





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	June 11, 2026	Application ID:	SP 2026-0001
Project:	Walmart Online Pickup and Delivery	Project Number:	PRJ 2026-0001
Project Planner:	Julia Aldridge, Planner / Zoning Technician		
Owner:	Walmart Stores East LP	Agent:	Andrew Lakowski
Location:	151 SW 184 th Avenue	Commission District:	4
Existing Zoning:	PUD (Planned Unit Development)	Existing Land Use:	Commercial
Reference Applications:	SP 97-25, ZV 2002-33, SP 2002-28, MSC 2018-08, MSC 2019-12, ZV 2024-0006, ZV 2025-0004, MSC 2026-0001		
Applicant Request:	+/- 6,749 of existing garden center to be converted to storage space for online pickup and delivery services		
Staff Recommendation:	Approval		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director: 	Assistant Director: 	

Project Description / Background

Andrew Rakowski, agent, is requesting approval to convert 6,749 square feet of the existing Walmart Supercenter garden center to storage space for Online Pickup and Delivery services. The existing Walmart Supercenter building, located at 151 SW 184th Avenue, was approved through SP 97-25.

The proposed project includes associated site improvements consisting of a new sidewalk, restriping of the existing parking lot and directional signage. The proposed site modifications will enable Walmart to serve the customers picking up online orders.

BUILDINGS / STRUCTURES:

The applicant proposes a 16' tall, 6,749 square foot expansion to the southeast corner of the existing Walmart Supercenter garden center. The area will be enclosed and utilized for storage of items for pick-up and delivery operations. The area will not be accessible to customers. Walmart associates will prepare the orders and bring them to designated pick-up areas.

The proposed addition will maintain the architectural theme of the existing building. The following colors and materials are proposed for the addition:

- Main Body: P49E Dark Gray
- Picket Fence and Gate: P36E Black
- Bollards: P5E Safety Yellow
- Aluminum screening for proposed roof-mounted mechanical equipment

PARKING:

Parking lot restriping and associated circulation improvements are proposed directly west of the Online Pickup and Delivery expansion area.

Currently, 714 parking spaces are required on site, and 888 parking spaces are provided, excluding pickup stalls. The 6,749 square foot addition increases required parking to 738 parking spaces. Following the proposed restriping modifications, 891 parking spaces will be provided, resulting in a surplus of 153 parking spaces.

In 2024 through ZV2024-0006, 33 short-term parking spaces were approved for the site. The existing pickup parking spaces are proposed to be relocated to the area directly west of the Online Pickup and Delivery expansion area. Including pickup parking spaces, a total of 924 parking spaces will be provided on site.

SIGNAGE:

The applicant proposes the following signage:

- Six, 1.5 square foot directional pickup signs. Three signs will be located near the southwest parking lot entrance to direct customers toward the Online Pickup and Delivery area. The remaining three signs will be located along the internal circulation route to guide customers to the designated pickup stalls.

The wall signage for the site is regulated through uniform sign plan for the shopping center and will be reviewed and approved through the building permit process. Any wall signage shown is for illustrative purposes only.

LANDSCAPING:

No trees or shrubs are proposed for removal as part of this application.

OTHER SITE FEATURES:

Parking-lot improvements including restriping and a new sidewalk are being proposed in compliance with the Engineering Division standards.

Two new 30-foot-tall light poles with LED area light fixtures will be installed in the parking area west of the Online and Pickup Delivery addition. New LED area light fixtures will also be installed on two existing light poles. Additionally, four wall sconces will be installed on the south building façade: WST LED Architectural Wall Sconce in black.

No other site modifications are being proposed at this time.

STAFF RECOMMENDATION:

Staff has reviewed the proposed changes and find that the proposed changes meet code requirements. Staff therefore recommends approval of this application.

Enclosed:

Site Plan Application
Memo from Engineering Division (06/03/26)
Memo from Planning Division, (06/02/26)
Memo from Landscape Division (04/14/26)
Memo from Planning Division, (04/08/26)
Memo from Engineering Division (02/13/26)
Memo from Planning Division, (02/04/26)
Memo from Landscape Division (02/02/26)
Memo from Fire Prevention Bureau (01/29/26)
Economic Impact Statement
Sustainable Impact Statement
Miscellaneous Plan
Site Aerials



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: 11/13/25

Plans for DRC _____ Planner: Cole Williams

Indicate the type of application you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input checked="" type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - ____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$ _____

SECTION 1-PROJECT INFORMATION:

Project Name: WAL-MART SUPERCENTER #2591-01-RSC

Project Address: 151 SW 184TH AVENUE, PEMBROKE PINES, FL 33029

Location / Shopping Center: Silver Lakes Tract C-4

Acreage of Property: 24.69 AC Building Square Feet: 210,650 SF

Flexibility Zone: N/A Folio Number(s): 5140-19-02-2211 & 5140-19-02-2210

Plat Name: Silver Lakes at Pembroke Pines Phase II Traffic Analysis Zone (TAZ):

Legal Description: SILVER LAKES AT PEMBROKE PINES PHASE II 152-28 B

COMMERCIAL TRACT C4 LESS PORS DESC IN ORS 27442/417,27742/388 AND 27442/301

Has this project been previously submitted? Yes No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval
4/2/03	2002-28	Site Plan	Approval	2003-12	See permit
12/10/04	2003-134	Landscaping	Approval		
12/27/04	2003-129	W&S; P&D	Approval		
12/27/04	2004-045	Sidewalk	Approval		
12/27/04	2004-125	Paving/Striping	Approval		

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Walmart Stores East LP

Owner's Address: PO BOX 8050 Bentonville AR 72712

Owner's Email Address: Casey.Fairchild@walmart.com

Owner's Phone: _____ Owner's Fax: _____

Agent: Langan

Contact Person: Andrew Rakowski

Agent's Address: 13485 Veterans Way Suite 120, Orlando, FL 32827

Agent's Email Address: arakowski@langan.com

Agent's Phone: 407-974-2915 Agent's Fax: _____

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

PROPOSED

Zoning: PUD

Zoning: PUD

Land Use / Density: Commercial

Land Use / Density: Commercial

Use: Retail (Grocery Store)

Use: Retail (Grocery Store)

Plat Name: Silver Lakes Phase II

Plat Name: Silver Lakes Ph. II

Plat Restrictive Note: _____

Plat Restrictive Note: _____

332,800 SF Commercial

332,800 SF Commercial

ADJACENT ZONING

ADJACENT LAND USE PLAN

North: PUD (Across Pines Blvd)

North: C (Across Pines Blvd)

South: PUD

South: L-3

East: PUD

East: L-3

West: B-3 (Across NW 184th Ave)

West: C (Across NW 184th Ave)

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

City Amendment Only

City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

See attached Civil Plans and attachments. The subject site is an existing Walmart Supercenter and the proposed improvements consist of restriping/rework of existing parking and vehicular use configurations to accommodate Online Pickup and Delivery services. Approximately 6,749 SF of the existing garden center will be converted to storage space for the OPD services. The improvements will not result in any changes to existing landscaping and minimal modifications to pavement/impervious areas.

Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: Walmart Stores East LP

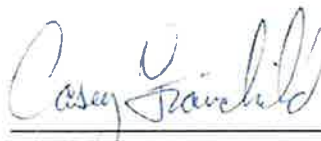
Authorized Representative: Langan

Application Number: _____

Application Request: _____

I, Casey Fairchild (print Applicant/Authorized Representative name), on behalf of Walmart Stores East LP (Applicant), hereby waive the deadlines and/or procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/ or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.



1-5-26

Signature of Applicant or Applicant's
Authorized Representative

Date

Casey Fairchild

Print Name of Applicant/Authorized Representative

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**



DRC REVIEW FORM

June 3, 2026

Project: *WALMART SUPERCENTER - ONLINE PICK-UP BUILDING ADDITION*
City Reference Number: *SP2026-0001*

To: *Julia Aldridge, Planner/Zoning Technician*
Senior Planner, Planning and Economic Development Department

From: *John L. England, P.E., Assistant City Engineer*
Engineering Division/Public Services Department
(954) 518-9046

RECOMMENDATION:

The Engineering Division's DRC 'Comments' have been satisfied, and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed project's site engineering related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the "Engineering Review Queue". The review time clock will start pending receipt of the Plans Review Fee based on an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: June 2, 2026

To: SP

From: Julia Aldridge, Planner / Zoning Technician

Re: SP 2026-0001 (Walmart @ 151 SW 184th Avenue)

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

PLANNING HAS NO COMMENTS REGARDING THIS APPLICATION.

MEMORANDUM
April 14, 2026

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2026-0001) Walmart - Garden Center Expansion Sign-Off

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- 1. All landscape comments have been addressed and satisfied.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
954.392.2100 (Office) • yhall@ppines.com

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: April 8, 2026
To: SP 2026-0001
From: Julia Aldridge, Planner / Zoning Technician / Cole Williams, Senior Planner
Re: Walmart Online Pickup Addition

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide completed public notice affidavit. The project number is PRJ2026-0001 The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>.
The following HOAs are within 500' of the site.
 - Silverlakes, Robert Moses, 6941 SW 196 Avenue, Suite 27 Pembroke Pines, FL 33332, 954-438-6570 ext 220, 954-324-5784 cell, robert@pinespropertymanagement.com
 - Estancia, Joseph Sclafani, 1941 NW 150 Avenue Pembroke Pines, FL 33028, 954-329-6000 X 226, joes@landmarkmgmt.com, Landmark Management Services, Inc.
 - **ONGOING**
2. ~~Update elevations to reflect direction (north or east) rather than "front" or "side". Also, provide South elevation.~~
3. ~~Provide an interior floor plan showing the new layout of the storage area and garden center. Will there be an interconnecting door?~~
4. ~~Provide details of roof. Will the remaining Garden Center roof be attached to the new roof or the existing structure?~~
5. ~~Is any rooftop equipment being proposed? If so, provide details. Equipment shall be shielded and hidden so that they shall not be visible from a point six feet above the ground from any abutting public or private right of way and/or property line.~~
6. ~~Provide letter detailing business operations, hours of operation, drop off / pick up method, etc._____~~
7. Directional signs cannot exceed 1.5 square feet. **Ensure the detail is updated on all pages**
8. Parking signage cannot exceed 1.5 square feet. **Total square footage of the signs on the post exceeds 1.5 square feet**
9. ~~Pickup signs on light poles are not permitted (flag/ pennant signs are prohibited sign types per code section 155.6107).~~
10. Only 4 directional signs were included in the variance approval for this location directional signage allowance. What is the purpose/ justification for the additional directional signs for pickup. **Not addressed. Staff has determined the amount proposed to be excessive.**
11. ~~Building signage will be approved through the building permit process. You may show the signs here for illustrative purposes. Be advised the total signage square footage for wall signs and monument sign cannot exceed 514.56 SF per approved variance for this location.~~

12. Will there be any wall lighting provided? If so, provide all details of fixtures and show location of proposed wall lighting on elevations. **Not shown**
13. Provide details of new light poles. **Not provided**
14. Lighting cannot exceed a maximum of 12 f.c. F.c cannot exceed 0.5 at the property line. **Not addressed. Consider shields to limit light spill.**
15. Clarify CCT level. CCT cannot exceed 4,000k. **Not addressed lighting cannot exceed 4,000k**
- ~~16. Add note to the plans that all lights are angled at 90 degrees and full cutoff.~~
- ~~17. Provide economic impact statement for the proposed development.~~
- ~~18. Provide sustainable impact statement outlining sustainable practices used within the proposed development.~~
19. Provide material board with physical samples of all colors and materials used. **Ongoing**
20. Further comments may apply as more details are provided.
21. Contact Sherrell Jones-Ruff (sjones@cgasolutions.com, 954-628-3725) for information regarding building permits
22. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
23. **Contact me prior to resubmittal 954-392-2100.**

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**

DRC REVIEW FORM



February 13, 2026

**PROJECT: Walmart Supercenter #2591-01-RSC – Online Pick-Up Building Addition
CITY REFERENCE NUMBER: SP2026-0001**

**TO: Cole Williams, AICP, Senior Planner & Julia Aldridge, Planner/Zoning Technician
Planning and Economic Development Department**

**FROM: John L. England, P.E., Assistant City Engineer
Engineering Division, Public Services Department
(954) 518-9046**

COMMENTS:

1. General Comment – Move the ‘Overall Site Plan’ sheet to the front of the plans set to be the first plans sheet for purposes identifying with the overall center the location of the work area reflected in ‘Inset A’ or provide a “Key Map” on each plan sheet depicting the location of ‘Inset A’ work area within the overall center.
2. Paving & Demolition Plan, Sht. DM-1 – Accessible and Standard Parking Spaces must comply with the City’s Engineering Standards R-32, ‘Accessible Parking Space Details’ and R-41, ‘Standard Parking Space Details’. Typical Accessible and Standard Parking Spaces are required by Code and Engineering Standards to be a minimum of 19’ in length with a Wheel Stop placed at 3’ from the front edge of pavement or Type ‘D’ Curb along the front of the parking space/area. For Accessible and Standard Parking Spaces (existing and/or proposed) with flush sidewalk/walkways abutting the front of the parking spaces, Wheel Stops or Vehicular Protective Bollards in accordance with City Standard R-32, Sheet 3 of 4 and R-41, Sheet 2 of 3, must be provided for pedestrian protection.

Existing Bollards along the front of the existing parking spaces with flush sidewalk/walkway along the front of the parking spaces abutting the west side of the existing Outdoor Garden Center area to remain do not conform with the maximum permitted spacing per City Standard R-32, Sheet 3 of 4 and R-41, Sheet 2 of 3.

3. Paving & Demolition Plan, Sht. DM-1– All existing and proposed vehicular and pedestrian traffic sign assemblies and pavement markings within the project limits and the parking access lane abutting the west side of the existing Outdoor Garden Center area to remain must comply with Broward County Traffic Engineering Division (B.C.T.E.D.) and Manual of Uniform Traffic Control Devices (M.T.U.C.D.) standards, as adopted by the city per City Code and as required by City Engineering Standards
4. Paving & Demolition Plan, Sht. DM-1– Pavement markings for the existing Standard and Accessible Parking Spaces abutting the west side of the existing Outdoor Garden Center must be refurbished/restriped to comply with City Standard R-32 and R-41. Pavement markings along the west side of the westernmost Standard Parking Space must be restriped to reflect ‘6” White Edge Lines w/8” White Diagonals at 5’ O.C.’ per City Engineering Standards
5. Paving & Demolition Plan, Sht. DM-1 – Provide for removal of the appropriate section of the existing Type ‘F’ Curg & Gutter to allow for construction of new section of Concrete Sidewalk for connection to the Concrete Sidewalk being constructed under the EV Charging Station project per City Engineering Permit Application APP2025-0149.
6. Overall Site Plan, Sht. C-1 – Correct the permit reference to the previously City Engineering approved “Online Pick-Up Parking Improvements” project to be ENG2025-0019 instead of APP2025-0032.
7. Overall Site Plan, Sht. C-1 – Revise the ‘Limits of the Civil Improvements’ to include the refurbishment/restriping of the existing accessible and standard parking spaces and replacement of the existing bollards with appropriate spaced Vehicular Protective Bollards per City Engineering Standard R-32, Sheet 3 of 4 and R-41, Sheet 2 of 3 for the parking space area abutting the west side of the existing Outdoor Garden Center area to remain.
8. Overall Site Plan, Sht. C-1 – Reflect the attached ‘City Accessibility and Pavement markings and Signage Requirements Notes’ on the plan.
9. Site Plan, Sht. C-1.1 – Pavement markings/striping and associated bollards for the existing standard and accessible parking spaces abutting the west side of the existing Outdoor Garden Center area to remain do not comply with City Code requirements and City Engineering Standards.

Reflect the refurbishment/restriping of the existing accessible and standard parking spaces and replacement of the existing bollards along the front of the parking spaces with the appropriately spaced Vehicular Protective Bollards per City Engineering Standard R-32, Sheet 3 of 4 and R-41, Sheet 2 of 3.

10. Site Plan, Sht. C-1.1 – Accessible Sign Assemblies for the existing accessible parking spaces abutting the west side of the existing Outdoor Garden Center area to remain do not comply

with B.C.T.E.D. standards as adopted by the city per City Code and as required per City Engineering Standards.

Reflect the replacement of the accessible parking space sign assemblies per City Standard R-32, Sheet 3 of 4 and Sheet 4 of 4.

11. Site Plan, Sht. C-1.1 – All ‘Online Pick-Up Parking’ pedestrian crossings are considered to be ‘Mid-Block Crossings’ per B.C.T.E.D. standards and as such are required per City Engineering Standards to have 10’ Wide Special Emphasis Crosswalk markings with an appropriate Pedestrian Crossing Warning Sign Assembly (W11-2, ‘Pedestrian Crossing’ Sign (30”x30”) with W16-7P, Downward Pointing Arrow Plaque (24”x12”)) for each approach to the crosswalk.

Reflect the required 10’ Wide Special Emphasis Crosswalk markings for the three (3) proposed Online Pick-Up Parking pedestrian crossings.

12. Site Plan, Sht. C-1.1 – Provide ‘Concrete Header Curb’ per City Standard R-26 along the existing edge of the pavement for the “Truck Radius” at the southwest corner of the new building addition to address existing pavement deterioration along the limits of this section of the existing pavement and to protect the edge of pavement from further deterioration caused by truck turning movements at this location.
13. Site Plan, Sht. C-1.1 – Provide a ‘Concrete Apron’ per City Standard R-49 around the frame and grate of each of the three (3) existing catch basins located within the green/swale area along the property line from the southwest corner of the new building addition to the southeast corner (rear) of the existing building as required by both South Broward Drainage District (S.B.D.D.) and City Engineering Standards
14. Site Plan, Sht. C-1.1 – Provide “strings” of dimensions across and the proposed angle of the angled parking space area reflected in ‘Inset A’ area and for the proposed Online Parking area to confirm compliance with the minimum dimensional requirements per City Standard R-40.
15. Site Plan, Sht. C-1.1 – Reflect the applicable “clear rectangular area” of 9’ in width by 16’ in length dimensional requirement option for a code compliant standard parking space by way of shading within one (1) of the proposed angled parking spaces for ‘Inset A’ (conversion back to standard parking spaces).

Reflect the applicable “clear rectangular area” 9’ in width by 19’ in length dimensional requirement option for a code compliant standard parking space by way of shading within one (1) of the angled parking spaces for the proposed angled Online Pick-Up Parking area.

16. Site Plan, Sht. C-1.1 – All existing pavement markings and signage noted for removal on the Paving and Demolition Plan, Sheet DM-1, should be deleted from the Site Plan, Sheet C-1.1

to avoid any possible confusion, unless justification for allowing these existing items to remain on the Site Plan is provided for consideration.

17. Site Plan, Sht. C-1.1 – Refer to the ‘Site Legend’ mark-ups for additional additions/changes.
18. Grading and Drainage Plan, Sheet C-2 – Provide data from as-built/survey sources for the existing drainage catch basin and piping system improvements. Note that Drainage As-builts can be obtained from the S.B.D.D. by contacting Michael Garcia at 9954) 680-3337 or by email at ‘Michael@sbdd.org’.
19. Grading and Drainage Plan, Sheet C-2 – Provide Crossing Data for the crossing of the proposed 8” HDPE Roof Drainage Line and the city’s existing 8” water main.
20. Grading and Drainage Plan, Sheet C-2 – If the existing Utility Easement shown running through the footprint of the proposed new building addition has not been previously vacated, then this Utility Easement must be vacated preferably prior to issuance of the building permit for the new building addition.
21. Grading and Drainage Plan, Sheet C-2 – Accurately depict and denote/label on the plan the required Pavement Restoration for installation of the proposed 8” HDPE Roof Drainage Line per City Standard R-38.
22. Utility Plan, Sheet C-3 – Provide Crossing Data for the crossing of the proposed 8” HDPE Roof Drainage Line and the city’s existing 8” water main and Lighting Photometrics for the two (2) proposed Site Lights.
23. Site Details, Sheet D-1v– ‘Operational Signage’ is not typically permitted as part to the Engineering Permit scope of work. A separate permit is typically processed through the building department for operational related signage. Delete all ‘Operation Signage’ related details and notes for the Site Details sheet.
24. Site Details, Sheet D-1 – Revise the ‘Parking Stall 18’ detail’ and the OGP Crosswalk Marking Detail’ per the mark-ups reflected on the details sheet.
25. Site Details, Sheet D-1 – The Site Details sheets are required to include the following attached three (3) B.C.T.E.D. pavement markings and signage related details sheets:
 - ‘Ground Sign Assembly Details’
 - ‘Pavement Marking and Signage Details’
 - ‘Stop Sign and Street Identification Assembly Details’
26. Site Details, Sheet D-2 – Asphalt Wearing Surfaces are required to be SP-9.5 or SP 12.5 or a F.D.O.T. permitted combination of the two with a minimum thickness Limerock Base of 8” per City Engineering Standards.

27. Site Details, Sheet D-2 – City Standards must reflect their entire detail sheet, including the City’s Title Block information to allow for confirmation that the detail is the latest revised version of the detail.
28. Site Details, Sheet D-2 – The following additional City Standards must be reflected on the Site Details sheets:
 - R-32, ‘Accessible Parking Space Details’, Sheet 1, 3 & 4 of 4
 - R-38, ‘Pavement Restoration of Local Roads and Parking Lots’
 - R-41, ‘Standard Parking Space Details’, Sheet 1 & 2 of 3
 - R-44, ‘Typical Trench Backfill’
 - R-49, ‘Concrete Apron Detail’
29. Site Notes, Sheet D-3 – Refer to the sheet mark-ups and/or additions to the Pavement Markings and Traffic Signs and Signals Specifications for required changes/additions.
- 30.
31. Revise the current “Signage, Sign Post and Pavement Marking Details” on the Detail Sheet, Sheet D1.0, to address the various items as marked on the attached ‘Mark-Up’ of the detail sheet. It is recommended that the current “Sign Posts” related detail be replaced by the attached BCTED ‘Ground Mounted Sign Details’ and ‘Stop Sign and Street Identification Assembly Typical Details’ to avoid the need to address the numerous required revisions to the current “Standard Walmart Sign Post Details”.

NOTE: Written ‘Responses’ to all ‘Comments’ must be provided in letter format as part of the DRC resubmittal documentation for continued Engineering DRC review and sign-off.

NOTE that an Engineering Construction Permit is required for construction of the proposed project site-related improvements. Submittal of one (1) signed and sealed hard copy set of the appropriate plans/details sheets along with a digitally signed and sealed PDF set of the same plans/details sheets, Plans Review Fee and Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: February 4, 2026
To: SP 2026-0001
From: Julia Aldridge, Planner / Zoning Technician
Re: Walmart Online Pickup Addition

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide completed public notice affidavit. The project number is PRJ2026-0001 The public notice guide can be found here <https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=>. The following HOAs are within 500' of the site.
 - Silverlakes, Robert Moses, 6941 SW 196 Avenue, Suite 27 Pembroke Pines, FL 33332, 954-438-6570 ext 220, 954-324-5784 cell, robert@pinespropertymanagement.com
 - Estancia, Joseph Sclafani, 1941 NW 150 Avenue Pembroke Pines, FL 33028, 954-329-6000 X 226, joes@landmarkmgmt.com, Landmark Management Services, Inc.
2. Update elevations to reflect direction (north or east) rather than "front" or "side". Also, provide South elevation.
3. Provide an interior floor plan showing the new layout of the storage area and garden center. Will there be an interconnecting door?
4. Provide details of roof. Will the remaining Garden Center roof be attached to the new roof or the existing structure?
5. Is any rooftop equipment being proposed? If so, provide details. Equipment shall be shielded and hidden so that they shall not be visible from a point six feet above the ground from any abutting public or private right- of-way and/or property line.
6. Provide letter detailing business operations, hours of operation, drop off / pick up method, etc.
7. Directional signs cannot exceed 1.5 square feet.
8. Parking signage cannot exceed 1.5 square feet.
9. Pickup signs on light poles are not permitted (flag/ pennant signs are prohibited sign types per code section 155.6107).
10. Only 4 directional signs were included in the variance approval for this location directional signage allowance. What is the purpose/ justification for the additional directional signs for pickup.
11. Building signage will be approved through the building permit process. You may show the signs here for illustrative purposes. Be advised the total signage square footage for wall signs and monument sign cannot exceed 514.56 SF per approved variance for this location.
12. Will there be any wall lighting provided? If so, provide all details of fixtures and show location of proposed wall lighting on elevations.
13. Provide details of new light poles.
14. Lighting cannot exceed a maximum of 12 f.c. F.c cannot exceed 0.5 at the property line.

15. Clarify CCT level. CCT cannot exceed 4,000k.
16. Add note to the plans that all lights are angled at 90 degrees and full cutoff.
17. Provide economic impact statement for the proposed development.
18. Provide sustainable impact statement outlining sustainable practices used within the proposed development.
19. Provide material board with physical samples of all colors and materials used.
20. Further comments may apply as more details are provided.
21. Contact Sherrell Jones-Ruff (sjones@cgasolutions.com, 954-628-3725) or Tomika Hester (thester@cgasolutions.com, 954-628-3726) for information regarding building permits
22. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
23. **Contact me prior to resubmittal 954-392-2100.**

MEMORANDUM
February 2, 2026

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2026-0001) Walmart - Garden Center Expansion v1

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- 1. Existing landscape materials are located near the proposed expansion area, striping project, and pick-up area signage improvements. Please confirm whether any existing trees, palms, or shrubs will be impacted by the proposed scope of work. If impacts are anticipated, provide supporting documentation and updated drawings for staff review.**
- 2. Staff will conduct a formal site visit to verify existing landscape conditions throughout the site against the previously approved landscape plans. Additional comments may be provided during the next resubmittal cycle.**
- 3. Additional comments may apply, based on responses provided by the applicant.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
954.392.2100 (Office) • yhall@ppines.com



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: **Wal-mart Supercenter**
REFERENCE #: SP 2026 – 001
DATE REVIEWED: 1/29/2026

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THIS REVIEW.



814 Respect Drive
Bentonville, AR 72716

2/25/2026

To Whom It May Concern,

I am writing to provide an overview of business operations as it relates to Pembroke Pines Walmart pickup and online delivery services. As part of our commitment to transparency and community partnership, we want to ensure the city is informed about our processes and the benefits they bring to local residents.

Economic Impact:

Walmart Stores Inc. operates a retail location at 151 SW 184th Ave, Pembroke Pines, FL and provides customers with an option to pick up their orders at the store or have them delivered to their home. Customers can place orders through our website or mobile app and choose either curbside pickup or home delivery. Our goal is to provide convenient and efficient shopping options for the community.

Pickup Operations:

- Customers place orders online and select a pickup time
- Our associates prepare the orders and bring them to designated pickup areas
- Customers remain in their vehicles while associates load their orders

Online Delivery Operations:

- Orders are placed online and fulfilled by associates
- Deliveries are made by drivers following local regulations and safety protocols
- Walmart strives to ensure timely and accurate deliveries to our customers' homes

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Estes", written over a white background.

Michael Estes

Sr Construction & Project Manager

Walmart Stores, Inc.



814 Respect Drive
Bentonville, AR 72716

2/25/2026

To Whom It May Concern,

I am writing to provide an overview of the economic impact related to a building expansion that intends to enhance pickup and online delivery services at the Pembroke Pines Walmart. As part of our commitment to transparency and community partnership, we want to ensure the city is informed about our processes and the benefits they bring to local residents.

Economic Impact:

The Walmart Pickup Expansion is expected to provide economic benefit to the city of Pembroke Pines, including:

- Job Retention & Creation:
- The expansion supports existing store employment while creating additional jobs related to order fulfillment, customer service, and logistics operations.
- Increased Tax Revenue:
- Improved pickup capacity enhances sales, contributing to increased sales tax revenue for the city.
- Traffic & Service Efficiency:
- By optimizing pickup operations, customer dwell time is reduced, supporting smoother site circulation and customer experience.

The pickup expansion is a strategic investment and demonstrates Walmart's commitment to the city of Pembroke Pines.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Estes".

Michael Estes

Sr Construction & Project Manager

Walmart Stores, Inc.



814 Respect Drive
Bentonville, AR 72716

2/25/2026

To Whom It May Concern,

I am writing to provide an overview of the sustainable impact related to a building expansion that intends to enhance pickup and online delivery services at the Pembroke Pines Walmart. As part of our commitment to transparency and community partnership, I want to ensure the city is informed about our processes and the benefits they bring to local residents.

Sustainability Impact:

The proposed expansion aligns with Walmart's sustainability goals and supports the city's interest in responsible development. Potential examples include:

- Efficient Inventory Management:
- Larger dedicated spaces allow for better inventory control, reducing food waste through improved forecasting and storage conditions.
- Reduced Vehicle Emissions:
- Consolidated pickup orders reduce the number of individual shopping trips, helping to lower overall vehicle emissions associated with retail activity.
- Operational Efficiency:
- Pickup operations streamline order fulfillment, reducing energy consumption per transaction compared to traditional in-store shopping patterns.
- Support for Long-Term Sustainable Goals:
- The expansion supports Walmart's broader initiatives to improve energy efficiency, reduce waste, and promote more sustainable retail operations.

Walmart is excited about the potential to partner with the city of Pembroke Pines to support sustainability efforts and enhance customer experience for its residents.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Estes".

Michael Estes

Sr Construction & Project Manager

Walmart Stores, Inc.

PROPOSED EXPANSION FOR WAL-MART SUPERCENTER #2591-1018

151 SW 184TH AVENUE
CITY OF PEMBROKE PINES
BROWARD COUNTY, FLORIDA

PARCEL ID NO. 5140-19-02-2211 & 5140-19-02-2210

UTILITY RESPONSIBILITY MATRIX FOR THIS PROJECT

UTILITY/ GOVERNING AGENCY CONTACTS	CONTRACTOR RESPONSIBILITY	OTHERS RESPONSIBILITY
SANITARY SEWER UTILITY CITY OF PEMBROKE PINES UTILITY DEPARTMENT 8300 SOUTH PALM DRIVE PEMBROKE PINES, FL 33025 DIRECTOR: TIMOTHY A. WELCH, P.E. PHONE: (954) 518-9060	-PROVIDE AND INSTALL SANITARY SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -ALL PUBLIC AND PRIVATE SANITARY SEWER LINES SHALL BE PVC AND RATED SDP 26 -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND CITY OF PEMBROKE PINES DEPARTMENT OF PUBLIC WORKS. SEE UTILITY PLAN FOR REQUIREMENTS.	
WATER UTILITY CITY OF PEMBROKE PINES UTILITY DEPARTMENT 8300 SOUTH PALM DRIVE PEMBROKE PINES, FL 33025 DIRECTOR: TIMOTHY A. WELCH, P.E. PHONE: (954) 518-9060	-PROVIDE AND INSTALL ALL WATER MAINS AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -ALL PUBLIC AND PRIVATE WATER MAINS SHALL BE C-900 PVC, DR14 CLASS 200 -ALL PORTIONS OF THE FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR -ALL PORTIONS OF OTHER NON FIRE PROTECTION RELATED LINES MAY BE INSTALLED BY THE PLUMBING CONTRACTOR -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND CITY OF PEMBROKE PINES DEPARTMENT OF PUBLIC WORKS. SEE UTILITY PLAN FOR REQUIREMENTS.	
STORM SEWER SOUTH FLORIDA WATER MANAGEMENT DISTRICT BIG CYPRESS BASIN SERVICE CENTER 2660 HORSESHOE DRIVE NORTH NAPLES, FL 34104 CONTACT: JULIO TEJADA PHONE: (954) 452-4814 EXT. 4989	-PROVIDE AND INSTALL ALL STORM SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -REFER TO GRADING PLAN FOR INFORMATION ON ALLOWABLE STORM SEWER MATERIALS	

THIS MATRIX HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL PROVIDE ANY AND ALL APPURTENANCES, TRENCHING AND BACKFILL, AND OTHER INCIDENTALS TO MEET OR EXCEED THE SPECIFICATIONS OF THE ITEMS LISTED.

