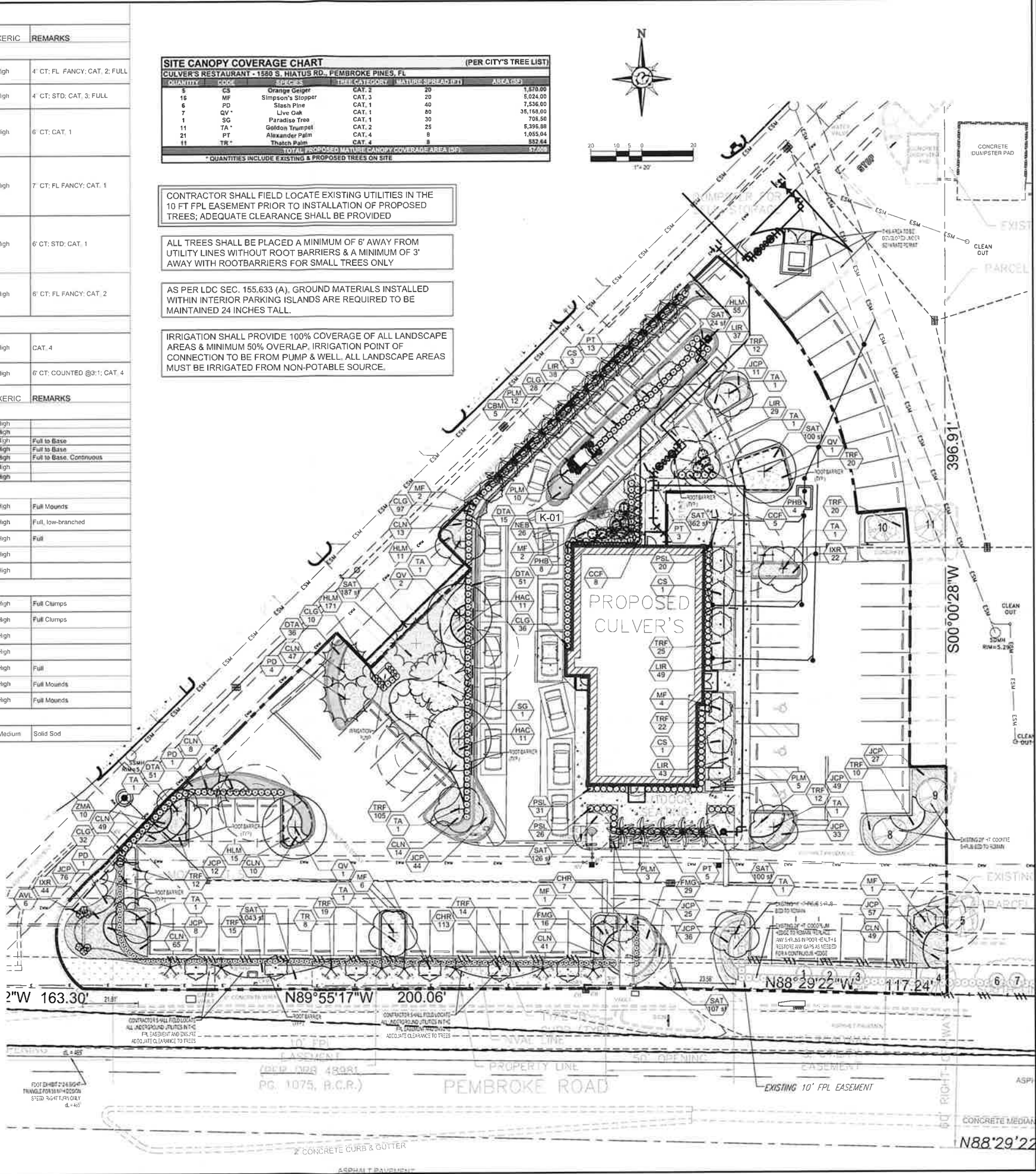
SITE CANOPY COVERAGE CHART (PER CITY'S TREE LIST)					
QTY	CODE	COMMON NAME	CAT. 1	CAT. 2	AREA (SQ)
5	CS	Orange Geiger	CAT. 2	20	1,570.00
16	MF	Simpson's Stopper	CAT. 3	20	5,024.00
6	PD	Slash Pine	CAT. 1	40	5,536.00
7	QV	Live Oak	CAT. 1	80	35,168.00
1	SG	Paradise Tree	CAT. 1	30	706.50
11	TA	Golden Trumpet	CAT. 2	25	5,395.88
21	PT	Alexander Palm	CAT. 4	8	1,055.04
11	TR	Thatch Palm	CAT. 4	8	532.64
TOTAL PROPOSED MATURE CANOPY COVERAGE AREA (SQ)					57,608
* QUANTITIES INCLUDE EXISTING & PROPOSED TREES ON SITE					

CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES IN THE 10 FT FPL EASEMENT PRIOR TO INSTALLATION OF PROPOSED TREES; ADEQUATE CLEARANCE SHALL BE PROVIDED

ALL TREES SHALL BE PLACED A MINIMUM OF 6' AWAY FROM UTILITY LINES WITHOUT ROOT BARRIERS & A MINIMUM OF 3' AWAY WITH ROOTBARRIERS FOR SMALL TREES ONLY

AS PER LDC SEC. 155.633 (A), GROUND MATERIALS INSTALLED WITHIN INTERIOR PARKING ISLANDS ARE REQUIRED TO BE MAINTAINED 24 INCHES TALL.

