



**City of Pembroke Pines**  
**Planning & Economic Development Department**  
**601 City Center Way 3<sup>rd</sup> Floor**  
**Pembroke Pines FL, 33025**

## Summary

<b>Agenda Date:</b>	June 27, 2019	<b>Application ID:</b>	MSC 2019-10
<b>Project:</b>	Panera Bread Tenant Modifications	<b>Project Number:</b>	N/A
<b>Project Planner:</b>	Cole Williams, Planner / Zoning Technician		
<b>Owner:</b>	Pembroke Lakes Square, LLC c/o Retail Property Group, Inc.	<b>Agent:</b>	Phillips   Sekanick Architects, inc.
<b>Location:</b>	11025 Pines Boulevard		
<b>Existing Zoning:</b>	B-3 (General Business)	<b>Existing Land Use:</b>	Commercial
<b>Reference Applications:</b>	MSC 2018-18, SP 2012-08, MSC 2007-66, MSC 2006-48, SP 2005-06 ZC 2005-02, ZC 2001-02, SUB 2001-01		
<b>Applicant Request:</b>	Modifications to the existing drive-thru lane and canopy, existing store front, and the existing outdoor seating area		
<b>Staff Recommendation:</b>	<b>Approval</b>		
<b>Final:</b>	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
<b>Reviewed for the Agenda:</b>	Director: 	Planning Administrator: 	

## Project Description / Background

---

Philips | Sekanick Architects Inc, agent, is requesting approval for site and building modifications to building 500 of Pembroke Lakes Square shopping center, generally located on the northeast corner of Pines Boulevard and Hiatus Road. Panera Bread currently operates within building 400 of Pembroke Lakes Square.

Panera Bread plans to relocate to the western end of building 500. The relocation will allow Panera Bread to utilize an existing drive-thru area on the north side of the building. The tenant space and drive-thru at building 500 was originally designed for a bank use but no bank tenant ever occupied the building. The subject tenant bay was previously occupied by Burger & Beer Joint who chose not to utilize the drive-thru area.

Pembroke Lakes Square was approved through site plan SP (2005-06). Modifications were made to the site with 2006 (elevation changes), 2007 (general site modifications), 2012 (addition of outdoor dining), and in 2018 (modifications to building 100).

### **BUILDINGS / STRUCTURES:**

As result of the proposed conversion, the applicant proposes the following work to the drive-thru area:

- Convert the existing three drive thru lanes south of the building to one, the other two lanes will be converted to a single escape lane. Additionally, the existing drive-thru lane dividers will be removed. Pavement markings and traffic signage will be provided accordingly for vehicular circulation.
- Addition of a 6' wide landscaped area adjacent to the existing 7' sidewalk along the back of building 500. In total 13' of separation will be provided between the drive-thru lane and the back of the building. A silver 3' tall aluminum railing will be placed between the existing sidewalk and landscape area to protect the landscape material.
- Addition of a 9' 4" tall canopy to cover the proposed menu board. The canopy will be painted BM #2134-20 "Midsummer Night"
- Installation of a 9' 9" clearance bar painted to match the menu board canopy.
- In total 5 inbound and 3 outbound spaces will be provided.
- Installation of 3 short-term parking spaces.
- Removal of the existing drive-thru canopy, to be replaced with a 20' x 6' silver aluminum canopy to match the rest of the center. The building will patched and painted to match the existing colors of the building (SW 6408 Wheat Grass)

Additionally, the application proposed the following changes to the outdoor dining area and storefront:

- Installation of a 3' black rail to enclosure the existing outdoor dining area.
- Removal of overhead door under the outdoor dining area, to be replaced with storefront to match the rest of the center.
- Removal of the easternmost entryway, to be replaced with storefront to match the rest of the center.

## **SIGNAGE:**

The applicant proposes the following signage as a result of this application:

- One 5'-8" tall, 32 square foot menu board to be located in the rear of building 500.
- Wall and directional signage is regulated by the shopping center's uniform sign plan and will be approved through the building permit process.

## **LANDSCAPING:**

The applicant is proposing the following material for the landscape area adjacent to the drive-thru lane:

- Row 1: Dwarf Clusia
- Row 2: Mammy Croton
- Row 3: Podocarpus.

No other site modifications are being proposed at this time.

**Staff has reviewed the proposed changes and find that the proposed changes meet code requirements. Staff therefore recommends approval of this application.**

**Enclosed:**

Miscellaneous Plan Application  
Memo from Planning Division, (6/4/19)  
Memo from Zoning Administrator, (6/4/19)  
Memo from Planning Division, (5/30/19)  
Memo from Zoning Administrator, (5/30/19)  
Memo from Engineering Division (5/29/19)  
Memo from Engineering Division (5/13/19)  
Memo from Zoning Administrator, (5/8/19)  
Memo from Landscape Division (5/7/19)  
Memo from Fire Prevention Bureau (5/7/19)  
Memo from Planning Division, (5/1/19)  
Miscellaneous Plan  
Site Aerials



# City of Pembroke Pines

## Planning and Economic Development Department

### Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppinies.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: \_\_\_\_\_

# Plans for DRC \_\_\_\_\_ Planner: \_\_\_\_\_

Indicate the type of application you are applying for:

- Appeal\*
- Comprehensive Plan Amendment
- Delegation Request
- DRI\*
- DRI Amendment (NOPOC)\*
- Flexibility Allocation
- Interpretation\*
- Land Use Plan Map Amendment\*
- Miscellaneous
- Plat\*
- Sign Plan
- Site Plan\*
- Site Plan Amendment\*
- Special Exception\*
- Variance (Homeowner Residential)
- Variance (Multifamily, Non-residential)\*
- Zoning Change (Map or PUD)\*
- Zoning Change (Text)
- Zoning Exception\*
- Deed Restriction

#### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: Cole Project #: PRJ 20 n/a Application #: MSC 2019-10

Date Submitted: 04/29/19 Posted Signs Required: (n/a) Fees: \$ 1,006

## SECTION 1-PROJECT INFORMATION:

Project Name: Panera Bread Drive Thru

Project Address: 11025 Pines Boulevard Pembroke Pines, Florida 33026

Location / Shopping Center: Pembroke Lakes Square NE corner of Pines Boulevard and Hiatus Road

Acreage of Property: 26.6377 Building Square Feet: 13,865

Flexibility Zone: 106 Folio Number(s): 514118260010

Plat Name: Pines-Hiatus Traffic Analysis Zone (TAZ):

### Legal Description:

PINES-HIATUS PLAT 173-110 B PARCEL A LESS:COMM NW COR PAR A S 159.26,E 12 TO POB, E 237.71,N 160.98,E 272.68,SEL Y 38.33,E 252.34,SEL Y 57.13,E 2.10,S 148.32,W 9.99,S 526.82,W 267.91,WLY 26.93,WLY 26.93,W 237.06,N 491.11,W 237.06,N 80 TO POB LESS PORS DESC IN OR 43057/852 TOG WITH A POR OF R/W DESC IN RES 44925/202 & LESS POR DESC IN OR 46763/678 & LESS HIATUS RD R/W VAC

Has this project been previously submitted? Yes  No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Pembroke Lakes Square, LLC c/o Retail Property Group, Inc.

Owner's Address: 101 Plaza Real South, Suite 200 Boca Raton, FL 33432

Owner's Email Address: Lcarosella@rpg123.com & Jcarosella@rpg123.com

Owner's Phone: Cell 954-873-4597      Owner's Fax: 561-961-1744

Agent: Phillips | Sekanick Architects, inc.

Contact Person: Mr. Kim Phillips

Agent's Address: 142 East Market Street, Warren, Ohio 44481

Agent's Email Address: kim@PSAOH.com

Agent's Phone: 330-395-9518      Agent's Fax: 330-395-4296

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.* The owner hereby requests in writing that all staff and city comments emailed to agent are also emailed to the above two owners in the same email at the same time.

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: B-3

Land Use / Density: Commercial

Use: commercial

Plat Name: Pines-Hiatus

Plat Restrictive Note: 256,814 Sq.ft

### PROPOSED

Zoning: B-3

Land Use / Density: Commercial

Use: Commercial

Plat Name: Pines-Hiatus

Plat Restrictive Note: 256,814. ft

### ADJACENT ZONING

North: A-1 (Church), R-4

South: B-2

East: R-4

West: B-3

### ADJACENT LAND USE PLAN

North: LM

South: C

East: LM

West: C

*-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only.*

## SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One):  Variance  Zoning Appeal  Interpretation

Related Applications: N/A

Code Section: \_\_\_\_\_

Required: \_\_\_\_\_

Request: \_\_\_\_\_

#### Details of Variance, Zoning Appeal, Interpretation Request:

## SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

City Amendment Only

City and County Amendment

Existing City Land Use: N/A

**Requested City Land Use:**

#### Existing County Land Use:

**Requested County Land Use:**

**SECTION 6 - DESCRIPTION OF PROJECT** (attach additional pages if necessary)  
**AS OUTLINED WITHIN THE ATTACHED PLANS**

The intent of this project is to convert the former B & B Restaurant into a new location for a Panera Bread fast casual drive thru restaurant. The current space prior to the B & B Restaurant contained a bank drive thru facility and therefore was formerly approved and built to contain drive thru lanes, window, etc. This project envisions the reopening of the former drive thru element with certain adjustments to adapt to the new use. The current drive thru area contains three lanes along the entirety of the rear (north) wall of the multi-tenant retail building (11025 Pines Boulevard) with the subject restaurant space located on the west end of the retail building. We propose to eliminate one drive lane directly adjoining the rear building wall to allow safe and convenient access to and from all tenant service doors via expanded concrete sidewalk, establish a landscape buffer, and provide space for restaurant associated menu boards. Construction further envisions the removal and replacement of the existing drive thru canopy to allow for delivery truck access. The replacement canopy shall be constructed to match the suspended metal canopies existing on the remainder of the retail building. With the exception interior build out activities to convert the existing space, the intent is to maintain the exterior walls in their current arrangement including the existing current covered patio with minor modifications to the existing storefront window system & the addition of a new decorative patio railing system to confine patron seating to the usable patio area and prevent seating migration into any public pedestrian sidewalk areas.

## SECTION 7- PROJECT AUTHORIZATION

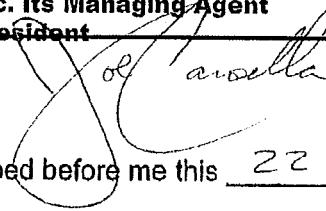
### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.  
**Pembroke Lakes Square, LLC a FL Limited Liability Company Out Parcel Bldgs**

By:RPG Holdings, Inc. Its Managing Agent

By:Joe Carosella, President

Signature of Owner



Date

3/22/19

Sworn and Subscribed before me this 22 day  
of March, 2019



Fee Paid

Signature of Notary Public

My Commission Expires

10/30/19

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of Agent

3/22/19

Date

Sworn and Subscribed before me this 22 day

of March, 2019

Fee Paid

Signature of Notary Public

May 1, 2020  
My Commission Expires



KAYE M. HADZIGEORGE  
NOTARY PUBLIC-OHIO  
MY COMMISSION EXPIRES  
MAY 18, 2020

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** June 4, 2019

**To:** MSC 2019-10 file

**From:** Cole Williams, Planner / Zoning Technician

**Re:** Panera Bread

---

**Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:**

**ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN SATISFIED**

MEMORANDUM

June 4, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

---

All of my comments regarding the above Miscellaneous Plan have been satisfied.

## PLANNING DIVISION STAFF COMMENTS

### Memorandum:

**Date:** May 30, 2019

**To:** MSC 2019-10 file

**From:** Cole Williams, Planner / Zoning Technician

**Re:** Panera Bread

---

### Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Clarify if any other changes are being made to the site. (paint, lighting, etc...)
2. Provide details of menu board and canopy over the menu board. One menu board is permitted by code. Menu board sign area shall not exceed 32 square feet. Provide height and color of the menu board canopy. **Sheet 00841.1 and A201 shows a preview board. Please remove.**
3. Provide details of directional signage. Signage to not exceed 1.5 square feet. **The copy on the signage cannot exceed 1.5 square feet. Directional Signage #21 and #25 is not existing and would not be permitted unless other directional signs on site are removed.**
4. **Clarify design data on sheet 00841.10 does not appear to apply entirely to this project.**
5. **Clarify if the directional signs will have up lighting installed.**
6. **Provide color of the new drive thru canopy.**
7. **Provide details of materials to be used on the storefront**
8. **Note on the plans the color of the wall where the canopy is being removed.**
9. **Wall signage is regulated by a uniform sign plan. Remove wall signage from the package.**
10. **Provide color chips for all paint to be used.**

MEMORANDUM

May 30, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

---

The following are my remaining comments regarding the above Miscellaneous Plan:

1. ~~Provide elevations, with all details, dimensions, etc. of menu board, ordering equipment, canopy and clearance bar. No~~
2. ~~Only one menu board allowed.~~  
**Pre-Menu Board removed on some plans, but still shown on sheets that show rear elevation of building.**
3. ~~Will there be any directional signs (e.g. Drive Thru w/ arrow, exit, etc.)? If so, show location(s) on Site Plan and provide elevation(s) showing details and dimensions. Signs are a maximum of 1.5 sq. ft. and cannot have name/logo on them.~~
4. ~~Provide note on north elevation that color of wall repaired from removal of bank drive thru canopy will match existing and/or that entire wall may need to be repainted due to fading.~~
5. ~~Provide color name, color number, finish, etc. of new canopy above drive thru window.~~
6. ~~Provide detail elevation of railing being added in rear of building.~~

Please contact me with any questions.

**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

## **DRC REVIEW FORM**



**May 29, 2019**

**PROJECT: PANERA BREAD PEMBROKE LAKES SQUARE DRIVE THRU  
CITY REFERENCE NUMBER: MSC 2019-10**

**To: Cole Williams, Planner  
Planner/Zoning Technician, Planning and Economic Development Department**

**From: John L. England, P.E.  
Environmental Services/Engineering Division, Public Services Department  
(954) 518-9046**

### **RECOMMENDATIONS:**

---

The Environmental Services/Engineering Division's DRC 'Comments' for the proposed project have been satisfied and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

**CITY OF PEMBROKE PINES  
PUBLIC SERVICES DEPARTMENT  
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

**DRC REVIEW FORM**



**May 13, 2019**

**PROJECT: PANERA BREAD PEMBROKE LAKES SQUARE DRIVE THRU  
PROJECT: MSC 2019-10**

**To: Cole Williams, Planning/Zoning Technician  
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer  
Environmental Services/Engineering Division, Public Services Department  
(954) 518-9046**

**COMMENTS/RECOMMENDATIONS:**

---

1. Provide justification for three (3) 'Exiting Lanes' at the west end/terminus of the proposed 'Drive Thru'. Three (3) 'Exiting Lanes' could potentially be confusing for drivers exiting the 'Drive', as it is anticipated that the majority of the vehicular traffic exiting the proposed 'Drive Thru' (by way of either the actual 'Drive Thru Lane' or 'Bypass Lanes') will be turning north bound to get to the shopping center's main driveway leading to Pines Boulevard or to continue west along the shopping center's internal access drive to exit at the signalized driveway on Hiatus Road.

Consideration should be given to reducing the number of possible turning movements exiting the proposed 'Drive Thru' and thus reducing the potential number of vehicular turning conflicts when exiting the proposed 'Drive Thru'.

2. All Accessible Parking Spaces, Accessible Parking Access Aisles, Sidewalk Curb Ramps, Accessible Routes and Ramps must be ADA Compliant per Florida Building Code – 'Accessibility', Sixth Edition.

Provide written confirmation from an Engineer that the existing Accessible Parking Spaces, Accessible Parking Space Access Aisle, Sidewalk Curb Ramps (if applicable) and 'Accessible Route' from the Accessible Parking Spaces to the 'Accessible Entry' of the building are

ADA compliant or provide an Engineering Plan noting the reconstruction of all non-compliant existing “Accessible Elements” to be ADA compliant.

