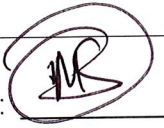





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	September 14, 2023	Application ID:	SP 2023-0001
Project:	West Pines Plaza	Project Number:	PRJ 2023-0001
Project Planner	Joseph Yaciuk, Assistant Director		
Owner:	HAC PINES, LLC	Agent:	Dwayne L. Dickerson
Location:	South of Pines Boulevard and west of SW 186 Avenue		
Existing Zoning:	B-3 (General Commercial)		
Existing Land Use:	Commercial		
Reference Applications:	SP 2015-13, ZC 2015-03, SUB 2014-01		
Applicant Request:	The applicant proposes the construction of a new retail plaza with associated parking, lighting, signage, and landscaping.		
Staff Recommendation:	Approval.		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director:  Assistant Director: 		

Project Description / Background

Dwayne Dickerson, agent for owner HAC Pines LLC., requests site plan consideration for the construction of a new retail plaza with associated parking, lighting, signage, and landscaping. for the property located south of Pines Boulevard and west of SW 186 Avenue. The proposed site plan will occupy a vacant +/- 2.2-acre parcel within the Watermen Pines Plat.

The City Commission at its November 12, 2015 meeting approved a zoning change application (ZC 2015-03) for +/-5.3 acres of the Watermen property from B-3 (General Business) to C-1 (Commercial) with voluntary deed restrictions (Ordinance No. 1834). This rezoning is inclusive of the subject parcel.

On December 2, 2015, the City Commission also approved a plat note amendment to the development restrictions for the underlying Watermen Pines plat (SUB 2014-01) which is consistent with the site plan proposal.

The Planning and Zoning Board at its December 10, 2015 meeting approved the construction of a self-storage facility containing two storage buildings on site with associated landscape, traffic circulation, parking and signage on a +/-3 acres of the Watermen Pines Plat.

BUILDINGS / STRUCTURES:

The applicant proposes the construction of a shopping plaza consisting of two buildings. The buildings proposed include the following:

- Building # 1 - A 27'-5" high, 10,177 square foot, multi-tenant building (eastern building – 7 bays)
- Building # 2 - A 22'-3" high, 4,877 square foot, multi-tenant building (western building – 3 bays)

The following colors are proposed for the exterior of the buildings:

- Main Body Color: August Moon (SW 294-C5)
- Sign Band Tower – Bittersweet Stem (SW 292-C3)
- Trim Cap / Trim - Sandy Ridge (SW 7535)
- Column Veneer – GenStone Desert Sunrise
- Column Accent – Misty (SW 6232)
- Aluminum Louver / Shade Structures – Greens (SW 6748)
- Standing Metal Roof (Aluminum) - Garland

ACCESS:

Main access to this site will be through the existing shared access road off Pines Boulevard (directly west of parcel) which services the existing site. The site is also accessible from Pines Boulevard through an opening on the Franklin Academy parcel to the east of the subject site.

A new walkway will be installed which will provide pedestrian connectivity from the existing sidewalk along Pines Boulevard to the site.

PARKING:

The applicant proposes to build 73 parking spaces for this plan where 71 spaces are required based on the following proposed retail, restaurant, bakery, and specialized medical uses*. In addition, a 10' x 25' loading zone is proposed at the southeast corner of the site.

*Note- The uses listed above are estimates from the applicant based on expected business profile at time of submittal. The applicant may change or modify its use, to reflect leasing. All uses proposed for this property are subject to zoning and parking compliance prior to issuance of a Certificate of Use.

The parking areas for this perimeter building will be illuminated by a series of 4000k LED fixtures (platinum) mounted on 25-foot-high poles. Additional full cut off fixtures will be mounted to the building at 10 feet high. All fixtures will be 4000k CCT. The lighting as proposed for this site conforms to residential lighting standards per Section 155.685-155.692 of the City Code of Ordinances.

SIGNAGE:

The applicant has revised the Uniform Sign Plan for this site which includes the proposed buildings as well as the existing self-storage facility. Signs are to be aluminum faced reverse channel letters (Black Myriad Pro). The Uniform sign plan provides for the standard design consideration for registered logos/trademarks.

The applicant proposes a shopping center monument sign near the entry road at the northwest corner of their property. The sign will consist of the name of the plaza and four tenants (routed letters). The proposed sign complies with city allowances.

LANDSCAPING:

The following landscape is being proposed for this site:

- Installation of 38 trees, 32 palms, 6 accent plants, 527 shrubs, and 702 ground covers and annuals. *Primary tree species include:* Quercus virginiana - Live oak, Ilex cassine - Dahoon holly, Bulnesia arborea - Verawood, Krugiodendron ferreum - Black ironwood, Coccoloba diversifolia - Pigeon plum, Conocarpus erectus sericeus - Silver buttonwood, Ligustrum japonicum - Japanese privet. *Primary palm species include:* Veitchia montgomeryana - Montgomery palm, Sabal palmetto - Cabbage palm. *Primary shrub species are:* Chrysobalanus icaco, Tripsacum dactyloides - Fakahatchee grass, Schefflera arboricola - Green dwarf schefflera, Clusia guttifera- Small leaf clusia.

OTHER SITE FEATURES:

No outdoor dining is proposed as part of this submittal. The future addition of outdoor dining would require approval of the City for its design and compliance with city parking code requirements.

Three dumpsters will be provided on site. Two of the dumpsters will be located at the southeast corner of the site. The third dumpster will be located on the south side of the lot, just east of building #2. All dumpsters will include enclosures painted to match the base color of the proposed buildings. The applicant provides a letter from WastePRO accepting the dumpster locations.

The applicant provides staff with an economic impact statement regarding the project.

According to the applicant, the proposed project represents a +-\$4-million-dollar investment in land and construction costs. This project will bring 6-10 new businesses to the area. leading to anywhere from 60-100 new local jobs for the community. The owner anticipates over 100 filled construction jobs during development.

A sustainability statement has also been provided by the applicant. The applicant provides a list of energy efficient materials which are being used in construction and operation of the building. The following items of note will be utilized by the applicant during construction of the building:

- White Roof (High SRI reduces Heat Island effect)
- Solar panels to offset energy use of site lighting and house panel.
- Building Automation System (reduces energy use and records performance).
- Lighting/signage controllers (reduces energy use).
- LED lighting both interior and exterior.
- Recycling program, Designated recycling collection area.
- Low E, insulated glazing in windows.
- Energy Star appliances where non-proprietary.
- Low flow plumbing fixtures water efficient plumbing fixtures.
- No CFC based refrigerants in any building systems.
- Low VOC materials: adhesives, sealants, paints, coatings, and flooring systems.
- Drip Irrigation (reduces water use).
- Water-efficient, regionally adapted, non-invasive landscape species.

Staff Recommendation: Approval.

Enclosed: Unified Development Application
Economic Impact Statement
Sustainability Statement
Uniform Sign Plan
Memo from WastePRO (10/31/22)
Memo from Planning Division (9/7/23)
Memo from Environmental Services (9/7/23)
Memo from Fire Prevention Bureau (9/7/23)
Memo from Landscape Planner (9/7/23)
Memo from Zoning (9/7/23)
Memo from SBDD (9/7/23)
Memo from Planning Division (8/16/23)
Memo from Environmental Services (8/8/23)
Memo from Fire Prevention Bureau (5/1/23)
Memo from Zoning Administrator (5/1/23)
Memo from Planning Division (5/1/23)
Memo from Environmental Services (2/8/23)
Memo from Landscape Planner (1/18/23)
Memo from Planning Division (1/12/23)
Memo from Fire Prevention Bureau (1/11/23)
Aerial Map
Site Plan



City of Pembroke Pines
Planning and Economic Development Department
Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____ Planner: _____

Indicate the type of application you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 foot radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - ____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$ _____

SECTION 1-PROJECT INFORMATION:Project Name: West Pines PlazaProject Address: 18820 Pines Blvd. Pembroke Pines, Florida 33029Location / Shopping Center: 18820 Pines Blvd. Pembroke Pines, Florida 33029Acreage of Property: 3.19 ACRES Building Square Feet: 14,651 S.F. BLDG.Flexibility Zone: NO Folio Number(s): 5139 - 13 - 17 - 0010Plat Name: "WATERMAN PINES" Traffic Analysis Zone (TAZ): _____Legal Description: Please see attached legal description due to sizetwo separate pages were required. Attached to end of document .

Has this project been previously submitted?

Yes

No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval
NOT APPLICABLE - FIRST SUBMITTAL FOR THIS PROJECT					

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Carlos Martinez

Owner's Address: 14741 Mustang Trail, Southwest Ranches, Florida 33330-3527

Owner's Email Address: carlos@macogroupplc.com

Owner's Phone: (305) 308-8848 Owner's Fax: n/a

Agent: n/a - owner noted

Contact Person: see owner contact above

Agent's Address: n/a

Agent's Email Address: n/a

Agent's Phone: n/a Agent's Fax: n/a

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning: B3

Land Use / Density: _____

Use: EMPTY LOT

Plat Name: _____

Plat Restrictive Note: N/A

PROPOSED

Zoning: B3

Land Use / Density: RETAIL - MERCANTILE

Use: RETAIL STORES

Plat Name: _____

Plat Restrictive Note: N/A

ADJACENT ZONING

North: Main Road Pines Blvd.

South: ZONING C1

East: ZONING B3

West: ZONING B3

ADJACENT LAND USE PLAN

North: Main Road Pines Blvd.

South: SELF STORAGE

East: SELF STORAGE

West: CURRENTLY VACAN LOT

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: NOT APPLICABLE.

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

Existing vacant site, cleared site. Proposing development of new Retail Stores - Plaza.

Full site development to include new landscape, new underground draining structures,
site lighting and building structures.

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

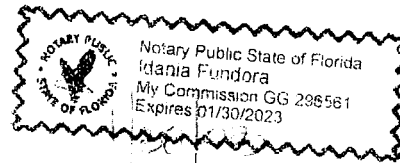
This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of Owner

Date

Sworn and Subscribed before me this 12 day

of December, 2019



Fee Paid

Signature of Notary Public

My Commission Expires

AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of Agent

Date

Sworn and Subscribed before me this _____ day

of _____, 20____

Fee Paid

Signature of Notary Public

My Commission Expires

LEGAL DESCRIPTION:

A PORTION OF PARCEL "A", ACCORDING TO THE PLAT OF "WATERMEN PINES", AS RECORDED IN PLAT BOOK 181 AT PAGES 132 THROUGH 134, INCLUSIVE, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID PARCEL "A"; THENCE SOUTH 01 DEGREES 47 MINUTES 11 SECONDS EAST, ALONG THE EAST LINE OF SAID PARCEL "A", FOR 179.29 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE SOUTH 01 DEGREES 47 MINUTES 11 SECONDS EAST, ALONG THE LAST DESCRIBED COURSE, FOR 26.80 FEET; THENCE SOUTH 70 DEGREES 08 MINUTES 07 SECONDS WEST FOR 2.46 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 50 DEGREES 52 MINUTES 08 SECONDS FOR AN ARC DISTANCE OF 35.51 FEET TO A POINT OF REVERSE CURVATURE; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 64.00 FEET AND A CENTRAL ANGLE OF 70 DEGREES 44 MINUTES 49 SECONDS (MEASURED) 70 DEGREES 36 MINUTES 45 SECONDS (RECORD) FOR AN ARC DISTANCE OF 79.03 FEET (MEASURED) 78.88 FEET (RECORD) TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 59 MINUTES 13 SECONDS WEST FOR 278.02 FEET (CALCULATED) 278.17 FEET (RECORD) TO A POINT OF CURVATURE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 88 DEGREES 12 MINUTES 02 SECONDS FOR AN ARC DISTANCE OF 92.36 FEET TO A POINT OF TANGENCY; THENCE NORTH 01 DEGREES 47 MINUTES 11 SECONDS WEST FOR 208.35 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 09 DEGREES 44 MINUTES 45 SECONDS (CALCULATED) 09 DEGREES 45 MINUTES 48 SECONDS (RECORD) FOR AN ARC DISTANCE OF 6.80 FEET (CALCULATED) 6.82 FEET (RECORD) TO A POINT ON SAID CIRCULAR CURVE; SAID LAST DESCRIBED SEVEN COURSES BEING COINCIDENT IN PART WITH THE LIMITS OF THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT AS RECORDED IN OFFICIAL RECORD BOOK 47704 AT PAGE 730, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTH 89 DEGREES 52 MINUTES 26 SECONDS EAST, ALONG THE NORTH LINE OF SAID PARCEL "A", FOR 24.59 FEET; THENCE SOUTH 01 DEGREES 47 MINUTES 11 SECONDS EAST FOR 214.42 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY, ALONG A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 36.00 FEET AND A CENTRAL ANGLE OF 88 DEGREES 12 MINUTES 01 SECONDS FOR 55.42 FEET TO A POINT OF TANGENCY; THENCE NORTH 89 DEGREES 59 MINUTES 13 SECONDS EAST FOR 278.02 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND

A CENTRAL ANGLE OF 70 DEGREES 44 MINUTES 49 SECONDS FOR AN ARC DISTANCE OF 49.39 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 64.00 FEET AND A CENTRAL ANGLE OF 50 DEGREES 52 MINUTES 08 SECONDS FOR AN ARC DISTANCE OF 56.82 FEET TO A POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 15 DEGREES 37 MINUTES 10 SECONDS FOR AN ARC DISTANCE OF 10.91 FEET TO THE POINT OF BEGINNING; SAID POINT BEARS SOUTH 35 DEGREES 29 MINUTES 24 SECONDS EAST FROM THE RADIUS POINT OF THE LAST DESCRIBED CIRCULAR CURVE; SAID LAST DESCRIBED SIX COURSES BEING COINCIDENT WITH THE LIMITS OF SAID RECIPROCAL EASEMENT AGREEMENT; ALL LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

AND

A PORTION OF PARCEL "A", ACCORDING TO THE PLAT OF "WATERMEN PINES", AS RECORDED IN PLAT BOOK 181 AT PAGES 132 THROUGH 134, INCLUSIVE, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID PARCEL "A"; THENCE SOUTH 89 DEGREES 52 MINUTES 26 SECONDS WEST, ALONG THE NORTH LINE OF SAID PARCEL "A" FOR 425.75 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE SOUTH 89 DEGREES 52 MINUTES 26 SECONDS WEST, ALONG THE LAST DESCRIBED COURSE, FOR 17.43 FEET; THENCE SOUTH 01 DEGREES 47 MINUTES 38 SECONDS WEST, ALONG THE WEST LINE OF SAID PARCEL "A", FOR 273.21 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 13 SECONDS EAST, ALONG THE WESTERLY EXTENSION OF A SOUTHERLY LIMIT OF THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT AS RECORDED IN OFFICIAL RECORD BOOK 47704 AT PAGE 730, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOR 76.12 FEET TO A POINT ON THE NEXT DESCRIBED CIRCULAR CURVE; SAID POINT BEARS SOUTH 00 DEGREES 00 MINUTES 47 SECONDS WEST FROM THE RADIUS POINT OF THE FOLLOWING DESCRIBED CIRCULAR CURVE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 88 DEGREES 12 MINUTES 01 SECONDS FOR AN ARC DISTANCE OF 92.36 FEET TO A POINT OF TANGENCY; THENCE NORTH 01 DEGREES 47 MINUTES 11 SECONDS WEST FOR 208.35 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY, ALONG SAID CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40.00 FEET AND A CENTRAL ANGLE OF 09 DEGREES 44 MINUTES 45 SECONDS (CALCULATED) 09 DEGREES 45 MINUTES 48 SECONDS (RECORD) FOR AN ARC DISTANCE OF 6.80 FEET (CALCULATED) 6.82 FEET (RECORD) TO A POINT ON SAID CIRCULAR CURVE; SAID POINT BEING THE POINT OF BEGINNING; ALL LYING AND BEING IN THE SOUTH 1 / 2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 39 EAST, CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

HAC
PINES,
LLC

ARIEL PARED
CARLOS MARTINEZ
HUGH CASIANO

**West Pines Shopping Plaza
18820 Pines Blvd.
Economic Impact Statement**

HAC Pines, LLC ("Petitioner") is the owner of the +/- 2.21 acre parcel, generally located southwest of Pines Boulevard and SW 186th Avenue ("West Pines Shopping Plaza") within the City of Pembroke Pines ("City"). The West Pines Shopping Plaza is the entire +/- 2.21 acre parcel currently owned by Petitioner and identified by folio number 5139 1317 0010. The West Pines Shopping Plaza is currently undeveloped land. Petitioner proposes to redevelop the West Pines Shopping Plaza with a vibrant +/- 16,000 square foot outdoor shopping mall, with attractive dining options, mercantile stores, as well as health and wellness facilities ("Project"). The undeveloped land will turn into a beautiful, well-constructed, and modern looking development for the city and its inhabitants to enjoy. The development of the project will have a positive economic impact on the City and surrounding area. Specifically, the Project will have a positive economic impact in the following ways:

Increased Taxable Value of Land

As undeveloped land for the entire 2.21 acre parcel, the Property is only generating \$19,436.16 property taxes for the City's tax rolls. With the approval of the Project, the Property will be a commercial, taxable property, that will have a significant increase on the City's tax rolls.