IRRIGATION SHALL PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS & MINIMUM 50% OVERLAP. IRRIGATION POINT OF CONNECTION TO BE FROM PUMP & WELL. ALL LANDSCAPE AREAS MUST BE IRRIGATED FROM NON-POTABLE SOURCE.



ECG
EBRAHIMIAN CREATIVE GROUP
10709 NW 12TH AVE, PLANTATION, FL 33322
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REVISIONS / SUBMISSIONS

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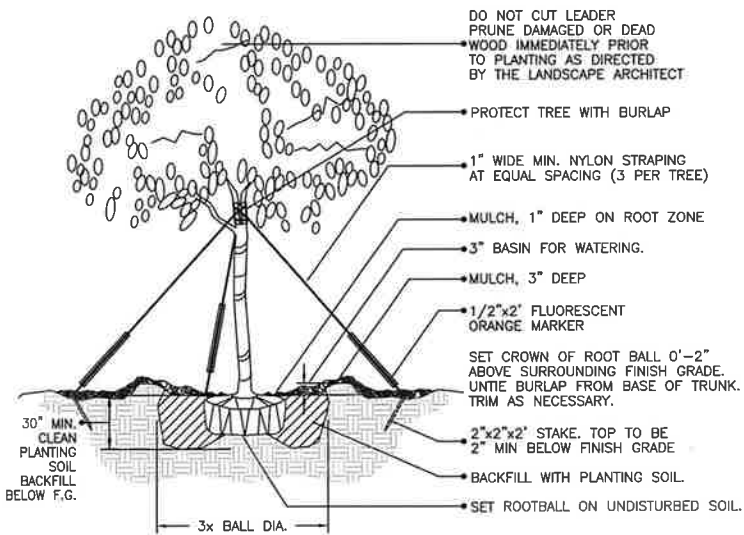
PHASE
CLIENT
BARON GROUP PROPERTIES LLC
610 PARSONS WAY
DEERFIELD BEACH, FL 33442

CULVER'S RESTAURANT
1580 S. HIATUS RD.
PEMBROKE PINES, FL 33025
LANDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
RYAN J. KING EBRAHIMIAN
LA6667324
STATE OF FLORIDA

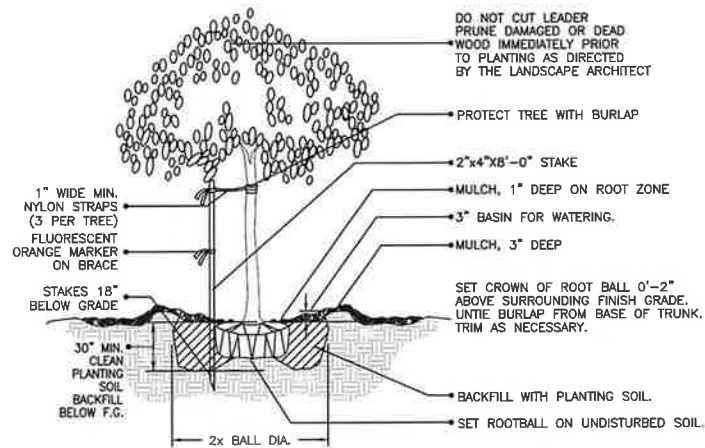
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DATE: 2025-06-09

SHEET NUMBER
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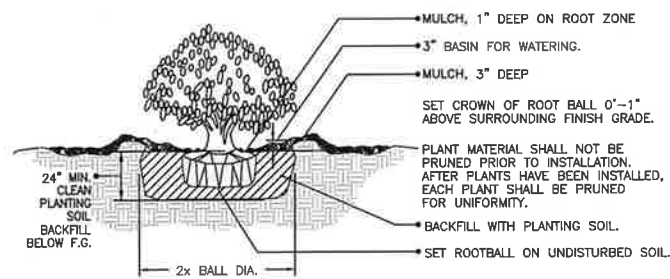
(2" cal. and over) LARGE TREE PLANTING DETAIL

NTS



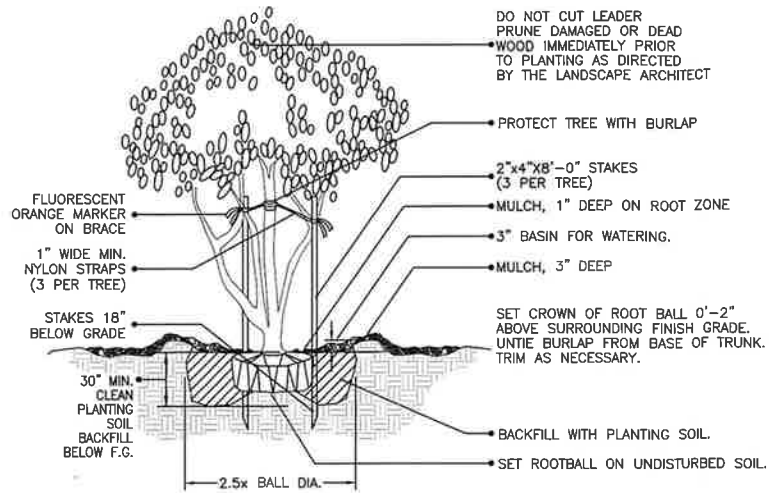
(2" cal. and under) SMALL TREE PLANTING DETAIL