**NOTE** that all “Accessible Elements” shall be field checked at the time of final Engineering inspection to confirm compliance with all applicable ADA standards/requirements. Any non-compliant ‘Accessible Element’ will be required to be reconstructed prior to the Engineering Division’s acceptance of the work and close-out of the Engineering Construction Permit.

3. Accessible Parking Spaces must be ADA compliant and conform to the latest attached City Standard Detail R-32, ‘Accessible Parking Space Details’ with respect to pavement markings, signage, etc.
4. Per City Code, the current City standards for typical Accessible and Standard Parking Spaces dimensions are 12’ x 19’ and 9’ x 19’, respectively, with a 3’ clear overhang from the inside/front face of the Wheel Stop to the front of the parking space. Provide Code compliant parking spaces and dimension all typical Accessible and Standard Parking Spaces on the Site Plan sheet to be added to the DRC plans set. Current City standards for Standard and Accessible Parking Spaces are noted in the attached City Standard Detail R-41 (Option #1 & #2) and City Standard Detail R-32, ‘Accessible Parking Space Details’. The attached City Standard Details must be reflected on both the ‘Site Plan’ and ‘Pavement Marking and Signage Plan’ to be added to the DRC plans set, should the existing parking conditions allow the use of the current Code parking standards.

Should the dimensions of the existing parking spaces differ from the current Code standards for parking spaces, then the current Code standards for parking spaces are to be utilized whenever possible within the existing parking lot limits unless the use of the current Code standards results in the loss of parking spaces and creates a parking deficiency which violates the current Site Plan approval. Provide for Engineering DRC review specific Parking Space Details reflecting previously approved Site Plan parking space conditions currently in existence in the field that do not conform to the current City parking space standards.

5. Note that all existing pavement markings and signage within the site must meet the current Broward County Traffic Engineering Division (BCTED) and Manual of Uniform Traffic Control Device (MTUCD) standards.
6. Provide a ‘Pavement Marking and Signage Plan’ in the DRC plans set reflecting and denoting all existing vehicular and pedestrian traffic related pavement markings and signage “To Remain”, “To Be Replaced” or “Proposed” for continued Engineering DRC review and sign-off. The following ‘Notes’ must also be included on both the ‘Site Plan’ and ‘Pavement Markings and Signage Plan’ for Engineering DRC review and sign-off purposes:
  - *ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MTUCD) STANDARDS.*
  - *ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR*

'STANDARD PAINT'.

- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH 'STOP BARS' ARE TO HAVE YELLOW/YELLOW RPM's AT 20' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPM's) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS ADHESIVE PER FDOT'S 'APPROVED PRODUCTS LIST' (APL). PLACEMENT OF RPM's SHALL BE IN ACCORDNACE WITH FDOT INDEX NO. 17352.
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) 'DESIGN STANDARDS', INDEX NOS. 17346 AND 17355 AND LATEST CITY STANDARD DETAIL R-32, 'ACCESSIBLE PARKING SPACE DETAILS'.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING/STRIPE ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT 'DESIGN STANDARDS', INDEX NO. 304.
- ALL PEDESTRIAN/ACCESSIBLE CROSSINGS (WHERE APPLICABLE) SHALL COMPLY WITH FDOT AND MTUCD STANDARDS.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, 'ACCESSIBILITY'.
- REQUIRED INSPECTIONS OF THE PROPOSED IMPROVEMENTS/WORK SHALL BE SCHEDEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION. CALL (954) 518-9040 FOR AVAILABLE INSPECTION DATES AND TIMES AND FOR CLARIFICATION OF REQUIRED CITY INSPECTIONS BASED UPON THE PROJECT'S PROPOSED SCOPE OF IMPROVEMENTS/CONSTRUCTION.
- ALL EXISTING VEHICULAR TRAFFIC/PEDESTRIAN RELATED PAVEMENT MARKINGS AND SIGNAGE WITHIN THE LIMITS OF THE PROPOSED PROJECT SHALL BE FIELD CHECKED AT THE TIME OF FINAL ENGINEERING DIVISION INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE WILL BE REQUIRED TO BE REPLACED FOR FINAL ACCEPTANCE OF THE WORK/PROJECT AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL 'ACCESSIBLE ELEMENTS' SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS. ALL NON-CONFORMING 'ACCESSIBLE

*ELEMENTS' WILL BE REQUIRED TO BE RECONSTRUCTED FOR ACCEPTANCE  
OF THE WORK/PROJECT AND CLOSE-OUT OF THE ENGINEERING  
CONSTRUCTION PERMIT.*

7. Provide the appropriate pavement markings designating the limits of the 'Drive Thru Lane' (6" White) and all other necessary pavement markings to clearly define the final lane configurations and vehicular turning restrictions for the 'Drive Thru' exiting condition.
8. A copy of the latest Broward County Traffic Engineering Division (BCTED) 'Pavement Markings and Signs Details' sheet along with the attached BCTED 'Ground Signs Assembly Details' and 'Stop and Street Sign Identification Assembly Detail' sheets must be included on a 'Details Sheet' in the DRC plans set for continued Engineering DRC review and sign-off.
9. Note that the following 'Advisory Comments' related to the Engineering Construction Permit plan requirements are being provided at this time for your use:
  - Existing and proposed elevations/grades related to the proposed 'Drive Thru' pavement/curbing modifications must be denoted on the Engineering Plan for confirmation of grading, etc.
  - All underground utilities including services and storm drainage pipes shall be shown in civil plans at time of permitting to evaluate conflicts with proposed signage or menu boards.
  - There is an existing gravity sewer main running east/west along the center of the 'Drive Thru' with six (6) sewer lateral running towards the overall building to service the various tenant spaces. Each of these six (6) sewer laterals supposedly has a clean-out which appear that appear to fall under the proposed landscape area. These clean-outs will need to be raised to the proposed grade/elevation of the proposed landscape area and each clean-out shall have a concrete collar. The Engineering Plan must reflect the existing gravity sewer main, sewer laterals and any required modifications to the cleanouts.
10. **NOTE** an Engineering Construction Permit is required for completion of the 'Drive Thru' and/or other necessary site/parking modifications. Note that submittal of appropriate signed and sealed plans and details will be required for review and processing of the Engineering Construction Permit by the Environmental Services/Engineering Division.

MEMORANDUM

May 8, 2019

To: Cole Williams  
Planning/Zoning Technician

From: Dean A. Piper  
Zoning Administrator

Re: MSC 2019-10 (Panera Bread)

---

The following are my comments regarding the above Miscellaneous Plan:

1. Provide elevations, with all details, dimensions, etc. of menu board, ordering equipment, canopy and clearance bar. No
2. Only one menu board allowed.
3. Will there be any directional signs (e.g. Drive Thru w/ arrow, exit, etc.)? If so, show location(s) on Site Plan and provide elevation(s) showing details and dimensions. Signs are a maximum of 1.5 sq. ft. and cannot have name/logo on them.
4. Provide note on north elevation that color of wall repaired from removal of bank drive thru canopy will match existing and/or that entire wall may need to be repainted due to fading.
5. Provide color name, color number, finish, etc. of new canopy above drive thru window.
6. Provide detail elevation of railing being added in rear of building.

Please contact me with any questions.

MEMORANDUM

May 7<sup>th</sup>, 2019

To: Cole Williams  
Planner & Zoning Specialist

From: Kristen Jensen  
Landscape Planner/ Designer

Re: (MSC2019-10) Panera Bread

---

The City of Pembroke Pines Planning Division has conducted a landscape review for Panera Bread as per documents provided. The following items need to be addressed prior to this project being found in compliance:

No Comments at this moment.

*Note: Please make sure that any landscape damaged during construction be replaced.*

*Note: Please make sure that any landscape damaged during construction be replaced to make sure the sign meets landscape ordinance 153.19, "The base of all ground signs must be adequately landscaped. Permit applications for ground signs must be accompanied by a landscape plan compliant with the following standards: (A) Landscape area must consist of shrubs, groundcover, or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement."*

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen  
Landscape Planner/Designer  
Planning and Economic Development Division  
City of Pembroke Pines  
954.392.2107 (Office) • [kjensen@ppines.com](mailto:kjensen@ppines.com)  
Please consider the environment before printing this email.

## DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE**

**FIRE PREVENTION BUREAU**

**FIRE PLANS EXAMINER BY:** Michael Testagrossa, Prevention Captain

(954) 499-9560

**PROJECT NAME:** Panera Bread

**REFERENCE #:** MSC 2019 -10

**DATE REVIEWED:** 05/07/2019

**CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS**

---

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THE SITE PLAN REVIEW.

**Note:** Panera moving their location to the former B&B restaurant located at 11025 Pines Blvd. to utilize the existing drive thru canopy.

## **PLANNING DIVISION STAFF COMMENTS**

### **Memorandum:**

**Date:** May 1, 2019

**To:** MSC 2019-10 file

**From:** Cole Williams, Planner / Zoning Technician

**Re:** Panera Bread

---

### **Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:**

1. Clarify if any other changes are being made to the site. (paint, lighting, etc...)
2. Provide details of menu board and canopy over the menu board. One menu board if permitted by code. Menu board sign area shall not exceed 32 square feet. Provide height and color of the menu board canopy.
3. Provide details of directional signage. Signage to not exceed 1.5 square feet.
4. Provide color of the new drive-thru canopy.
5. Provide details of materials to be used on the storefront
6. Note on the plans the color of the wall where the canopy is being removed.

SUBJECT SITE AERIAL PHOTO

Panera Bread (MSC 2019-10)



6/4/2019 2:59:17 PM

MIKEY NAUCAS  
3630 SOUTH GEYER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
PHONE: 314.583.1985

COVELLI ENTERPRISES  
CONTACT: KIETH KOTCHEY  
3900 EAST MARKET STREET  
WARREN, OH 44484  
PHONE: 330.856.3176

PHILLIPS | SEKANICK ARCHITECTS  
CONTACT: KIM PHILLIPS  
142 EAST MARKET STREET  
WARREN, OH 44481  
PHONE: 330.395.9518

PEMBROKE PINES BUILDING DEPARTMENT  
CONTACT: GEORGE KROPP, CBO  
601 CITY CENTER WAY, SECOND FLOOR  
PEMBROKE PINES, FL 33025  
PHONE: 954-435-6502

PEMBROKE PINES FIRE DEPT  
CONTACT: JOHN PICARELLO, CHIEF  
9600 PINES BLVD. BLDG B, SECOND FLOOR  
PEMBROKE PINES, FL 33024  
PHONE: 954-499-9600

DBPR, DIVISION OF HOTELS & RESTAURANTS  
CONTACT: -  
1940 N. MONROE STREET  
TALLAHASSEE, FL 32901  
PHONE: 321.608.6000

D C CONSTRUCTION ASSOCIATES, INC.  
CONTACT: IAN RYBOMICH-STANLEY  
546 NW 77TH STREET  
BOCA RATON, FL 33487  
PHONE: 561-891-7616  
S.I.:TBD  
PHONE: TBD



## ISSUED FOR PLANNING REVIEW

# PANERA BREAD BAKERY #4718 PEMBROKE PINES

11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY

## SITE MAP:



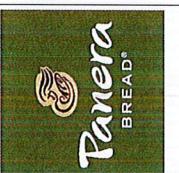
Current Revision	Sheet Number	Sheet Name
<b>REVISION #</b>		
G000		COVER SHEET
SP100		OVERALL SITE PLAN
SP107		ENLARGED SITE PLAN
D001		ENLARGED DEMOLITION SITE PLAN & ELEVATIONS
D101		DEMOLITION PLAN
A101		DIMENSIONED FLOOR PLAN
A201		EXTERIOR ELEVATIONS
A202		EXTERIOR ELEVATIONS
C1		ENGINEERING PLAN
C1A		GROUND SIGN ASSEMBLY DETAILS
LP.1		LANDSCAPING PLANS
LP.2		LANDSCAPE DETAILS
LP.3		LANDSCAPE SPECIFICATIONS
LP.4		LANDSCAPE SPECIFICATIONS
00841.5		SITE SIGNAGE PLAN
00841.6		MENU BOARD DETAILS
00841.7		MENU BOARD FOUNDATION PLAN DETAIL
00841.8		MENU BOARD PANEL DETAILS
00841.9		CLEARANCE BAR DETAIL
00841.10		ENLARGED DIRECTIONAL SIGN DETAILS
00841.10A		DIRECTIONAL SIGN DETAILS
00841.11		RAPID PICKUP SIGN DETAIL

City of Pembroke Pines  
Received

JUN - 5 2019

## Planning & Economic Development

**Bakery Cafe #4718**  
1111025 PINES BOULEVARD, SUITE 500-501  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY



**CONTRACTOR NOTE:**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO  
HAVE CONTRACT COMPLETE AND READY FOR OWNER  
PUNCH LIST WHICH SHALL BE GENERATED AND  
DISTRIBUTED TO GENERAL CONTRACTOR SEVEN [7] DAYS  
PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL  
COMPLETION.  
AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE  
100% COMPLETE WITH ALL UNCONDITIONAL OCCUPANCY  
AND HEALTH APPROVALS RECEIVED, AND READY FOR PUBLIC  
OCCUPANCY.

## **COVER SHEET**

Project Number: 19-0301 Sheet Number: 0000  
Drawn By: CAR Issue Date: 05-14-19

Go000



Digitally signed  
by Bruce  
Sekanick  
Date: 2019.06.04  
13:07:47 -04'00'

9

# Bakery Cafe #4718

**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County



THESE DOCUMENTS ARE THE PROPERTY OF  
PHILLIPS | SEKANICK ARCHITECTS, INC. AND ARE  
PROTECTED BY COPYRIGHT LAWS AND RESTRICTIONS.  
COPYRIGHT 2019, PHILLIPS | SEKANICK ARCHITECTS,  
INC.

E CERTIFY THAT THESE DRAWINGS HAVE BEEN  
PREPARED IN OUR OFFICE AND UNDER OUR  
SUPERVISIONS AND TO THE BEST OF OUR KNOWLEDGE  
AND BELIEF, COMPLY WITH APPLICABLE LAWS,  
REGULATIONS AND ORDINANCES OF THE JURISDICTION  
RELATING TO THE STRUCTURE AND BUILDING.

