




**City of Pembroke Pines**  
**Planning & Economic Development Department**  
**601 City Center Way 3<sup>rd</sup> Floor**  
**Pembroke Pines FL, 33025**

## Summary

<b>Agenda Date:</b>	June 27, 2019	<b>Application ID:</b>	MSC 2019-10
<b>Project:</b>	Panera Bread Tenant Modifications	<b>Project Number:</b>	N/A
<b>Project Planner:</b>	Cole Williams, Planner / Zoning Technician		
<b>Owner:</b>	Pembroke Lakes Square, LLC c/o Retail Property Group, Inc.	<b>Agent:</b>	Phillips   Sekanick Architects, inc.
<b>Location:</b>	11025 Pines Boulevard		
<b>Existing Zoning:</b>	B-3 (General Business)	<b>Existing Land Use:</b>	Commercial
<b>Reference Applications:</b>	MSC 2018-18, SP 2012-08, MSC 2007-66, MSC 2006-48, SP 2005- 06 ZC 2005-02, ZC 2001-02, SUB 2001-01		
<b>Applicant Request:</b>	Modifications to the existing drive-thru lane and canopy, existing store front, and the existing outdoor seating area		
<b>Staff Recommendation:</b>	<b>Approval</b>		
<b>Final:</b>	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
<b>Reviewed for the Agenda:</b>	Director:  Planning Administrator: 		

## Project Description / Background

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Philips | Sekanick Architects Inc, agent, is requesting approval for site and building modifications to building 500 of Pembroke Lakes Square shopping center, generally located on the northeast corner of Pines Boulevard and Hiatus Road. Panera Bread currently operates within building 400 of Pembroke Lakes Square.

Panera Bread plans to relocate to the western end of building 500. The relocation will allow Panera Bread to utilize an existing drive-thru area on the north side of the building. The tenant space and drive-thru at building 500 was originally designed for a bank use but no bank tenant ever occupied the building. The subject tenant bay was previously occupied by Burger & Beer Joint who chose not to utilize the drive-thru area.

Pembroke Lakes Square was approved through site plan SP (2005-06). Modifications were made to the site with 2006 (elevation changes), 2007 (general site modifications), 2012 (addition of outdoor dining), and in 2018 (modifications to building 100).

### **BUILDINGS / STRUCTURES:**

As result of the proposed conversion, the applicant proposes the following work to the drive-thru area:

- Convert the existing three drive thru lanes south of the building to one, the other two lanes will be converted to a single escape lane. Additionally, the existing drive-thru lane dividers will be removed. Pavement markings and traffic signage will be provided accordingly for vehicular circulation.
- Addition of a 6' wide landscaped area adjacent to the existing 7' sidewalk along the back of building 500. In total 13' of separation will be provided between the drive-thru lane and the back of the building. A silver 3' tall aluminum railing will be placed between the existing sidewalk and landscape area to protect the landscape material.
- Addition of a 9' 4" tall canopy to cover the proposed menu board. The canopy will be painted BM #2134-20 "Midsummer Night"
- Installation of a 9' 9" clearance bar painted to match the menu board canopy.
- In total 5 inbound and 3 outbound spaces will be provided.
- Installation of 3 short-term parking spaces.
- Removal of the existing drive-thru canopy, to be replaced with a 20' x 6' silver aluminum canopy to match the rest of the center. The building will be patched and painted to match the existing colors of the building (SW 6408 Wheat Grass)

Additionally, the application proposed the following changes to the outdoor dining area and storefront:

- Installation of a 3' black rail to enclose the existing outdoor dining area.
- Removal of overhead door under the outdoor dining area, to be replaced with storefront to match the rest of the center.
- Removal of the easternmost entryway, to be replaced with storefront to match the rest of the center.



## **SIGNAGE:**

The applicant proposes the following signage as a result of this application:

- One 5'-8" tall, 32 square foot menu board to be located in the rear of building 500.
- Wall and directional signage is regulated by the shopping center's uniform sign plan and will be approved through the building permit process.

## **LANDSCAPING:**

The applicant is proposing the following material for the landscape area adjacent to the drive-thru lane:

- Row 1: Dwarf Clusia
- Row 2: Mammey Croton
- Row 3: Podocarpus.

No other site modifications are being proposed at this time.

**Staff has reviewed the proposed changes and find that the proposed changes meet code requirements. Staff therefore recommends approval of this application.**

### **Enclosed:**

Miscellaneous Plan Application  
Memo from Planning Division, (6/4/19)  
Memo from Zoning Administrator, (6/4/19)  
Memo from Planning Division, (5/30/19)  
Memo from Zoning Administrator, (5/30/19)  
Memo from Engineering Division (5/29/19)  
Memo from Engineering Division (5/13/19)  
Memo from Zoning Administrator, (5/8/19)  
Memo from Landscape Division (5/7/19)  
Memo from Fire Prevention Bureau (5/7/19)  
Memo from Planning Division, (5/1/19)  
Miscellaneous Plan  
Site Aerials



**City of Pembroke Pines**  
**Planning and Economic Development Department**  
**Unified Development Application**

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: \_\_\_\_\_

# Plans for DRC \_\_\_\_\_ Planner: \_\_\_\_\_

Indicate the type of application you are applying for:

- |   |   |
|---|---|
| <input type="checkbox"/> Appeal*                      | <input type="checkbox"/> Sign Plan                                |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan*                               |
| <input type="checkbox"/> Delegation Request           | <input type="checkbox"/> Site Plan Amendment*                     |
| <input type="checkbox"/> DRI*                         | <input type="checkbox"/> Special Exception*                       |
| <input type="checkbox"/> DRI Amendment (NOPC)*        | <input type="checkbox"/> Variance (Homeowner Residential)         |
| <input type="checkbox"/> Flexibility Allocation       | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation*              | <input type="checkbox"/> Zoning Change (Map or PUD)*              |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text)                     |
| <input checked="" type="checkbox"/> Miscellaneous     | <input type="checkbox"/> Zoning Exception*                        |
| <input type="checkbox"/> Plat*                        | <input type="checkbox"/> Deed Restriction                         |

**INSTRUCTIONS:**

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 foot radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

*Staff Use Only*

Project Planner: Cole Project #: PRJ 20 n/a Application #: MSC 2019-10

Date Submitted: 04/29/19 Posted Signs Required: (n/a) Fees: \$ 1,006



**SECTION 1-PROJECT INFORMATION:**Project Name: Panera Bread Drive ThruProject Address: 11025 Pines Boulevard Pembroke Pines, Florida 33026Location / Shopping Center: Pembroke Lakes Square NE corner of Pines Boulevard and Hiatus RoadAcreage of Property: 26.6377 Building Square Feet: 13,855Flexibility Zone: 106 Folio Number(s): 514118260010Plat Name: Pines-Hiatus Traffic Analysis Zone (TAZ): \_\_\_\_\_**Legal Description:**

PINES-HIATUS PLAT 173-110 B PARCEL A LESS:COMM NW COR PAR A S 159.26,E 12 TO POB,  
E 237.71,N 160.98,E 272.68,SELY 38.33,E 252.34,SELY 57.13,E 2.10,S 148.32,W 9.99,S 526.82,W  
267.91 WLY 26.93,WLY 26.93,W 237.06,N 491.11,W 237.06,N 80 TO POB LESS PORS DESC IN OR  
43057/852 TOG WITH A POR OF R/W DESC IN RES 44925/202 & LESS POR DESC IN OR 46763/678  
& LESS HIATUS RD R/W VAC

Has this project been previously submitted?

Yes

**No**

Describe previous applications on property (Approved Variances, Deed Restrictions,  
etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution/ Ordinance #	Conditions of Approval

## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Pembroke Lakes Square, LLC c/o Retail Property Group, Inc.

Owner's Address: 101 Plaza Real South, Suite 200 Boca Raton, FL 33432

Owner's Email Address: Lcarosella@rpg123.com & Jcarosella@rpg123.com

Owner's Phone: Cell 954-873-4597 Owner's Fax: 561-961-1744

Agent: Phillips | Sekanick Architects, inc.

Contact Person: Mr. Kim Phillips

Agent's Address: 142 East Market Street, Warren, Ohio 44481

Agent's Email Address: kim@PSAOH.com

Agent's Phone: 330-395-9518 Agent's Fax: 330-395-4296

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.* The owner hereby requests in writing that all staff and city comments emailed to agent are also emailed to the above two owners in the same email at the same time.

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: B-3

Land Use / Density: Commercial

Use: commercial

Plat Name: Pines-Hiatus

Plat Restrictive Note: 256,814 Sq.ft

### PROPOSED

Zoning: B-3

Land Use / Density: Commercial

Use: Commercial

Plat Name: Pines-Hiatus

Plat Restrictive Note: 256,814. ft

### ADJACENT ZONING

North: A-1 (Church), R-4

South: B-2

East: R-4

West: B-3

### ADJACENT LAND USE PLAN

North: LM

South: C

East: LM

West: C



**SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY**

Related Applications: N/A

Code Section: \_\_\_\_\_

Required: \_\_\_\_\_

Request: \_\_\_\_\_

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper.

**SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY**

☐ City and County Amendment

Existing City Land Use: N/A

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_

**SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)**  
**AS OUTLINED WITHIN THE ATTACHED PLANS**

The intent of this project is to convert the former B & B Restaurant into a new location for a Panera Bread fast casual drive thru restaurant. The current space prior to the B & B Restaurant contained a bank drive thru facility and therefore was formerly approved and built to contain drive thru lanes, window, etc. This project envisions the reopening of the former drive thru element with certain adjustments to adapt to the new use. The current drive thru area contains three lanes along the entirety of the rear (north) wall of the multi-tenant retail building (11025 Pines Boulevard) with the subject restaurant space located on the west end of the retail building. We propose to eliminate one drive lane directly adjoining the rear building wall to allow safe and convenient access to and from all tenant service doors via expanded concrete sidewalk, establish a landscape buffer, and provide space for restaurant associated menu boards. Construction further envisions the removal and replacement of the existing drive thru canopy to allow for delivery truck access. The replacement canopy shall be constructed to match the suspended metal canopies existing on the remainder of the retail building. With the exception interior build out activities to convert the existing space, the intent is to maintain the exterior walls in their current arrangement including the existing current covered patio with minor modifications to the existing storefront window system & the addition of a new decorative patio railing system to confine patron seating to the usable patio area and prevent seating migration into any public pedestrian sidewalk areas.



## SECTION 7- PROJECT AUTHORIZATION

### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

**Pembroke Lakes Square, LLC a FL Limited Liability Company Out Parcel Bldgs**

**By: RPG Holdings, Inc. its Managing Agent**

**By: Joe Carosella, President**

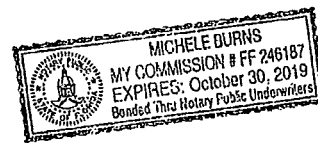
Signature of Owner

Date

3/22/19

Sworn and Subscribed before me this 22 day

of March, 2019



Fee Paid

Signature of Notary Public

My Commission Expires

0

*Michele Burns*

10/30/19

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of Agent

3/22/19

Date

Sworn and Subscribed before me this 22 day

of March, 2019

Fee Paid

Signature of Notary Public

My Commission Expires

*Kaye M. Hadzigeorge*

May 1, 2020



KAYE M. HADZIGEORGE  
NOTARY PUBLIC-OHIO  
MY COMMISSION EXPIRES  
MAY 1 2020

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** June 4, 2019  
**To:** MSC 2019-10 file  
**From:** Cole Williams, Planner / Zoning Technician  
**Re:** Panera Bread

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**Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:**

**ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN SATISFIED**



MEMORANDUM

June 4, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

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All of my comments regarding the above Miscellaneous Plan have been satisfied.

## PLANNING DIVISION STAFF COMMENTS

### Memorandum:

**Date:** May 30, 2019  
**To:** MSC 2019-10 file  
**From:** Cole Williams, Planner / Zoning Technician  
**Re:** Panera Bread

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### Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Clarify if any other changes are being made to the site. (paint, lighting, etc...)
2. Provide details of menu board and canopy over the menu board. One menu board is permitted by code. Menu board sign area shall not exceed 32 square feet. Provide height and color of the menu board canopy. **Sheet 00841.1 and A201 shows a preview board. Please remove.**
3. Provide details of directional signage. Signage to not exceed 1.5 square feet. **The copy on the signage cannot exceed 1.5 square feet. Directional Signage #21 and #25 is not existing and would not be permitted unless other directional signs on site are removed.**
4. Clarify design data on sheet 00841.10 does not appear to apply entirely to this project.
5. Clarify if the directional signs will have up lighting installed.
6. Provide color of the new drive thru canopy.
7. Provide details of materials to be used on the storefront
8. Note on the plans the color of the wall where the canopy is being removed.
9. **Wall signage is regulated by a uniform sign plan. Remove wall signage from the package.**
10. **Provide color chips for all paint to be used.**

MEMORANDUM

May 30, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

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The following are my remaining comments regarding the above Miscellaneous Plan:

1. ~~Provide elevations, with all details, dimensions, etc. of menu board, ordering equipment, canopy and clearance bar. No~~
2. Only one menu board allowed.  
**Pre-Menu Board removed on some plans, but still shown on sheets that show rear elevation of building.**
3. ~~Will there be any directional signs (e.g. Drive Thru w/ arrow, exit, etc.)? If so, show location(s) on Site Plan and provide elevation(s) showing details and dimensions. Signs are a maximum of 1.5 sq. ft. and cannot have name/logo on them.~~
4. ~~Provide note on north elevation that color of wall repaired from removal of bank drive thru canopy will match existing and/or that entire wall may need to be repainted due to fading.~~
5. ~~Provide color name, color number, finish, etc. of new canopy above drive thru window.~~
6. ~~Provide detail elevation of railing being added in rear of building.~~

Please contact me with any questions.



**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

# **DRC REVIEW FORM**



**May 29, 2019**

**PROJECT: *PANERA BREAD PEMBROKE LAKES SQUARE DRIVE THRU*  
CITY REFERENCE NUMBER: MSC 2019-10**

**To: Cole Williams, Planner  
Planner/Zoning Technician, Planning and Economic Development Department**

**From: John L. England, P.E.  
Environmental Services/Engineering Division, Public Services Department  
(954) 518-9046**

## **RECOMMENDATIONS:**

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The Environmental Services/Engineering Division's DRC 'Comments' for the proposed project have been satisfied and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

# **DRC REVIEW FORM**



**May 13, 2019**

**PROJECT: PANERA BREAD PEMBROKE LAKES SQUARE DRIVE THRU  
PROJECT: MSC 2019-10**

**To: Cole Williams, Planning/Zoning Technician  
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer  
Environmental Services/Engineering Division, Public Services Department  
(954) 518-9046**

**COMMENTS/RECOMMENDATIONS:**

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1. Provide justification for three (3) 'Exiting Lanes' at the west end/terminus of the proposed 'Drive Thru'. Three (3) 'Exiting Lanes' could potentially be confusing for drivers exiting the 'Drive', as it is anticipated that the majority of the vehicular traffic exiting the proposed 'Drive Thru' (by way of either the actual 'Drive Thru Lane' or 'Bypass Lanes') will be turning north bound to get to the shopping center's main driveway leading to Pines Boulevard or to continue west along the shopping center's internal access drive to exit at the signalized driveway on Hiatus Road.

Consideration should be given to reducing the number of possible turning movements exiting the proposed 'Drive Thru' and thus reducing the potential number of vehicular turning conflicts when exiting the proposed 'Drive Thru'.

2. All Accessible Parking Spaces, Accessible Parking Access Aisles, Sidewalk Curb Ramps, Accessible Routes and Ramps must be ADA Compliant per Florida Building Code — 'Accessibility', Sixth Edition.

Provide written confirmation from an Engineer that the existing Accessible Parking Spaces, Accessible Parking Space Access Aisle, Sidewalk Curb Ramps (if applicable) and 'Accessible Route' from the Accessible Parking Spaces to the 'Accessible Entry' of the building are

ADA compliant or provide an Engineering Plan noting the reconstruction of all non-compliant existing "Accessible Elements" to be ADA compliant.

**NOTE** that all "Accessible Elements" shall be field checked at the time of final Engineering inspection to confirm compliance with all applicable ADA standards/requirements. Any non-compliant 'Accessible Element' will be required to be reconstructed prior to the Engineering Division's acceptance of the work and close-out of the Engineering Construction Permit.

3. Accessible Parking Spaces must be ADA compliant and conform to the latest attached City Standard Detail R-32, 'Accessible Parking Space Details' with respect to pavement markings, signage, etc.
4. Per City Code, the current City standards for typical Accessible and Standard Parking Spaces dimensions are 12' x 19' and 9' x 19', respectively, with a 3' clear overhang from the inside/front face of the Wheel Stop to the front of the parking space. Provide Code compliant parking spaces and dimension all typical Accessible and Standard Parking Spaces on the Site Plan sheet to be added to the DRC plans set. Current City standards for Standard and Accessible Parking Spaces are noted in the attached City Standard Detail R-41 (Option #1 & #2) and City Standard Detail R-32, 'Accessible Parking Space Details'. The attached City Standard Details must be reflected on both the 'Site Plan' and 'Pavement Marking and Signage Plan' to be added to the DRC plans set, should the existing parking conditions allow the use of the current Code parking standards.

Should the dimensions of the existing parking spaces differ from the current Code standards for parking spaces, then the current Code standards for parking spaces are to be utilized whenever possible within the existing parking lot limits unless the use of the current Code standards results in the loss of parking spaces and creates a parking deficiency which violates the current Site Plan approval. Provide for Engineering DRC review specific Parking Space Details reflecting previously approved Site Plan parking space conditions currently in existence in the field that do not conform to the current City parking space standards.

5. Note that all existing pavement markings and signage within the site must meet the current Broward County Traffic Engineering Division (BCTED) and Manual of Uniform Traffic Control Device (MTUCD) standards.
6. Provide a 'Pavement Marking and Signage Plan' in the DRC plans set reflecting and denoting all existing vehicular and pedestrian traffic related pavement markings and signage "To Remain", "To Be Replaced" or "Proposed" for continued Engineering DRC review and sign-off. The following 'Notes' must also be included on both the 'Site Plan' and 'Pavement Markings and Signage Plan' for Engineering DRC review and sign-off purposes:

- *ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MTUCD) STANDARDS.*
- *ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR*



*'STANDARD PAINT'.*

- *ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH 'STOP BARS' ARE TO HAVE YELLOW/YELLOW RPM's AT 20' O.C.*
- *REFLECTIVE PAVEMENT MARKERS (RPM's) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS ADHESIVE PER FDOT'S 'APPROVED PRODUCTS LIST' (APL). PLACEMENT OF RPM's SHALL BE IN ACCORDNACE WITH FDOT INDEX NO. 17352.*
- *PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) 'DESIGN STANDARDS', INDEX NOS. 17346 AND 17355 AND LATEST CITY STANDARD DETAIL R-32, 'ACCESSIBLE PARKING SPACE DETAILS'.*
- *WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.*
- *ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING/STRIPE ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.*
- *ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT 'DESIGN STANDARDS', INDEX NO. 304.*
- *ALL PEDESTRIAN/ACCESSIBLE CROSSINGS (WHERE APPLICABLE) SHALL COMPLY WITH FDOT AND MTUCD STANDARDS.*
- *ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, 'ACCESSIBILITY'.*
- *REQUIRED INSPECTIONS OF THE PROPOSED IMPROVEMENTS/WORK SHALL BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION. CALL (954) 518-9040 FOR AVAILABLE INSPECTION DATES AND TIMES AND FOR CLARIFICATION OF REQUIRED CITY INSPECTIONS BASED UPON THE PROJECT'S PROPOSED SCOPE OF IMPROVEMENTS/CONSTRUCTION.*
- *ALL EXISTING VEHICULAR TRAFFIC/PEDESTRIAN RELATED PAVEMENT MARKINGS AND SIGNAGE WITHIN THE LIMITS OF THE PROPOSED PROJECT SHALL BE FIELD CHECKED AT THE TIME OF FINAL ENGINEERING DIVISION INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE WILL BE REQUIRED TO BE REPLACED FOR FINAL ACCEPTANCE OF THE WORK/PROJECT AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.*
- *ALL 'ACCESSIBLE ELEMENTS' SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS. ALL NON-CONFORMING 'ACCESSIBLE*

*ELEMENTS' WILL BE REQUIRED TO BE RECONSTRUCTED FOR ACCEPTANCE OF THE WORK/PROJECT AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.*

7. Provide the appropriate pavement markings designating the limits of the 'Drive Thru Lane' (6" White) and all other necessary pavement markings to clearly define the final lane configurations and vehicular turning restrictions for the 'Drive Thru' exiting condition.
8. A copy of the latest Broward County Traffic Engineering Division (BCTED) 'Pavement Markings and Signs Details' sheet along with the attached BCTED 'Ground Signs Assembly Details' and 'Stop and Street Sign Identification Assembly Detail' sheets must be included on a 'Details Sheet' in the DRC plans set for continued Engineering DRC review and sign-off.
9. Note that the following 'Advisory Comments' related to the Engineering Construction Permit plan requirements are being provided at this time for your use:
  - Existing and proposed elevations/grades related to the proposed 'Drive Thru' pavement/curbing modifications must be denoted on the Engineering Plan for confirmation of grading, etc.
  - All underground utilities including services and storm drainage pipes shall be shown in civil plans at time of permitting to evaluate conflicts with proposed signage or menu boards.
  - There is an existing gravity sewer main running east/west along the center of the 'Drive Thru' with six (6) sewer lateral running towards the overall building to service the various tenant spaces. Each of these six (6) sewer laterals supposedly has a clean-out which appear that appear to fall under the proposed landscape area. These clean-outs will need to be raised to the proposed grade/elevation of the proposed landscape area and each clean-out shall have a concrete collar. The Engineering Plan must reflect the existing gravity sewer main, sewer laterals and any required modifications to the cleanouts.
10. **NOTE** an Engineering Construction Permit is required for completion of the 'Drive Thru' and/or other necessary site/parking modifications. Note that submittal of appropriate signed and sealed plans and details will be required for review and processing of the Engineering Construction Permit by the Environmental Services/Engineering Division.

MEMORANDUM

May 8, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

---

The following are my comments regarding the above Miscellaneous Plan:

1. Provide elevations, with all details, dimensions, etc. of menu board, ordering equipment, canopy and clearance bar. No
2. Only one menu board allowed.
3. Will there be any directional signs (e.g. Drive Thru w/ arrow, exit, etc.)? If so, show location(s) on Site Plan and provide elevation(s) showing details and dimensions. Signs are a maximum of 1.5 sq. ft. and cannot have name/logo on them.
4. Provide note on north elevation that color of wall repaired from removal of bank drive thru canopy will match existing and/or that entire wall may need to be repainted due to fading.
5. Provide color name, color number, finish, etc. of new canopy above drive thru window.
6. Provide detail elevation of railing being added in rear of building.