NTS



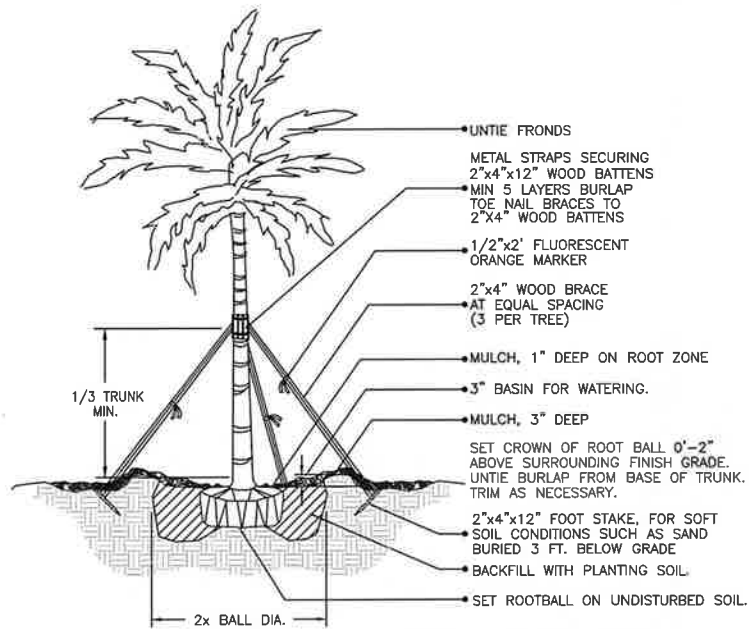
SHRUB PLANTING DETAIL

NTS



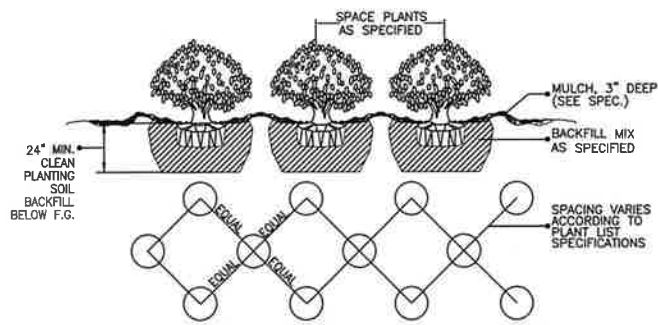
MULTI- TRUNK AND SMALL TREE (4" cal. and under) PLANTING DETAIL

NTS



LARGE PALM PLANTING DETAIL

NTS



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS

GENERAL LANDSCAPE NOTES:

- PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FURNISHED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE SINGLE LEADER, FIELD GROWN, UNBURNED & BURLAPPED (FROM CONTAINER GROWN TREES ARE NOT ACCEPTABLE & WILL BE IMMEDIATELY REJECTED UPON INSPECTION. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN SHALL BE APPROVED BY THE CITY FORESTER & LA OF RECORD. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. THE OWNER AND GOVERNING MUNICIPALITY, OPTIONS OR ALTERNATE SPECIES BASED ON LOCALITY OR SITE-SPECIFIC ANALYSIS SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION. LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATIONS. PLANT SPECIES SHALL BE QUANTIFIED BY PLANT QUANTITY TO FILL THE BED FOR SHRUBS AND GROUNDCOVERS. THE LOCATION OF NEW SHRUBS AND GROUNDCOVER PLANTINGS SHALL BE A MINIMUM OF 1 FEET FROM THE TRUNK PLACES OF EXISTING TREES TO BE PRESERVED. NEW SHRUBS AND GROUNDCOVER PLANTINGS UNDER THE GRAPES SHALL BE INSTALLED BY HAND WITH CARE IN BETWEEN ROOTS' DIAMETER AND GREATER.
- ALL TREES, SHRUBS AND GROUNDCOVERS SHALL, AT A MINIMUM, BE OF THE SPECIES AS SPECIFIED IN THE PLANT LIST. WHERE THERE IS A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANT TAGS, THE PLANT TAGS SHALL PREVAIL. THE PLANT TAGS SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
- DEED SPECIFICATIONS: ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR DRIVE AREAS, WALKS OR PLANTING BEDS SHALL BE GRADED. GRADING SHALL EXTEND TO ANY ADJACENT STREET PAVEMENT EDGE AND TO THE NEAR WATERLINE OF ANY ADJACENT LAKE OR WATERWAY. STENOGRAPHIC RECORDATION V. VALUETO VALLES OTHERWISE NOTED (PLANTING TO ADJUSTIVE SOLO SOLO). INFLUENTIAL NOTATION: ADJUSTIVE SOLO SOLO SHALL BE PROVIDED IN THE RIGHT OF WAY'S ON THE BANKS & BOTTOM OF DETENTION BASINS. DISTURBED AREAS SHALL BE RECOVERED TO MATCH EXISTING. ALL AREAS DISTURBED BY CONSTRUCTION NOT NOTED TO HAVE SHRUBS OR GROUNDCOVERS ON THE LANDSCAPE PLAN SHALL BE RECOVERED BY THE CONTRACTOR.
- ADJUSTIVE SOLO SOLO PLANTING SOLO FOR USE IN BACK FILLING PLANTING NO. 25 SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRAGILE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINABLE, AVAILABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LUMPY PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE. ALL PLANT MATERIAL TO RECEIVE PLANTING SOLO AS PER DETAILS & NOTES.
- GENERAL RECOMMENDED PLANTING SOLO DEPTH: ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL. MINIMUM TOPSOIL SHALL BE 9" FOR GROUNDCOVER AREAS AND 2" FOR SOODED GRASS AREAS. THIS IS IN ADDITION TO A MINIMUM OF 17" OF UNDISTURBED OR NATIVE SOLO THAT WAS STORED/COPIED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOLO WITH A RANGE OF ORGANIC MATTER BETWEEN 3% WITH A MAXIMUM OF 10% IN ANY DIRECTION. TOPSOIL PLUS PLANTING SOLO EXCEEDING NATIVE SOLO MINIMUM DEPTHS ARE IN ADDITION TO ANY LAMINATE LAMINATE SURFACE. IN ADDITION TO DECAUTION WARNING REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS. TREE PITS SHALL BE EXCAVATED & BACKFILLED TO A MINIMUM DEPTH OF 30" FILLING. TOP SOLO ISLANDS SHALL BE EXCAVATED TO 30" DEPTHS AND BACKFILLED WITH CLEAN FILL AND TOPSOIL OR TURF TO WITHIN 1" OF THE TOP OF CURB OR ADJACENT PAVEMENT.
- CONTRACTOR TO NOTIFY SUNSHINE STATE OR CALL OF FLORIDA, INC. AT 1-800-422-4470 TWO-PHASE BUSINESS DAYS PRIOR TO DISCOVER UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONTACT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONTRACTOR SHALL BE REPAIRED AT AN ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY OR DISCREPANCY TO THE OWNER. LANDSCAPE ARCHITECT OF RECORD PRIOR TO STARTING WORK. ANY OVERHEAD POWERLINES, UNDERGROUND UTILITIES, EXISTING TREES, ETC. IN CONFLICT WITH PROPOSED LANDSCAPING, INCLUDING FFI, SHALL BE NOTED IMMEDIATELY TO THE OWNER REPRESENTATIVE OR OTHERWISE, AND TO THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO SUBJECT PLANT MATERIAL INSTALLATION. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT OF RECORD SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND WILL RESULT IN THE CONTRACTOR MOVING OR REPLACING THE PLANT MATERIAL AT THEIR OWN EXPENSE. LARGE MATURING SHADE TREES (THOSE THAT TYPICALLY GROW TO A SPREAD OR HEIGHT GREATER THAN 25 FEET) SHALL NOT BE PLANTED WITHIN 20 FEET OF ANY OTHER LARGE MATURING SHADE TREES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE LANDSCAPE PLAN. CONTRACTOR SHALL NOT WILLFULLY INSTALL PLANT MATERIALS IN CONFLICT WITH EXISTING OR PROPOSED SITE FEATURES.