Job Creation

This project will bring anywhere from 6-10 new businesses to the area. Ownership is currently in talks with national tenants such as but not limited to Chipotle, as well as smaller but very successful south Florida operators, such as Adrian Fish. This could lead to anywhere from 60-100 new local jobs for the community. Our tenants will be well established companies, with a history of success, their impact in the community won't be a trial run but will be a significant long-term investment as they build out their spaces.

The construction process will involve over 20 different trades, all with multiple employees working the project. There could be well over 100 jobs being filled throughout the construction process.

Community Investment

Ownership has already committed a significant amount of capital towards the project, soft costs have exceeded \$100,000, the land was acquired for \$2.5 million dollars, and the construction is estimated to be around \$4 million dollars. All construction costs have been bid out using local contractors, and vendors.

Ownership Background

Ownership has a long history of success when managing, maintaining, and developing real estate. Ownership is dedicated to building a successful long term investment for the community and themselves using the best construction practices to ensure longevity of their investment.

Tenant Background

One of the main tenants will be Adrian Fish. They will be taking 4 units to build out a 6,000 square foot restaurant. This restaurant will bring over 25 new jobs to the area. Maco Group had the pleasure of building out the original Adrian Fish Market in Hialeah Gardens. Since then, this business has flourished, having sold over \$10M annually in sea food cuisine. Another very successful tenant coming to the plaza will be "The Nail Garden" (TNG). With 3 locations already established, TNG is looking forward to adding

to its presence in Pembroke Pines and opening another location. Along with 10 new jobs, TNG will be an excellent place for the community to relax and promote self-care in these important times for mental health. With health in mind, we have also pre-leased a space to a dental office. This unit will bring 6 new jobs within the dental industry. The remaining 4 units are available, and we have interest in bringing a bakery to the plaza. Our plan is to give all tenants no competition within the center to ensure they thrive.

The addition and expansion of these successful businesses to the beautiful city of Pembroke Pines, will attract consumers from all of South Florida and serve the cities current inhabitants in a way that is currently missing from this area West of i75.

Regards,

A handwritten signature in black ink, appearing to be "HAC Pines, LLC", written over a horizontal line.

HAC Pines, LLC

HAC
PINES,
LLC

ARIEL PARED
CARLOS MARTINEZ
HUGH CASIANO

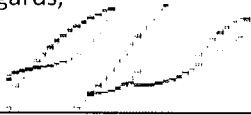
**West Pines Shopping Plaza
18820 Pines Blvd.**

HAC Pines, LLC ("Petitioner") is the owner of the +/- 2.21 acre parcel, generally located southwest of Pines Boulevard and SW 186th Avenue ("West Pines Shopping Plaza") within the City of Pembroke Pines ("City"). The West Pines Shopping Plaza is the entire +/- 2.21 acre parcel currently owned by Petitioner and identified by folio number 5139 1317 0010. The West Pines Shopping Plaza is currently undeveloped land. Petitioner proposes to redevelop the West Pines Shopping Plaza with a vibrant +/- 16,000 square foot outdoor shopping mall, with attractive dining options, mercantile stores, as well as health and wellness facilities ("Project"). The undeveloped land will turn into a beautiful, well-constructed, and modern-looking development for the city and its inhabitants to enjoy.

The development of the project will have a positive impact on the City and surrounding area and will include sustainable initiatives above and beyond the City Code requirements. Specifically, the Project will include the following sustainable initiatives:

- White Roof (High SRI reduces Heat Island effect)
- Solar panels to offset energy use of site lighting and house panel.
- Building Automation System (reduces energy use and records performance)
- Lighting/signage controllers (reduces energy use)
- LED lighting both interior and exterior (reduces energy use approx. 35%)
- Recycling program, Designated recycling collection area
- Deep overhangs at most glazing
- Low E, insulated glazing in windows
- Energy Star appliances where non-proprietary
- Low flow plumbing fixtures water efficient plumbing fixtures.
- No CFC based refrigerants in any building systems
- Low VOC materials: adhesives, sealants, paints, coatings, and flooring systems.
- Bicycle racks near building
- Drip Irrigation (reduces water use)
- Water-efficient, regionally adapted, non-invasive landscape species
- Interior parking lot landscaping
- LEED AP Professionals are on staff and part of the Professional Design team.
- LEED AP Professionals are on staff at Civil Engineering firm.

Regards,



HAC Pines, LLC



October 31, 2022

RE: Site Plan for Trash Dumpster Enclosures at West Pines Plaza in Pembroke Pines

To the plan reviewer/ Carlos Martinez with MACO Group:

WastePro USA has reviewed the information for the above-mentioned location. This approval is based on clear access to the dumpsters on the site. Waste Pro is available seven days a week to service with extended service hours. If you have any questions, please do not hesitate to call us to discuss.

Thank you,

A handwritten signature in black ink, appearing to be "DP", is written over a horizontal line.

David Perez
WastePro USA, Sales Manager
954-668-6100
954-967-4200

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: September 7, 2023
To: SP 2023-01 file
From: Joseph Yaciuk, Assistant Director
Re: West Pines Plaza

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

All of my comments have been satisfied.

Note: No outdoor dining is proposed for this submittal.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**

DRC REVIEW FORM



September 7, 2023

***PROJECT: WEST PINES PLAZA
CITY REFERENCE NO: SP2023-0001***

**To: Joe Yaciuk, Planning Coordinator
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer
Engineering Division, Public Services Department
(954) 518-9046**

RECOMMENDATION:

The Engineering Division's DRC 'Comments' have been satisfied and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed project's site engineering related improvements. Submittal of one (1) set of signed and sealed plans, a PDF copy of the signed and sealed plans set, Plans Review Fee and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: West Pines Plaza
REFERENCE #: SP 2023 - 01
DATE REVIEWED: 09/07/2023

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THIS REVIEW.

MEMORANDUM

September 7, 2023

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2023-0001) West Pines Plaza

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

All comments have been addressed and satisfied.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
City of Pembroke Pines
601 City Center Way
Pembroke Pines, FL 33025
954.392.2100 (Office) • yhall@ppines.com
City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday
Online Access: [Pines Web Services](#)
Consider the environment before printing this email.

MEMORANDUM

September 7, 2023

To: Joe Yaciuk
Planning Administrator

From: Dean A. Piper / Laura Arcila Bonet

Re: SP 2023-0001 (PRJ 2023-0001 – West Pines Plaza)

All of my comments regarding the above Site Plan have been satisfied.

**DRC REVIEW COMMENTS
CITY OF PEMBROKE PINES**

AGENCY: SOUTH BROWARD DRAINAGE DISTRICT
CONTACT: KEVIN HART, P.E. (954)680-3337

PROJECT NAME: West Pines Plaza

DATE: 9/7/2023

**THE SITE PLAN FOR THE ABOVE-REFERENCED PROJECT HAS BEEN REVIEWED
BY THE DISTRICT AND THE FOLLOWING COMMENTS MUST BE MET
ADDRESSED/SATISFIED/NOTED:**

1. Submit \$250 Site Plan Review Fee.
2. A Paving and Drainage Permit will be required from SBDD.
3. Provide a site survey for project limits.
4. Indicate the vertical datum on the engineering plans and provide a conversion from NGVD 29 to NAVD 88.
5. SBDD will require a 20-foot Drainage Easement over the outfall pipe leading from Control Structure S-8 to the property lines. Please label on the plans and provide a sketch & legal description of the easement area.
6. Provide additional information on how the drainage will be handled along the east property line, between the two buildings (Section C-C). Special emphasis is needed at the proposed door openings to the new building. Is any proposed construction planned or needed on the adjacent, off-site property?
7. Provide a detail for the connection of the 6" PVC roof drain into the retention area along the east property line.
8. Include SBDD standard notes and applicable details in the SBDD permit set.
9. Is the 6" swale area needed as shown on Sections E-E and D-D?
10. Indicate how the dumpster areas are being drained. Please note that "wet" dumpsters (restaurants) cannot drain into the stormwater system.
11. All drainage structures shall meet SBDD criteria, for wall thickness, sumps and clearances.
12. Portions of the existing drainage system may need to be cleaned upon completion of construction. To be determined in the field by SBDD's inspector.

13. Provide pipe sizing calculations with the P&D permit submittal.
14. Provide pre and post Node Maximum Conditions data for the 100-year, 72 hour storm event (in addition to the data provided).
15. The property owner shall be required to enter into a Maintenance & Indemnification Agreement with SBDD prior to final acceptance of the project by SBDD.
16. Additional comments may be issued upon receipt of the final Paving & Drainage Plans and drainage calculations.

(REGARDLESS OF APPLICABLE COMMENTS, THE PETITIONER IS NOT EXEMPT FROM MEETING ALL STORMWATER MANAGEMENT REGULATIONS, STANDARDS AND PROCEDURES AS OUTLINED IN THE SBDD DESIGN CRITERIA MANUAL DATED MAR. 26, 2015.)

(ALL STANDARD COMMENTS WILL BE GIVEN TO THE PETITIONER ON A SEPARATE HANDOUT. THE PETITIONER WILL ONLY BE REQUIRED TO RESPOND TO THE COMMENTS RAISED ON THE DRC REVIEW FORM.)

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: August 16, 2023
To: SP 2023-01 file
From: Joseph Yaciuk, Assistant Director
Re: West Pines Plaza

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Verify that you have noticed the project in compliance with City Code. Be aware that it is your responsibility to post signs, mail out notice to HOA's as well as property owners because of this application. LDC Article 3 - Section 155.302 **Still Need. Applicant indicates all items satisfied via Cutro and Associates.**
2. Provide scope of work letter. Include all changes to the building and site as a result of this application. **Letter provided however some items (parking counts) are inconsistent with plan.**
3. Provide actual copy of recorded plat with development note. Verify with Broward County that the proposal complies with plat allowances. (Reference – Watermen Pines). Contact Karina Daluz at Broward County for more information. **Awaiting letter of compliance from Karina Daluz.**
4. ~~Provide an Economic Development letter discussing the project. Include in letter the expected investment for construction, estimated taxes generated, expected number of jobs generated and any other info that might show positive economic impact to the City. **No letter uploaded to electronic system. All supporting paperwork must be uploaded. This must be addressed as a separate letter.**~~
5. Provide a sustainability letter with submittal. Include any materials, methods, operations etc... which exceed building Code and serve to reduce energy / water conservation or resource protection. Items typically provided include solar panels, white roofs and other items including but not limited to items within Table 155.6123. **Letter provided however we need verification of white roof and solar panels. Those items should be listed on the plans if they are being used. Also, no mention of the EV conduit in your plan. If you list a sustainability item in your letter, it should be indicated on your plans.**
6. Site data - Verify parking counts for restaurants within the City Code. Confirm counts are being assessed correctly with the Zoning Administrator. Provide floor / area ratio for this building. Verify that all site data matches the DRC checklist requirements. (DRC checklist included in separate attachment) **Parking needs to be confirmed with zoning. Staff needs to clearly understand assessment of parking areas. Net areas are computed in site data for tenants – however the orthodontist net area appeared much lower than explainable.**

7. As proposed, the project must be considered a shopping center which includes the Smart Stop self-storage buildings to the south and east. As a shopping center, all buildings must share compatible architecture / colors and a consistent uniform sign plan. **Colors submitted. Still need some colors modified to match the adjacent building as discussed.**
8. ~~Please create a uniform sign plan for the entire shopping center which includes all buildings within the Center. Only one ground multi tenant sign is permitted for the center. Please show location of that sign with a minimum 10 foot setback. Not sure existing signs for self storage comply with proposed uniform sign plan regulations.~~ **Uniform Sign plan was provided on initial submittal. No update provided.**
9. Any proposed outdoor dining? If so, please provide location, area, outdoor dining layout, table and chair details, ADA path, parking generation of such use based on area. **Outdoor dining area needs to be dimensioned and area needs to be consistent from page to page within the plan. Floor plan of outdoor seating needs to be included which shows tables / chair layout as well as pedestrian / ADA path. Outdoor dining areas appear to be inconsistent from page to page. IE: architectural, site plan, landscape all show different layouts. Barriers need to be in place and tables shown only for the area you plan to use for outdoor dining.**
10. ~~Please explain how loading and unloading will occur for all tenants. There appears to be one loading area in SE corner of lot. Are you proposing that all trucks load and unload there? How will goods get to tenant bays along the northeast side of the lot? This is a very tightly packed shopping center circulation wise so therefore loading of trucks in the front of the center will likely create disruptions with daily traffic.~~ **Applicant will need to load in the front parking area. Be aware that deliveries during business hours may impact circulation of the site.**
11. ~~Consider adding architectural interest to the south side of the building if the back of the building is to remain facing the roadway. Note that the driveway along the south side of this parcel is reasonably busy during school days. Those traveling to the school will be viewing the rear of the building on a regular basis.~~ **South side of the building looks like the rear of buildings. Applicant indicates that they will add architectural interest but has not done so at this time.**
12. It appears certain landscape requirements are missing from landscape plan. Please confirm counts with City Landscape Planner. Also, confirm which trees will remain on site as a result of this plan. Show all vertical items on landscape plans (hydrants, lightpoles, etc...) to ensure there are no conflicts with plantings. Show sight triangles on plans. **Awaiting sign off from landscape division. Lighting locations on landscape plan do not perfectly match the photometric plan.**
13. ~~Need width of western buffer. Is that buffer part of your property?~~ **It appears you are counting bufferyard which is not shown on the parcel. See extent of parcel on BCPA.net.**



14. Label colors of new dumpster enclosure. Provide detail of dumpster. Gates should be metal for durability. **Colors provided for exterior wall. Need gate elevation with colors (metal gates)**
15. Submit plan to South Broward Drainage District (SBDD) for their review. Staff requires sign off from SBDD as part of DRC process. SBDD requires separate application and fee as part of their review process. **Need email from South Broward Drainage District Director (Kevin Hart)**
16. Provide letter from WASTEPRO accepting dumpster location and the fact that their trucks will be able to service the proposed location. **Letter provided. Remove parking space from dumpster area.**
17. ~~Verify dead end condition in parking lot is acceptable to the Fire Prevention bureau. City staff does not typically encourage such layout as there is no secondary means of egress for many drivers.~~
18. ~~Consider splitting the center into 2 buildings or rotating the building. Consider a smaller footprint with second floor. Parking needs to be easier to navigate. Consider aligning driveway on south side of the property with existing driveway to the main storage building to the south.~~
19. Architectural plans must be compatible with existing self-storage buildings within the shopping center. **Reiteration.**
20. ~~Verify that proposed LED lighting for exterior building and parking lot are full cut off type and do not exceed 4,000K CCT. **Photometric plans provided and it appears as though the coding for fixtures indicates potential for 4,000k bulbs. Please provide specs for each fixture type used and make sure they highlight 4,000k maximum on those plans.**~~
21. ~~Provide location of bollards on the plan. **Not seeing bollard locations on plan pages as indicated. Bollards should protect from vehicular intrusions where necessary.**~~
22. ~~Provide details of electrical vehicle charging station. Will those units be a level 2, level 3? Are they considered an amenity use per Code 155.614? **Applicant removed charging stations. Charging stations are still labeled on the site plan sets. Suggest installing infrastructure for the stations for the future. Installing conduit during construction as opposed to after construction may be a more cost effective approach and may help to avoid tearing up the driveways in the future.**~~

23. ~~Provide location of bike racks on site. **Did not see locations of bike racks or bike rack details on plans.**~~
24. Provide color / material board. Provide actual color chips / materials – not copies of chips. **No color board provided.**
25. Provide turning radii on plan for fire. Include inside, middle and outside turning radii. **Provide turning radii as acceptable to fire.**
26. ~~**Provide details of planters in shopping center. Include height, materials, colors.**~~
27. **Provide resubmittal fee for each submittal moving forward (after initial two submittals)**
28. Resubmit plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any changes not clarified on first submittal are subject to additional comments. Any inconsistencies in plans will result in additional comments and possible project delays. All plans must be stapled together as one set. Provide an electronic set of plans on resubmittal also.
29. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**

Email correspondence from 8/15 - includes the following items listed

- *Scope letter not consistent with plan (parking space Count)*
- *Need to do a detailed review of the parking spaces / building area to ensure compliance.*
- *Outdoor dining area reduced however certain planters remain. No planters shown on east side of outdoor area to frame the seating.*
- *Need Waste Pro to look approve dumpster location again as you now have a parking space over a portion of the loading area.*
- *Did not see any architectural tie in (color changes) with remaining center.*
- *Any concerns regarding access easements with school should be clarified prior to moving forward.*
- *Engineering/fire need to review your new parking spaces. 2 parking spaces are of concern by planning administration. 1 – new parking space that you created which was carved out of parking lot landscape island. 2 – Parking space added to loading area.*

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



August 8, 2023

**PROJECT: WEST PINES PLAZA
CITY REFERENCE NO: SP2023-0001**

**To: Joe Yaciuk, Planning Coordinator
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer
Engineering Division, Public Services Department
(954) 518-9046**

COMMENTS/RECOMMENDATIONS:

1. General Comment – Provide Estimated Water Demand and Sewage Flow Calculations (Average Daily and Peak Flows) for the proposed project for Utilities Division review.