Please contact me with any questions.



MEMORANDUM

May 7<sup>th</sup>, 2019

To: Cole Williams  
Planner & Zoning Specialist

From: Kristen Jensen  
Landscape Planner/ Designer

Re: (MSC2019-10) Panera Bread

---

The City of Pembroke Pines Planning Division has conducted a landscape review for Panera Bread as per documents provided. The following items need to be addressed prior to this project being found in compliance:

No Comments at this moment.

*Note: Please make sure that any landscape damaged during construction be replaced.*

*Note: Please make sure that any landscape damaged during construction be replaced to make sure the sign meets landscape ordinance 153.19, "The base of all ground signs must be adequately landscaped. Permit applications for ground signs must be accompanied by a landscape plan compliant with the following standards: (A) Landscape area must consist of shrubs, groundcover, or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement."*

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen  
Landscape Planner/Designer  
Planning and Economic Development Division  
City of Pembroke Pines  
954.392.2107 (Office) • [kjensen@ppines.com](mailto:kjensen@ppines.com)  
Please consider the environment before printing this email.

## **DRC REVIEW FORM**

**PEMBROKE PINES FIRE RESCUE**

**FIRE PREVENTION BUREAU**

**FIRE PLANS EXAMINER BY:** Michael Testagrossa, Prevention Captain  
(954) 499-9560

**PROJECT NAME:** Panera Bread

**REFERENCE #:** MSC 2019 -10

**DATE REVIEWED:** 05/07/2019

**CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT  
STANDARDS**

---

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THE  
SITE PLAN REVIEW.

**Note:** Panera moving their location to the former B&B restaurant located at 11025 Pines  
Blvd. to utilize the existing drive thru canopy.

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** May 1, 2019  
**To:** MSC 2019-10 file  
**From:** Cole Williams, Planner / Zoning Technician  
**Re:** Panera Bread

---

### **Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:**

1. Clarify if any other changes are being made to the site. (paint, lighting, etc...)
2. Provide details of menu board and canopy over the menu board. One menu board if permitted by code. Menu board sign area shall not exceed 32 square feet. Provide height and color of the menu board canopy.
3. Provide details of directional signage. Signage to not exceed 1.5 square feet.
4. Provide color of the new drive-thru canopy.
5. Provide details of materials to be used on the storefront
6. Note on the plans the color of the wall where the canopy is being removed.



SUBJECT SITE AERIAL PHOTO

Panera Bread (MSC 2019-10)





MIKEY NAUCAS  
3630 SOUTH GEYER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
PHONE: 314.583.1985

COVELLI ENTERPRISES  
CONTACT: MATH KOTCHEY  
3900 EAST MARKET STREET  
WARREN, OH 44484  
PHONE: 330.856.3176

PHILLIPS | SEKANICK ARCHITECTS  
CONTACT: KIM PHILLIPS  
142 EAST MARKET STREET  
WARREN, OH 44481  
PHONE: 330.395.9518

PEMBROKE PINES BUILDING DEPARTMENT  
CONTACT: GEORGE KROPP, CBO  
601 CITY CENTER WAY, SECOND FLOOR  
PEMBROKE PINES, FL 33025  
PHONE: 954-435-6502

PEMBROKE PINES FIRE DEPT  
CONTACT: JOHN PICARELLO, CHIEF  
9600 PINES BLVD, BLDG B, SECOND FLOOR  
PEMBROKE PINES, FL 33024  
PHONE: 954-499-9600

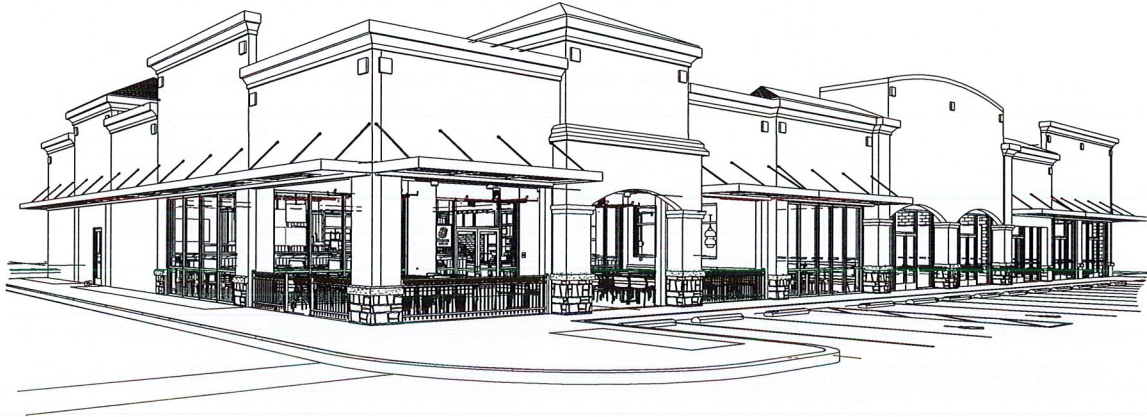
DBPR, DIVISION OF HOTELS & RESTAURANTS  
CONTACT: -  
1940 N. MONROE STREET  
TALLAHASSEE, FL 32301  
PHONE: 321.608.6000

D C CONSTRUCTION ASSOCIATES, INC.  
CONTACT: IAN RYBOMCH-STANLEY  
546 NW 77TH STREET  
BOCA RATON, FL 33487  
PHONE: 561-891-7616  
SL: TBD  
PHONE: TBD

SITE MAP:



PROJECT LOCATION



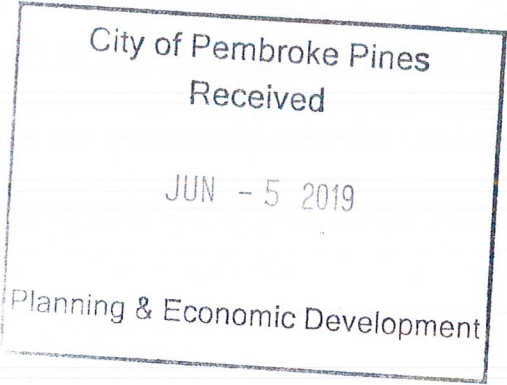
ISSUED FOR PLANNING REVIEW

PANERA BREAD BAKERY #4718  
PEMBROKE PINES

11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY

SHEET INDEX

Current Revision	Sheet Number	Sheet Name
REVISIONS		
G000		COVER SHEET
SP100		OVERALL SITE PLAN
SP107		ENLARGED SITE PLAN
D001		ENLARGED DEMOLITION SITE PLAN & ELEVATIONS
D101		DEMOLITION PLAN
A101		DIMENSIONED FLOOR PLAN
A201		EXTERIOR ELEVATIONS
A202		EXTERIOR ELEVATIONS
C1		ENGINEERING PLAN
C1A		GROUND SIGN ASSEMBLY DETAILS
LP.1		LANDSCAPING PLANS
LP.2		LANDSCAPE DETAILS
LP.3		LANDSCAPE SPECIFICATIONS
LP.4		LANDSCAPE SPECIFICATIONS
00841.5		SITE SIGNAGE PLAN
00841.6		MENU BOARD DETAILS
00841.7		MENU BOARD FOUNDATION PLAN DETAIL
00841.8		MENU BOARD PANEL DETAILS
00841.9		CLEARANCE BAR DETAIL
00841.10		ENLARGED DIRECTIONAL SIGN DETAILS
00841.10A		DIRECTIONAL SIGN DETAILS
00841.11		RAPID PICKUP SIGN DETAIL



Bakery-Cafe

#4718

SYSTEM: G4 [ARIA]

Project Team: AA0003378



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Architecture | Planning | Consulting

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(f) 330.395.4296  
(w) www.phillips-sekanick.com

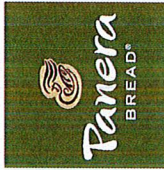
Professional Seal: AR0017024



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by Bruce  
Sekanick  
Date: 2019.06.04  
15:22:32 -04'00'

Project Title:

ISSUED FOR PERMIT & BIDDING  
**Bakery Cafe #4718**  
11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY



**CONTRACTOR NOTE:**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CONTRACT COMPLETE AND READY FOR OWNER PUNCH LIST WHICH SHALL BE GENERATED AND DISTRIBUTED TO GENERAL CONTRACTOR SEVEN (7) DAYS PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL COMPLETION.  
AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE 100% COMPLETE WITH ALL UNCORRECTED OCCUPANCY & HEALTH APPROVALS RECEIVED, AND READY FOR PUBLIC OCCUPANCY.

No.	Description	Date

COVER SHEET

Project Number:

Sheet Number:

19-0301

Drawn By:

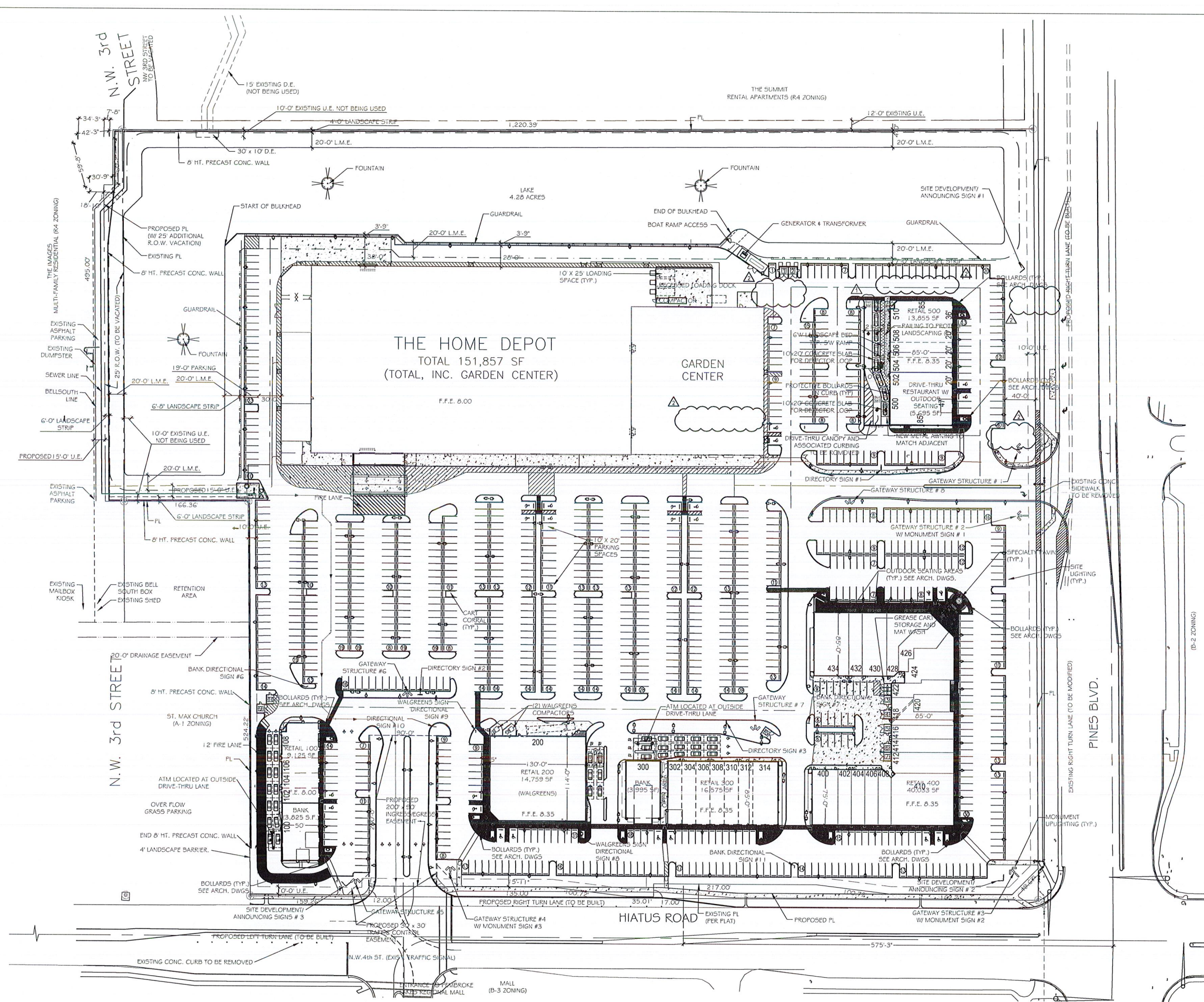
CAR

Issue Date:

05.14.19

G000





1 | OVERALL SITE PLAN  
1" = 60'

Bakery-Cafe  
**#4718**  
SYSTEM: G4 (AREA)  
Project Team: AA0003378  
Phillips | Sekanick Architects, Inc.  
Architecture | Planning | Consulting  
142 East Market Street, Warren, OH 44481  
(p) 330.395.9518  
(f) 330.395.4296  
(w) www.phillips-sekanick.com  
Professional Seal: AR0017024

State of Florida  
REGISTERED ARCHITECT  
BRUCE W. SEKANICK  
AR0017024  
Digitally signed by Bruce Sekanick  
Date: 2019.06.04 13:07:47 -04'00'

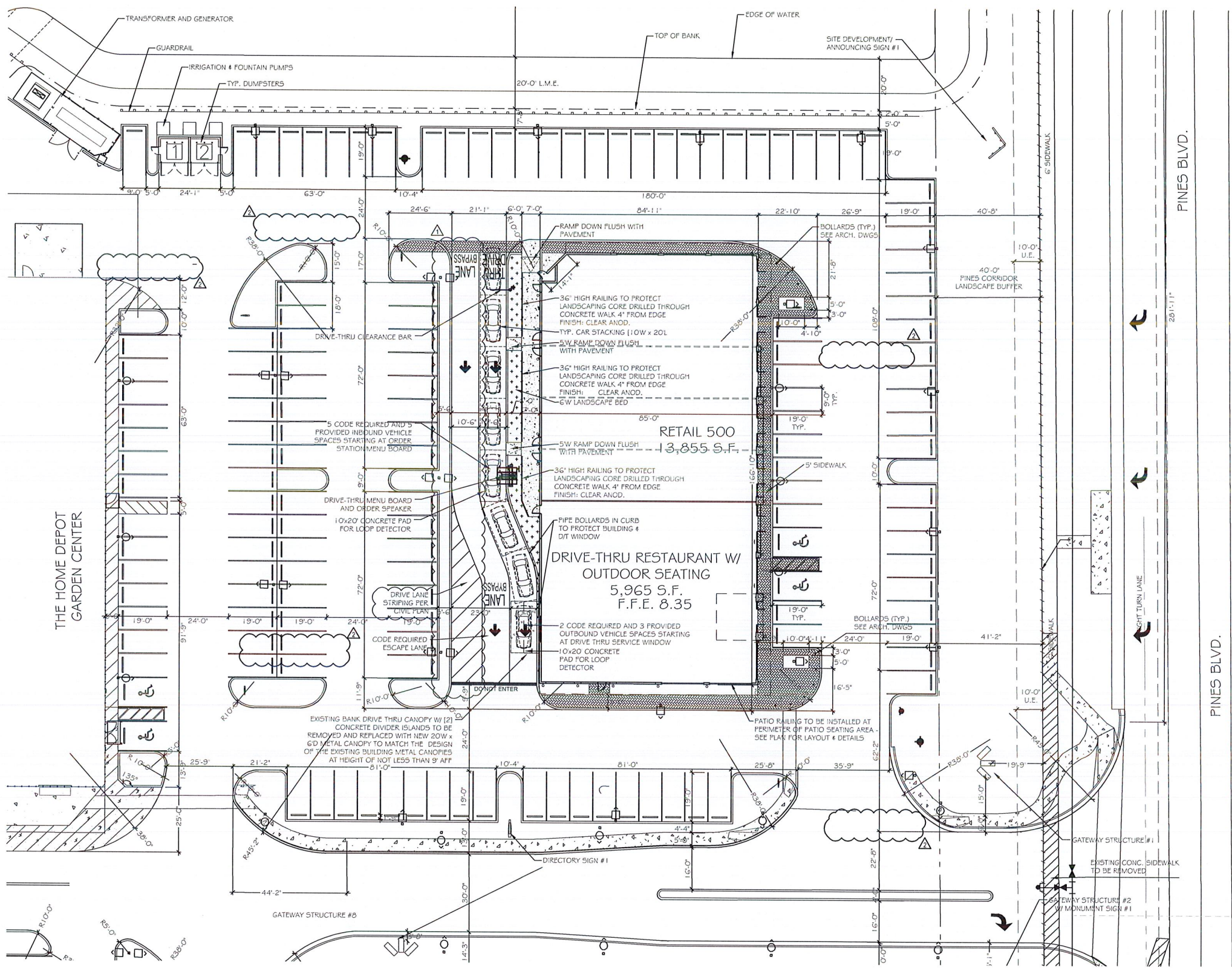
CONSTRUCTION DOCUMENTS  
**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County

Panera  
BREAD  
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No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

OVERALL SITE PLAN  
Project Number: 19-0301  
Drawn By: CAR  
Issue Date: 05.31.19  
**SP100**





Bakery-Cafe

#4718

SYSTEM: G4 (ARIA)

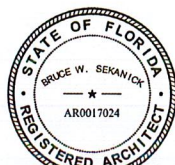
Project Team: AA0003378



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f) 330.395.4296  
w) www.phillips-sekanick.com

Professional Seal: AR0017024

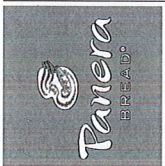


Bruce Sekanick  
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Date: 2019.06.04 13:08:48 -04'00'

Project Title:

CONSTRUCTION DOCUMENTS

**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County



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No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

ENLARGED SITE  
PLAN

Project Number: 19-0301

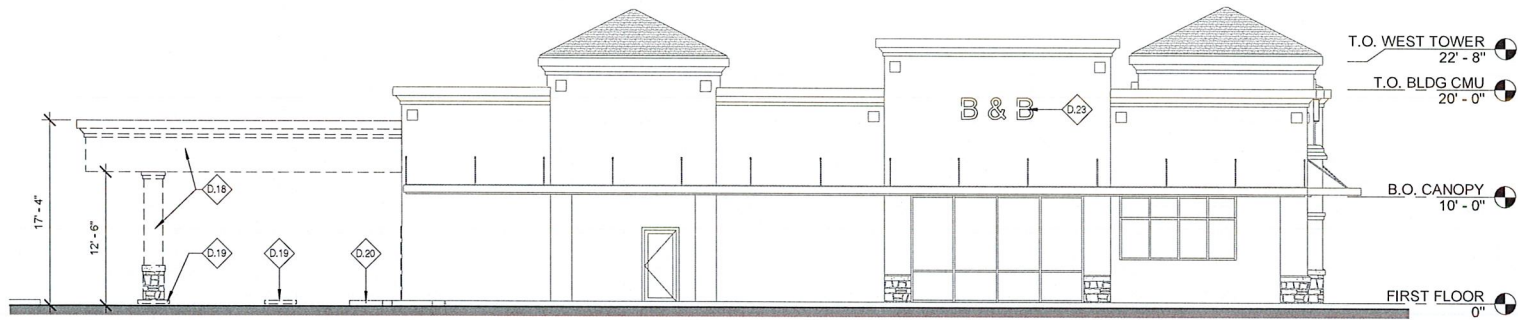
Drawn By: CAR

Issue Date: 05.31.19

SP107



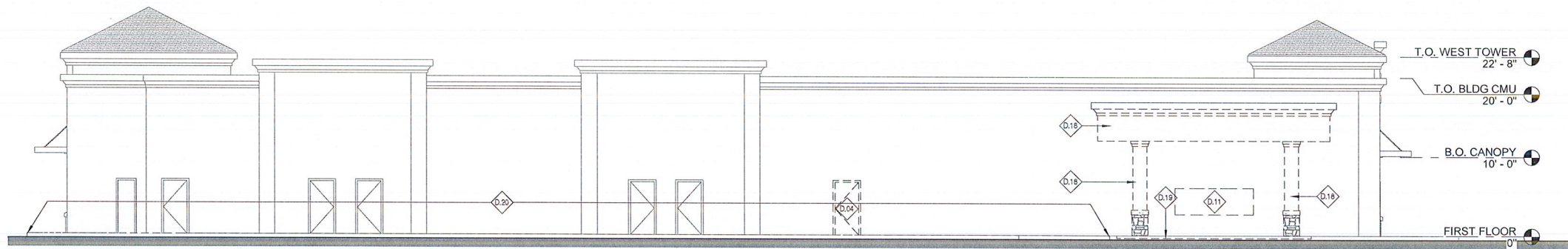
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4 WEST DEMOLITION ELEVATION  
1/8" = 1'-0"



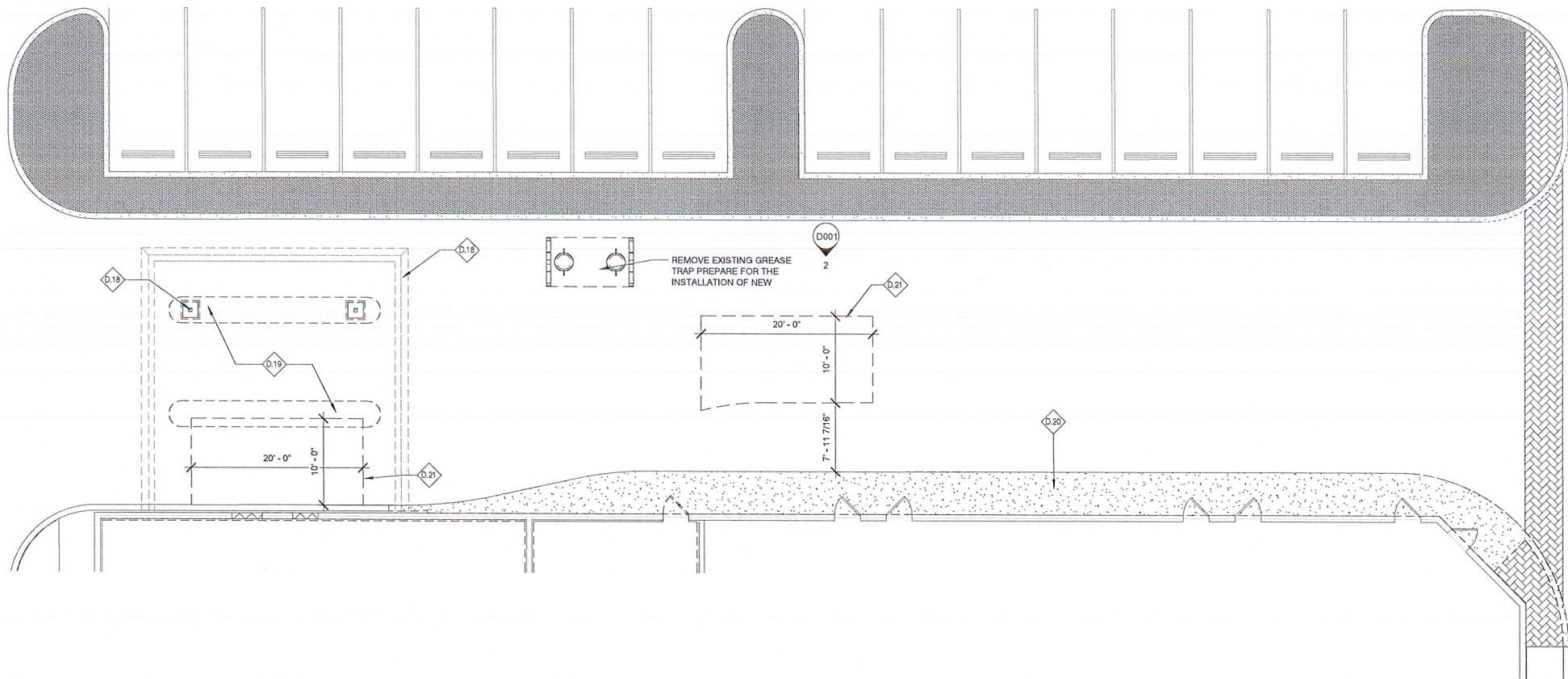
3 SOUTH DEMOLITION ELEVATION  
1/8" = 1'-0"



2 NORTH DEMOLITION ELEVATION  
1/8" = 1'-0"

### KEYED NOTES

- D.04 GC SHALL REMOVE DOOR, FRAME & SECTION OF EXISTING EXTERIOR CMU WALL IN PREPARATION FOR NEW 42" DOOR & H.M. FRAME - SEE STRUCTURAL DRAWINGS FOR LOOSE LINTEL INFORMATION.
- D.11 REMOVE EXISTING WINDOW & PLYWOOD COVER - PREPARE FOR THE BLOCKING IN OF OPENING & INSTALLATION OF DRIVE-THRU WINDOW.
- D.13 REMOVE EXISTING STOREFRONT SYSTEM IN PREPARATION FOR NEW STOREFRONT.
- D.14 REMOVE OVERHEAD DOOR & PREPARE FOR INSTALLATION OF NEW STOREFRONT.
- D.15 REMOVE STOREFRONT DOORS, TRANSOM GLASS & HORIZONTAL MULLION & PREPARE FOR INSTALL OF INFILL STOREFRONT.
- D.18 GC SHALL REMOVE EXISTING CANOPY INCLUDING STRUCTURE & COLUMNS.
- D.19 REMOVE CONCRETE CURBING.
- D.20 REMOVE CONCRETE WALK IN PREPARATION FOR INSTALLATION OF NEW - COORDINATE WITH CIVL DWGS.
- D.21 AREA OF ASPHALT TO BE REMOVED FOR INSTALLATION OF NEW CONCRETE SLAB FOR LOOP DETECTOR.
- D.22 EXISTING PATIO RAILING TO BE REMOVED. PATCH AND REPAIR CONCRETE & WALLS.
- D.23 GC SHALL REMOVE EXISTING TENANT SIGNAGE - PATCH AND REPAIR EIFS IN PREPARATION FOR NEW SIGNAGE.