- ROOT BARRIER SPECIFICATIONS: ROOT BARRIERS SHALL BE PROVIDED FOR WHERE NEW TREES ARE TO BE INSTALLED ADJACENT TO PROPOSED UTILITIES, AS PRESCRIBED HEREIN AND BY THE MANUFACTURER. SEE ROOT BARRIER DETAIL ON THIS SHEET. PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR ROOT CONTROL SYSTEMS. USE PRODUCT WHERE TREES ARE TO BE INSTALLED TEN FEET (10') OR LESS FROM MANUFACTURED BARRIERS ON UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, STAIRS, ROADWAYS, WATER DRAINAGE, ERECTION TRENCH, & BENEATH LINES SHALL BE THAT TYPICALLY NATURE AT 18" HEIGHT OR LESS. ROOT BARRIERS WHERE SMALL TREES ARE INSTALLED SHALL BE INSTALLED TO THE TRUNK PLANE OF EXISTING TREES. ROOT BARRIERS SHALL BE LOCATED GREATER THAN TEN FEET (10') FROM ANY LAWN, WALKWAY, AND/OR UNDERGROUND UTILITIES. DO NOT REQUIRE ROOT BARRIERS WHERE PROPOSED UNDERGROUND UTILITIES ARE TO BE INSTALLED 10 FEET OR GREATER FROM THE TRUNK PLANE OF EXISTING TREES. ROOT BARRIERS ARE NOT REQUIRED WHERE PROPOSED TREES ARE LOCATED ADJACENT TO DRY CURBING. THE USE OF ROOT BARRIERS SHALL BE MANUALLY DETERMINED FROM THE CENTER OF THE TRUNK PLANE TO THE LINEAR FEATURES TO BE PROTECTED FOR SMALL TREES, OR MINIMUM 12" OVERALL LENGTH FROM THE CENTER OF THE TRUNK FOR MEDIUM TO LARGE MATURING SHADE TREES. MINIMUM LENGTH OF ROOT BARRIER PRODUCTS MAY BE INCREASED, BUT NOT DECREASED BASED ON OTHER PLANTING OR ON THE DISCRETION OF THE LANDSCAPE ARCHITECT. IN PLANTING ISLANDS ONLY, THE ROOT BARRIER LENGTH SHALL BE PROVIDED FOR THE FULL LENGTH OF FEATURING LANDSCAPE INDUSTRY. STRUCTURE OR MATERIAL TO BE PROTECTED. ROOT BARRIERS SHALL BE INSTALLED 10" MINIMUM CLEARANCE FROM FEATURES TO BE PROTECTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS. AFTER FINAL GRADE, AREA TO BE RAISED TO 1" DEPTH AND ALL ROCK AND FOREIGN ORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
- ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR IMPROVEMENTS. ALL TRENCHES & EXCAVATION REQUIRED FOR INSTALLATION OF UNDERGROUND UTILITIES OR IRRIGATION EQUIPMENT ADJACENT TO EXISTING TREES & VEGETATION TO BE PRESERVED SHALL BE HAND-DUG CAREFULLY AS FAR FROM THE TRUNK AS POSSIBLE.
- NO PLANTING OF ANY TREE OR PALM WILL BE ACCEPTED. TRUNK FLARE SHALL BE SET 1/2" ABOVE FINISH GRADE FOR ALL TREES & PALMS. ALL PLANTS TO BE PLANTED AT THE NURSERY GRADE OR SLIGHTLY HIGHER.
- CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT PERIOD.
- WATERING FOR GRASS AREAS SHALL BE MIN. 18-24" (12-18" DEPTHS) OF WATER. WATERING SHALL BE PROVIDED FROM A FERTILIZER TO INCLUDE SECONDARY MICROELEMENTS.
- WATERING: ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND AS NEEDED THEREAFTER FOR A PERIOD OF 3 MONTHS.
- ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRINKLING, AND ALL OTHER OPERATIONS (SUCH AS DE, STAKING OR SPRINKLING) TO MAINTAIN A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNATE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS & THIS SECTION. CONTRACTOR AGREES TO PROVIDE A DETAILED ESTIMATE TO THE OWNER OF THE COSTS OF WATERING AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.
- GUARANTEE: ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 15 MPH, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. PALM INSPECTION BY OWNER OR THEREDESIGNEE AT THE END OF THE 1 YEAR GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER ACCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTH, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE, OR AS SPECIFIED BY THE OWNER IN WRITING, BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS.
- NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF SCALE OR OTHER DAMAGE. EQUIPMENT SCARS OR OTHERWISE DAMAGED PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- ROOT PRUNE ALL NEW TREES A MINIMUM OF (90) DAYS PRIOR TO PLANTING.
- ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC RUST FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND MINIMUM 5% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON SUPERVISOR SERVICES AND NOT OVERSPRAY WALKWAYS & ROADWAYS OR DEVICES IS REQUIRED BY LAW & SHALL BE OPERATIONAL TO OVERSEED THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
- ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS (SEE PLAN) SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
- NO CANOPY TREES SHALL BE PLANTED WITHIN 10 FEET OF A LIGHT POLE. NO PALM TREES SHALL BE PLANTED WITHIN 7 FEET OF A LIGHT POLE.
- TREE PROTECTION BARRIERS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, A TREE PROTECTION BARRIER INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRIER FENCING.
- IN ALL PEDESTRIAN AREAS, ALL TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8 FOOT CLEAR TRUNK.
- ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 7 FEET FROM THE FRONT SIDES AND 4 FEET FROM THE BACK ANY FREIGHTWAY.
- MULCH SHALL BE FROM SHREDED WOOD DERIVED FROM NEARLY ALL OTHER WOOD SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND REMOVED FROM BARK. MULCH MATERIAL SHALL BE MOVED AT THE TIME OF APPLICATION TO PREVENT WIND DEPLETION AND APPLIED AT A DEPTH OF THREE INCHES (3"). A MULCH RING 3 FEET IN DIAMETER SHALL BE PROVIDED FOR ALL NEW EXISTING TREES ON SITE AND IN THE SITE WORK AREA. MULCH IS TO BE KEPT 3" FROM THE TRUNK OF ALL TREES & PALMS. MULCH SHALL BE GRADE 5" DEEP AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO EXPRESS MULCH OR THE BARK SHALL BE USED.
- PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS, WHERE DISCREPANCIES EXIST, JURISDICTIONAL CODES, STANDARDS & REGULATIONS SHALL GOVERN.
- ALL ABOVE GROUND EQUIPMENT SHALL BE VISUALLY SCREENED A MIN. OF 5' ABOVE THE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED BLACK.