GOVERNING AGENCIES CONTACTS:

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
DIVISION OF WATER RESOURCE MANAGEMENT - NPDES
DEPARTMENT OF WATER RESOURCE MANAGEMENT
2600 BLAIR STONE ROAD M.S. 3500
TALLAHASSEE, FLORIDA, 32399
PHONE: (850) 245-8336

SOUTH FLORIDA WATER MANAGEMENT DISTRICT
HEADQUARTERS
3301 GUN CLUB ROAD
WEST PALM BEACH, FLORIDA 33406
PHONE: (561) 680-8800

CITY OF PEMBROKE PINES PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT
CHARLES F. DODGE CITY CENTER
601 CITY CENTER WAY, 3RD FLOOR
PEMBROKE PINES, FLORIDA 33025
PHONE: (954) 392-2100

CITY OF PEMBROKE PINES UTILITY DEPARTMENT
SENATOR HOWARD C. FORMAN CAMPUS
8300 SOUTH PALM DRIVE
PEMBROKE PINES, FL 33025
PHONE: (954) 518-9060

FLORIDA DEPARTMENT OF TRANSPORTATION
DEPARTMENT OF TRANSPORTATION
3400 WEST COMMERCIAL BOULEVARD
FORT LAUDERDALE, FLORIDA, 33309
PHONE: (866) 366-8435

SOUTH BROWARD DRAINAGE DISTRICT
6501 SW 160TH AVENUE
SOUTHWEST RANCHES, FLORIDA 33351
PHONE: (954) 680-3337
CONTACT: KEVIN HART, PE
(954) 557-4386

CIVIL ENGINEER, GEOTECHNICAL ENGINEER & LANDSCAPE ARCHITECT

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC.
13485 VETERANS WAY, SUITE 120
ORLANDO, FLORIDA, 32827
PHONE: (407) 974-2900

SURVEYOR

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
PHONE: (954) 572-1777
CONTACT: JOHN F. PULICE

GOVERNING STANDARDS

FDOT STANDARDS FOR ROAD CONSTRUCTION LATEST EDITION FY 2025-2026

CITY OF PEMBROKE PINES LAND DEVELOPMENT CODE, AMENDED JUNE 18, 2024 (ORD. NO. 2022)



SITE LOCATION MAP

1" = 1000'

ALERT TO CONTRACTOR:

- THE SITEWORK FOR THE WAL-MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE WAL-MART STANDARD SITEWORK SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SHEET INDEX

- C-0 COVER SHEET
- C-1 OVERALL SITE PLAN
- SW-1 EROSION & SEDIMENT CONTROL NOTES
- SW-2 EROSION & SEDIMENT CONTROL PLAN
- SW-3 EROSION & SEDIMENT CONTROL DETAILS
- SW-4 EROSION & SEDIMENT CONTROL DETAILS
- DM-1 PAVING & DEMOLITION PLAN
- C-1.1 SITE PLAN
- OPD-1 WAY FINDING & SIGNAGE PLAN
- C-2 GRADING & DRAINAGE PLAN
- C-3 UTILITY PLAN
- D-1 SITE DETAILS
- D-2 SITE DETAILS
- D-3 SITE DETAILS
- D-4 SITE DETAILS
- D-5 SITE NOTES
- D-6 SITE NOTES

CONTRACTOR SHALL CONTACT
811 FOR LOCATION OF ALL
UTILITIES, AT LEAST 72 HOURS
PRIOR TO BEGINNING
CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

COVER SHEET

REVISIONS	BY
REVISED FOR CITY OF PEMBROKE PINES PLANNING AND ECONOMIC DEVELOPMENT	1
REVISED PER CITY OF PEMBROKE PINES PLANNING AND ECONOMIC DEVELOPMENT	2

LANGAN
Langan Engineering and Environmental Services, LLC
13485 Veterans Way, Suite 120
Orlando, FL 32827
T: 407.974.2900 F: 407.874.2901 www.langan.com

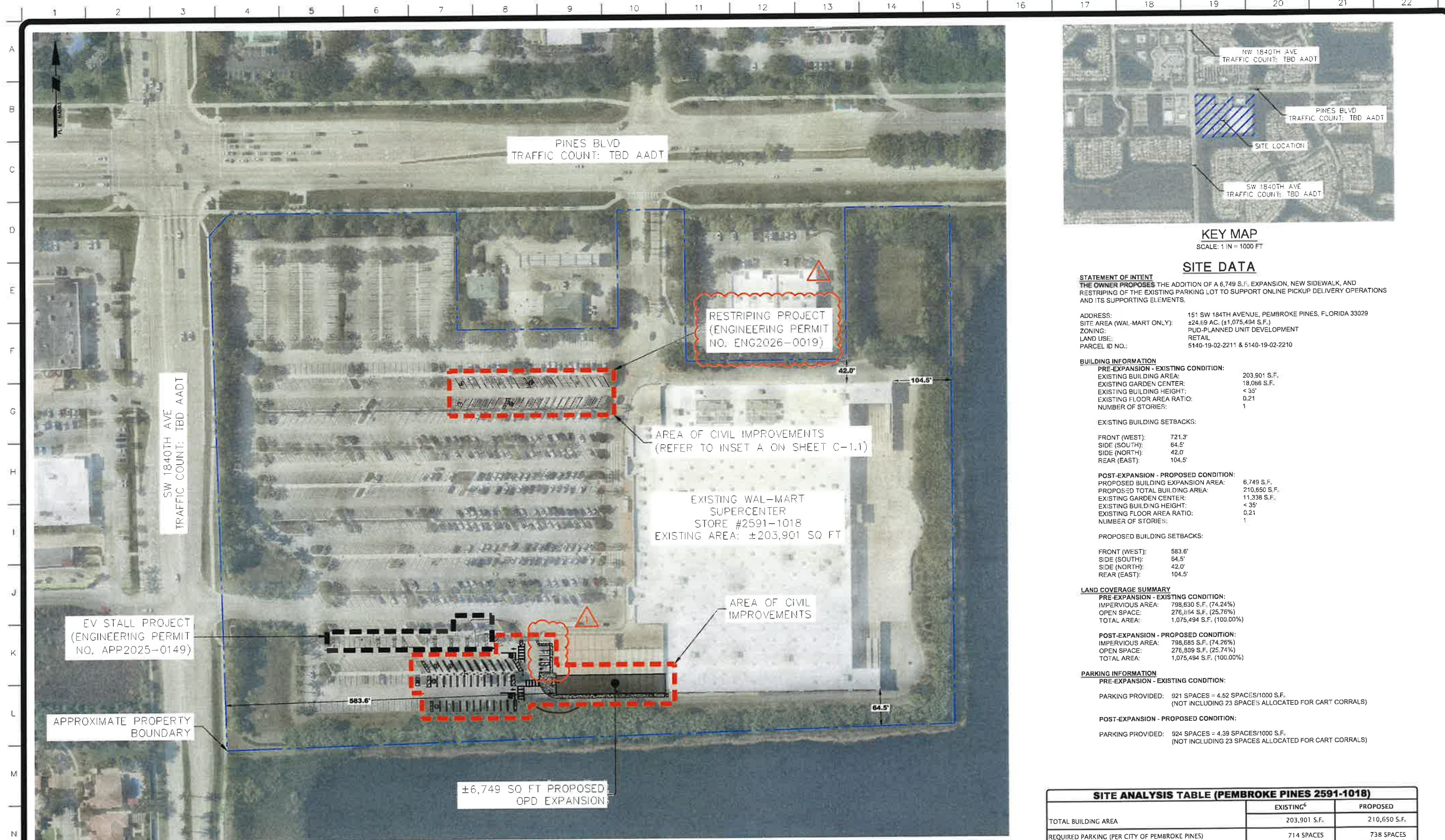


SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DESIGN	DOP/ALC/JVC
CHECKED	JAY
DATE	03/17/2025
SCALE	AS NOTED
JOB NO.	242048701
SHEET	C-0

C-0



KEY MAP
SCALE: 1 IN = 1000 FT

SITE DATA

STATEMENT OF INTENT
THE OWNER PROPOSES THE ADDITION OF A 6,749 S.F. EXPANSION, NEW SIDEWALK, AND RESTRIPING OF THE EXISTING PARKING LOT TO SUPPORT ONLINE PICKUP DELIVERY OPERATIONS AND ITS SUPPORTING ELEMENTS.

ADDRESS: 151 SW 184TH AVENUE, PEMBROKE PINES, FLORIDA 33029
 SITE AREA (WAL-MART ONLY): 224.69 AC. (±1,075,494 S.F.)
 ZONING: PUD-PLANNED UNIT DEVELOPMENT
 LAND USE: RETAIL
 PARCEL ID NO.: 5140-19-02-2211 & 5140-19-02-2210

BUILDING INFORMATION

PRE-EXPANSION - EXISTING CONDITION:
 EXISTING BUILDING AREA: 203,901 S.F.
 EXISTING GARDEN CENTER: 18,086 S.F.
 EXISTING BUILDING HEIGHT: < 35'
 EXISTING FLOOR AREA RATIO: 0.21
 NUMBER OF STORIES: 1

EXISTING BUILDING SETBACKS:

FRONT (WEST): 721.3'
 SIDE (SOUTH): 64.5'
 SIDE (NORTH): 42.0'
 REAR (EAST): 104.5'

POST-EXPANSION - PROPOSED CONDITION:

PROPOSED BUILDING EXPANSION AREA: 6,749 S.F.
 PROPOSED TOTAL BUILDING AREA: 210,650 S.F.
 EXISTING GARDEN CENTER: 11,338 S.F.
 EXISTING BUILDING HEIGHT: < 35'
 EXISTING FLOOR AREA RATIO: 0.21
 NUMBER OF STORIES: 1

PROPOSED BUILDING SETBACKS:

FRONT (WEST): 583.6'
 SIDE (SOUTH): 64.5'
 SIDE (NORTH): 42.0'
 REAR (EAST): 104.5'

LAND COVERAGE SUMMARY

PRE-EXPANSION - EXISTING CONDITION:
 IMPERVIOUS AREA: 798,630 S.F. (74.24%)
 OPEN SPACE: 276,864 S.F. (25.76%)
 TOTAL AREA: 1,075,494 S.F. (100.00%)

POST-EXPANSION - PROPOSED CONDITION:
 IMPERVIOUS AREA: 798,685 S.F. (74.26%)
 OPEN SPACE: 276,809 S.F. (25.74%)
 TOTAL AREA: 1,075,494 S.F. (100.00%)

PARKING INFORMATION

PRE-EXPANSION - EXISTING CONDITION:

PARKING PROVIDED: 921 SPACES = 4.52 SPACES/1,000 S.F.
 (NOT INCLUDING 23 SPACES ALLOCATED FOR CART CORRALS)

POST-EXPANSION - PROPOSED CONDITION:

PARKING PROVIDED: 924 SPACES = 4.39 SPACES/1,000 S.F.
 (NOT INCLUDING 23 SPACES ALLOCATED FOR CART CORRALS)

SITE ANALYSIS TABLE (PEMBROKE PINES 2591-1018)		
	EXISTING ⁵	PROPOSED
TOTAL BUILDING AREA	203,901 S.F.	210,650 S.F.
REQUIRED PARKING (PER CITY OF PEMBROKE PINES)	714 SPACES	738 SPACES
REQUIRED PARKING RATIO (PER CITY OF PEMBROKE PINES)	3.50/1,000 S.F.	3.50/1,000 S.F.
REQUIRED PARKING (PER FCR/CC&R)	816 SPACES	843 SPACES
REQUIRED PARKING RATIO (PER FCR/CC&R)	4.00/1,000 S.F.	4.00/1,000 S.F.
CUSTOMER AND ASSOCIATE PARKING	856 SPACES	859 SPACES
ACCESSIBLE PARKING	20 SPACES	20 SPACES
EV PARKING	12 SPACES	12 SPACES
PICKUP PARKING	33 SPACES	33 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	23 CORRALS	23 CORRALS
TOTAL PARKING EXCLUDING PICKUP STALLS	888 SPACES	891 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	4.32/1,000 S.F.	4.23/1,000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	921 SPACES	924 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	4.48/1,000 S.F.	4.39/1,000 S.F.

DEVELOPER/OWNER:
 WAL-MART STORES EAST LP
 c/o WALMART PROPERTY
 TAX DEPARTMENT
 PO BOX 8050 MS 0555
 BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

NOTE TO CONTRACTOR
 ALL SIGNAGE STRIPING AND PAVEMENT MARKINGS MUST COMPLY WITH THE 'CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES' SHOWN ON SHEET D-5 - SITE NOTES OF THIS SET

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

NOTE:
 1. GROSS FLOOR AREA IS PER ARCHITECTURAL PLANS PROVIDED BY CPH CORP (YUAN LIEN) AND CONFIRMED BY AOR ON 31 OCTOBER 2025.
 2. EXISTING PARKING COUNTS ARE BASED ON SITE VISIT CONDUCTED BY LANGAN ON 28 OCTOBER 2025.
 3. PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.
 4. PARKING MINIMUM REQUIREMENT BASED ON CITY OF PEMBROKE PINES LDC ARTICLE 6 TABLE 155.605.
 5. THE SUBJECT PROPERTY IS COMMERCIAL TRACT C-4 AS SHOWN ON BROWARD COUNTY PLAT BOOK 152 PAGE 28. IN ACCORDANCE WITH RESTRICTIONS ON THE PLAT, TRACTS C-4, C-5 AND C-6 ARE RESTRICTED TO A TOTAL OF 332,800 SF OF COMMERCIAL USE. AS VERIFIED WITH BROWARD COUNTY (NATALY MIGUEZ) ON NOVEMBER 21, 2025, THE GARDEN CENTER IS INCLUDED IN THE SQUARE FOOTAGE ALLOCATION OF THE SITE TOWARDS REQUIREMENTS OF THE PLAT, AS THE PROPOSED IMPROVEMENTS ARE COMPLETELY LOCATED WITHIN THE AREA OF THE GARDEN CENTER, THERE WILL BE NOT NET CHANGE TO THE CURRENT SQUARE FOOTAGE OF THE SITE TOWARDS PLAT REQUIREMENTS.
 6. EXISTING CONDITIONS REFLECT THE COMPLETION OF AN EV STALL PROJECT (ENGINEERING PERMIT NO. APP2025-0149) AND RESTRIPING PROJECT (ENGINEERING PERMIT NO. APP2025-0032), BOTH OF WHICH HAVE NOT BEEN COMPLETED AS OF 7 JANUARY 2026. LINE WORK ASSOCIATED WITH THE EV STALL PROJECT PROVIDED BY BOWMAN ON 13 NOVEMBER 2025. LINE WORK ASSOCIATED WITH THE RESTRIPING PROJECT WAS PROVIDED BY BOWMAN ON PLANS LAST DATED 17 NOVEMBER 2025.

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

REVISIONS	BY
REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS	1
REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS	2

LANGAN
 Langan Engineering and Environmental Services, LLC
 14885 Westwood Way, Suite 120
 Orlando, FL 32827
 T: 407.874.2900 F: 407.874.2901 www.langan.com

SUPERCENTER #2591-1018
 CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
 WALMART INC.
 81 RESPECT DRIVE
 BENTONVILLE, AR 72716



DRAWN	CHECKED	DATE	SCALE	AS NOTED	SHEET
DDP/LC/JVC		03/17/2028			

OVERALL SITE PLAN

C-1

GENERAL NOTES

A. PROJECT OFFICE WALL SWPPP POSTINGS:

THE FOLLOWING ITEMS MUST BE POSTED TOGETHER IN A SINGLE, ORGANIZED LOCATION ON A WALL INSIDE THE PROJECT OFFICE: 1) SWPPP SITE MAPS (ALL PHASES); 2) SWPPP DETAIL SHEETS; 3) MAP SHOWING LOCATION OF OFFSITE IMPORT OR EXPORT FACILITY; 4) REVISIONS TO DETAILS, SITE MAPS, OR SWPPP-RELATED RFIS; 5) SITE SWPPP BINDER; 6) SWCT PLACARD; 7) CURRENT OWNER STORMWATER COMPLIANCE TRAINING CERTIFICATES FOR SUPERINTENDENT(S) AND COMPLIANCE OFFICER(S); AND 8) CERTIFICATIONS AND/OR TRAINING CERTIFICATES REQUIRED TO PERFORM INSPECTIONS BY THE APPLICABLE CONSTRUCTION GENERAL PERMIT OR AUTHORITY HAVING JURISDICTION.

NPDES STORMWATER NOTICES CENTER, MS #2510 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-240.

B. PERMITTED PROJECT AREA:

FOR PURPOSES OF THIS SWPPP AND ASSOCIATED STORMWATER PERMIT, 'PERMITTED PROJECT AREA' IS DEFINED AS ANY AND ALL AREAS WITHIN THE PROJECT LIMITS OF DISTURBANCE, AS SHOWN ON THE SWPPP SITE MAPS AND IDENTIFIED IN THE NOTICE OF INTENT TO THE AGENCY. ALL GROUND-DISTURBING AND CONSTRUCTION-RELATED ACTIVITIES (MATERIAL STORAGE, DUMPSTERS, PARKING AREAS, PROJECT OFFICE TRAILER, ETC.) MUST BE INCLUDED WITHIN THE PERMITTED PROJECT AREA LIMITS OF DISTURBANCE.

OFFSITE AREA(S) TO BE DISTURBED AS PART OF THIS PROJECT (NOT ON OWNER PROPERTY): (EDITOR NOTE: DESCRIBE ANY WORK, CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE, WHICH EXTENDS OR MAY EXTEND BEYOND THE OWNER'S PROPERTY BOUNDARY [ROAD WORK, UTILITY IMPROVEMENTS, WETLAND MITIGATION, REGIONAL STORMWATER BASIN(S), ETC.]).

ALL AREAS OUTSIDE THE PERMITTED PROJECT AREA (I.E., LIMITS OF DISTURBANCE) ACQUIRED FOR USE BY THE GC OR A SUBCONTRACTOR OF THE GC (BORROW SOURCES, DISPOSAL AREAS, ETC.) MUST BE MANAGED IN ACCORDANCE WITH APPENDIX E - TAB 21 OF THE 02370 SPECIFICATION. THE CONTRACTOR IS REQUIRED TO LOCATE OFFICE TRAILERS AND MATERIAL STORAGE AREAS FOR THE PROJECT WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR MAY REQUEST USE OF OFF-SITE LOCATIONS FOR OFFICE TRAILERS OR NON-ERODIBLE MATERIAL STORAGE; HOWEVER, APPROVAL MUST BE OBTAINED FROM THE CONSTRUCTION MANAGER, THE CEC AND THE WAL-MART SWCT PRIOR TO THEIR USE. REQUESTS WILL BE REVIEWED ON A CASE BY CASE BASIS AND IF APPROVED, LIMITATIONS ON USE WILL BE PROVIDED BY THE CEC.

C. SPECIAL PROJECT AREAS:

THERE ARE NO SPECIAL PROJECTS, LOCATED BEYOND THE OWNER PERMITTED PROJECT AREA, REQUIRING INSPECTION AND MAINTENANCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT.

D.1 NON-STORMWATER DISCHARGES:

THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBITS MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT, ARE INCLUDED IN "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 62-621.300(4)(B)).

BEST MANAGEMENT PRACTICES (BMPs) MUST BE IMPLEMENTED FOR THE GENERAL PERMIT ALLOWABLE DISCHARGES FOR THE DURATION OF THE PERMIT. THE TECHNIQUES DESCRIBED IN THIS SWPPP FOCUS ON PROVIDING CONTROL OF POLLUTANT DISCHARGES WITH PRACTICAL APPROACHES THAT UTILIZE READILY AVAILABLE EXPERTISE, MATERIAL, AND EQUIPMENT.

NON-STORMWATER COMPONENTS OF SITE DISCHARGES MUST BE UNCONTAMINATED NON-TURBID WATER. ALL NON-STORMWATER DISCHARGES MUST BE ROUTED TO A STORMWATER CONTROL PRIOR TO DISCHARGE. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE; IT CAN BE RETAINED IN RETENTION PONDS UNTIL IT INFILTRATES OR EVAPORATES. WHEN NON-STORMWATER IS DISCHARGED FROM THE SITE, IT MUST BE DONE IN A MANNER SUCH THAT IT DOES NOT CAUSE EROSION OF THE SOIL DURING DISCHARGE.

D.2 POWER WASHING:

PROCESS WATER SUCH AS POWER WASHING WATER AND CONCRETE CUTTING EFFLUENT, AMONG OTHERS, MUST BE COLLECTED FOR TREATMENT AND DISPOSAL. IT MUST NOT BE FLUSHED INTO THE SITE STORM DRAIN SYSTEM OR DISCHARGED OFF-SITE.

D. DISCHARGE POINTS:

ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENTATION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE AND/OR IMPACTS TO RECEIVING WATERS. SEDIMENT ACCUMULATION DOWNGRADIENT OF DISCHARGE LOCATIONS SHALL BE REPORTED AS A SEDIMENT DISCHARGE (SEE APPENDIX E - TAB 14, SEDIMENT RELEASES, OF THE 02370 SPECIFICATION) AND THE POTENTIAL UPSTREAM CAUSE SHALL BE INVESTIGATED TO PREVENT FUTURE OCCURRENCE. CONTACT THE CM, CEC AND SWCT TO DETERMINE APPROPRIATE ACTION FOR CLEANUP OF DISCHARGED SEDIMENT THAT MAY BE OUTSIDE OF THE LIMITS OF DISTURBANCE. SEE SAMPLING AND MONITORING OF EFFLUENT PLAN (IF APPLICABLE).

HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABEL DIRECTIONS. FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND, AT A MINIMUM, ACCORDING TO 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

MATERIAL SAFETY DATA SHEETS (MSDS) INFORMATION SHALL BE KEPT ON SITE FOR ANY AND ALL APPLICABLE MATERIALS. HOWEVER, MSDS MAY ALSO BE ACCESSED VIA TELEPHONE OR OTHER ELECTRONIC MEANS OR APPARATUS.

IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE GC TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.

ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, SHALL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS.

THE GC SHALL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICHEVER IS LESS, ON THE DAY OF THE SPILL. THE GC SHALL PROVIDE NOTICE TO OWNER, VIA THE ONLINE CRITICAL INCIDENT REPORT, IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL. SPILL REPORT FORMS ARE AVAILABLE IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER. COPIES OF SPILL CRITICAL INCIDENT REPORTS SHALL BE PRINTED AND MAINTAINED IN THE JOBSITE BINDER.

ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802) AND NPDES STORMWATER NOTICES CENTER, MS #2510 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-2400.

THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS: 25 GALLONS. IMMEDIATELY CONTACT THE STATE WATCH OFFICE BY PHONE AT 1-800-320-0519.

THE REPORTABLE QUANTITY FOR HAZARDOUS MATERIALS CAN BE FOUND IN 40 CFR 302 AND <https://floridadep.gov/water/source-drinking-water/content/hazardous-materialspetroleum-spills-swo-incidents>

TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:

- 1) ALL MATERIALS WITH HAZARDOUS PROPERTIES, SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, SOAPS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE, CURING COMPOUNDS AND ADDITIVES, ETC., SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE, TIGHTLY SEALED CONTAINERS WHEN NOT IN USE.
- 2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.
- 3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS.
 - a. THE SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.
 - b. CONTENTS SHALL BE INSPECTED DAILY DURING THE DAILY STORMWATER INSPECTION.
- 4) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE.
- 5) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL.
- 6) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.

EROSION AND SEDIMENT CONTROL NOTES

A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCE, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

E. ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 14 DAYS.

F. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED), TEMPORARY BMPs HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELIMINATED.

G. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

H. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER REQUIREMENTS IN THESE E&S CONTROL NOTES.

I. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.

J. ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.

K. STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.

L. ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

EROSION & SEDIMENT CONTROL NOTES

REVISIONS	BY
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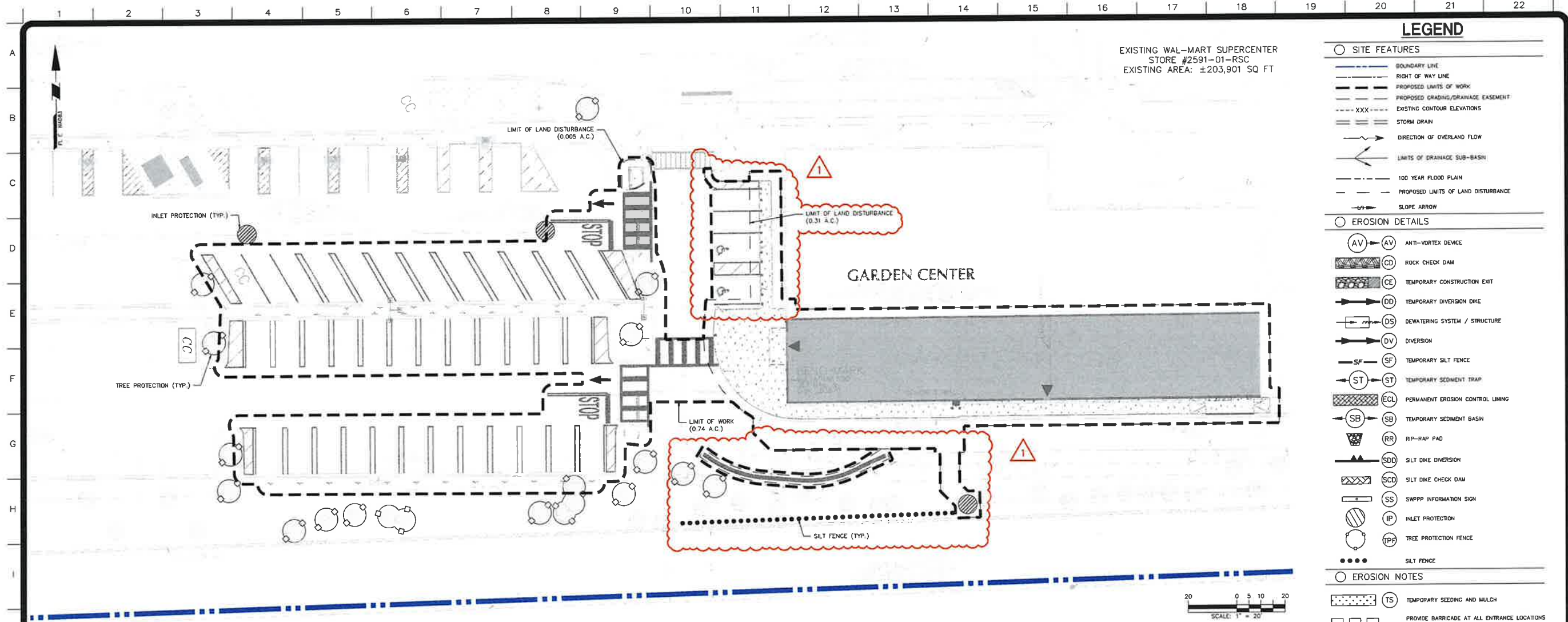
LANGAN
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SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DESIGN	DDP/ELC/ANC
CHECKED	JTY
DATE	03/17/2028
SCALE	
AS NOTED	
JOB No.	342045701-0501-CE201-0101
SHEET	SW-1



EXISTING WAL-MART SUPERCENTER
STORE #2591-01-RSC
EXISTING AREA: ±203,901 SQ FT

LEGEND

- SITE FEATURES
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED LIMITS OF WORK
- PROPOSED GRADING/DRAINAGE EASEMENT
- XXX- EXISTING CONTOUR ELEVATIONS
- STORM DRAIN
- DIRECTION OF OVERLAND FLOW
- ← LIMITS OF DRAINAGE SUB-BASIN
- 100 YEAR FLOOD PLAIN
- PROPOSED LIMITS OF LAND DISTURBANCE
- SLOPE ARROW
- EROSION DETAILS
- AV AV ANTI-VORTEX DEVICE
- CD CD ROCK CHECK DAM
- CE CE TEMPORARY CONSTRUCTION EXIT
- DD DD TEMPORARY DIVERSION DIKE
- DS DS Dewatering SYSTEM / STRUCTURE
- DV DV DIVERSION
- SF SF TEMPORARY SILT FENCE
- ST ST TEMPORARY SEDIMENT TRAP
- ECL ECL PERMANENT EROSION CONTROL LINING
- SB SB TEMPORARY SEDIMENT BASIN
- RR RR RIP-RAP PAD
- SDD SDD SILT DIKE DIVERSION
- SCD SCD SILT DIKE CHECK DAM
- SS SS SWPPP INFORMATION SIGN
- IP IP INLET PROTECTION
- TPF TPF TREE PROTECTION FENCE
- SILT FENCE
- EROSION NOTES
- TS TS TEMPORARY SEEDING AND MULCH
- PROVIDE BARRICADE AT ALL ENTRANCE LOCATIONS W/O TEMP STONE CONSTRUCTION EXIT

SWPPP UPDATES AND AMENDMENTS

THE GC MUST UPDATE THE SWPPP, INCLUDING THE JOBSITE BINDER AND SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G., PAVING, STORM SEWER INSTALLATION, FOOTING INSTALLATION, ETC.), CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

IMPORTANT:
THE GENERAL CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE CEC AND OBTAIN WRITTEN CEC APPROVAL BEFORE DOING ANY OF THE FOLLOWING:

1. MODIFYING EROSION OR SEDIMENT CONTROL BMPs (SUBSTITUTIONS ARE TYPICALLY ONLY APPROVED IF SPECIFIED MATERIALS ARE NOT AVAILABLE OR THERE IS A VALID REASON THE SPECIFIED BMP WILL NOT WORK)
2. ADDING/DELETING EROSION OR SEDIMENT CONTROL BMPs;
3. MODIFYING THE SWPPP IMPLEMENTATION SEQUENCE; OR
4. PERFORMING ANY ACTIONS OR IN ANY MANNER THAT IS CONTRARY TO THE SWPPP.

THE CONTRACTOR MAY MODIFY OR ADD ADDITIONAL BMPs, WITHOUT CEC APPROVAL, IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY; HOWEVER, GC MUST NOTIFY THE CEC AS SOON AS PRACTICAL AS TO THEIR ACTIONS TO DISCUSS THE NEED FOR ADDITIONAL OR SUPPLEMENTAL MEASURES AND TO OBTAIN THE REQUIRED APPROVALS. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

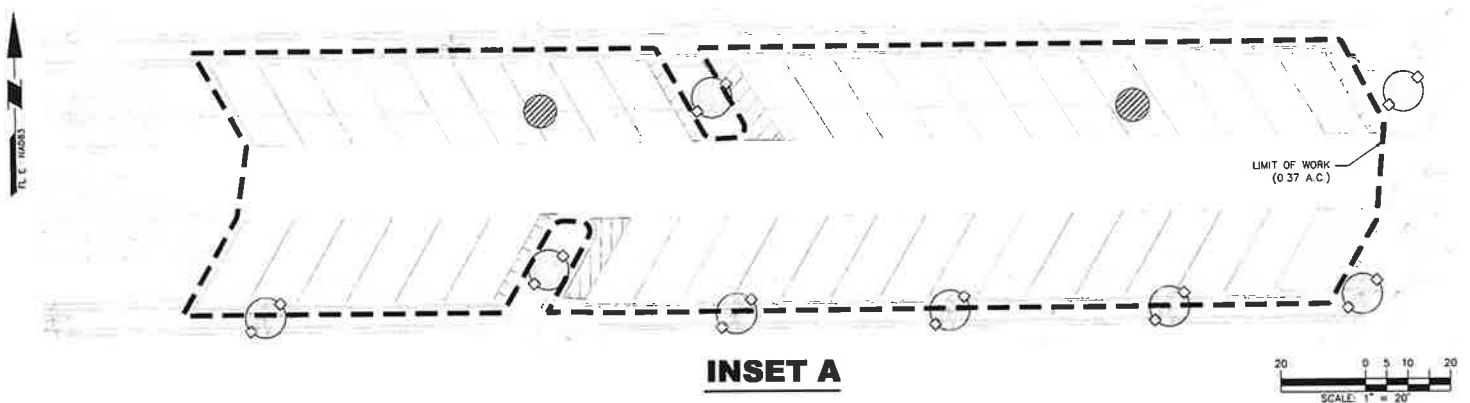
AMENDING THE SWPPP DOES NOT MEAN THAT IT HAS TO BE REPRINTED. IT IS ACCEPTABLE TO ADD ADDENDA, SKETCHES, NEW SECTIONS, DETAILS, AND/OR REVISED DRAWINGS THAT HAVE THE CEC NAME IN PRINT, ARE STAMPED, SIGNED, DATED, AND ARE ACCOMPANIED BY WRITTEN COPY OF THE ASSOCIATED RFI AND ITS RESPONSE FROM CEC. ENGINEERED ITEMS MUST BE SIGNED AND STAMPED BY THE CEC OF RECORD FOR THE PROJECT.

PERIMETER SEDIMENT AND EROSION CONTROL MEASURES AND TURBIDITY CONTROL, IF APPLICABLE, MUST BE IN PLACE PRIOR TO REQUESTING THE PRE-CONSTRUCTION MEETING, OR BEFORE CLEARING OR CONSTRUCTION OCCURS

- MINIMIZATION OF DISTURBED AREAS:**
1. CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
 2. CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
 3. CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

NOTE TO GENERAL CONTRACTOR:
PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/ THREATENED SPECIES, HISTORIC PROPERTIES, ETC.).



CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

EROSION & SEDIMENT CONTROL PLAN

REVISIONS	BY
1	1
2	2

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SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DRAWN	DOP/LC/JWC
CHECKED	JJY
DATE	03/17/2008
SCALE	
AS NOTED	
JOB No.	342048701
SHEET	8/2

SW-2

PERFORMANCE STANDARDS

NOTES:

- SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY ANY MEANS NECESSARY TO ENSURE THAT THOSE DO NOT DISCHARGE FROM THE SITE. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHALL BE STORED AND HANDLED IN A MANNER CONSISTENT WITH THE RISK OF IMPACT THOSE REPRESENT, AND ACCORDING WITH THE REGULATIONS.
- NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE. THE CONTAINERS SHALL BE Hauled AWAY FROM THE SITE AND SHIPPED WHEN THOSE BECOME SIX FULL OR AS NECESSARY BY A CERTIFIED TRASH DISPOSAL SERVICE. LIDS OR COVERS FOR THE CONTAINERS SHALL BE PROVIDED FOR USE DURING RAIN EVENTS TO PREVENT WASTE CONTACT WITH STORMWATER. WASTES THAT CANNOT BE STORED IN A CONTAINER MUST BE STORED UNDER COVER OR IN DROPS. THE LOCATION OF SOLID WASTE RECEPTACLES SHALL BE SHOWN ON THE SITE MAPS.

SOLID WASTE DISPOSAL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- CONTRACTOR SHALL PROVIDE DESIGNATED LOCATION FOR SORTING AND SEPARATING HAZARDOUS WASTES
- HAZARDOUS WASTE STORAGE MUST BE PROTECTED FROM WEATHER ELEMENTS AND HAVE RESTRICTED ACCESS.
- HAZARDOUS WASTE STORAGE MUST COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS
- HAZARDOUS WASTE STORAGE MUST COMPLY WITH CONTRACT DOCUMENTS

HAZARDOUS WASTE DISPOSAL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 30 FEET FROM INLETS, CHANNELS, SHALES, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 50 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS OMMANISHMENT. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS.

SANITARY FACILITIES

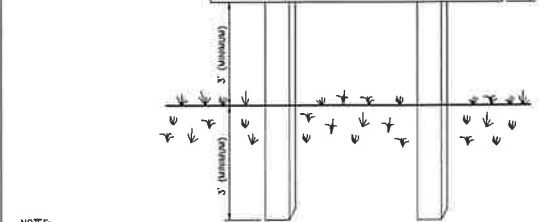
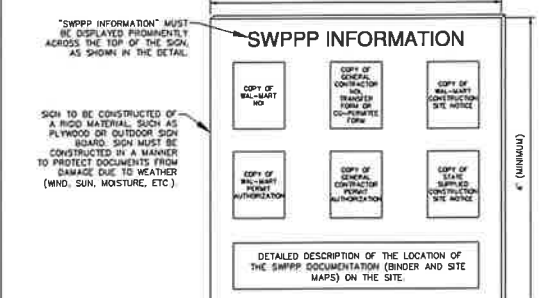
LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

TEMPORARY PARKING

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013



NOTES:

- THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE, SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.
- ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
- ALL PAGES OF NOTICES OF ABSENT AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE, WATERPROOF FOLDERS TO STORE THESE DOCUMENTS IF IT WILL BE DIFFICULT TO POST ALL PAGES INDIVIDUALLY.
- CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE COVERING AGENCIES. [ADD ANY OTHER APPLICABLE ITEMS HERE.]
- SUBSEQUENT PERMIT MODIFICATION REQUESTS OR REHEARL APPLICATIONS AND THEIR ASSOCIATED AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.
- THE SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE COVERING AGENCY.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

NOTES:

- MATERIAL STORAGE AREAS SHOULD BE LOCATED, WHEN POSSIBLE, TO MINIMIZE EXPOSURE TO WEATHER. INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF OR THE POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR SUPPLEMENTED. ALSO, PROTECTIVE BERM SHALL BE CONSTRUCTED, IF NEEDED, TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS. GC SHALL ADHERE TO ALL STATE AND LOCAL REGULATIONS PERTAINING TO MATERIAL STORAGE AREAS.
- CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIALS MUST BE STORED IN WATERPROOF CONTAINERS, EXCEPT DURING APPLICATION. THE CONTAINERS AND THE CONTENTS MUST BE KEPT IN TRUCKS OR INSIDE OF STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED, AND DISPOSED OF AT AN APPROVED SOLID WASTE AND CHEMICAL DISPOSAL FACILITY.



LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- CONCRETE WASTE MANAGEMENT PERTAINS TO WASTE FROM CONCRETE READY-MIX TRUCKS, MASONRY OPERATIONS, AND SIMILAR WASTE.
- DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS IS ALLOWED AT THE CONSTRUCTION SITE. ONLY COMMERCIALLY AVAILABLE ABOVE GROUND PORTABLE CONCRETE WASHOUT CONTAINERS ARE ALLOWED AND MUST BE PROTECTED FROM VEHICLE TRAFFIC AND CLEARLY IDENTIFIED BY LEGIBLE SIGNAGE, AND MUST BE LOCATED OUTSIDE OF VEGETATED BUFFERS AND AS FAR AS PRACTICABLE FROM STORMWATER CONTAINERS AND IMPOUNDMENTS AND WATER BODIES. PORTABLE CONCRETE WASHOUT CONTAINERS SHALL CONTAIN AND/OR ACTIVELY MANAGE BOTH SOLID AND FLUID COMPONENTS OF THE MIX. CONCRETE WASHOUT CONTAINERS MUST BE CLEANED OR EXCHANGED WHEN THE REMAINING VOLUME IS REDUCED BY 50% TO PREVENT ANY POTENTIAL OVERTFLOW IN A STORM EVENT.
- ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP AND/OR OTHER USEFUL CONCRETE PRODUCTS. PORTABLE CONCRETE WASHOUT CONTAINERS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. THE GC IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES, APPLICABLE LAWS, AND ENVIRONMENTAL REGULATIONS ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT CONTAINERS SHALL BE SHOWN ON THE SITE MAPS.

CEMENT AND CONCRETE WASHOUT

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- PROVIDE WASH STATION IN A LOCATION PROTECTED FROM WEATHER ELEMENTS
- COLLECT ALL USED WASH WATER AND DISPOSE OF IT PROPERLY.
- PROVIDE ADEQUATE SUPPLY OF WATER AND ANY OTHER SUPPLIES TO ENSURE PROPER OPERATION OF WASH STATION WHEN NEEDED.

PAINT AND STUCCO WASHOUT

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

PERFORMANCE STANDARDS:

- ALL SITE ACCESS MUST BE CONFINED TO THE CONSTRUCTION EXIT(S) BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE CONSTRUCTION EXIT(S) WHERE VEHICLES OR EQUIPMENT MAY ACCESS THE SITE.
- CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORTCUTTING/BYPASSING THE EXIT.
- PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION EXIT(S) IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. ALL WASH WATER MUST BE ROUTED TO A SEDIMENT TRAP OR OTHER TREATMENT AREA AND SHALL NOT BE DIRECTLY DISCHARGED OFF-SITE.
- LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT TRACKING BEYOND THE PERMITTED PROJECT AREA. ALL MATERIALS SPOILED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEEP AS NECESSARY (AND WITHIN THE SAME DAY AS DISCOVERY) AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS.
- EXIT(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD BEYOND THE EXIT(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT(S) AS CONDITIONS DEMAND.
- CONTRACTOR SHALL BE PERMITTED TO TURN THE STONE WHEN THE SURFACE BECOMES SMOOTH AND SURFACE VOIDS ARE FILLED TO MAINTAIN EFFECTIVENESS OF CONSTRUCTION EXIT, UNTIL SUCH TIME THAT VOIDS BELOW THE SURFACE BECOME FILLED AND THE CONSTRUCTION EXIT IS NO LONGER EFFECTIVE. AT SUCH A TIME THE CONTRACTOR SHALL REMOVE THE INEFFECTIVE STONE AND REPLACE PER DETAIL.
- IF EXIT BMP IS STILL INEFFECTIVE, GC MUST CONTACT THE ENGINEER AND SUBMIT AN RFI AS NECESSARY.

CONSTRUCTION EXIT

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- THE GC SHALL IDENTIFY MASONS' AREA WITH LEGIBLE SIGNAGE ON THE SITE. TO THE EXTENT PRACTICAL, ALL MASONRY TOOLS, MATERIALS, INCLUDING SAND AND BAGGED CEMENT AND/OR MORTAR MATERIALS, MIX, AND EQUIPMENT SHALL BE LOCATED WITHIN THE AREA IDENTIFIED. MATERIALS VULNERABLE TO WEATHER ELEMENTS SHALL BE STORED IN CONTAINERS AT THE END OF EACH WORK DAY. SUCH MATERIALS SHALL REMAIN STORED IN CONTAINERS WHEN NOT IN USE.
- RUNOFF CONTROL, SUCH AS DIVERSION BERMS, SILT FENCE, SILT DIKE, OR OTHER MEANS OF CONTAINMENT SHALL BE PROVIDED TO PREVENT THE MIGRATION OF STORMWATER POLLUTANTS FROM THE MASONS' AREA. COVERED RECEPTACLES FOR DEBRIS AND TRASH DISPOSAL SHALL ALSO BE PROVIDED.
- THE MASONS' AREA SHALL MEET OSHA AND OTHER REGULATORY REQUIREMENTS FOR PERSONAL PROTECTIVE EQUIPMENT (PPE), FIRE EXTINGUISHERS, ETC. GC SHALL PROVIDE SCREENING OR OTHER TECHNOLOGIES FOR MASONS' AREA TO PREVENT AIRBORNE TRANSPORT OF CEMENT DUST AND OTHER PARTICULATES DUE TO HIGH SPEED WIND OR OTHER CONDITIONS. THE LOCATION OF THE MASONS' AREA SHALL BE SHOWN ON THE SITE MAPS.



LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- THE GC SHALL IDENTIFY FUELING AREAS WITH LEGIBLE SIGNAGE ON THE SITE. TEMPORARY ON-SITE FUEL TANKS FOR CONSTRUCTION VEHICLES SHALL MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL TANKS, SINGLE AND DOUBLE WALLED, SHALL BE PROVIDED WITH SECONDARY CONTAINMENT (THAT IS CONTAINMENT EXTERNAL TO AND SEPARATE FROM PRIMARY CONTAINMENT). TANKS SHALL HAVE APPROVED SPILL CONTAINMENT WITH THE CAPACITY PROVIDED BY THE APPLICABLE REGULATIONS. SECONDARY CONTAINMENT SHALL BE CONSTRUCTED OF MATERIALS OF SUFFICIENT THICKNESS, DENSITY, AND COMPOSITION SO AS NOT TO BE STRUCTURED IN PROPER WORKING CONDITION AT ALL TIMES. TANKS STORED AND CAPABLE OF CONTAINING DISCHARGED FUEL FOR A PERIOD OF THE LOCAL TO OR LONGER THAN THE MAXIMUM ANTICIPATED TIME SUFFICIENT TO ALLOW RECOVERY OF DISCHARGED FUEL. IT SHALL BE CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE PRIMARY TANK IF A SINGLE TANK IS USED, OR IN THE CASE OF MULTIPLE TANKS, 150% OF THE LARGEST TANK OR 110% OF THE AGGREGATE, WHICHEVER IS LARGER.
- THE TANKS SHALL BE IN SOUND CONDITION, FREE OF RUST OR OTHER DAMAGE WHICH MIGHT COMPROMISE CONTAINMENT. FUEL STORAGE AREAS SHALL MEET ALL EPA, OSHA AND OTHER REGULATORY REQUIREMENTS FOR STORAGE, FIRE EXTINGUISHERS, ETC. HOSES, VALVES, FITTINGS, CAPS, FILLER NOZZLES, AND ASSOCIATED HARDWARE SHALL BE MAINTAINED IN PROPER WORKING CONDITION AT ALL TIMES. TANKS SHALL BE LOCATED TO MINIMIZE EXPOSURE TO WEATHER AND SURFACE WATER DRAINAGE FEATURES. THE LOCATION OF FUEL TANKS SHALL BE SHOWN ON THE SITE MAPS.
- A SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED IF ABOVEGROUND OIL STORAGE CAPACITY AT THE CONSTRUCTION SITE EXCEEDS 1,320 GALLONS OR AS SPECIFIED BY STATE.
- CONTAINERS WITH A STORAGE CAPACITY OF 55-GALLONS OR LESS ARE NOT INCLUDED WHEN CALCULATING SITE STORAGE CAPACITY. THE GC SHALL WORK WITH THE DEC TO DEVELOP AND IMPLEMENT A SPCC PLAN IN ACCORDANCE WITH THE OIL POLLUTION PREVENTION REGULATION AT TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 112, (40 CFR 112).

FUEL AND PETROLEUM STORAGE AND USE

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- THE GC SHALL DESIGNATE AREAS ON THE SITE MAPS FOR EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR. THE GC AND SUBCONTRACTORS SHALL UTILIZE SUCH DESIGNATED AREAS. CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE PROTECTED BY A TEMPORARY PERIMETER BERM, SHALL NOT OCCUR WITHIN 150 FEET OF ANY WATERWAY, WATER BODY OR WETLAND, AND SHALL OCCUR IN AREAS LOCATED AS FAR AS PRACTICAL FROM STORM SEWER INLETS. DIRT PANS SHALL BE USED FOR VEHICLE MAINTENANCE ACTIVITIES AND RESULTANT WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE HAZARDOUS MATERIAL MANAGEMENT AND SPILL REPORTING PLAN NOTES INCLUDED ON THIS PLAN SHEET.
- USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (FOR EXAMPLE, WASHING VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

EQUIPMENT AND VEHICLE CLEANING AND MAINTENANCE AREAS

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

ACREAGE SUMMARY
(IN ACRES)

	ACRES
1. WAL-MART PROPERTY AREA	24.69 ACRES
2. IMPERVIOUS AREA BEFORE PROJECT	21.33 ACRES
3. PERVIOUS AREA BEFORE PROJECT	16.36 ACRES
4. IMPERVIOUS AREA AT COMPLETION	21.33 ACRES
5. PERVIOUS AREA AT COMPLETION	16.36 ACRES

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

NOTES:

- USING WATER FROM BASINS, TRAPS, TANKS, OR OTHER WATER CONTAINMENT AREAS FOR IRRIGATION MINIMIZES DISCHARGES FROM THE SITE AND IT MAY SATISFY OTHER NEEDS OF THE CONSTRUCTION PROJECT, SUCH AS DUST CONTROL, VEGETATIVE ESTABLISHMENT, ETC.
- CARE SHOULD BE TAKEN THAT WATER UTILIZED FROM CONTAINMENT AREAS ON-SITE FOR CONSTRUCTION PURPOSES DOES NOT DISCHARGE OFF-SITE. IF DISCHARGE IS ANTICIPATED OR OBSERVED, DETERMINING PROCEDURES STATED IN THE DETERMINING DETAIL MUST BE FOLLOWED.
- GC SHALL IMPLEMENT IRRIGATION OR DISPERSION AS PRACTICABLE TO REDUCE WATER VOLUME IN IMPOUNDMENTS AND TO FOSTER VEGETATION GROWTH.



LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

NOTES:

- STORM DRAIN INLET PROTECTION MEASURES SHALL PREVENT SOLID AND DEBRIS FROM ENTERING STORM DRAIN INLETS.
- TEMPORARY CONTROLS SHALL BE CONSTRUCTED BEFORE THE SURROUNDING AREA IS DISTURBED.
- TO PREVENT CLOGGING, STORM DRAIN CONTROL STRUCTURES MUST BE MAINTAINED FREQUENTLY.
- CHECK ALL TEMPORARY CONTROL MEASURES DAILY, AND AFTER EACH STORM EVENT.
- CONTROL MEASURES MUST BE BUILT PER DETAIL AND PLANS, AND MUST BE IN GOOD WORKING CONDITION AT ALL TIMES.

INLET PROTECTION

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2013

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR ESTIMATED PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BARRIERS/TRAPS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADING												
STORM FACILITIES												
FOUNDATION / BUILDING CONSTRUCTION												
LANDSCAPING/SEED/FINAL STABILIZATION												

1) CONTRACTOR MUST COMPLETE TABLE WITH ESTIMATED DATES OF PROJECT ACTIVITIES PRIOR TO BMP CERTIFICATION.
2) TIME SCHEDULE MUST CONDUCE WITH THE SWPPP IMPLEMENTATION SEQUENCE.

SITE CONSTRUCTION

FINISH GRADING
PERMANENT CONTROL STRUCTURES

LAST REVISED: WAL-MART STANDARD DETAIL
APRIL 30, 2011

SITE LOCATION SUMMARY

ADDRESS:	151 SW 184TH AVENUE, PEMBROKE PINES FL 33029
CENTER OF SITE:	
LATITUDE:	26°10'20.60"N 26.01°N
LONGITUDE:	80°23'22.20"W 80.39°W
ADJACENT SURROUNDING PROPERTIES:	NORTH: SHOPPING CENTER EAST: CONVENIENCE STORE/GROCERY STORE SOUTH: SINGLE FAMILY RESIDENTIAL WEST: SINGLE FAMILY RESIDENTIAL

LAST REVISED: WAL-MART STANDARD DETAIL
JUNE 2012

CONTRACTOR SHALL CONTACT
811 FOR LOCATION OF ALL
UTILITIES, AT LEAST 72 HOURS
PRIOR TO BEGINNING
CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE GC.

REVISIONS	BY
1	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS
2	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS

LANGAN
Langan Engineering and
Environmental Services, LLC
13485 Velezara Way, Suite 20
Orlando, FL 32827
www.langan.com
T: 407.874.2000
F: 407.874.2001



SUPERCENTER #2581-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

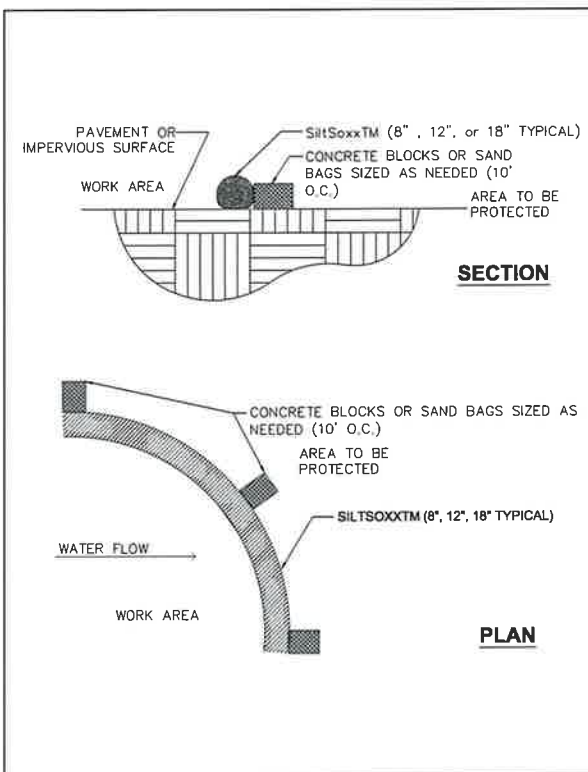


DRAWN	DDP/PL/22/10
CHECKED	JYY
DATE	03/17/2026
SCALE	AS NOTED
JOB No.	342046701
SHEET	8/2

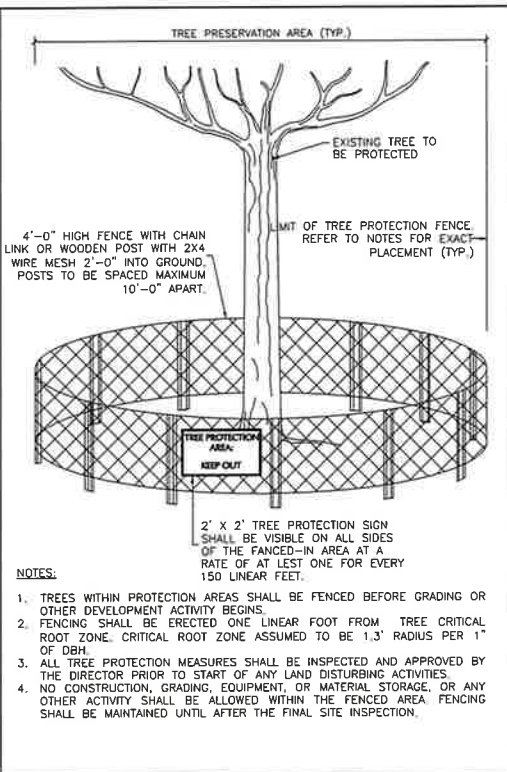
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EROSION & SEDIMENT CONTROL DETAILS

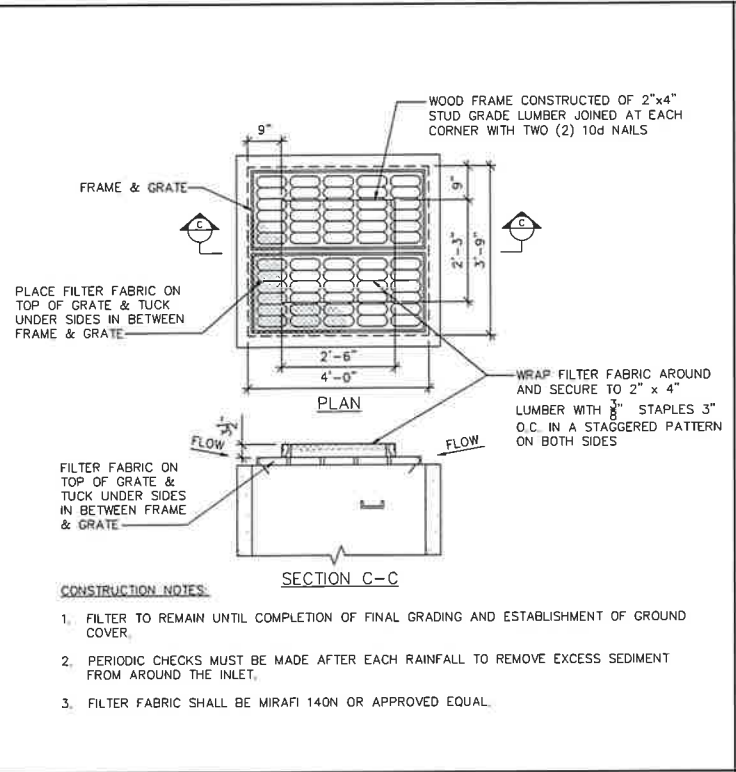
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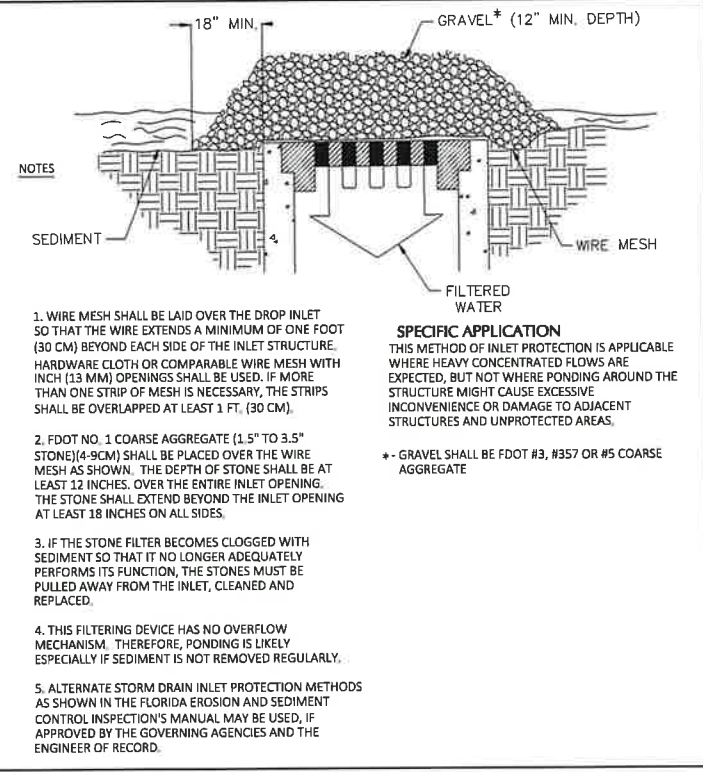
SILT SOCK (IMPERVIOUS AREAS) NTS



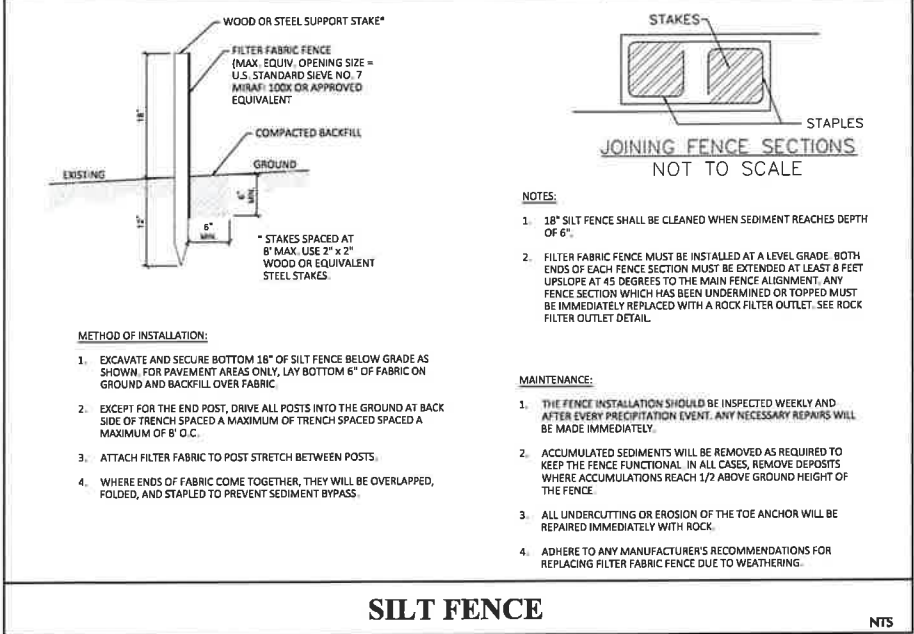
TREE PROTECTION DETAIL NTS



EROSION CONTROL INLET PROTECTION NTS



INLET SEDIMENT FILTER NTS



SILT FENCE NTS

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:
SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

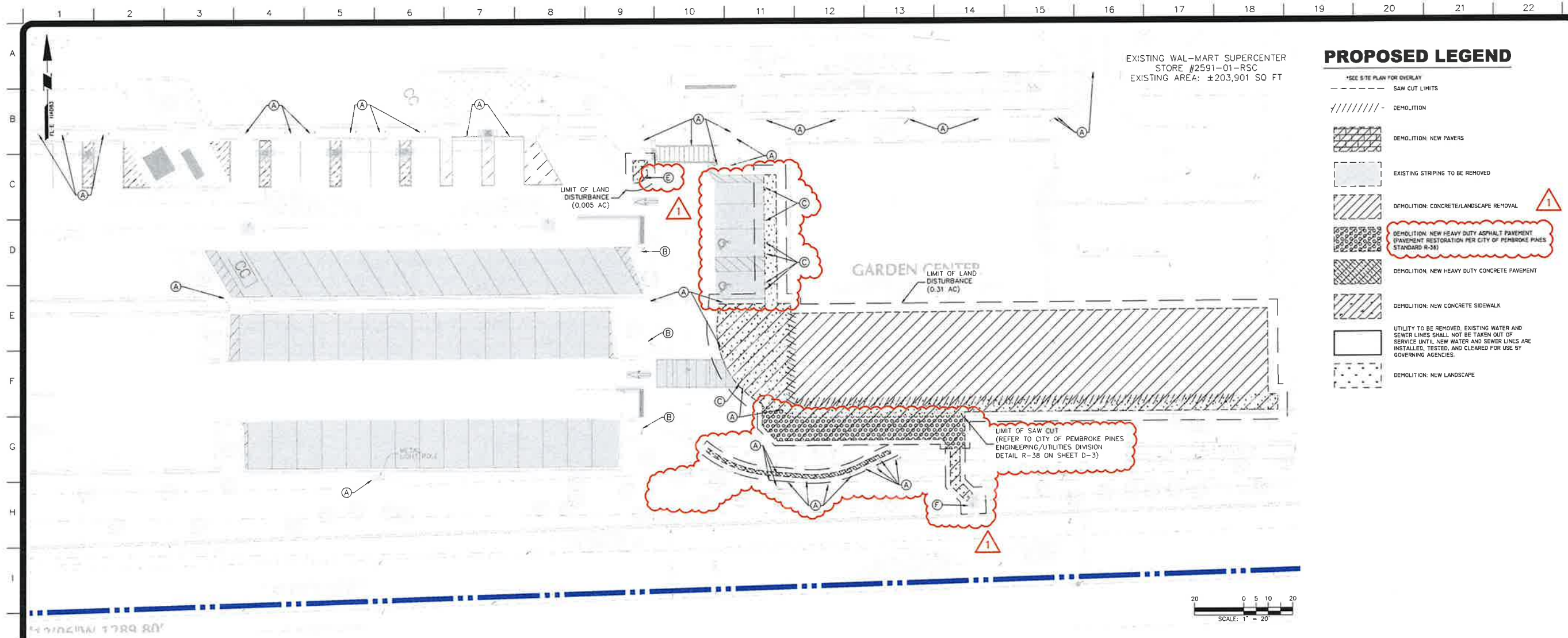
EROSION & SEDIMENT CONTROL DETAILS

REVISIONS	BY
1	REVISOR PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS
2	REVISOR PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS

LANGAN
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SUPERCENTER #2581-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

DRAWN	DDP/LEZ/AVC
CHECKED	JYJ
DATE	03/17/2028
SCALE	
AS NOTED	
JOB No.	342045701
SHEET	SW-4



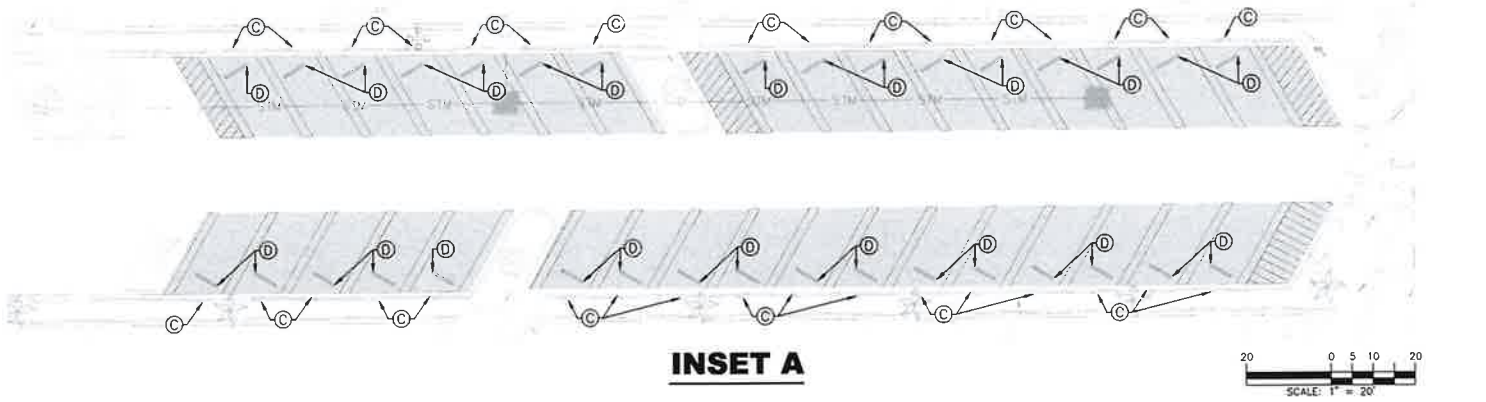
EXISTING WAL-MART SUPERCENTER
STORE #2591-01-RSC
EXISTING AREA: ±203,901 SQ FT

PROPOSED LEGEND

- SEE SITE PLAN FOR OVERLAY
- SAW CUT LIMITS
- DEMOLITION
- DEMOLITION NEW PAVERS
- EXISTING STRIPING TO BE REMOVED
- DEMOLITION CONCRETE/LANDSCAPE REMOVAL
- DEMOLITION NEW HEAVY DUTY ASPHALT PAVEMENT (PAVEMENT RESTORATION PER CITY OF PEMBROKE PINES STANDARD R-38)
- DEMOLITION NEW HEAVY DUTY CONCRETE PAVEMENT
- DEMOLITION NEW CONCRETE SIDEWALK
- UTILITY TO BE REMOVED: EXISTING WATER AND SEWER LINES SHALL NOT BE TAKEN OUT OF SERVICE UNTIL NEW WATER AND SEWER LINES ARE INSTALLED, TESTED, AND CLEARED FOR USE BY GOVERNING AGENCIES.
- DEMOLITION NEW LANDSCAPE

- DEMOLITION NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING WAL-MART/SAM'S AND OUTLOT AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION THROUGH THE STORE MANAGER OR OUTLOT USERS.
 4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.
 6. ALL EXISTING PAINT STRIPING TO BE REMOVED FIRST. CONTRACTOR WILL THEN RESEAL THE PARKING LOT WITH AN APPROVED SEALER PER SPECIFICATION. THEN THE PARKING LOT WILL BE RE-STRIPED WITH 2 COATS OF PAINT PER THE PLANS AND SPECIFICATIONS. THIS WORK SHOULD BE COORDINATED WITH THE STORE MANAGER. THE PARKING LOT SHALL BE DONE IN SECTIONS SO THAT IT DOES NOT INTERRUPT THE STORE OPERATIONS. SEE PHASING PLAN. THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MANAGER FOR WORK TO BE PERFORMED.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
 8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
 9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE CHOUDED IF UNDER BUILDING.

10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
12. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
13. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
14. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CART CORRAL, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
15. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
16. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO STORE OPERATION AND THE CUSTOMERS.
17. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE STORE AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION, ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
18. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
19. CONTRACTOR MUST COORDINATE WITH CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.



DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

CONTRACTOR SHALL CONTACT
BII FOR LOCATION OF ALL
UTILITIES, AT LEAST 72 HOURS
PRIOR TO BEGINNING
CONSTRUCTION

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

- DEMOLITION LEGEND**
- (A) EXISTING TO REMAIN
 - (B) EXISTING SIGN AND POST TO BE RELOCATED
 - (C) EXISTING SIGN AND POST OR BOLLARD TO BE REMOVED
 - (D) EXISTING WHEEL STOP TO BE REMOVED
 - (E) EXISTING TYPE 'F' CURB AND GUTTER TO BE REMOVED
 - (F) EXISTING UTILITY STRUCTURE TO BE REMOVED

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

PAVING & DEMOLITION PLAN

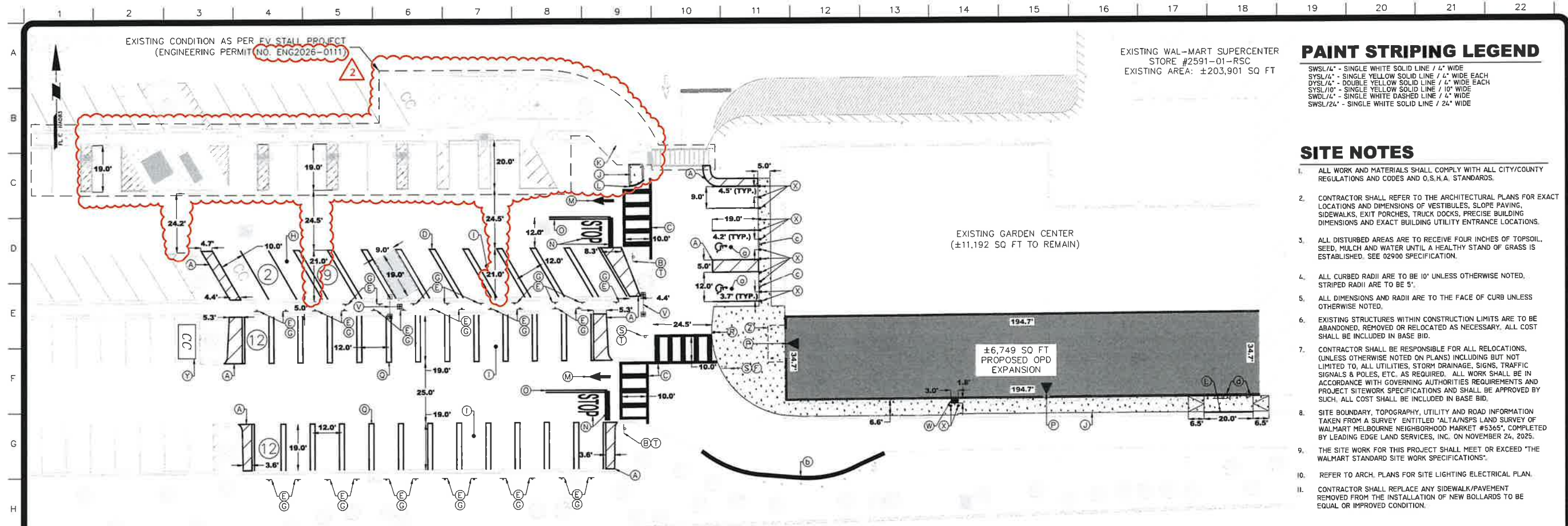
REVISIONS	BY
1	1
2	2

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SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DRAWN	JW
CHECKED	JW
DATE	05/17/2026
SCALE	AS NOTED
JOB No.	342045701
SHEET	DM-1



PAINT STRIPING LEGEND

- SWSL/4' - SINGLE WHITE SOLID LINE / 4' WIDE
- SYSL/4' - SINGLE YELLOW SOLID LINE / 4' WIDE EACH
- DYSL/4' - DOUBLE YELLOW SOLID LINE / 4' WIDE EACH
- SYSL/10' - SINGLE YELLOW SOLID LINE / 10' WIDE
- SWDL/4' - SINGLE WHITE DASHED LINE / 4' WIDE
- SWSL/24' - SINGLE WHITE SOLID LINE / 24' WIDE

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. SEE 02900 SPECIFICATION.
4. ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED, STRIPED RADII ARE TO BE 5'.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEMARK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY ENTITLED 'ALTA/NSP LAND SURVEY OF WALMART MELBOURNE NEIGHBORHOOD MARKET #5365', COMPLETED BY LEADING EDGE LAND SERVICES, INC. ON NOVEMBER 24, 2025.
9. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED 'THE WALMART STANDARD SITE WORK SPECIFICATIONS'.
10. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
11. CONTRACTOR SHALL REPLACE ANY SIDEWALK/PAVEMENT REMOVED FROM THE INSTALLATION OF NEW BOLLARDS TO BE EQUAL OR IMPROVED CONDITION.