1 DEMOLITION FLOOR PLAN  
1/8" = 1'-0"

Bakery-Cafe:

#4718

SYSTEM: G4 [ARIA]

Project Team: AA0003378



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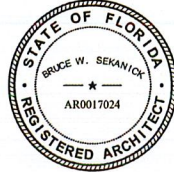
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(f) 330.395.4296

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Professional Seal: AR0017024

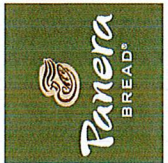


Bruce  
Sekanick

Digitally signed  
by Bruce Sekanick  
Date: 2019.06.04  
13:05:05 -04'00'

Project Title:

DESIGN DEVELOPMENT DRAWINGS  
**Bakery Cafe #4718**  
11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE FINES, FL 33026  
BROWARD COUNTY



**CONTRACTOR NOTE:**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CONTRACT COMPLETE AND READY FOR OWNER PUNCH LIST WHICH SHALL BE GENERATED AND DISTRIBUTED TO GENERAL CONTRACTOR SEVEN (7) DAYS PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL COMPLETION.  
AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE 100% COMPLETE WITH ALL UNCONDITIONAL OCCUPANCY & HEALTH APPROVALS RECEIVED, AND READY FOR PUBLIC OCCUPANCY.

No.	Description	Date

**ENLARGED  
DEMOLITION SITE  
PLAN &  
ELEVATIONS**

Project Number:

Sheet Number:

19-0301

Drawn By:

Author:

Issue Date:

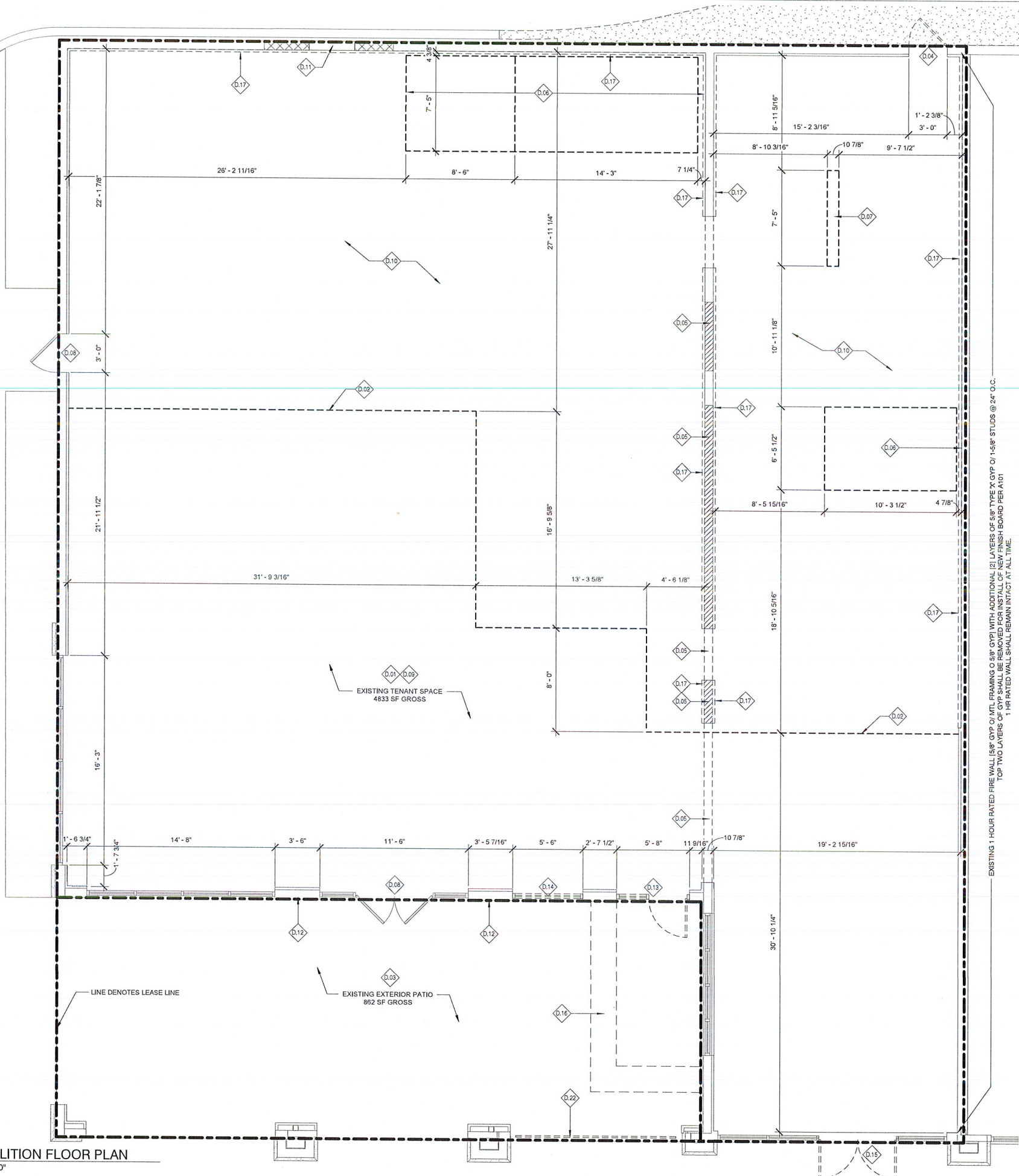
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4/23/2019 2:55:52 PM



1 DEMOLITION FLOOR PLAN  
1/4" = 1'-0"

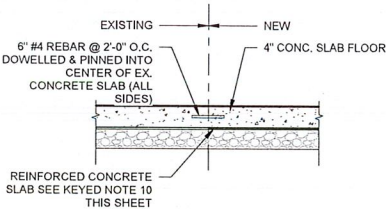


GENERAL NOTES:

- GC TO FIELD VERIFY EXISTING CONDITIONS SHOWN. REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE ANY REQUIRED WORK BEGINS.
- GC TO NOTE ALL UTILITIES THAT WILL BE AFFECTED BY CONSTRUCTION & INCLUDE IN BID THE NECESSARY HARGES & FEES INCURRED FROM UTILITY COMPANY(S) FOR SAID WORK.
- GC TO VERIFY B.O. JOISTS AT HIGH AND LOW POINTS & COORDINATE DUCTWORK & CEILING HEIGHTS PROPOSED. NOTIFIED ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- EXISTING BUILDING SHELL:
  - 8" CMU BLOCK WALLS W/ 1 5/8" MTL FRAMING. INTERIOR WALL FINISHED W/ 5/8" GYP BD.
- GC SHALL REMOVE ALL GYP BD FINISH TO FRAMING. ALL FRAMING TO REMAIN U.A.O.
- ALL DIMENSION ARE FROM FACE OF FRAMING [OR FIRE RATING OF DEMISING WALL] TO FACE OF FRAMING [OR FIRE RATING OF DEMISING WALL].

KEYED NOTES

- GC SHALL FIELD VERIFY EXISTING CONDITIONS & REMOVE ALL EXISTING PARTITIONS, FURRING CHANNELS, LIGHT FIXTURE, FLOOR FINISHES, CEILING SYSTEMS, PLUMBING LINES, MECHANICAL DUCTWORK, ELECTRICAL FIXTURES & CONDUITS, & ALL OTHER DEBRIS FROM TENANT SPACE. PROVIDE BROOM CLEAN FLOOR UPON START OF TENANT'S WORK.
- GC TO REMOVE EXISTING CONC. SLAB AND GRAVEL TO ELEV. -5" FOR UNDERGROUND PIPING & ELECTRICAL INSTALLATION. SEE PLUMBING & ELECT. DWGS. GC TO POUR 4" REINFORCED CONCRETE SLAB W/ 6x6 W.W.F., 0/4 MIL VISQUEEN 0/4" MIN. COMPACTED GRANULAR FILL. SEE DETAIL "3" THIS SHEET FOR PINNING TO EXISTING SLAB.
- GC SHALL REMOVE & DISCARD EXISTING PATIO FURNITURE.
- GC SHALL REMOVE DOOR, FRAME & SECTION OF EXISTING EXTERIOR CMU WALL IN PREPARATION FOR NEW 42" DOOR & H.M. FRAME - SEE STRUCTURAL DRAWINGS FOR LOOSE LINTEL INFORMATION.
- GC SHALL REMOVE PORTION OF EXISTING CMU WALL - SEE STRUCTURAL DRAWINGS FOR DETAILS & PROPER SHORING.
- AREA OF NEW WALK-IN COOLER/FREEZER. COORDINATE DIMENSIONS WITH MANF. SHOP DRAWINGS & SEE FLOOR DETAIL SHEET FOR SLEEPER DETAILS.
- AREA OF NEW CPI ELECTRIC PANEL CONCRETE CURB. SEE FLOOR DETAILS SHEET FOR MORE INFO.
- GC SHALL VERIFY CONDITION OF EXISTING DOOR & FRAME & DETERMINE IF NEW IS REQUIRED. IF EXISTING DOOR REMAINS, CONTRACTOR SHALL PROVIDE HARDWARE AS INDICATED IN SCHEDULE.
- GC SHALL FIELD VERIFY EXISTING DIMENSIONS & NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.
- PROVIDE CONTROL JOINTS IN CONC SLAB @ 16'-0" O.C. MAX (TYP).
- REMOVE EXISTING WINDOW & PLYWOOD COVER - PREPARE FOR THE BLOCKING IN OF OPENING & INSTALLATION OF DRIVE-THRU WINDOW.
- REMOVE APPLIED STONE - PATCH AND REPAIR EXTERIOR GRADE GYP.
- REMOVE EXISTING STOREFRONT SYSTEM IN PREPARATION FOR NEW STOREFRONT.
- REMOVE OVERHEAD DOOR & PREPARE FOR INSTALLATION OF NEW STOREFRONT.
- REMOVE STOREFRONT DOORS, TRANSOM GLASS & HORIZONTAL MULLION & PREPARE FOR INSTALL OF INFILL STOREFRONT.
- REMOVE EXISTING BAR & SOFFIT.
- REMOVE INTERIOR MTL FURRING & GYP BOARD.
- EXISTING PATIO RAILING TO BE REMOVED. PATCH AND REPAIR CONCRETE & WALLS.



3 FLOR-DTL SLAB PINNING  
3/4" = 1'-0"

Bakery Cafe:

#4718

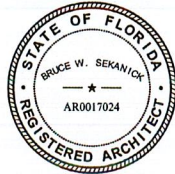
SYSTEM: G4 [ARIA]  
Project Team: AA0003378



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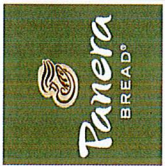
Professional Seal: AR0017024



Bruce Sekanick  
Digitally signed by Bruce Sekanick  
Date: 2019.06.04 13:06:33 -04'00'

Project Title:

DESIGN DEVELOPMENT DRAWINGS  
**Bakery Cafe #4718**  
11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE FINES, FL 33026  
BROWARD COUNTY



CONTRACTOR NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CONTRACT COMPLETE AND READY FOR OWNER PUNCH LIST WHICH SHALL BE GENERATED AND DISTRIBUTED TO GENERAL CONTRACTOR SEVEN (7) DAYS PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL COMPLETION. AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE 100% COMPLETE WITH ALL UNCONDITIONAL OCCUPANCY & HEALTH APPROVALS RECEIVED, AND READY FOR PUBLIC OCCUPANCY.

No.	Description	Date

DEMOLITION PLAN

Project Number: Sheet Number:

19-0301

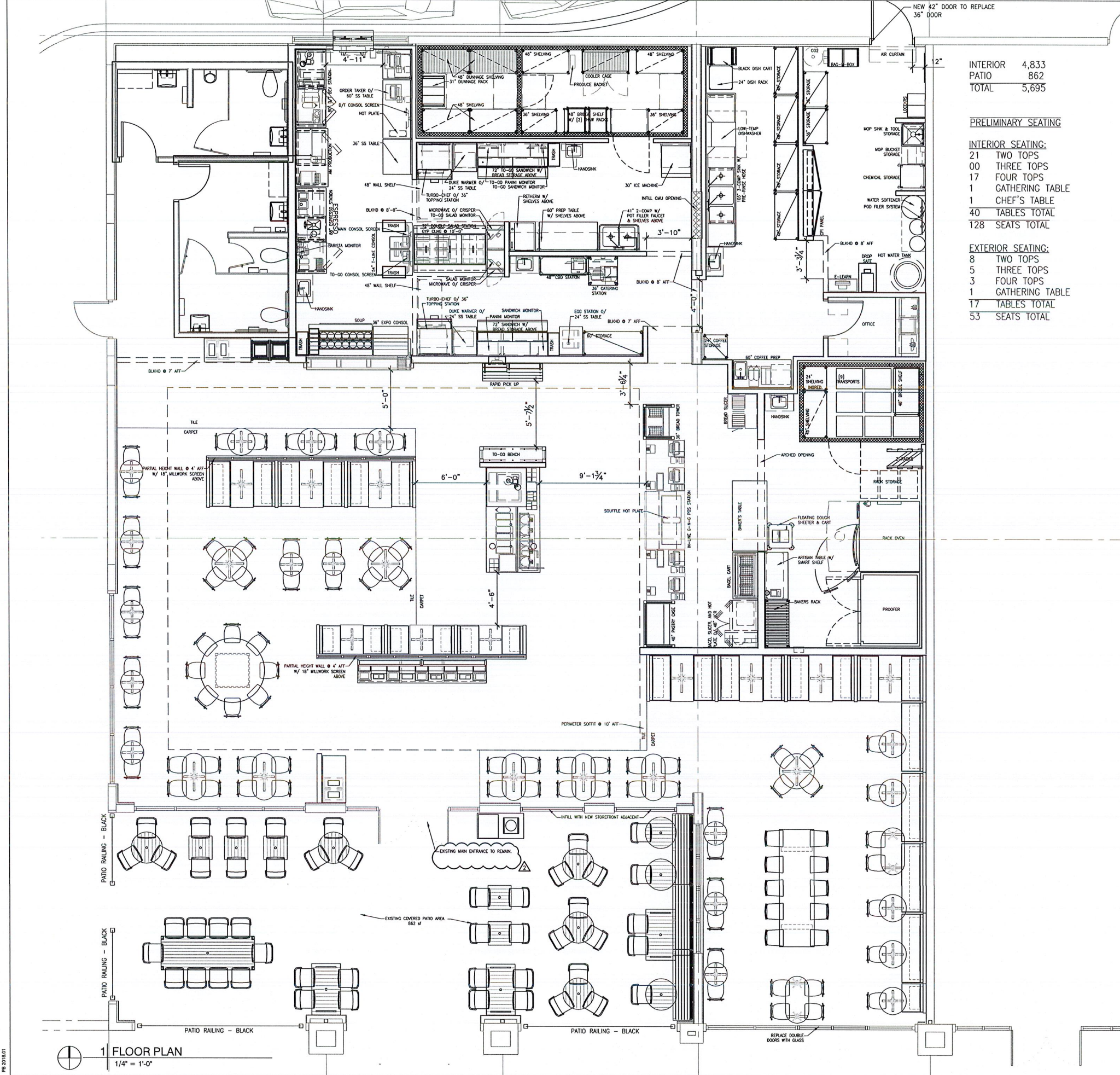
Drawn By:

CAR

Issue Date:

D101



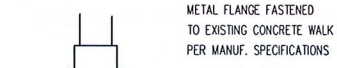


INTERIOR 4,833  
PATIO 862  
TOTAL 5,695

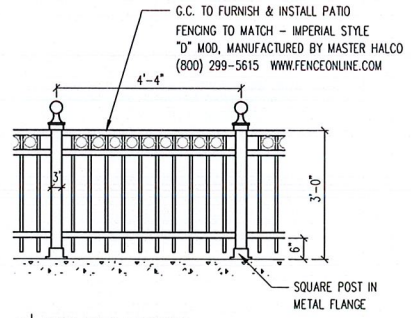
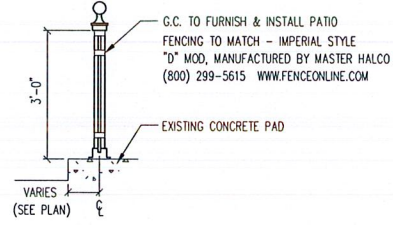
PRELIMINARY SEATING

INTERIOR SEATING:  
21 TWO TOPS  
00 THREE TOPS  
17 FOUR TOPS  
1 GATHERING TABLE  
1 CHEF'S TABLE  
40 TABLES TOTAL  
128 SEATS TOTAL

EXTERIOR SEATING:  
8 TWO TOPS  
5 THREE TOPS  
3 FOUR TOPS  
1 GATHERING TABLE  
17 TABLES TOTAL  
53 SEATS TOTAL



SCALE: 1" = 1'



2 RAILING DETAIL  
3/4" = 1'-0"

Bakery-Cafe: **#4718**  
SYSTEM: G4 (ARIA)  
Project Team: AA0003378

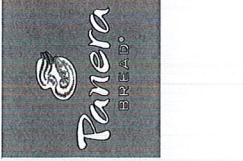
**psa inc.**

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Architecture | Planning | Consulting  
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(f) 330.395.4296  
(w) www.phillips-sekanick.com

Professional Seal: AR0017024

STATE OF FLORIDA  
BRUCE W. SEKANICK  
Architect  
13:00:57 -04'00'

Project Title:  
**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County

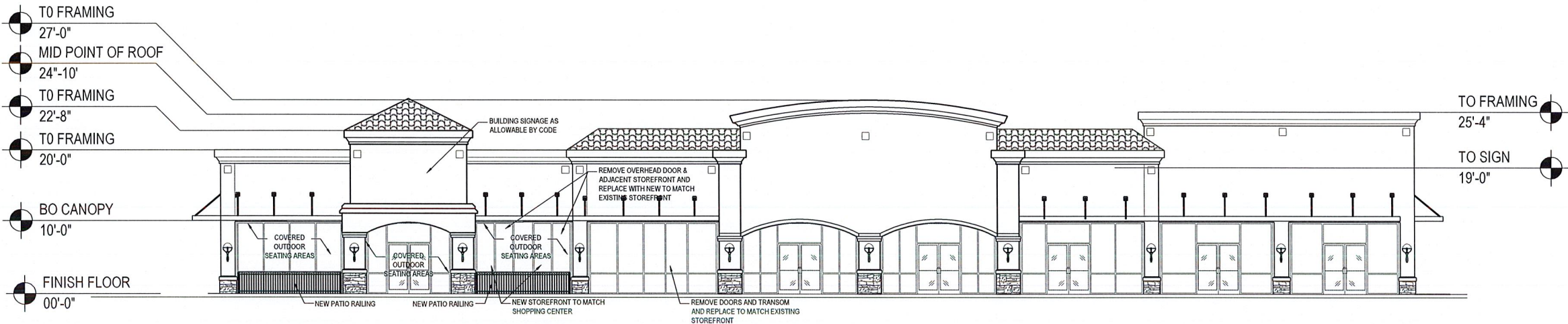


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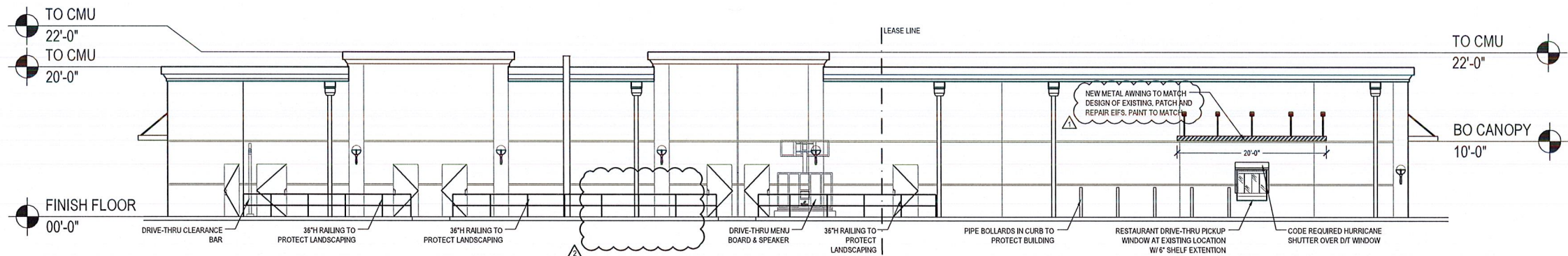
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No.	Description	Date
2	PER PLANNING COMMENTS	05.31.19





1 | SOUTH ELEVATION  
1/8" = 1'-0"



2 | NORTH ELEVATION  
1/8" = 1'-0"

FINISH NOTES:

- A. EXISTING PAINT ON EXTERIOR REAR OF BUILDING IS: SHERWIN WILLIAMS - WHEAT GRASS #SW 6408.
- B. METAL CANOPY TO BE UNA-CLAD. COLOR SILVER METALLIC #R60"E78

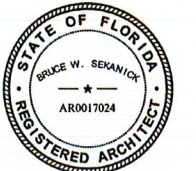
#4718



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(w) www.phillips-sekanick.com

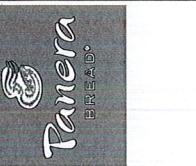
Professional Seal: AR0017024



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by Bruce  
Sekanick  
Date: 2019.06.04  
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Project Title:

CONSTRUCTION DOCUMENTS  
**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County



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REGULATIONS AND ORDINANCES OF THE JURISDICTION  
RELATING TO THE STRUCTURE AND BUILDING.