GENERAL EXISTING TREE NOTES:

- TREE PROTECTION BARRIERS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, A TREE PROTECTION BARRIER INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRIER FENCING DURING PERIODS OF DEVELOPMENT OR CONSTRUCTION. THE AREAS WITHIN THE SHIP LINE OF PRESERVED TREES SHALL BE MAINTAINED AT THE ORIGINAL GRADE WITH PERVIOUS LANDSCAPE MATERIAL. WITHIN THESE AREAS, THERE SHALL BE NO TRESPASSING OR CUTTING OF ROOTS, EXCEPT WHERE NECESSARY DUE TO PROPOSED CONSTRUCTION AND FILL. CONSTRUCTION OR REMOVAL OF SOIL, AND USE OF CONCRETE, PAINT, CHEMICALS, OR OTHER FOREIGN SUBSTANCES.
- ALL ROOT PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN INDICATED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES. NO TREE CANOPY SHALL BE THINNED BY MORE THAN 20%. ALL TREES TO REMAIN WITHIN 10 FEET OF PROPOSED DEVELOPMENT OR PUBLIC ROADWAYS SHALL BE STRUCTURALLY PRUNED. THE BRANCHES OF A TREE EXTENDING OVER THE TRUNK PORTION OF ANY PUBLIC STREET OR ALLEY USED FOR VEHICULAR TRAFFIC SHALL BE THINNED TO THE HEIGHT OF AT LEAST 10 FEET ABOVE THE STREET OR ALLEY. ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE JURISDICTIONAL PRUNING STANDARDS PRIOR TO ANY CONSTRUCTION WORK. TRIMMING SHALL BE:
- ROOT PRUNING: PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF UNDERGROUND UTILITIES WITHIN THE EXISTING CANOPY OR SHADE, ROOT PRUNE ALL TREES TO BE PRESERVED IN THE CONSTRUCTION IMPACT AREA FOR THIS SITE A MINIMUM OF SIX (6) WEEKS PRIOR TO CONSTRUCTION. TRENCHES FOR PROPOSED UTILITIES SHALL BE HAND DUG AS FAR FROM THE TRUNK OF EXISTING TREES TO REMAIN AS POSSIBLE. ALL WORK DONE WITHIN THE CANOPY OF ANY EXISTING TREE TO REMAIN SHALL BE DONE ONLY BY HAND WITH CARE.
- LIQUIDATED DAMAGES: BE ASSESSED TO THE CONTRACTOR FOR TREES SPECIFIED TO BE PRESERVED THAT ARE OR ARE DAMAGED AS A RESULT OF IMPROPER TREE PROTECTION PROCEDURES OR CONSTRUCTION OPERATIONS. TREES KILLED OR DAMAGED SO THAT THEY ARE UNSAVENABLE FOR UNIFORMITY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") UP TO A MAXIMUM OF FIVE HUNDRED DOLLARS (\$500) PER TREE. ANY DAMAGE TO TREES SHALL BE REPAIRED BY THE CONTRACTOR AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- IN ALL VEHICULAR USE AREAS, ALL TREES SHALL BE PRUNED & MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8 FT HEIGHT. EXISTING TREES ADJACENT TO VEHICULAR USE AREAS MAY BE TRIMMED UP TO 13.5 FT ABOVE VEHICULAR USE AREAS.
- ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THE LANDSCAPE DETAILS SHEET.
- ALL INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & EVACUATED FROM THE ENTIRE SITE & ADJACENT RIGHT-OF-WAYS IN PERPETUITY PRIOR TO FINAL LANDSCAPE CERTIFICATION. PERPETUAL MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES THROUGHOUT THE SITE & WITHIN ALL PRESERVATION & RESTORATION AREAS.
- ALL TREES SCHEDULED TO BE REMOVED OR THAT HAVE BEEN PREVIOUSLY REMOVED & HAVE REMAINING STUMPS SHALL BE CUT DOWN, STUMP GROUND, & SHALL HAVE ALL ROOTS REMOVED.
- DURING LAND ALTERATION & CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY, OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DROPLINE OF A TREE TO REMAIN UNLESS OTHERWISE APPROVED BY THE JURISDICTION.
- UNLESS OTHERWISE NOTED, ALL SHRUBS, ACCENT PLANTS, & GROUNDCOVERS SHALL BE REMOVED FROM CONSTRUCTION AREA, EXCEPT NATIVE PLANTS IN PRESERVATION AREAS.
- STABLE & AVAILABLE WELL-DRAINABLE NATIVE SOILS SHALL BE LEAD TO STEP STOODPOOLED. AMENDED IF NECESSARY, & REUSED BENEATH IMPORTED TOPSOILS IN LANDSCAPE AREAS.

- Panels of 0.085" thick polypropylene
- Zipper joining system
- Rounded edges
- 24" depth or as noted
- Anti-lift pads

*Contact the Landscape Division if you propose an equivalent root barrier option.
See General Notes for Root Barrier Installation Specifications

ROOT BARRIER DETAIL

NTS

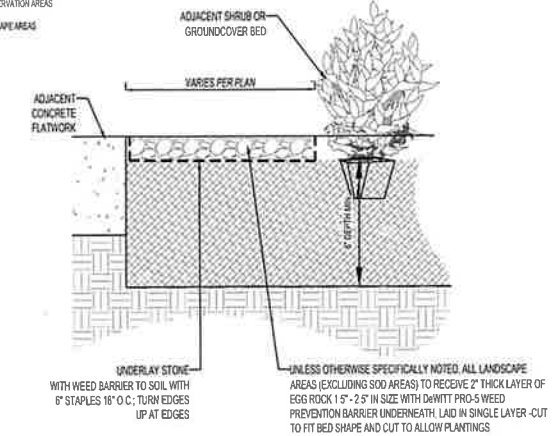
IRRIGATION SCHEDULE FOR NEW TREES BASED ON UF/IFAS ENH857

Trunk diameter of tree	Irrigation schedule for vigor*	Irrigation schedule for survival
4"	Daily for 2 weeks, every other day for 2 months, then weekly until established	Twice weekly for 2-3 months
5" to 6"	Daily for 1 month, every other day for 3 months, then weekly until established	Twice weekly for 3-4 months
Over 6"	Daily for 6 weeks, every other day for 5 months, then weekly until established	Twice weekly for 4-5 months

NOTE: NEWLY PLANTED & RELOCATED TREES SHALL RECEIVE 3 GAL PER CALIPER INCH FOR EACH DAY THAT WATERING IS SCHEDULED PER THE ABOVE CHART, I.E. FOR VIGOR, A 4" TREE SHALL RECEIVE 12 GALLONS OF WATER DAILY FOR 1 MONTH, THEN EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED.