SITE LEGEND

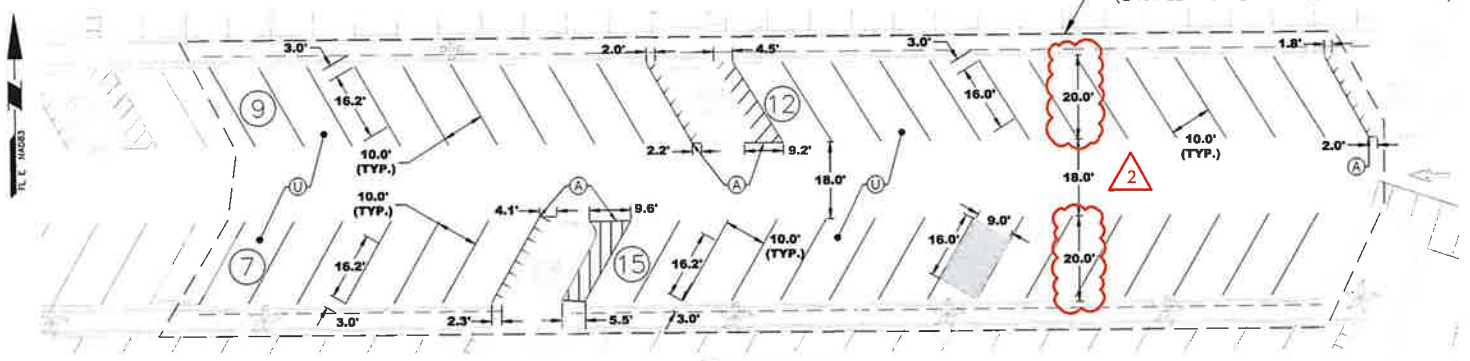
- REFERENCE DETAIL SHEET
- (A) NEW 6" WIDE PAINTED LINES W/8" DIAGONALS @ 5' O.C. PER CITY ENGINEERING STANDARDS (REFLECTIVE PAINT)
 - (B) RELOCATED 30"x30" STOP SIGN.
 - (C) NEW 10' WIDE "SPECIAL EMPHASIS CROSSWALK" MARKINGS PER I.C.T.E.D. STANDARDS/FDOT INDEX 711-001 SHEET 9 OF 13 (THERMOPLASTIC)
 - (D) NEW DWSL/6" AT 60° @ 1'-0" O.C.
 - (E) NEW ONLINE PICKUP DELIVERY (OPD) PARKING SIGN.
 - (F) RELOCATED SIGN MOUNTING AND BASE WITH BOLLARD.
 - (G) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (H) NEW 10'X18' REGULAR STALL.
 - (I) NEW 12'X15' OPD PICKUP STALL (REFLECTIVE PAINT)
 - (J) NEW SIDEWALK (PER CITY STANDARD R-28)
 - (K) EXISTING SIDEWALK TO REMAIN.
 - (L) NEW FOOT TYPE 'F' CURB AND GUTTER SECTION WITH 'DROP CURB'
 - (M) NEW SOLID ARROW PAVEMENT MARKING (THERMOPLASTIC)
 - (N) NEW STOP BAR AND STOP MESSAGE MARKING (THERMOPLASTIC)
 - (O) NEW 6" WIDE DOUBLE SOLID YELLOW STRIPE (THERMOPLASTIC) WITH YELLOW/YELLOW RPMs @ 20' O.C.
 - (P) NEW OPD DISPENSE DOOR. REFER TO ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS
 - (Q) NEW DWSL/6" AT 90° @ 1'-0" O.C.
 - (R) RELOCATED BOLLARD.
 - (S) NEW W11-2 "PEDESTRIAN CROSSING" SIGN (30"x30") AND NEW W16-7P "DOWNWARD POINTING ARROW PLAQUE" SIGN (24"x12")
 - (T) RELOCATED SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (U) NEW 10'X16 2' REGULAR PARKING STALL (REFLECTIVE PAINT)
 - (V) NEW LIGHT POLE AND LIGHTING FIXTURES. REFER TO LIGHTING PLANS BY OTHERS.
 - (W) NEW CO2 REMOTE CHARGING STATION (REFER TO MEP PLANS BY OTHERS)
 - (X) NEW VEHICULAR PROTECTIVE BOLLARD MEETING CITY OF PEMBROKE PINES STANDARDS
 - (Y) RELOCATED CART CORRAL.
 - (Z) 7'X15' CANOPY

SITE ANALYSIS TABLE (PEMBROKE PINES 2591-1018)

	EXISTING*	PROPOSED
TOTAL BUILDING AREA	203,901 S.F.	210,650 S.F.
REQUIRED PARKING (PER CITY OF PEMBROKE PINES)	714 SPACES	738 SPACES
REQUIRED PARKING RATIO (PER CITY OF PEMBROKE PINES)	3.50/1,000 S.F.	3.50/1,000 S.F.
REQUIRED PARKING (PER ECR/CC&R)	816 SPACES	843 SPACES
REQUIRED PARKING RATIO (PER ECR/CC&R)	4.00/1,000 S.F.	4.00/1,000 S.F.
CUSTOMER AND ASSOCIATE PARKING	856 SPACES	859 SPACES
ACCESSIBLE PARKING	20 SPACES	20 SPACES
EV PARKING	12 SPACES	12 SPACES
PICKUP PARKING	33 SPACES	33 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	23 CORRALS	23 CORRALS
TOTAL PARKING EXCLUDING PICKUP STALLS	888 SPACES	891 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	4.32/1,000 S.F.	4.23/1,000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	921 SPACES	924 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	4.48/1,000 S.F.	4.39/1,000 S.F.

NOTE:

1. GROSS FLOOR AREA IS PER ARCHITECTURAL PLANS PROVIDED BY CPH CORP (YUAN LIEN) AND CONFIRMED BY AOR ON 31 OCTOBER 2025.
2. EXISTING PARKING COUNTS ARE BASED ON SITE VISIT CONDUCTED BY LANGAN ON 28 OCTOBER 2025.
3. PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.
4. PARKING MINIMUM REQUIREMENT BASED ON CITY OF PEMBROKE PINES LDC ARTICLE 6 TABLE 155.605.
5. THE SUBJECT PROPERTY IS COMMERCIAL TRACT C-4 AS SHOWN ON BROWARD COUNTY PLAT BOOK 152 PAGE 28. IN ACCORDANCE WITH RESTRICTIONS ON THE PLAT, TRACTS C-4, C-5 AND C-6 ARE RESTRICTED TO A TOTAL OF 332,800 SF OF COMMERCIAL USE. AS VERIFIED WITH BROWARD COUNTY (NATALY MIGUEZ) ON NOVEMBER 21, 2025, THE GARDEN CENTER IS INCLUDED IN THE SQUARE FOOTAGE ALLOCATION OF THE SITE TOWARDS REQUIREMENTS OF THE PLAT. AS THE PROPOSED IMPROVEMENTS ARE COMPLETELY LOCATED WITHIN THE AREA OF THE GARDEN CENTER, THERE WILL BE NOT NET CHANGE TO THE CURRENT SQUARE FOOTAGE OF THE SITE TOWARDS PLAT REQUIREMENTS.
6. EXISTING CONDITIONS REFLECT THE COMPLETION OF AN EV STALL PROJECT (ENGINEERING PERMIT NO. APP2025-0149) AND RESTRIPING PROJECT (ENGINEERING PERMIT NO. APP2025-0032), BOTH OF WHICH HAVE NOT BEEN COMPLETED AS OF 7 JANUARY 2026. LINE WORK ASSOCIATED WITH THE EV STALL PROJECT PROVIDED BY BOWMAN ON 13 NOVEMBER 2025. LINE WORK ASSOCIATED WITH THE RESTRIPING PROJECT WAS PROVIDED BY BOWMAN ON PLANS LAST DATED 17 NOVEMBER 2025.



NOTE TO CONTRACTOR:

1. BFR (BUILDING FRONTAGE ROAD) OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
4. SEE DETAIL SHEETS FOR DIMENSIONS ON EXACT PLACEMENT OF SIGN POSTS AND STRIPING RELATIVE TO THE EDGE OF TRAVEL LANE, EDGE OF CROSSWALK, BACK OF CURB, ETC.
5. GC TO EXECUTE COMPLETE PARKING LOT RESTRIPING. STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDES, AND REAR OF STORE).
6. PREPARE AND REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR LESS, THE BASE SHALL BE PAINTED/REPAINTED. IF LIGHT POLE BASE IS OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY MORE THEN 3 FEET, THE BASE SHALL NOT BE PAINTED UNLESS IT IS ALREADY PAINTED IN EXISTING CONDITIONS.
7. PREPARE AND REPAINT EXISTING SIGN POST BOLLARDS AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT.
8. IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOUTH BROWARD DRAINAGE DISTRICT (SBDD), LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC PERFORMED AN ONSITE INSPECTION OF THE STORMWATER SYSTEMS ON MARCH 4TH, 2026. DURING THIS INSPECTION, AREAS IN NEED OF MAINTENANCE AND/OR REPAIR WERE IDENTIFIED, AND AN INSPECTION REPORT WAS PREPARED. THE CONTRACTOR SHALL REVIEW THE INSPECTION REPORT AND SHALL PROVIDE ALL REPAIRS IDENTIFIED WITHIN THE REPORT, AND SHALL CLEAN OUT ALL STRUCTURES PRIOR TO COMPLETION OF CONSTRUCTION.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SITE PLAN

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS		
2	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS		

LANGAN
Langan Engineering and Environmental Services, LLC
13485 Valencia Way, Suite 120
Orlando, FL 32827
www.langan.com
T: 407.974.2900 F: 407.974.2901

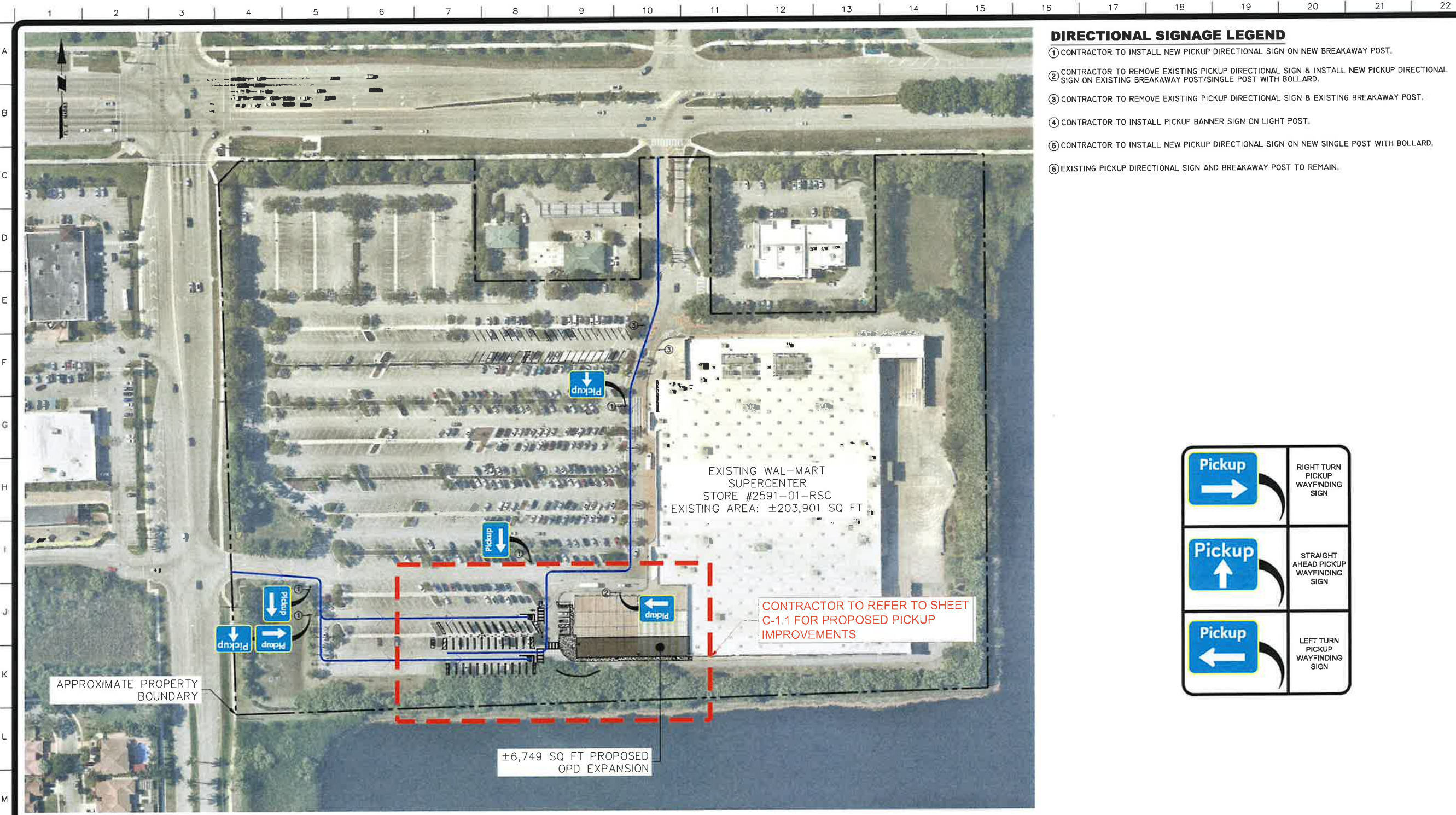


SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



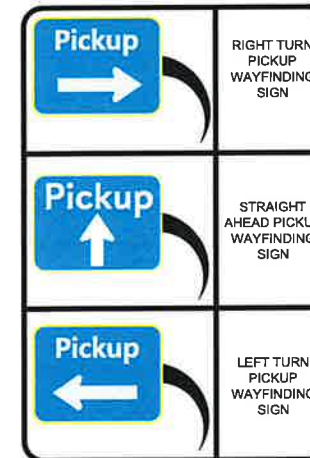
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CHECKED: JFY
DATE: 03/17/2026
SCALE: AS NOTED
JOB No: 342044701
SHEET

C-1.1



DIRECTIONAL SIGNAGE LEGEND

- ① CONTRACTOR TO INSTALL NEW PICKUP DIRECTIONAL SIGN ON NEW BREAKAWAY POST.
- ② CONTRACTOR TO REMOVE EXISTING PICKUP DIRECTIONAL SIGN & INSTALL NEW PICKUP DIRECTIONAL SIGN ON EXISTING BREAKAWAY POST/SINGLE POST WITH BOLLARD.
- ③ CONTRACTOR TO REMOVE EXISTING PICKUP DIRECTIONAL SIGN & EXISTING BREAKAWAY POST.
- ④ CONTRACTOR TO INSTALL PICKUP BANNER SIGN ON LIGHT POST.
- ⑤ CONTRACTOR TO INSTALL NEW PICKUP DIRECTIONAL SIGN ON NEW SINGLE POST WITH BOLLARD.
- ⑥ EXISTING PICKUP DIRECTIONAL SIGN AND BREAKAWAY POST TO REMAIN.



CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
RESERVED	12 X 12	33
PHONE NUMBER	8 X 18	33
VERTICAL PICKUP	9 X 18	33
PICKUP LEFT	12 X 18	2
PICKUP AHEAD	12 X 18	2
PICKUP RIGHT	12 X 18	2
PICKUP BANNER	24 X 60	-

2

NOTE TO CONTRACTOR:

- 1. BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
- 2. ALL PICKUP WAYFINDING, BANNER AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (GETTY.THOMAS@WALMART.COM) AND BRAD KEENER (BRADLEY.KEENER@WALMART.COM). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.
- 3. SEE PICKUP DETAIL SHEET FOR NOTES AND DETAILS ON PICKUP STRIPING AND SIGNAGE IMPROVEMENTS.

REVISIONS	BY
1	
2	

LANGAN
Langan Engineering and
Environmental Services, LLC
19485 Veterans Way, Suite 120
Orlando, FL 32827
T: 407.874.2000 F: 407.874.2001 www.langan.com



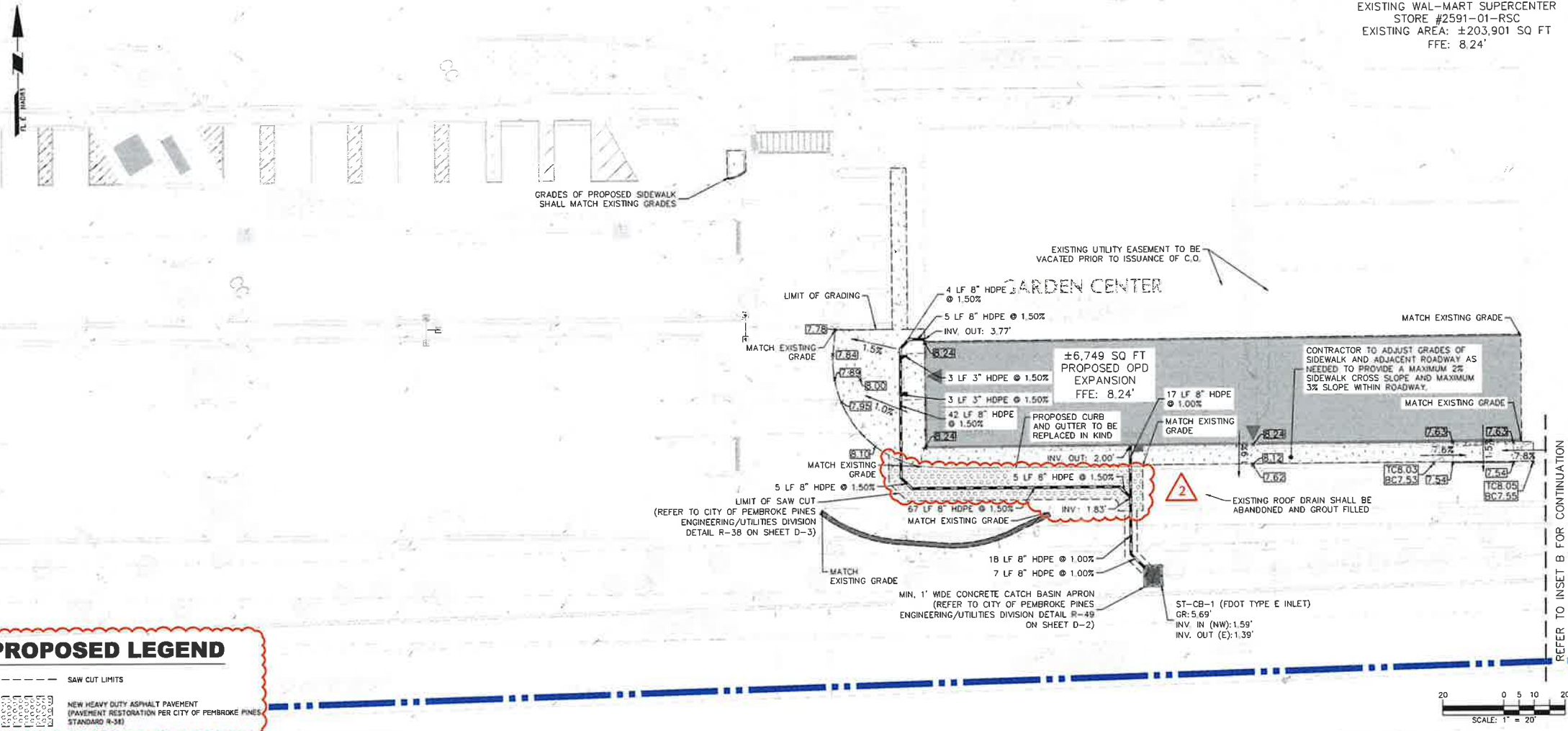
SUPERCENTER #2591-101B
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DRAWN	DOP/CL/AVC
CHECKED	JTY
DATE	03/17/2025
SCALE	AS NOTED
JOB No.	342045701
SHEET	

OPD-1

PICKUP DIRECTIONAL SIGNAGE PLAN



- ### GRADING NOTES
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED: (SEE MASTER SITE SPECIFICATIONS SECTION 02630 FOR ALLOWED MATERIALS.)
 - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND THE WAL-MART SPECIAL CONDITIONS, SECTION 8, ENVIRONMENTAL COMPLIANCE AND STORM WATER POLLUTION PREVENTION. THIS APPLIES TO WAL-MART BUILT PROJECTS ONLY.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY (ALTA/NSPS LAND TITLE SURVEY)", COMPLETED BY PULICE LAND SURVEYORS, INC. ON 15 DECEMBER 2025.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE AREAS OF IMPROVEMENTS AND SHALL DETERMINE IF PROPOSED STORM CONNECTION IS IN CONFLICT WITH EXISTING WATER LINE AND ELECTRICAL LINE. IN THE EVENT THAT THE EXISTING WATER LINE, ELECTRICAL LINE, OR ANY OTHER UTILITIES ARE IN CONFLICT WITH THE PROPOSED STORM CONNECTION, CONTRACTOR SHALL VERTICALLY RELOCATE EXISTING LINE AS NEEDED USING DEFLECTION OR BENDS AS NEEDED TO ENSURE A MINIMUM OF 1' VERTICAL SEPARATION AND 3' OF COVER IS PROVIDED. CONTRACTOR TO COORDINATE ANY REQUIRED SHUTOFFS WITH THE IMPACTED PARTIES.
 - ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT ELEVATIONS TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ADD 1.6' TO THE NAVD88 ELEVATIONS SHOWN.
 - PORTIONS OF THE EXISTING DRAINAGE SYSTEM MAY REQUIRE CLEANING UPON COMPLETION OF CONSTRUCTION (TO BE DETERMINED IN THE FIELD BY SOUTH BROWARD DRAINAGE DISTRICT (SBDD) INSPECTOR).

PROPOSED LEGEND

- SAW CUT LIMITS
- [Symbol] NEW HEAVY DUTY ASPHALT PAVEMENT (PAVEMENT RESTORATION PER CITY OF PEMBROKE PINES STANDARD R-38)

SOUTH BROWARD DRAINAGE DISTRICT GENERAL NOTES:

- THE CONTRACTOR SHALL CONTACT SBDD 48 HOURS OR TWO (2) WORKING DAYS PRIOR TO ANY REQUIRED INSPECTION. TO SCHEDULE INSPECTIONS, PLEASE CALL SBDD AT (954)680-3337. SBDD'S WORKING HOURS ARE FROM 8:00 AM TO 4:30 PM, MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS.
- ANY REVISIONS TO PLANS PERMITTED BY SBDD MUST BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND HELD AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING CONSTRUCTION.
- A SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO SBDD AFTER APPROVAL BY THE ENGINEER OF RECORD, PRIOR TO BEGINNING CONSTRUCTION.
- DURING CONSTRUCTION, SBDD PERSONNEL WILL INSPECT THE FOLLOWING:
 - INSTALLATION OF ALL UNDERGROUND DRAINAGE FACILITIES BEFORE BACKFILLING,
 - BACKFILLING OF DRAINAGE TRENCHES,
 - SHARPING OF CANAL AND LAKE BANKS FROM THE DEEP CUT TO THE UPLAND EASEMENT LINE OR AS REQUIRED BY SBDD,
 - AND ANY OTHER DRAINAGE RELATED CONSTRUCTION WORK.
 RE-INSPECTIONS AND EXTRAORDINARY INSPECTIONS WILL BE SUBJECT TO ADDITIONAL FEE CHARGES BY SBDD.
- THE CONTRACTOR CONSTRUCTING OR EXCAVATING LAKES OR OTHER WATER BODIES SHALL EXERCISE EXTREME CAUTION TO ENSURE THAT THE SIDE SLOPES AND DEEP CUT LINES ARE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS FOR THE DEVELOPMENT. THE CONTRACTOR OR OWNER SHALL PERIODICALLY, OR AS REQUIRED BY SBDD, OBTAIN A SURVEY FROM A FLORIDA REGISTERED SURVEYOR OF THE LOCATION OF THE DEEP CUT LINES PRIOR TO FORMING THE SIDE SLOPES. THIS SURVEY SHALL BE PERFORMED PRIOR TO THE OWNER/CONTRACTOR BEGINNING CONSTRUCTION OF ANY BUILDING PADS ADJACENT TO THE WATER BODY. IN THE EVENT THAT THE CONTRACTOR OVER DIGS THE WATER BODY, THE OWNER/CONTRACTOR SHALL SUBMIT TO SBDD ITS SOLUTION TO CORRECT THE OVER DIGGING. ANY SUGGESTED REMEDY OR CORRECTION MUST BE APPROVED BY SBDD BEFORE THE CONTRACTOR BEGINS THE PROPOSED CORRECTION/REMEDY.
- PAVING AND DRAINAGE "AS-BUILT" PLANS CERTIFIED BY THE ENGINEER OF RECORD AND APPROVED BY THE DISTRICT ENGINEER SHALL BE REQUIRED BEFORE THE RELEASE OF THE BOND OR LETTER OF CREDIT. AS-BUILTS SHALL BE PROVIDED AS AN OVERLAY OF THE APPROVED CONSTRUCTION DRAWINGS AND AT THE SAME SCALE AS ORIGINALLY SUBMITTED. AS-BUILT SUBMITTALS SHALL CONFORM TO THE REQUIREMENTS OF SBDD'S CRITERIA MANUAL. AS-BUILTS WILL ALSO BE PROVIDED IN ELECTRONIC FORMAT.
- AS-BUILT DRAWINGS OF WATER BODIES SHALL INCLUDE THE DATA REQUIRED UNDER EXHIBIT 39 OF SBDD'S CRITERIA MANUAL. THE AS-BUILT CROSS SECTIONS SHALL BE PROVIDED AT NOT MORE THAN 100 FOOT INTERVALS AND AT ALL OUTFALL PIPES CONSTRUCTED WITHOUT HEADWALLS.
- SBDD WILL NOT COMPLETE THE FINAL INSPECTION UNTIL RECEIPT OF THE AS-BUILT PACKAGE WHICH MUST INCLUDE THE ENGINEER'S CERTIFICATION AND TEST RESULTS FOR STABILIZATION OF LAKE/CANAL MAINTENANCE EASEMENTS, ARE RECEIVED.

FOUNDATION SUBSURFACE PREPARATION WAL-MART JOB #2591.1018, PEMBROKE PINES, FLORIDA 01/23/26

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET C-1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STOOPS, TRUCK WELLS/DOCKS, CONCRETE APRONS AT THE AUTOMOTIVE CENTER, COMPACTOR PAD, ETC. THE BASE AND THE VAPOR BARRIER, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB, BASE, AND SUBBASE (IF SUBBASE IS REQUIRED BELOW). REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE 6" THICK BASE MATERIAL SHALL CONFORM TO CLEAN, CRUSHED STONE (NO. 57 STONE, ASTM C33) OR WELL-GRADED COMPACTED SAND AND LIMESTONE. THE 12" SUBBASE MATERIAL SHALL BE STABILIZED SUBGRADE MATERIAL HAVING A MINIMUM LBR 40 AND COMPACTED TO 95% MAXIMUM DRY DENSITY REFERENCED TO ASTM D1557. THE BASE AND SUBBASE SHALL BE PROVIDED BY THE BUILDING CONTRACTOR IN JOINT PROJECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBBASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND AOR.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PROOFCRILL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL (FILL OR NATIVE) SHALL BE GRANULAR WITH LESS THAN 15% FINES AND FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE BUILDING AREA, BELOW UPPER 4 FEET BUILDING AREA, UPPER 4 FEET	P.I. <12 MAX.> <10 MAX.>	LL <40 MAX.> <20 MAX.>
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SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AT A MOISTURE CONTENT WITHIN 3 PERCENT BELOW TO 3 PERCENT ABOVE THE OPTIMUM.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL, DATED 22 JANUARY 2026 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEWATERING NOTE:
WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
REFER TO MASTER SITE SPECIFICATIONS.

ALERT TO CONTRACTOR:
ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:
SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

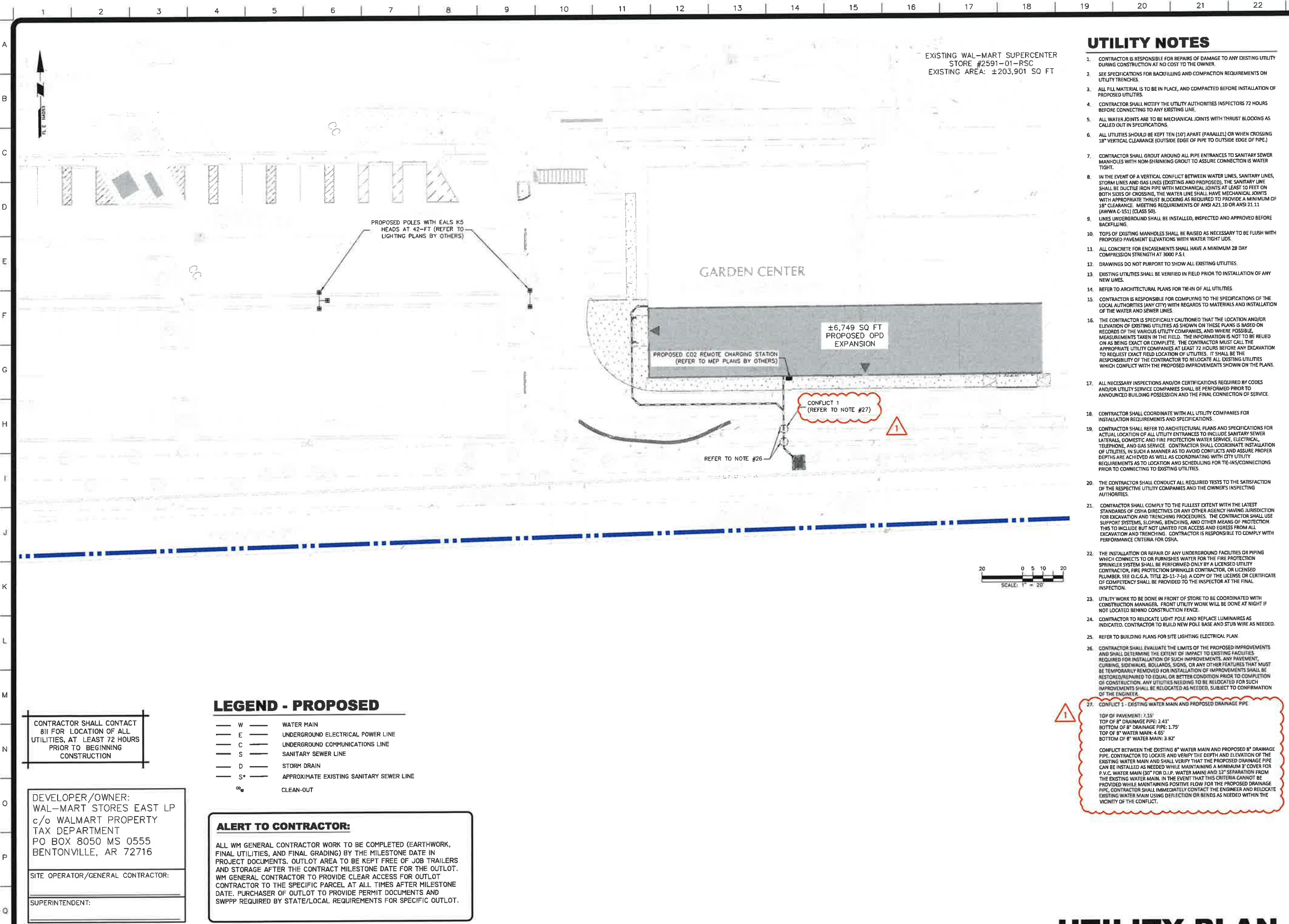
GRADING & DRAINAGE PLAN

REVISIONS	BY
1	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS
2	REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING COMMENTS

LANGAN
Langan Engineering and Environmental Services, LLC
13448 Valeriana Way, Suite 120
Orlando, FL 32827
T: 407.874.2900 F: 407.974.2901 www.langan.com

SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

DRAWN	DOPL/SZ/PC
CHECKED	JUY
DATE	03/17/2026
SCALE	AS NOTED
JOB No.	342045701
SHEET	C-2



EXISTING WAL-MART SUPERCENTER
STORE #2591-01-RSC
EXISTING AREA: ±203,901 SQ FT

GARDEN CENTER

±6,749 SQ FT
PROPOSED OPD
EXPANSION

PROPOSED CO2 REMOTE CHARGING STATION
(REFER TO MEP PLANS BY OTHERS)

PROPOSED POLES WITH EALS K5
HEADS AT 42-FT (REFER TO
LIGHTING PLANS BY OTHERS)

CONFLICT 1
(REFER TO NOTE #27)

REFER TO NOTE #26



LEGEND - PROPOSED

- W — WATER MAIN
- E — UNDERGROUND ELECTRICAL POWER LINE
- C — UNDERGROUND COMMUNICATIONS LINE
- S — SANITARY SEWER LINE
- D — STORM DRAIN
- S* — APPROXIMATE EXISTING SANITARY SEWER LINE
- ☉ — CLEAN-OUT

ALERT TO CONTRACTOR:
ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

CONTRACTOR SHALL CONTACT
811 FOR LOCATION OF ALL
UTILITIES, AT LEAST 72 HOURS
PRIOR TO BEGINNING
CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

UTILITY NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
7. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
8. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
9. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT UDS.
11. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
12. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
13. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
14. REFER TO ARCHITECTURAL PLANS FOR TIE-IN OF ALL UTILITIES.
15. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (ANY CITY) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
16. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY DCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
17. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
18. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
19. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
20. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
21. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
22. THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE D.C.G.A. TITLE 25-11-7-(a). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
23. UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
24. CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
25. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
26. CONTRACTOR SHALL EVALUATE THE LIMITS OF THE PROPOSED IMPROVEMENTS AND SHALL DETERMINE THE EXTENT OF IMPACT TO EXISTING FACILITIES. REQUIRED FOR INSTALLATION OF SUCH IMPROVEMENTS. ANY PAVEMENT, CURBING, SIDEWALKS, BOLLARDS, SIGNS, OR ANY OTHER FEATURES THAT MUST BE TEMPORARILY REMOVED FOR INSTALLATION OF IMPROVEMENTS SHALL BE RESTORED/REPAIRED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF CONSTRUCTION. ANY UTILITIES NEEDING TO BE RELOCATED FOR SUCH IMPROVEMENTS SHALL BE RELOCATED AS NEEDED, SUBJECT TO CONFIRMATION OF THE ENGINEER.