Note that the Estimate Sewage Flows are be based upon the type of uses and associated rates as listed in the attached 'Design Flow Table' per Section 27-201 of the Broward County Code of Ordinances with the appropriate 'Peaking Factor' per the 'Ten States Standards'.

Water and Sewer Demand Calculations were noted in the 6/11/23 Responses to be reflected on the Water and Sewer Plan, Sheet C-10. However, the Water and Sewer Plan was not included in the Engineering Plans set submitted for review.

2. General Comment – Provide Demolition Plans depicting and denoting/labeling all existing improvements to be removed (including existing trees), site clearing and grubbing limits, demucking/site filling limits, etc.

In addition, depict and denote/label the locations of any existing Burrowing Owl Nests, etc on the Demolition Plans based upon a field review completed by the appropriate

professional/biologist. If no Burrowing Owl Nests exist within the site limits to be impacted by the proposed project, then provide a letter stating such from the appropriate professional/biologist. If Burrowing Owl Nests do exist within the project limits, then provide the appropriate notes/clarifications necessary to document that the Burrowing Owl Nests area to be protected until such time as the required relocation of the Burrowing Owls has been approved/permitted by the Florida Fish and Wildlife Conservation Commission allowing for the destruction of the existing burrows/nests.

3. General Comment – Provide the following additional Site Engineering Plans and Details sheets for continued Engineering DRC review and as required for Engineering DRC approval:
 - Pavement Markings and Signage Plan
 - Pavement Markings Details, including the attached Broward County Traffic Engineering Division Standards Details

Pavement Markings and Signage Plans and Details were noted in the 6/11/23 Responses to be included in the Engineering Plans set as the Signage and Pavement Markings Plans, Sheet C-8 and Pavement Markings Details, Sheet C-9. However, the noted sheets were not included in the Engineering Plans set submitted for review.

4. Site Plan, Sheet SP-01– Add the attached ‘City Accessibility and Pavement Markings and Signage Requirements Notes’ to the plan.
5. Site Plan, Sheet SP-01 – Depict and denote/label (reflect) the following items on the plan as applicable based upon the proposed project improvements:
 - All Curb types
All landscape islands/”interior” landscape areas within the parking lot areas are required by code and engineering standards to have curbing (typically Type ‘D’ Curb).
 - Standard Parking Space per City Standard R-41 (typical labels on the plans)
All Standard Parking Spaces are required per City Standard R-41 to have two (2) White stripes. Depict the second White stripe for all Standard parking Spaces abutting landscape islands.
 - Accessible Parking Space per City Standard R-32 (typical label on the plans)
All Accessible Parking Spaces are required per City Standard R-32 to have two (2) White stripes. Depict the second White stripe for the proposed Accessible Parking Space abutting the landscape island on the east side of Tenant Space No. 8
 - Accessible Parking Access Aisle markings with Three (3) Equally Spaced Stripes
Per City Standard R-32, depict the three (3) equally spaced White diagonal stripes for the Access Aisle of the proposed Accessible Parking Spaces
 - Any Drainage Easements as required by the SBDD in association with the proposed Surface Water Management and Storm Drainage System improvements.

Comments will apply until receipt of the SBDD permit for confirmation that now such Drainage Easement are required by the SBDD.

- 15' Utility Easements as required by the city over the proposed water and sewer main/system improvements

Depict and denote/label the existing Utility Easement or required 15' Utility Easement over the existing Fire Hydrant and 6" Water Main at the southeast corner of the parcel. Note that it appears as if a portion of the proposed Dumpster Enclosure in the southeast corner of the parcel (south of Tenant Space No. 6) is or will encroach within the existing and/or required Utility Easement over the fire hydrant and 6" water main.

Depict the required 15' Utility Easement over the two (2) proposed Water Services and Water Meters on the plan. Based upon the current alignment of the water services and location of the water meters, the required 15' Utility Easements conflicts with the corners of the proposed buildings.

- Depict all proposed Parking Spaces with two (2) Edge Lines, including those parking spaces abutting a landscape island along one side.

Second Edge Line/stripe missing for all proposed parking spaces abutting proposed landscape islands.

- Depict and generally denote/label all vehicular and pedestrian traffic related pavement markings and signage on the plan based upon the Pavement Markings and Signage Plan required to be included in the DRC resubmittal for Engineering Division review.

Depict and generally denote/label the pedestrian/vehicular traffic pavement markings and signs as reflected on the required Pavement Markings and Signage Plan required for DRC review.

6. Paving and Drainage Details, Sheet C-4 – Delete City Standards R-20 & 21 from the sheet as these details generally do not apply to this proposed project. Replace City Standard R-28 with the attached updated City Standard 'Concrete Sidewalk'.

Add City Standard R-32, 'Accessible Parking Space Details', Sheet 1 & 4 of 4 and City Standard R-41, 'Standard Parking Space Details' Sheet 1 of 3 to the details sheet.

City Standard R-32, 'Accessible Parking Space Details', Sheet 1 & 4 of 4 and City Standard R-41, 'Standard Parking Space Details' Sheet 1 of 3 were noted in the 6/11/23 Responses to be included in the Engineering Plans set as the Signage and Pavement Details, Sheet C-9. However, the noted sheet was not included in the Engineering Plans set submitted for review.

7. Water and Sewer Plan, Sheet C-9 – Clearly depict and denote/label all existing water and sewer system improvements within the existing Access Road adjacent to the proposed project, including the existing Fire Hydrants that will provide Fire Hydrant Coverage to address Fire Prevention Bureau requirements.

Water and Sewer Plan, Sheet C-10 noted in the 6/11/23 Responses was not included in the Engineering Plans set submitted for review. Provide Water and Sewer Plan for review.

8. Water and Sewer Plan, Sheet C-9 – Depict and denote/label the required Pavement Restoration within the existing Access Road associated with installation of the Water Service and Fire Supply Line. Depict and denote/label an additional 6" Gate Valve at the proposed 8"x6" Tapping Sleeve and Tapping Valve and denote/label this Gate Valve as the "(Point of Fire Service)" , as required by the Fire Prevention Bureau for approval. Denote/label the connection to the existing water main as "Filling and Flushing Connection".

Water and Sewer Plan, Sheet C-10 noted in the 6/11/23 Responses was not included in the Engineering Plans set submitted for review. Provide Water and Sewer Plan for review.

9. Water and Sewer Plan, Sheet C-9 – Provide 'Crossing Data' for the crossing of the proposed Water Service and Fire Supply Line with the existing storm drainage piping along the north side of the existing Access Road.

Water and Sewer Plan, Sheet C-10 noted in the 6/11/23 Responses was not included in the Engineering Plans set submitted for review. Provide Water and Sewer Plan for review.

10. Water and Sewer Details, Sheet C-10 – Replace the current City Standards W-4, W-6 & S-10 with the attached updated City Standards/Details W-4, W-6 & S-10.

Add the following attached City General and Water Standards/Details to the overall Water and Sewer Details sheets for the proposed project:

General Standards/Details:

- G-1 Typical Trench
- G-2 Restrained Joints
- G-3 Valve Box
- G-4 Utility Crossing General Requirements
- G-6 Utility Crossing Fitting Type

Water Standards/Details:

- W-2 Filling and Flushing
- W-3 Typical Sample Points

Water and Sewer Details, Sheets C-12 & C-13 noted in the 6/11/23 Responses were not included in the Engineering Plans set submitted for review. Provide Details Sheets for review.

Additional Comments per review of submitted plans set:

11. Refer to the attached Site Plans and Engineering Plans Mark-Ups for additional Comments and information to be added to the plans and details sheets.

NOTE: All resubmittals must include 'Responses' to all 'Comments' in letter format. Based upon the 'Responses' and/or 'Plan Revisions', additional 'Comments' may be forthcoming prior to Engineering DRC approval/sign-off of the proposed project.

NOTE that an Engineering Permit is required for construction of the proposed project's site related improvements. Submittal of one (1) set of signed and sealed plans/details sheets, a PDF copy of the plans set, Plans Review Fee and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: West Pines Plaza
REFERENCE #: SP 2023 - 01
DATE REVIEWED: 05/01/2023

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

**THE FOLLOWING COMMENTS WERE NOT ADDRESSED IN RESUBMITTAL PACKAGE
PAGES REFERENCED IN RESPONSE WERE NOT INCLUDED**

Note: Please provide Building Construction Type

Note: Please Place All Notes Below On a Separate Fire Access (FA) Sheet

- 1. Place Note on Plan:** Review and approval by the AHJ shall not relieve the applicant of the responsibility of compliance with this Code per NFPA 1:1.14.4
- 2. Place Note on Plan:** Fire Codes in effect: Florida Fire Prevention Code (FFPC) 6th Edition, effective December 31, 2017 with Broward County Amendments, which includes NFPA 101, 2018 edition, NFPA 1, 2018 edition, & State Statutes, 2019 edition (Adopted referenced publications found herein.)
- 3. Access Box(s).** The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*
NFPA 1-18.2.2.1
- 4. Must** Submit a “**separate**” **Auto-turn plan sheet** for fire truck access and depict the attached Fire Truck and Vehicle specifications (See attached Fire Truck Specs).
- 5. Place notes on plan and depict on requested Fire Access Sheet:** Approved fire department access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**

a. Fire department access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building.

COPP CO 93.11 (B)

6. Place notes on plan and depict on requested Fire Access Sheet: A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building.

NFPA-1:18.2.3.2.1

NOTE: For the purposes of this section, a single exterior door shall be in compliance with **BCLCA F-101.2.2(J)**.

a. When required by the AHJ, roads(s) or parking lots providing access to main entrance door(s) shall be considered access roads and shall comply with the requirements of NFPA 1-18.2.3.4.1.1 and NFPA 1-18.2.3.4.1.2. **NFPA-1:18.2.3.2.1.2**

7. Place notes on plan and demonstrate: Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (450 ft. for sprinklered buildings) from fire department access roads as measured by an approved route around the exterior of the building or facility. **NFPA-1:18.2.3.2.2 and NFPA-1:18.2.3.2.2.1**

a. More than one Fire Department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access. **NFPA-1:18.2.3.3**

b. Fire department access roads for fire department use only shall have an unobstructed width of not less than 20ft. **NFPA-1:18.2.3.4.1.1**

Note: The minimum 20ft. width required by **NFPA-1:18.2.3.4.1.1** allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

c. Driving lanes shall have a minimum clear width of 24 feet for two-way traffic, 15 feet for one-way traffic. **COPP CO 154.35 (5)**

NOTE: Fire department access roads shall have an unobstructed width on not less than 20ft. **NFPA-1:18.2.3.4.1.1**

8. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

9. Place note on plan: The required width of a fire department access road shall not be obstructed in any manner, including by the parking of vehicles.

NFPA-1:18.2.4.1.1

10. Place note on plan: Fire department access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in. NFPA-1:18.2.3.4.1.2**

Note: Permanent, weatherproof signage will be required for fire truck access routes. Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.4 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

11. Place note on plan: Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA-1:18.2.3.4.2**

Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

12. Place note on plan: The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ.

NFPA-1:18.2.3.4.6.2

13. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each of the fire lane. **NFPA-1:18.2.3.4.6.3**

14. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.4.7**

15. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and prohibit the obstruction thereof or both. **NFPA-1:18.2.3.5.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones.

COPP CO 93.12

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided.

See Fire Lane Detail.

c. Fire Lane Sign(s) shall be 18" by 24", shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.5.3**

16. Place notes on plan: A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustibles material accumulates. **NFPA-1:16.4.3.1.1**

a. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. **NFPA-1:16.4.3.1.3**

Note: It is not intended to prohibit the construction of noncombustible structure foundation elements, such as foundations and footings, prior to the completion of underground water mains and hydrants. **NFPA-1:A.16.4.3.1.3**

17. Place note on plans: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of building are hereafter constructed or moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4 Fire Flow Requirements for Buildings. **NFPA-1:18.3.1**

Fire flow calculations for manual fire suppression purposes are required to be provided in accordance with **NFPA-1:18.4.**

Note: Fire flow calculations must be provided on separate sheets prior to approval on engineering permits. Fire Flows must be signed and sealed by a Professional Engineer.

Note: The Fire Flow Test must be witnessed by a Pembroke Pines Fire Inspector. Please call **(954) 499-9560** to coordinate a test date and time.

18. Place notes on plan: The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. **NFPA-1:18.5.1**

Note: Please depict all new and existing Fire Hydrants, Fire Department Connections (FDC), and Fire Line Backflow Devices

NOTE: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

a. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. **NFPA-1:18.5.2**

b. Fire hydrants shall be located not more than 12 ft. from the fire department access road. **NFPA-1:18.5.1.6**

c. Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.8**

d. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.10.1**

e. Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six-inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (A)**

f. Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight-inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (B)**

g. Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. **COPP CO 93.25 (C)**

h. Fire hydrants 4 ½ inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant.

COPP CO 93.25 (E)

NOTE: Fire Hydrant Detail to be provided on submittal.

i. No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. **COPP CO 93.25 (F)**

j. In every case, at least two fire hydrants shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. **Measurements taken as the fire truck travels.**

COPP CO 93.25 (G) Engineering department verification required.

k. Buildings with standpipes/sprinklers require a fire hydrant within 100 feet of each standpipe/sprinkler Fire Department connection. **COPP CO 93.25 (D) and NFPA-14:6.4.5.4 (2016 Ed.)**

19. Place notes on plan: Fire department connections should be located and arranged so that hose lines can be readily and conveniently attach without interference from nearby objects, including buildings, fences posts, or other department connections.

NFPA-14:6.4.5.1.1 (2016 Ed.)

a. Fire department connections shall be visible and recognizable from the street of nearest point of fire department apparatus accessibility or on the street side of building.

NFPA-14:6.4.5.1 (2016 Ed.)

NOTE: Fire department connections shall also be shown on same side of the street as the fire hydrant.

b. Each fire department connection to sprinkler systems shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic materials with red and white letters , having raised or engraved letters at least 1 in. in height on plate of fitted reading service sign that shall be attached to the exterior of the building adjacent to the connection or on the connection, secured with substantial and corrosion resistant fasteners– for example, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE as applicable.

NFPA-14:6.4.5.2.1 (2016 Ed.)

c. The fire department connection should be located not less than 18 in. nor more than 48 in. above the level of the adjoining ground, sidewalk, or grade surface.

NFPA-14:6.4.6 (2016 Ed.)

NOTE: Pembroke Pines Fire Department requires FDC to be installed at 3 ft. above grade.