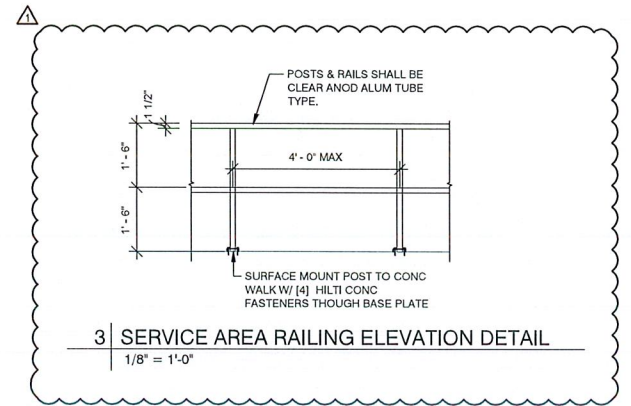
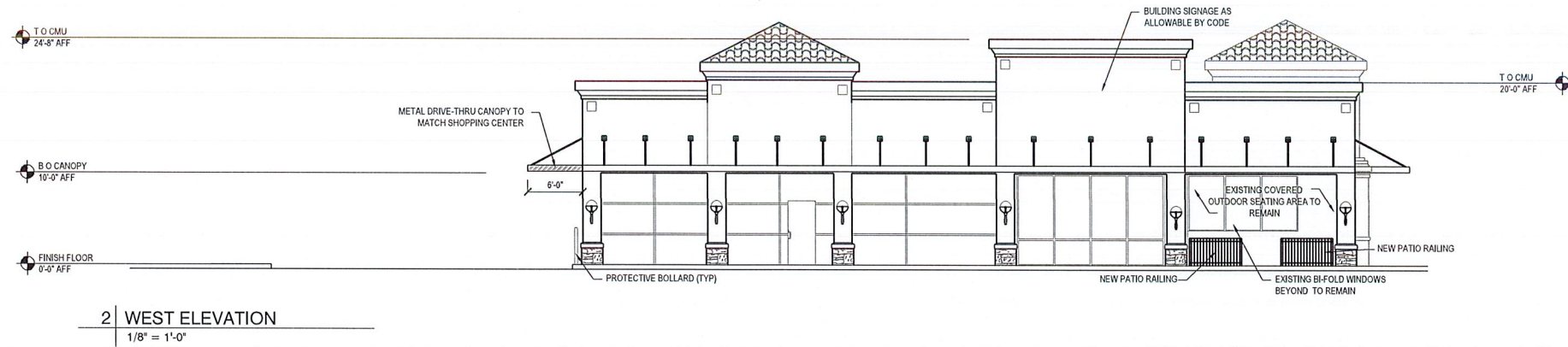
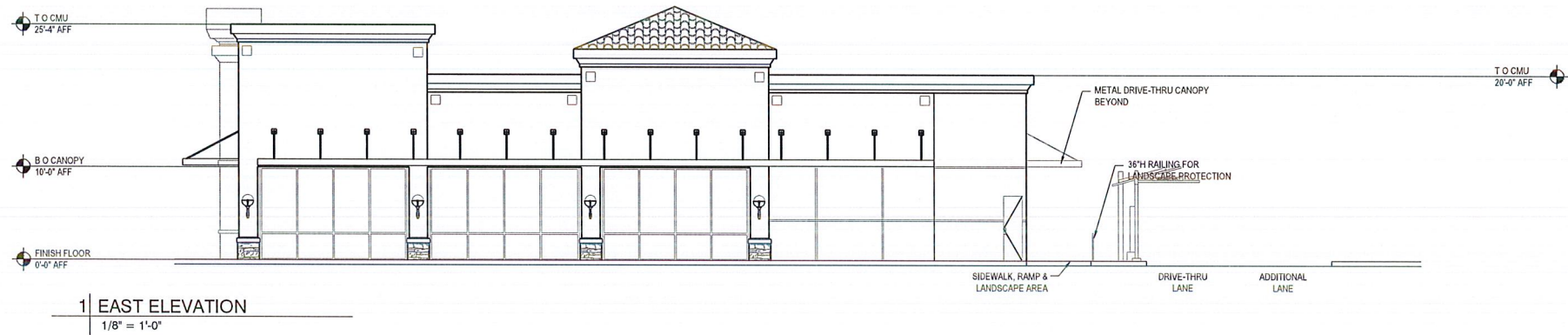
No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

EXTERIOR  
ELEVATIONS

Project Number: 19-0301  
Drawn By: CAR  
Issue Date: 05.31.19  
**A201**



PG 2018.01



Bakery-Cafe: **#4718**

SYSTEM: G4 (ARIA)

Project Team: AA0003378



**Phillips | Sekanick Architects, Inc.**  
Architecture | Planning | Consulting

142 East Market Street - Warren - OH - 44481  
[p] 330.395.9518  
[f] 330.395.4296  
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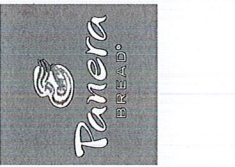


**Bruce Sekanick** Digitally signed by Bruce Sekanick  
Date: 2019.06.04 13:04:04 -04'00'

Project Title:

CONSTRUCTION DOCUMENTS

**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County



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No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19

**EXTERIOR ELEVATIONS**

Project Number: 19-0301  
Drawn By: CAR  
Issue Date: 05.31.19

Sheet Number: **A202**

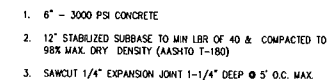
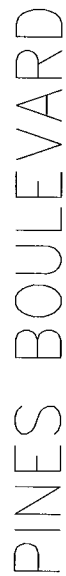
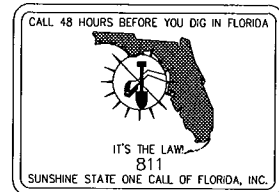


Diagram illustrating a joint seal detail for a concrete pavement. The seal is 18" high and 8" wide at the top, tapering to 6" at the bottom. The seal is labeled "Joint Seal". The seal is shown on a concrete pavement (Conc. Pav't.) surface. The seal is 1/2" thick. The seal is labeled "1/2" Exp. Joint And Preformed Joint Filler (Not required w/ flexible pavement)".

13" ASPHALTIC CONCRETE WEARING SURFACE, F.O.D.T. TYPE B PLACED IN 1" LIFTS, SURFACE COURSE SHALL CONTAIN TO THE REQUIREMENTS OF F.O.D.T. STANDARD SPECIFICATIONS SECTION 301.30.303 (ASPHALT CONCRETE)	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
12" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
11" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
10" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
9" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
8" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
7" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
6" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
5" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
4" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
3" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
2" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.
1" SUB-BASE COMPACTED TO 95% OF MAXIMUM DENSITY	PRIME & TACK COAT: PRIME COAT-0.55 GALLONS PER SQ. YD. TACK COAT-0.05 GALLONS PER SQ. YD.

Architectural floor plan of the first floor of the building at 200 West 10th Street. The plan shows a large central hall with multiple rooms, including a large room labeled 'REAR' and a smaller room labeled 'FRONT'. The plan also shows a 'KITCHEN' and a 'BATH'. The building is situated on a lot bounded by 'W. 10th St.' to the north and 'W. 11th St.' to the south. The plan includes detailed architectural drawings of the building's structure, including walls, doors, and windows.

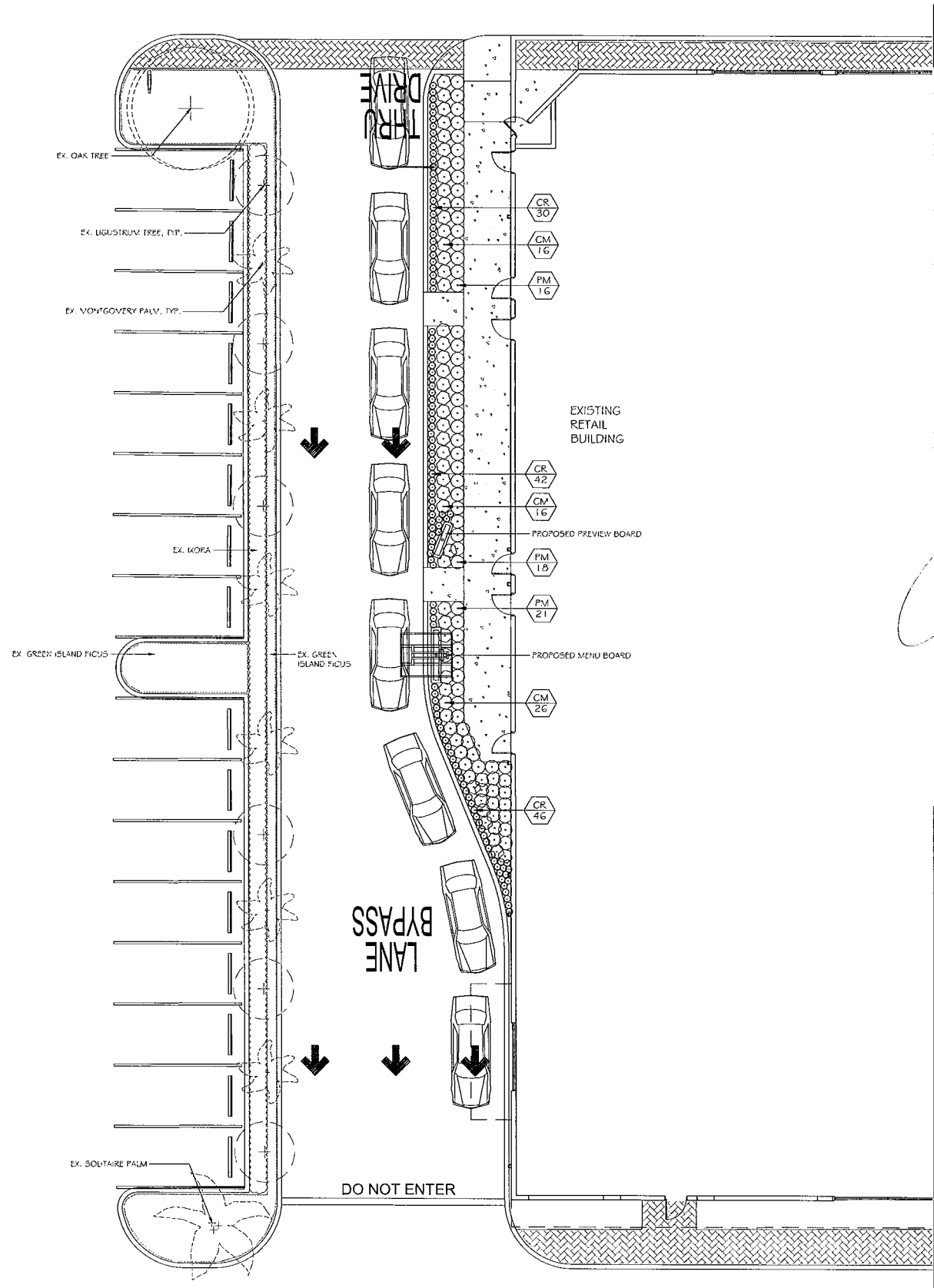
PLAN LOCATION MAP  
N.T.S.











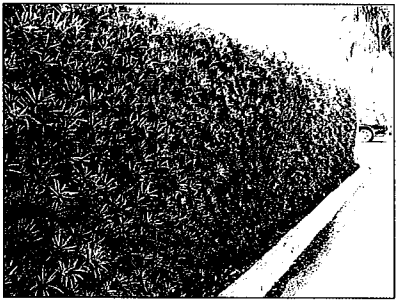
PLANT SCHEDULE					
PLANT SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY	REMARKS
	CR	Clusia rosea "Nana"	Dwarf Clusia	118	12" ht X 12" W @ 12" O.C.
	CM	Codiaeum variegatum "Mammy"	Mammy Croton	58	30" ht X 24" W @ 24" O.C.
	PM	Podocarpus macrophyllus	Podocarpus	55	48" ht X 24" W @ 24" O.C.



DWARF CLUSIA



MAMMEY CROTON



PODOCARPUS

LOCATION MAP



PROJECT SITE

Always call 811 two full business days before you dig to have underground utilities located and marked.

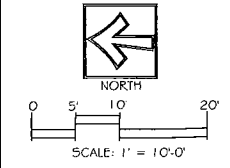
Consultants:

Revisions:

**Pembroke Lakes Square**  
Pembroke Pines, Florida

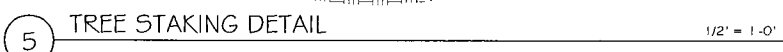
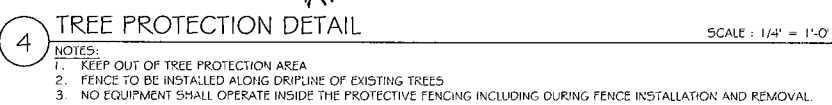
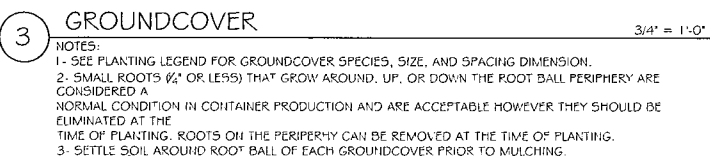
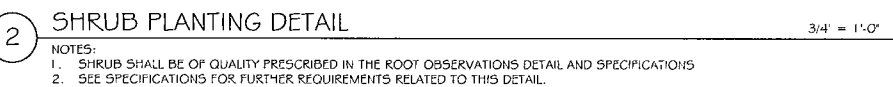
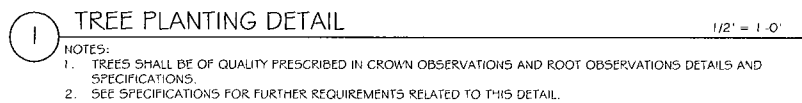
Bryan Donahue  
LA6667130  
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Digitally signed by Bryan Donahue  
LA6667130  
Date: 2019.04.23 18:18:47 -04'00'



Drawn By: RG  
Drawing #: 1085  
Date: 04/18/2019

LANDSCAPE PLAN



1. ALL PLANTS TO BE FLORIDA #1 QUALITY OR BETTER AS DEFINED IN THE LATEST EDITION OF THE FLORIDA GRADES AND STANDARDS FOR NURSEY PLANTS, UNLESS OTHERWISE NOTED.
2. ALL PLANTING AND SOG AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.
3. ALL PLANTING BEDS/ISLANDS SHALL BE FREE OF SHELLROCK, CONSTRUCTION DEBRIS, OR OTHER MISCELLANEOUS DEBRIS, EXCAVATED TO A DEPTH OF 3' OR TO CLEAN NATIVE SOILS, AND BACKFILLED WITH THE SPECIFIED SOIL MIXTURE.
4. ROOT BARRIERS ARE REQUIRED FOR ALL TREES LOCATED WITHIN 1' OF UNDERGROUND UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED APPROVALS AND PERMITS FROM LOCAL MUNICIPALITY AND GOVERNING AGENCIES PRIOR TO REMOVAL OF ANY EXISTING VEGETATION OR BEGINNING INSTALLATION.
6. IN THE EVENT OF A CONFLICT BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND GRAPHICALLY DEPICTED AND LABELED ON THE PLAN, THE PLAN WILL PREVAIL. IF SUCH CONFLICT IS DISCOVERED, CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT.
7. ALL TREES PLANTED UNDER OR NEAR OVERHEAD POWER LINES SHALL COMPLY WITH FPL RIGHT TREE, RIGHT PLACE REQUIREMENTS.
8. CONTRACTOR IS REQUIRED TO CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING, EXCAVATION, OR UNDERGROUND WORK. IF PROPOSED DESIGN CONFLICTS WITH EXISTING OR PROPOSED UTILITY LOCATIONS, CONTRACTOR SHALL IMMEDIATELY CONTACT LANDSCAPE ARCHITECT TO DEVELOP A SOLUTION FOR THE CONFLICT.

GENERAL CONDITIONS

- A. **CONTRACT DOCUMENTS:** Shall consist of specifications and its general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. **VERIFICATION:** The Contractor shall verify measurements on the drawings before beginning work. In case of error or discrepancy in the drawings or specifications or in the work of others affecting his/her work, he/she shall notify the Owner's Representative immediately. The Contractor shall be held responsible for any damages or loss due to his/her failure to observe these instructions.
- C. **MATERIALS, MACHINERY, EMPLOYEES:** Except as otherwise noted, the Contractor shall provide and pay for all materials, labor, tools, and other items necessary and incidental to the completion of his/her work.
- D. **SURVEYS, PERMITS, REGULATIONS:** The Owner shall furnish an adequate survey of the property. The Contractor shall obtain and pay for all permits and comply with all laws and ordinances bearing on the operation or construction of the work as drawn and specified. If the Contractor observes that a variance exists there/he/she shall promptly notify the Owner's Representative in writing and any necessary changes shall be adjusted as provided in the contract for changes in the work.
- E. **PROTECTION OF WORK, PROPERTY AND PERSON:** The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- F. **CHANGES IN THE WORK:** The owner may order changes in the work, and the contract sum being adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extras must be made in writing before executing the work involved.
- G. **CORRECTION OF WORK:** The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative for a period of ninety (90) days from the date of completion of the contract.
- H. **Owner's Authorized Representative:** The Owner's authorized representative acts as the authorized representative of the Owner in conjunction with the project manager, and has authority to accept or reject materials or workmanship and to make minor changes in the work not involving extra cost. He will also interpret the meaning of the contract documents and may stop the work if necessary to ensure its proper execution.
- I. **CLARIFICATION OF DRAWINGS BEFORE BIDDING:** After reviewing the drawings thoroughly it is the Contractor's responsibility to clarify with the Owner's Representative any questions the Contractor may have regarding the method of construction, quantities, or quality of materials included or called out. If the Contractor cannot contact the Owner's Representative, the Contractor must qualify his/her bid or accept the interpretation of the Owner's Representative on the questionable areas as they develop during construction.
- J. **SAMPLES:** The Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request by the Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
- K. **PRE-CONSTRUCTION CONFERENCE:** Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work. The purpose of this conference is to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

015639  
Tree and Plant Protection

PART 1 GENERAL

1.1 SUMMARY

The scope of work includes all labor, materials, tools, equipment, facilities, transportation and services necessary for and incidental to performing all operations in connection with protection of existing trees and other plants as shown on the drawings and as specified herein.

1. Provide preconstruction evaluations
2. Provide tree and plant protection fencing
3. Provide protection of root zones and above ground tree and plants
4. Provide pruning of existing trees and plants
5. Coordinate with the requirements of Section Planting Soil for modifications to the soil within the root zone of existing trees and plants
6. Provide all insect and disease control
7. Provide maintenance of existing trees and plants including irrigation during the construction period as recommended by the arborist report
8. Provide maintenance of existing trees and plants including irrigation during the post construction plant maintenance period
9. Remove tree protection fencing and other protection from around and under trees and plants.
10. Clean up and disposal of all excess and surplus material.

1.2 CONTRACT DOCUMENTS

- A. Shall consist of specifications and general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. It is the intent of this section that the requirements apply to all sections of the project specification such that any subcontract must comply with the restrictions on work within designated Tree and Plant Protection Areas.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. Related Documents:
1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section.
  2. Section - Planting
- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail.
1. ANSI A300 (Part 5) - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current editions
  2. Pruning practices shall conform with recommendations "Structural Pruning: A Guide For The Green Industry": Published by Urban Tree Foundation, Visalia, California; most current edition.
  3. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.

1.4 VERIFICATION

- A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.

1.5 PERMITS AND REGULATIONS

- A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If a conflict exists between all permits, requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
- B. Whenever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
- C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. The Contractor shall protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- B. **CHANGES IN THE WORK:**
- A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
- C. **CORRECTION OF WORK:**
- A. The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest possible time that can be coordinated with other work and seasonal weather demands.

1.7 DEFINITIONS

- All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.
- Owner's Representative: The person appointed by the Owner to represent their interest in the review and approval of the work and to serve as the contracting authority with the Contractor. The Owner's Representative or Owner may appoint other persons to review and approve any aspects of the work, such as the landscape architect who prepared the plans.
- B. Reasonable and reasonably: When used in this specification is intended to mean that the conditions cited will not affect the establishment or long term stability, health or growth of the plant. This specification recognizes that plants are not free of defects and that their condition may change with time. This specification also recognizes that some decisions cannot be totally based on measured findings and that professional judgment is required. In case of differing opinion, the Owner's Representative expert shall determine when conditions within the plant are judged as reasonable
- C. Shrub: Woody plants with mature height approximately less than 25 feet
- D. Tree and Plant Protection Area: Area surrounding individual trees, groups of trees, shrubs, or other vegetation to be protected during construction, and defined by a circle centered on the trunk with a radius equal to the down discipline unless otherwise indicated by the owner's representative
- E. Tree: Single and multi-stemmed plants, including palms with anticipated mature height approximately greater than 25 feet or any plant identified on the plans as a tree.

1.10 SUBMITTALS

- A. **PRODUCT DATA:** Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative for approval. Provide submittal four weeks before the start of any work at the site.