CONFLICT 1 - EXISTING WATER MAIN AND PROPOSED DRAINAGE PIPE

TOP OF PAVEMENT: 7.15'
TOP OF 8" DRAINAGE PIPE: 2.41'
BOTTOM OF 8" DRAINAGE PIPE: 1.75'
TOP OF 8" WATER MAIN: 4.65'
BOTTOM OF 8" WATER MAIN: 3.82'

CONFLICT BETWEEN THE EXISTING 8" WATER MAIN AND PROPOSED 8" DRAINAGE PIPE. CONTRACTOR TO LOCATE AND VERIFY THE DEPTH AND ELEVATION OF THE EXISTING WATER MAIN AND SHALL VERIFY THAT THE PROPOSED DRAINAGE PIPE CAN BE INSTALLED AS NEEDED WHILE MAINTAINING A MINIMUM 5' COVER FOR P.V.C. WATER MAIN (30" FOR D.I.P. WATER MAIN) AND 12" SEPARATION FROM THE EXISTING WATER MAIN. IN THE EVENT THAT THIS CRITERIA CANNOT BE PROVIDED WHILE MAINTAINING POSITIVE FLOW FOR THE PROPOSED DRAINAGE PIPE, CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND RELOCATE EXISTING WATER MAIN USING DEFLECTION OR BENDS AS NEEDED WITHIN THE VICINITY OF THE CONFLICT.

REVISIONS	BY
REVISED PER CITY OF PEMBRROKE PINES PLANNING AND ENGINEERING COMMENTS	1
REVISED PER CITY OF PEMBRROKE PINES PLANNING AND ENGINEERING COMMENTS	2

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SUPERCENTER #2591-0108
CITY OF PEMBRROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

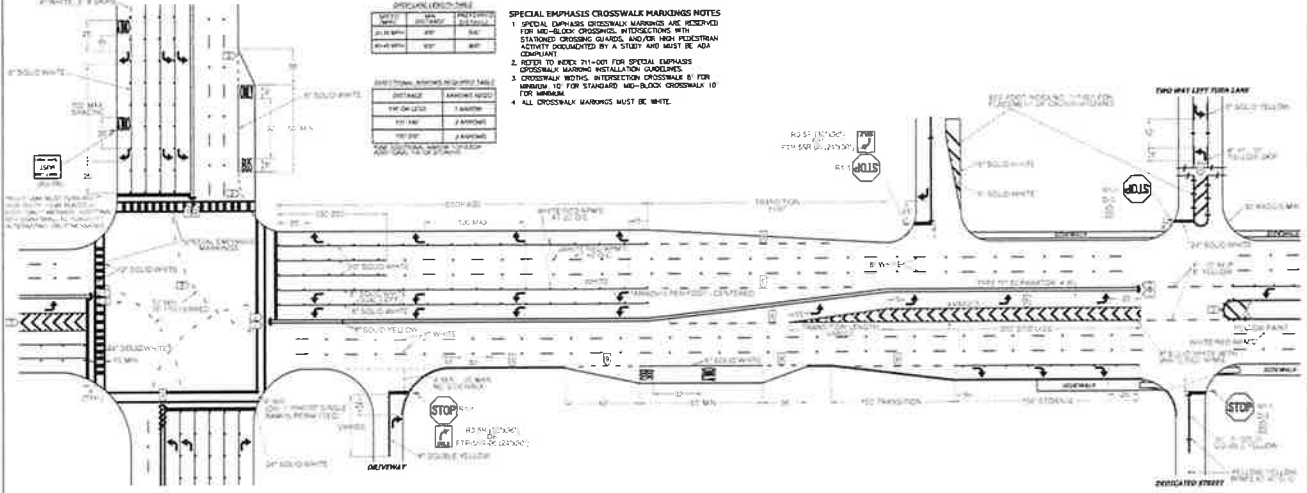
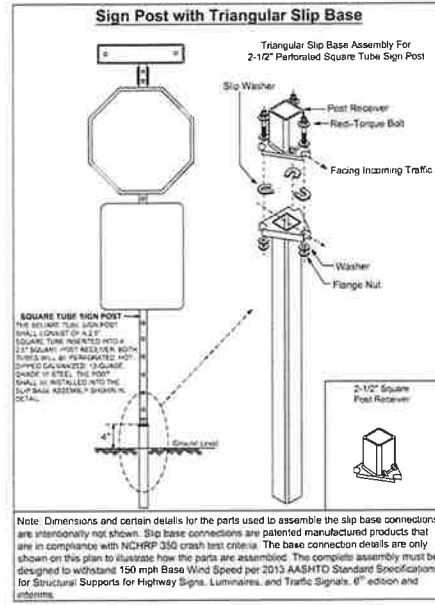
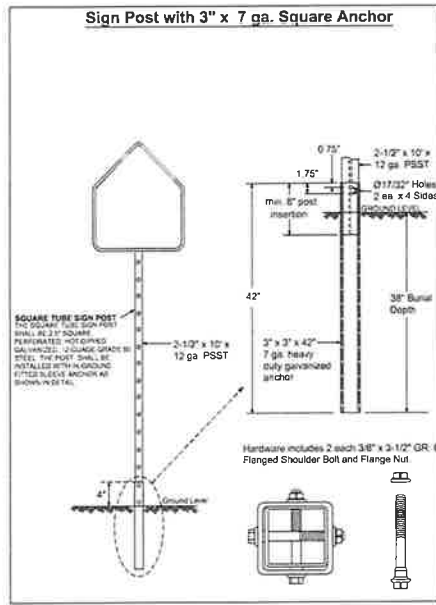
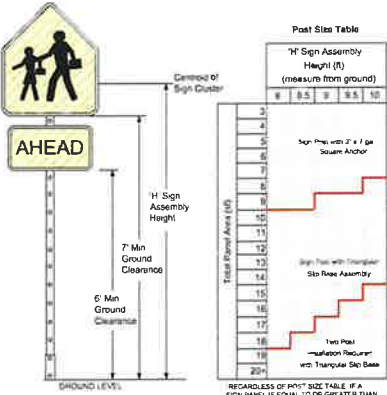


DRAWN	DDP/LEZ/VC
CHECKED	JJY
DATE	03/17/2028
SCALE	AS NOTED
JOB No.	342048701
SHEET	8/2

C-3

UTILITY PLAN

- GUIDE TO USE THIS STANDARD:
1. Calculate the Total Panel Area and the centered 'C' for an individual sign or sign cluster.
 2. Determine the height 'H' from the groundline for the individual sign or the cluster.
 3. Consult the Post Size Table and find the intersection point.
 4. Design the post and the foundation according to the required Post Size and Assembly Details.



NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE ALTO BUILT THERMOPLASTIC AND FULLY RETROREFLECTIVE.
2. ALL PAVEMENT MARKINGS ON PAVEMENT SURFACES SHALL BE ON 30/60/90 SERIES TARIK OF CONVAHOUT AND APPLIED WITH TWO ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
3. ALL PAVEMENT MARKINGS AND SIGNS SHALL BE IN ACCORDANCE WITH THE NATIONAL UNIFORM TRAFFIC CONTROL DEVICES, REELED STANDARDS, AND FOOT AND/OR STANDARDS.
4. SEE FOOT NOTE NO. 100-00 FOR PLACEMENT OF RPA'S FOR BARRIERS AND TREATMENT, SEE LEGEND NO. 10.
5. RPA'S SHALL BE SLATS "B" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
6. FOOT IMPROVED SLATS SHALL BE USED WITH ANY TWO MARKINGS ON CONVAHOUT.
7. FOR SIDE LINE DETAILS SEE FOOT NOTE NO. 111-000.
8. EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
9. ALL STOP SIGNS TO BE 4' HIGH, ORIGINALLY IN SQUARE.
10. PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIP AND SHALL HAVE A MINIMUM REFLECTIVITY RATES OF 200 MILLICANDELS FOR WHITE AND 175 MILLICANDELS FOR YELLOW.
11. ALL PRODUCTS MUST BE ON FOOT'S APPROVED PRODUCTS LIST (APL).
12. RPA'S SHALL NOT BE INSTALLED ADJACENT TO SIDE LINES.
13. LONGITUDINAL CROSSWALK MARKINGS SHALL BE INSTALLED AT ALL CROSS STREETS ON COUNTY ROADS THAT ARE FOUR LANES OR GREATER.

LEGEND:

- 1 YELLOW/YELLOW RPA DETAILS
- 2 MEDIAN RPA DETAILS
- 3 PAINTED MEDIAN DETAILS
- 4 END LINE DETAILS
- 5 CROSSWALK DETAILS - CROSSWALK AREAS AND IN FRONT OF CURB RAMPS
- 6 STREET NAME BRIDGE DETAILS
- 7 TYPE IV SEPARATOR DETAILS
- 8 4" RPA SEEP DETAILS
- 9 2" RPA SEEP DETAILS
- 10 STREET NAME BRIDGE DETAILS

REVISIONS	DESCRIPTION	DATE
03-31-2017	UPDATED POST SIZE	
11-24-2020	ADDED POST SIZE NOTE	
05-05-2021	UPDATED POST BASE HEIGHT	

BROWARD COUNTY FLORIDA

PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: YVES D'AMICO, P.E.
DRAWN BY: STEPHON RAMDUTAR
CHECKED BY: ANDREW SEBO, P.E. / P.FOE

SCALE: NTS

GROUND SIGN ASSEMBLY
DETAILS

SHEET NO. 1 OF 1

REVISIONS	DESCRIPTION	DATE
11-24-2020	UPDATED NOTES	
06-14-2021	UPDATED NOTES	
05-06-2022	UPDATED NOTES	

BROWARD COUNTY FLORIDA

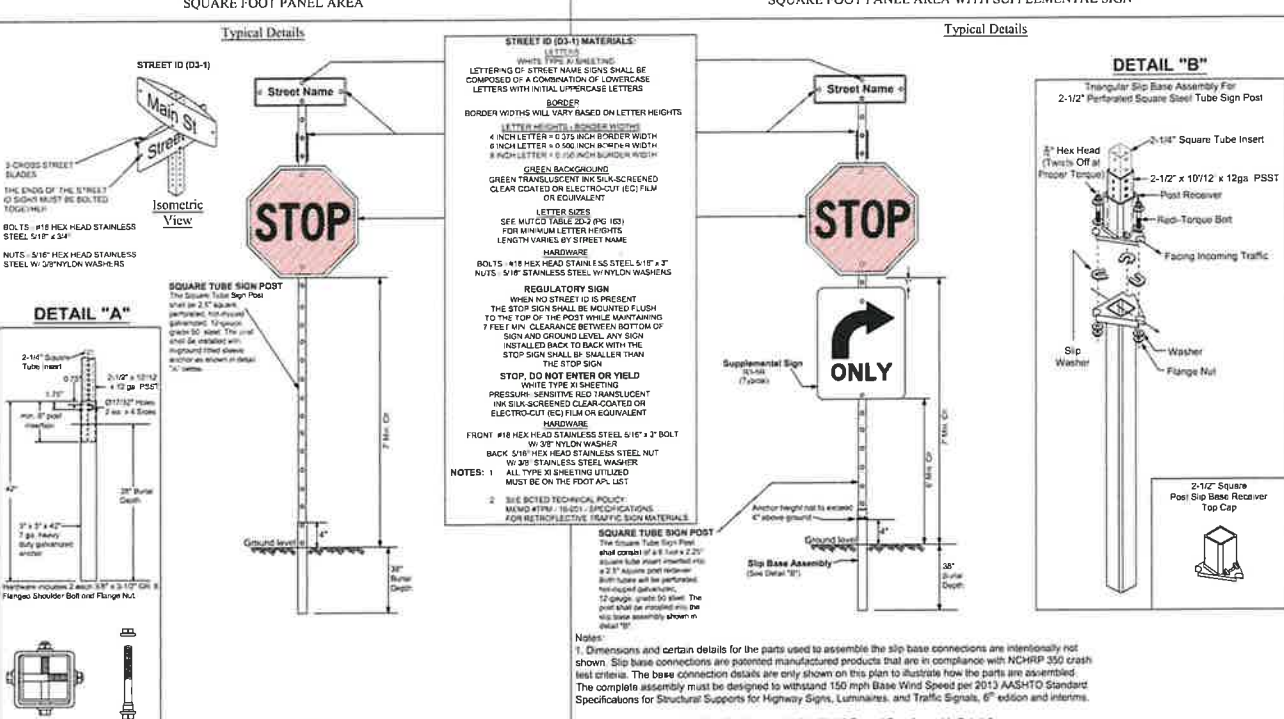
PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO GARATTOZZOLO, P.E.
DRAWN BY: STEPHON RAMDUTAR
CHECKED BY: CARMELO GARATTOZZOLO, P.E.

SCALE: NTS

PAVEMENT MARKINGS
AND SIGNS
DETAILS

SHEET NO. 1 OF 1



REVISIONS	DESCRIPTION	DATE
05-26-2020	ADDED ISOMETRIC VIEW	
03-05-2021	UPDATED POST BASE HEIGHT	
06-22-2023	UPDATED SIGN POST NOTES	

BROWARD COUNTY FLORIDA

PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO GARATTOZZOLO, P.E.
DRAWN BY: STEPHON RAMDUTAR
CHECKED BY: CARMELO GARATTOZZOLO, P.E.

SCALE: NTS

STOP SIGN AND STREET
IDENTIFICATION ASSEMBLY
TYPICAL DETAILS

SHEET NO. 1 OF 1

NOTES:

1. ALL FOUNDATIONS AND STRUCTURAL COMPONENTS OF SIGNAGE AND/OR SITE FEATURES REQUIRING FOUNDATION ARE SUBJECT TO APPROPRIATE REVIEWS BY THE PEMBROKE PINES BUILDING DEPARTMENT.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SITE DETAILS

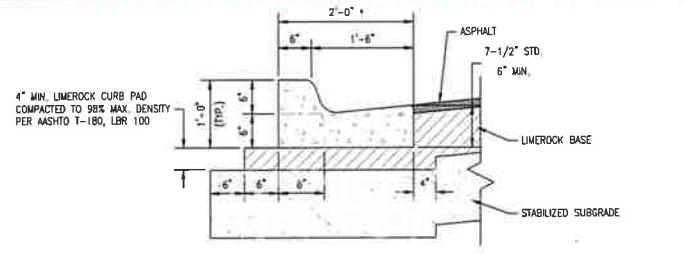
REVISIONS	BY
1	1
2	2

LANGAN
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Orlando, FL 32827
T: 407.974.2000 www.langan.com

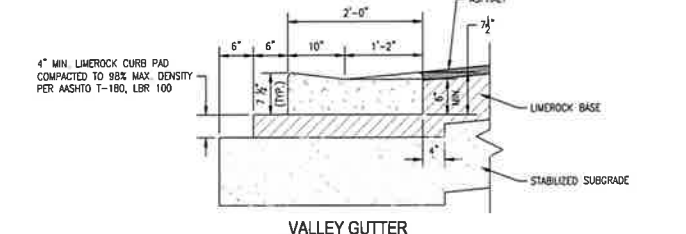
SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

Walmart

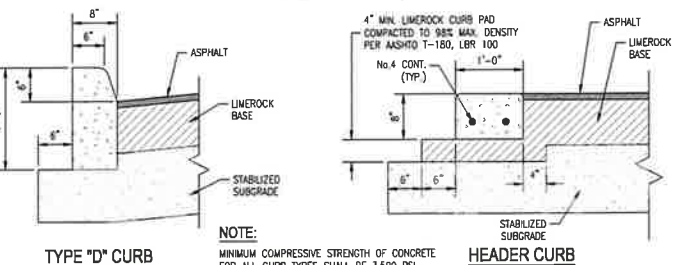
DRAWN: DOUGLASS
CHECKED: LUY
DATE: 03/17/2028
SCALE: AS NOTED
JOB No.: 342045701
SHEET: D-1



NOTE:
 (*) WHEN USED ON HIGH OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE UP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

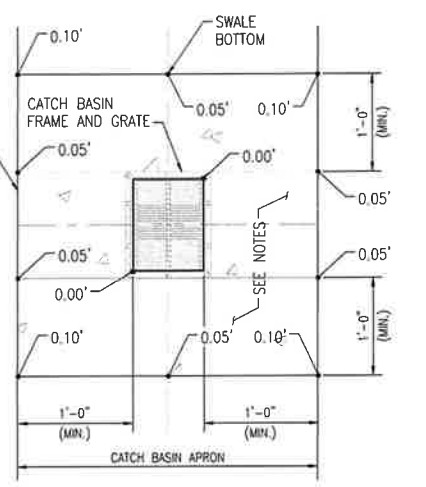


VALLEY GUTTER



TYPE 'D' CURB **HEADER CURB**

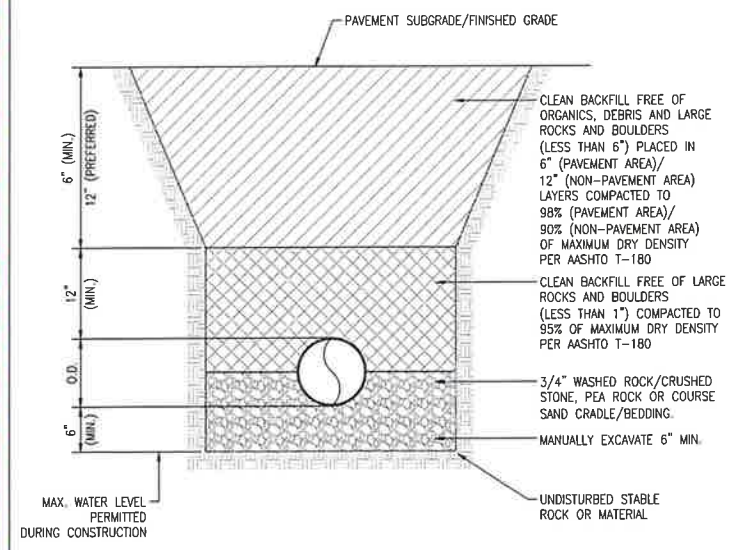
SOD TO BE PLACED 1" BELOW CONCRETE APRON TO ALLOW FOR SOD GROWTH/MATURITY (TYP.)



- NOTES:**
- 6" THICK CLASS 1 PORTLAND CEMENT W/ FIBER MESH REINFORCEMENT OVER 12" SUBGRADE COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
 - CONCRETE SHALL HAVE A MINIMUM 3,500 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
 - CONCRETE SHALL BE CURED WITH A CLEAN SAND AND PLASTIC MEMBRANE OR OTHER APPROVED METHOD.
 - RECTANGULAR FRAME AND GRATE DEPICTED, BUT YARD DRAINAGE INLETS/CATCH BASINS MAY UTILIZE ROUND FRAME AND GRATE. (REFER TO PLAN FOR FRAME AND GRATE TYPE/CONFIGURATION).

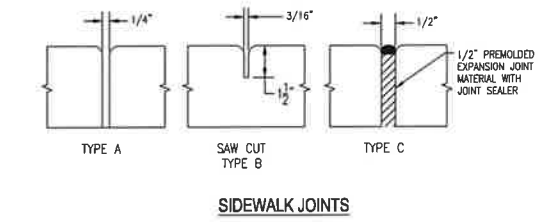
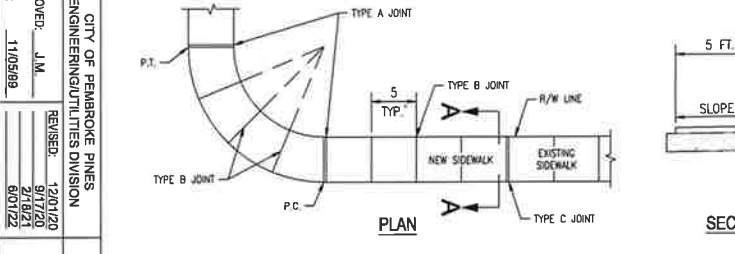
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISOR:	CONCRETE CURBS	
DATE: 11/05/99	10/20/22	R-26	

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISOR:	CONCRETE APRON DETAIL	
DATE: 10/20/22		R-49	



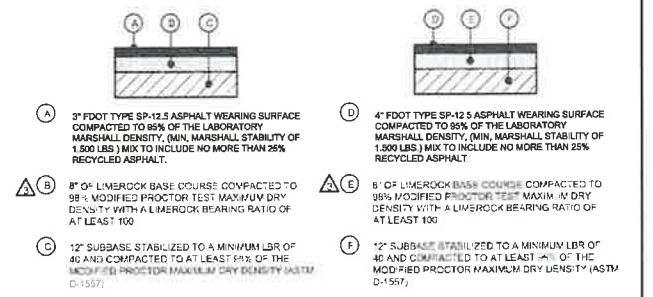
- NOTES:**
- MAXIMUM COMPACTION DENSITY SHALL BE DETERMINED BY AASHTO T-180.
 - MAXIMUM WATER LEVEL IN TRENCH SHALL BE MAINTAINED AT BOTTOM OF "BEDDING MATERIAL" UNLESS SOIL AND WATER TABLE CONDITIONS DICTATE OTHERWISE, THEN AN ALTERNATE METHOD OF CONTROLLING THE WATER LEVEL IN THE TRENCH AND/OR AN ALTERNATE METHOD OF INSTALLATION IN "WET CONDITIONS" SHALL BE PROPOSED BY CONTRACTOR AND ENGINEER AND APPROVED BY THE CITY'S FIELD REPRESENTATIVE FOR FIELD USE.
 - WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 - WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
 - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
 - WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" WASHED ROCK CRUSHED Limestone SHALL BE USED TO PROVIDE UNIFORM BEDDING.
 - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE CITY BASED ON THE SITE CONDITIONS.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISOR: 01/14/21	TYPICAL TRENCH BACKFILL	
DATE: 10/30/19	02/05/20	R-44	

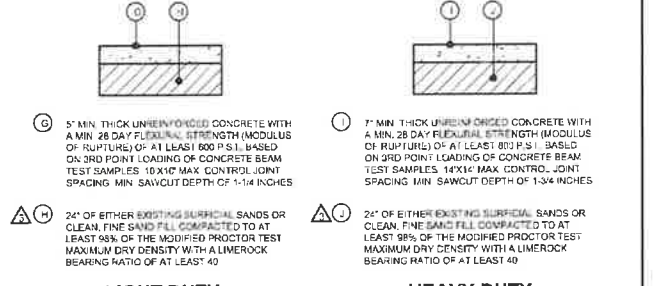


- NOTES:**
- CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 4,000 PST AT 28 DAYS, WITH FIBER MESH REINFORCEMENT FOR CITY STREETS AND CITY PROJECTS.
 - CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR PRIVATE STREETS AND PRIVATE DEVELOPMENT.
 - SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET A.D.A. STANDARDS.
 - SIDEWALK CURB RAMP SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER F.D.O.T. STANDARD PLANS INDEX NO. 522-002.
 - THE VERTICAL DEVIATION OF THE COVER/JOB OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE AND SHALL BE "PEDESTRIAN FRIENDLY APPROVED".

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: J.M.	REVISOR: 12/01/20	CONCRETE SIDEWALK	
DATE: 11/05/99	01/27/20	R-28	



- FLEXIBLE PAVEMENT CONSTRUCTION**
- LIGHT DUTY**
 NOTE: BASE MATERIAL SHALL BE EXTENDED A MINIMUM OF 1 FOOT BEYOND THE BACK OF CURB AND SUB-BASE SHALL BE EXTENDED 1 FOOT MIN. BEYOND THE BASE.
- HEAVY DUTY**
 NOTE: BASE MATERIAL SHALL BE EXTENDED A MINIMUM OF 1 FOOT BEYOND THE BACK OF CURB AND SUB-BASE SHALL BE EXTENDED 1 FOOT MIN. BEYOND THE BASE.



- RIGID PAVEMENT CONSTRUCTION**
- LIGHT DUTY**
 NOTE: CONTRACTOR SHALL COMPLY WITH WAL-MART SPECIFICATIONS AND DESIGN DATA AND RECOMMENDATION OF THE FCRA DESIGN AND CONSTRUCTION OF CONCRETE PAVEMENT MANUAL FOR CONCRETE PAVEMENT JOINT SPACING. THIS IS TO INCLUDE CONTROL JOINTS, CONSTRUCTION AND ISOLATION JOINTS.
- HEAVY DUTY**
 NOTE: CONTRACTOR SHALL COMPLY WITH WAL-MART SPECIFICATIONS AND DESIGN DATA AND RECOMMENDATION OF THE FCRA DESIGN AND CONSTRUCTION OF CONCRETE PAVEMENT MANUAL FOR CONCRETE PAVEMENT JOINT SPACING. THIS IS TO INCLUDE CONTROL JOINTS, CONSTRUCTION AND ISOLATION JOINTS.

TABLE OF SIDEWALK JOINTS

LOCATION/APPLICATION	THICKNESS - "T"
A: P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK	4"
B: 5'-0" CENTER TO CENTER ON SIDEWALK	4"
C: WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, SIMILAR STRUCTURES AND WHERE RUN OF SIDEWALK EXCEEDS 120'	6"

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION		STANDARD ROAD DETAIL	
APPROVED: K.M.K.	REVISOR: 01/14/21	TYPICAL TRENCH BACKFILL	
DATE: 10/30/19	02/05/20	R-44	

SITE DETAILS

REVISIONS	BY

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 Langan Engineering and Environmental Services, LLC
 19485 Veterans Way, Suite 120
 Orlando, FL 32827
 T: 407.974.2900 F: 407.974.2901 www.langan.com



SUPERCENTER #25891-1018
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WALMART INC.
 81 RESPECT DRIVE
 BENTONVILLE, AR 72716

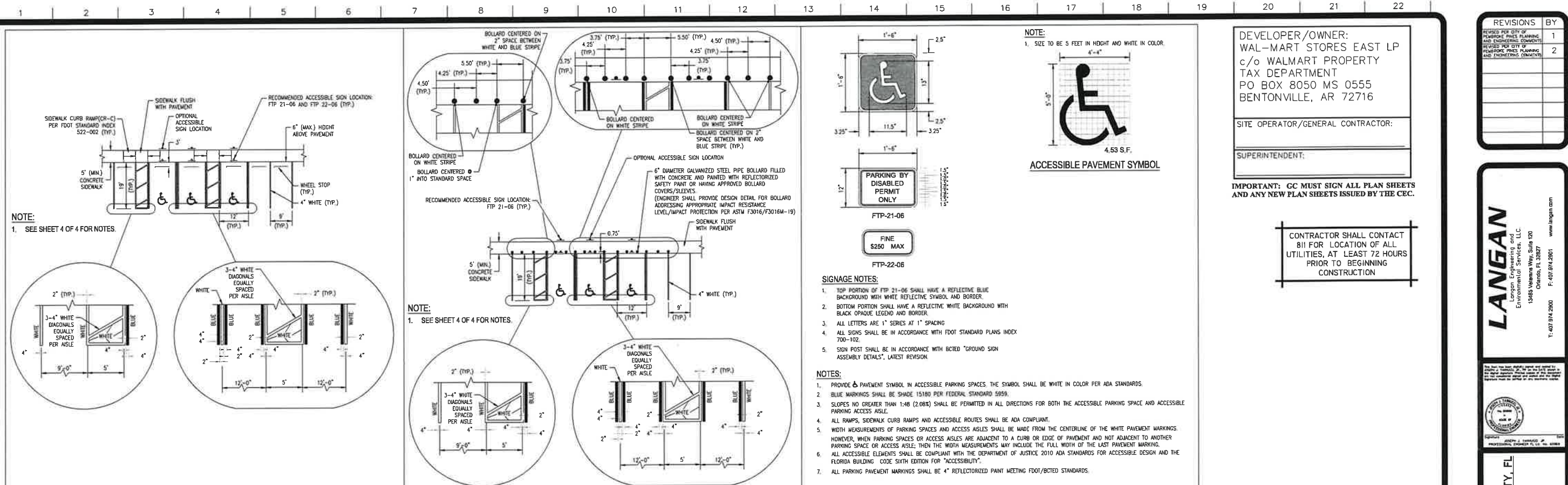
DEVELOPER/OWNER:
 WAL-MART STORES EAST LP
 c/o WALMART PROPERTY TAX DEPARTMENT
 PO BOX 8050 MS 0555
 BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:
 SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CITY.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DRAWN	
CHECKED	
DATE	05/19/2026
SCALE	
AS NOTED	
JOB No.	342045701
SHEET	D-2



DEVELOPER/OWNER:
WAL-MART STORES EAST LP
c/o WALMART PROPERTY
TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

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CONTRACTOR SHALL CONTACT
BII FOR LOCATION OF ALL
UTILITIES, AT LEAST 72 HOURS
PRIOR TO BEGINNING
CONSTRUCTION

REVISED	BY
REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING DIVISION	1
REVISED PER CITY OF PEMBROKE PINES PLANNING AND ENGINEERING DIVISION	2

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T: 407.974.2800 F: 407.974.2801
www.langan.com

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: K.M.K. 09/09/20
DATE: 12/01/18

REVISOR: 09/09/20
12/01/18

ACCESSIBLE PARKING SPACE DETAILS

R-32
SHEET 1 OF 4

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: K.M.K. 09/09/20
DATE: 10/24/19

REVISOR: 09/09/20

ACCESSIBLE PARKING SPACE DETAILS

R-32
SHEET 3 OF 4

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

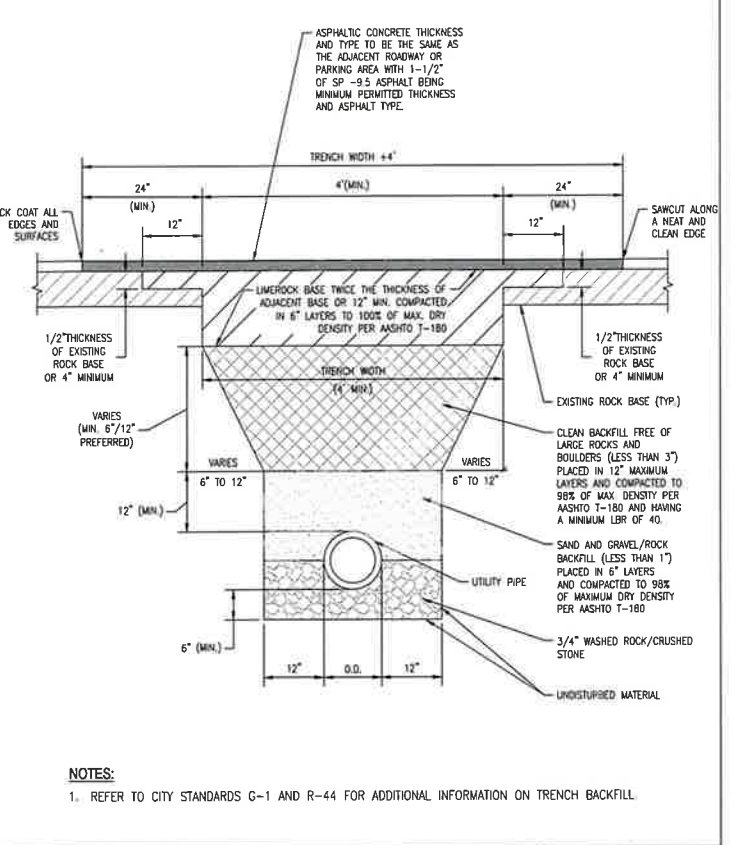
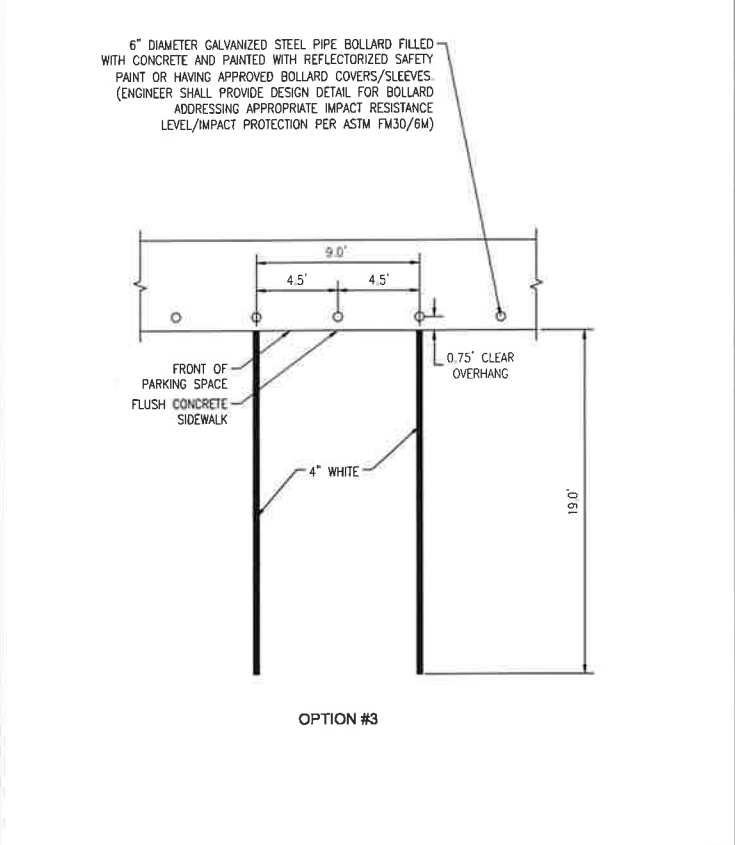
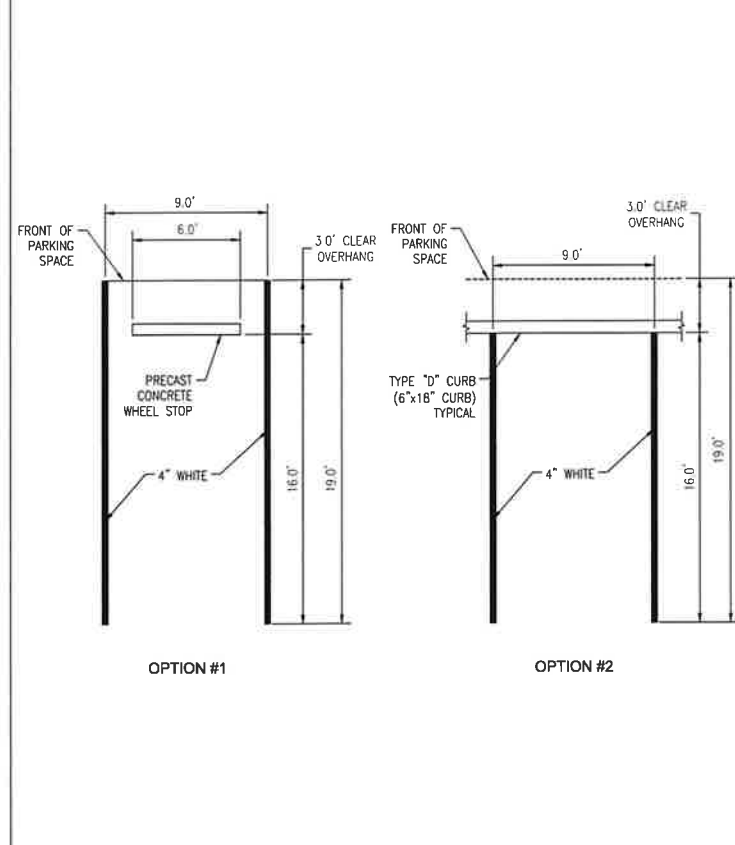
STANDARD ROAD DETAIL