20. Place note on plan and show: The point of service for the fire line must be shown and labeled on the water Civil Sheets (This is the tie in where the water is being used exclusively for the sprinkler/standpipe system).

a. Any underground work commencing at the point of service shall be performed by a licensed contractor as specified in **FSS 633.102**.

21. Place note on plan: Backflow Prevention Valves. Means shall be provided downstream of all backflow prevention valves for flow tests at system demand. **NFPA-13:8.17.4.6.1**

The full flow test of the backflow prevention valve can be performed with a test header or other connection downstream of the valve. A bypass around the check valve in the fire department connector line with a control valve in the normally closed position can be an acceptable arrangement. When flow to a visible drain cannot not be accomplished, closed loop flow can be acceptable if a flowmeter or site glass is incorporated into the system to ensure flow. **NFPA-13:A.8.17.4.6.1**

22. Place note on plan: Notice Required for Structures with Light-frame Truss-type Construction for new and existing structures, effective 12-13-09. Declare if structure(s) are to be constructed with Light-frame truss-type Construction: (Please provide a detail on site plans addressing type of construction and placard to be posted) **FAC 69A-60.0081**

All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions. **COPP CO 52.10**

Numbers to be maintained in a conspicuous place where they can be seen and read from the street. **COPP CO 52.10 (D)**

23. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED 'Ground Sign Assembly Details'.

NOTE: Detail Provided Below

24. Place note on plan: In all **new** and **existing** buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. **NFPA-1:11.10.1**

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

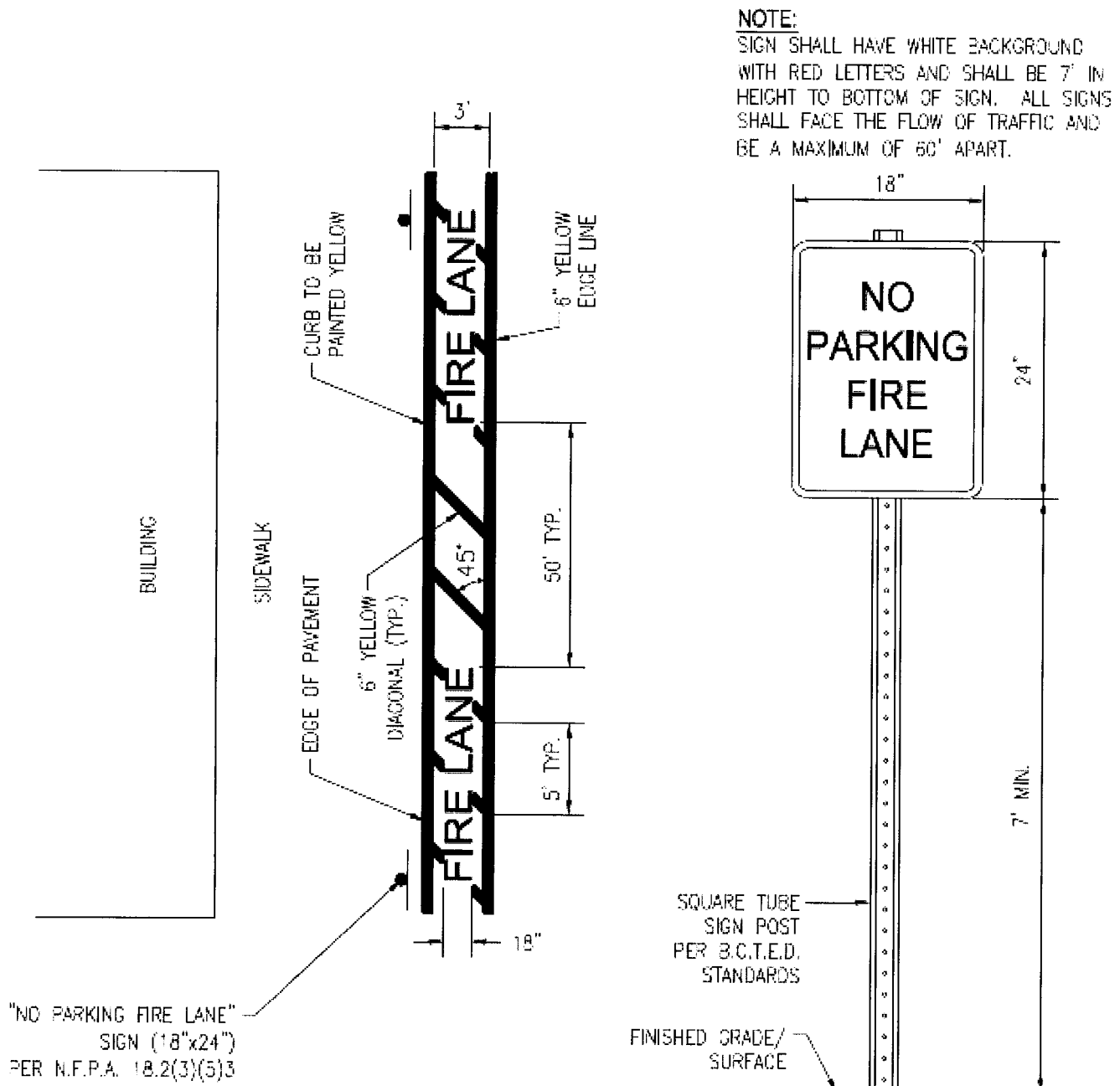
Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed. It is recommended that the structure is equipped with an infrastructure to allow for installation if it is later determined that a BDA is required.

An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signals strength for fire department communication in the occupancy is in compliance, in accordance with **NFPA-1:11.10.1** and **NFPA-72:24.5.2.2.1** through **NFPA-72:24.5.2.2.3**.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with **NFPA-72:14.4.12.1.2** through **NFPA-72:14.4.12.1.4** and **NFPA-24.5.2.3**.

NOTE: A test grid (Heat Map) plan shall be produced to ensure testing throughout the building.

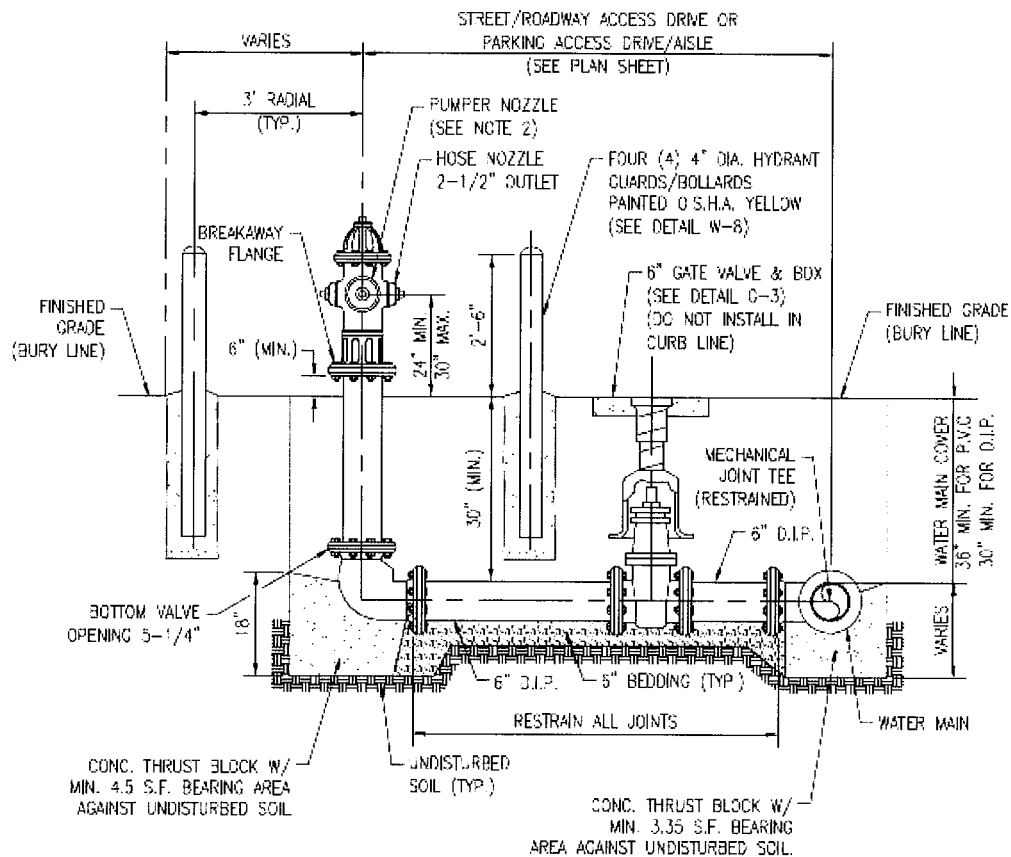
NOTE: Signal levels shall be measured to ensure the system meets the criteria of NFPA 24.5.2.3 with a minimum inbound signal strength of -95 dBm and a minimum outbound signal on -95 dBm at the donor site.



NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
2. SIGN SHALL BE "DIAMOND GRADE" TYPE MEETING BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (B.C.T.E.D.) STANDARDS FOR SIGNS.
3. PRIOR TO REINSTALLATION OF FIRE LANE PAVEMENT MARKINGS IN ASSOCIATION WITH SEALCOATING AND/OR REPAVING OF ANY EXISTING COMMERCIAL, RETAIL, INDUSTRIAL OR OFFICE TYPE PROJECT, "PROJECT SPECIFIC" "FIRE LANE LIMITS" MUST BE DETERMINED BY A FIELD REVIEW OF THE EXISTING PROJECT CONDITIONS BY FIRE PREVENTION BUREAU. ONLY FIRE LANE MARKINGS AND SIGNAGE SHALL BE INSTALLED IN THOSE SITE SPECIFIC LOCATIONS AS FIELD IDENTIFIED BY THE FIRE PREVENTION BUREAU.

FIRE HYDRANT DETAIL

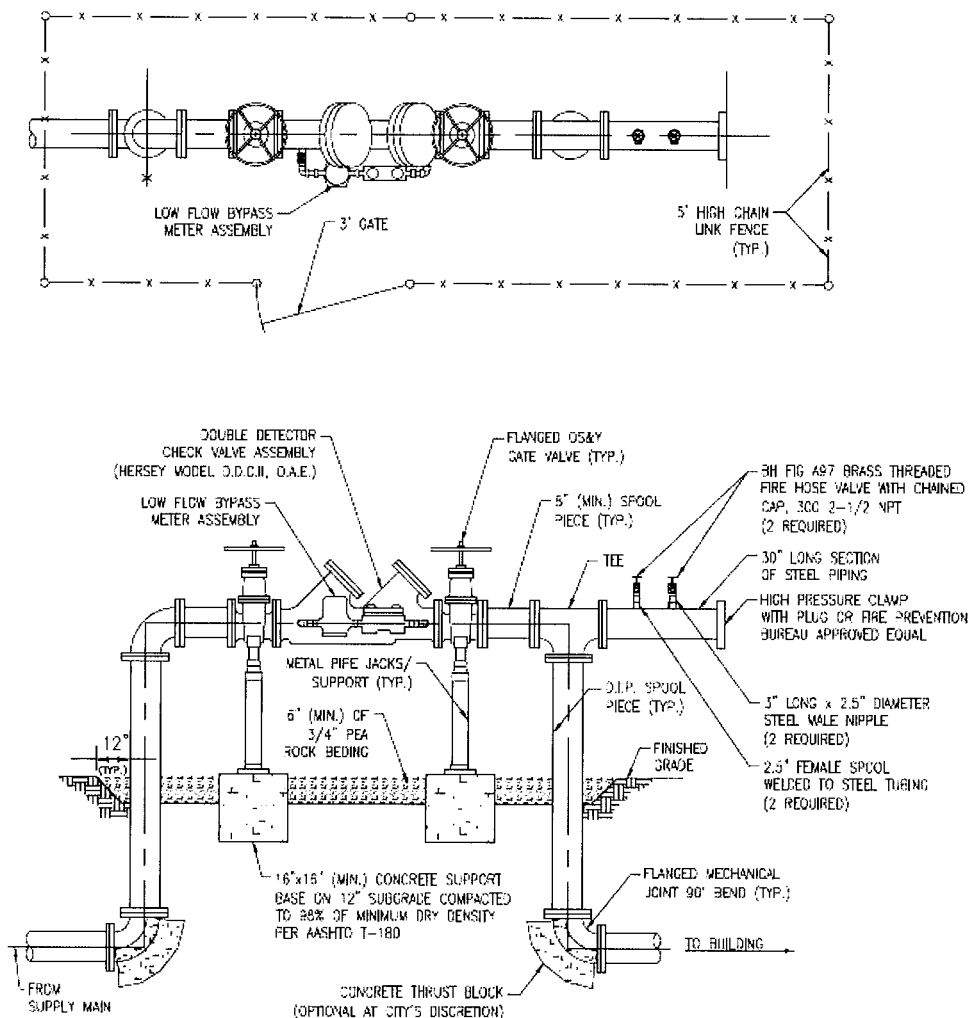


NOTES :

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4" BOTTOM VALVE WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE / ISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR "TURNING RADIUS".
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.

6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.

DDCV Detail



NOTES :

1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA / CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.

4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

Pembroke Pines Fire Truck Specifications

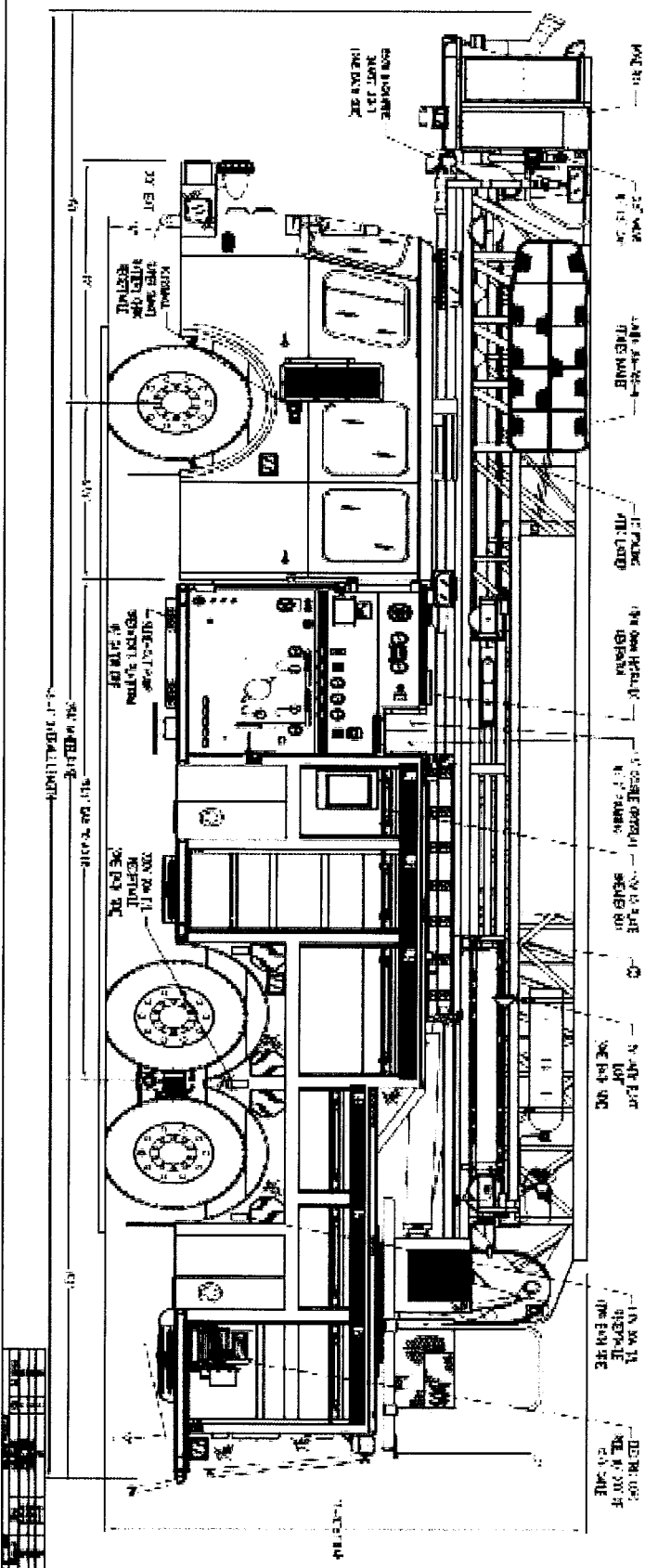
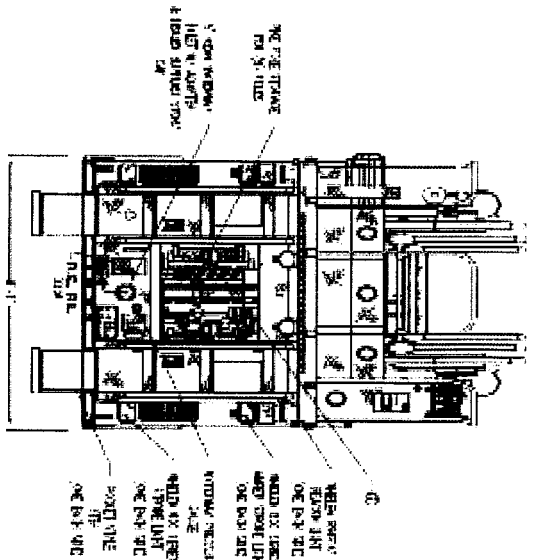