EGG ROCK INSTALLATION DETAIL

NTS



10706 NW 12TH AVE., PLANTATION, FL 33322
RKHGEBRA@ECG.LAND PH: 305.979.7965
WWW.ECG.LAND

REVISIONS / SUBMISSIONS



PHASE:

CLIENT:

BARON GROUP PROPERTIES LLC
810 PINEWOODS WAY
DEERFIELD BEACH, FL 33442

CULVER'S RESTAURANT
1580 S. HIATUS RD.
PEMBROKE PINES, FL 33025

LANDSCAPE DETAILS & NOTES



RYAN J. KING EBRAHIMIAN
LA6667324 ISA FL-10101A

DRAWN BY: RKE
CHECKED BY:
DATE: 2025-06-09

SHEET NUMBER
L-3

DTC-2 DRIVE-THRU CANOPY

PEMBROKE PINES, FL

Drive-Thru Canopy For Order Confirmation System (OCS)

DTC-2

All aluminum construction

Rated for 160 mph winds (3 second burst) & heavy northern states snow loads

Order Confirmation System (OCS) by others

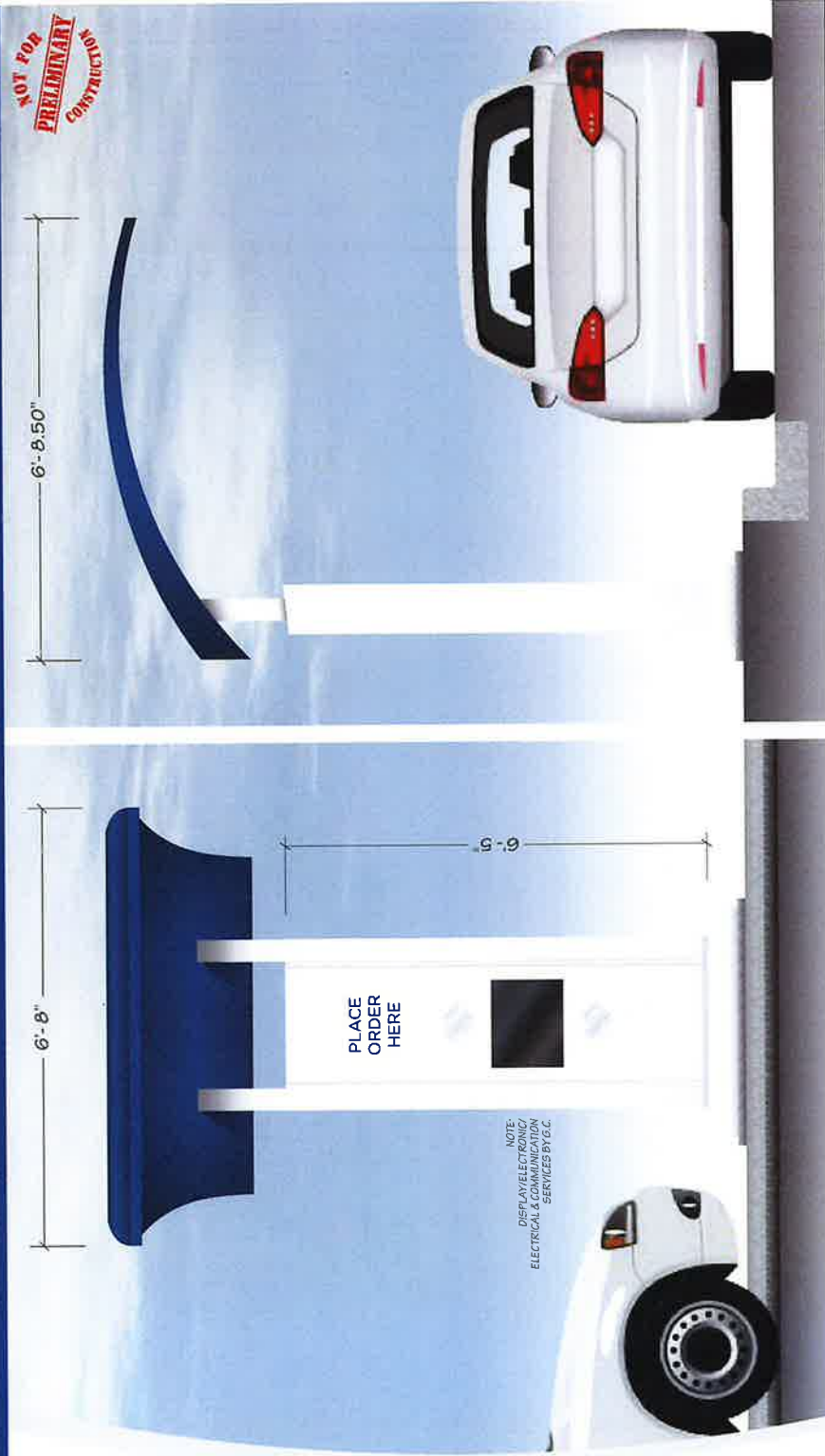
Rear panel (door) access - lockable

Provides protection from rain for DT customer

Houses OCS, speaker & microphone

QTY: 2

Culver's



SCALE: 3/8" = 1"

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

NOTES

DATE CREATED / REVISION HISTORY

4/25/25 - NEW

SALES PERSON:
MARK WESSSELL

DESIGNED BY:
J KROEGER

AD:
61534

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SPRINGFIELD SIGN
www.springfieldsign.com