APPROVED: K.M.K. 9/09/20
DATE: 12/01/18

REVISOR: 9/09/20
6/15/20
12/01/18

ACCESSIBLE PARKING SPACE DETAILS

R-32
SHEET 4 OF 4



CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: K.M.K. 05/17/18
DATE: 05/17/18

REVISOR: 05/17/18

STANDARD PARKING SPACE

R-41
SHEET 1 OF 3

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: K.M.K. 10/30/19
DATE: 05/17/18

REVISOR: 10/30/19
05/17/18

STANDARD PARKING SPACE

R-41
SHEET 2 OF 3

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: J.M. 11/05/99
DATE: 11/05/99

REVISOR: 6/16/20
11/06/19

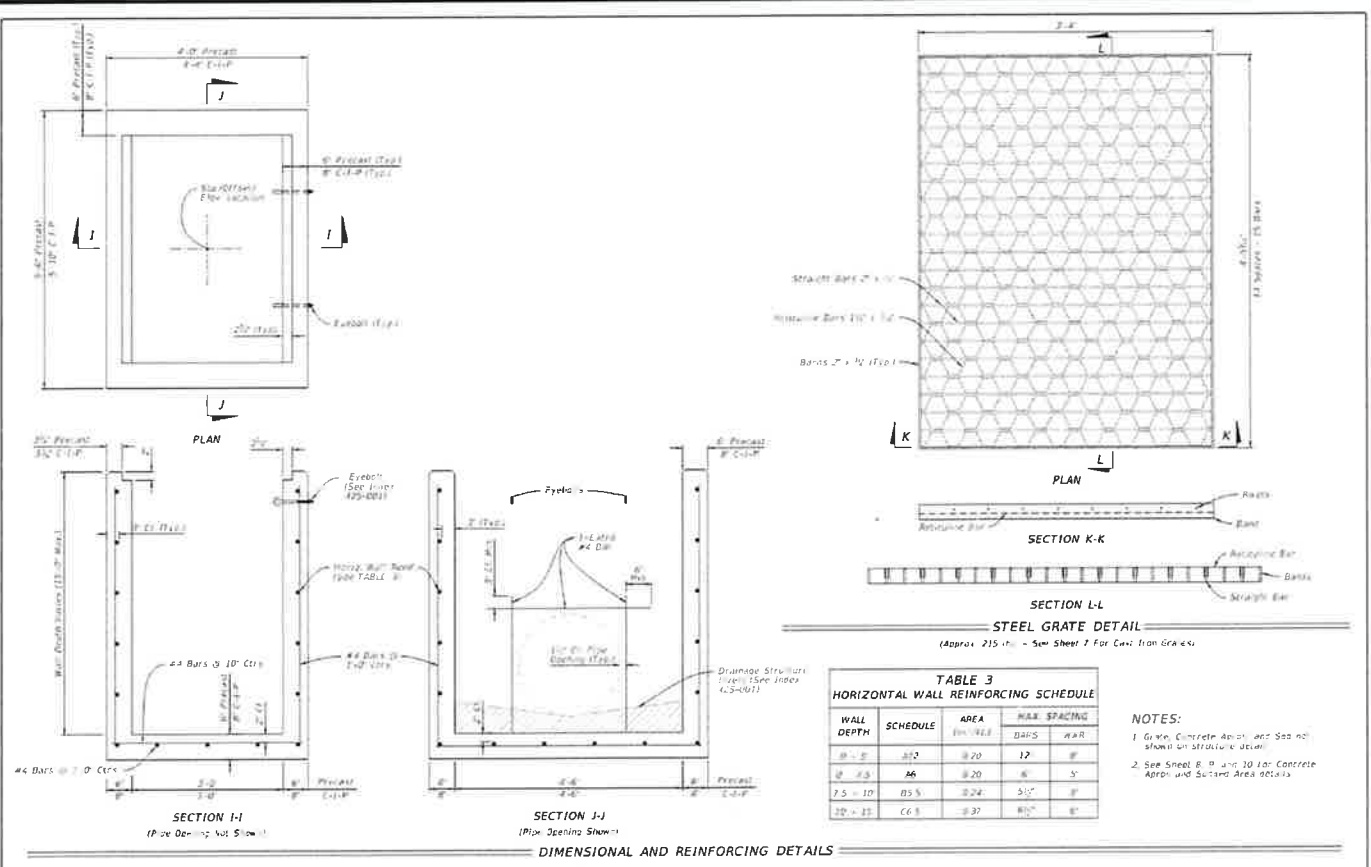
PAVEMENT RESTORATION FOR LOCAL ROADS AND PARKING LOTS

R-38

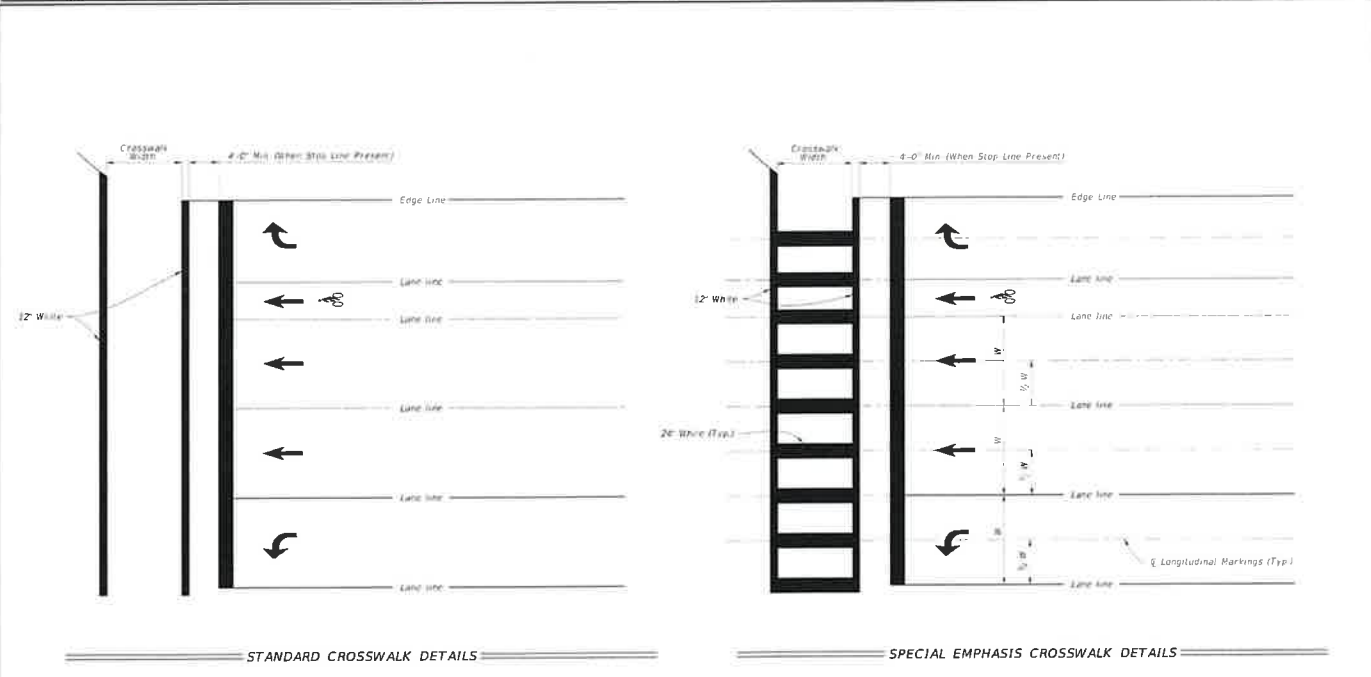
SITE DETAILS

SUPERCENTER #2591-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716

DRAWN: DOPPLE, J.A.C.
CHECKED: J.S.Y.
DATE: 03/17/2026
SCALE: AS NOTED
JOB NO: 343048101
SHEET: D-3

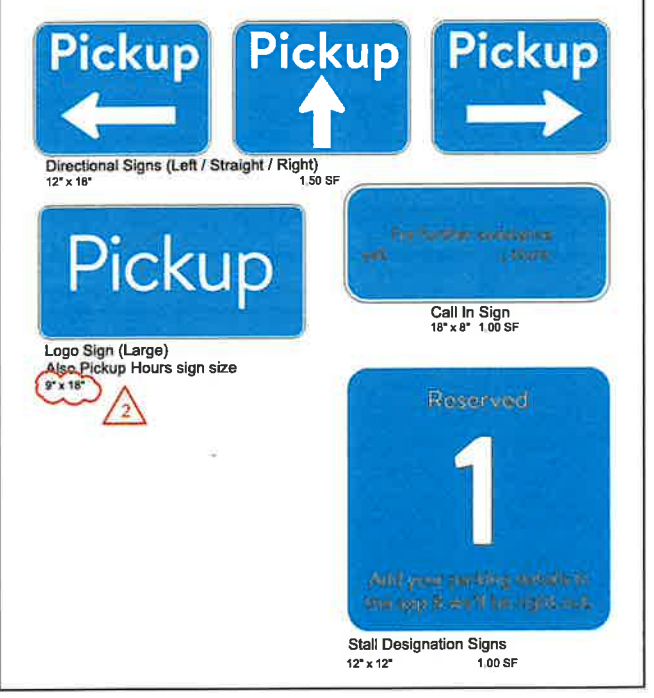
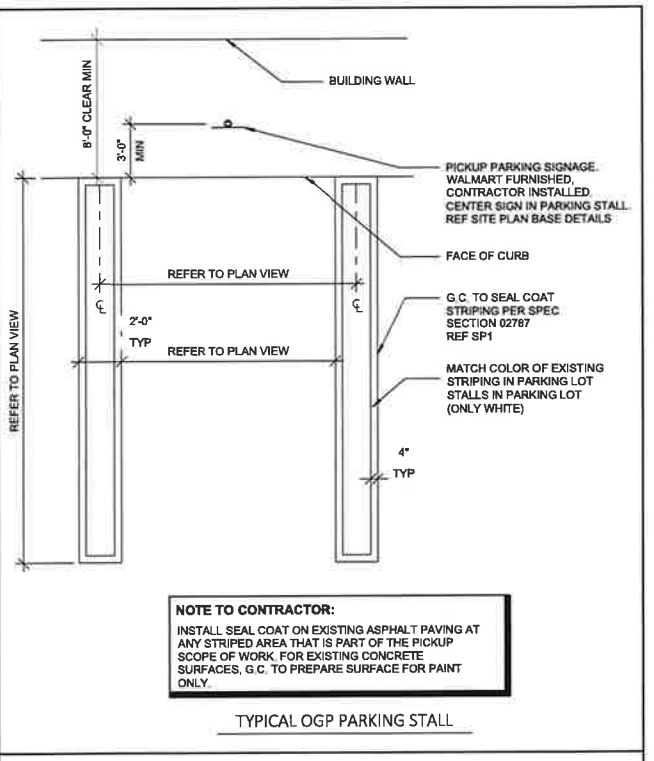


TYPE E - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS
 INDEX SHEET 425-052 4 of 14



NOTES:
 1. For crosswalk width, exceed width of the adjacent sidewalk but do not make width less than 6' for intersection crosswalks and 10' for midblock crosswalks. Measure width from the inside of the transverse crosswalk markings.
 2. When the Special Emphasis Crosswalk is not perpendicular to the lane lines, make the longitudinal markings parallel to the lane lines.
 3. Refer to Index 522-002 when Curb Ramps are present.

PAVEMENT MARKINGS
 INDEX SHEET 711-001-1 9 of 13



CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

DEVELOPER/OWNER:
 WAL-MART STORES EAST LP
 c/o WALMART PROPERTY TAX DEPARTMENT
 PO BOX 8050 MS 0555
 BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:
 SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SITE DETAILS

REVISIONS	BY
1	
2	

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 Langan Engineering and
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SUPERCENTER #2591-1018
 CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
 WALMART INC.
 81 RESPECT DRIVE
 BENTONVILLE, AR 72716



DRAWN	DOPL/CLJ/C
CHECKED	JJY
DATE	03/11/2026
SCALE	AS NOTED
JOB No.	342045701
SHEET	

D-4

SITE DEMOLITION SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - Demolition of structures, paving, and utilities.
 - Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance. Obtain required permits and licenses from appropriate authorities. Pay associated fees including disposal charges.
- B. Notify affected utility companies before starting work and comply with their requirements.
- C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.

1.3 PROJECT CONDITIONS

- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
- B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water-reducing admixture, air-entraining admixture, and water to produce following:
 - Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
 - Slump Range: 1 to 3-inches at time of placement
 - Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control.
- B. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.
- D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.
- F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, infringe upon, or limit access to their property. Coordinate notice with Owner.

3.2 GENERAL DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
- B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.
- C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.
- D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.
- E. Comply with governing regulations pertaining to environmental protection.
- F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.

3.3 DEMOLITION

- A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.
- B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
- C. Fill or remove piping and appurtenances as shown.
- D. Demolish concrete and masonry in small sections. Break up concrete slabs on grade that are 2-feet or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-feet of proposed subgrade.

3.4 PATCHING

- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.
- B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
- D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on site or off site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION

PAVEMENT MARKINGS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - Painting and marking of pavements, curbs, and guard posts (bollards).

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. American Association of State Highway and Transportation (AASHTO):
 - AASHTO M247 - Glass Beads Used in Traffic Paints
 - AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints
- C. Master Painter's Institute (MPI):
 - MPI 32 - Traffic Marking Paint, Solvent Based.
 - MPI 97 - Traffic Marking Paint, Latex.
- D. ASTM International (ASTM):
 - ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.
 - Federal Specifications (FS):
 - FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
 - FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
 - FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.
- B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
- C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval. Paint shall be non-bleeding, quick-drying, and alkyl petroleum base paint suitable for traffic-bearing surface and be mixed in accordance with manufacturer's instructions before application for colors White, Yellow, Blue, and Red.
- D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.
- E. Thermoplastic and reflective paint materials shall conform to F.O.D.T. specifications and B.C.T.E.D. standards/specifications.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

- A. Sweep and clean surface to eliminate loose material and dust.
- B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.

3.4 APPLICATION

- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.
- B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
- C. Following items shall be painted with colors noted below:
 - Pedestrian Crosswalks: White
 - Exterior Sidewalk Curbs and Guard Posts: Yellow
 - Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail)
 - Fire Lanes: Yellow or per local code.
 - Lane Striping where separating traffic moving in opposite directions: Yellow.
 - Lane Striping where separating traffic moving in the same direction: White.
 - ADA Symbols: Blue or per local code.
 - ADA parking space markings as shown on the drawings.
 - Parking Stall Striping: White, unless otherwise noted on Construction Drawings.
 - Associate Parking Area: White, unless otherwise noted on Construction Drawings.
 - Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.

3.5 FIELD QUALITY CONTROL

- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - Traffic control signs.
- B. Related Requirements:
 - Section 09900 - Painting, Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- B. ASTM International (ASTM):
 - ASTM A53 - Pipe, Steel, Black and Hot_Dipped, Zinc_Coated Welded and Seamless.
 - ASTM C94 - Ready Mix Concrete
 - ASTM D4956 - Retroreflective Sheeting for Traffic Control.
- C. US Department of Transportation, Federal Highway Administration:
 - Manual on Uniform Traffic Control Devices (MUTCD)
 - Broward County Traffic Engineering Divisions (BCTED)

PART 2 - PRODUCTS

2.1 SIGNS

- A. Conform to US Department of Transportation MUTCD. Sign classification, type, size, and color shall be as shown on the drawings
- B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
- B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water-reducing admixture, air-entraining admixture, and water to produce following:
 - Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
 - Slump Range: 1 to 3-inches at time of placement
 - Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
- B. Install signs of the type and at locations shown on the Drawings.
- C. Install posts of the type as shown on the drawing.
- D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.

SMALL PROJECT SEAL COAT SPECIFICATION:

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- STAR PRODUCTS
 - MICRO-PAVE PRO-BLEND WITH ADDED SAND
 - SINGLE COAT
- SEAL MASTER
 - POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
 - SINGLE COAT
- GEM SEAL BLACK DIAMOND XL
 - WITH ADDED SAND
 - SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

CONTRACTOR SHALL CONTACT
811 FOR LOCATION OF ALL
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CONSTRUCTION

DEVELOPER/OWNER:
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TAX DEPARTMENT
PO BOX 8050 MS 0555
BENTONVILLE, AR 72716

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SITE NOTES

REVISIONS	BY
1	
2	

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SUPERCENTER #2691-1018
CITY OF PEMBROKE PINES, BROWARD COUNTY, FL
WALMART INC.
81 RESPECT DRIVE
BENTONVILLE, AR 72716



DRAWN	DOPL/CL/PJC
CHECKED	JJY
DATE	03/17/2028
SCALE	
AS NOTED	
JOB No.	
342048701	
SHEET	

D-5

OCCUPANCY SCHEDULE PER 2023 NFPA 101 TABLE 7.3.1.2 (MAX. FLOOR AREA ALLOWANCES PER OCCUPANT)

EGRESS COMPLIES WITH SECTION 1004.7. EGRESS DOES NOT PASS THROUGH MAIN BUILDING.						
OCCUPANCY LOAD CALCULATIONS			REQUIRED EGRESS WIDTH...			
RM. NO.	NAME	AREA (SF)	LOAD FACTOR	OCCUPANTS	WIDTH FACTOR	WIDTH REQUIRED (inches)
INDOOR SALES AND FOOD TENANT						
100	REMODELED SALES	117619	30	3921	0.2	784.13
101	VESTIBULE-GM	942	30	31	0.2	6.28
103	OTHER INCOME - GM	177	30	6	0.2	1.18
115	VESTIBULE-GR	830	30	28	0.2	5.53
117	OTHER INCOME - GR	259	30	9	0.2	1.73
136	FOOD TENANT DINING	1335	30	45	0.2	8.90
900	GROCERY SALES	26789	30	893	0.2	178.59
TOTAL		147951		4932		986
KITCHEN						
137	FOOD TENANT KITCHEN	706	200	4	0.2	0.71
TOTAL		706		4		1
OFFICE						
105	CUSTOMER SERVICE	761	150	5	0.2	1.01
107	CASH	182	150	1	0.2	0.22
108	COUNTING	132	150	1	0.2	0.18
119	AP OFFICE	183	150	1	0.2	0.24
144	TENANT SPACE	527	150	4	0.2	0.70
147	CORRIDOR/HALLWAY	293	150	2	0.2	0.39
148	SALON	747	150	5	0.2	1.00
149	OFFICE	58	150	1	0.2	0.20
150	CORRIDOR/HALLWAY	293	150	2	0.2	0.39
700	OPTICAL SALES	794	150	5	0.2	1.05
701	ADJUSTMENTS	98	150	1	0.2	0.13
702	CONTACTS	79	150	1	0.2	0.11
703	PRETEST	63	150	0	0.2	0.08
705	EXAM #1	109	150	1	0.2	0.15
706	EXAM #2	100	150	1	0.2	0.13
707	WAITING	349	150	2	0.2	0.47
802	TENANT SPACE	661	150	4	0.2	0.88
803	TENANT SPACE	931	150	6	0.2	1.19
TOTAL		6330		43		7
TRAINING						
141	HALLWAY	140	0	N/A	0.2	
172	TRAINING	504	30	17	0.2	3.36
204	TRAINING #1	556	30	19	0.2	3.71
205	TRAINING #2	556	30	19	0.2	3.71
206	TRAINING #3	508	30	17	0.2	3.39
TOTAL		2264		71		14
STOCKROOM/MECHANICAL/ELECTRICAL/STORAGE						
106	RETURN STORAGE	147	300	0	0.2	0.10
104	CART STORAGE-GM	683	300	2	0.2	0.46
109	EQUIPMENT	79	300	0	0.2	0.05
118	CART STORAGE-GR	812	300	3	0.2	0.54
122	EDC #	230	300	1	0.2	0.15
125	JANITOR	35	300	0	0.2	0.02
128	ALCOVE	76	0	N/A		
129	ALCOVE	68	0	N/A		
153	UPS	63	300	0	0.2	0.04
157	BACK OFFICE CORRIDOR/HALLWAY	1659	300	6	0.2	0.76
158	JANITOR	237	300	1	0.2	0.16
159	SPRINKLER	188	300	1	0.2	0.11
160	CLAMBS	235	300	1	0.2	0.16
161	BACK OFFICE CORRIDOR/HALLWAY	1694	300	N/A		
162	CORRIDOR/HALLWAY	160	0	N/A		
163	SITE TO STORE/LAYAWAY	285	0	N/A		
164	ALCOVE	54	0	N/A		
171	UP/INVOICING	130	300	0	0.2	0.09
175	MANAGEMENT	247	300	1	0.2	0.16
176	CORRIDOR/HALLWAY	370	0	N/A		
179	STOCKROOM-GM	7635	300	25	0.2	5.02
187	UTILITY	112	300	0	0.2	0.07
198	EDC #	121	300	0	0.2	0.08
199	CLOSET	40	300	0	0.2	0.03
201	CORRIDOR	50	0	N/A		
203	RECEIVING-GR	2665	300	9	0.2	1.78
207	ALCOVE	47	0	N/A		
208	STORAGE	76	300	0	0.2	0.05
209	RECEIVING-GM	1753	300	6	0.2	1.17
304	STORAGE	281	300	1	0.2	0.19
414	EQUIPMENT	20	300	0	0.2	0.01
423	EDC #	83	300	0	0.2	0.06
426	CORRIDOR/HALLWAY/ALCOVE	259	0	N/A		
610	TIRE/BATTERY STORAGE	629	300	2	0.2	0.42
901	SERVICE DELI	569	200	3	0.2	0.57
902	DELI PREP	268	300	1	0.2	0.18
906	BAKERY	1391	300	5	0.2	0.93
909	PRODUCE PREP	231	300	1	0.2	0.15
910	DRY PRODUCE PREP	231	300	1	0.2	0.15
916	STOCKROOM-GR	3230	300	11	0.2	2.15
918	CORRIDOR/HALLWAY	223	0	N/A		
919	ALCOVE	155	0	N/A		
920	STOCKROOM-GR	4346	300	14	0.2	2.90
935	CAKE DECORATING	603	300	2	0.2	0.40
946	PICKUP STORAGE	5604	300	19	0.2	3.8
947	PICKUP COOLER	524	300	2	0.2	0.4
948	PICKUP FREEZER	293	300	1	0.2	0.2
970	DELI COOLER	123	300	0	0.2	0.08
971	DELI FREEZER	126	300	0	0.2	0.08
972	BAKERY COOLER	98	300	0	0.2	0.07
973	BAKERY FREEZER	478	300	2	0.2	0.32
974	PRODUCE COOLER	362	300	1	0.2	0.24
976	SEAFOOD PREP	435	300	1	0.2	0.28
977	SEAFOOD FREEZER	146	300	0	0.2	0.10
980	MEAT COOLER	745	300	2	0.2	0.50
981	GROCERY FREEZER	754	300	3	0.2	0.50
982	ICE CREAM FREEZER	312	300	1	0.2	0.21
983	DAILY COOLER	1237	300	4	0.2	0.82
990	ALCOVE	79	0	N/A		
TOTAL		43628		135		26.4
BREAKROOM						
151	BREAKROOM	1466	15	98	0.2	19.55
TOTAL		1466		98		20
PHARMACY						
300	PHARMACY	625	150	4	0.2	0.83
301	PHARMACY TOILET	57	0	N/A		
302	HEALTH SERVICES	83	150	1	0.2	0.11
TOTAL		765		5		1
ANCILLARY AREAS						
111	CUSTOMER MEN	194	0	N/A		
112	CUSTOMER WOMEN	202	0	N/A		
113	ALCOVE	70	0	N/A		
114	ALCOVE	68	0	N/A		
165	CUSTOMER MEN	333	0	N/A		
166	CUSTOMER WOMEN	350	0	N/A		
167	FAMILY TOILET	72	0	N/A		
177	MOTHER'S ROOM	52	0	N/A		
TOTAL		1341		0		0.00
OUTDOOR SALES/FENCED AREA						
501	GARDEN CENTER/LIVE GOODS	17729	30	591	0.2	118.19
TOTAL		17729		591		118
GRAND TOTAL		222190		5878		1174

EGRESS LENGTH SCHEDULE

EGRESS PATH NAME	Egress Section Length
EG-1	229'-6"
EG-2	183'-0"
EG-3	241'-0"
EG-4	167'-6"
EG-5	130'-6"
EG-6	312'-0"
EG-7	169'-0"
EG-8	237'-6"
EG-9	138'-0"
EG-10	128'-6"
EG-11	107'-6"
EG-12	167'-6"
EG-13	108'-0"
EG-14	108'-0"
EG-15	98'-0"
EG-16	98'-0"

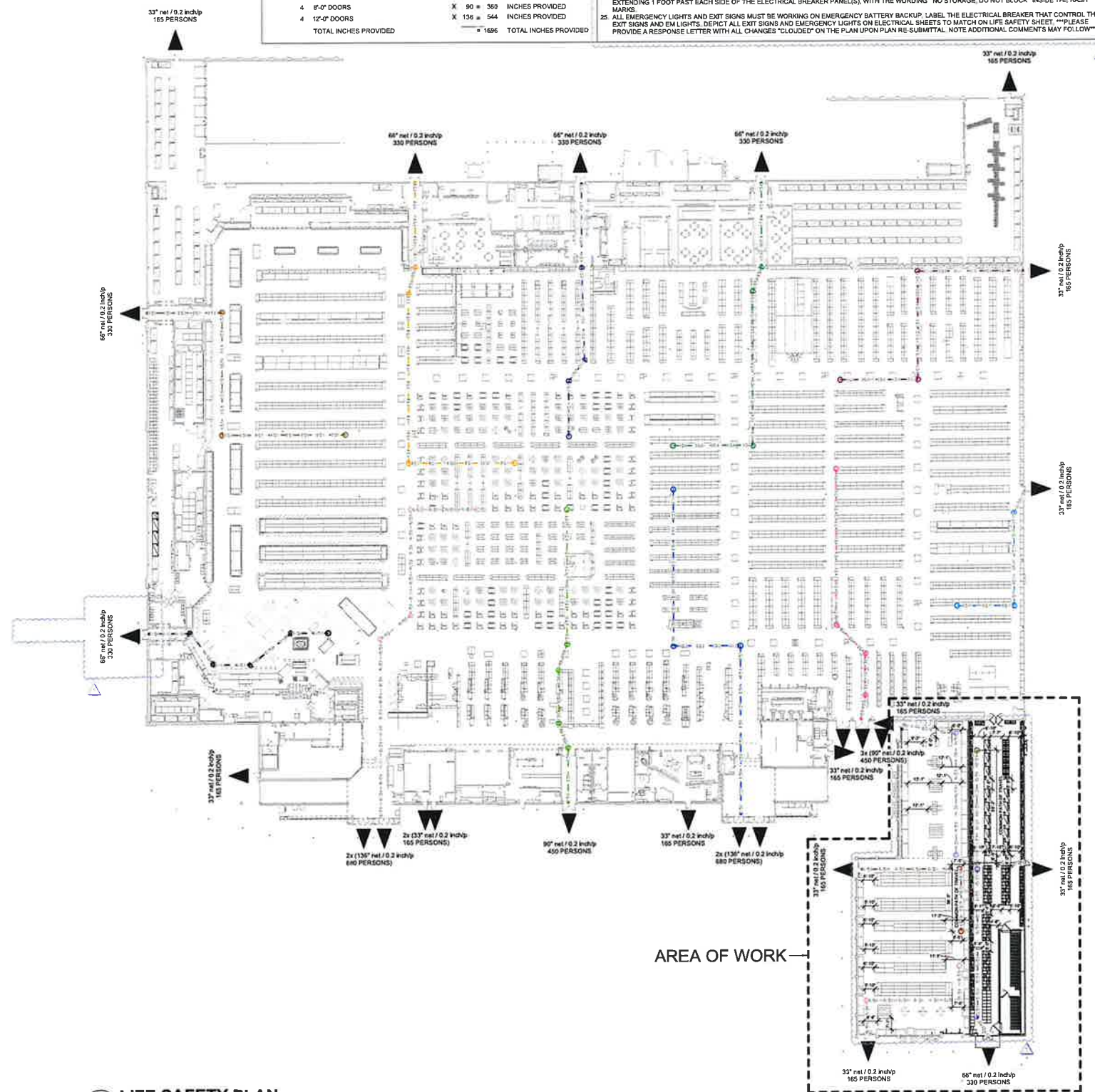
EGRESS WIDTH CALCULATIONS

SALES AND FOOD TENANT:			
4932 OCCUPANTS	X 0.2 =	986	INCHES REQUIRED
7 3'-0" DOORS	X 33 =	231	INCHES PROVIDED
5 6'-0" DOORS	X 66 =	330	INCHES PROVIDED
4 8'-0" DOORS	X 90 =	360	INCHES PROVIDED
4 12'-0" DOORS	X 138 =	544	INCHES PROVIDED
TOTAL INCHES PROVIDED = 1465			
STOCKROOM/MECH/TRAINING/KITCHEN:			
256 OCCUPANTS	X 0.2 =	51.2	INCHES REQUIRED
4 3'-0" DOORS	X 33 =	144	INCHES PROVIDED
5 6'-0" DOORS	X 66 =	360	INCHES PROVIDED
TOTAL INCHES PROVIDED = 504			
BREAKROOM EGRESS:			
98 OCCUPANTS	X 0.2 =	20	INCHES REQUIRED
2 6'-0" DOORS	X 66 =	132	INCHES PROVIDED
TOTAL INCHES PROVIDED = 132			
OUTDOOR SALES, FENCED AREA:			
183 OCCUPANTS	X 0.2 =	36.6	INCHES REQUIRED
3 3'-0" DOORS	X 33 =	99	INCHES PROVIDED
TOTAL INCHES PROVIDED = 99			
TOTAL:			
5864 OCCUPANTS	X 0.2 =	1170	INCHES REQUIRED
14 3'-0" DOORS	X 33 =	462	INCHES PROVIDED
5 6'-0" DOORS	X 66 =	330	INCHES PROVIDED
4 8'-0" DOORS	X 90 =	360	INCHES PROVIDED
4 12'-0" DOORS	X 138 =	544	INCHES PROVIDED
TOTAL INCHES PROVIDED = 1496			

- TOTAL SQUARE FOOTAGE TO REMAIN THE SAME AS EXISTING
- REFER TO LIFE SAFETY PLAN FOR NEW EGRESS PATHS
- ALL EXIT SIGNS ARE REPLACED WITH NEW, REF. ELEC.