1.11 OBSERVATION OF THE WORK

- A. The Owner's Representative may inspect the work at any time.

1.12 PRE-CONSTRUCTION CONFERENCE

- A. Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

1. The following Contractors shall attend the preconstruction conference:
    - a. General Contractor.
    - b. Consulting Arborist
    - c. Subcontractor assigned to install Tree and Plant Protection measures
    - d. Earthwork Contractor
    - e. All site utility Contractors that may be required to dig or trench into the soil
    - f. Landscape subcontractor
    - g. Irrigation subcontractor
  - B. Prior to this meeting, mark all trees and plants to remain and/or be removed as described in this specification for review and approval by the Owner's Representative.
- 1.13 **QUALITY ASSURANCE**
- A. Contractor qualifications:
1. All pruning, branch be back, tree removal, root pruning, and fertilizing required by this section shall be performed by or under the direct supervision of ISA Certified Arborist Submit aforementioned individual's qualifications for approval by the Owner's Representative.
  2. All applications of pesticide or herbicide shall be performed by a person maintaining a current state license to apply chemical pesticides valid in the jurisdiction of the project. Submit copies of all required state licensing certificates including applicable chemical applicator licenses.

PART 2 PRODUCTS

2.3 TREE PROTECTION FENCING:

- B. **PLASTIC MESH FENCE:** Heavy-duty orange plastic mesh fencing fabric 48 inches wide. Fencing shall be attached to metal "U" post or wooden post driven into the ground of sufficient depth to hold the fabric solidly in place with out sagging. The fabric shall be attached to the post using attachment ties of sufficient number and strength to hold up the fabric without sagging. The Owner's Representative may request, at any time, additional post, deeper post depths and/or additional fabric attachments if the fabric begins to sag, lean or otherwise not present a sufficient barrier to access.
- C. **GATES:** For each fence type and in each separate fenced area, provide a minimum of one 3 foot wide gate. Gates shall be lockable. The location of the gates shall be approved by the Owner's Representative.
- D. Submit suppliers product data that product meets the requirements for approval.
- 2.4 **tree protection sign:**
- A. Heavy-duty cardboard signs, 8.5 inches x 11 inches, white colored background with black 2 inch high or larger letters book letters. The signs shall be attached to the tree protection fence every 50 feet o.c. The tree protection sign shall read "Tree and Plant Protection Area- Keep Out".
- 2.5 **TREE GROWTH REGULATOR (TGR)**
- A. Cambistal 25C
- B. Submit suppliers product data that product meets the requirements for approval.

2.6 MATTING

- A. Matting for vehicle and work protection shall be heavy duty matting designed for vehicle loading over tree roots. Aluminatek is manufactured by Aluminatek, Inc. Franklin, PA 15323 or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

2.7 GEOGRID

- A. Geogrid shall be woven polyester fabric with PVC coating, Uni-axial or biaxial geogrid, inert to biological degradation, resistant to naturally occurring chemicals, alkalis, acids.
1. Geogrid shall be Miragrid ZXT as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

2.8 FILTER FABRIC

- A. Filter Fabric shall be nonwoven polypropylene fibers, inert to biological degradation and resistant of naturally occurring chemicals, alkalis and acids.
1. Miraf 135 N as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

PART 3 EXECUTION

3.1 SITE EXAMINATION

- A. Examine the site, tree, plant and soil conditions. Notify the Owner's Representative in writing of any conditions that may impact the successful Tree and Plant Protection that is the intent of this section.
- 3.2 **COORDINATION WITH PROJECT WORK**
- A. The Contractor shall coordinate with all other work that may impact the completion of the work.
- B. Prior to the start of work, prepare a detailed schedule of the work for coordination with other trades.
- C. Coordinate the relocation of any irrigation lines currently present on the irrigation plan, heads or the conduits of other utility lines or structures that are in conflict with tree locations. Root balls shall not be altered to fit around lines. Notify the Owner's Representative of any conflicts encountered.

- 3.3 **TREE AND PLANT PROTECTION AREA:** The Tree and Plant Protection Area is defined as all areas indicated on the tree protection plan. Where no limit of the Tree and Plant Protection area is defined on the drawings, the limit shall be the drip line (outer edge of the branch crown) of each tree.
- 3.4 **Preparation:**
- A. Prior to preconstruction meeting, layout the limits of the Tree and Plant Protection Area and then alignments of required Tree and Plant Protection Fencing and root pruning. Obtain the Owner's Representative's approval of the limits of the protection area and the alignment of all fencing and root pruning.
- B. Flag all trees and shrubs to be removed by wrapping orange plastic ribbon around the trunk and obtain the Owner's Representative's approval of all trees and shrubs to be removed prior to the start of tree and shrub removal. After approval, mark all trees and shrubs to be removed with orange paint in a band completely around the base of the tree or shrub 4.5 feet above the ground.
- C. Flag all trees and shrubs to remain with white plastic ribbon laid completely around the trunk or each tree and on a prominent branch for each shrub. Obtain the Owner's Representative's approval of all trees and shrubs to be remain prior to the start of tree and shrub removal.
- D. Prior to any construction activity at the site including utility work, grading, storage of materials, or installation of temporary construction facilities, install all tree protection fencing, Filter Fabric, silt fence, tree protection signs, Geogrid, Mulch and or Wood Chips as shown on the drawings.

3.5 SOIL MOISTURE

- A. Volumetric soil moisture level, in all soils within the Tree and Plant Protection Area shall be maintained above permanent wilting point to a depth of at least 8 inches. No soil work or other activity shall be permitted within the Tree and Plant Protection Area when the volumetric soil moisture is above field capacity. The permanent wilting point and field capacity for each type of soil texture shall be defined as follows (numbers indicate percentage volumetric soil moisture):
- | Soil Type                         | Permanent wilting point w/v | Field capacity w/v |
|-----------------------------------|-----------------------------|--------------------|
| Sand, Loamy sand, Sandy loam      | 5-8%                        | 12-18%             |
| Loam, Sandy clay, Sandy clay loam | 14-25%                      | 27-36%             |
| Clay loam, Silty loam             | 11-22%                      | 31-36%             |
| Silt clay, Silty clay             | 22-27%                      | 38-41%             |
1. Volumetric soil moisture shall be measured with a digital, electric conductivity meter. The meter shall be the Digital Soil Moisture Meter, DMSM500 by General Specialty Tools and Instruments, or approved equivalent meter.
- B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend operations until the soil moisture drains to below field capacity.

3.6 ROOT PRUNING:

- A. Prior to any excavating into the existing soil grade within 25 feet of the limit of the Tree and Plant Protection Area or trees to remain, root prune all existing trees to a depth of 24 inches below existing grade in alignments following the edges of the Tree and Plant Protection Area or as directed by the Owner's Representative. Root pruning shall be in conformance with ANSI A300 (part 8) latest edition.
1. Using a root saw, chain trencher or similar trenching device, make a vertical cut within 2 feet of the limit of grading
  2. After completion of the cut, make clean cuts with a saw, sapper or pruner to remove all root ends on the tree side of the excavation, and backfill the trench immediately with existing soil, filling all voids.
- 3.7 **INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, WOOD CHIPS AND OR MULCH**
- A. Install Geogrids, Filter Fabric, matting, Wood Chips and or Mulch in areas and depths shown on the plans and details or as directed by the Owner's representative. In general it is the intent of this specification to provide the following levels of protection:
1. All areas within the Tree and Plant Protection Area provide a minimum of 5 inches of Wood Chips or Mulch.
  2. Areas where foot traffic or storage of lightweight materials is anticipated to be unavoidable provide a layer of Filter Fabric under the 5 inches of Wood Chips or Mulch.
  3. Areas where occasional light vehicle traffic is anticipated to be unavoidable provide a layer of Geogrids under 8

- inches of Wood Chips or Mulch.
4. Areas where heavy vehicle traffic is unavoidable provide a layer of Geogrids under 6- 12 inches of Wood Chips or Mulch and a layer of matting over the Wood Chips or Mulch.
- B. The Owner's Representative shall approve the appropriate level of protection.
- C. In the above requirements, light vehicle that is equipped as a track sled steer with a ground pressure of 4 psi or lighter. A heavy vehicle is any vehicle with a tire or track pressure of greater than 4 psi. Lightweight materials are any packaged materials that can be physically moved by hand into the location. Bulk materials such as soil, or aggregate shall never be stored within the Tree and Plant Protection Area.
- 3.8 **PROTECTION:**
- A. Protect the Tree and Plant Protection Area at all times from compaction of the soil, damage of any kind to trunks, bark, branches, leaves and roots of all plants; and contamination of the soil, bark or leaves with construction materials, debris, silt, fuels, oils, and any chemicals substance. Notify the Owner's Representative of any spills, compaction or damage and take corrective action immediately using methods approved by the Owner's Representative.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA

- A. The Contractor shall not engage in any construction activity within the Tree and Plant Protection Area without the approval of the Owner's Representative including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity, if any, within the Tree and Plant Protection Area maybe indicated on the drawings along with any required remedial activity as listed below.
- B. In the event that construction activity is unavoidable within the Tree and Plant Protection Area, notify the Owner's Representative and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not suited; a description of the proposed activity; the time period for the activity, and a list of reduce the impact on the Tree and Plant Protection Area from the activity.
- Remedial actions shall include but shall not be limited to the following:
1. In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either by the use of hand tools, directional boring and/or Air Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots or soil.
  2. When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent wilting point at all times. Roots one inch and larger in diameter shall not be cut out without the approval of the owners representative. Excavation shall be tunneled under roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
  3. Tree branches that interfere with the construction may be bed back or pruned to clear only to the point necessary to complete the work. Other branches shall only be removed when specifically indicated by the Owner's Representative. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboricultural practices (ANSI A300, part 8) and be performed under supervision of the arborist.
  4. Matting: Install temporary matting over the Wood Chips or Mulch to the extent indicated. Do not permit foot traffic, scaffolding or the storage of materials within the Tree and Plant Protection Area to occur off of the temporary matting.

5. **Tree Protection:** Protect the trunk of each tree to remain by covering it with a ring of 8 foot long 2 inch x 6 inch planks fastened to the trunk with 3 steel bands. Staple the bands to the trunk. The bands shall be installed in a manner similar in place. Trunk protection must be kept in place no longer than 12 months. If construction requires work near a particular tree to continue longer than 12 months, the steel bands shall be inspected every six months and loosened if they are found to have become tight.
6. **Air Excavation Tool:** If excavation for footings or utilities is required within the Tree and Plant Protection Area, air excavation tool techniques shall be used where practical or as designed on the drawings.
- a. Remove the Wood Chips from an area approximately 18 inches beyond the limits of the hole or trench to be excavated. Cover the Wood Chips for a distance of not less than 15 feet around the limit of the excavation area with Filter Fabric or plastic sheeting to protect the Wood Chips from silt. Mound the Wood Chips so that the plastic slopes towards the excavation.
  - b. Using a sprinkler or soaker hose, apply water slowly to the area of the excavation for a period of at least 4 hours, approximately 12 hours prior to the work so that the ground water level is at or near field capacity at the beginning of the work. For excavations that go beyond the damp soil, rewet the soil as necessary to keep soil moisture near field capacity.
  - c. Using an air excavation tool specifically designed and manufactured for the intended purpose, and at pressures recommended by the manufacturer of the equipment, fracture the existing soil to the shape and depths required. Work at rates and using techniques that do not harm tree roots. Air pressure shall be a maximum of 90-100 psi.
  - 1.) The air excavation tool shall be "Air-Spade" as manufactured by Concept Engineering Group, Inc., Verona, PA (412) 826-8800, or Air Knife as manufactured by Easy Use Air Tools, Inc. Allison Park, Pa (866) 328-5723 or approved equal.
  2. Using a commercial, high-powered vacuum truck if required, remove the soil from the excavation produced by the Air Knife excavation. The vacuum truck should generally operate simultaneously with the hose operator, such that the soil produced is picked up from the excavation hole, and the exposed roots can be observed and not damaged by the ongoing operation. Do not drive the vacuum truck into the Tree and Plant Protection Area unless the area is protected from compaction as approved in advance by the Owner's Representative.
6. Remove all excavated soil and excavated Wood Chips, and contaminated soil at the end of the excavation.
1. Schedule the work so that foundations or utility work is completed immediately after the excavation. Do not let the roots dry out. Mist the roots several times during the day. If the excavated area must remain open over night, mist the roots and cover the excavation with black plastic.
5. Dispose of all soil in a manner that meets local laws and regulations.
6. Restore soil within the trench as soon as the work is completed. Utilize soil of similar texture to the removed soil and lightly compact with hand tools. Leave soil mounded over the trench to a height of approximately 10% of the trench depth to allow for settlement.
1. Restore any Geogrids, Filter Fabric, Wood Chips or Mulch and or matting that was previously required for the area.

3.10 TREE REMOVAL:

- A. Remove all trees indicated by the drawings and specifications, as requiring removal, in a manner that will not damage adjacent trees or structures or compacts the soil.
- B. Remove trees that are adjacent to trees or structures to remain, in sections, to limit the opportunity of damage to adjacent crows, trunks, ground plane elements and structures.
- C. Do not drop trees with a single cut unless the tree will fall in an area not included in the Tree and Plant Protection Area. No tree to be removed within 50 feet of the Tree and Plant Protection Area shall be pushed over or up-rooted using a piece of grading equipment.
- D. Protect adjacent parking, soil, trees, shrubs, ground cover plantings and underground plants to remain from damage during all tree removal operations, and from construction operations. Protection shall include the system, trunk, limbs, and crown from breakage or scarring, and the soil from compaction.
- E. Remove stumps and immediate root plate from existing trees to be removed. Grind trunk bases and large buttress roots to a depth of the largest buttress root or at least 18 inches below the top most roots which ever is less and over the area of three times the diameter of the trunk (DBH).
1. For trees where the stump will fall under new paved areas, grind roots to a total depth of 18 inches below the existing grade. If the sides of the stump hole still have greater than approximately 20% wood visible, continue grinding operation deeper and or wider until the resulting hole has less than 20% wood. Remove all wood chips produced by the grinding operation and back fill in 6 inch layers with controlled fill of a quality acceptable to the city engineer for fill material under structures, compacted to 95% of the maximum dry density standard proctor. The Owner's Representative shall approve each hole at the end of the grinding operation.
2. In areas where the tree locations to be a planting bed or lawn, remove all woodchips and backfill stump holes with planting soil as defined in Specification Section Planting Soil. In maximum of 12 inch layers and compact to 80- 85% of the maximum dry density standard proctor.

3.11 PRUNING

- A. Within six months of the estimated date of substantial completion, prune all dead or hazardous branches larger than 2 inch in diameter from all trees to remain.
- B. Implement all pruning recommendations found in the arborist report.
- C. Prune any low, hanging branches and vines from existing trees and shrubs that overhang walks, streets and drives, or parking areas as follows:
1. Walks - within 8 feet vertically of the proposed walk elevation.
  2. Parking areas - within 12 feet vertically of the proposed parking surface elevation.
  3. Streets and drives - within 14 feet vertically of the proposed driving surface elevation.
- D. All pruning shall be done in accordance with ANSI A300 (part 1), ISA BMP Tree Pruning (latest edition, and the "Structural Pruning: A Guide for the Green Industry", Edward Gilman, Brian Kempf, Nedda Matthey and Jim Clark, 2013 Urban Tree Foundation, Visalia CA.
- E. Perform other pruning task as indicated on the drawings or requested by the Owner's Representative.
- F. When tree specific disease vectors require, sterilize all pruning tools between the work in individual trees.

3.13 WATERING

- A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants to be preserved during the entire construction period. Adequate water is defined to be maintaining soil moisture above the permanent wilting point to a depth of 8 inches or greater.
- B. The Contractor shall adjust the automatic irrigation system, if available, and apply additional water, using hoses or water tanks as required.
- C. Periodically test the moisture content in the soil within the root zone to determine the water content.

3.14 WEED REMOVAL

- A. During the construction period, control any plants that seed in and around the fenced Tree and Plant Protection area at least three times a year.
1. All plants that are not shown on the planting plan or on the Tree and Plant Protection Plan to remain shall be considered as weeds.
- B. At the end of the construction period provide one final weeding of the Tree and Plant Protection Area.

3.15 INSECT AND DISEASE CONTROLLER

- A. Monitor all plants to remain for disease and insect infestations during the entire construction period. Provide all disease and insect control required to keep the plants in a healthy state using the principles of Integrated Plant Management (IPM). All pesticides shall be applied by a certified pesticide applicator.
- 3.16 **CLEAN-UP**
- A. During tree and plant protection work, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than once a week.
1. Immediately clean up any spilled or tracked soil, fuel, oil, trash or debris deposited by the Contractor from all surfaces within the project or on public right of ways and neighboring property.
- B. Once tree protection work is complete, wash all soil from pavements and other structures. Ensure that Mulch is confined to planting beds.
- C. Make all repairs to grades, rills, and damage to the work or other work at the site.
- D. Remove and dispose of all excess Mulch, Wood Chips, packaging, and other material brought to the site by the Contractor.

3.17 Removal of fencing and other Tree and plant protection

- A. At the end of the construction period or when requested by the Owner's Representative remove all fencing, Wood Chips or Mulch, Geogrids and Filter Fabric, trunk protection and all other Tree and Plant Protection material.
- 3.18 **DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN**
- B. Any trees or plants designated to remain and which are damaged by the Contractor shall be replaced in kind by the Contractor at their own expense. Trees shall be replaced with a tree of similar species and of equal size or 6 inch caliper which ever is less. Shrubs shall be replaced with a plant of similar species and equal size or the largest size plants reasonably available which ever is less. Where replacement plants are to be less than the size of the plant that is damaged, the Owner's Representative shall approve the size and quality of the replacement plant.
1. All trees and plants shall be installed per the requirements of Specification Section Planting.
- C. Plants that are damaged shall be considered as requiring replacement or appraisal in the event that the damage affects more than 25 % of the crown, 25% of the trunk circumference, or root protection area, or the tree is damaged in such a manner that the tree could develop into a potential hazard. Trees and shrubs to be replaced shall be removed by the Contractor at his own expense
1. The Owner's Representative may engage an independent arborist to assess any tree or plant that appears to have been damaged to determine all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") completes as shown on the drawings and as specified herein.
- D. Any remedial work on damaged existing plants recommended by the consulting arborist shall be completed by the Contractor at no cost to the owner. Remedial work shall include but is not limited to: soil compaction remediation and vertical mulching, pruning and/or cabling, insect and disease control including injections, compensatory watering, additional mulching, and could include application tree growth regulators (TGR).
- E. Remedial work may extend up to two years following the completion of construction to allow for any requirements of multiple applications or the need to undertake applications at required seasons of the year.

END OF SECTION 015639

SECTION 02300

PLANTING

PART 1 GENERAL

1.1 SUMMARY

- A. The scope of work includes all labor, materials, appliances, tools, equipment, facilities, transportation and services necessary for and incidental to performing all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") completes as shown on the drawings and as specified herein.
- B. The scope of work in this section includes, but is not limited to, the following:
1. Locate, purchase, deliver and install all specified plants
  2. Water all specified plants.
  3. Mulch, fertilize, stake, and prune all specified plants.
  4. Maintenance of all specified plants until the beginning of the warranty period.
  5. Plant warranty.
  6. Clean up and disposal of all excess and surplus material.
  7. Maintenance of all specified plants during the warranty period.

1.2 CONTRACT DOCUMENTS

- A. Shall consist of specifications and general conditions and the construction drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. Related Documents:
1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section
  2. Related Specification Sections
    - a. Section - Tree Protection and Plant Protection
- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail or as determined by the Owners Representative.
1. State of California, Department of Food and Agriculture, Regulations for Nursery Inspections, Rules and Grading
  2. ANSI Z60.1 American Standard for Nursery Stock, most current edition
  3. ANSI A 300 - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current edition and parts.
  4. Florida Grades and Standards for Nursery Stock, current edition (Florida Department of Agriculture, Tallahassee FL)
  5. Interpretation of plant names and descriptions shall reference the following documents. Where the names or plant descriptions disagree between the several documents, the most current document shall prevail.
    - a. USDA - The Germplasm Resources Information Network (GRIN) <http://www.ars-grin.gov/npgs/searchgrn.html>
    - b. Manual of Woody Landscape Plants; Michael Dirr; Stipes Publishing, Champaign, Illinois; Most Current Edition.
    - c. The New Sunset Western Garden Book, Osmonr House, most current edition.
  6. Pruning practices shall conform to recommendations "Structural Pruning: A Guide For The Green Industry" most current edition; published by Urban Tree Foundation, Visalia, California.
  7. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.

1.4 VERIFICATION

- A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
- B. In the case of a discrepancy in the plant quantities between the plan drawings and the plant call outs, list or plant schedule, the number of plants or square footage of tree planting bed actually drawn on the plan drawings shall be deemed correct and prevail.

1.5 PERMITS AND REGULATIONS

- A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
- B. Whenever references are made to standards or codes current in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
- C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.

1.7 CHANGES IN THE WORK

- A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
- B. All changes in the work, notifications and contractor's request for information (RFI) shall conform to the contract general condition requirements.

1.8 CORRECTION OF WORK

- A. The Contractor, at their own cost, shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest as possible time that can be coordinated with other work and seasonal weather demands.

1.9 DEFINITIONS

- All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.
- A. Bored trees: A container root ball package made of wood in the shape of a four-sided box.
- B. Container plant: Plants that are grown in and/or are currently in a container including boxed trees
- C. Defective plant: Any plant that fails to meet the plant quality requirement of this specification.
- D. End of Warranty Final Acceptance: The date when the Owner's Representative accepts that the plants and work in this section meet all the requirements of the warranty. It is intended that the materials and workmanship warranty for Planting, Planting Soil, and irrigation work growing in which each other.
- E. Field grown trees (B&B): Trees grown in field soil for at least 12 months prior to harvest.
- F. Healthy: Plants that are growing in a condition that expresses leaf size, crown density, color, and with annual growth rates typical of the species and cultivar horticultural description, adjusted for the planting site, soil, drainage and weather conditions.
- G. Kinked root: A root within the root package that bends more than 90 degrees.
- H. Maintenance: Actions that preserve the health of plants after installation and as defined in this specification.
- I. Maintenance period: The time period, as defined in this specification, which the Contractor is to provide maintenance.
- J. Normal



1.15 SELECTION AND OBSERVATION OF PLANTS

- A. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection delivery, installation or establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
- B. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substantial element can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor at the Contractor's expense. The plant must meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.
- C. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
- D. Corrections are to be undertaken at the nursery prior to shipping.
- E. The Contractor shall bear all cost related to plant corrections.
- F. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
- G. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.
- H. The Contractor shall require the grower or re-wholesale supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.
- I. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.