No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

## OVERALL SITE PLAN

4-0301

6

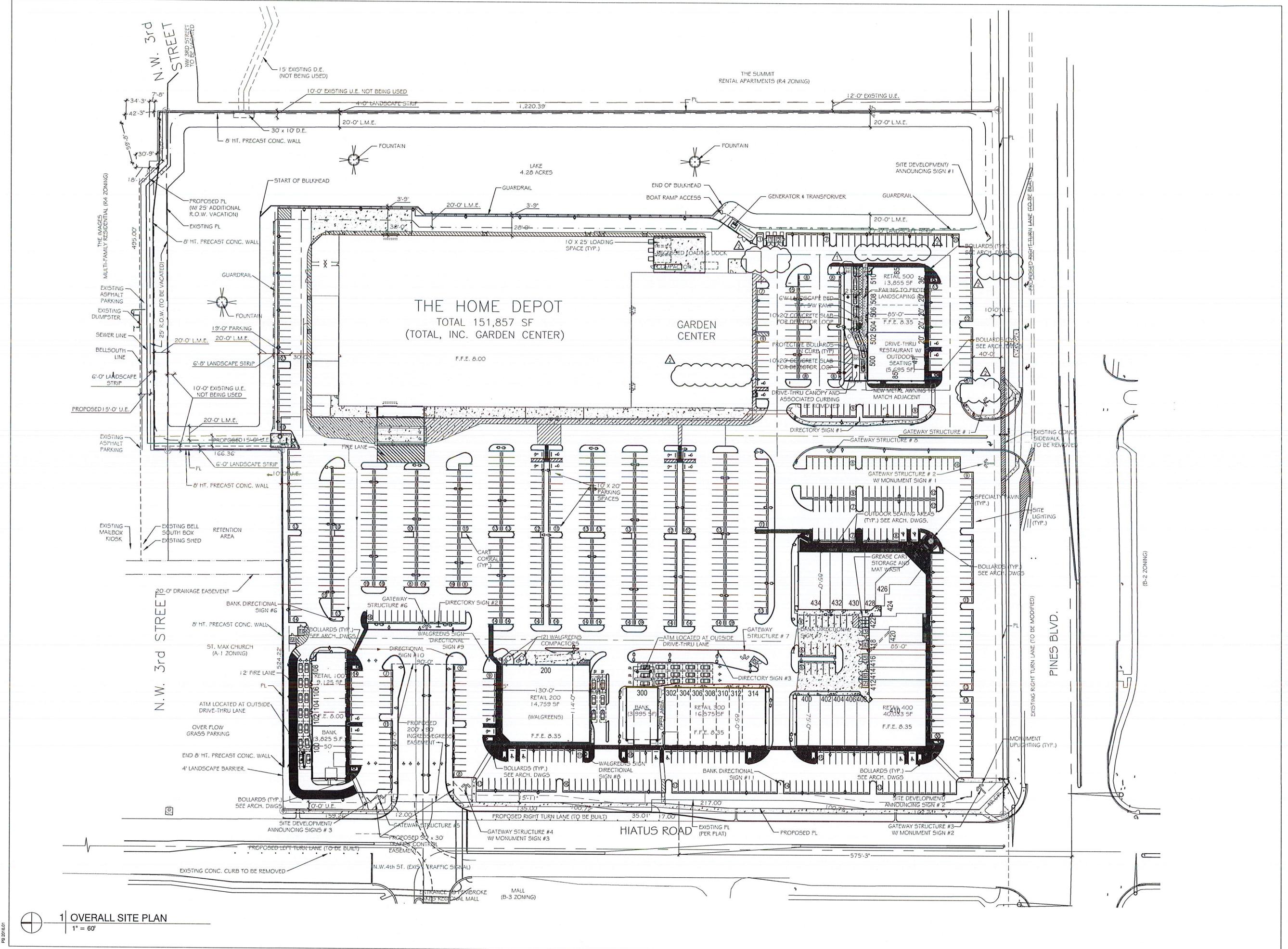
— 1 —

100

1

— SP100

THE JOURNAL OF CLIMATE





Digitally signed by  
Bruce Sekanick  
Date: 2019.06.04  
13:08:48 -04'00'

Project Title:

# Bakery Cafe #4718



THESE DOCUMENTS ARE THE PROPERTY OF  
PHILLIPS | SEKANICK ARCHITECTS, INC. AND ARE  
PROTECTED BY COPYRIGHT LAWS AND RESTRICTIONS.  
COPYRIGHT 2019, PHILLIPS | SEKANICK ARCHITECTS,  
INC.

WE CERTIFY THAT THESE DRAWINGS HAVE BEEN  
PREPARED IN OUR OFFICE AND UNDER OUR  
SUPERVISIONS AND TO THE BEST OF OUR KNOWLEDGE  
AND BELIEF, COMPLY WITH APPLICABLE LAWS,  
REGULATIONS AND ORDINANCES OF THE JURISDICTION  
RELATING TO THE STRUCTURE AND BUILDING.

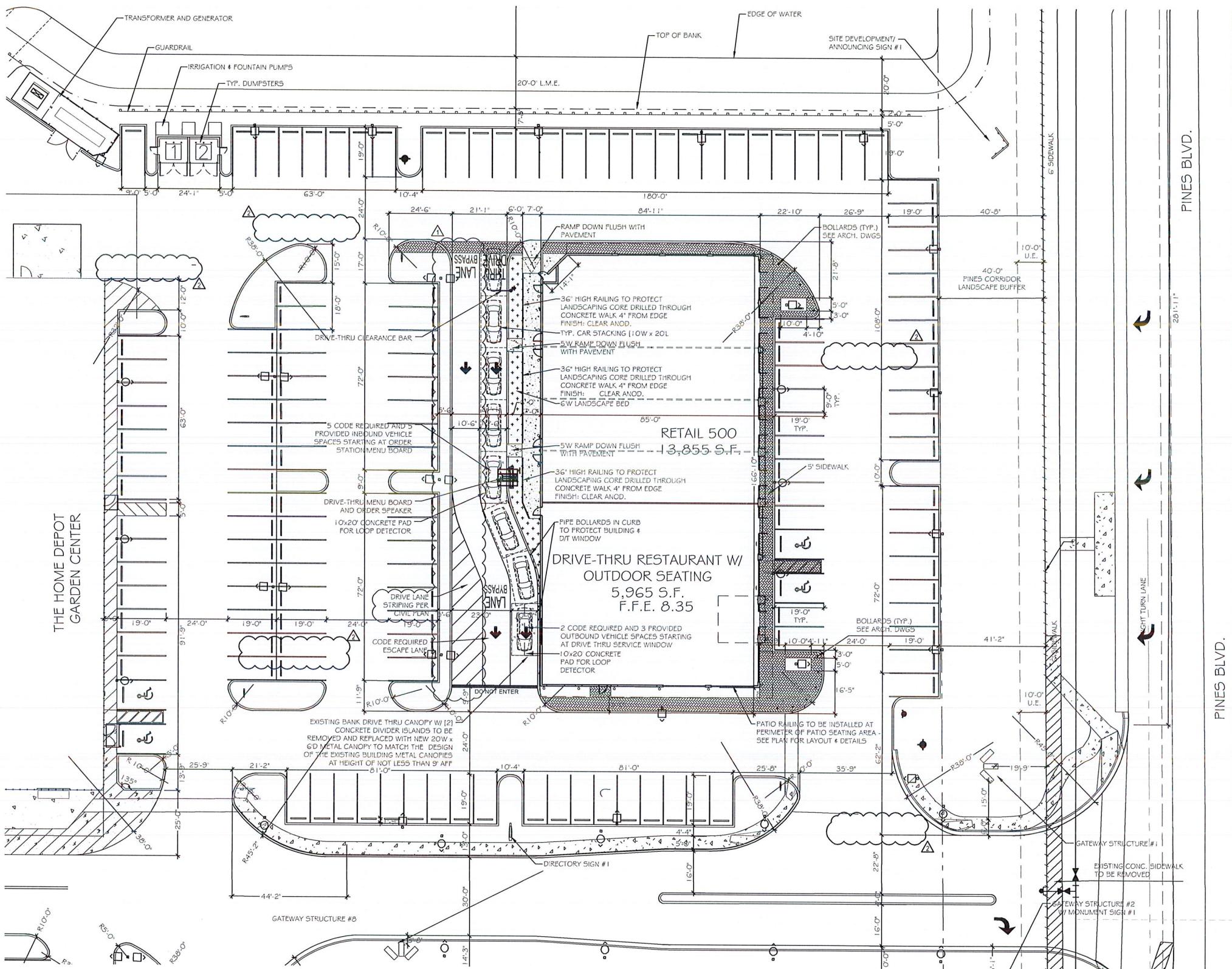
No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

## ENLARGED SITE PLAN

Object Number: Sheet Number:

9-0301  
awn By:  
AP

AR  
Issue Date:  
5.31.19

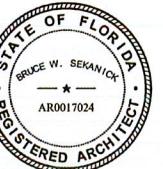




Phillips | Sekanick Architects, Inc.  
Architecture | Planning | Consulting

142 East Market Street, Warren, OH 44481  
[o] 330.395.9518  
[f] 330.395.4296  
[w] www.phillips-sekanick.com

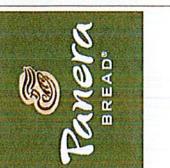
Professional Seal: AR0017024



Bruce  
Sekanick  
13:05:05 - 04'00"

Project Title:

**Bakery Cafe #4718**  
11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY



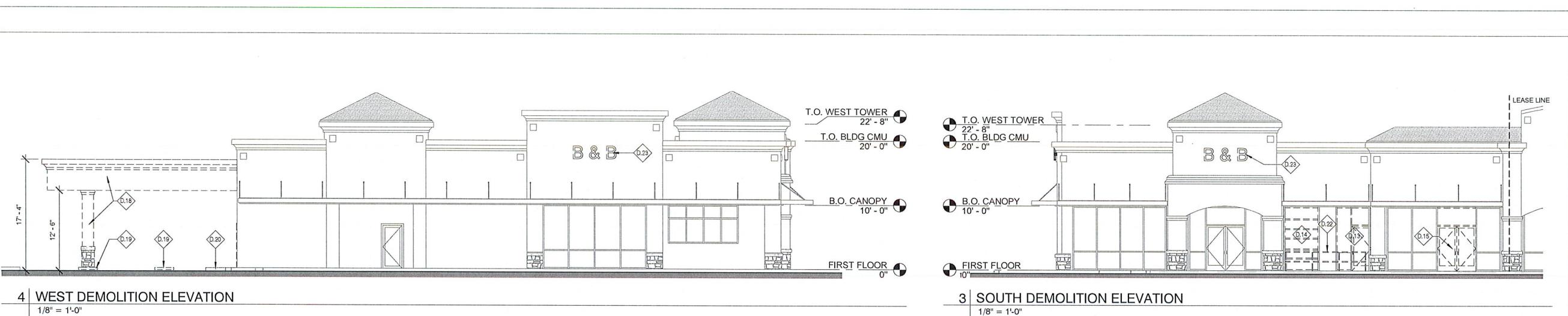
**CONTRACTOR NOTE:**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CONTRACT COMPLETE AND READY FOR OWNER PUNCH LIST WHICH SHALL BE GENERATED AND DISTRIBUTED BY THE GENERAL CONTRACTOR SEVEN [7] DAYS PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL COMPLETION. AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE 100% COMPLETE WITH ALL UNCONDITIONAL OCCUPANCY & HEALTH APPROVALS RECEIVED, AND READY FOR PUBLIC OCCUPANCY.

No.	Description	Date

**ENLARGED  
DEMOLITION SITE  
PLAN &  
ELEVATIONS**

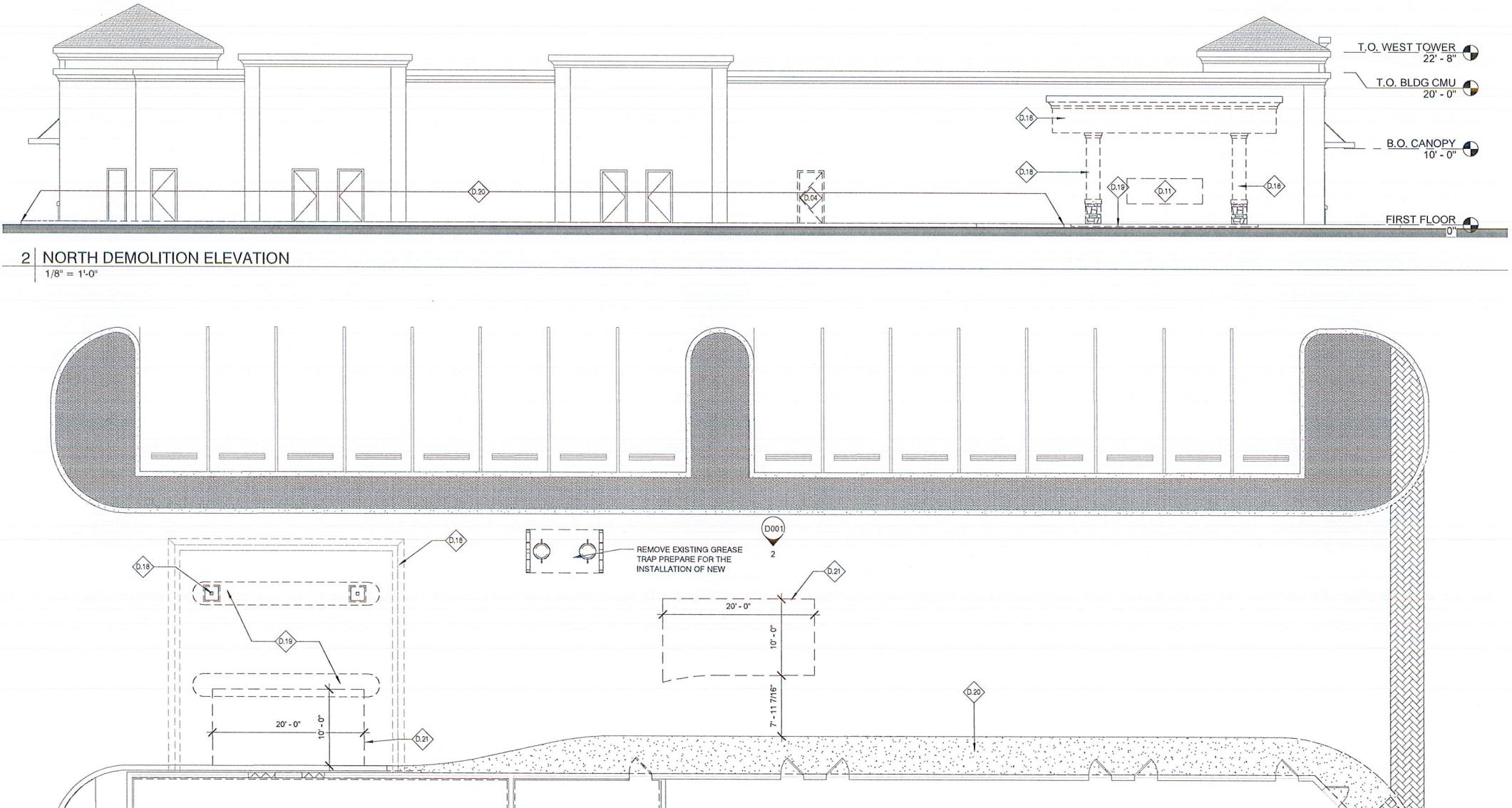
Project Number: 19-0301  
Drawn By: [Redacted]  
Author: [Redacted]  
Issue Date: [Redacted]

**D001**



### KEYED NOTES

- D.04 GC SHALL REMOVE DOOR, FRAME & SECTION OF EXISTING EXTERIOR CMU WALL IN PREPARATION FOR NEW 42" DOOR & H.M. FRAME. SEE STRUCTURAL DRAWINGS FOR LOOSE LINTEL INFORMATION.
- D.11 REMOVE EXISTING WINDOW & PLYWOOD COVER - PREPARE FOR THE BLOCKING IN OF OPENING & INSTALLATION OF DRIVE-THRU WINDOW.
- D.13 REMOVE EXISTING STOREFRONT SYSTEM IN PREPARATION FOR NEW STOREFRONT.
- D.14 REMOVE OVERHEAD DOOR & PREPARE FOR INSTALLATION OF NEW STOREFRONT.
- D.15 REMOVE STOREFRONT DOORS, TRANSMON GLASS & HORIZONTAL MULLION & PREPARE FOR INSTALL OF INFILL STOREFRONT.
- D.18 GC SHALL REMOVE EXISTING CANOPY INCLUDING STRUCTURE & COLUMNS.
- D.19 REMOVE CONCRETE CURBING.
- D.20 REMOVE CONCRETE WALK IN PREPARATION FOR INSTALLATION OF NEW - COORDINATE WITH CIVL DWGS.
- D.21 AREA OF ASPHALT TO BE REMOVED FOR INSTALLATION OF NEW CONCRETE SLAB FOR LOOP DETECTOR.
- D.22 EXISTING PATIO RAILING TO BE REMOVED. PATCH AND REPAIR CONCRETE & WALLS.
- D.23 GC SHALL REMOVE EXISTING TENANT SIGNAGE - PATCH AND REPAIR EIFS IN PREPARATION FOR NEW SIGNAGE.