APPROVED FOR PRODUCTION
DATE 11-3-64

NAME		PROBES	STRENGTH DIMENSION
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21	274	254	254 254 254
15-72	274	254	254 254 254
13-73	254	254	254 254 254
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15-75	254	254	254 254 254
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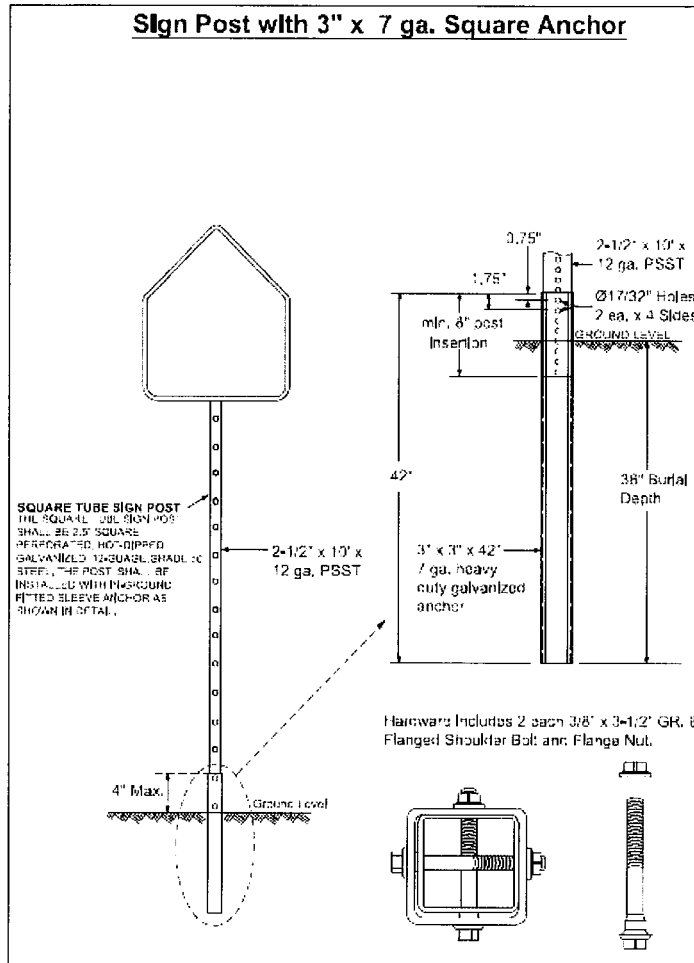
THE STUDENT IS NOT REQUIRED TO REPEAT ALL PROBES. THE STUDENT IS REQUIRED TO REPEAT ALL PROBES THAT ARE INDICATED BY THE STUDENT'S WEAKNESS.

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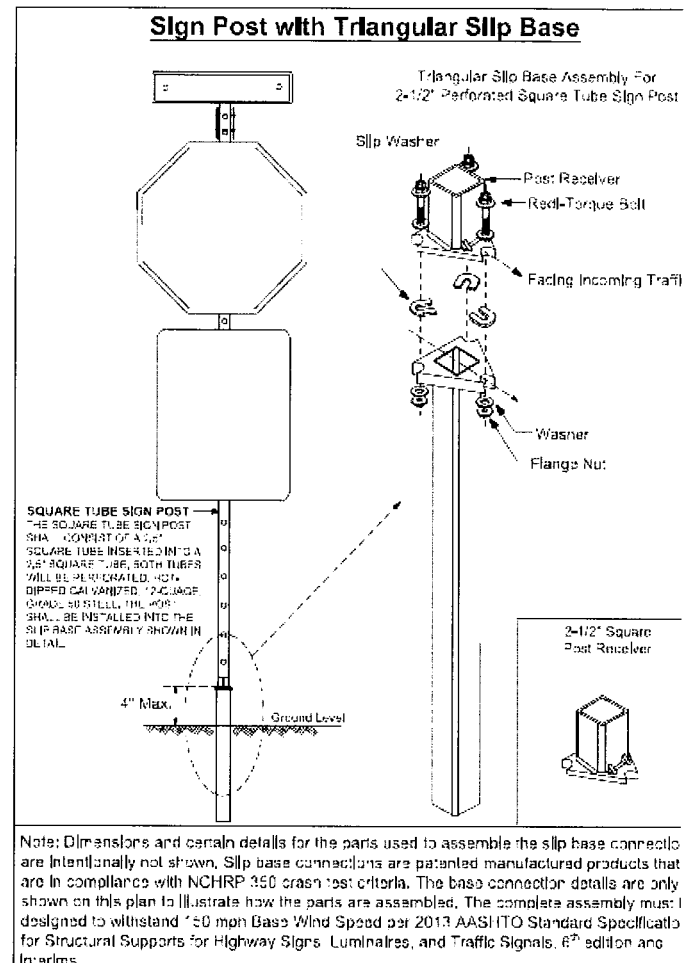


Ground Sign Assembly Details

Sign Post with 3" x 7 ga. Square Anchor



Sign Post with Triangular Slip Base



MEMORANDUM

May 1, 2023

To: Joe Yaciuk
Planning Administrator

From: Dean A. Piper
Zoning Administrator

Re: SP 2023-0001 (PRJ 2023-0001 – West Pines Plaza)

The following are my comments regarding the above Site Plan:

1. This project is being reviewed as new building for "Shopping Center" that includes existing storage buildings and vacant parcel.
5/1/2023 – Acknowledge adjacent center painted new colors, and they have been cited by Code Compliance for work without approval. Property owners should work together to come up with a compatible color scheme for the "Center".
- ~~2. Consider re-orienting/subdividing building to west and north sides of property.~~
- ~~3. With re-orientation look at aligning south entrance with existing entrance to storage building to the south.~~
- ~~4. With re-orientation remove proposed parking lot entrance on west side as traffic circulation/possible stacking going into parking area is very close to Pines Blvd. right of way.~~
5. Proposed distance between this building and existing building to the east is extremely close. Provide operations/details for maintenance of both buildings.
5/1/2023 – Provided explanation, however, provide sheet/location of detail(s) referenced in response.
6. All parking calculations are based on dimensions for total interior space of each unit.
5/1/2023 – Provide floor plan of Adrian's Seafood, with all areas delineated consistent with parking chart to confirm all calculations.
7. Parking calculations for restaurant is based on 10 spaces/1,000 sq. ft. of total square footage of restaurant space, not just seating area (as noted on parking chart). **See Comment #6 Response.**
- ~~8. Provide widths AND depths of all tenant spaces to confirm required parking on Site Plan.~~
9. Provide dimensions of outdoor dining seating barrier to confirm required parking.
5/1/2023 – Show dimensions for outdoor dining on Sheet A-01 to confirm square footage. Dimensions and square footage shown on other pages are not consistent with square footage shown on parking chart.

10. Provide letter from Waste Pro approving location/operations of garbage service.
11. Provide elevations of dumpster enclosure showing colors match building colors.
5/1/2023 – Note added to plan that metal gates “to match building”, however, this needs to state actual color name & number and all elevations of enclosure not provided showing same information re: color of the walls.
12. Detail is provided showing roof mounted equipment will be screened, however, if after building/installation any equipment is visible at 6’ high at any property line alternative method of screening will be required.
5/1/2023 – Detail(s) provided. Note: If after installation/building any units are visible a screening solution will need to be addressed.
13. Provide black and white elevations of building showing all color names, color numbers, materials, finishes, etc.
5/1/2023 – Color elevations with information provided, however, we also require Black & White elevations with this same information provided for easier review of Building Permits that are submitted in black & white.
14. Provide all details and cut sheets for parking lot light poles and fixtures, wall mounted fixtures, under canopy fixtures, etc.
5/1/2023 – Photometric Plan provided with schedule showing fixture information, but actual elevations/details/cutsheets of all fixtures not provided.
15. Provide photometric readings for walkway and under canopy lighting to show that it does not exceed code requirement of 24 ft. candles.
5/1/2023 – Provided, however, there are several readings exceeding the allowed maximum 24 footcandles.
16. Be sure to include all lighting fixtures in Photometric Plan and calculations.
5/1/2023 – See Comment #14.
17. Provide color of Trim Cap and Returns of letters in Uniform Sign Plan.
5/1/2023 – Not Provided/Updated
18. Clarify/confirm that sign faces are completely opaque and are not day/night style.
5/1/2023 – Not Provided/Updated
19. Address on monument sign needs to be placed on top with Center Name, with total square footage (show dimensions/calculations) not to exceed 9 sq. ft. NOTE: Base of sign can contain management/leasing information no greater than 5 sq. ft., non-illuminated.
5/1/2023 – Not Provided/Updated
20. ~~Show location, and setback(s), of monument sign on Site Plan.~~
21. For “Location” (#6) of signs in the Uniform Sign Plan, only include last sentence re: centering. There are no longer any requirement/restriction for signs being closer than “?” inches from top of sign band.
5/1/2023 – Not Provided/Updated

22. For "Materials" (#2) of signs in the Uniform Sign Plan include details of metal gauge and thickness of letter faces that will be required.
5/1/2023 – Not Provided/Updated
23. Will there be an announcing sign? If so, provide elevation showing all details and show location on Site Plan.
5/1/2023 – Not Provided/Updated
- ~~24. Clarify dimensions of all islands are minimum 10' from inside of curbing to inside of curbing.~~
- ~~25. Provide details/cut sheets of Electric Vehicle Charging stations.~~
- ~~26. What level are charging stations and will there be charges? NOTE: If payment required these spaces must be in excess of required parking, if provided at no fee they can be counted as part of required parking.~~
5/1/2023 – Provided acknowledgement that these spaces were removed.
- ~~27. Provide details of proposed signage for charging spaces. Cannot exceed 1.5 sq. ft. in area.~~
- ~~28. Contact Sherrell Jones Ruff in Building to set up a pre-app meeting regarding permit process if desired. Her contact information is: sjones_ruff@egasolutions.com or (954) 628-3725.~~

Please contact me with any questions.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: May 1, 2023
To: SP 2023-01 file
From: Joseph Yaciuk, Assistant Director
Re: West Pines Plaza

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Verify that you have noticed the project in compliance with City Code. Be aware that it is your responsibility to post signs, mail out notice to HOA's as well as property owners because of this application. LDC Article 3 - Section 155.302 **Still Need.**
2. Provide scope of work letter. Include all changes to the building and site as a result of this application. **Provide under separate letter. Include general information about buildings (height, area, number of buildings, use (retail/restaurant), parking provided, location of site, connectivity to site.**
3. Provide actual copy of recorded plat with development note. Verify with Broward County that the proposal complies with plat allowances. (Reference – Watermen Pines). Contact Karina Daluz at Broward County for more information. **Did not see copy of letter in electronic sets. All supporting paperwork must be uploaded.**
4. Provide an Economic Development letter discussing the project. Include in letter the expected investment for construction, estimated taxes generated, expected number of jobs generated and any other info that might show positive economic impact to the City. **No letter uploaded to electronic system. All supporting paperwork must be uploaded. This must be addressed as a separate letter.**
5. Provide a sustainability letter with submittal. Include any materials, methods, operations etc... which exceed building Code and serve to reduce energy / water conservation or resource protection. Items typically provided include solar panels, white roofs and other items including but not limited to items within Table 155.6123. **Provide a separate letter out lining sustainable materials / practices.**
6. Site data - Verify parking counts for restaurants within the City Code. Confirm counts are being assessed correctly with the Zoning Administrator. Provide floor / area ratio for this building. Verify that all site data matches the DRC checklist requirements. (DRC checklist included in separate attachment) **Parking needs to be confirmed with zoning. Outdoor dining areas appear to be inconsistent from page to page.**
7. As proposed, the project must be considered a shopping center which includes the Smart Stop self-storage buildings to the south and east. As a shopping center, all buildings must share compatible architecture / colors and a consistent uniform sign plan. **Colors submitted. Be aware that the Smart Stop owners are in to update their color scheme as a result of a citation. Please contact Planner Cole**

Williams to review the proposed color scheme from that center. Brick veneer appears to be different than the storage buildings.

8. Please create a uniform sign plan for the entire shopping center which includes all buildings within the Center. Only one ground multi-tenant sign is permitted for the center. Please show location of that sign with a minimum 10 foot setback. Not sure existing signs for self-storage comply with proposed uniform sign plan regulations. **Uniform Sign plan was provided on initial submittal. No update provided.**
9. Any proposed outdoor dining? If so, please provide location, area, outdoor dining layout, table and chair details, ADA path, parking generation of such use based on area. **Outdoor dining area needs to be dimensioned and area needs to be consistent from page to page within the plan. Floor plan of outdoor seating needs to be included which shows tables / chair layout as well as pedestrian / ADA path.**
10. Please explain how loading and unloading will occur for all tenants. There appears to be one loading area in SE corner of lot. Are you proposing that all trucks load and unload there? How will goods get to tenant bays along the northeast side of the lot? This is a very tightly packed shopping center circulation-wise so therefore loading of trucks in the front of the center will likely create disruptions with daily traffic. **Applicant will need to load in the front parking area. Be aware that deliveries during business hours may impact circulation of the site.**
11. Consider adding architectural interest to the south side of the building if the back of the building is to remain facing the roadway. Note that the driveway along the south side of this parcel is reasonably busy during school days. Those traveling to the school will be viewing the rear of the building on a regular basis. **South side of the building looks like the rear of buildings. Applicant indicates that they will add architectural interest but has not done so at this time.**
12. It appears certain landscape requirements are missing from landscape plan. Please confirm counts with City Landscape Planner. Also, confirm which trees will remain on site as a result of this plan. Show all vertical items on landscape plans (hydrants, lightpoles, etc...) to ensure there are no conflicts with plantings. Show sight triangles on plans. **Awaiting sign off from landscape division.**
13. Need width of western buffer Is that buffer part of your property?. **It appears you are counting bufferyard which is not shown on the parcel. See extent of parcel on BCPA.net.**



14. Label colors of new dumpster enclosure. Provide detail of dumpster. Gates should be metal for durability. **Still need colors labeled on elevations.**
15. Submit plan to South Broward Drainage District (SBDD) for their review. Staff requires sign off from SBDD as part of DRC process. SBDD requires separate application and fee as part of their review process. **Awaiting SBDD review.**
16. Provide letter from WASTEPRO accepting dumpster location and the fact that their trucks will be able to service the proposed location. **Wastepro letter not uploaded to electronic system.**
- ~~17. Verify dead end condition in parking lot is acceptable to the Fire Prevention bureau. City staff does not typically encourage such layout as there is no secondary means of egress for many drivers.~~
- ~~18. Consider splitting the center into 2 buildings or rotating the building. Consider a smaller footprint with second floor. Parking needs to be easier to navigate. Consider aligning driveway on south side of the property with existing driveway to the main storage building to the south.~~
19. Architectural plans must be compatible with existing self-storage buildings within the shopping center. **Reiteration.**
20. Verify that proposed LED lighting for exterior building and parking lot are full cut off type and do not exceed 4,000K CCT. **Photometric plans provided and it appears as though the coding for fixtures indicates potential for 4,000k bulbs. Please provide specs for each fixture type used and make sure they highlight 4,000k maximum on those plans.**
21. Provide location of bollards on the plan. **Not seeing bollard locations on plan pages as indicated. Bollards should protect from vehicular intrusions where necessary.**
22. Provide details of electrical vehicle charging station. Will those units be a level 2, level 3? Are they considered an amenity use per Code 155.614? **Applicant removed charging stations. Charging stations are still labeled on the site plan sets. Suggest installing infrastructure for the stations for the future. Installing conduit during construction as opposed to after construction may be a more cost effective approach and may help to avoid tearing up the driveways in the future.**
23. Provide location of bike racks on site. **Did not see locations of bike racks or bike rack details on plans.**
24. Provide color / material board. Provide actual color chips / materials – not copies of chips. **No color board provided.**
25. Provide turning radii on plan for fire. Include inside, middle and outside turning radii. **Provide turning radii as acceptable to fire.**
26. **Provide details of planters in shopping center. Include height, materials, colors.**
27. **Provide resubmittal fee for each submittal moving forward (after initial two submittals)**
28. Resubmit plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any changes not clarified on first submittal are subject to additional comments. Any inconsistencies in plans will result in additional comments and possible project delays. All plans must be stapled together as one set. Provide an electronic set of plans on resubmittal also.

29. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
-

Link to Land Development Code

<https://www.ppines.com/DocumentCenter/View/13581/City-of-Pembroke-Pines-Land-Development-Code-April-26-2021?bidId=>

Please review additional development scenarios that you may wish to consider in lieu of your proposed site layout.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



February 8, 2023

**PROJECT: WEST PINES PLAZA
CITY REFERENCE NO: SP2023-0001**

**To: Joe Yaciuk, Planning Coordinator
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer
Engineering Division, Public Services Department
(954) 518-9046**

COMMENTS/RECOMMENDATIONS:

1. General Comment – The proposed project is in a designated Flood Zone AE per the latest (2021) FEMA Flood Maps for the property/project limits. (Refer to the attached 'FEMA Flood Zone Comparison Maps' for designated Flood Zone information.)

NOTE per Chapter 152, 'Flood Plain Administration', of the City's Code of Ordinances, all development or construction activity shall comply with the applicable 'Flood Plain Administration' requirements. Based upon Chapter 152, the following will apply to the proposed project:

- Per Section 152.011 – "Where elevations are ground elevations and are below the closest applicable base flood elevation, even in areas not delineated as a special flood hazard area on a FIRM, the area shall be considered as flood hazard area and subject to the requirements of this chapter and, as applicable, the requirements of the Florida Building Code".

In accordance with the above, provide a 'Letter of Map Change' for the proposed project that removes the portion of the project property from a 'Flood Hazard' area. The 'Letter of Map Change' must be provided prior to City's issuance of the Building Permit for the proposed building improvements.

2. General Comment – Provide ‘Surface Water Management Calculations’ addressing SFWMD criteria and South Broward Drainage District (SBDD) Basin requirements.
3. General Comment – Provide Estimated Water Demand and Sewage Flow Calculations (Average Daily and Peak Flows) for the proposed project for Utilities Division review.

Note that the Estimate Sewage Flows are be based upon the type of uses and associated rates as listed in the attached ‘Design Flow Table’ per Section 27-201 of the Broward County Code of Ordinances with the appropriate ‘Peaking Factor’ per the ‘Ten States Standards’.

4. General Comment – Provide Stormwater Pollution Prevention and Erosion Control Plans and Details reflecting the appropriate Stormwater Pollution Prevention and Erosion Control Measures for the proposed site engineering improvements/construction phase/activities, including Stormwater Pollution Prevention and Erosion Control Measures for the project’s proposed storm drainage and DRA outfall/”Bubble-Up” system improvements, DRA construction, etc.

Note that Stormwater Pollution Prevention and Erosion Control Plans and Details must comply with all requirements/criteria of Part V of the ‘Generic Permit’ for ‘Stormwater Discharge of Large and Small Construction Activities’. The plans and details must address the "Plan Requirement Items" per the ‘FDEP Stormwater Pollution Prevention Plan Template’ for coverage under the ‘FDEP Generic Permit’ (NOI), which the city has been tasked with enforcing and documenting for future NPDES Stormwater audits by the FDEP under the Broward County MS4 Permit Program. (Refer to the attached ‘FDEP Template for Development of Stormwater Pollution Prevention Plan’ for general guidelines for use in preparing typical FDEP compliant plans.). However, you should also refer to the attached FDEP ‘Generic Permit’ to verify that your plans are meeting all FDEP /plan/permit requirements.

5. General Comment – Provide Demolition Plans depicting and denoting/labeling all existing improvements to be removed (including existing trees), site clearing and grubbing limits, demucking/site filling limits, etc.

In addition, depict and denote/label the locations of any existing Burrowing Owl Nests, etc on the Demolition Plans based upon a field review completed by the appropriate professional/biologist. If no Burrowing Owl Nests exist within the site limits to be impacted by the proposed project, then provide a letter stating such from the appropriate professional/biologist. If Burrowing Owl Nests do exist within the project limits, then provide the appropriate notes/clarifications necessary to document that the Burrowing Owl Nests area to be protected until such time as the required relocation of the Burrowing Owls has been approved/permitted by the Florida Fish and Wildlife Conservation Commission allowing for the destruction of the existing burrows/nests.

6. General Comment – Provide the following additional Site Engineering Plans and Details sheets for continued Engineering DRC review and as required for Engineering DRC approval:
 - Pavement Markings and Signage Plan
 - Pavement Markings Details, including the attached Broward County Traffic Engineering Division Standards Details
7. Site Plan, Sheet SP-01– Add the attached ‘City Accessibility and Pavement Markings and Signage Requirements Notes’ to the plan.
8. Site Plan, Sheet SP-01 – Depict and denote/label (reflect) the following items on the plan as applicable based upon the proposed project improvements:
 - All Curb types
 - All Sidewalk Curb Ramps by ‘CR’ type per FDOT Index 522-002. (Note that all ramps 5’ and beyond outside of the proposed building footprint are required to be Sidewalk Curb Ramps and clearly and accurately depicted by ‘CR’ type)
 - All Concrete Sidewalk/Walkway areas with typical widths and specify any proposed sidewalks with thickened edge denote/label as “Thickened Edge” and either as flushed or raised above pavement elevation.
 - All edge of pavement radii, including the radii for all interior parking islands
 - 3’ Clear Overhang from face of the required Wheel Stop to the face of the Curb along front of the parking areas
 - Standard Parking Space per City Standard R-41 (typical labels on the plans)
 - Accessible Parking Space per City Standard R-32 (typical label on the plans)
 - Accessible Parking Access Aisle markings with Three (3) Equally Spaced Stripes
 - Building Setbacks as applicable to plan. (Denote/label the designated dimension lines that are the setback lines by providing the label “(Setback)” under the dimension.
 - Any Drainage Easements as required by the SBDD in association with the proposed Surface Water Management and Storm Drainage System improvements
 - 15’ Utility Easements as required by the city over the proposed water and sewer main/system improvements
 - Any existing Easements to remain and required to be modified and/or vacated
 - Contour Elevations for the proposed Dry Retention Areas
 - Proposed Monument Sign
 - Depict all proposed Parking Spaces with two (2) Edge Lines, including those parking spaces abutting a landscape island along one side
 - Depict and generally denote/label all vehiculate and pedestrian traffic related pavement markings and signage on the plan based upon the Pavement Markings and Signage Plan required to be included in the DRC resubmittal for Engineering Division review
9. Paving, Grading & Drainage Plan, Sheet C-2 – Depict and denote/label all proposed and existing (as applicable) Curb types, proposed/required Sidewalk Curb Ramps with ‘CR’

type designations and 'Directional Flow Arrows' for the stormwater flow along the centerline of the inverted crown parking areas. Depict and denote/label the Pavement Restoration within the existing Access Road that will be required for the drainage piping installation for connection to the existing storm drainage structure (overflow connection).

10. Paving, Grading & Drainage Plan, Sheet C-2 – Provide additional 'Design' information for the proposed site drainage system, including identifying on the plan the proposed "Stormbrixx Storm Drainage System". Denote/label the proposed Storm Drainage Structure number for the southerly most proposed inlet with the driveway connection to existing Access Road (would seem to be Structure #10 per the current numbering).

11. Paving and Drainage Details, Sheet C-4 – Delete City Standards R-20 & 21 from the sheet as these details generally do not apply to this proposed project. Replace City Standard R-28 with the attached updated City Standard 'Concrete Sidewalk'.

Add City Standard R-32, 'Accessible Parking Space Details', Sheet 1 & 4 of 4 and City Standard R-42, 'Standard Parking Space Details' Sheet 1 of 3 to the details sheet.

12. Paving and Drainage Details, Sheet C-5 – Relocate the proposed 'Drainage Structure Schedule' to the Paving, Grading and Drainage Plan, Sheet C-2. Replace City Standard R-26 with attached updated City Standard R-26, 'Concrete Curb'.

Add attached City Standard R-38, 'Pavement Restoration For Local Roads and Parking Lots' to the details sheet. Add a 'Pavement Section/Specifications' for the proposed onsite asphalt pavement within the parking lot/access driveway connection consisting of "1-3/4" Type SP 9.5 Asphalt Placed In 2 Lifts With Final Lift Being 1" Thick" (to ensure that the Final Lift complies with the FDOT minimum lift thickness requirements for SP 9.5 Asphalt), 8" Limerock Base Compacted to 98% of Maximum Dry Density per AASHTO T-180 with a minimum LBR of 40 and 12" Stabilized Subgrade Compacted to 98% of Maximum Dry Density per AASHTO T-180 with a minimum LBR of 100 .

13. Water and Sewer Plan, Sheet C-9 – Clearly depict and denote/label all existing water and sewer system improvements within the existing Access Road adjacent to the proposed project, including the existing Fire Hydrants that will provide Fire Hydrant Coverage to address Fire Prevention Bureau requirements.
14. Water and Sewer Plan, Sheet C-9 – Depict and denote/label the required Pavement Restoration within the existing Access Road associated with installation of the Water Service and Fire Supply Line. Depict and denote/label an additional 6" Gate Valve at the proposed 8"x6" Tapping Sleeve and Tapping Valve and denote/label this Gate Valve as the "(Point of Fire Service)", as required by the Fire Prevention Bureau for approval. Denote/label the connection to the existing water main as "Filling and Flushing Connection".

15. Water and Sewer Plan, Sheet C-9 – Provide ‘Crossing Data’ for the crossing of the proposed Water Service and Fire Supply Line with the existing storm drainage piping along the north side of the existing Access Road.
16. Water and Sewer Details, Sheet C-10 – Replace the current City Standards W-4, W-6 & S-10 with the attached updated City Standards/Details W-4, W-6 & S-10.

Add the following attached City General and Water Standards/Details to the overall Water and Sewer Details sheets for the proposed project:

General Standards/Details:

- G-1 Typical Trench
- G-2 Restrained Joints
- G-3 Valve Box
- G-4 Utility Crossing General Requirements
- G-6 Utility Crossing Fitting Type

Water Standards/Details:

- W-2 Filling and Flushing
- W-3 Typical Sample Points

NOTE: All resubmittals must include ‘Responses’ to all ‘Comments’ in letter format. Based upon the ‘Responses’ and/or ‘Plan Revisions’, additional ‘Comments’ may be forthcoming prior to Engineering DRC approval/sign-off of the proposed project.

NOTE that an Engineering Permit is required for construction of the proposed project’s site related improvements. Submittal of one (1) set of signed and sealed plans/details sheets, a PDF copy of the plans set, Plans Review Fee and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.

MEMORANDUM

January 18, 2023

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2023-0001) West Pines Plaza

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. 155.657 (A (8)) A proposed plant list by symbol, quantity, required specifications, native or non-native, drought tolerance, mature canopy spread, total mature canopy spread proposed on site, and botanical and common names. The plant list shall be indicated on all planting sheets. **Please add symbols to Plant list on L-2.**
2. **PPines calculation table used seems to be out of date, please see my attached calculation table (page 3 of this document), fill in and update please.**
3. **Ligustrum lucidum is listed as a Category 1 invasive by the Florida Exotic Pest Plant Council and should be swapped with more appropriate species of plant material.**
4. 155.657 (A (4)) Tree survey bearing the seal of a landscape architect or qualified personnel indicating the location, number, species, DBH, size, and **condition** of all existing trees and vegetation on-site to be preserved, relocated, or removed. In the event there are no trees on-site, the applicant shall submit a letter stating that there are no existing trees on-site. **Will there be any removals on site, if so, show all removals clearly on LP page as well as on tree disposition.**
5. 155.657 (A (9+10)) **Please clearly show all above ground electrical elements, all proposed lighting, vertical features, overhead wires, or fire hydrants to prevent any conflict with plantings.**
6. 155.662 (C (3)) The base of all ground signs must be adequately landscaped. Permit applications for ground signs must be accompanied by a landscape plan compliant with the following standards: (a) Landscape area must consist of 2 layers of shrubs, groundcover, annual or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement. **Will there be a monument sign for the plaza? Please mark it on the plans as well as its required plantings.**
7. 155.664 (P (4)) All trees shall be planned to ensure that there is adequate root and canopy space at maturity. Trees planted within ten feet of a paved surface or a form of infrastructure (determined to have an invasive root system) shall require an approved root barrier system). **Please consider implementing root barrier systems for all trees with invasive root systems (QV/LB). Show root barrier on landscape pages as well as L-3 for root barrier details. Otherwise swapping of species is recommended.**

8. 155.663 (A) Parking areas also defined as parking islands shall have a mixture of plant material, with no more than 50% of total parking island area as mulch.
Planting on North parking island shows only mulch under Wild Tamarind.
9. **West bufferyard appears to be outside of property limits. Please show parcel limits and provide W bufferyard.**
10. **It appears that number of trees required does not match number of trees proposed. All palms (except for Lady and Thatch palms) are counted at 3:1 ratio. Check your numbers once calculations table is updated.**
11. **A courtesy landscape inspection of site was performed. Existing plant material on site appears to be in poor health, please provide an assessment letter from FL certified arborist stating that 4 proposed to "remain" QV are in salvageable condition. Keep in mind that all plant material is required to be FL#1 Grade or better.**
12. **It is my understanding that site is going to change drastically during the review, additional comments may apply at a later date.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
City of Pembroke Pines
601 City Center Way
Pembroke Pines, FL 33025
954.392.2100 (Office) • yhall@ppines.com
City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday
Online Access: [Pines Web Services](#)
Consider the environment before printing this email.