1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE

- A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may otherwise not meet the requirements of the specifications, but which may be available for substitution.

1.17 SITE CONDITIONS

- A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings. Do not proceed with work until unsatisfactory conditions have been corrected.
- B. 1. Should subsurface drainage or soil conditions be encountered which would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner's Representative in writing, stating the conditions and submit a proposal covering costs of corrections. If the Contractor fails to notify the Owner's Representative of such conditions, he/she shall remain responsible for plant material under the warranty clause of the specifications.
- C. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions. Report any potential conflicts, in writing, to the Owner's Representative.
- D. This specification requires that all Planting Soil and Irrigation (if applicable) work be completed and accepted prior to the installation of any plants.
- E. 1. Planting operations shall not begin until such time that the irrigation system is completely operational for the area(s) to be planted, and the irrigation system for that area has been preliminarily observed and approved by the Owner's Representative.
- F. Actual planting shall be performed during those periods when weather and soil conditions are suitable in accordance with locally accepted horticultural practices.
- G. 1. Do not install plants into saturated or frozen soils. Do not install plants during inclement weather, such as rain or snow or during extremely hot, cold or windy conditions.

1.18 PLANTING AROUND UTILITIES

- A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.
- B. Determine location of underground utilities and perform work in a manner that will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until parties concerned mutually agree upon removal.
- C. Notification of Local Utility Location Service, Sunshine 811, is required for all planting areas. The Contractor is responsible for knowing the location and avoiding utilities that are not covered by Sunshine 811.

PART 2 PRODUCTS

2.1 PLANTS: GENERAL

- A. Standards and measurement: Provide plants of quantity, size, genus, species, and variety or cultivars as shown and scheduled in contract documents.
- B. 1. All plants including the root ball dimensions or container size to trunk caliber ratio shall conform to ANSI Z60.1 (Nursery Standard for Nursery Stock) latest edition, unless modified by provisions in this specification. When there is a conflict between this specification and ANSI Z60.1, this specification section shall be considered correct.
- C. 2. Plants larger than specified may be used if acceptable to the Owner's Representative. Use of such plants shall not increase the contract price. If larger plants are accepted the root ball size shall be in accordance with ANSI Z60.1. Larger plants may not be acceptable if the resulting root ball cannot be fit into the required planting space.
- D. 3. If a range of size is given, no plant shall be less than the minimum size and not less than 50 percent of the plants shall be as large as the maximum size specified. The measurements specified are the minimum and maximum size acceptable and are the measurements after pruning, where pruning is required.
- E. Proper Identification: All trees shall be true to name as ordered or shown on planting plans.
- F. Compliance: All trees shall comply with federal and state laws and regulations requiring observation for plant disease, pests, and weeds. Observation certificates required by law shall accompany each shipment of plants.
- G. Plant Quality:
- H. 1. General: Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, borers, and larvae. At the time of planting all plants shall have a root system, stem, and branch form that will not restrict normal growth, stability and health for the expected life of the plant
- I. 2. Plant quality above the soil line:
- J. a. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Trees quality above the soil line shall comply with the Florida Grades and Standards tree grade Florida Fancy or Florida IV and the following:
- K. 1) Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar purned to a central and dominant leader.
- L. a) Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-stem, clem, or unique selections such as contorted or weeping cultivars.
- M. 2) Leaves: The size, color, and appearance of leaves shall be typical for the time of year and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilted, shriveled, or dead leaves.
- N. 3) Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
- O. a) Main branches shall be distributed along the central leader not clustered together. They shall form a balanced crown appropriate for the cultivar/species.
- P. b) Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
- Q. c) The attachment of the largest branches (scaffold branches) shall be free of included bark.
- R. 4) Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, canks (fungal feeding beetles), wood cracks, sap leakage, signs of boring insects, girds, cankers, girdling ties, or lesions (mechanical injury).
- S. 3. Trees shall have one central leader. If the leader was headed, a new leader (with a live terminal bud) at least one-half the diameter of the pruning cut shall be present.
- T. 1) All trees are assumed to have one central leader unless trees unless a different form is specified in the plant list or drawings.
- U. 4. All graft unions, where applicable, shall be completely closed without visible sign of graft rejection. All grafts shall be visible above the soil line.
- V. 5. Trunk caliber and taper shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stake may be used to maintain a straight leader in the upper half of the tree.
- W. Plant quality at or below the soil line:
- X. a. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
- Y. 1) The roots shall be reasonably free of scrapes, breaks or split wood.
- Z. 2) The root system shall be reasonably free of injury from biotics (e.g. insects and pathogens) and abiotics (e.g. herbicide toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
- AA. 3. A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
- AB. a) Plants with structural roots on only one side of the trunk (if roots) shall be rejected.
- AC. 4) The root collar shall be within the upper 2 inches of the substrate/sol. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball

- AD. 5) The root system shall be reasonably free of stem girdling roots over the root collar or knirked roots from nursery production practices.
- AE. 6) At time of observations and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by shriveled, discolored, distorted, or dead roots.
- AF. E. Submittals: Submit for approval the required plant quality certifications from the grower where plants are to be purchased, for each plant type. The certification must state that each plant meets all the above plant quality requirements.
- AG. 1. The grower's certification of plant quality does not prohibit the Owner's Representative from observing any plant or rejecting the plant if it is found to not meet the specification requirements.
- AH. 2.20 ROOT BALL PACKAGE OPTIONS: The following root ball packages are permitted. Specific root ball packages shall be required where indicated on the plant list or in this specification. Any type of root ball packages that is not specifically defined in this specification shall not be permitted.

A. BALLED AND BURLAPPED PLANTS

- AI. 2. All Balled and Burlapped Plants shall be field grown, and the root ball packaged in a burlap and twine and/or burlap and wire basket package.
- AJ. 3. Plants shall be harvested with the following modifications to standard nursery practices:
- AK. a. Prior to digging any tree that fails to meet the requirement for maximum soil and roots above the root collar, carefully remove the soil from the top of the root ball of each plant, using hand tools, water or an air spade, to locate the root collar and attain the soil depth over the structural roots requirements. Remove all stem girdling roots above the root collar. Care must be exercised not to damage the surface of the root collar and the top of the structural roots.
- AL. b. Trees shall be dug for a minimum of 4 weeks and a maximum of 52 weeks prior to shipping. Trees dug 4 to 52 weeks prior to shipping are defined as hardened-off. Digging is defined as cutting all roots and filling the base out of the ground and either moving it to a new location in the nursery or placing it back into the same hole. Trees that are stored out of the ground shall be placed in a holding area protected from extremes of wind and sun with the root ball protected by covering with mulch or straw and irrigated sufficiently to keep moisture in the root ball above wilt point and below saturation.
- AM. c. If wire baskets are used to support the root ball, a "low profile" basket shall be used. A low profile basket is defined as having the top of the highest hoops on the basket no less than 4 inches and no greater than 12 inches below the shoulder of the root ball package. The basket shall be removed completely at time of planting.
- AN. 1.) At nurseries where sandy soils prevent the use of "low profile baskets", baskets that support the entire root ball, including the top, are allowable.
- AO. d. Twine and burlap used for wrapping the root ball package shall be natural, biodegradable material. If the burlap decomposes after digging the tree then the root ball shall be re-wrapped prior to shipping if roots have not yet grown to keep root ball intact during shipping.

SPADE HARVESTED AND TRANSPLANTED

- AP. 1. Spade Harvested and Transplanted Plants shall meet all the requirements for field grown trees. Root ball diameters shall be of similar size as the ANSI Z60.1 requirements for Balled and Burlapped plants.
- AQ. 2. Trees shall be harvested prior to leafing out (bud break) in the spring or during the fall planting period except for plants known to be considered as fall planting hazards. Plants that are fall planting hazards shall only be harvested prior to leafing out in the spring.
- AR. 3. Trees shall be moved and planted within 48 hours of the initial harvesting and shall remain in the spade machine until planted.
- AS. C. CONTAINER (INCLUDING ABOVE-GROUND FABRIC CONTAINERS AND BOXES) PLANTS
- AT. 4. Container plants may be permitted only when indicated on the drawing, in this specification, or approved by the Owner's Representative.
- AU. 5. Provide plants shall be established and well rooted in removable containers.
- AV. 6. Container class size shall conform to ANSI Z60.1 for container plants for each size and type of plant.

D. BARE ROOT PLANTS

- AW. 7. Harvest bare root plants while the plant is dormant and a minimum of 4 weeks prior to leaf out (bud break).
- AX. 8. The root spread dimensions of the harvested plants shall conform to ANSI Z60.1 for nursery grown bare root plants for each size and type of plant. Just prior to shipping to the job site, dip the root system into a slurry of hydrogel (cross linked polyacrylamide) and water mixed at a rate of 15 oz. of hydrogel in 25 gallons of water. Do not shake off the excess hydrogel. Place the root system in a plastic sealed plastic bag and tie the bag snugly around the trunk. Bundle and tie the upper branches together.
- AY. 9. Keep the trees in a cool dark space for storage and delivery. If daytime outside temperatures exceeds 70 degrees F, utilize a refrigerated storage area with temperature between 35 and 50 degrees.
- AZ. 10. Where possible, plan time of planting to be before bud break. For trees to be planted after bud break, place the trees before bud break in an irrigated bed of pea gravel.
- BA. a. The pea gravel bed shall be 18 inches deep over a sheet of plastic.
- BB. b. Space trees to allow the unbundled branches to grow without shading each other.
- BC. c. Once stored in pea gravel, allow the trees sufficient time for the new root system to flush and spring growth of leaves to fully develop before planting.
- BD. d. Pea gravel stored trees may be kept for up to one growing season.
- BE. e. Pea gravel stored trees shall be banded, packaged and shipped similar to the requirements for freshly dug bare root trees above.

2.2 ANNUAL FLOWERING AND SEASONAL COLOR PLANTS

- BF. E. Container or fall-grown plants should be sized as related in the planting plan. Plants shall be well-rooted and healthy.

2.4 PALMS

- BG. F. Except as modified below or where the requirements are not appropriate to the specification of palms, palms shall meet all the requirements of the plant quality section above.
- BH. G. Defolting, lying, and hedging.
- BI. 5. In preparing palm trees for relocation, all dead fronds shall be removed.
- BJ. 6. At remaining fronds above horizontal shall be lifted up and tied together around the crown in an upright position. Do not tie too tightly. Bind or injure the bud. Jute twine or wire shall be used in tying up the fronds; wire will not be permitted. Fronds shall be untied immediately after planting.
- BK. G. Digging the root ball:
- BL. 1. When digging out the root ball, no excavation shall be done closer than 24 inches to the trunk at ground level and the excavation shall extend below the major root system to a minimum depth of 3.5 feet. The bottom of the root ball shall be cut off square and perpendicular to the trunk below the major root system.
- BM. D. The Contractor shall not free-fall, drag, roll or abuse the tree or put a strain on the crown (bud area) at any time. A protective device shall be used around the trunk of the tree while lifting and relocating so as not to injure the bud, or scar or skin the trunk in any way.

2.5 PLANTING SOIL

- BN. Planting Soil shall contain a mixture of 1/3 sand, 1/3 topsoil and 1/3 peat humus. Sand shall be clean, salt-free and containing no extraneous matter. Topsoil shall be friable (friable soil with representative characteristics of area soils. It should be free of heavy silt, stones, excess lime, shell rock, plant roots, debris or other foreign matter. It shall not contain noxious plant growth (such as burmuds, topsoil or not grass). It shall test between the pH range of 5.0 to 7.0 unless otherwise specified and contain no toxic residue or substances that would endanger plant growth. If topsoil is not available on site, it shall be imported from local sources with similar soil characteristics to that found at project site. obtain topsoil only from naturally, well-drained sites where topsoil occurs in a depth not less than 4 feet. Peat humus shall be decomposed peat with no identifiable fibers or if available, must may be substituted and shall be free from stones, excessive plant roots, debris or other foreign matter. mulch shall not be overly saturated with water.

2.6 MULCH

- BO. A. Mulch shall be Melaleuca or Eucalyptus and shall cover all landscape bed areas in a 3" minimum layer. Do not let mulch pile up on root ball or around trunks of trees plants. Submit supplier's product specification data sheet and a one gallon sample for approval.

2.7 TREE STAKING AND GUYING MATERIAL

- BP. A. Tree guying to be flat woven polypropylene material, 3/4 inch wide, and 500 lb. break strength. Color to be Green. Product to be ArborTie manufactured by Deep Root Partners, L.P. or approved equal.
- BQ. B. Stakes shall be lodge pole stakes free of knots and of diameters and lengths appropriate to the size of plant as required to adequately support the plant.
- BR. C. Below ground anchorage systems to be constructed of 2 x 2 dimensional untreated wood securing (using 3 inch long screws) horizontal portions to 4 foot long vertical stems driven straight into the ground outside the root ball.
- BS. D. Submit manufacturer's product data for approval.

2.9 WATERING BAGS

- BT. E. Plastic tree watering bags holding a minimum of 15 gallons of water and with a slow drip hole(s) water release system, specifically designed to water establishing trees. Water should release over a several day period, not within a few hours.
- BU. F. Watering bags shall be:
- BV. 1. Treegaur Irrigation Bags sized to the appropriate model for the requirements of the plant, manufactured by Spectrum Products, Inc., Youngsville, NC 27596.
- BW. 2. Ozaa Tube sized to the appropriate model for the requirements of the plant, manufactured by Engineered Water Solutions, Atlanta, GA.
- BX. 3. Or approved equal.
- BY. C. Submit manufacturer's product data for approval.

PART 3 EXECUTION

3.1 DELIVERY, STORAGE AND HANDLING

- BA. A. Protect materials from deterioration during delivery and storage. Adequately protect plants from drying out, exposure of roots to sun, wind or extremes of heat and cold temperatures. If planting is delayed more than 24 hours after delivery, set plants in a location protected from sun and wind. Provide adequate water to the root ball package during the shipping and storage period.

delivery, set plants in a location protected from sun and wind. Provide adequate water to the root ball package during the shipping and storage period.

- BB. 1. All plant materials must be available for observation prior to planting.
- BC. 2. Using a soil moisture meter, periodically check the soil moisture in the root balls of all plants to assure that the plants are being adequately watered. Volumetric soil moisture shall be maintained above wilting point and below field capacity for the root ball substrate or soil.
- BD. 3. Do not deliver more plants to the site than there is space with adequate storage conditions. Provide a suitable remote staging area for plants and other supplies.
- BE. 1. The Owner's Representative or Contractor shall approve the duration, method and location of storage of plants.
- BF. C. Provide protective covering over all plants during transporting.
- BG. 3.2 ADVERSE WEATHER CONDITIONS
- BH. A. No planting shall take place during extremely hot, dry, windy or freezing weather.
- BI. 3.3 COORDINATION WITH PROJECT WORK
- BJ. A. The Contractor shall coordinate with all other work that may impact the completion of the work.
- BK. B. Prior to the start of work, prepare a detailed schedule of the work for coordination with other trades.
- BL. C. Coordinate the relocation of any installed lines, heads or the conduits of other utility lines that are in conflict with tree locations. Root balls shall not be altered to fit around lines. Notify the Owner's Representative of any conflicts encountered.
- BM. 3.4 LAYOUT AND PLANTING SEQUENCE
- BN. A. Relative positions of all plants and trees are subject to approval of the Owner's Representative.
- BO. B. Notify the Owner's Representative, one (1) week prior to layout. Layout all individual tree and shrub locations. Place plants above surface at planting location and place a labeled stake at planting location. Layout bed lines with paint for the Owner's Representative's approval. Secure the Owner's Representative's acceptance before digging and start of planting work.
- BP. C. When applicable, plant trees before other plants are installed.
- BQ. D. It is understood that plants are not precise objects and that minor adjustments in the layout will be required as the planting plan is constructed. These adjustments may not be apparent until some or all of the plants are installed. Make adjustments as required by the Owner's Representative including relocating previously installed plants.
- BR. 3.5 SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION
- BS. A. Protect soil from compaction during the delivery of plants to the planting locations, digging of planting holes and installing plants.
- BT. 1. Where possible deliver plant and trees that require the use of heavy mechanized equipment prior to final soil preparation and tilling. Where possible, restrict the driving lanes to one area instead of driving over and compacting a large area of soil.
- BU. 2. Till to a depth of 6 inches, all soil that has been driven over during the installation of plants.
- BV. 3.6 SOIL MOISTURE
- BY. A. Volumetric soil moisture level, in both the planting soil and the root balls of all plants, prior to, during and after planting shall be above permanent wilting point and below field capacity for each type of soil texture within the following ranges:

Soil type	Permanent wilting point	Field capacity
Sand, Loamy sand, Sandy loam	5 - 8%	12 -16%
Loam, Sandy clay, Sandy clay loam	14 - 25%	27 -35%
Clay loam, Silty loam	11 - 22%	31 - 36%
Silty clay, Silty clay loam	22 - 27%	38 - 41%

1. Volumetric soil moisture shall be measured with a digital moisture meter. The meter shall be the Digital Soil Moisture Meter, DSM500 by General Specialty Tools and Instruments, or approved equivalent.
- B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend planting operations until the soil moisture drains to below field capacity.

3.7 INSTALLATION OF PLANTS: GENERAL

- BC. C. Observe each plant after delivery and prior to installation for general or other characteristics that may cause rejection of the plant. Notify the Owner's Representative of any condition observed.
- BD. D. No more plants shall be distributed about the planting bed area than can be planted and watered on the same day.
- BE. E. The root system of each plant, regardless of root ball package type, shall be observed by the Contractor, at the time of planting to confirm that the roots meet the requirements for plant root quality in Part 2 Products: Plants General Plant Quality. The Contractor shall undertake all the steps of planting, all modifications to the root system required by the Owner's Representative to meet these quality standards.
- BF. 1. Modifications, at the time of planting, to meet the specifications for the depth of the root collar and removal of stem girdling roots and circling roots may make line plant unstable or stress the plant to the point that the Owner's Representative may choose to reject the plant rather than permitting the modification.
- BG. 2. Any modifications required by the Owner's Representative to make the root system conform to the plant quality standards outlined in Part 2 Products: Plants General: Quality, or other requirements related to the permitted root ball package, shall not be considered as grounds to modify or void the plant warranty.
- BH. 3. The resulting root ball may need additional staking and water after planting. The Owner's Representative may reject the plant if the root modification process makes the tree unstable or if the tree is not healthy at the end of the warranty period. Such plants shall still be covered under the warranty.
- BI. 4. The Contractor remains responsible to confirm that the grower has made all required root modifications noted during any nursery observation.
- BJ. F. Container and Bowed Root Ball Shaving: The outer surfaces of ALL plants in containers and boxes, including the top, sides and bottom of the root ball shall be shaved to remove all circling, descending, and matted roots. Shaving shall be performed using saws, knives, sharp shovels or other suitable equipment that is capable of making clean cuts on the roots. Shaving shall remove a minimum of one inch of root material or up to 2 inches as required to remove all root segments that are not growing reasonably radial to the trunk.
- BK. G. Exposed Stem Tissue after Modification: The required root modifications may result in stem tissue that has not formed but bark being exposed above the soil line. If such condition occurs, wrap the exposed portion of the stem in a protective wrapping with a white filter fabric. Secure the fabric with biodegradable masking tape. DO NOT USE string, twine, green nursery ties or any other material that may girdle the trunk if not removed.
- BL. H. Excavation of the Planting Space: Using hand tools or tracked mini-excavator, excavate the planting hole into the Planting Soil to the depth of the root ball measured after any root ball modification to correct root problems, and wide enough for working room around the root ball or to the size indicated on the drawing or as noted below.
- BM. 1. For trees and shrubs planted in soil areas that are NOT tilted or otherwise modified to a depth of at least 12 inches over a distance of more than 10 feet radius from each tree, or 5 feet radius from each shrub, the soil around the root ball shall be loosened as defined below or as indicated on the drawings:
- BN. a. The area of loosening shall be a minimum of 3 times the diameter of the root ball at the surface sloping to 2 times the diameter of the root ball at the depth of the root ball.
- BO. b. Loosening is defined as digging into the soil and turning the soil to reduce the compaction. The soil does not have to be removed from the hole. Just dug, lifted and turned. Lifting and turning may be accomplished with a tracked mini excavator, or hand shovels.
- BP. 2. If an auger is used to dig the initial planting hole, the soil around the auger hole shall be loosened as defined above for trees and shrubs planted in soil areas that are NOT tilted or otherwise modified.
- BQ. 3. The measuring point for root ball depth shall be the average height of the outer edge of the root ball after any required root ball modification.
- BR. 4. If motorized equipment is used to deliver plants to the planting area over exposed planting beds, or used to loosen the soil or dig the planting holes, all soil that has been driven over shall be tilled to a depth of 6 inches.
- BS. H. For trees to be planted in prepared Planting Soil that is deeper than the root ball depth, compact the soil under the root ball using a mechanical tamper to assure a firm bedding for the root ball. If there is more than 12 inches of planting soil under the root ball excavate and tamp the planting soil in lifts not to exceed 12 inches.
- BT. I. Set top outer edge of the root ball at the average elevation of the proposed grade. Set the plant plumb and upright in the center of the planting hole. The tree graft, if applicable, shall be visible above the grade. Do not place soil on top of the root ball.
- BU. J. The Owner's Representative may request that plants orientation be related when planted based on the form of the plant.
- BV. K. Backfill the space around the root ball with the same planting soil or existing soil that was excavated for the planting space. See Specification Section Planting Soil, for requirements to modify the soil within the planting bed.
- BY. L. Brace root ball by tamping Planting Soil around the lower portion of the root ball. Place additional Planting Soil around base and sides of ball in six-inch (6") lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. DO NOT over compact the backfill or use mechanical or pneumatic tamping equipment. Over compaction shall be defined as greater than 85% of maximum dry density, standard proctor or greater than 250 pcf as measured by a cone penetrometer when the volumetric soil moisture is lower than field capacity.

1. When the planting hole has been backfilled to three quarters of its depth, water shall be poured around the root ball and allowed to soak into the soil to settle the soil. Do not flood the planting space. If the soil is above field capacity, allow the soil to drain in a below field capacity before finishing the planting. Air pockets shall be eliminated and backfill continued until the planting soil is brought to grade level.

2. Where indicated on the drawings, build a 4 inch high, level base of Planting Soil around the outside of the root ball to retain water. Tamp the berm to reduce leaching and erosion of the soil.

- N. Thoroughly water the Planting Soil and root ball immediately after planting.

- O. Remove all nursery plant identification tags and ribbons as per Owner's Representative instructions. The Owner's Representative's stakes are to remain on plants until the end of the warranty period.

- P. Remove corrugated cardboard trunk protection after planting.

- Q. Follow additional requirements for the permitted root ball packages.