1 | DEMOLITION FLOOR PLAN

1/8" = 1'-0"

#4718

SYSTEM: G4 [ARIA]

Project Team: AA0003378



Phillips | Sekanick Architects, inc.  
Architecture | Planning | Consulting

142 East Market Street, Warren, OH 44481  
[p] 330.395.9518  
[f] 330.395.4296  
[w] www.phillips-sekanick.com

Professional Seal: AR0017024



Digitally signed  
by Bruce  
Sekanick  
Date: 2019.06.04  
13:06:33 -04'00'

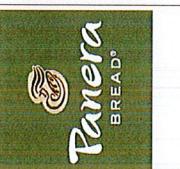
## GENERAL NOTES:

- A. GC TO FIELD VERIFY EXISTING CONDITIONS SHOWN, REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE ANY REQUIRED WORK BEGINS.  
 B. GC TO NOTE ALL UTILITIES THAT WILL BE AFFECTED BY CONSTRUCTION & INCLUDE IN BID THE NECESSARY CHARGES & FEES INCURRED FROM UTILITY COMPANY(YS) FOR SAID WORK.  
 C. GC TO VERIFY B.O. JOISTS AT HIGH AND LOW POINTS & COORDINATE DUCTWORK & CEILING HEIGHTS PROPOSED, NOTIFIED ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.  
 D. EXISTING BUILDING SHELL:  
   a. 8" CMU BLOCK WALLS W/ 1 5/8" MTL FRAMING, INTERIOR WALLS W/ 1 5/8" GYP BD.  
   b. GC SHALL REMOVE ALL GYP BD FINISH TO FRAMING, ALL FRAMING TO REMAIN U.L.O.  
 E. ALL DIMENSIONS ARE FROM FACE OF FRAMING (OR FIRE RATING OF DEMISING WALL) TO FACE OF FRAMING (OR FIRE RATING OF DEMISING WALL).

## KEYED NOTES

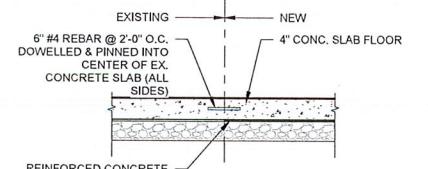
- D.01 GC SHALL FIELD VERIFY EXISTING CONDITIONS & REMOVE ALL EXISTING PARTITIONS, FURRING CHANNELS, LIGHT FIXTURE, FLOOR FINISHES, CEILING SYSTEMS, PLUMBING LINES, MECHANICAL DUCTWORK, ELECTRICAL FIXTURES & CONDUITS, & ALL OTHER DEBRIS FROM TENANT SPACE. PROVIDE BROOM CLEAN FLOOR UPON START OF TENANT'S WORK.  
 D.02 GC SHALL REMOVE EXISTING CONCRETE CURB, TO ELEV. -8" FOR UNDERGROUND PIPES & ELECTRICAL INSTALLATION. SEE CONCRETE SLAB W/ 6x6 W.W.F., 1/4" MIL VISQUEEN 1/4" MIN. COMPACTED GRANULAR FILL. SEE DETAIL "3" THIS SHEET FOR PINNING TO EXISTING SLAB.  
 D.03 GC SHALL REMOVE & DISCARD EXISTING PATIO FURNITURE.  
 D.04 GC SHALL REMOVE DOOR, FRAME & SECTION OF EXISTING EXTERIOR CMU WALL IN PREPARATION FOR NEW 42" DOOR & H.M. FRAME - SEE STRUCTURAL DRAWINGS FOR LOOSE LINTEL INFORMATION.  
 D.05 GC SHALL REMOVE PORTION OF EXISTING CMU WALL - SEE STRUCTURAL DRAWINGS FOR DETAILS & PROPER SHORING.  
 D.06 AREA OF NEW WALK-IN COOLER/FREEZER, COORDINATE CONCRETE CURB, SEE DETAIL "3". SEE SHOP DRAWINGS & SEE FLOOR DETAIL SHEET FOR SLEEPER TIE WALL.  
 D.07 AREA OF NEW C/P ELECTRICAL PANEL CONCRETE CURB. SEE FLOOR DETAILS SHEET FOR MORE INFO.  
 D.08 GC SHALL VERIFY CONDITION OF EXISTING DOOR & FRAME & DETERMINE IF NEW IS REQUIRED. IF EXISTING DOOR REMAINS, CONTRACTOR SHALL PROVIDE HARDWARE AS INDICATED IN SCHEDULE.  
 D.09 GC SHALL VERIFY EXISTING DIMENSIONS & NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.  
 D.10 PROVIDE CONTROL JOINTS IN CONC SLAB @ 16'-0" O.C. MAX [TYP].  
 D.11 REMOVE EXISTING WINDOW & PLYWOOD COVER - PREPARE FOR THE BLOCKING IN OF OPENING & INSTALLATION OF DRIVE-THRU WINDOW.  
 D.12 REMOVE APPLIED STONE - PATCH AND REPAIR EXTERIOR GRADE GYP.  
 D.13 REMOVE EXISTING STOREFRONT SYSTEM IN PREPARATION FOR NEW STOREFRONT.  
 D.14 REMOVE OVERHEAD DOOR & PREPARE FOR INSTALLATION OF NEW STOREFRONT.  
 D.15 REMOVE STOREFRONT DOORS, TRANSMON GLASS & HORIZONTAL MULLION & PREPARE FOR INSTALL OF INFILL STOREFRONT.  
 D.16 REMOVE EXISTING BAR & SOFFIT.  
 D.17 REMOVE EXTERIOR MTL FURRING & GYP BOARD.  
 D.22 EXISTING PATIO RAILING TO BE REMOVED. PATCH AND REPAIR CONCRETE & WALLS.

Project Title: Bakery Cafe #4718  
11025 PINES BOULEVARD, SUITE 500-502  
PEMBROKE PINES, FL 33026  
BROWARD COUNTY



CONTRACTOR NOTE:  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A SUBCONTRACTOR AND PROVIDE OWNER PUNCH LIST WHICH SHALL BE GENERATED AND DISTRIBUTED TO GENERAL CONTRACTOR SEVEN (7) DAYS PRIOR TO THE DATE OF PROJECTED SUBSTANTIAL COMPLETION.  
AT SUBSTANTIAL COMPLETION, PUNCH LIST SHALL BE 100% COMPLETE WITH ALL UNCONDITIONAL OCCUPANCY & HEALTH APPROVALS RECEIVED AND READY FOR PUBLIC OCCUPANCY.

No.	Description	Date



## DEMOLITION PLAN

Project Number: 19-0301 Sheet Number:

Drawn By: CAR

Issue Date:

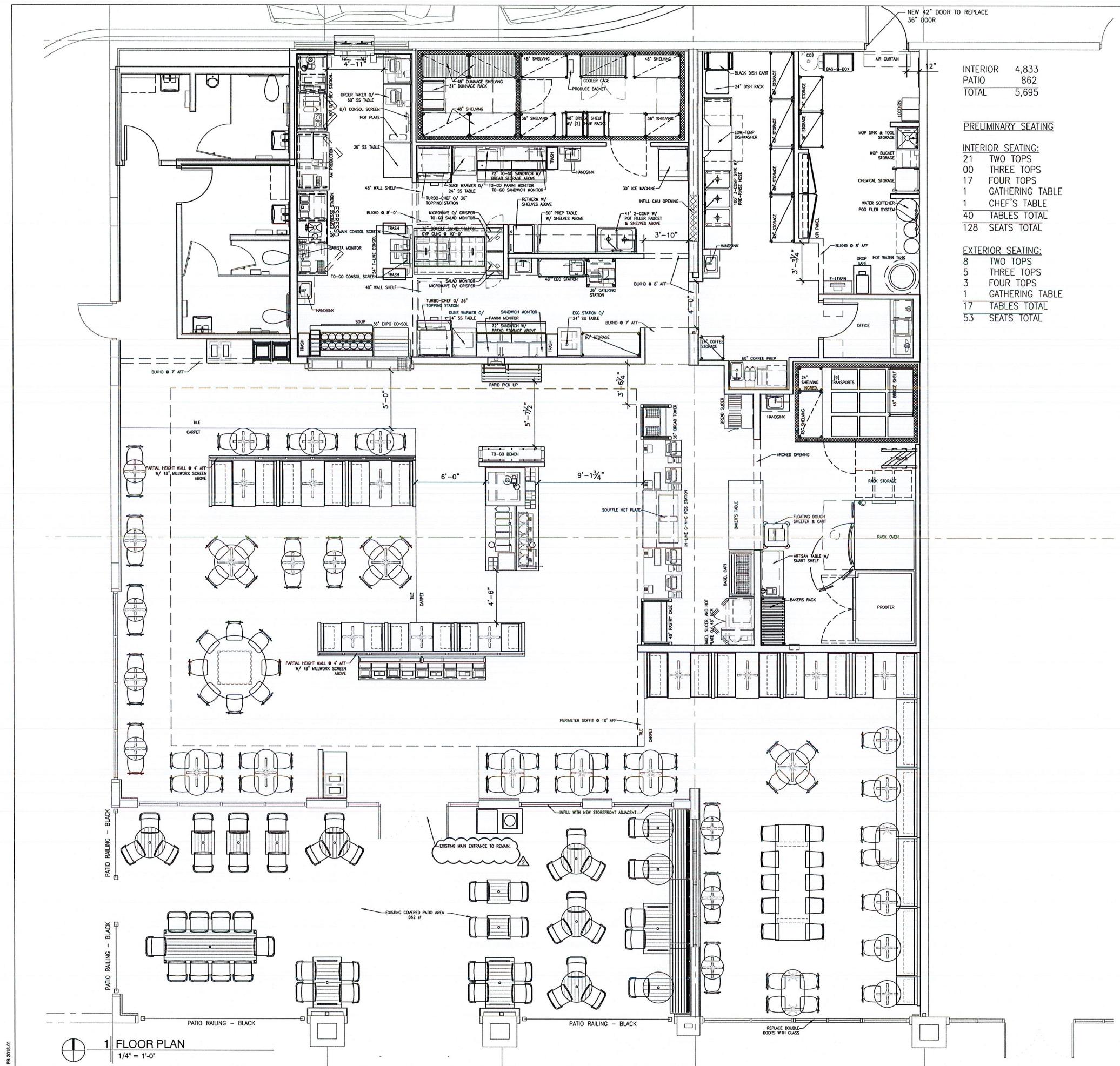
D101

1 DEMOLITION FLOOR PLAN

1/4" = 1'-0"

3 FLOR-DTL SLAB PINNING

3/4" = 1'-0"





Phillips | Sekanick Architects, Inc.  
Architecture | Planning | Consulting

142 East Market Street • Warren, OH 44481  
(p) 330.395.9518  
(f) 330.395.4296  
(w) www.phillips-sekanick.com

Professional Seal: AR0017024



Digital signed  
by Bruce  
Sekanick  
Date: 2019.06.04  
13:03:01 -04'00'

Project Title:

## Bakery Cafe #4718

11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County

CONSTRUCTION DOCUMENTS



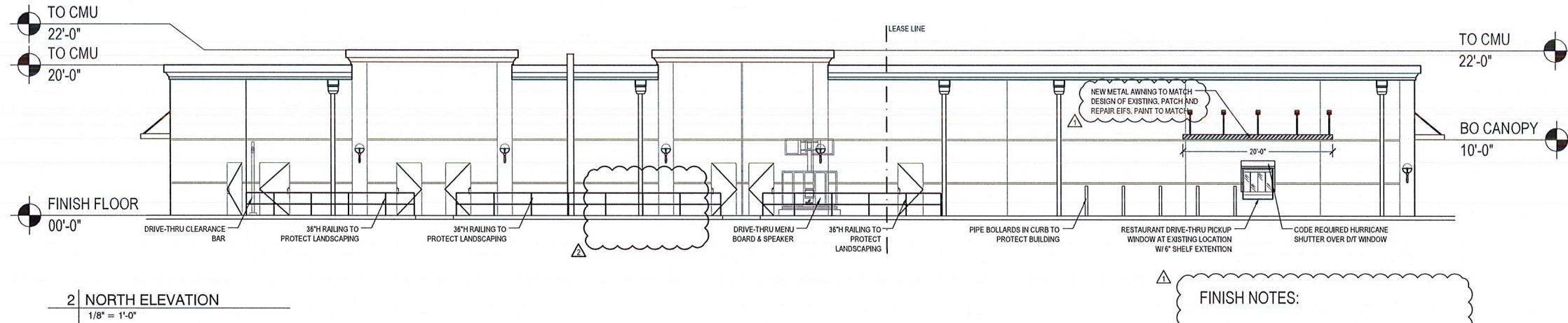
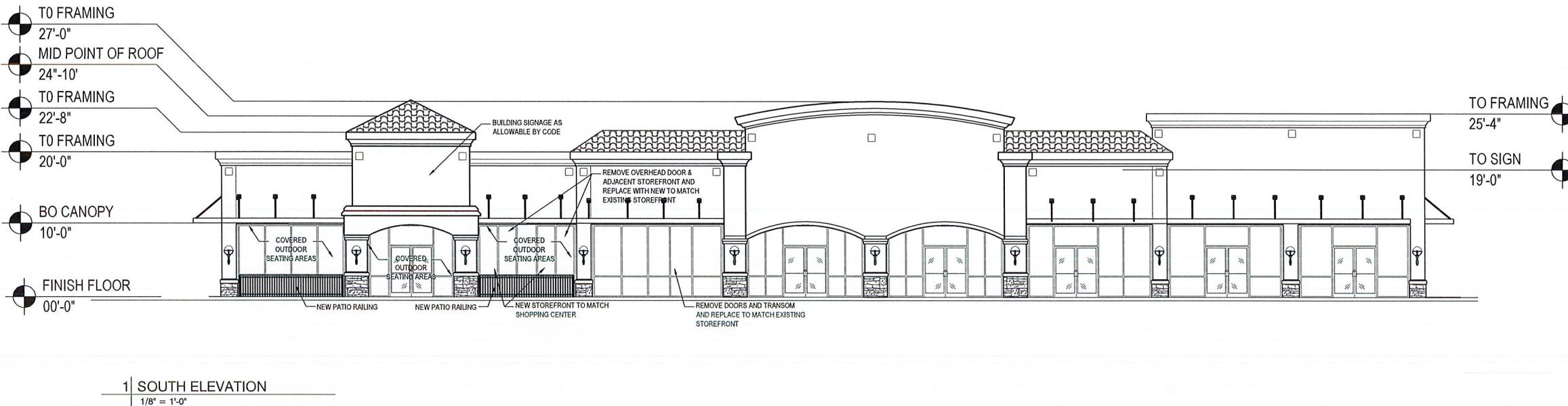
THESE DOCUMENTS ARE THE PROPERTY OF  
PHILLIPS | SEKANICK ARCHITECTS, INC.  
PHOTOGRAPH, COPIED, LAW AND RESTRICTIONS.  
© COPYRIGHT 2019, PHILLIPS | SEKANICK ARCHITECTS,  
INC.

WE CERTIFY THAT THESE DRAWINGS HAVE BEEN  
PREPARED IN OUR OFFICE AND UNDER OUR  
SUPERVISIONS AND TO THE BEST OF OUR KNOWLEDGE  
AND BELIEF, COMPLY WITH APPLICABLE  
REGULATIONS AND ORDINANCES OF THE JURISDICTION  
RELATING TO THE STRUCTURE AND BUILDING.

No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19
2	PER PLANNING COMMENTS	05.31.19

## EXTERIOR ELEVATIONS

Project Number: 19-0301  
Drawn By: CAR  
Issue Date: 05.31.19  
Sheet Number: A201





Phillips | Sekanick Architects, inc.  
Architecture | Planning | Consulting

142 East Market Street . Warren . OH . 44481  
[p] 330.395.9518  
[f] 330.395.4296  
[w] www.phillips-sekanick.com

Professional Seal AR0017024



Digitally signed  
by Bruce Sekanick  
Date: 2019.06.04  
13:04:04 -04'00'

CONSTRUCTION DOCUMENTS  
**Bakery Cafe #4718**  
11025 Pines Boulevard, Suites 500 to 502  
Pembroke Pines, FL 33026  
Broward County



THESE DOCUMENTS ARE THE PROPERTY OF  
PHILLIPS | SEKANICK ARCHITECTS, INC. AND ARE  
PROTECTED BY COPYRIGHT LAW AND RESTRICTIONS.  
© COPYRIGHT 2019, PHILLIPS | SEKANICK ARCHITECTS,  
INC.