MENU BOARDS

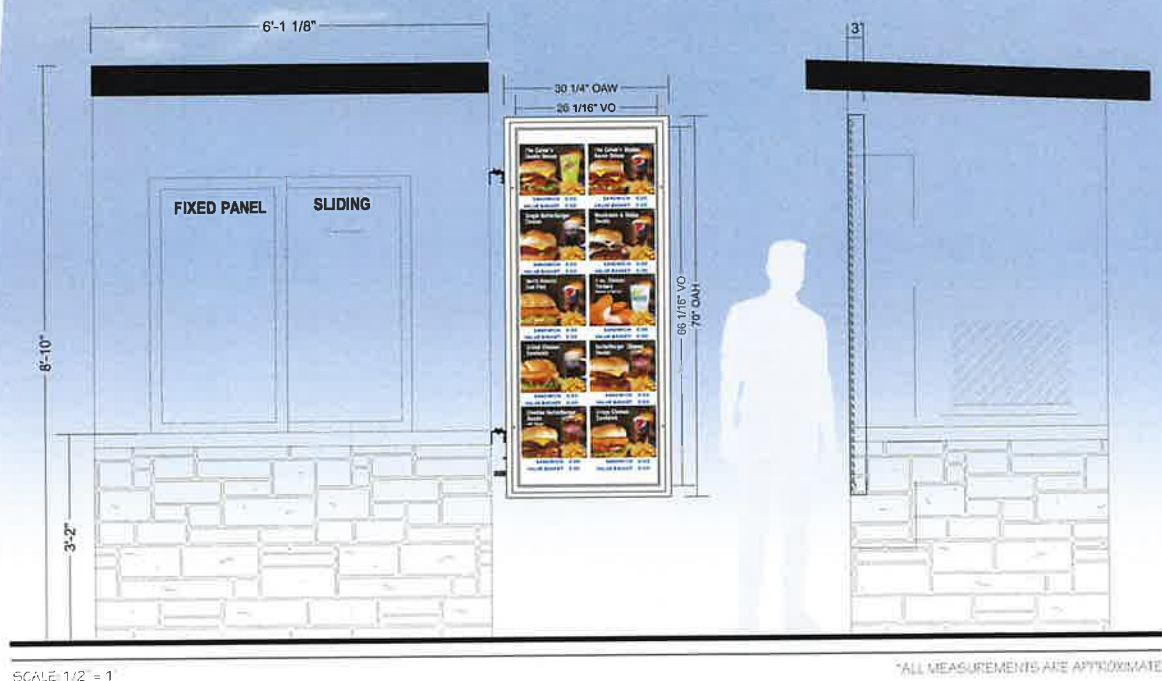
Outdoor Drive-Thru POD Menu Board

POD

Self contained Menu "POD" for outside attendant.

Aluminum construction with stone base to match building and standards.

Structure to be painted per Culver's Standards



Culver's

SIGN & MENU BOARD BRAND STANDARDS

DIR DIRECTIONAL SIGNS

Illuminated Directional Signs

DIR

- All aluminum construction
- LED internal illumination
- Totally self contained lighting
- Routed aluminum face with white acrylic backed copy
- Face removal for service
- Site plans show placement & field orientation
- UL marked product



DIRECTIONAL SIGN 1 DIR-D10-D12

NOT FOR
PRELIMINARY
CONSTRUCTION



SIDE: A



SIDE: B



NOTES

SQUARE FOOTAGE CALCULATIONS:
11.5' X 19.1' = 1.5 SF

SALES PERSON: MARK WESSELL	DESIGNED BY: J KROEGER	AD: 61534
DATE CREATED / REVISION HISTORY		
4/25/25 - NEW		
6/4/25 - Size edit		
6/5/25 - Build edit		

SCALE: 3/4" = 1'
*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
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VHD-1 VEHICLE HEIGHT DETECTOR

PEMBROKE PINES, FL

Vehicle Height Detector for Drive-Thru Lane

VHD-1

All steel (painted) construction

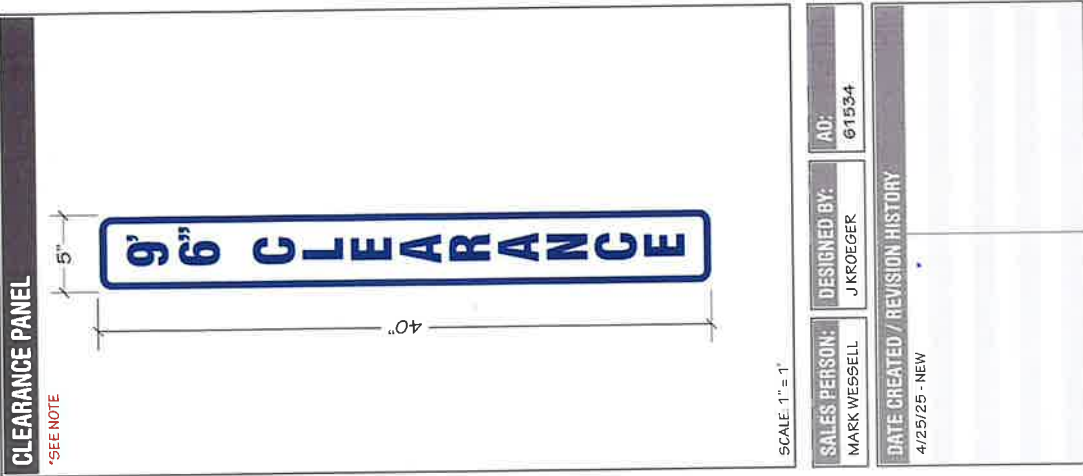
Re-sattable if engaged

Used to help protect canopies from advancing vehicles that are too tall

NOTE: Clearance height must be verified prior to mfg.

QTY: 2

Culver's



*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

SCALE: 3/8" = 1'

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