- 3.8 Permitted Root Ball Packages and Special planting requirements

- A. The following are permitted root ball packages and special planting requirements that shall be followed during the planting process in addition to the above General planting requirements.

B. BALLED AND BURLAPPED PLANTS

1. After the root ball has been backfilled, remove all twine and burlap from the top of the root ball. Cut the burlap

- away, do not fold down onto the Planting Soil.
2. If the plant is shipped with a wire basket that does not meet the requirements of a "Low Rise" basket, remove the top 6 - 8 inches of the basket wires just before the final backfilling of the tree.
3. Earth root balls shall be kept intact except for any modifications required by the Owner's Representative to make root package comply with the requirement in Part 2 Products
- C. SPADE HARVESTED AND TRANSPLANTED PLANTS
1. After installing the tree, loosen the soil along the space between the root ball and the surrounding soil out to a radius from the root ball edge equal to the diameter of the root ball to a depth of 6 - 10 inches by hand digging to disturb the soil interface.
2. Fill any gaps below this level with loose soil.
- D. CONTAINER (INCLUDES BOXED AND ABOVE-GROUND FABRIC CONTAINERS) PLANTS
1. This specification assumes that most container plants have significant stem girdling and circling roots, and that the root collar is too low in the root ball.
2. Remove the container.
3. Perform root ball shaving as defined in Installation of Plants: General above.
4. Remove all roots and substrate above the root collar and the main structural roots according to root correction details so root system conforms to root observations detail.
5. Remove all substrate at the bottom of the root ball that does not contain roots.
6. Using a hose, power washer or air excavation device, wash out the substrate from around the trunk and top of the remaining root ball and find and remove all stem girdling roots within the root ball above the top of the structural roots.
- E. BARE ROOT PLANTS
1. Dig the planting hole to the diameter of the spread of the roots to a depth in the center that maintains the root collar at the elevation of the surrounding finished grade and slightly deeper along the edges of the hole.
2. Spread all roots out radial to the trunk in the prepared hole making the hole wider where needed to accommodate long roots. Root tips shall be directed away from the trunk. Prune any broken roots removing the least amount of spread possible.
3. Maintain the trunk plumb while backfilling soil around the roots.
4. Lightly tamp the soil around the roots to eliminate voids and reduce settlement.

3.9 GROUND COVER, PERENNIAL AND ANNUAL PLANTS

- A. Assume that soil moisture is within the required levels prior to planting. Irrigation, if required, shall be applied at least 12 hours prior to planting to avoid planting in muddy soils.
- B. Assume that soil grades in the beds are smooth and as shown on the plans.
- C. Plants shall be planted in even, triangularly spaced rows, at the intervals called out for on the drawings, unless otherwise noted. The first row of Annual flower plants shall be 6 inches from the bed edge unless otherwise directed.
- D. Dig planting holes sufficiently large enough to insert the root system without deforming the roots. Set the top of the root system at the grade of the soil.
- E. Schedule the planting to occur prior to application of the mulch. If the bed is already mulched, pull the mulch from around the hole and plant into the soil. Do not plant the root system in the mulch. Pull mulch back so it is not on the root ball surface.
- F. Press soil to bring the root system in contact with the soil.
- G. Spread any excess soil around in the spaces between plants.
- H. Apply mulch to the bed being sure to cover the tops of the plants with or the tops of the root ball with mulch.
- I. Water each planting area as soon as the planting is completed. Apply additional water to keep the soil moisture at the required levels. Do not over water.

3.10 PALM PLANTING

- A. Palm trees shall be placed at grade marking sure not to plant the tree any deeper in the ground than the palm trees originally stood.
- B. The trees shall be placed with their vertical axis in a plumb position.
- C. All backfill shall be native soil except in cases where planting in rock. Water-settle the back fill.
- D. Do not cover root ball with mulch or topsoil.
- E. Provide a watering berm at each palm. Berms shall extend a minimum of 18 inches out from the trunk all around and shall be a minimum of (6) inches high.
- F. Remove wire which ties fronds together after placing plants in planting hole and securing it in the upright position.

3.11 STAKING AND GUYING

- A. Do not stake or guy trees unless specifically required by the Contract Documents, or in the event that the Contractor feels that staking is the only alternative way to keep particular trees plumb.
- B. The Owner's Representative shall have the authority to require that trees are staked or to reject staking as an alternative way to stabilize the tree.
- C. Trees that required heavily root-fied root balls to meet the root quality standards may become unstable. The Owner's Representative may choose to reject these trees rather than ultra staking to temporarily support the tree.
- D. Trees that are guyed shall have their guy wires and stakes removed after one full growing season or at other times as required by the Owner's Representative.
- E. Tree guying shall utilize the tree staking and guying material's specified. Guying to be tied in such a manner as to create a minimum 12-inch loop to prevent girdling. Refer to manufacturer's recommendations and the planting detail for installation.
1. Plants shall stand plumb after staking or guying.
2. Stakes shall be driven to sufficient depth to hold the tree rigid.
- D. For trees planted in planting mix over waterproofed membrane, use dead men buried 24 inches to the top of the dead man in the soil. Tie the guy to the dead man with a double wrap of line around the dead man followed by a double half hitch. When guys are removed, leave the dead men in place and cut the guy tape 12 inches above the ground, leaving the tape end covered in mulch.

3.12 STRAIGHTENING PLANTS

- A. Maintain all plants in a plumb position throughout the warranty period. Straighten all trees that move out of plumb including those not staked. Plants to be straightened shall be excavated and the root ball moved to a plumb position, and then re-backfilled.
- B. Do not straighten plants by pulling the trunk with guys.

3.13 INSTALLATION OF FERTILIZER AND OTHER CHEMICAL ADDITIVES

- A. Do not apply any soluble fertilizer to plantings during the first year after transplanting unless soil test determines that fertilizer or other chemical additives is required. Apply chemical additives only upon the approval of the Owner's Representative.
- B. Controlled release fertilizers shall be applied according to the manufacturer's instructions and standard horticultural practices.

3.14 PRUNING OF TREES AND SHRUBS

- A. Prune plants as directed by the Owner's Representative. Pruning trees shall be limited to addressing structural defects as shown in details, follow recommendations in "Structural Pruning: A Guide For The Green Industry" published by Urban Tree Foundation, Vista CA.
- B. All pruning shall be performed by a person experienced in structural tree pruning.
- C. Except for plants specified as multi-stemmed or as otherwise instructed by the Owner's Representative, preserve or create a central leader.
- D. Pruning of large trees shall be done using power pruners or, if needed, from a ladder or hydraulic lift to gain access to the top of the tree. Do not climb in newly planted trees. Small trees can be structurally pruned by laying them down before planting. Pruning may also be performed at the nursery prior to shipping.
- E. Remove and replace excessively pruned or malformed stock resulting from improper pruning that occurred in the nursery or after.
- F. Pruning shall be done with clean, sharp tools.
- G. No tree paint or sealants shall be used.

3.15 MULCHING OF PLANTS

- A. Apply 3 inches of mulch before settlement, covering the entire planting bed area. Install no more than 1 inch of mulch over the top of the root balls of all plants. Taper to 2 inches when abutting pavement.
- B. For trees planted in lawn areas the mulch shall extend to a 5 foot radius around the tree or to the extent indicated on the plans.
- C. Lift all leaves, low hanging stems and other green portions of small plants out of the mulch if covered.

3.16 PLANTING BED FINISHING

- A. After planting, smooth out all grades between plants before mulching.
- B. Separate the edges of planting beds and lawn areas with a smooth, formed edge cut into the turf with the bed mulch level slightly lower, 1 and 2 inches, than the adjacent turf soil or as directed by the Owner's Representative. Bed edge loss shall be depicted on the drawings.

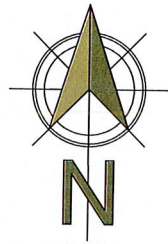
3.17 WATERING

- A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of Substantial Completion Acceptance. The Contractor shall adjust the automatic irrigation system, if available, and apply additional or adjust for less water using hoses as required.
- B. Hand water root balls of all plants to assure that the root balls have moisture above wilt point and below field capacity. Test the moisture content in each root ball and the soil outside the root ball to determine the water content.

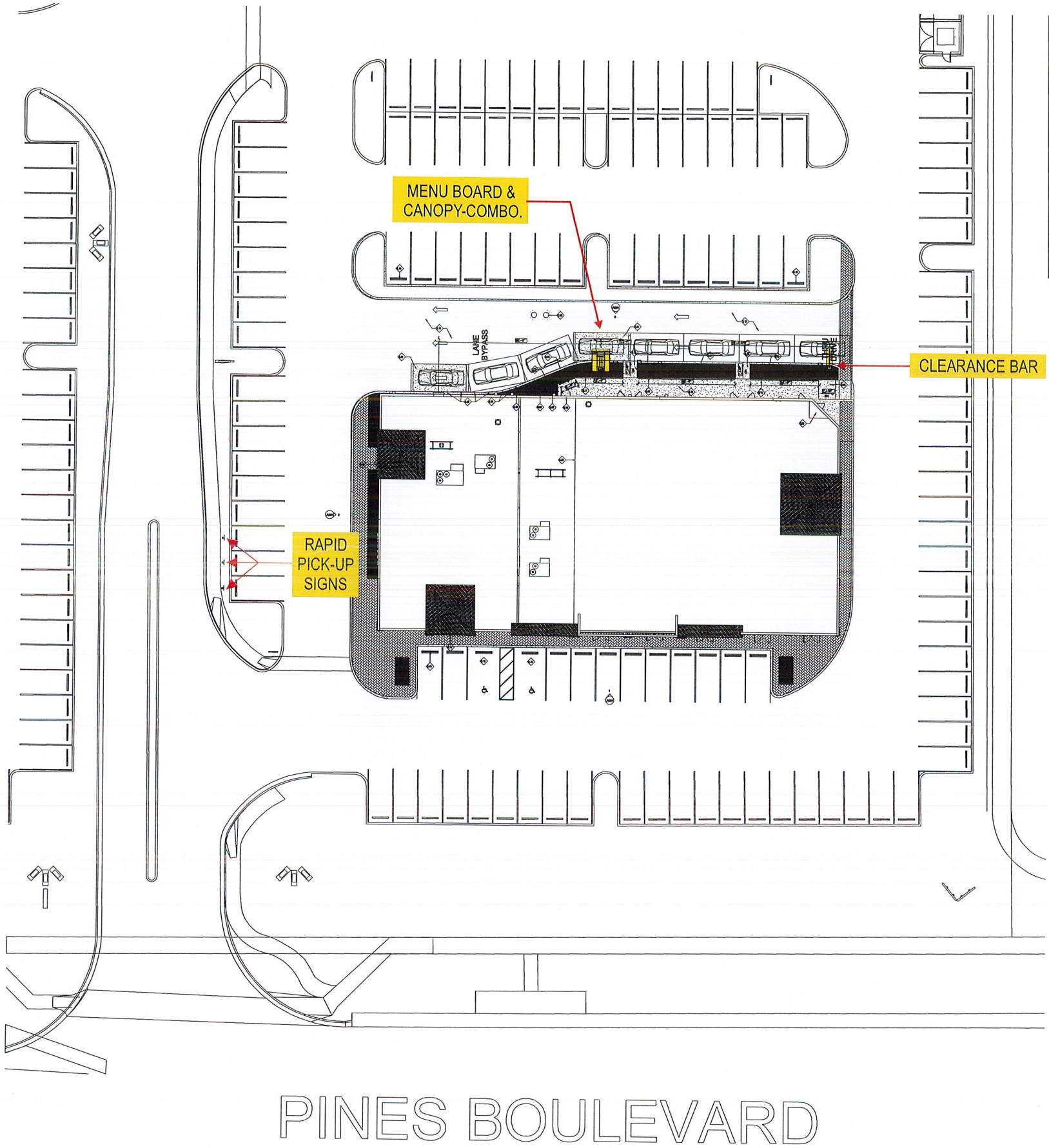
3.18 CLEAN-UP

- A. During installation, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than once a week.
- 1.





SITE PLAN: NOT TO SCALE



SINCE 1917

ARTWORK EXCLUSIVE PROPERTY OF

**MANDEVILLE SIGN**  
making your mark.

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799

WEB www.mandevillesign.com

APPROVALS	
Signatures Required Before Release to Production	
Engineering	
BY	DATE
Sales	
BY	DATE
Estimating	
BY	DATE
Production	
BY	DATE
Quality Control	
BY	DATE

REVISIONS			
NO.	BY	DESCRIPTION	DATE
1	XX	XXXXXXXXXX	00/00/00
2			
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4			
5			
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7			
8			
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10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

WORK ORDER # 00841.1



CUSTOMER

4718

STORE NUMBER

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

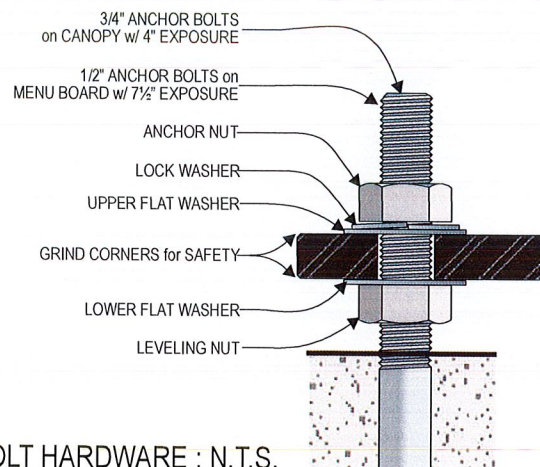
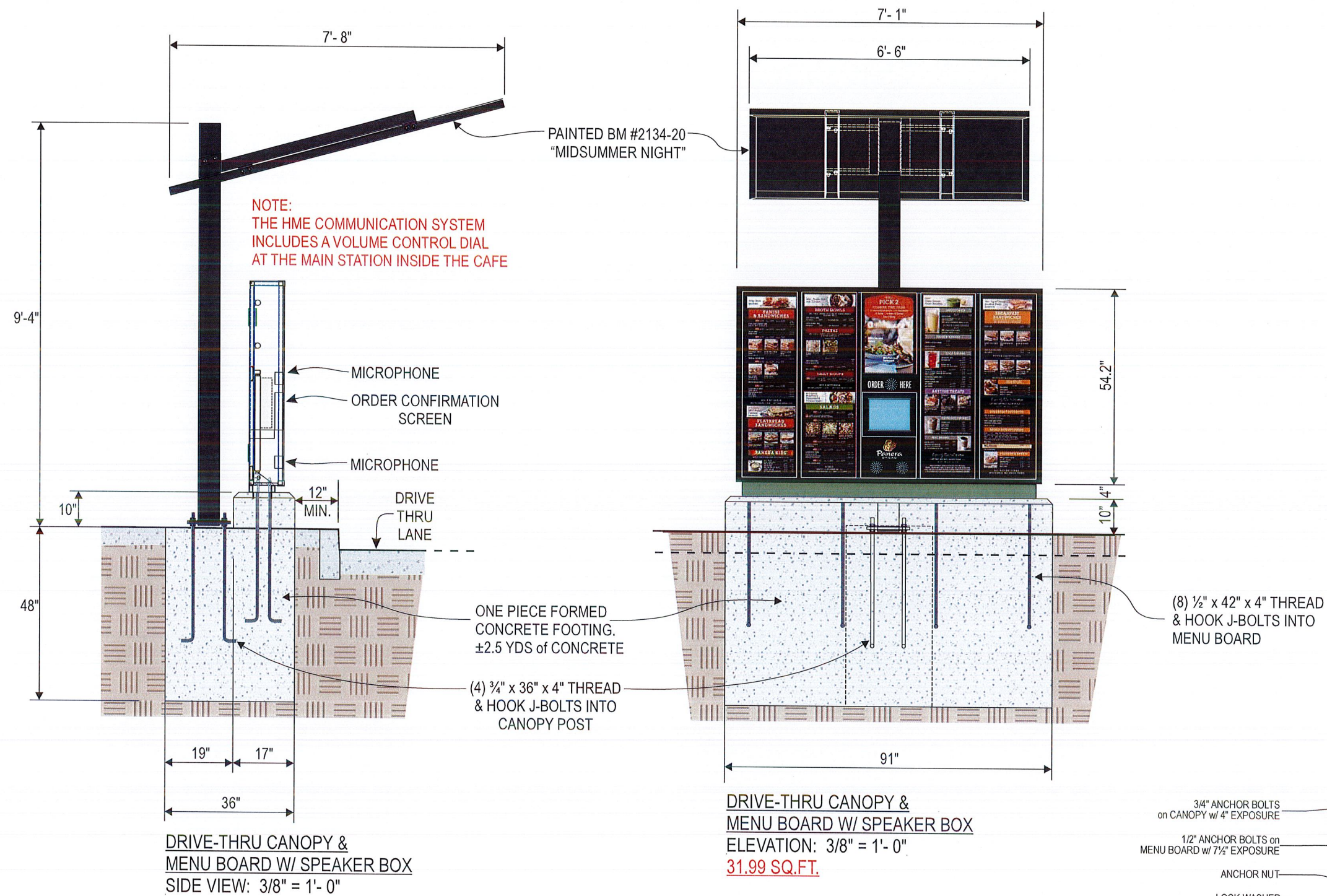
PROJECT MANAGER Jim M.

JM	05/13/19
ARTIST	DATE

00841.5

DRAWING NAME





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#### APPROVALS

Signatures Required Before Release to Production

Engineering	
BY	DATE
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BY	DATE
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BY	DATE
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BY	DATE
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BY	DATE

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#### REVISIONS

NO.	BY	DESCRIPTION	DATE
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All electrical signs shall comply with the National  
Electric Code (Article 600) and be manufactured  
according to Underwriters Laboratories U.L. 48  
standards and labeled accordingly.

00841.1

WORK ORDER #



CUSTOMER

4718

STORE NUMBER

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

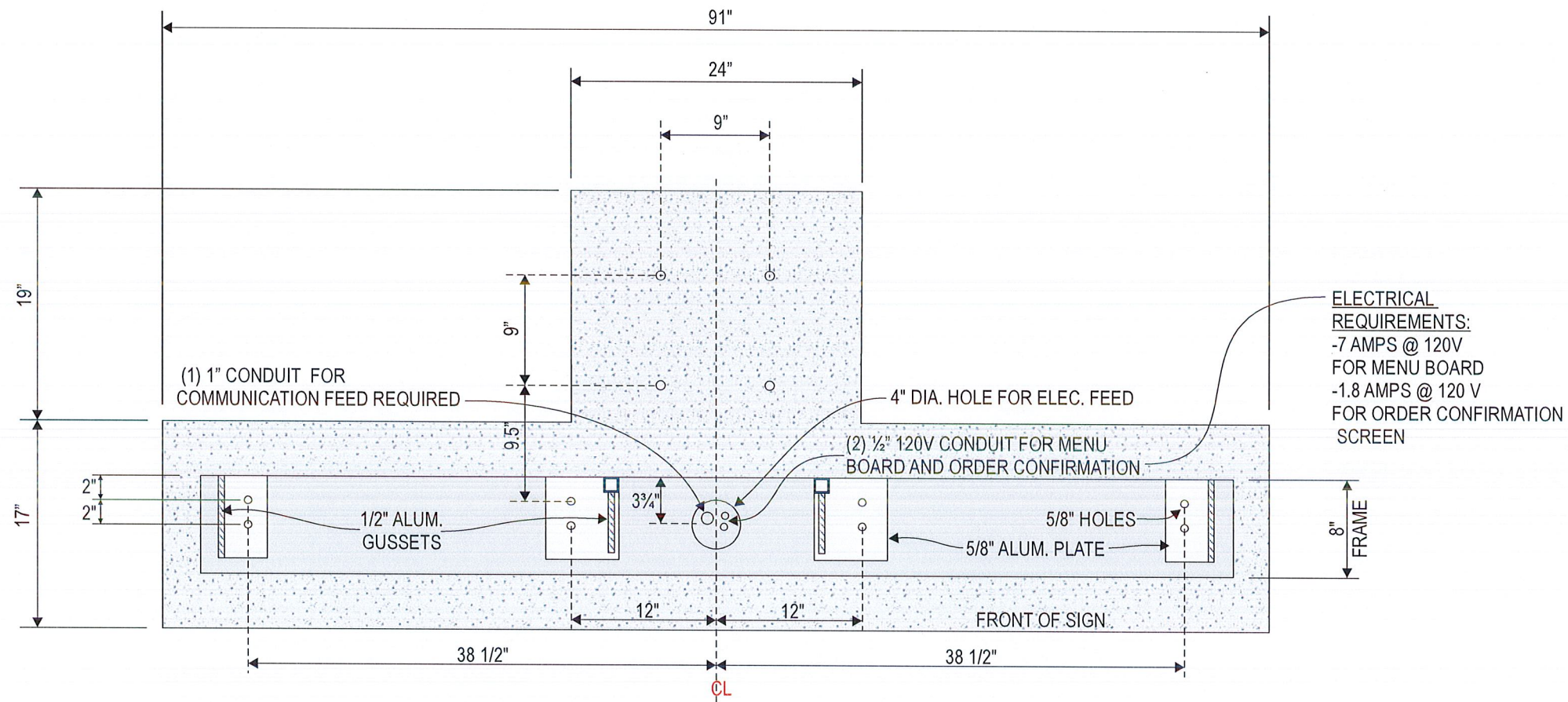
PROJECT MANAGER Jim M.