WE CERTIFY THAT THESE DRAWINGS HAVE BEEN  
PREPARED IN OUR OFFICE AND UNDER OUR  
SUPERVISION, AND TO THE BEST OF OUR KNOWLEDGE  
AND BELIEF, COMPLY WITH APPLICABLE LAWS,  
REGULATIONS AND ORDINANCES OF THE JURISDICTION  
RELATING TO THE STRUCTURE AND BUILDING.

No.	Description	Date
1	PER PLANNING COMMENTS	05.17.19

**EXTERIOR  
ELEVATIONS**

Project Number: 19-0301

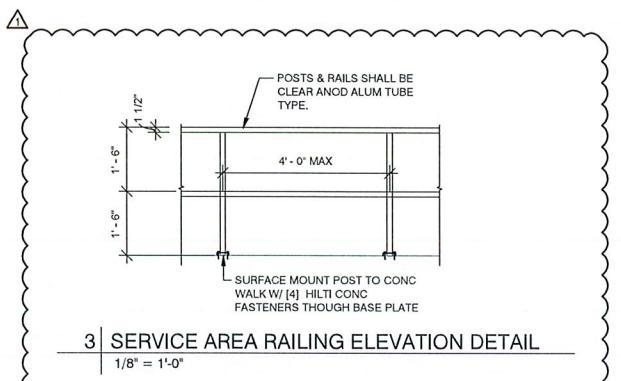
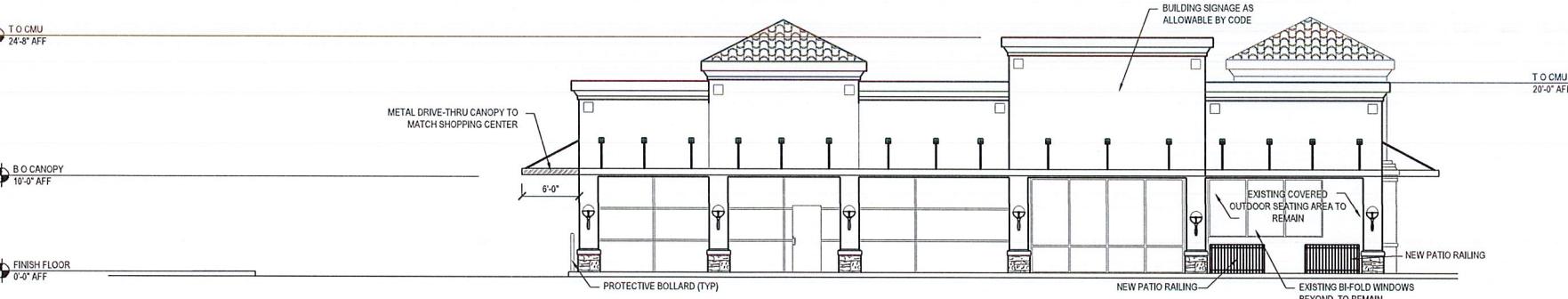
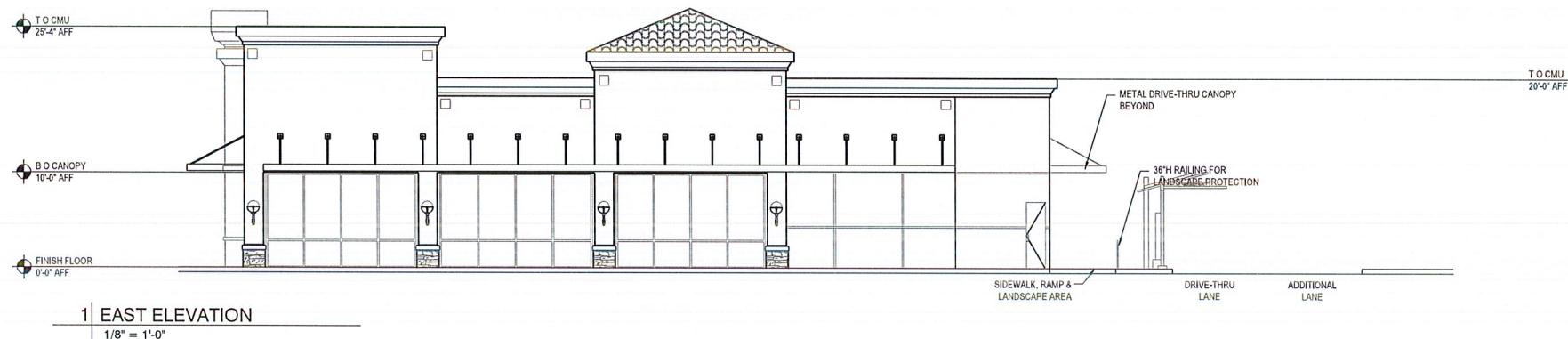
Drawn By:

CAR

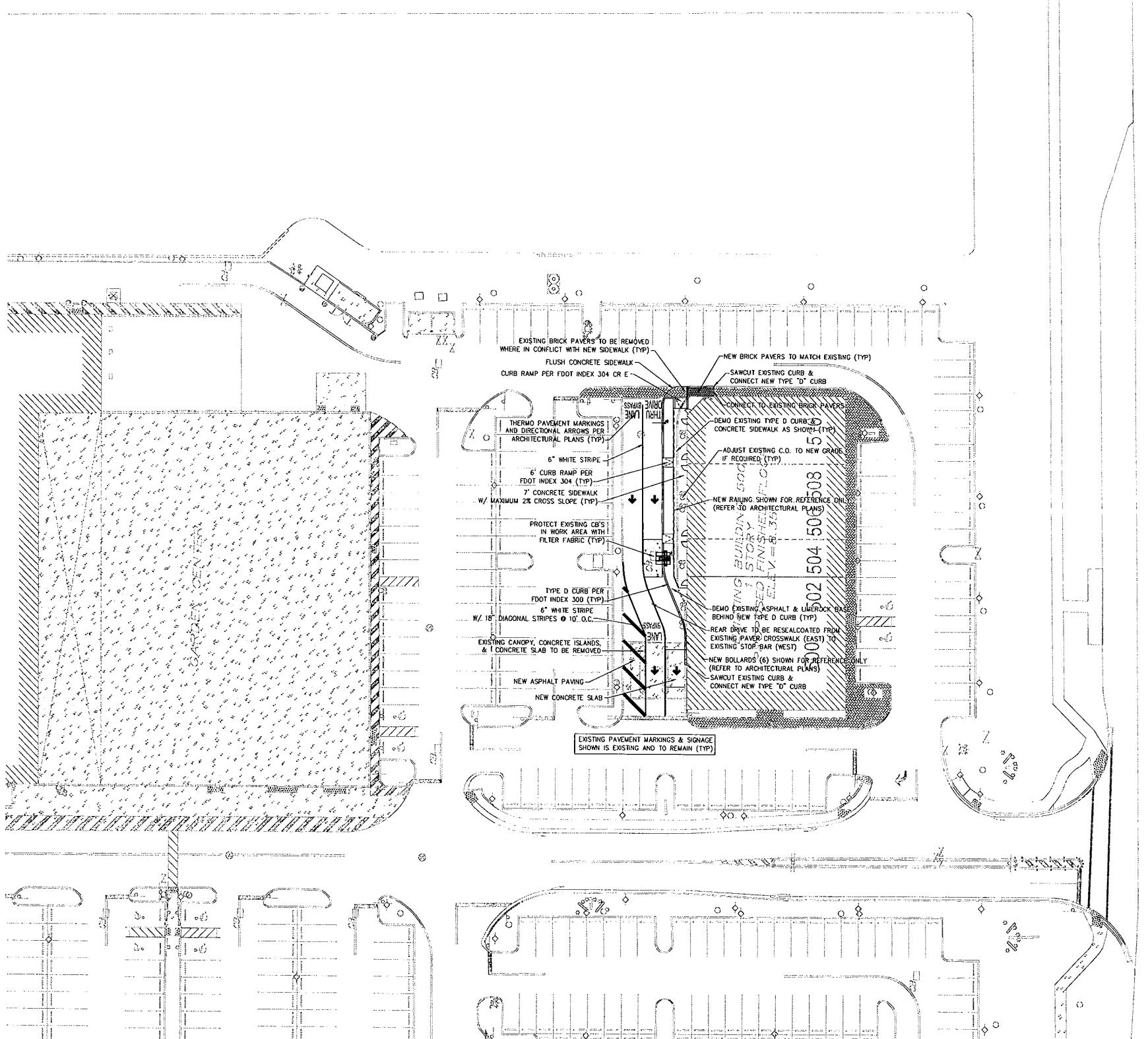
Issue Date:

05.31.19

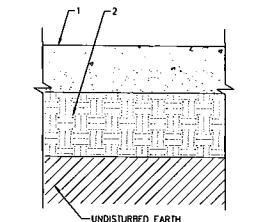
**A202**



MATCHLINE 3-B - SEE SHEET C300

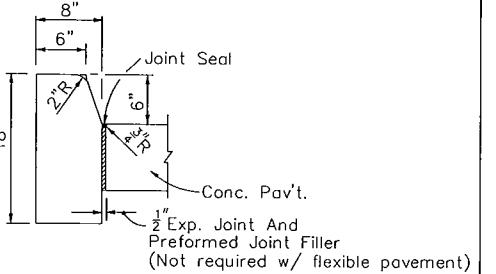


## PINES BOULEVARD

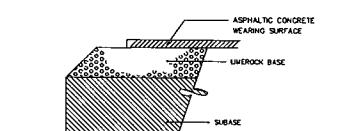


1. 6" - 3000 PSI CONCRETE
2. 12" STABILIZED SUBBASE TO MIN LBR OF 40 & COMPACTED TO 98% MAX DRY DENSITY (AASHTO T-180)
3. SAWCUT 1/4" EXPANSION JOINT 1-1/4" DEEP @ 5' O.C. MAX

CONCRETE SIDEWALK DETAIL  
N.T.S.



TYPE 'D' CONCRETE CURB PER FDOT INDEX #300



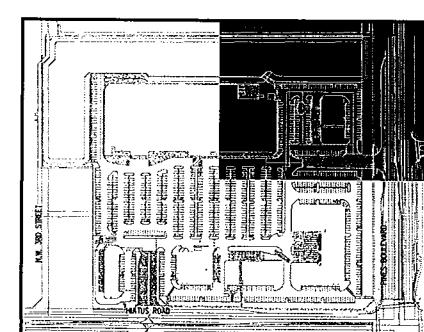
1.5" ASPHALT CONCRETE WEARING SURFACE, F.O.T. TYPE #2 PLACED IN 2 LAYER, SURFACE COURSE SHALL CONFORM TO THE VEHICULAR SURFACE COURSE. REFER TO THE FDOT STANDARD SPECIFICATIONS FOR THE REQUIREMENTS AND SPECIFICATIONS. SECTIONS 330 & 331 (LATEST EDITION).

PRIME & TACK COAT : PRIME A TACK COAT FOR THE UNIROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS. PRIME COAT-0.25 GALLONS PER SQ. YARD. APPLICATION RATE-1.5 GALLONS PER SQ. YARD. TACK COAT-0.10 GALLONS PER SQ. YARD.

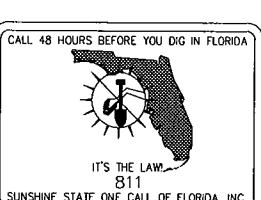
BASE : 8" UNIROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). BASE TO CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS SECTIONS 200 & 201. MINIMUM LBR=100

SUBBASE : 12" SUBBASE COMPACTED BASE OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM LBR=100

ASPHALT PAVEMENT DETAIL  
N.T.S.



PLAN LOCATION MAP  
N.T.S.