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		
<u>SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.</u> 1. All properties three stories and below minimum: (a) 20% of required trees meet 14-16' H with 3" diameter at breast height. (b) 20% of required trees meet 12-14' H with 2" diameter at breast height. (c) 60% of required trees required meet 155.664 (M). 2. All properties four stories and above minimum: (a) 30% of required trees meet 14-16' H with 3" diameter at breast height. (b) 30% of required trees meet 12-14' H with 2" diameter at breast height. (c) 40% of required trees required meet 155.664 (M).		
<u>SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways – All Properties.</u> One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.		
<u>SEC 155.661 (J) Landscaping Adjacent to Abutting Properties – All Properties.</u> The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.		
<u>SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.</u> 1. For non-residential properties the planting requirement shall be calculated on the following basis; (a) One tree every 5,000 square feet of gross area. (b) Ten shrubs every 5,000 square feet of gross area.		
<u>SEC. 155.663 (F) Interior parking and paved area landscaping.</u> Parking lots shall comply with the following minimum requirements: 1. One tree: (a) Every five parking spaces; and (b) Every 100 square feet of interior landscaping; 2. Ten square feet of interior landscaping every parking space up to 50 spaces; 3. One hundred square feet of landscaping every ten parking spaces over 50 spaces; 4. One square foot of landscaping: (a) Every 100 square feet of paved areas up to 50,000 square feet; and (b) Every 200 square feet of paved area over 50,000 square feet; and		
City of Pembroke Pines Landscape Code Requirements		
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: January 12, 2023
To: SP 2023-01 file
From: Joseph Yaciuk, Assistant Director
Re: West Pines Plaza

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Verify that you have noticed the project in compliance with City Code. Be aware that it is your responsibility to post signs, mail out notice to HOA's as well as property owners as a result of this application. LDC Article 3 - Section 155.302
2. Provide scope of work letter. Include all changes to the building and site as a result of this application.
3. Provide actual copy of recorded plat with development note. Verify with Broward County that the proposal complies with plat allowances. (Reference – Watermen Pines). Contact Karina Daluz at Broward County for more information.
4. Provide an Economic Development letter discussing the project. Include in letter the expected investment for construction, estimated taxes generated, expected number of jobs generated and any other info that might show positive economic impact to the City.
5. Provide a sustainability letter with submittal. Include any materials, methods, operations etc... which exceed building Code and serve to reduce energy / water conservation or resource protection. Items typically provided include solar panels, white roofs and other items including but not limited to items within Table 155.6123.
6. Site data - Verify parking counts for restaurants within the City Code. Confirm counts are being assessed correctly with the Zoning Administrator. Provide floor / area ratio for this building. Verify that all site data matches the DRC checklist requirements. (DRC checklist included in separate attachment)
7. As proposed, the project must be considered a shopping center which includes the Smart Stop self-storage buildings to the south and east. As a shopping center, all buildings must share compatible architecture / colors and a consistent uniform sign plan.
8. Please create a uniform sign plan for the entire shopping center which includes all buildings within the Center. Only one ground multi-tenant sign is permitted for the center. Please show location of that sign with a minimum 10 foot setback. Not sure existing signs for self-storage comply with proposed uniform sign plan regulations.
9. Any proposed outdoor dining? If so, please provide location, area, outdoor dining layout, table and chair details, ADA path, parking generation of such use based on area.
10. Please explain how loading and unloading will occur for all tenants. There appears to be one loading area in SE corner of lot. Are you proposing that all trucks load and unload there? How will goods get to tenant bays along the northeast side of the lot?

- This is a very tightly packed shopping center circulation-wise so therefore loading of trucks in the front of the center will likely create disruptions with daily traffic.
11. Consider adding architectural interest to the south side of the building if the back of the building is to remain facing the roadway. Note that the driveway along the south side of this parcel is reasonably busy during school days. Those traveling to the school will be viewing the rear of the building on a regular basis.
 12. It appears certain landscape requirements are missing from landscape plan. Please confirm counts with City Landscape Planner. Also, confirm which trees will remain on site as a result of this plan. Show all vertical items on landscape plans (hydrants, lightpoles, etc...) to ensure there are no conflicts with plantings. Show sight triangles on plans.
 13. Need width of western buffer Is that buffer part of your property?
 14. Label colors of new dumpster enclosure. Provide detail of dumpster. Gates should be metal for durability.
 15. Submit plan to South Broward Drainage District (SBDD) for their review. Staff requires sign off from SBDD as part of DRC process. SBDD requires separate application and fee as part of their review process.
 16. Provide letter from WASTEPRO accepting dumpster location and the fact that their trucks will be able to service the proposed location.
 17. Verify dead end condition in parking lot is acceptable to the Fire Prevention bureau. City staff does not typically encourage such layout as there is no secondary means of egress for many drivers.
 18. Consider splitting the center into 2 buildings or rotating the building. Consider a smaller footprint with second floor. Parking needs to be easier to navigate. Consider aligning driveway on south side of the property with existing driveway to the main storage building to the south.
 19. Architectural plans must be compatible with existing self-storage buildings within the shopping center.
 20. Verify that proposed LED lighting for exterior building and parking lot are full cut off type and do not exceed 4,000K CCT.
 21. Provide location of bollards on the plan.
 22. Provide details of electrical vehicle charging station. Will those units be a level 2, level 3? Are they considered an amenity use per Code 155.614?
 23. Provide location of bike racks on site.
 24. Provide color / material board. Provide actual color chips / materials – not copies of chips.
 25. Provide turning radii on plan for fire. Include inside, middle and outside turning radii.
 26. Resubmit plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any changes not clarified on first submittal are subject to additional comments. Any inconsistencies in plans will result in additional comments and possible project delays. All plans must be stapled together as one set. Provide an electronic set of plans on resubmittal also.
 27. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify

revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**

Link to Land Development Code

<https://www.ppines.com/DocumentCenter/View/13581/City-of-Pembroke-Pines-Land-Development-Code-April-26-2021?bidId=>

Please review additional development scenarios that you may wish to consider in lieu of your proposed site layout.



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: West Pines Plaza
REFERENCE #: SP 2023 - 01
DATE REVIEWED: 01/11/2023

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

Note: Please provide Building Construction Type

Note: Please Place All Notes Below On a Separate Fire Access (FA) Sheet

- 1. Place Note on Plan:** Review and approval by the AHJ shall not relieve the applicant of the responsibility of compliance with this Code per NFPA 1:1.14.4
- 2. Place Note on Plan:** Fire Codes in effect: Florida Fire Prevention Code (FFPC) 6th Edition, effective December 31, 2017 with Broward County Amendments, which includes NFPA 101, 2018 edition, NFPA 1, 2018 edition, & State Statutes, 2019 edition (Adopted referenced publications found herein.)
- 3. Access Box(s).** The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*
NFPA 1-18.2.2.1
- 4. Must** Submit a “**separate**” **Auto-turn plan sheet** for fire truck access and depict the attached Fire Truck and Vehicle specifications (See attached Fire Truck Specs).
- 5. Place notes on plan and depict on requested Fire Access Sheet:** Approved fire department access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**
 - a.** Fire department access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building.

COPP CO 93.11 (B)

6. Place notes on plan and depict on requested Fire Access Sheet: A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building.

NFPA-1:18.2.3.2.1

NOTE: For the purposes of this section, a single exterior door shall be in compliance with **BCLCA F-101.2.2(J)**.

a. When required by the AHJ, roads(s) or parking lots providing access to main entrance door(s) shall be considered access roads and shall comply with the requirements of NFPA 1-18.2.3.4.1.1 and NFPA 1-18.2.3.4.1.2. **NFPA-1:18.2.3.2.1.2**

7. Place notes on plan and demonstrate: Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (450 ft. for sprinklered buildings) from fire department access roads as measured by an approved route around the exterior of the building or facility. **NFPA-1:18.2.3.2.2 and NFPA-1:18.2.3.2.2.1**

a. More than one Fire Department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access. **NFPA-1:18.2.3.3**

b. Fire department access roads for fire department use only shall have an unobstructed width of not less than 20ft. **NFPA-1:18.2.3.4.1.1**

Note: The minimum 20ft. width required by **NFPA-1:18.2.3.4.1.1** allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

c. Driving lanes shall have a minimum clear width of 24 feet for two-way traffic, 15 feet for one-way traffic.

COPP CO 154.35 (5)

NOTE: Fire department access roads shall have an unobstructed width on not less than 20ft.

NFPA-1:18.2.3.4.1.1

8. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

9. Place note on plan: The required width of a fire department access road shall not be obstructed in any manner, including by the parking of vehicles.

NFPA-1:18.2.4.1.1

10. Place note on plan: Fire department access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in.** **NFPA-1:18.2.3.4.1.2**

Note: Permanent, weatherproof signage will be required for fire truck access routes. Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.4 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

11. Place note on plan: Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA-1:18.2.3.4.2**

Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

12. Place note on plan: The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. **NFPA-1:18.2.3.4.6.2**

13. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each of the fire lane. **NFPA-1:18.2.3.4.6.3**

14. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.4.7**

15. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and prohibit the obstruction thereof or both. **NFPA-1:18.2.3.5.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones. **COPP CO 93.12**

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided. **See Fire Lane Detail.**

c. Fire Lane Sign(s) shall be 18" by 24", shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.5.3**

16. Place notes on plan: A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustibles material accumulates. **NFPA-1:16.4.3.1.1**

a. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. **NFPA-1:16.4.3.1.3**

Note: It is not intended to prohibit the construction of noncombustible structure foundation elements, such as foundations and footings, prior to the completion of underground water mains and hydrants. **NFPA-1:A.16.4.3.1.3**

17. Place note on plans: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of building are hereafter constructed or moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4 Fire Flow Requirements for Buildings. **NFPA-1:18.3.1**
Fire flow calculations for manual fire suppression purposes are required to be provided in accordance with **NFPA-1:18.4**.

Note: Fire flow calculations must be provided on separate sheets prior to approval on engineering permits. Fire Flows must be signed and sealed by a Professional Engineer.

Note: The Fire Flow Test must be witnessed by a Pembroke Pines Fire Inspector.
Please call **(954) 499-9560** to coordinate a test date and time.

18. Place notes on plan: The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. **NFPA-1:18.5.1**

Note: Please depict all new and existing Fire Hydrants, Fire Department Connections (FDC), and Fire Line Backflow Devices

NOTE: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

a. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. **NFPA-1:18.5.2**

b. Fire hydrants shall be located not more than 12 ft. from the fire department access road. **NFPA-1:18.5.1.6**

c. Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.8**

d. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.10.1**

e. Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six-inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (A)**

f. Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight- inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (B)**

g. Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. **COPP CO 93.25 (C)**

h. Fire hydrants 4 ½ inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant.

COPP CO 93.25 (E)

NOTE: Fire Hydrant Detail to be provided on submittal.

i. No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. **COPP CO 93.25 (F)**

j. In every case, at least two fire hydrants shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. **Measurements taken as the fire truck travels.**

COPP CO 93.25 (G) Engineering department verification required.

k. Buildings with standpipes/sprinklers require a fire hydrant within 100 feet of each standpipe/sprinkler Fire Department connection. **COPP CO 93.25 (D) and NFPA-14:6.4.5.4 (2016 Ed.)**

19. Place notes on plan: Fire department connections should be located and arranged so that hose lines can be readily and conveniently attach without interference from nearby objects, including buildings, fences posts, or other department connections.

NFPA-14:6.4.5.1.1 (2016 Ed.)

a. Fire department connections shall be visible and recognizable from the street of nearest point of fire department apparatus accessibility or on the street side of building.

NFPA-14:6.4.5.1 (2016 Ed.)

NOTE: Fire department connections shall also be shown on same side of the street as the fire hydrant.

b. Each fire department connection to sprinkler systems shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic materials with red and white letters, having raised or engraved letters at least 1 in. in height on plate of fitted reading service sign that shall be attached to the exterior of the building adjacent to the connection or on the connection, secured with substantial and corrosion resistant fasteners— for example, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE as applicable.

NFPA-14:6.4.5.2.1 (2016 Ed.)

c. The fire department connection should be located not less than 18 in. nor more than 48 in. above the level of the adjoining ground, sidewalk, or grade surface.

NFPA-14:6.4.6 (2016 Ed.)

NOTE: Pembroke Pines Fire Department requires FDC to be installed at 3 ft. above grade.

20. Place note on plan and show: The point of service for the fire line must be shown and labeled on the water Civil Sheets (This is the tie in where the water is being used exclusively for the sprinkler/standpipe system).

a. Any underground work commencing at the point of service shall be performed by a licensed contractor as specified in **FSS 633.102**.

21. Place note on plan: Backflow Prevention Valves. Means shall be provided downstream of all backflow prevention valves for flow tests at system demand. **NFPA-13:8.17.4.6.1**

The full flow test of the backflow prevention valve can be performed with a test header or other connection downstream of the valve. A bypass around the check valve in the fire department connector line with a control valve in the normally closed position can be an acceptable arrangement. When flow to a visible drain cannot not be accomplished, closed loop flow can be acceptable if a flowmeter or site glass is incorporated into the system to ensure flow. **NFPA-13:A.8.17.4.6.1**

22. Place note on plan: Notice Required for Structures with Light-frame Truss-type Construction for new and existing structures, effective 12-13-09. Declare if structure(s) are to be constructed with Light-frame truss-type Construction: (Please provide a detail on site plans addressing type of construction and placard to be posted) **FAC 69A-60.0081**

All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions. **COPP CO 52.10**

Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
COPP CO 52.10 (D)

23. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED 'Ground Sign Assembly Details'.

NOTE: Detail Provided Below

24. Place note on plan: In all **new** and **existing** buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ.

NFPA-1:11.10.1

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

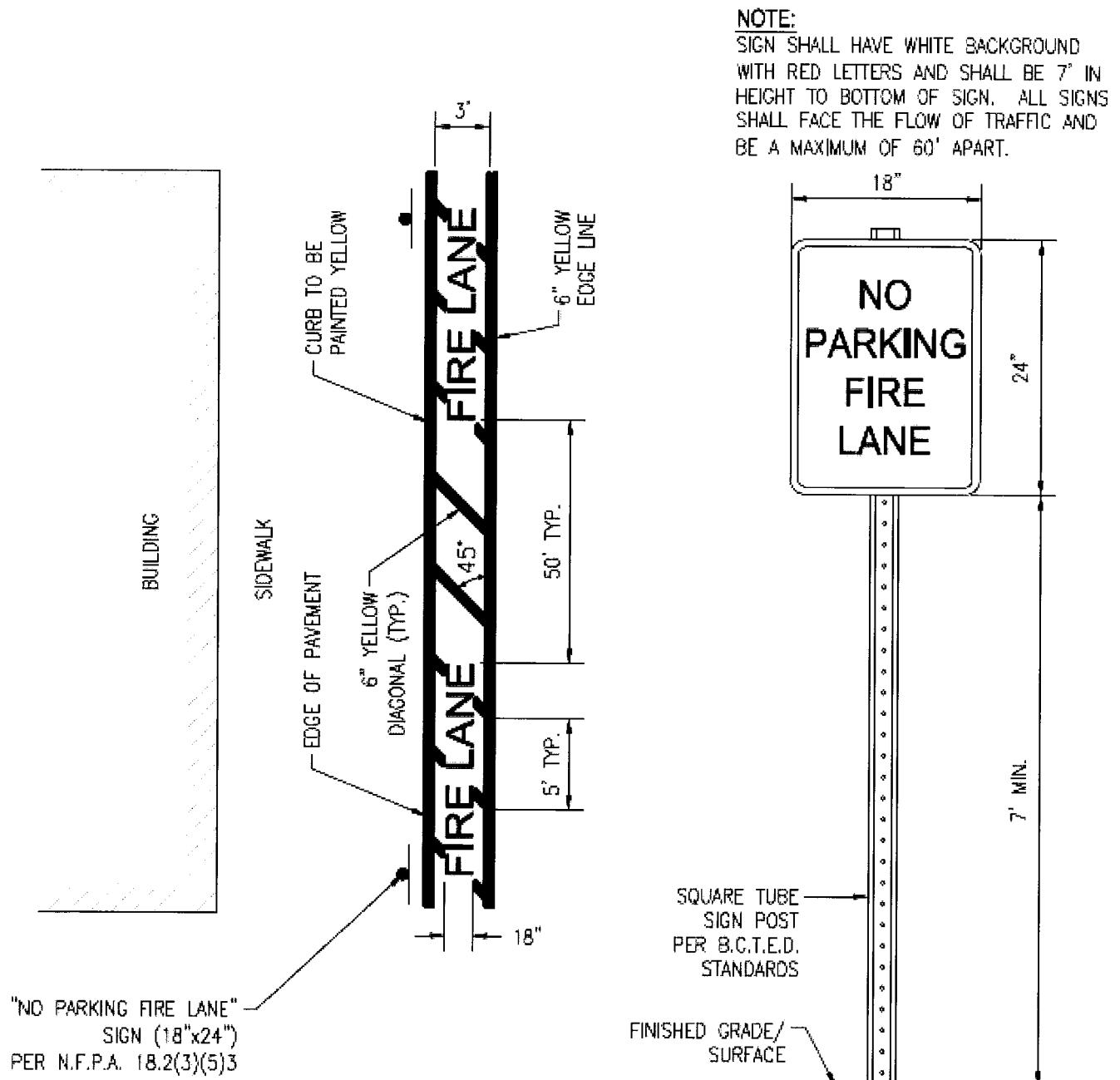
Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed. It is recommended that the structure is equipped with an infrastructure to allow for installation if it is later determined that a BDA is required.

An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signals strength for fire department communication in the occupancy is in compliance, in accordance with **NFPA-1:11.10.1** and **NFPA-72:24.5.2.2.1** through **NFPA-72:24.5.2.2.3**.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with **NFPA-72:14.4.12.1.2** through **NFPA-72:14.4.12.1.4** and **NFPA-24.5.2.3**.