SHEET NOTES

- MAINTAIN A MINIMUM OF 3'-0" AISLE WIDTH ON SALES FLOOR WHERE MERCHANDISE OR OTHER OBSTRUCTIONS ARE PLACED ON ONE SIDE OF AISLE, AND 7'-6" AISLE WIDTH WHEN SUCH OBSTRUCTIONS ARE PLACED ON BOTH SIDES OF AISLE.
- ALL EXIT SIGNS AND EMERGENCY LIGHTS ARE SHOWN ON SHEET E-1, (SYMBOL LEGEND ON E3), AND WILL BE SUBJECT TO INSPECTION FROM FIRE MARSHAL HAVING AUTHORITY PRIOR TO FINAL APPROVALS.
- 250' MAX. TRAVEL DISTANCE IS SHOWN AS A DASHED LINE.
- NEW FIRE EXITS TO BE SHOWN.
- REVIEW AND APPROVAL BY THE AUI SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 101: 7.1.1.1.4.4. FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 8TH EDITION, EFFECTIVE DECEMBER 31, 2023 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2001 EDITION, NFPA 1, 2001 EDITION, & STATE STATUTES, 2024 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN).
- PER NFPA 101: 37.1.1.1.5. ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH 37.1.1.1.5.1, 37.1.1.5.2, AND 37.1.1.5.3.
- PER NFPA 101: 37.1.1.5.1. ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE REQUIREMENTS OF 4.6.7.
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 8TH EDITION, EFFECTIVE DECEMBER 31, 2023 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2001 EDITION, NFPA 1, 2001 EDITION, & STATE STATUTES, 2024 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN).
- PER NFPA 101: 37.1.1.1.1. WHERE CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS ARE CONDUCTED, THE PROVISIONS OF 6.10.2.2 SHALL APPLY, HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY.
- PER NFPA 101: 37.1.1.5.2. EXISTING PORTIONS OF THE STRUCTURE SHALL NOT BE REQUIRED TO BE MODIFIED, PROVIDED THAT THE NEW CONSTRUCTION HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY.
- PER NFPA 101: 37.2.2.1. IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.1.1(1), COMMON PATHS OF TRAVEL SHALL NOT EXCEED 100 FT (30 M).
- PER NFPA 101: 37.2.2.2. IN BUILDINGS NOT COMPLYING WITH 37.2.2.1, COMMON PATHS OF TRAVEL SHALL NOT EXCEED 75 FT (23 M).
- PER NFPA 101: 37.2.2.4. AISLES LEADING TO EACH EXIT SHALL BE REQUIRED, AND THE AGGREGATE WIDTH OF SUCH AISLES SHALL BE NOT LESS THAN THE REQUIRED WIDTH OF THE EXIT. (SHADE THE REQUIRED EGRESS PATH TO EXITS).
- REQUIRED AISLES SHALL BE NOT LESS THAN 28 IN (710 MM) IN CLEAR WIDTH.
- COOLER SHALL BE PROVIDED WITH SOME TYPE OF EMERGENCY EGRESS LOCKING/LATCHING HARDWARE. PLEASE SHOW COMPLIANCE.
- PER NFPA 101: 37.2.8. TRAVEL DISTANCE TO EXITS: TRAVEL DISTANCE SHALL BE AS SPECIFIED IN 37.2.8.1 AND 37.2.8.2 AND SHALL BE MEASURED IN ACCORDANCE WITH SECTION 7.6.
- PER NFPA 101: 37.2.8.1. IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.1.1(1), TRAVEL DISTANCE SHALL NOT EXCEED 350 FT (106 M).
- PER NFPA 101: 37.2.8.2. HEATING, VENTILATING, AND AIR-CONDITIONING: HEATING, VENTILATING, AND AIR-CONDITIONING EQUIPMENT SHALL COMPLY WITH THE PROVISIONS OF SECTION 9.2.
- PER NFPA 101: 7.1.8.1.1. WALKING SURFACES IN THE MEANS OF EGRESS SHALL COMPLY WITH 7.1.6.2 THROUGH 7.1.6.4.
- PER NFPA 101: 37.2.3.1. DOORS COMPLYING WITH 7.2.1 SHALL BE PERMITTED.
- FIRE EXTINGUISHERS SHALL BE MOUNTED AT 48" AFF AND SHALL BE CURRENTLY DATED AND TAGGED BY LICENSED FIRE EQUIPMENT COMPANY.
- THE NUMERICAL ADDRESS SHALL BE PROVIDED ON EACH SIDE OF THE ELECTRICAL BREAKER PANELS, WITH THE WORDING "NO STORAGE, DO NOT BLOCK" IN CONTRASTING COLORS.
- ON FLOOR IN FRONT OF THE ELECTRICAL BREAKER PANELS YELLOW STRIPING/MARKS WILL BE PAINTED OUT 3 FEET FROM THE WALL AND EXIT SIGNS AND EM LIGHTS. EXPT FOR EACH SIDE OF THE ELECTRICAL BREAKER PANELS, WITH THE WORDING "NO STORAGE, DO NOT BLOCK" INSIDE THE MASH MARKS.
- ALL EMERGENCY LIGHTS AND EXIT SIGNS MUST BE WORKING ON EMERGENCY BATTERY BACKUP. LABEL THE ELECTRICAL BREAKER THAT CONTROL THE EXIT SIGNS AND EM LIGHTS. DETAIL ALL EXIT SIGNS AND EMERGENCY LIGHTS ON ELECTRICAL SHEETS TO MATCH ON LIFE SAFETY SHEET. "PLEASE PROVIDE A RESPONSE LETTER WITH ALL CHANGES "CLOUSED" ON THE PLAN UPON PLAN RE-SUBMITTAL. NOTE ADDITIONAL COMMENTS MAY FOLLOW"



1 LIFE SAFETY PLAN
1" = 30'-0"

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PEMBROKE PINES, FL
STORE NO. 02559
14018
JOB NUMBER: 2024.1013 | PHOTO: 192

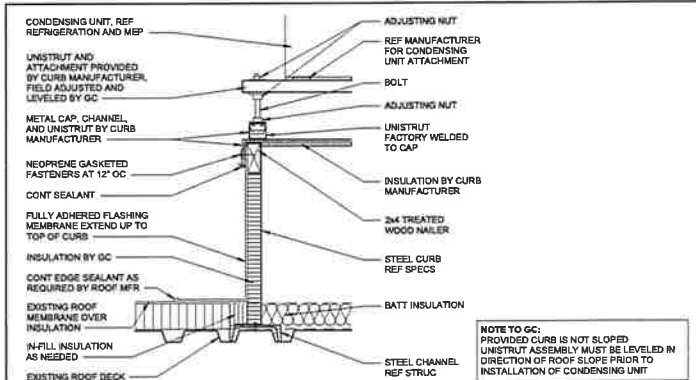
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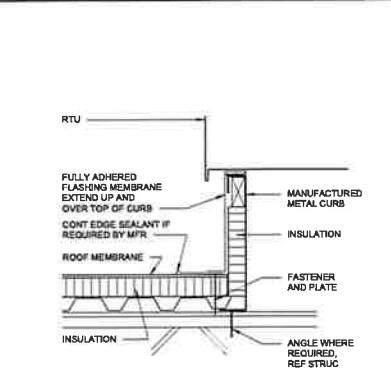
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PROTO CYCLE: 08/26/23
DOCUMENT DATE: 01/13/25

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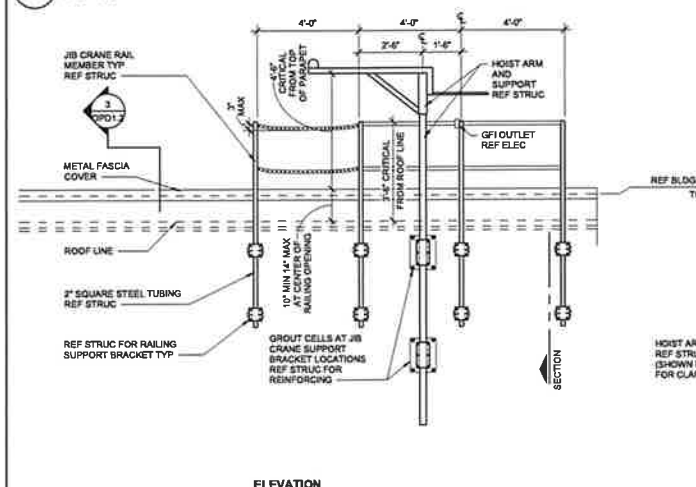
LIFE SAFETY PLAN



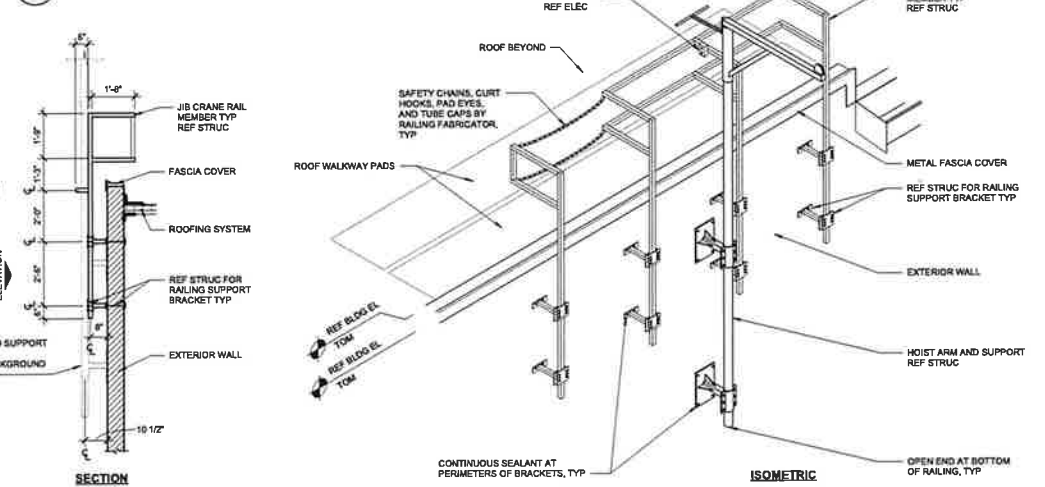
11 CONDENSER UNIT CURB
1 1/2" x 1'-0"



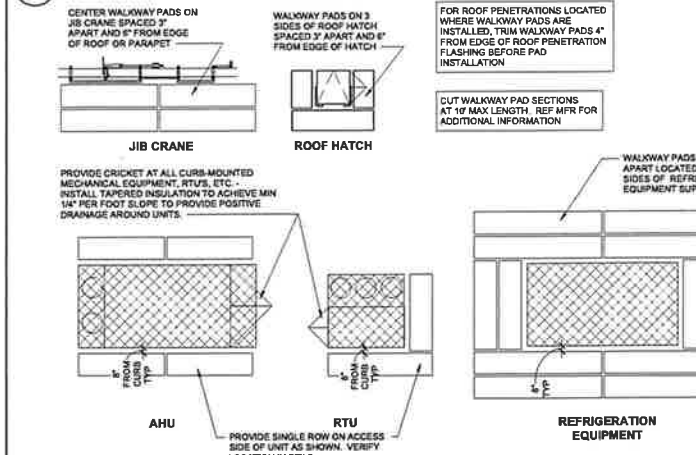
10 ROOF TOP UNIT
1 1/2" x 1'-0"



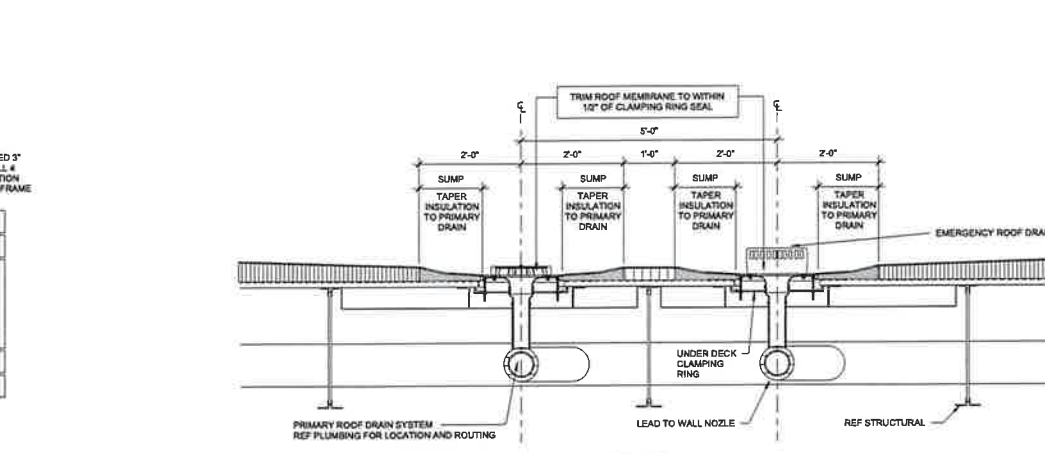
9 JIB CRANE ASSEMBLY
3/8" x 1'-0"



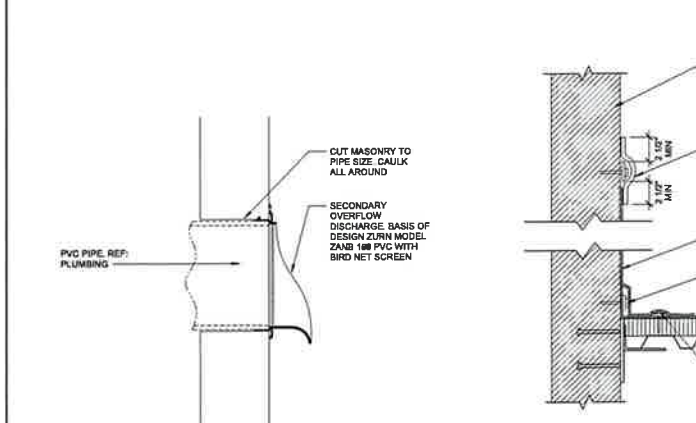
7 INTERNAL ROOF DRAIN SECTION
3/4" x 1'-0"



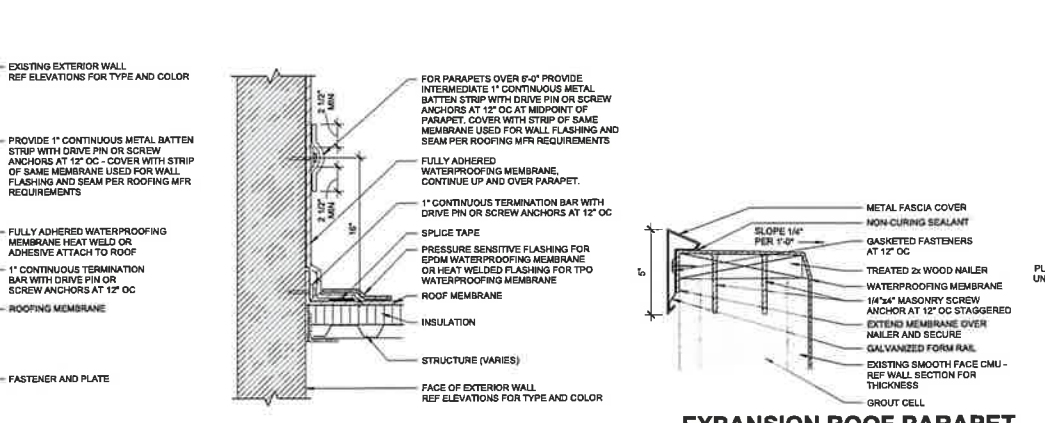
8 PAD LAYOUT
1/8" x 1'-0"



3 EXPANSION ROOF PARAPET CAP FLASHING
3/4" x 1'-0"

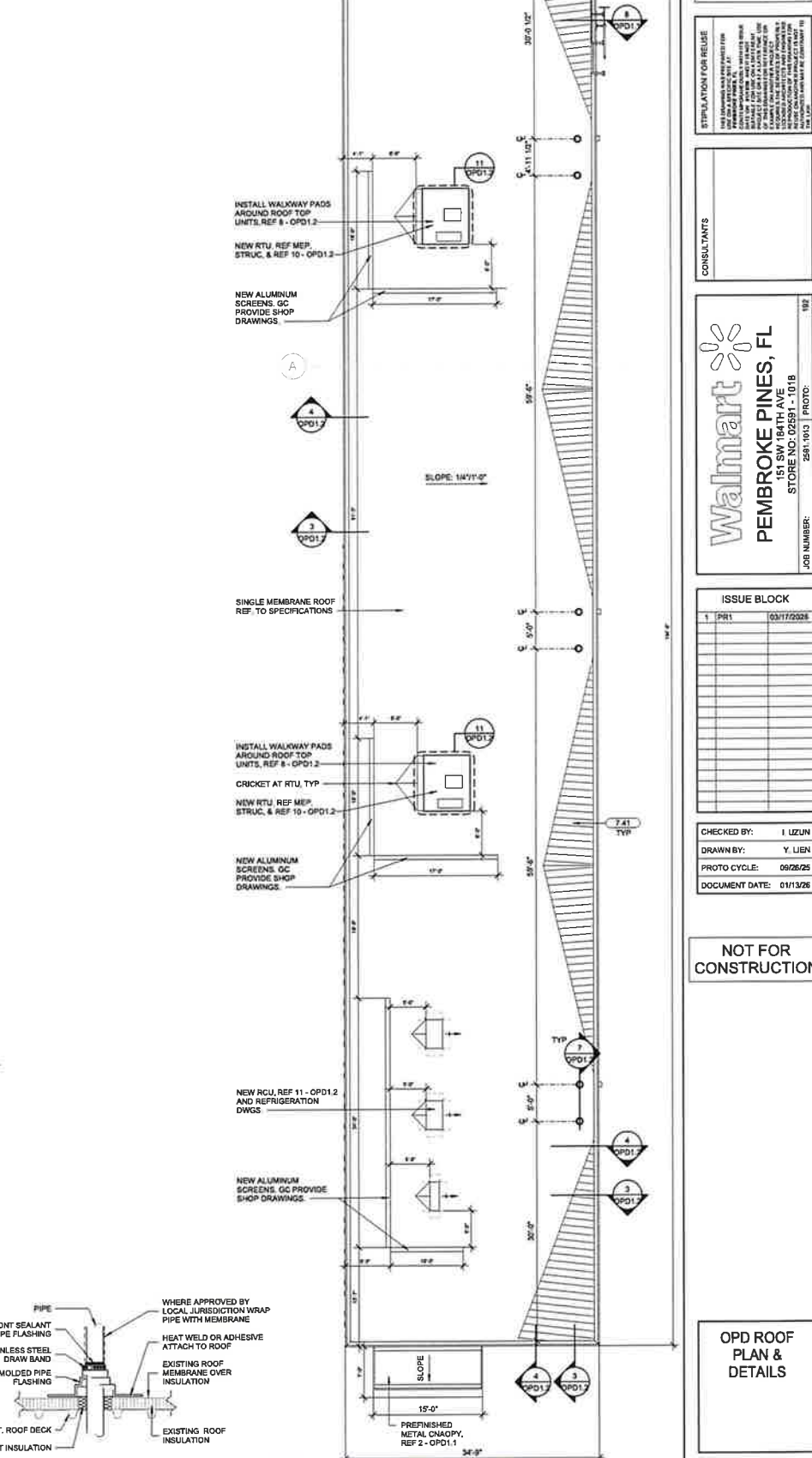


5 TERMINATION BAR
1 1/2" x 1'-0"



4 FLASHING MEMBRANE
1 1/2" x 1'-0"

KEYNOTES		ROOF LEGEND		SHEET NOTES	
5.09	JIB CRANE HOIST ARM AND RAILING ASSEMBLY	⊗	EXHAUST FAN	1	REFER TO MECHANICAL DRAWINGS FOR VENTS AND FLUE LOCATIONS
5.11	STEEL LADDER, REF 5-OPD3 AND SPECS	□	RTU	2	PROVIDE CRICKET AT ALL MECHANICAL EQUIPMENT AND RTUS
7.41	1/2" PER FT TAPERED INSULATION CRICKET	▨	AHU	3	INSTALL 1/2" PER FOOT TAPERED ROOFING INSULATION TO PROVIDE POSITIVE DRAINAGE AROUND UNITS
		▨	TAPERED INSULATION	4	PROVIDE BLOCKING AS REQUIRED TO MAINTAIN 1" OF CURB ABOVE ROOF AT CRICKETS
				5	LOCATIONS OF RTUS AND AHUS ARE APPROXIMATE. CONTRACTOR MAY ADJUST LOCATIONS SO EDGES OF CURB FALL WITHIN 3" OF JOIST PANEL POINT - REF STRUC FOR REQUIRED ADDITIONAL ROOF JOIST REINFORCEMENT IF A CURB IS MORE THAN 3" INCHES FROM A PANEL POINT
				6	ALL CONTRACTOR-PROVIDED ROOF EQUIPMENT SCREWS SHALL HAVE NEOPRENE WASHERS



1 PARTIAL ROOF PLAN
1/8" x 1'-0"

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INSULATION FOR RELEASE
INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
1. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.
3. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CONTRACT DOCUMENTS.
4. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE PROJECT MANUAL.
5. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE SPECIFICATIONS.

CONSULTANTS

Walmart
PEMBROKE PINES, FL
15815 W. STATE ROAD 15
STORE NO. 1008
JOB NUMBER: 2024.10.13 | PROTC: 102

ISSUE BLOCK

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1	03/17/2024	PR1

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PROTO CYCLE: 06/26/23
DOCUMENT DATE: 01/13/25

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OPD ROOF PLAN & DETAILS

SHEET: **OPD1.2**

Evolve®



CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____

EALS Series

LED Outdoor Area Light

The EALS Area Light luminaire offers a wide range of optical patterns, color temperatures, lumen packages and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within one form-factor. They are ideal for commercial property site-lighting applications such as retail and commercial exteriors.

Construction

- Housing:** Aluminum die cast enclosure.
Integral heat sink for maximum heat transfer
- Lens:** Impact resistant tempered glass
- Paint:** Corrosion resistant polyester powder paint, minimum 2.0 mil thickness
Standard = Black, Dark Bronze Gray, White (RAL & custom colors available)
Optional = Coastal Finish
- Weight:** 27 lbs

Optical System

- Lumens:** 7,000 - 50,000
- Photometry:** Type II, III, IV & V
- Efficacy:** 118-177LPW
- CCT:** 2700K, 3000K, 4000K, 5000K
- CRI:** ≥70
- Upward Light Output Ratio (ULOR):** 0 Horizontal Orientation

Electrical

- Input Voltage:** 120-277V, 277-480V & 347-480V
- Input Frequency:** 50/60 Hz
- Power Factor (PH):** ≥ 0.9 at rated watts
- Total Harmonic Distortion (THD):** ≤ 20% at rated watts

Surge Protection

- 6kV/3kA
- 10kV/5kA
- 20kV/10kA

Per ANSI C136.2-2023

Lumen Maintenance

Projected Lxx per IES TM-21-11 at 25°C

OPTICS	LXX(H0K) @ HOURS		
	25,000 HR	50,000 HR	60,000 HR
C2, C3, C4, C5			
D2, D3, D4, D5	L99	L97	L96
F2, F3, F4, F5			
H2, H3, H4, H5			
J2, J3, J4, J5	L98	L96	L96
K2, K3, K4, K5			
L2, L3, L4, L5			
M2, M3, M4, M5	L97	L95	L94
N2, N3, N4, N5	L96	L93	L92

Note: Projected Lxx based on LM80 (= 17,000 hour testing). Accepted industry tolerances apply to initial luminous flux and lumen maintenance measurements

Luminaire Ambient Temperature Factor

AMBIENT TEMP (°C)	INITIAL FLUX FACTOR	AMBIENT TEMP (°C)	INITIAL FLUX FACTOR
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00		

Ratings

- Operating Temperature:** -40°C to 50°C (Nx Optic Codes are -40°C to 40°C)
- Vibration:** 3G per ANSI C136.31-2010
- LM-79:** Testing in accordance with IESNA Standards

Controls

- Dimming:** Standard - 0-10V
Optional - DALI (Option U)
- Sensors:** Photo Electric Sensors (PE) available
LightGrid+™ and Daintree Compatible

Warranty

- 5 Year (Standard)
- 10 Year (Optional)



Current

LED.com

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Page 1 of 10
(Rev 06/09/25)

EVO_OLP3240_EALS_LED_Area_Lighting_R06

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____

Ordering Information

EALS 04

7

PRODUCT ID	GENERATION	VOLTAGE	OPTICAL CODE	DISTRIBUTION	CRI	CCT	DIMMING ²	CONTROLS	MOUNTING ARM	COLOR	OPTIONS
E= Evolve AL= Area Light S = Standard	04	0 ¹ =120-277V H ¹ = 347-480V E ¹⁰ = 277-480V 1 = 120V 2 = 208V 3 = 240V 4 = 277V D = 347V 5 = 480V	Cx = 7500 ¹¹ lm Dx = 10000 lm ¹¹ Fx = 15000 lm Hx = 20000 lm Jx = 25000 lm Kx = 30000 lm Lx = 35000 lm Mx = 40000 lm Nx = 50000 lm	SM = Symmetric Medium SW = Symmetric Wide SH = Symmetric High Angle AF = Asymmetric Forward AH = Asymmetric High Angle AW = Asymmetric Wide AN = Asymmetric Narrow/Auto	7 = 70 (min)	27 ¹¹ = 2700K 30 ¹¹ = 3000K 40 = 4000K 50 = 5000K	N = Dimming thru PE receptacle D = External Dimming 18/2 3 ft Cable	A = ANSI C136.41 7-Pin Receptacle (No Control) D = ANSI C136.417-Pin Receptacle with Shorting Cap E ² = ANSI C136.41 7-pin with Non-Dimming PE Control	C ¹² = Integral Slipfitter: Standard D ¹³ = Universal Mounting Arm: Fitted for round or square pole mounting 4" min. square poles. K ¹⁴ = Knuckle Slipfitter: For 1.9 in. - 2.3 in OD Tenon S ¹⁵ = Knuckle Slipfitter: For 2.3 in. - 3.0 in OD Tenon V ¹⁶ = Knuckle Wall Mount	BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White	F= Fusing H2 = Daintree (WHS-100) enabled motion sensor ¹⁴ H4 = Motion Sensor (WattStopper) J = cUL/Canada L = Tool-Less Entry R = Enhanced Surge Protection (10kV/5kA) S ¹ = Rotated Left S ² = Rotated Right T = Extreme Surge Protection (20kV/10kA) U ⁷ = DALI Programmable V0 = 3 Position Terminal Block Y ⁸ = Coastal Finish XXX = Special Options

¹ Not Available with Fusing, Must Choose a Discrete Voltage with "F" Option Code

² Note Standard Dimming is 0-10V

³ Not available in 277-480V

⁴ Supplied with 3ft leads

⁵ Supplied with 16/3 ft Cable

⁶ Restricted Aiming Angle of 0-45°

⁷ Compatible with LightGrid+™ Wireless Control Nodes, Not Compatible with Motion Sensor Control

⁸ Not available in 347V, 480V or 347-480V

⁹ Only available with F, H, J, K, L, M, N optics

¹⁰ Recommended for installations within 750 feet from coast. Lead time varies, check with factory.

¹¹ Select 2700K or 3000K CCT for DarkSky Approved fixtures.

¹² For aimed left or right light distribution orientation, as assembled in manufacturing. Not applicable for Symmetric Distributions

¹³ DALI option not available with 347V, 480V, or 347-480V

¹⁴ Not available with 20kV/10kA SPD

¹⁵ When mounting fixtures at 90 degrees, round pole must be 3.5" OD minimum

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____

TYPE	OPTIC CODE	DISTRIBUTION	TYPICAL INITIAL LUMENS			TYPICAL SYSTEM WATTAGE		BUG RATINGS		
			2700K	3000K	4000K & 5000K	120-277	347-480V	2700K	3000K	4000 & 5000K
								B-U-G	B-U-G	B-U-G
TYPE V	C5	Symmetric Medium (SM)	6800	7340	7730	45	47	B3-U0-G1	B3-U0-G1	B3-U0-G1
	D5		9060	9790	10300	61		B3-U0-G2	B3-U0-G2	B3-U0-G2
	F5		13600	14680	15450	91		B4-U0-G2	B4-U0-G2	B4-U0-G2
	H5		18130	19570	20800	123		B4-U0-G2	B4-U0-G2	B4-U0-G2
	J5		22660	24460	25750	156		B4-U0-G2	B5-U0-G3	B5-U0-G3
	K5		27190	29360	30900	191		B5-U0-G3	B5-U0-G3	B5-U0-G3
	L5		31720	34250	36050	231		B5-U0-G3	B5-U0-G3	B5-U0-G4
	M5		36260	39140	41200	273		B5-U0-G4	B5-U0-G4	B5-U0-G4
	N5		45320	48930	51500	372		B5-U0-G4	B5-U0-G4	B5-U0-G4
	C5	Symmetric Wide (SW)	6930	7480	7880	45	47	B3-U0-G1	B3-U0-G1	B3-U0-G1
	D5		9240	9980	10500	61		B3-U0-G1	B3-U0-G1	B3-U0-G1
	F5		13860	14980	15750	91		B3-U0-G2	B3-U0-G2	B3-U0-G2
	H5		18480	19950	21000	123		B4-U0-G2	B4-U0-G2	B4-U0-G2
	J5		23100	24940	26250	156		B4-U0-G2	B4-U0-G2	B4-U0-G2
	K5		27720	29930	31500	191		B4-U0-G2	B4-U0-G2	B5-U0-G2
	L5		32340	34910	36750	231		B5-U0-G2	B5-U0-G3	B5-U0-G3
	M5		36960	39900	42000	273		B5-U0-G3	B5-U0-G3	B5-U0-G3
	N5		46200	49880	52500	372		B5-U0-G3	B5-U0-G3	B5-U0-G4
	C5	Symmetric High Angle (SH)	6600	7130	7500	45	47	B3-U0-G1	B3-U0-G2	B3-U0-G2
	D5		8800	9500	10000	61		B3-U0-G2	B3-U0-G2	B4-U0-G2
	F5		13200	14250	15000	91		B4-U0-G2	B4-U0-G2	B4-U0-G2
	H5		17600	19000	20000	123		B4-U0-G3	B4-U0-G3	B5-U0-G3
	J5		22000	23750	25000	156		B5-U0-G3	B5-U0-G3	B5-U0-G3
	K5		26400	28500	30000	191		B5-U0-G3	B5-U0-G3	B5-U0-G4
	L5		30800	33250	35000	231		B5-U0-G4	B5-U0-G4	B5-U0-G4
	M5		35200	38000	40000	273		B5-U0-G4	B5-U0-G4	B5-U0-G4
	N5		44000	47500	50000	372		B5-U0-G4	B5-U0-G5	B5-U0-G5

For additional information on Non-Shielded and Shielded EALS files, please refer to LED.com

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____

TYPE	OPTIC CODE	DISTRIBUTION	TYPICAL INITIAL LUMENS			TYPICAL SYSTEM WATTAGE		BUG RATINGS		
			2700K	3000K	4000K & 5000K	120-277	347-480V	2700K	3000K	4000 & 5000K
								B-U-G	B-U-G	B-U-G
TYPE IV	C4	Asymmetric Forward (AF)	6800	7340	7730	46	48	B1-U0-G2	B2-U0-G2	B2-U0-G2
	D4		9060	9790	10300	63		B2-U0-G2	B2-U0-G2	B2-U0-G2
	F4		13600	14680	16450	96		B2-U0-G2	B3-U0-G3	B3-U0-G3
	H4		18130	19570	20600	123		B3-U0-G3	B3-U0-G3	B3-U0-G3
	J4		22660	24460	25750	156		B3-U0-G4	B3-U0-G4	B3-U0-G4
	K4		27190	29360	30900	191		B3-U0-G4	B3-U0-G4	B3-U0-G4
	L4		31720	34250	36050	231		B3-U0-G4	B3-U0-G4	B3-U0-G5
	M4		36260	39140	41200	273		B3-U0-G5	B4-U0-G5	B4-U0-G5
	N4		45320	48930	51500	372		B4-U0-G5	B4-U0-G5	B4-U0-G5
	C4	Asymmetric High Angle (AH)	6600	7130	7500	46	48	B2-U0-G2	B2-U0-G2	B2-U0-G2
	D4		8800	9500	10000	63		B2-U0-G2	B2-U0-G2	B2-U0-G3
	F4		13200	14250	15000	96		B3-U0-G3	B3-U0-G3	B3-U0-G3
	H4		17600	19000	20000	123		B3-U0-G4	B3-U0-G4	B3-U0-G4
	J4		22000	23750	25000	156		B3-U0-G4	B3-U0-G4	B3-U0-G4
	K4		26400	28500	30000	191		B3-U0-G4	B3-U0-G5	B4-U0-G5
	L4		30800	33250	35000	231		B4-U0-G5	B4-U0-G5	B4-U0-G5
	M4		35200	38000	40000	273		B4-U0-G5	B4-U0-G5	B4-U0-G5
	N4		44000	47500	50000	372		B4-U0-G5	B4-U0-G5	B4-U0-G5
TYPE III	C3	Asymmetric Wide (AW)	6930	7480	7880	46	48	B1-U0-G1	B2-U0-G2	B2-U0-G2
	D3		9240	9980	10500	63		B2-U0-G2	B2-U0-G2	B2-U0-G2
	F3		13860	14960	15750	93		B2-U0-G2	B2-U0-G2	B2-U0-G2
	H3		18480	19950	21000	123		B3-U0-G3	B3-U0-G3	B3-U0-G3
	J3		23100	24940	26250	156		B3-U0-G3	B3-U0-G3	B3-U0-G3
	K3		27720	29930	31500	191		B3-U0-G3	B3-U0-G3	B3-U0-G4
	L3		32340	34910	36750	231		B3-U0-G4	B3-U0-G4	B4-U0-G4
	M3		36960	39900	42000	273		B4-U0-G4	B4-U0-G4	B4-U0-G4
	N3		46200	49880	52500	372		B4-U0-G4	B4-U0-G5	B4-U0-G5
TYPE II	C2	Asymmetric Narrow/Auto (AN)	7190	7770	8180	46	48	B2-U0-G2	B2-U0-G2	B2-U0-G2
	D2		9590	10360	10900	63		B2-U0-G2	B2-U0-G2	B2-U0-G2
	F2		14390	15530	16350	96		B3-U0-G3	B3-U0-G3	B3-U0-G3
	H2		19180	20710	21800	123		B3-U0-G3	B3-U0-G3	B3-U0-G3
	J2		23980	25890	27250	156		B3-U0-G3	B3-U0-G3	B3-U0-G3
	K2		28780	31070	32700	191		B3-U0-G3	B4-U0-G4	B4-U0-G4
	L2		33570	36240	38150	231		B4-U0-G4	B4-U0-G4	B4-U0-G4
	M2		38370	41420	43600	273		B4-U0-G4	B4-U0-G4	B4-U0-G4
	N2		47960	51780	54500	372		B4-U0-G4	B4-U0-G4	B4-U0-G4

For additional information on Non-Shielded and Shielded EALS files, please refer to LED.com

CUSTOMER NAME _____

PROJECT NAME _____

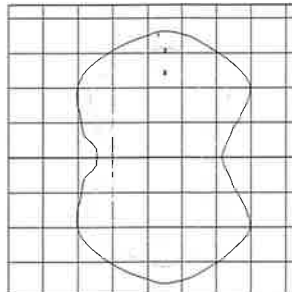
DATE _____ TYPE _____

CATALOG NUMBER _____

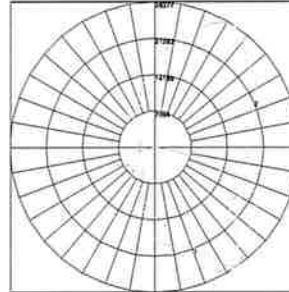
**EALS04
N2AN**

54,500 Lumens
5000k

EALS04_N2AN750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade

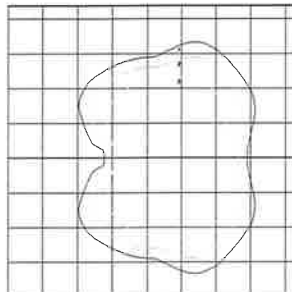


- Vertical Plane Through Horizontal Angles (55 - 235) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (35) (Through Max. Cd.)

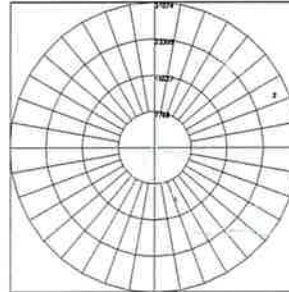
**EALS04
N3AW750**

52,500 Lumens
5000k

EALS04_N3AW750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade

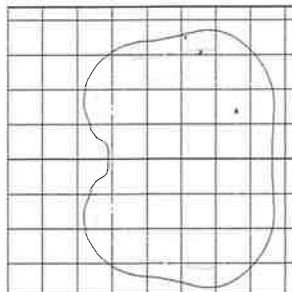


- Vertical Plane Through Horizontal Angles (0 - 180) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (53) (Through Max. Cd.)

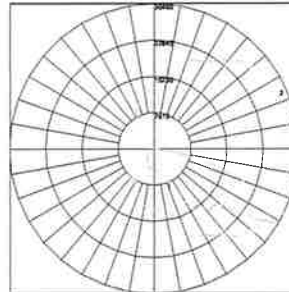
**EALS04
N4AF750**

51,500 Lumens
5000k

EALS04_N4AF750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade

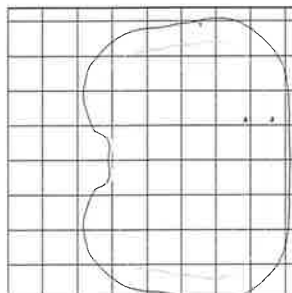


- Vertical Plane Through Horizontal Angles (20 - 200) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (63) (Through Max. Cd.)

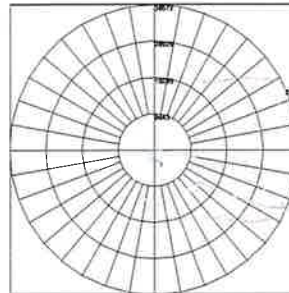
**EALS04
N4AH750**

56,000 Lumens
5000k

EALS04_N4AH750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade



- Vertical Plane Through Horizontal Angles (25 - 205) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (66) (Through Max. Cd.)

CUSTOMER NAME _____

PROJECT NAME _____

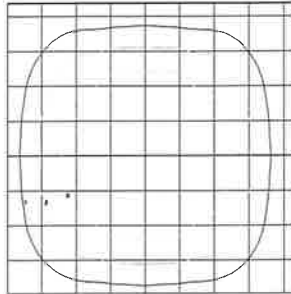
DATE _____ TYPE _____

CATALOG NUMBER _____

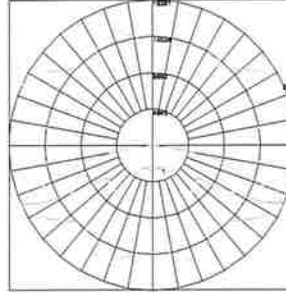
**EALS04
N5SH750**

50,000 Lumens
5000k

EALS04_N5SH750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade

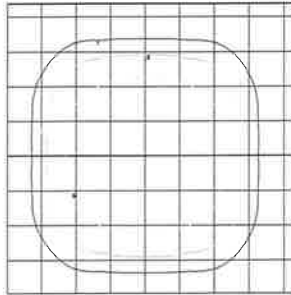


- Vertical Plane Through Horizontal Angles (25 - 205) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (66) (Through Max. Cd.)