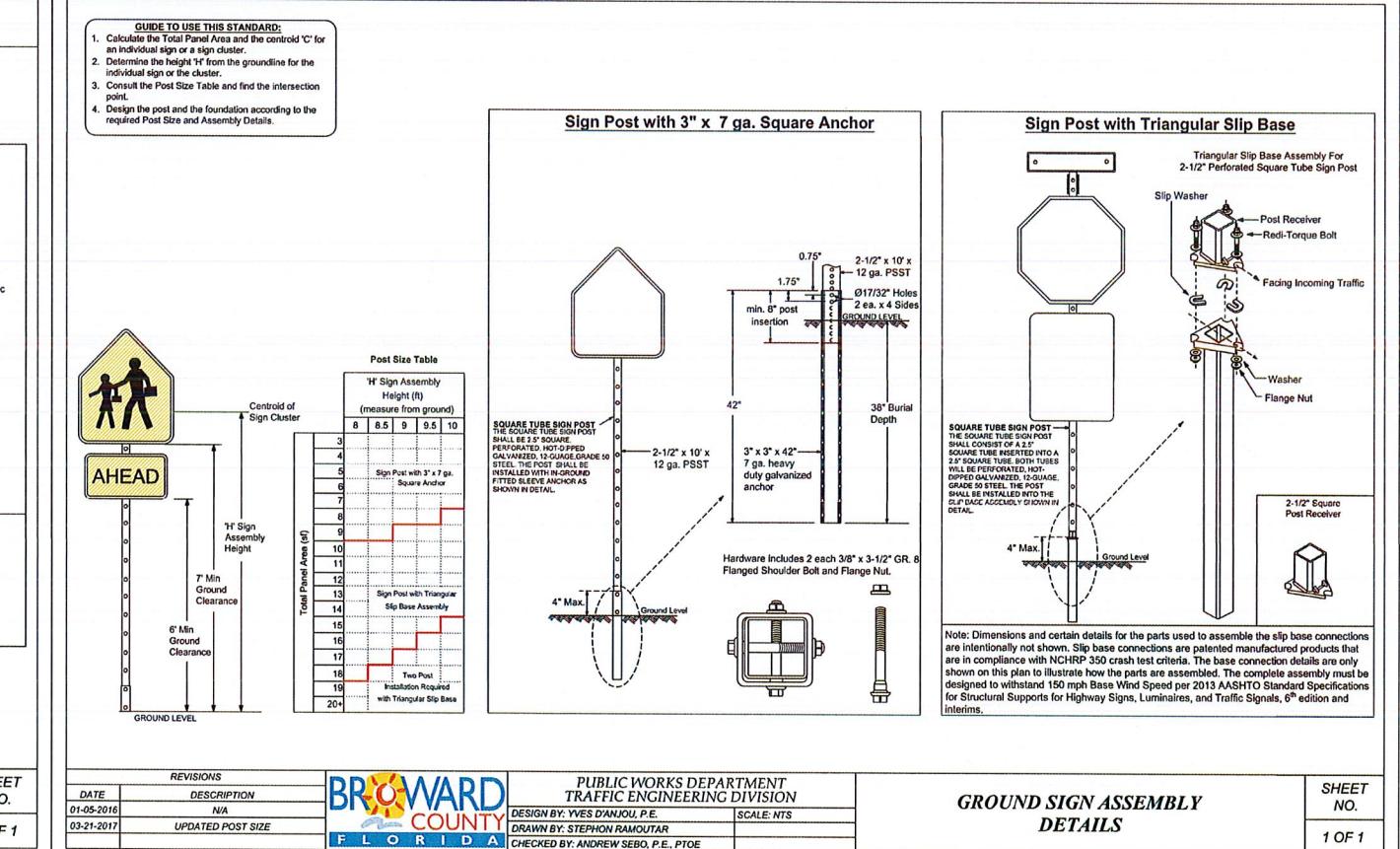
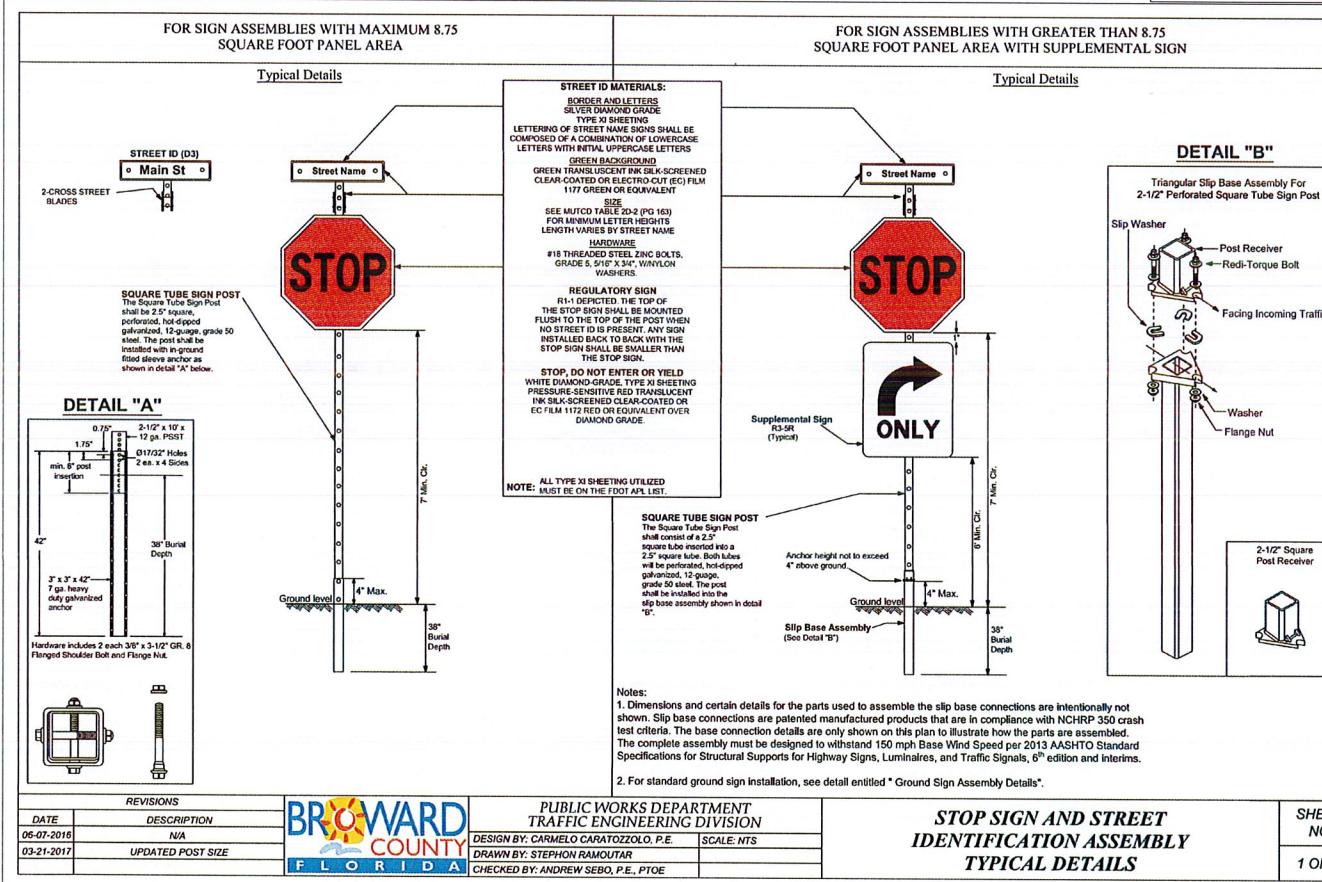
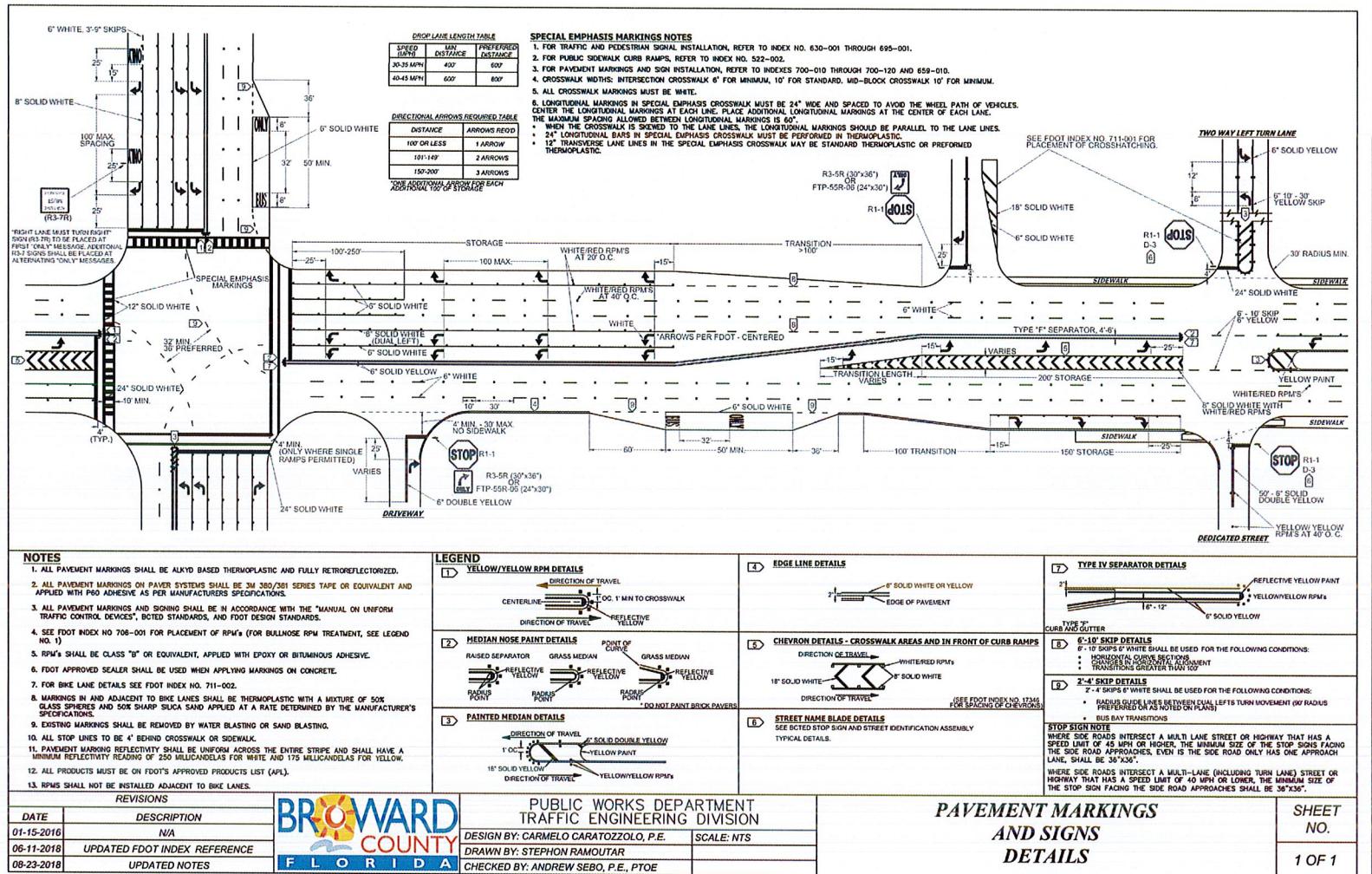


Revisions	

Phase:  
PERMIT  
DOCUMENTS

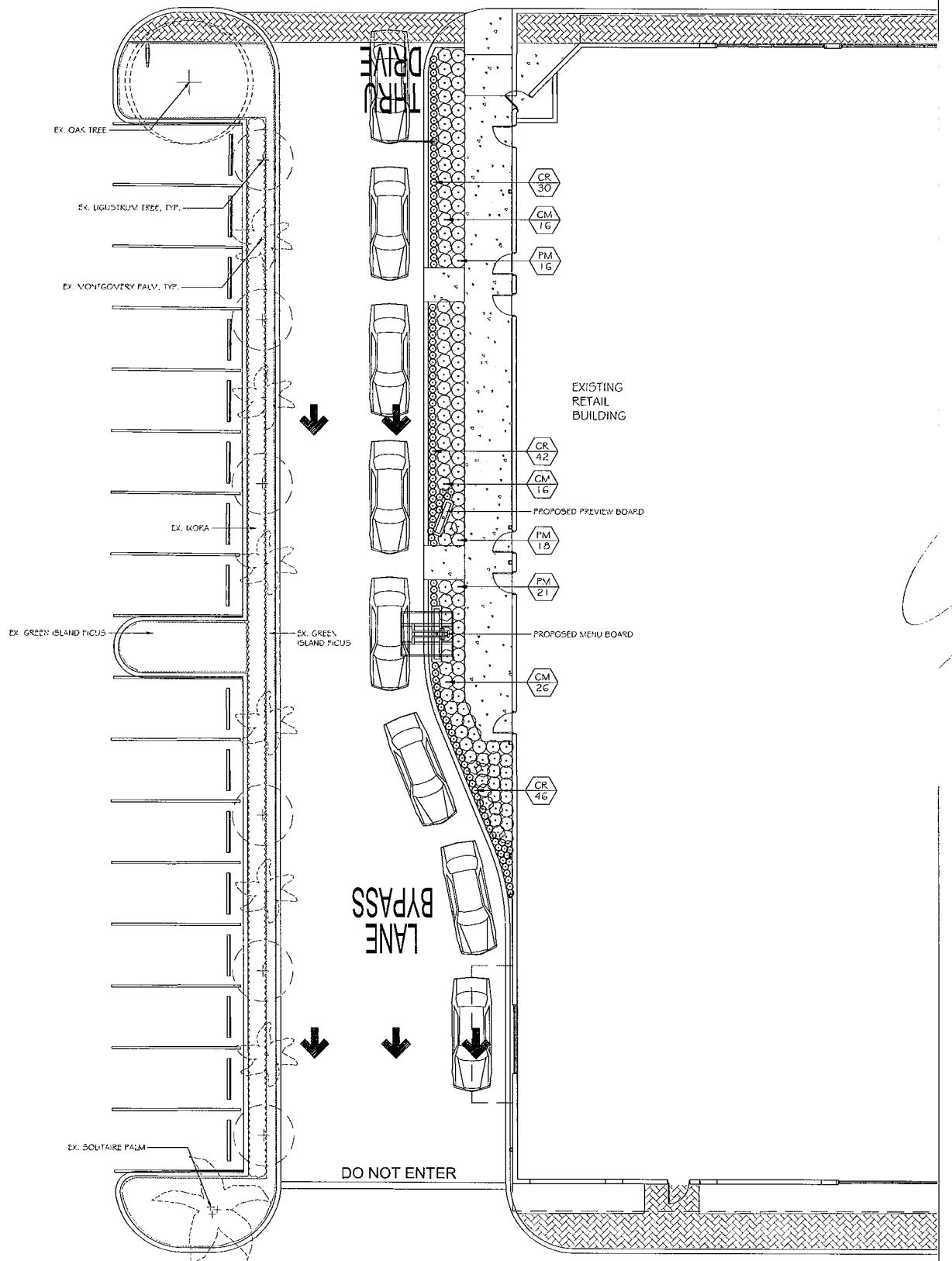
SEAL

Scale: 1"=30'	Date: 04/09/19
Job No. 19-1511.00	Rel No. 05/20/19
Drawn by DRS	Sheet No. C1
Proj. Mgr. DRS	Appr. by DRS
	1 of 1



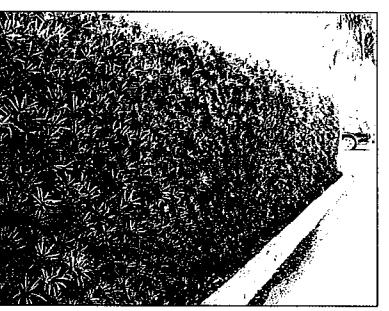
Consultants:

Revisions:

 Pembroke Lakes Square  
Pembroke Pines, Florida


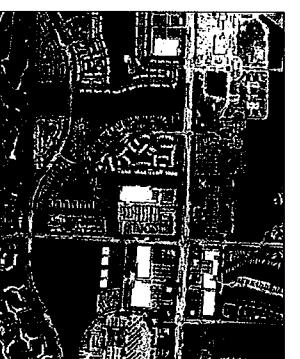
## PLANT SCHEDULE

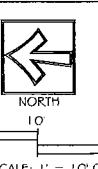
PLANT SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY	REMARKS
○	CR	Clusia rosea 'Nana'	Dwarf Clusia	118	12" ht X 12" W @ 12" O.C.
○	CM	Codiaeum variegatum 'Mammy'	Mammy Croton	58	30" ht X 24" W @ 24" O.C.
○	PM	Podocarpus macrophyllus	Podocarpus	55	48" ht X 24" W @ 24" O.C.



PODOCARPUS

## LOCATION MAP

PROJECT  
SITE
 Always call 811 two full business days before you dig to  
have underground utilities located and marked.

 Bryan  
Donahue  
LA6667130  
0  
Digitally signed  
by Bryan  
Donahue  
LA6667130  
Date: 2019.04.23  
18:18:47 -04'00'

 Drawn By: RG  
Drawing #: 1085  
Date: 04/18/2019

## LANDSCAPE PLAN

SHEET # LP.1

## Pembroke Lakes Square Pembroke Pines, Florida

Bryan  
Donahue  
LA6667130  
Digitally signed  
by Bryan  
Donahue  
LA6667130  
Date: 2019.04.23  
18:19:09 -04'00'

Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine811.com**

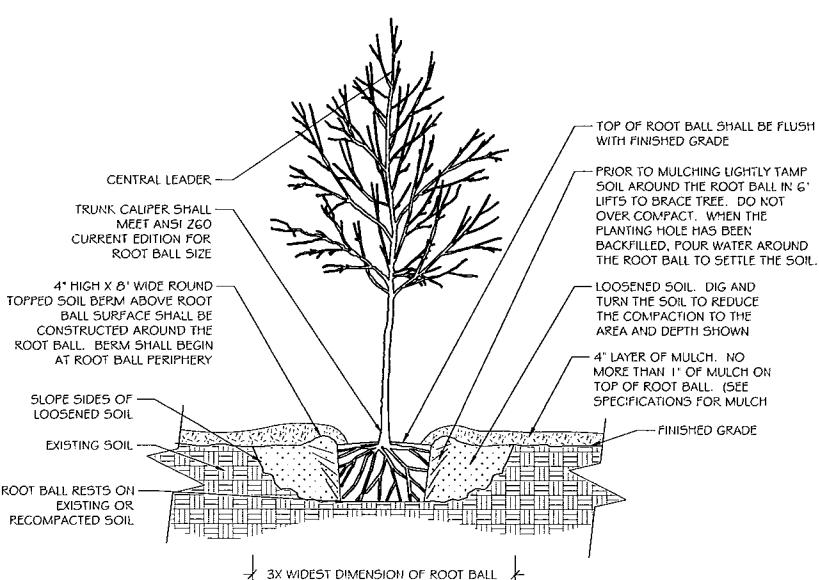
Drawn By: RG  
Drawing #: 1085  
Date: 04/18/2019

LANDSCAPE DETAILS

SHEET # LP.2

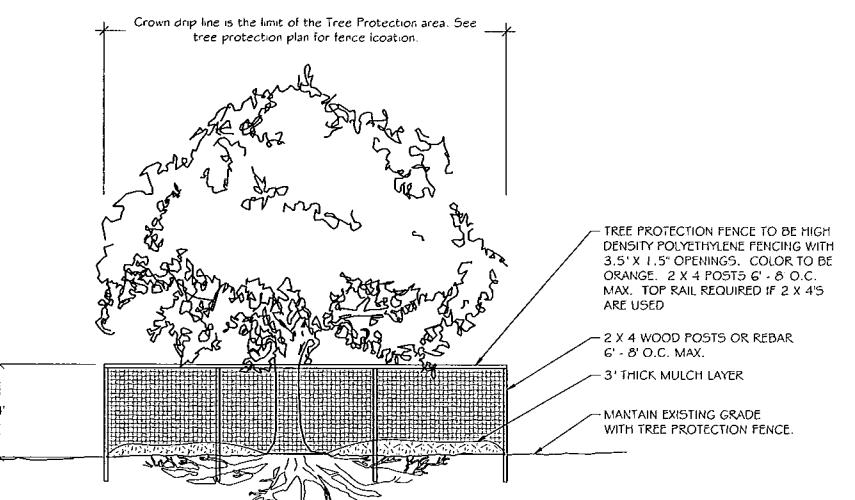
### LANDSCAPE NOTES:

- ALL PLANTS TO BE FLORIDA #1 QUALITY OR BETTER AS DEFINED IN THE LATEST EDITION OF THE FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, UNLESS OTHERWISE NOTED.
- ALL PLANTING AND SOD AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.
- ALL PLANTING BEDS/ ISLANDS SHALL BE FREE OF SHELLROCK, CONSTRUCTION DEBRIS, OR OTHER MISCELLANEOUS DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS, AND BACKFILLED WITH THE SPECIFIED SOIL MIXTURE.
- ROOT BARRIERS ARE REQUIRED FOR ALL TREES LOCATED WITHIN 10' OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED APPROVALS AND PERMITS FROM LOCAL MUNICIPALITY AND GOVERNING AGENCIES PRIOR TO REMOVAL OF ANY EXISTING VEGETATION OR BEGINNING INSTALLATION.
- IN THE EVENT OF A CONFLICT BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND GRAPHICALLY DEPICTED AND LABELED ON THE PLAN, THE PLAN WILL PREVAIL. IF SUCH CONFLICT IS DISCOVERED, CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT.
- ALL TREES PLANTED UNDER OR NEAR OVERHEAD POWER LINES SHALL COMPLY WITH FPL RIGHT TREE, RIGHT PLACE REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING, EXCAVATION, OR UNDERGROUND WORK. IF PROPOSED DESIGN CONFLICTS WITH EXISTING OR PROPOSED UTILITY LOCATIONS, CONTRACTOR SHALL IMMEDIATELY CONTACT LANDSCAPE ARCHITECT TO DEVELOP A SOLUTION FOR THE CONFLICT.