NOTE: A test grid (Heat Map) plan shall be produced to ensure testing throughout the building.

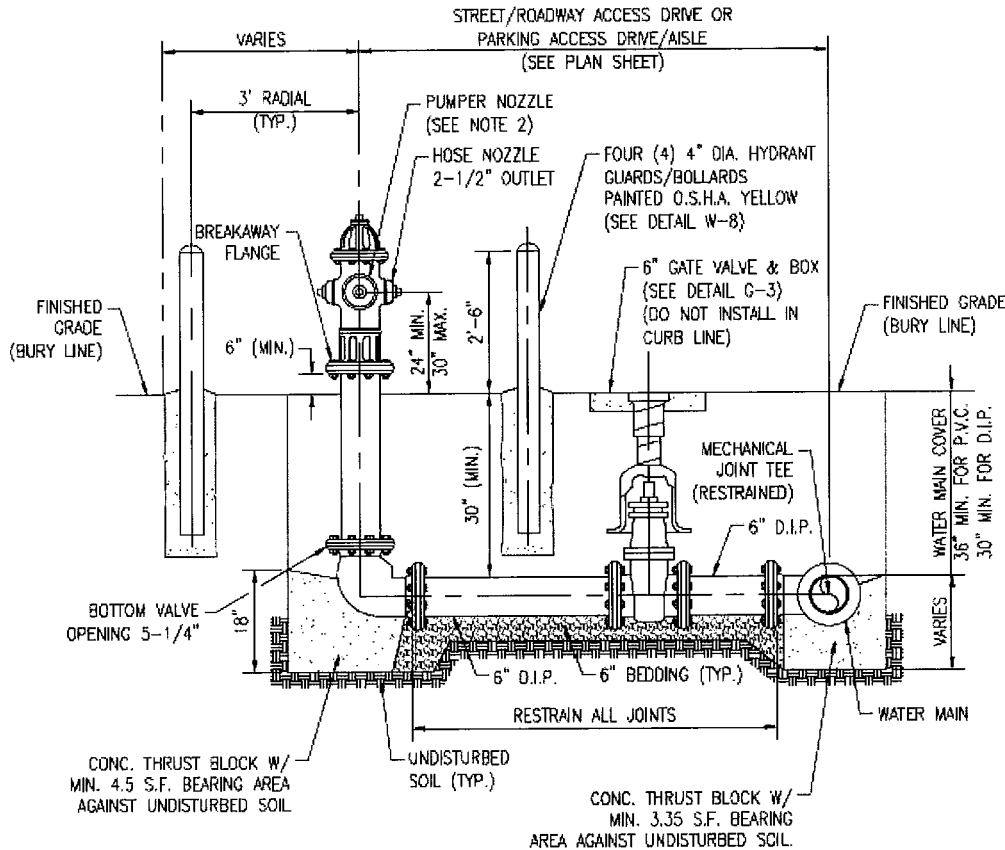
NOTE: Signal levels shall be measured to ensure the system meets the criteria of NFPA 24.5.2.3 with a minimum inbound signal strength of -95 dBm and a minimum outbound signal on -95 dBm at the donor site.



NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
2. SIGN SHALL BE "DIAMOND GRADE" TYPE MEETING BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (B.C.T.E.D.) STANDARDS FOR SIGNS.
3. PRIOR TO REINSTALLATION OF FIRE LANE PAVEMENT MARKINGS IN ASSOCIATION WITH SEALCOATING AND/OR REPAVING OF ANY EXISTING COMMERCIAL, RETAIL, INDUSTRIAL OR OFFICE TYPE PROJECT, "PROJECT SPECIFIC" "FIRE LANE LIMITS" MUST BE DETERMINED BY A FIELD REVIEW OF THE EXISTING PROJECT CONDITIONS BY FIRE PREVENTION BUREAU. ONLY FIRE LANE MARKINGS AND SIGNAGE SHALL BE INSTALLED IN THOSE SITE SPECIFIC LOCATIONS AS FIELD IDENTIFIED BY THE FIRE PREVENTION BUREAU.

FIRE HYDRANT DETAIL

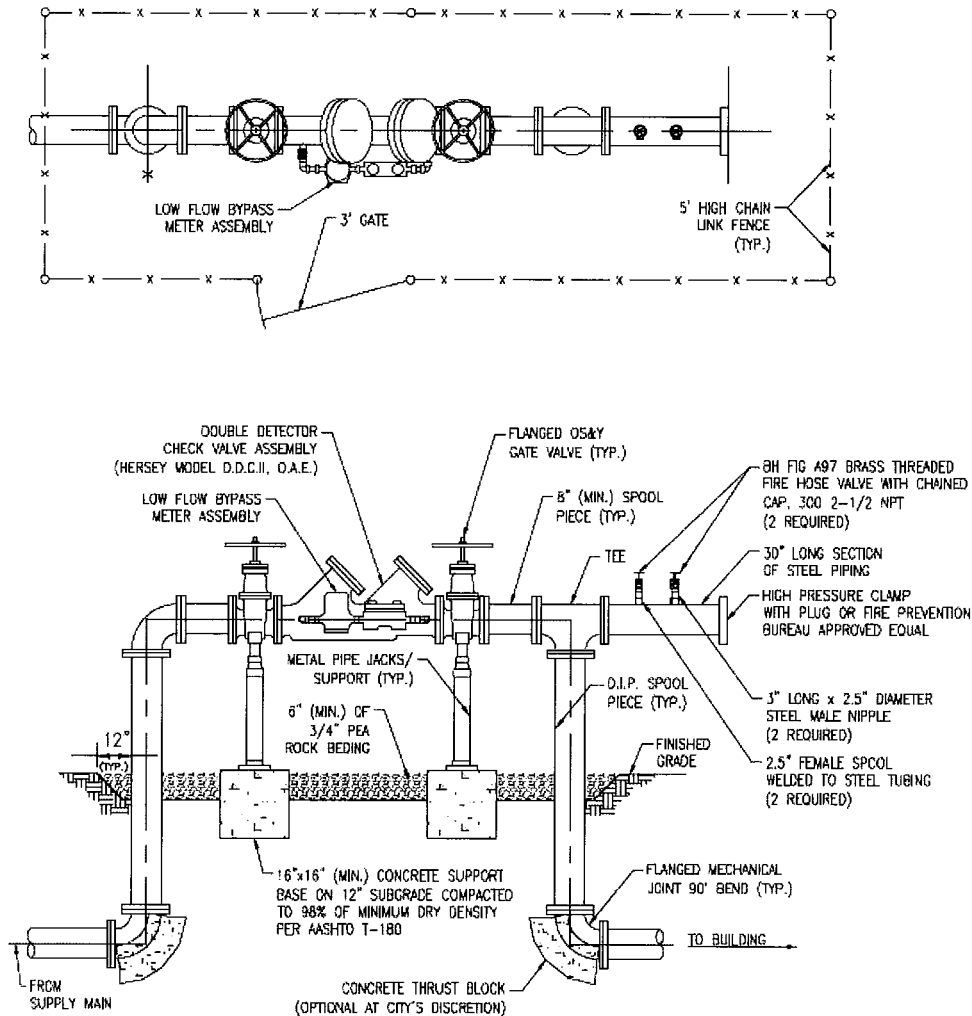


NOTES :

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4" BOTTOM VALVE WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE / ISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR "TURNING RADIUS".
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.

6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.

DDCV Detail



NOTES :

1. ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER NFPA / CITY FIRE PREVENTION BUREAU STANDARDS / REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE.
2. ADJUSTABLE PIPE JACKS / SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.

4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

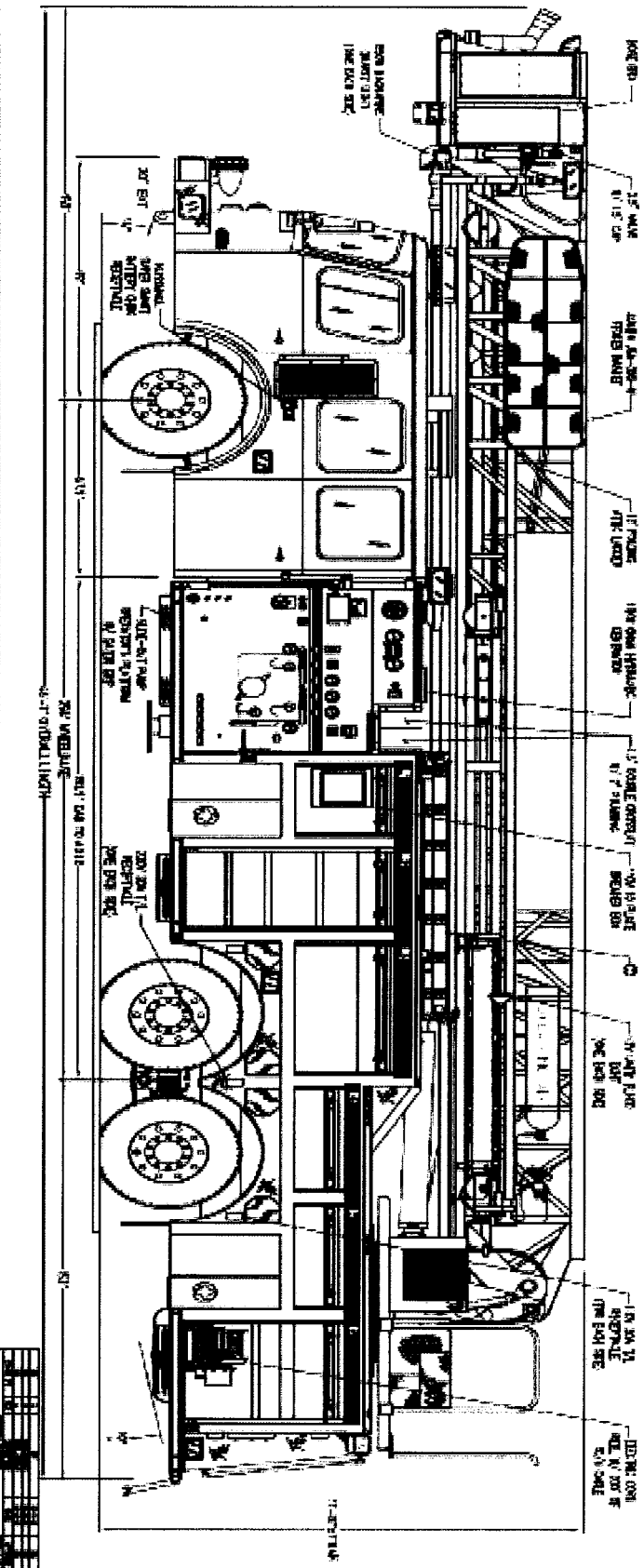
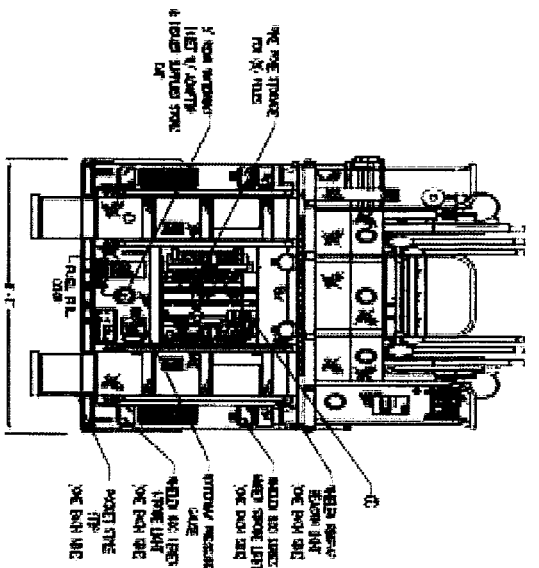
Pembroke Pines Fire Truck Specifications



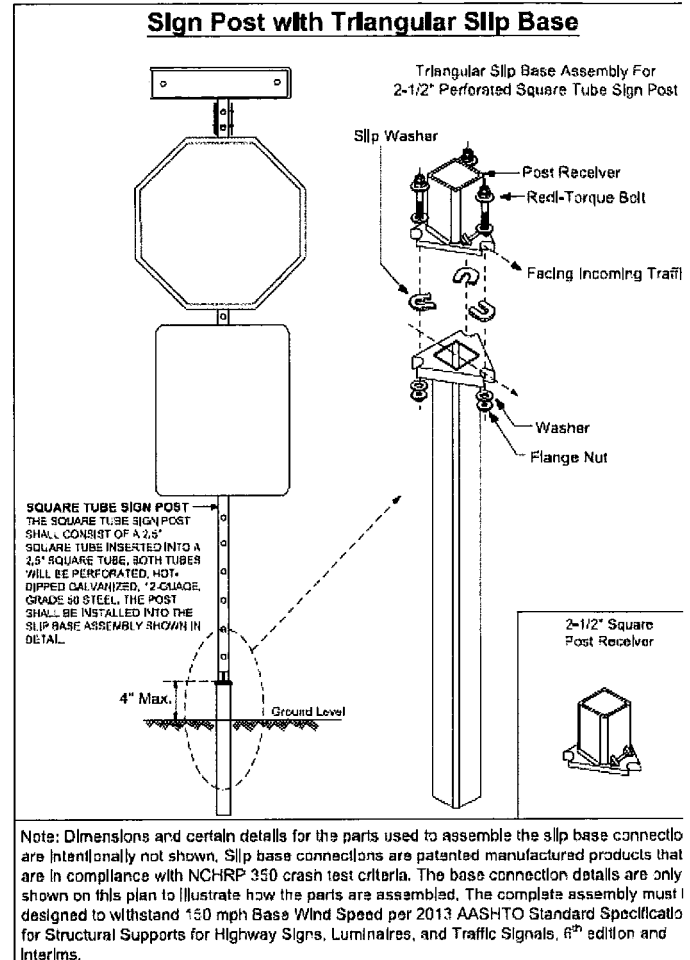
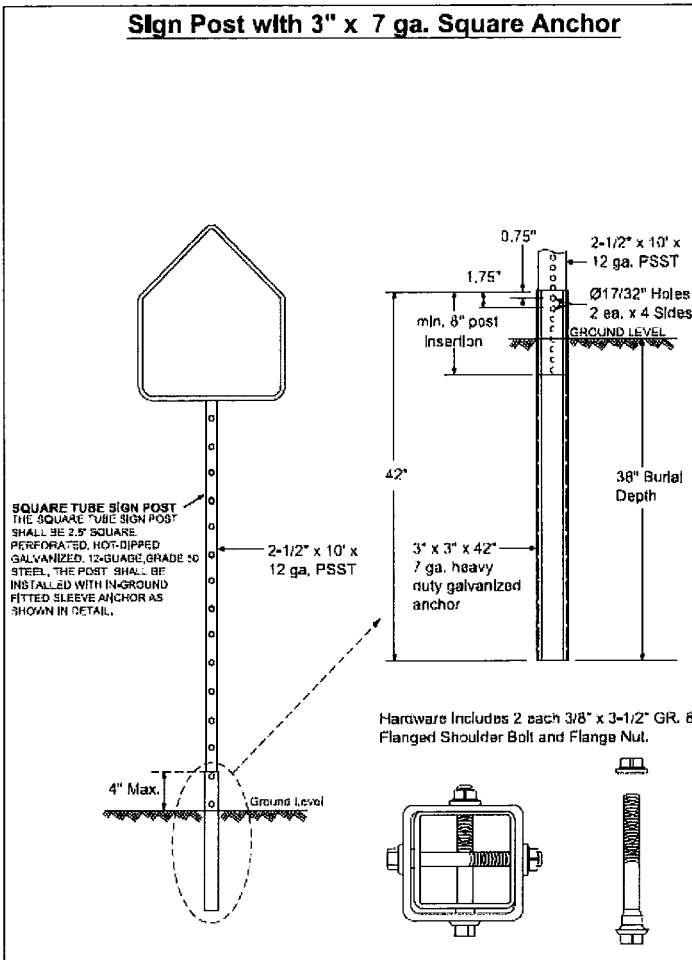
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APPROVED FOR PRODUCTION
 BY DATE 11-7-61

DATE 11-7-64

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Ground Sign Assembly Details



Note: Dimensions and certain details for the parts used to assemble the slip base connectio are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specification for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and Interims.

SUBJECT SITE AERIAL PHOTO

West Pines Plaza (SP 2023-0001)