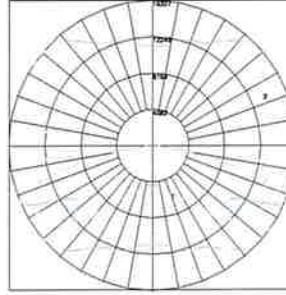
**EALS04
N5SM750**

51,500 Lumens
5000k

EALS04_N5SM750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade

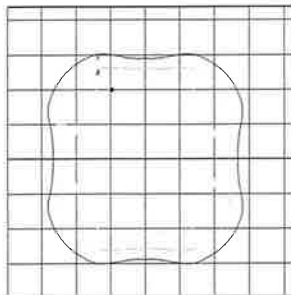


- Vertical Plane Through Horizontal Angles (40 - 220) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (67) (Through Max. Cd.)

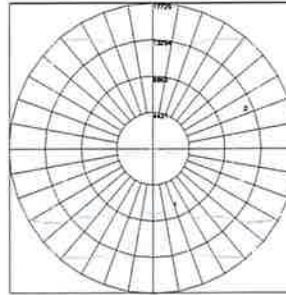
**EALS04
N5SW750**

52,500 Lumens
5000k

EALS04_N5SW750_____IES



- Mounting Height at 40'
- Initial Footcandle at Grade



- Vertical Plane Through Horizontal Angles (45 - 225) (Through Max. Cd.)
- Horizontal Cone Through Vertical Angle (63) (Through Max. Cd.)

CUSTOMER NAME _____

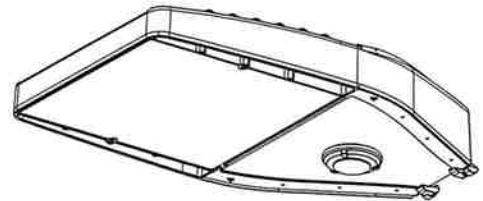
PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____

H4 - Motion Sensing Option (WattStopper)

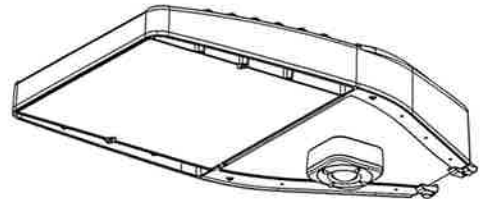
- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Coverage Radius: 15-20' (4.6-6.1 m).
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
 - Output Occupied – 100% / Unoccupied – 10%
 - PE Sensor: Disabled
 - Ramp/Fade: Disabled
- Adds < 1W to fixture power rating
- Field programmable using FSIR-100 hand held programmer



H4 (WattStopper)

H2 - Motion Sensing Option (Daintree WHS-100)

- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Provides a coverage area radius for walking motion of 15-20 ft. (4.57-6.10m)
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
 - Output: Occupied - 100%/Unoccupied - 50%
 - PE Sensor: None
 - Ramp/Fade: 5 Minutes/5 Minutes
- Adds < 1W to fixture power rating
- Requires Daintree Enterprise and wide area control (WAC)



H2 (Daintree)

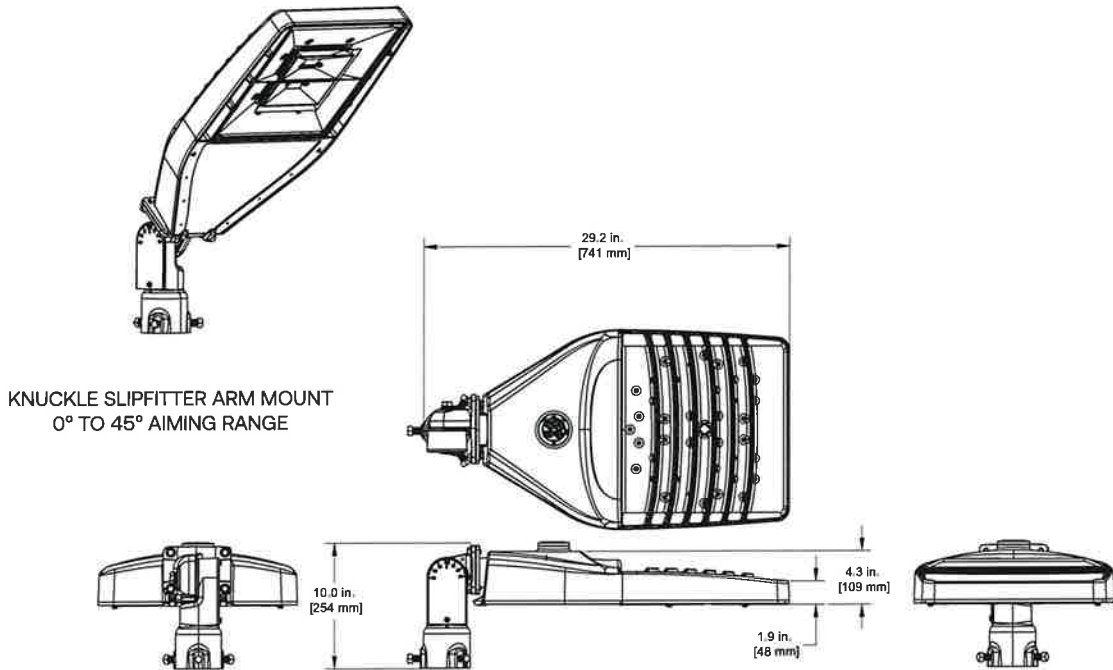
CUSTOMER NAME _____

PROJECT NAME _____

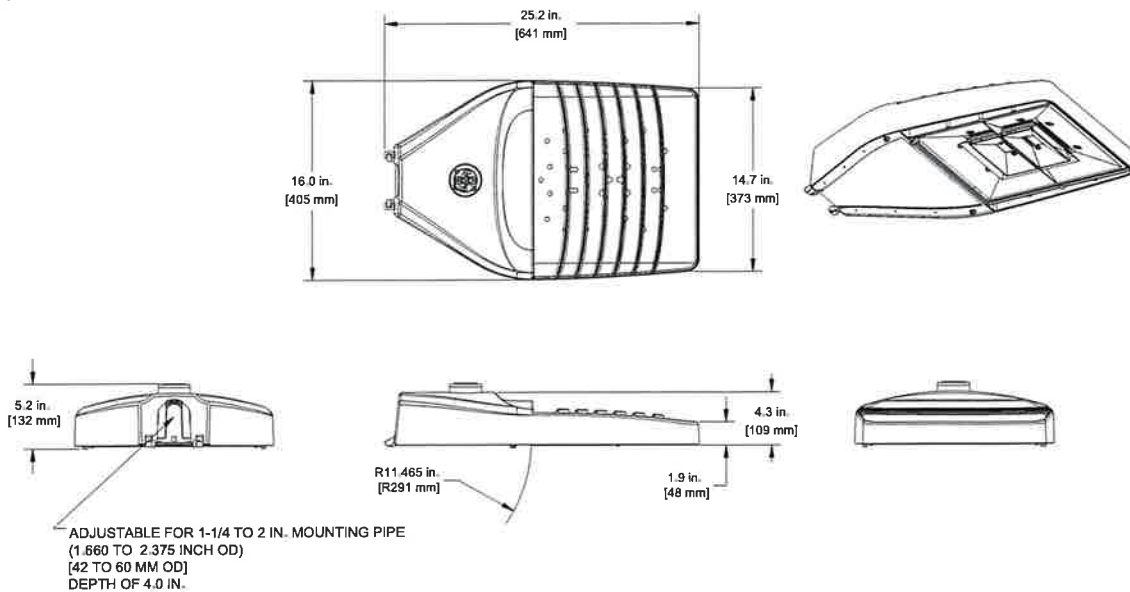
DATE _____ TYPE _____

CATALOG NUMBER _____

KNUCKLE SLIPFITTER: S1



INTEGRAL SLIPFITTER: C1



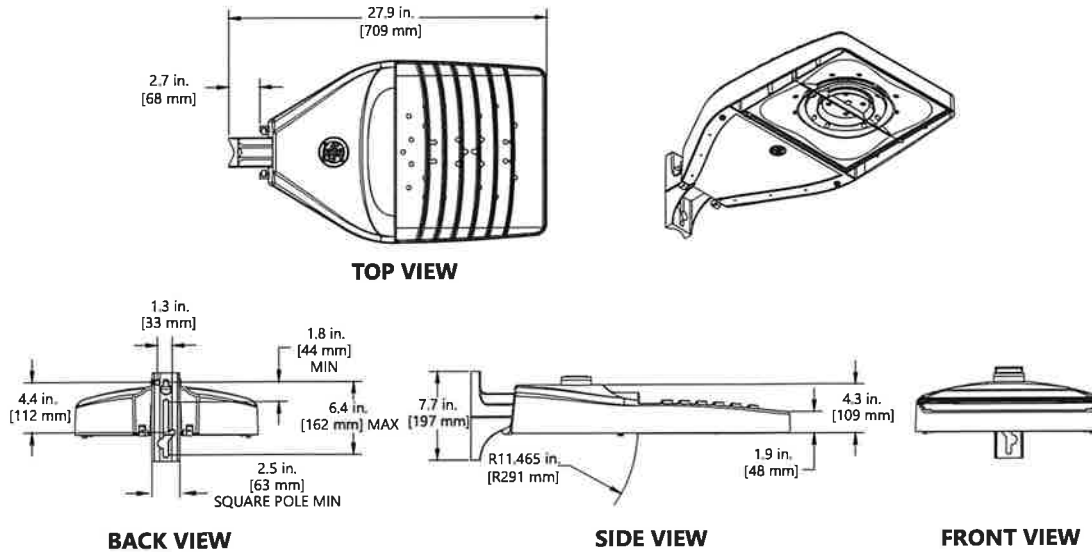
CUSTOMER NAME _____

PROJECT NAME _____

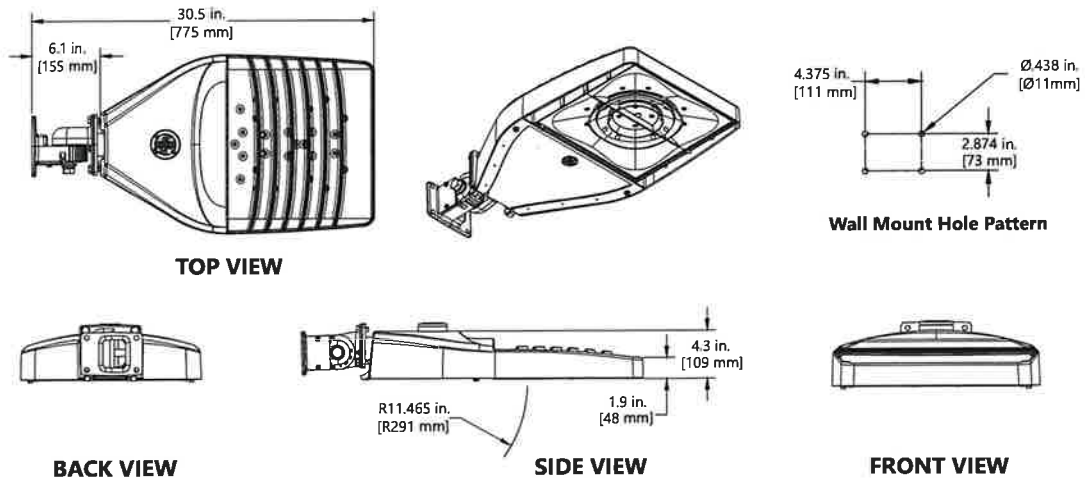
DATE _____ TYPE _____

CATALOG NUMBER _____

UNIVERSAL ARM MOUNT: D1



KNUCKLE WALL MOUNT: V1



DATA

- Approximate Net Weight: 26-28 lbs (11.79 kgs-12.97 kgs)
- Effective Projected Area (EPA):
 - Knuckle Slipfitter K1, S1, V1 aimed at 45°: EPA = 2.45 sq ft
 - Knuckle w/Slipfitter K1, S1, V1 aimed at 0° downward: EPA = 0.79 sq ft
 - Universal Arm Mount D1: EPA = 0.63 sq ft
 - Integral Slipfitter C1: EPA = 0.55 sq ft

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

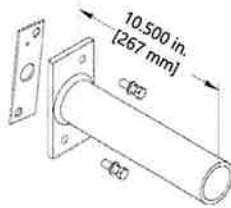
CATALOG NUMBER _____

Mounting Arms for Slipfitter

Order separately with Mounting Option C1 (Slipfitter)

SQUARE POLE MOUNTING ARM

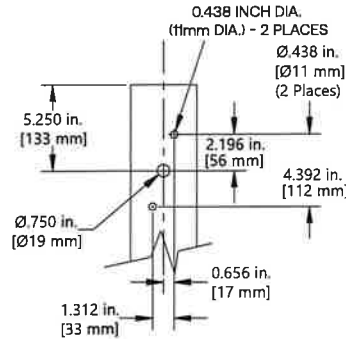
4.0 inch (102mm) SQUARE
(WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER
SPA-EAMT10BLCK "Black"
SPA-EAMT10DKBZ "Dark Bronze"

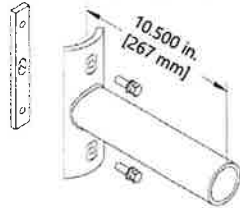
SQUARE POLE MOUNTING DRILLING TEMPLATE

Compatible with E2 Evolve Drill Pattern



ROUND POLE MOUNTING ARM

3.5 TO 4.5-inch (89 to 114mm) OD
(WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)

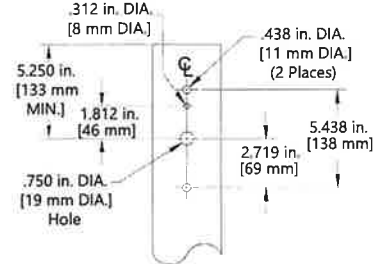


ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER
RPA-EAMT10BLCK "Black"
RPA-EAMT10DKBZ "Dark Bronze"

ROUND POLE MOUNTING DRILLING TEMPLATE

Compatible with E1 Evolve Drill Pattern

3.5 TO 4.5-inch (89 to 114mm) OD
round pole mounting arm



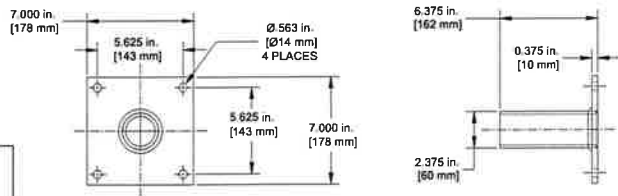
Wall Mounting Bracket Adapter Plate

Order Separately from fixture as catalog number

WMB-EAMT06

*Note: For wall Mounting, order luminaire with mounting arm:
C1 = Slipfitter 2" Pip (2.378 in. OD) supplied with leads.

Other mounting patterns are available for retrofit installations.
Contact manufacturing for other available mounting patterns.



SAP NUMBER	PART NUMBER	DESCRIPTION
93029237G	PED-MV-LED-7	ANSI C138.41 Dimming PE, 120-277V
93029238G	PED-347-LED-7	ANSI C136-41 Dimming PE, 347V
93029239G	PED-480-LED-7	ANSI C136-41 Dimming PE, 480V
28299	PECOTL	Long Life PE 120-277V
93147530	PECHTL	Long Life PE 347-480V
73271	SCCL-PECTL	Shorting Cap

PE Accessories (to be ordered separately)



CUSTOMER NAME _____
 PROJECT NAME _____
 DATE _____ TYPE _____
 CATALOG NUMBER _____

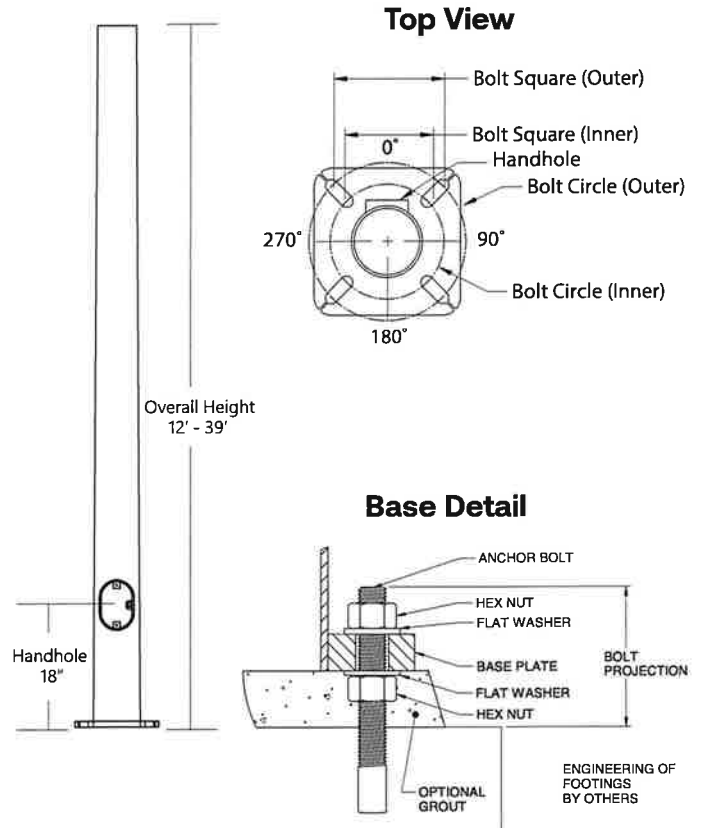
RTSE Series Poles

Round/Tapered/Steel

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

Construction

Shaft:	One-piece tapered steel with round cross section, Minimum yield of 55,000 psi; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36) Pole shafts taper at .14"/ft.
Anchor Bolts:	Supplied with (4) galvanized anchor bolts with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
Base Cover:	Optional two-piece square base cover available
Pole Cap:	Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
Hand Hole:	4" x 6" handhole opening with cover and grounding provision. The handhole is located 18" from the base of the pole. The handhole cover is supplied with a tether to prevent loss.



Finish

- Hot dip zinc galvanized
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness

Evolve®

RTSE Series Poles

Round/Tapered/Steel

CUSTOMER NAME _____
 PROJECT NAME _____
 DATE _____ TYPE _____
 CATALOG NUMBER _____

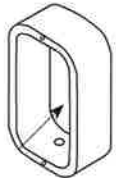
Example: RTSE39-90B-TWM-BLCK-GALV

RTSE

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH
RTSE = Evolve Round Tapered Steel Pole	12=12 ft.	60=6" x 4.32"	B=.188"	TWM = Walmart Tenon pole adapter. Welded adapter with UDPWM drill pattern. Top OD= 4.0	BLCK = Black DKBZ = Dark Bronze WHITE = White GALV = Galvanize <i>* Contact factory for custom color options</i>
	15=15 ft.	60= 6" x 3.9"	B=.188"		
	17=17 ft.	60= 6" x 3.62"	B=.188"		
	22=22 ft.	70=7" x 3.92"	B=.188"		
	23=23 ft.	70=7" x 3.78"	B=.188"		
	25=25 ft.	70= 7" x 3.5"	B=.188"		
	27=27 ft.	80=8" x 4.22"	B=.188"		
	29=29 ft.	80=8" x 3.94"	B=.188"		
	32=32 ft.	85=8.5" x 4.02"	B=.188"		
	35=35 ft.	85=8.5" x 3.6"	B=.188"		
	37=37 ft.	90= 9" x 3.82"	B=.188"		
39=39 ft.	90=9" x 3.54"	B=.188"			

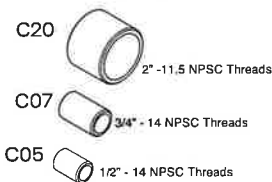
¹ Specify option location using OPTION ORIENTATION logic shown below

EHH
Extra
handhole



Provision for Grounding

C05 - C07
- C20 -
Coupling



VM2 -
Vibration Damper 2nd mode



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

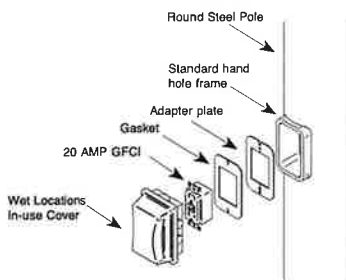
VM2SXX -
Vibration damper
2nd mode



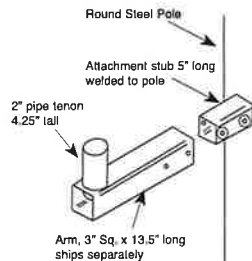
VM2S08 - 8'
VM2S12 - 12'
VM2S16 - 16'
VM2S20 - 20'
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

GFI - 20 amp
gfcı receptacle
& cover



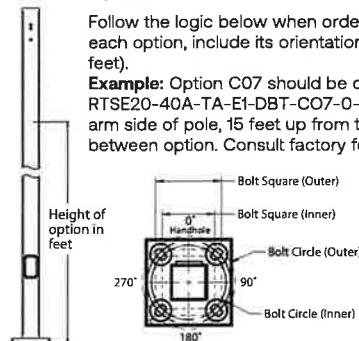
MPB -
Mid Pole
Bracket



Option Orientation

Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).

Example: Option C07 should be ordered as: RTSE20-40A-TA-EI-DBT-C07-0-15 (5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.



CUSTOMER NAME _____

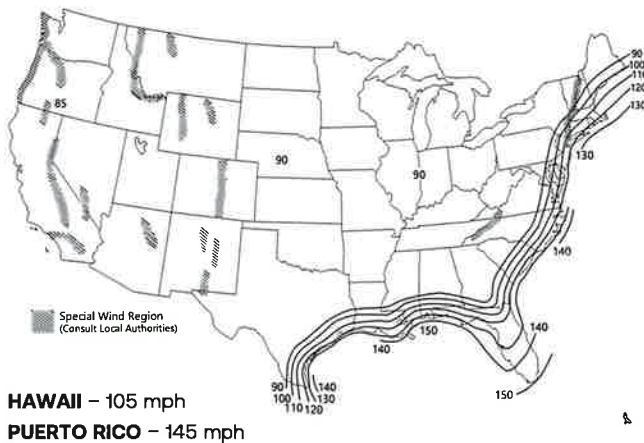
PROJECT NAME _____

DATE _____ TYPE _____

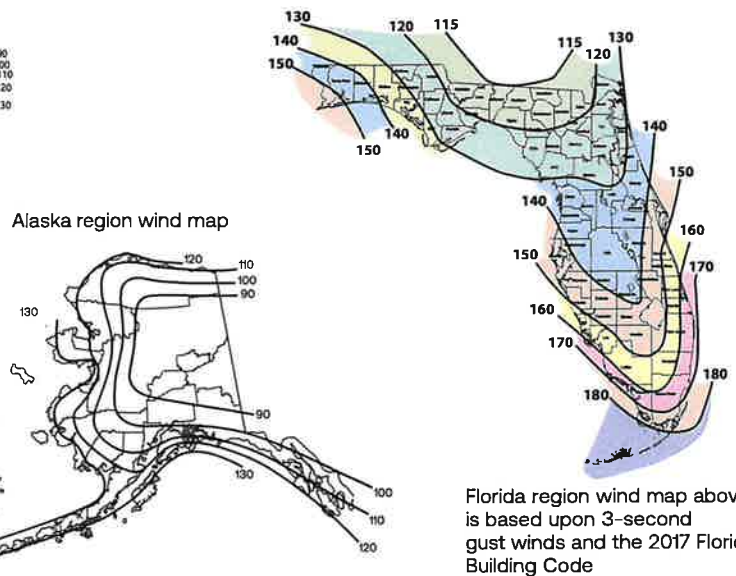
CATALOG NUMBER _____

Material	Description	Feet	Nominal Shaftensions	Wall Thickness	Bolt Circle (Suggested)	Bolt Circle (Range)	Anchor Bolt Size	Bolt Projection	Pole Weight (lb)
93322310	RTSE12-60B-TWM-BLCK-GALV	12	6" x 4.32"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	152
93322309	RTSE15-60B-TWM-BLCK-GALV	15	6" x 3.9"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	175
93322320	RTSE17-60B-TWM-BLCK-GALV	17	6" x 3.62"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	189
93322321	RTSE22-70B-TWM-BLCK-GALV	22	7" x 3.92"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	264
93322322	RTSE23-70B-TWM-BLCK-GALV	23	7" x 3.78"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	272
93322323	RTSE25-70B-TWM-BLCK-GALV	25	7" x 3.5"	0.188"	12.5"	12"-13"	1" x 36" x 4"	4.25"	286
93322324	RTSE27-80B-TWM-BLCK-GALV	27	8" x 4.22"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	352
93322325	RTSE29-80B-TWM-BLCK-GALV	29	8" x 3.94"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	368
93322326	RTSE32-85B-TWM-BLCK-GALV	32	8.5" x 4.02"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	421
93322327	RTSE35-85B-TWM-BLCK-GALV	35	8.5" x 3.6"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	443
93322328	RTSE37-90B-TWM-BLCK-GALV	37	9" x 3.82"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	493
93322329	RTSE39-90B-TWM-BLCK-GALV	39	9" x 3.54"	0.188"	12.5"	12"-13"	1.25" x 42" x 6"	5.0"	510

ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



*Printed with permission from ASCE

Max EPA Load Rating based on LTS-4 standard 3 second gust wind speeds (Use for all locations except Florida)									
Catalog Number	85	90	100	110	120	130	140	150	
RTSE12-60B	75.5	68	55.5	46.5	39	33.5	29	25.3	
RTSE15-60B	58.5	63	43	36	30.5	26	22.5	19.6	
RTSE17-60B	50	44.8	36.5	30.5	25.7	22	19	16.6	
RTSE22-70B	49	44.4	36.4	30.3	25.5	21.5	18.6	16.3	
RTSE23-70B	46	41.5	33.7	28	23.5	20	17.3	15	
RTSE25-70B	40	36	29.5	24.5	20.5	17.3	14.8	13	
RTSE27-80B	49.5	44.5	36.4	30	25.4	21.5	18.5	16.1	
RTSE29-80B	43.5	39.4	32	26.5	22.3	19	16.2	14	
RTSE32-85B	43	38.5	30.8	24.5	20	17	14.3	12.2	
RTSE35-85B	36	32.3	26.3	21.3	17.2	14.3	11.8	10.1	
RTSE37-90B	35.5	31	24.1	19	15.5	12.5	10.5	8.9	
RTSE39-90B	32.5	28.5	22	17	13.9	11.2	9.2	7.7	

Max EPA Load Rating based on FBC 2017 3 second gust wind speeds (Use for locations in Florida)									
Catalog Number	115	120	130	140	150	160	170	180	
RTSE12-60B	72	66	56.6	48.5	42	36.6	32.2	28.5	
RTSE15-60B	56.5	51.3	43.2	38.2	32.9	28.6	25.1	22.1	
RTSE17-60B	48	43.5	36.8	32.6	28.1	24.4	21.4	18.8	
RTSE22-70B	35.4	32.3	27	22.8	19.5	16.7	14.5	12.6	
RTSE23-70B	33.5	30.4	25.4	21.5	18.3	15.7	13.5	11.7	
RTSE25-70B	29.9	27.2	22.6	19.1	16.2	13.8	11.9	10.2	
RTSE27-80B	44.3	40.4	33.7	28.6	24.3	20.9	18	15.6	
RTSE29-80B	40.4	36.5	30.6	25.8	21.9	18.8	16.1	13.9	
RTSE32-85B	34.5	31.5	26.2	22	18.5	15.5	13.4	11.4	
RTSE35-85B	30.8	27.9	23	19.1	16	13.5	11.4	9.6	
RTSE37-90B	28	25.2	20.6	17.1	14.2	11.8	9.8	8.2	
RTSE39-90B	25.8	23.3	19	15.6	12.9	10.7	8.8	7.3	

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Current's Pole Vibration Application Guide for environmental risk factors and design considerations:
<http://images.salsify.com/image/upload/s--Uk0Lfj10--/bf7prkg0aey64uqoipso>
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



WST LED

Architectural Wall Sconce



Catalog Number

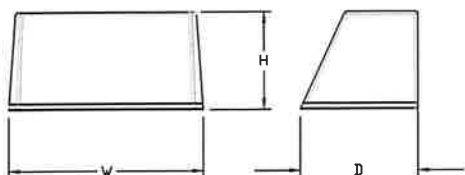
Notes

Type **WST LED P2 50K VF MVOLT DDBXD**

Specifications

Luminaire

- Height:** 8-1/2" (21.59 cm)
- Width:** 17" (43.18 cm)
- Depth:** 10-3/16" (25.9 cm)
- Weight:** 20 lbs (9.1 kg)



Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

WST LED						
Series	Performance Package	Color temperature	Distribution	Voltage		Mounting
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT ¹	277 ²	Shipped included (blank) Surface mounting bracket PBBW Premium surface-mounted back box ¹⁴ Shipped separately BBW Surface-mounted back box ³
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ²	347 ²	
	P3 6,000 Lumen package	40K 4000 K 50K 5000 K		208 ²	480 ²	
				240 ²		

Options

Finish (required)

NLTAIR2 PIR	nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ^{5,6,7}	E7WC	Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) ^{7,12}	DDBXD	Dark bronze	
NLTAIR2 PIRH	nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ^{5,6,7}	E7WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) ^{7,13}	DBLXD	Black	
PE	Photoelectric cell, button type ⁸	E20WH	Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS ⁷	DNAXD	Natural aluminum	
PER	NEMA twist-lock receptacle only (controls ordered separate) ⁹	E20WC	Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS ^{7,12}	DWHXD	White	
PER5	Five-wire receptacle only (controls ordered separate) ⁹	E23WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) ^{7,12,14}	DSSXD	Sandstone	
PER7	Seven-wire receptacle only (controls ordered separate) ⁹	LCE	Left side conduit entry ¹⁵	DDBTXD	Textured dark bronze	
PIR	Motion/Ambient Light Sensor, 8'-15' mounting height ^{5,6}	RCE	Right side conduit entry ¹⁵	DBLXD	Textured black	
PIR1FC3V	Motion/ambient sensor, 8'-15' mounting height, ambient sensor enabled at 1fc ^{5,6}	BAA	Buy America(n) Act Compliant	DNATXD	Textured natural aluminum	
PIRH	180° motion/ambient light sensor, 15'-30' mounting height ^{5,6}	Shipped separately			DWHGXD	Textured white
PIRH1FC3V	Motion/ambient sensor, 15'-30' mounting height, ambient sensor enabled at 1fc ^{5,6}	RBPW	Retrofit back plate ³	DSSTXD	Textured sandstone	
SF	Single fuse (120, 277, 347V) ²	VG	Vandal guard ¹⁵			
DF	Double fuse (208, 240, 480V) ²	WG	Wire guard ¹⁵			
DS	Dual switching ¹⁰					
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) ¹¹					
E7WH	Emergency battery backup, Non CEC compliant (7W) ⁷					

See Accessories and Notes on next page.



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WST-LED
Rev. 01/19/23

Accessories

Ordered and shipped separately.

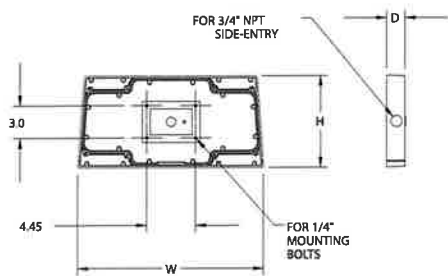
WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WSBBW DDBTXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VG or WG. See PER Table.
- Reference Motion Sensor table.
- Not available 347/480. E7WC or E23WHR, only available 120 or 277.
- Need to specify 120, 208, 240 or 277 voltage.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture; not an accessory.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

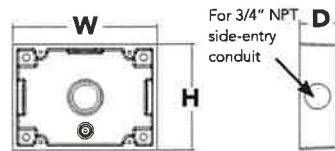
Optional Back Box (PBBW)

Height:	8.49" (21.56 cm)
Width:	17.01" (43.21 cm)
Depth:	1.70" (4.32 cm)



Optional Back Box (BBW)

Height:	4" (10.2 cm)
Width:	5-1/2" (14.0 cm)
Depth:	1-1/2" (3.8 cm)



Emergency Battery Operation

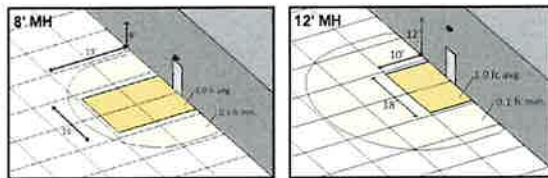
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70:NEC 2008 - 750.16.

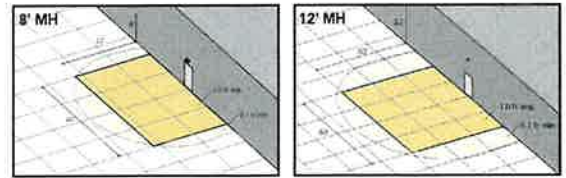
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
P2	25	0.21	0.13	0.11	0.1	---	---
	30	---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
P3	50	0.42	0.24	0.21	0.19	---	---
	56	---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

*for use with site wide Dusk to Dawn control

PER Table

Control	PER (3 wire)	PERS (5 wire)		PER (7 wire)	
		Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

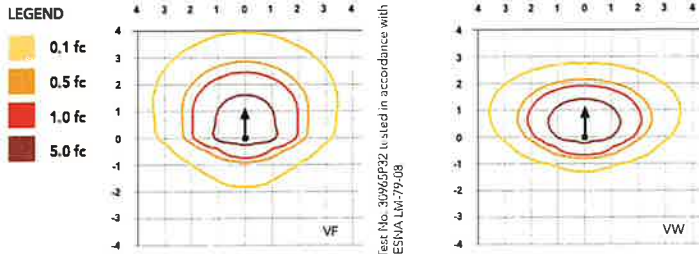
Performance Package	System Watts (MVDLT)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
			P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0
		VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



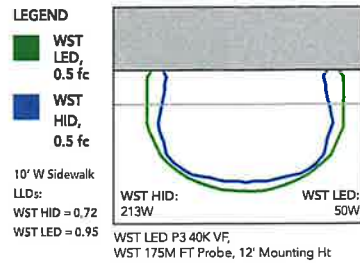
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WST LED homepage](#).

Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(h) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.lithonia.com/buy-american](#) for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/warranty](#)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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WST-LED
Rev. 01/19/23