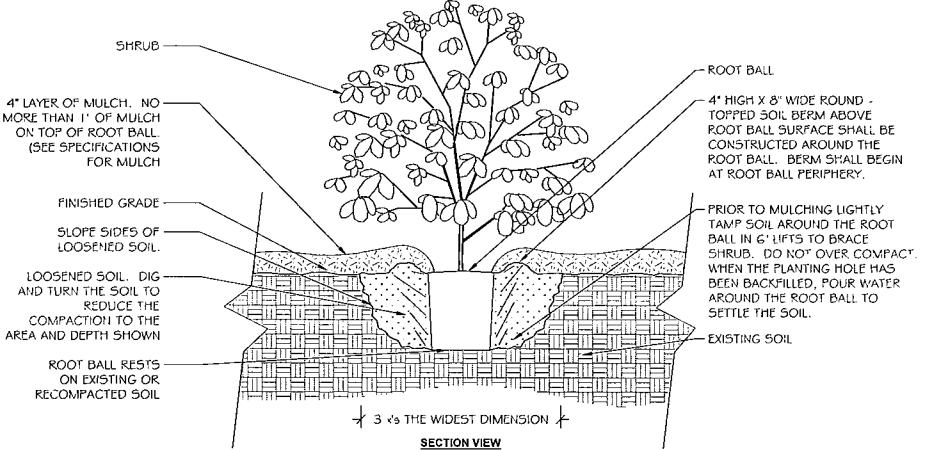
**1 TREE PLANTING DETAIL**  
1/2' = 1'-0"

- NOTES:
1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
  2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



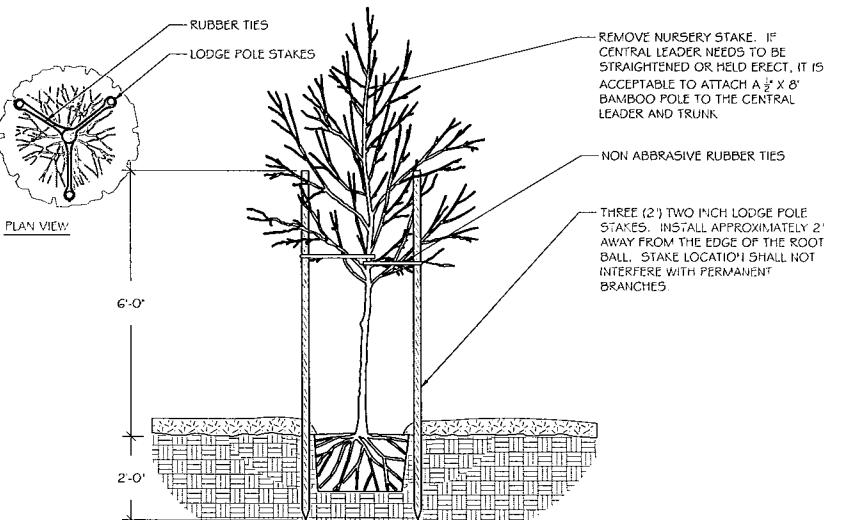
**4 TREE PROTECTION DETAIL**  
SCALE : 1/4" = 1'-0"

- NOTES:
1. KEEP OUT OF TREE PROTECTION AREA
  2. FENCE TO BE INSTALLED ALONG DRIPLINE OF EXISTING TREES
  3. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.

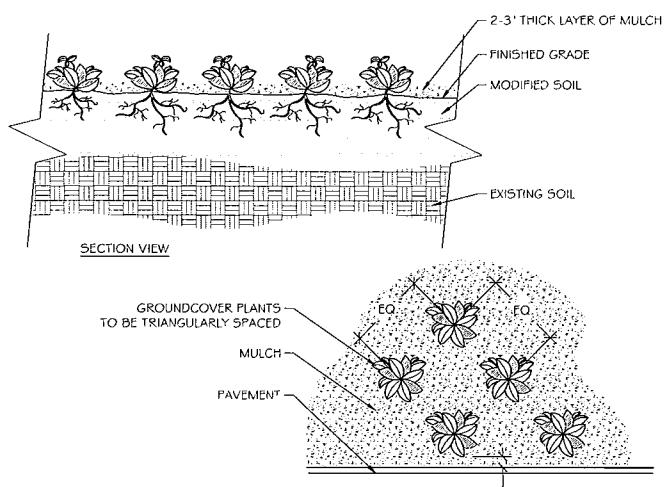


**2 SHRUB PLANTING DETAIL**  
3/4" = 1'-0"

- NOTES:
1. SHRUB SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS
  2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

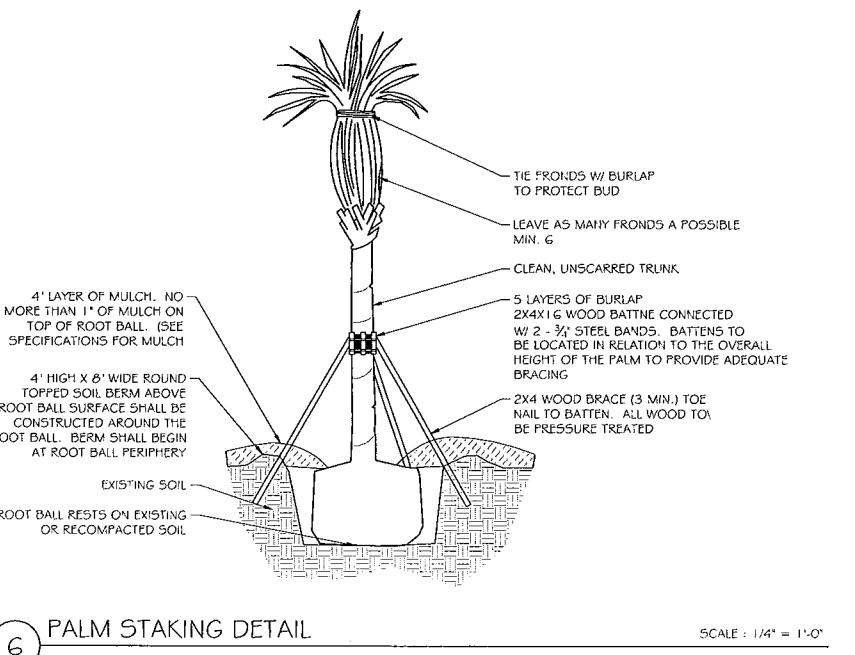


**5 TREE STAKING DETAIL**  
1/2" = 1'-0"



**3 GROUNDCOVER**  
3/4" = 1'-0"

- NOTES:
1. SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
  2. SMALL ROOTS 1/4" OR LESS THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
  3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.



**6 PALM STAKING DETAIL**  
SCALE : 1/4" = 1'-0"



# Pembroke Lakes Square Pembroke Pines, Florida

Digital signature  
by Bryan  
Donahue  
LA6667130

Date: 2019.04.23  
18:19:44 -04'00'

Always call **1-800** two full business days before you dig to have underground utilities located and marked.

**Sunshine 811.com**

Drawn By: RG

Drawing #: 1085

Date: 04/18/2019

**LANDSCAPE  
SPECIFICATIONS**

**SHEET # LP.4**

## 1.15 SELECTION AND OBSERVATION OF PLANTS

- A. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
- B. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substandard element can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor provided that the correction allows the plant to meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.
- 1. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
- 2. Corrections are to be undertaken at the nursery prior to shipping.
- C. The Contractor shall bear all cost related to plant corrections.
- D. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
- E. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.
- F. The Contractor shall require the grower or re-wholesaler supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.
- G. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.

## 1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE

- A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may otherwise not meet the requirements of the specifications, but which may be available.

## 1.17 SITE CONDITIONS

- A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings. Do not proceed with work until unsatisfactory conditions have been corrected.
- 1. Should subsurface drainage or soil conditions be encountered which would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner's Representative in writing, stating the conditions and submit a proposal covering cost of corrections. If the Contractor fails to notify the Owner's Representative of such conditions, he/she shall remain responsible for plant material under the warranty clause of the specification.
- B. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions. Report any potential conflicts, in writing, to the Owner's Representative.
- C. This specification requires that all Planting Soil and Irrigation (if applicable) work be completed and accepted prior to the installation of any plants.
- 1. Planting operations shall not begin until such time that the irrigation system is completely operational for the areas to be planted, and the irrigation system for that area has been preliminarily observed and approved by the Owner's Representative.
- D. Actual planting shall be performed during those periods when weather and soil conditions are suitable in accordance with locally accepted horticultural practices.
- 1. Do not install plants into saturated or frozen soils. Do not install plants during inclement weather, such as rain or snow or during extremely hot, cold or windy conditions.

## 1.18 PLANTING AROUND UTILITIES

- A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.
- B. Determine location of underground pipes and perform work in a manner that will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until parties concerned mutually agree upon removal.
- C. Notification of Local Utility Locator Service, Sunshine 811, is required for all planting areas: The Contractor is responsible for knowing the location and avoiding utilities that are not covered by Sunshine 811.

## PART 2 PRODUCTS

### 2.1 PLANTS: GENERAL

- A. Standards and measurement: Provide plants of quantity, size, genus, species, and variety or cultivars as shown and scheduled in contract documents.
- 1. All plants including the root ball dimensions or container size to trunk caliper ratio shall conform to ANSI Z60.1 "American Standard for Nursery Stock" latest edition, unless modified by provisions in this specification. When there is a conflict between this specification and ANSI Z60.1, this specification section shall be considered correct.
- 2. Plants larger than specified may be accepted if suitable to the Owner's Representative. Use of such plants shall not increase the contract price. If larger plants are accepted the root ball size shall be in accordance with ANSI Z60.1. Larger plants may not be accepted if the resulting root ball cannot be fit into the required planting space.
- 3. If a range of size is given, no plant shall be less than the minimum size and not less than 50 percent of the plants shall be as large as the maximum size specified. The measurements specified are the minimum and maximum size acceptable and are the measurements after pruning, where pruning is required.
- B. Proper identification: All trees shall be true to name as ordered or shown on planting plans.
- C. Compliance: All trees shall comply with federal and state laws and regulations requiring observation for plant disease, pests, and weeds. Observation certificates required by law shall accompany each shipment of plants.
- D. Plant Quality:
  - 1. General: Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, borers, and larvae. At the time of planting all plants shall have a root system, stem, and branch form that will not restrict normal growth, stability and health for the expected life of the plant
  - 2. Plant quality above the soil line:
    - a. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Tree canopy above the soil line shall comply with the Florida Grades and Standards tree grade Florida Fancy or Florida #1 and the following:
      - 1) Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar pruned to a central and dominant leader.
      - a) Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-stem, clump, or unique selections such as contorted or weeping cultivars.
    - 2) Leaves: The size, color, and appearance of leaves shall be typical for the year of age and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilting, shriveling, or dead leaves.
    - 3) Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
    - a) Main branches shall be distributed along the central leader not clustered together. They shall form a balanced crown appropriate for the cultivar/species.
    - b) Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
    - c) The attachment of the largest branches (scion/bud branches) shall be free of included bark.
  - 3) Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar pruned to a central and dominant leader.
  - a) Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-stem, clump, or unique selections such as contorted or weeping cultivars.
  - 2) Leaves: The size, color, and appearance of leaves shall be typical for the year of age and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilting, shriveling, or dead leaves.
  - 3) Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
  - a) Main branches shall be distributed along the central leader not clustered together. They shall form a balanced crown appropriate for the cultivar/species.
  - b) Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
  - c) The attachment of the largest branches (scion/bud branches) shall be free of included bark.
- 4) Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or are not acceptable and are not considered wounds), sunburned areas, cork (ring-boring borids), wood cracks, sap leakage, signs of borers, insects, gall cankers, girdling bor, or lesions (mechanical injury).
- 5) Trunk caliper and leader shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stakes may be used to maintain a straight leader in the upper half of the tree.
- 6) Plant quality at or below the soil line:
  - a. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
    - 1.) The roots shall be reasonably free of scrapes, broken or split wood.
    - 2.) The root system shall be reasonably free of insect (bark), disease (e.g., insects and pathogens) and abiotic (e.g., girdle, toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
    - 3.) A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
    - a.) Plants with structural roots on only one side of the trunk (1 roots) shall be rejected.
    - 4.) The root collar shall be within the upper 2 inches of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball.

- F. Watering bags shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stakes may be used to maintain a straight leader in the upper half of the tree.
- 3. Plant quality at or below the soil line:
  - a. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
    - 1.) The roots shall be reasonably free of scrapes, broken or split wood.
    - 2.) The root system shall be reasonably free of insect (bark), disease (e.g., insects and pathogens) and abiotic (e.g., girdle, toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
    - 3.) A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
    - a.) Plants with structural roots on only one side of the trunk (1 roots) shall be rejected.
    - 4.) The root collar shall be within the upper 2 inches of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball.

- F. Watering bags shall be:
  - 1. Treecare Irrigation Bags Sized to the appropriate model for the requirements of the plant, manufactured by Spectrum Products, Inc., Youngsville, NC 27596
  - 2. Oozube Tubs sized to the appropriate model for the requirements of the plant, manufactured by Engineered Water Solutions, Atlanta, GA
  - 3. Or approved equal.
  - C. Submit manufacturer's product data for approval

## PART 3 EXECUTION

### 3.1 DELIVERY, STORAGE AND HANDLING

#### A. Protect materials from deterioration during delivery and storage. Adequately protect plants from drying out, exposure of roots to sun, wind or extremes of heat and cold temperatures. If planting is delayed more than 24 hours after

- 5.) The root system shall be reasonably free of stem girdling roots over the root collar or kinked roots from nursery production practices.
- 6.) At time of observation and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by stunk, discolored, distorted, or dead roots.