JM 05/13/19  
ARTIST DATE

00841.6

DRAWING NAME





ELECTRICAL REQUIREMENTS:  
 -7 AMPS @ 120V FOR MENU BOARD  
 -1.8 AMPS @ 120 V FOR ORDER CONFIRMATION SCREEN

FRAME MOUNTING PLATE DETAILS- PLAN VIEW  
 SCALE - 1" = 1'-0"

MENU BOARD BOLTS: (8) 1/2" x 42" LONG ANCHOR BOLTS with 4" THREAD AND HOOK, 7" EXPOSED ABOVE CONCRETE

CANOPY BOLTS:.....(4) 3/4" x 36" LONG ANCHOR BOLTS with 4" THREAD AND HOOK, 4" EXPOSED ABOVE CONCRETE

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WORK ORDER # 00841.1



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STORE NUMBER 4718

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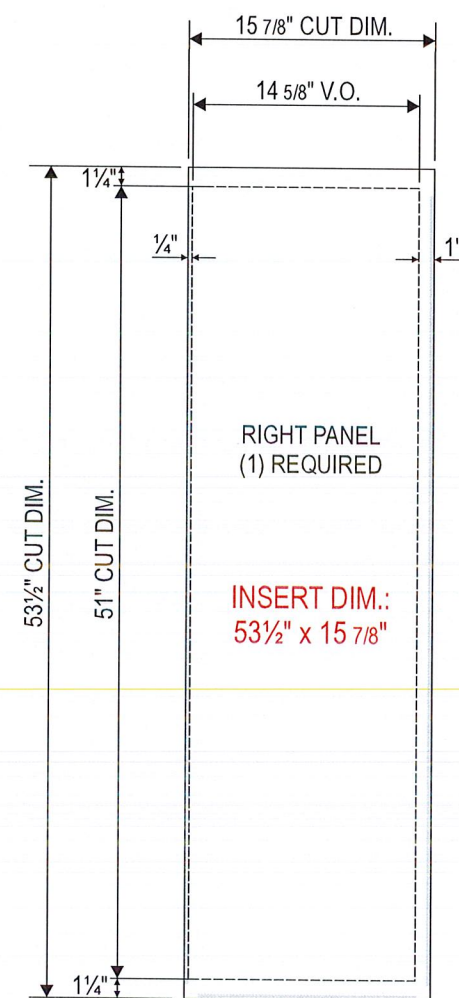
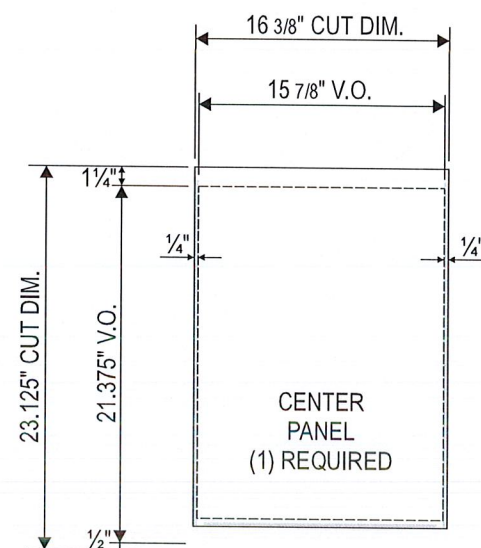
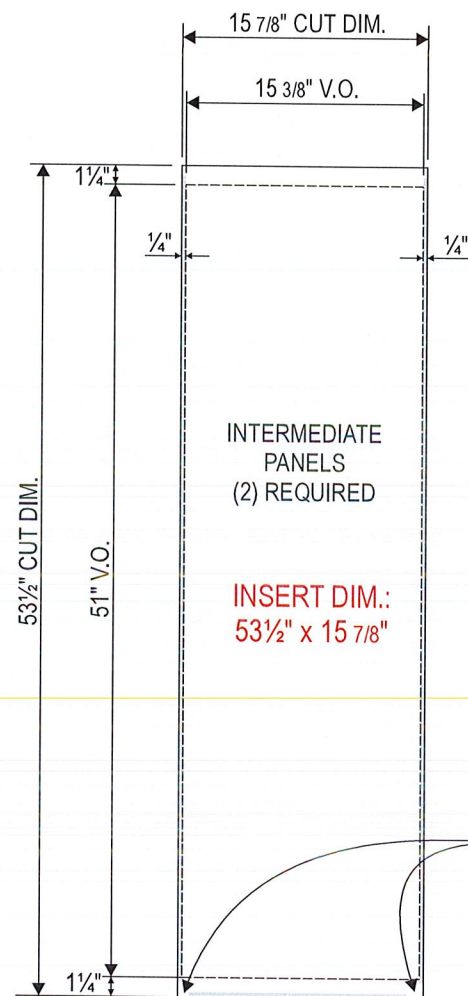
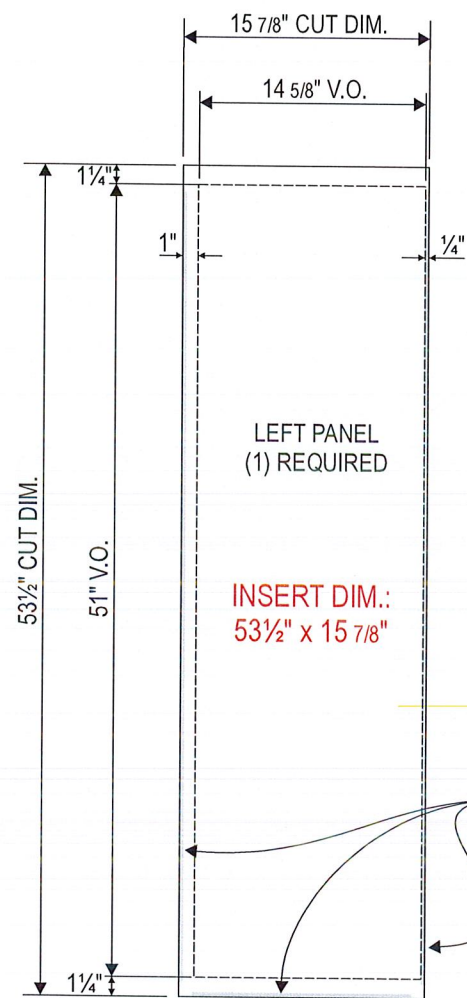
LOCATION

PROJECT MANAGER Jim M.

JM 05/13/19  
 ARTIST DATE

DRAWING NAME 00841.7





1/4" WIDE X 1/16" THICK  
BLACK VHB TAPE, SIDES  
& BOTTOM ONLY (TYPICAL).

NO TAPE AT CORNERS

CLEAR LEXAN MENU SIGN FACES  
SCALE - 1" = 1'-0"

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Production	BY	DATE
Quality Control	BY	DATE

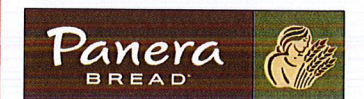
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WORK ORDER # 00841.1



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STORE NUMBER 4718

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Pembroke Pines, FL 33026

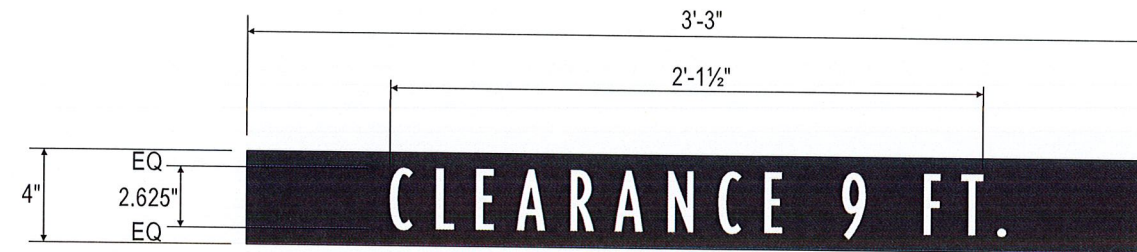
LOCATION

PROJECT MANAGER Jim M.

JM	05/13/19
ARTIST	DATE

00841.8  
DRAWING NAME

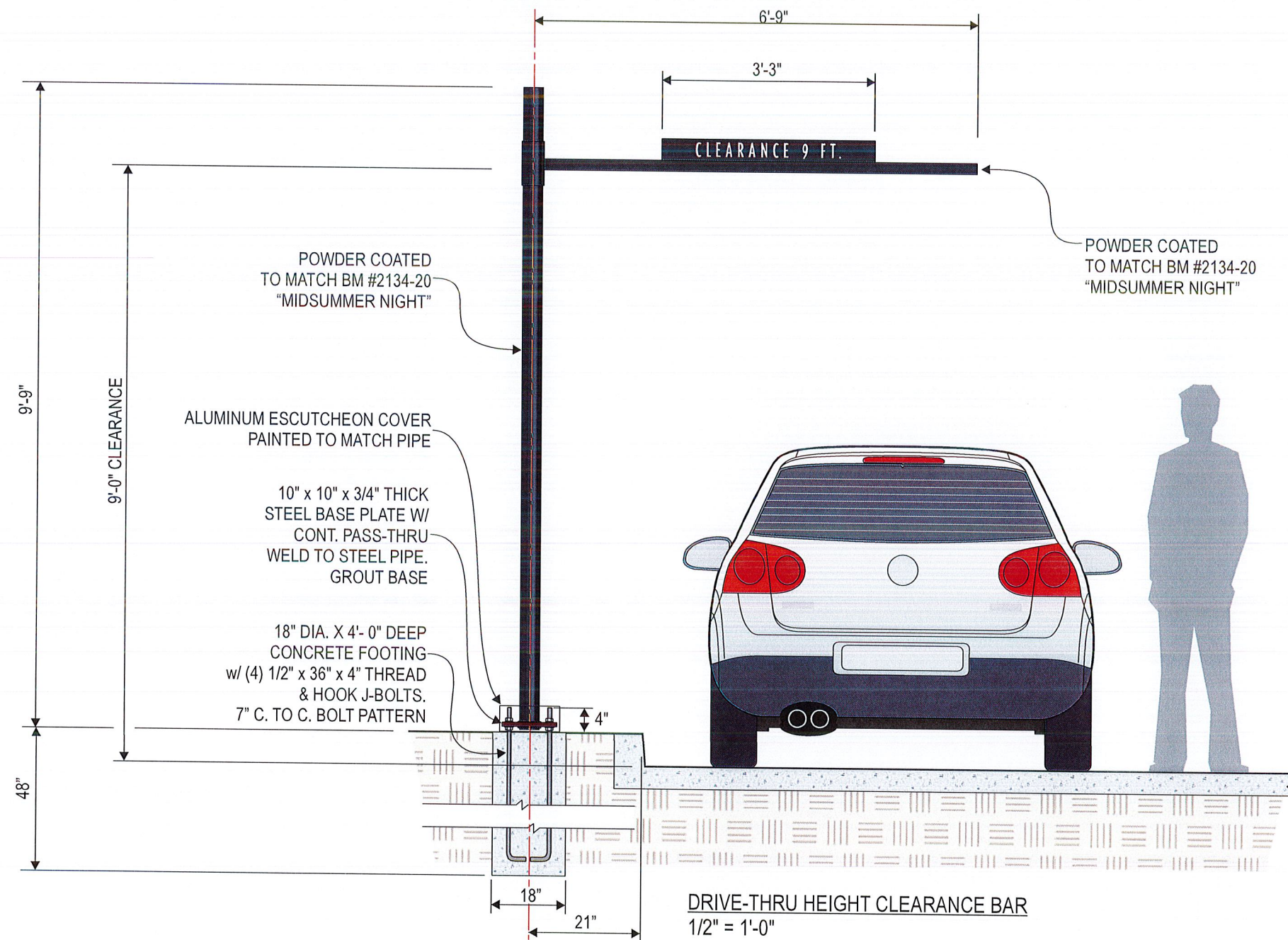




TYPE FONT: TRIPLEX CONDENSED REGULAR, 20% LETTER SPACING

CLEARANCE BAR SIGN

1 1/2" = 1'-0"



DRIVE-THRU HEIGHT CLEARANCE BAR

1/2" = 1'-0"

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STORE NUMBER 4718

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

PROJECT MANAGER Jim M.

JM 05/13/19  
ARTIST DATE

DRAWING NAME 00841.9



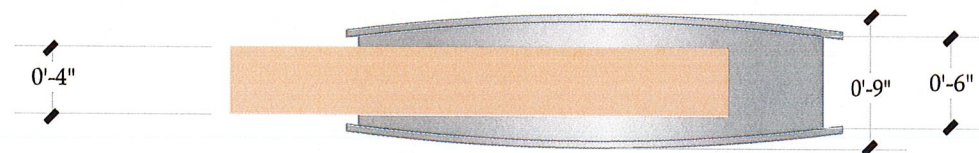
- A ICI 440 Pavilion Peach  
OUTDOOR BUILDING
- B ICI 437 Venice Star  
OUTDOOR BUILDING
- C ICI 478 Golden Wheat  
OUTDOOR BUILDING
- D ICI 178 Agate Rose  
OUTDOOR BUILDING
- E ICI 1016 White on White
- G PPG GM 12 Channel Letter Casing
- H PPG GM 03 Channel Back Plate
- I PPG GM 1 Line Work
- J White Santoglass #7728 acrylic
- K ICI 146 Frosted Grey  
METAL CANOPY
- L PROCESS BLACK C Translucent Vinyl

## Design Data

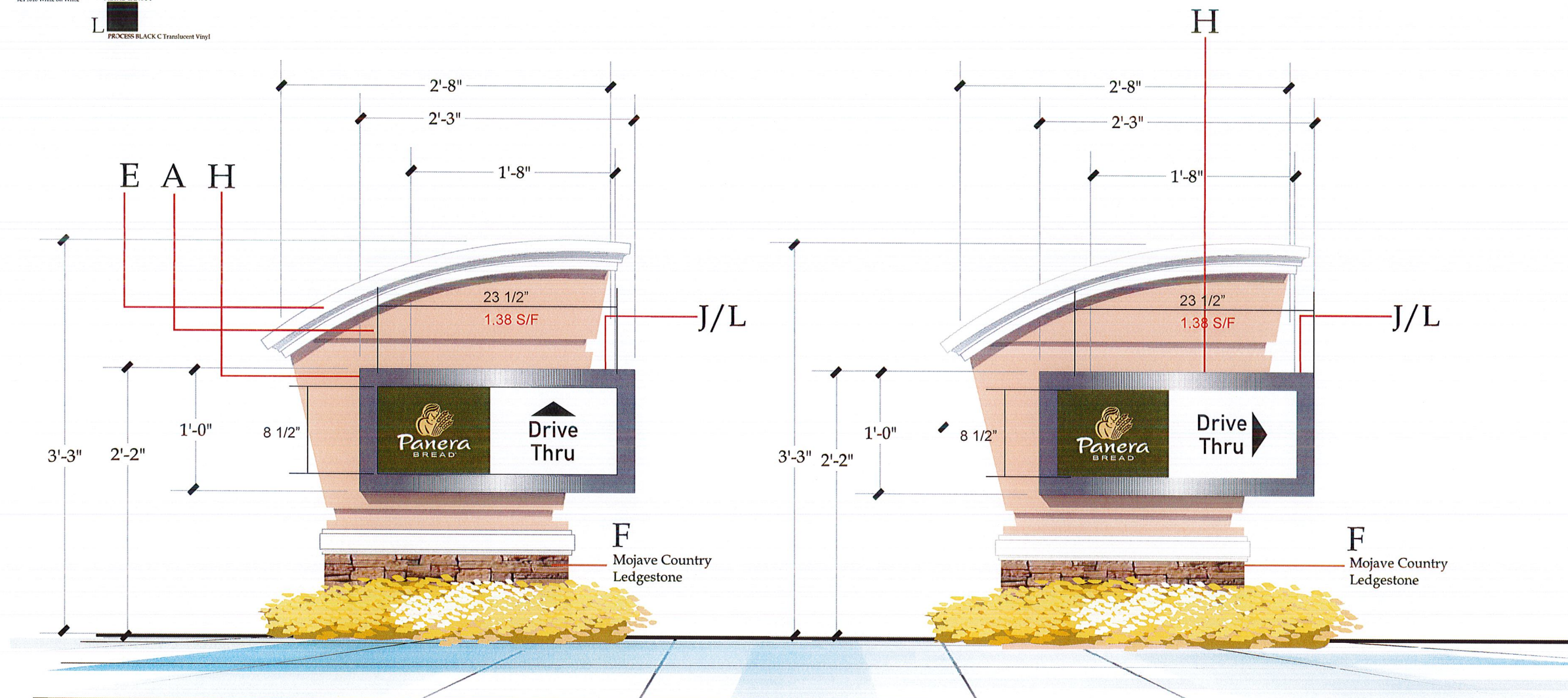
Allowable Graphic area square footage @ 1.5 Sq ft  
Pharmacy Drive Thru with directional arrow @ 1.07 sq ft  
Bank Drive Thru with directional arrow @ 1.07 sq ft  
ATM with directional arrow @ 0.50 sq ft  
Proposed: Internal Illumination with decorative  
ground lighting

## Lighting Data

All lettering / directional arrows routed from  
aluminum face with white acrylic back within.  
Internal fluorescent or LED illumination.  
Background opaque.



## Directional / Plan View



## Drive Thru Directional Sign

SCALE: 1=1-0

REPLACEMENT FACES FOR  
EXISTING INTERNALLY ILLUMINATED  
DIRECTIONAL SIGNS:

- .090 ALUMINUM FACES
- PANTONE 5757 CP OPAQUE GREEN FIELD/BACKGROUND
- STENCIL CUT COPY
- COLORS AS SHOWN: BLACK, WHITE & PANTONE 7403 CP PEACH  
WITH PANTONE 476 CP DETAILS

COPY AREA: 1.38 S/F

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Quality Control	BY	DATE

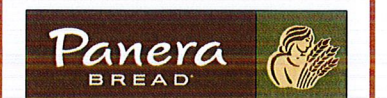
PDF NAME

## REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	updated d/t graphics	05/20/19
2	JM	updated sign layouts	06/03/19
3			
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WORK ORDER # 00841.1



CUSTOMER

STORE NUMBER 4718

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

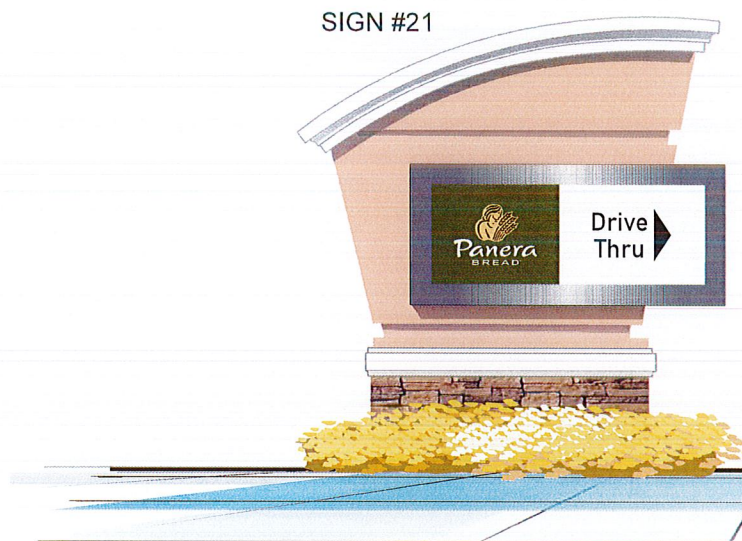
PROJECT MANAGER Jim M.

JM 05/13/19  
ARTIST DATE

00841.10

DRAWING NAME





SIGN #21



SIGN #25



SIGN #23

Drive Thru Directional Sign

SCALE: 3/4" = 1'-0"



SIGN #22



SIGN #24

Drive Thru Directional Sign

SCALE: 3/4" = 1'-0"

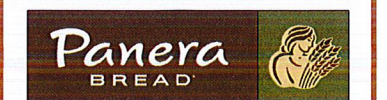
APPROVALS	
<i>Signatures Required Before Release to Production</i>	
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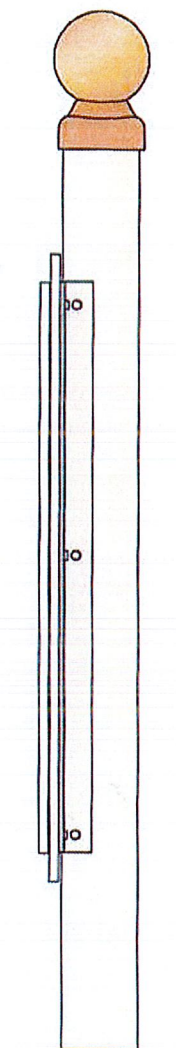
LOCATION

PROJECT MANAGER Jim M.

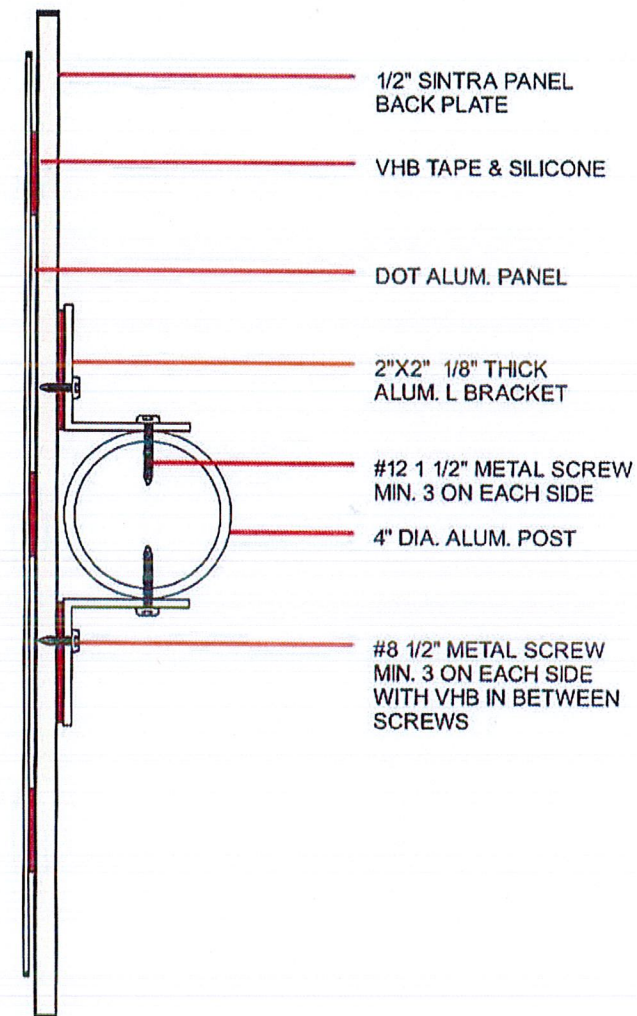
JM	05/13/19
ARTIST	DATE

DRAWING NAME 00841.10





### MOUNTING DETAIL SECTION



POLES TO BE 4" DIA ALUMINUM PAINTED TWO PARTS ICI 440 PAVILLION PEACH  
ON TOP SECTION AND ICI 437 VENUS STAR ON 2' LOWER SECTION  
BALL FINIALS PAINTED MP 30133 BRILLIANT GOLD  
SCREWS AND HARWARE PAINTED ICI 440 PAVILLION PEACH.

N:



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## APPROVALS

**Signatures Required Before Release to Production**

Engineering

BY \_\_\_\_\_ DATE \_\_\_\_\_

DATE	DESCRIPTION	AMOUNT
	Sales	

BY \_\_\_\_\_ DATE \_\_\_\_\_

DATE \_\_\_\_\_  
**Estimating**

RV \_\_\_\_\_ DATE \_\_\_\_\_

BY \_\_\_\_\_ DATE \_\_\_\_\_  
Production \_\_\_\_\_

BY \_\_\_\_\_ DATE \_\_\_\_\_

BY	DATE
Quality Control	

## Quality Control

BY	DATE

*Journal of Management Inquiry*, Vol. 19 No. 1, March 2010  
DOI: 10.1177/1056492609358000  
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## REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	updated RPU signs	06/04/19
2			
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11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

PROJECT MANAGER Jim M.

	JM	05/13/19
	ARTIST	DATE

00841.11

DRAWING NAME