- E. Submittals: Submit for approval the required plant quality specifications from the grower where plants are to be purchased, for each plant type. The certification that each plant meets all the above plant quality requirements:

  - 1. The grower's certification of plant quality does not prohibit the Owner's Representative from observing any plant or rejecting the plant if it is found to not meet the specific requirements.

- 2. ROOT BALL PACKAGE OPTIONS: The following root ball packages are permitted. Specific root ball packages shall be required where indicated on the plant list or in this specification. Any type of root ball packages that is not specifically defined in this specification shall not be permitted.

  - 1. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
  - 2. Corrections are to be undertaken at the nursery prior to shipping.
  - C. The Contractor shall bear all cost related to plant corrections.
  - D. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
  - E. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.
  - F. The Contractor shall require the grower or re-wholesaler supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.
  - G. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.

- 3. Provide protective covering over all plants during transportation.

- 4. The Owner's Representative or Contractor shall approve the duration, method and location of storage of plants.

- 5. Provide protective covering over all plants during storage.

- 6. The grower's certification of plant quality does not prohibit the Owner's Representative from observing any plant or rejecting the plant if it is found to not meet the specific requirements.

- 7. The following root ball packages are permitted. Specific root ball packages shall be required where indicated on the plant list or in this specification. Any type of root ball packages that is not specifically defined in this specification shall not be permitted.

- 1. All Balled and Burlapped Plants shall be field grown, and the root ball packaged in a burlap and twine and/or burlap and wire basket package.

- 2. All Balled and Burlapped Plants shall be field grown, and the root ball packaged in a burlap and twine and/or burlap and wire basket package.

- 3. Plants shall be harvested with the following modifications to standard nursery practices

- a. Prior to digging any tree that fails to meet the requirement for maximum soil and roots above the root collar, carefully remove the soil from the top of the root ball of each plant, using hand tools, water or an air spade, to locate the root collar and attain the soil depth over the structural roots. Remove all stem girdling roots above the root collar. Care must be exercised not to damage the surface of the root collar and the top of the root ball.

- b. Take care when harvesting for a minimum of 4 weeks and a maximum of 52 weeks prior to shipping. Trees due to 26 weeks prior to shipping are defined as harden-off. Digging is defined as cutting all roots and lifting the tree out of the ground and either moving it to a new location in the nursery or placing it back into the same hole. Trees that are stored out of the ground shall be placed in a holding area protected from extremes of wind and sun with the root ball protected by covering with mulch or straw and irrigated sufficiently to keep moisture in the root ball above wilt point and below saturation.

- c. If wire baskets are used to support the root ball, a "low profile" basket shall be used. A low profile basket is defined as having the top of the highest loops on the basket no less than 4 inches and no greater than 8 inches below the shoulder of the root ball package. The basket shall be removed completely at time of planting.

- d. Twine and burlap used for wrapping the root ball package shall be natural, biodegradable material. If the burlap decomposes after digging the tree then the root ball shall be re-wrapped prior to shipping if roots have not yet grown to keep root ball intact during shipping.

- 4. Spade Harvested and Transplanted Plants shall meet all the requirements for field grown trees. Root ball diameter shall be of similar size as the ANSI Z60.1 requirements for Balled and Burlapped plants.

- 5. Trees shall be harvested prior to leafing out (bud break) in the spring or during the fall planting period except for plants known to be considered as fall planting hazards. Plants that are fall planting hazards shall only be harvested prior to leafing out in the spring.

- 6. Twine and burlap used for wrapping the root ball package shall be natural, biodegradable material. If the burlap decomposes after digging the tree then the root ball shall be re-wrapped prior to shipping if roots have not yet grown to keep root ball intact during shipping.

- 7. The root ball shall be of similar size as the ANSI Z60.1 for container plants for each size and type of plant.

- 8. Harvest bare root plants while the plant is dormant and a minimum of 4 weeks prior to leaf out (bud break)

- 9. The root spread dimensions of the harvested plants shall conform to ANSI Z60.1 for nursery grown bare root plants for each size and type of plant. Just prior to shipping to the job site, rip the root system into a shirley or hydrogel (cross linked polyacrylamide) and water mixed at a rate of 15 oz. of hydrogel in 25 gallons of water. Do not shake off the excess hydrogel. Place the root system in a plastic black plastic bag and tie the bag snugly around the trunk. Bunch and tie the upper branches together.

- 10. Keep the trees in a cool dark storage for space and delivery. If daytime outside temperatures exceeds 70 degrees F, utilize a refrigerated storage area with temperature between 35 and 50 degrees.

- 11. Where possible, plan time of planting to be before bud break. For trees to be planted after bud break, place the trees before bud break in an irrigated bed of peat.

- 12. The root spread dimensions of the harvested plants shall conform to ANSI Z60.1 for nursery grown bare root plants for each size and type of plant. Just prior to shipping to the job site, rip the root system into a shirley or hydrogel (cross linked polyacrylamide) and water mixed at a rate of 15 oz. of hydrogel in 25 gallons of water. Do not shake off the excess hydrogel. Place the root system in a plastic black plastic bag and tie the bag snugly around the trunk. Bunch and tie the upper branches together.

- 13. No more plants shall be distributed about the planting bed area than can be planted and watered on the same day.

- 14. The root system of each plant, regardless of root ball package type, shall be observed by the Contractor, at the time of planting to ensure that the plant meets the requirements for plant root quality in Part 2 Products: Plants General. Plant Quality. The Contractor shall undertake at the time of planting, all modifications to the root system required by the Owner's Representative to meet these quality standards.

- 15. The root ball shall conform to the soil moisture levels with a moisture meter. If the moisture is too high, suspend planting operations until the soil moisture drops to below field capacity.

- 16. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend planting operations until the soil moisture drops to below field capacity.

- 17. Installation of Plants: GENERAL

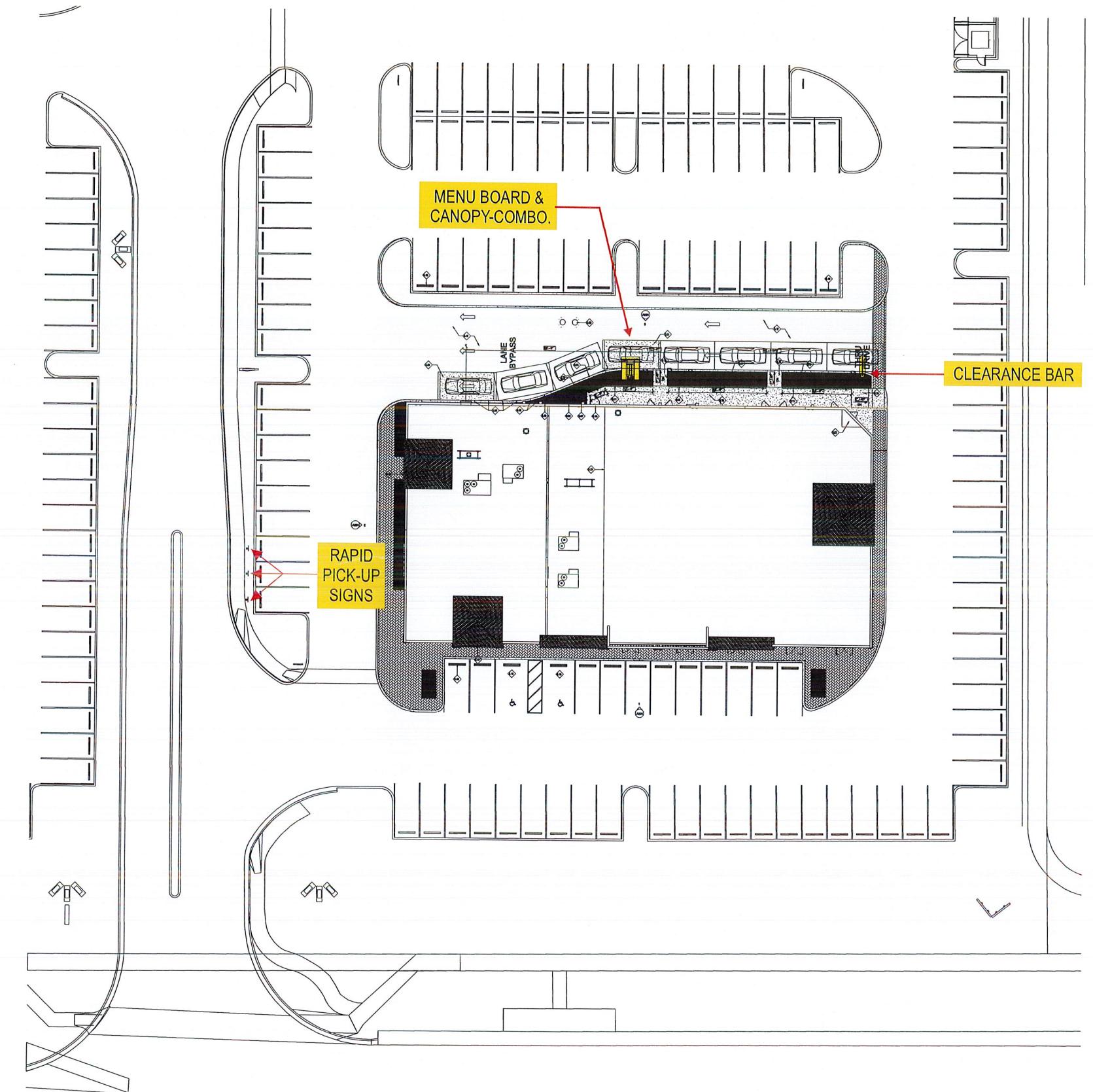
- C. Observe each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant. Notify the Owner's Representative of any condition observed.

- D. No more plants shall be distributed about the planting bed area than can be planted and watered on the same day.

- E. The root system of each plant, regardless of root ball package type, shall be observed by the Contractor, at the time of planting to ensure that the plant meets the requirements for plant root quality in Part 2 Products: Plants General. Plant Quality. The Contractor shall undertake at the time of planting



**SITE PLAN: NOT TO SCALE**



**PINES BOULEVARD**

ARTWORK EXCLUSIVE PROPERTY OF  
SINCE 1917



**MANDEVILLE SIGN**  
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

WEB [www.mandevillesign.com](http://www.mandevillesign.com)

**APPROVALS**

*Signatures Required Before Release to Production*

Engineering

BY DATE

Sales

BY DATE

Estimating

BY DATE

Production

BY DATE

Quality Control

BY DATE

PDF NAME

**REVISIONS**

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

**00841.1**

WORK ORDER #



CUSTOMER

**4718**

STORE NUMBER

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

PROJECT MANAGER Jim M.

JM 05/13/19  
ARTIST DATE

**00841.5**

DRAWING NAME

NO.	BY	DESCRIPTION	DATE
1	XX	XXXXXXXX	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

**00841.1**  
WORK ORDER #



CUSTOMER

**4718**  
STORE NUMBER

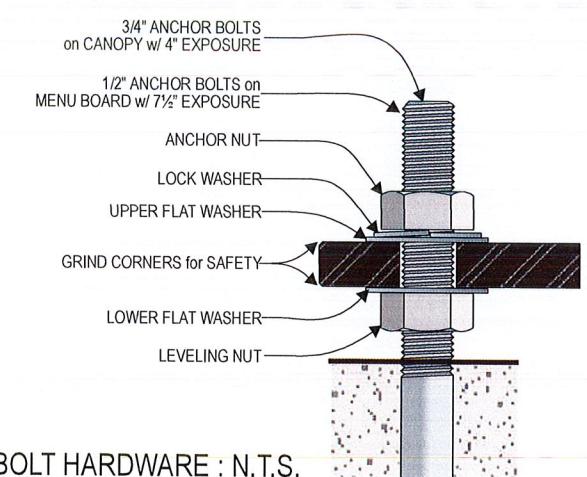
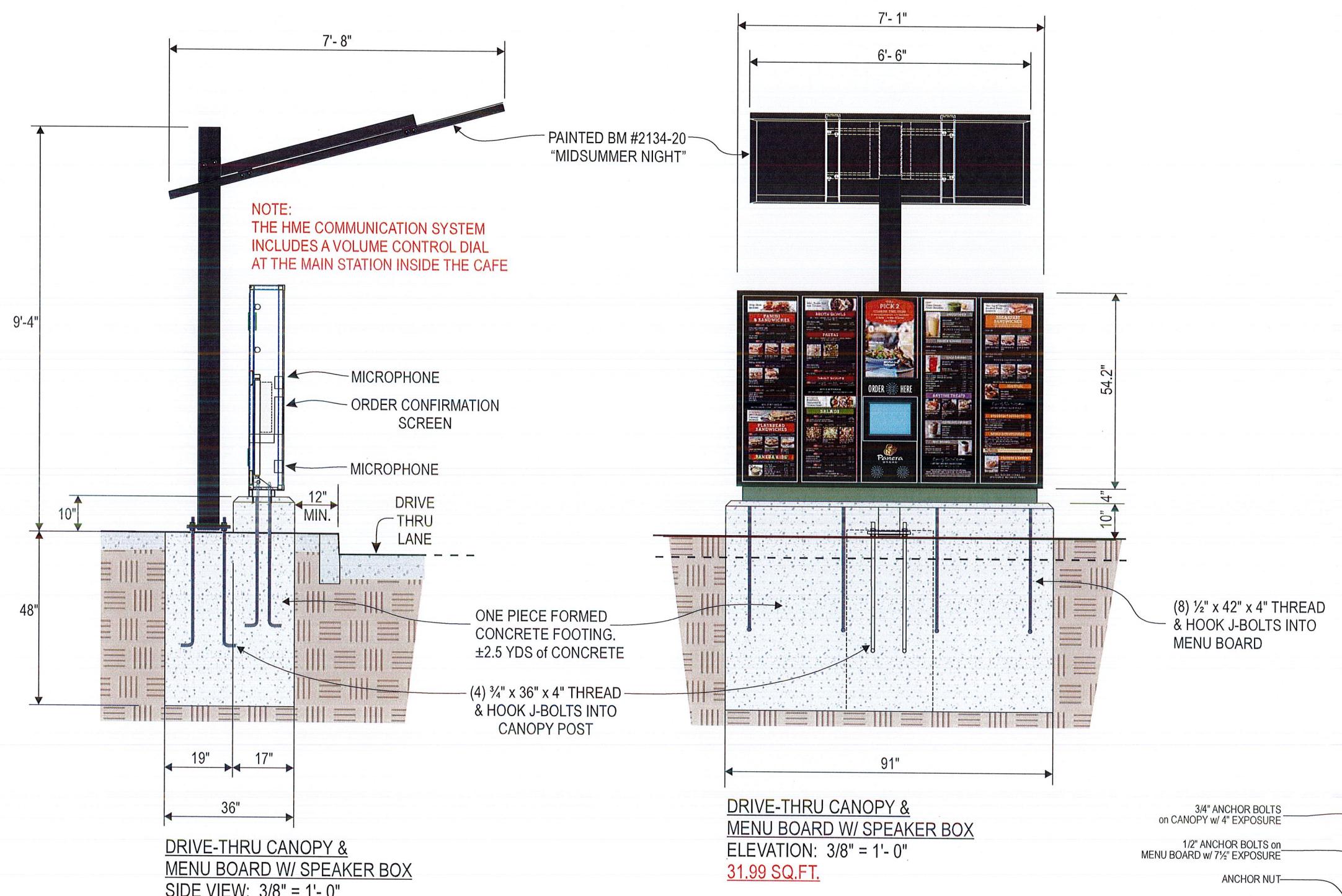
11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

Jim M.  
PROJECT MANAGER

JM  
ARTIST  
05/13/19  
DATE

**00841.6**  
DRAWING NAME



J-BOLT HARDWARE : N.T.S.

## APPROVALS

**Signatures Required Before Release to Production**

Engineering	DATE
Sales	DATE
BY	DATE
Estimating	DATE
Production	DATE
BY	DATE
Quality Control	DATE
BY	DATE

PDF NAME

## REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

00841 1



#### **Customer**

4718

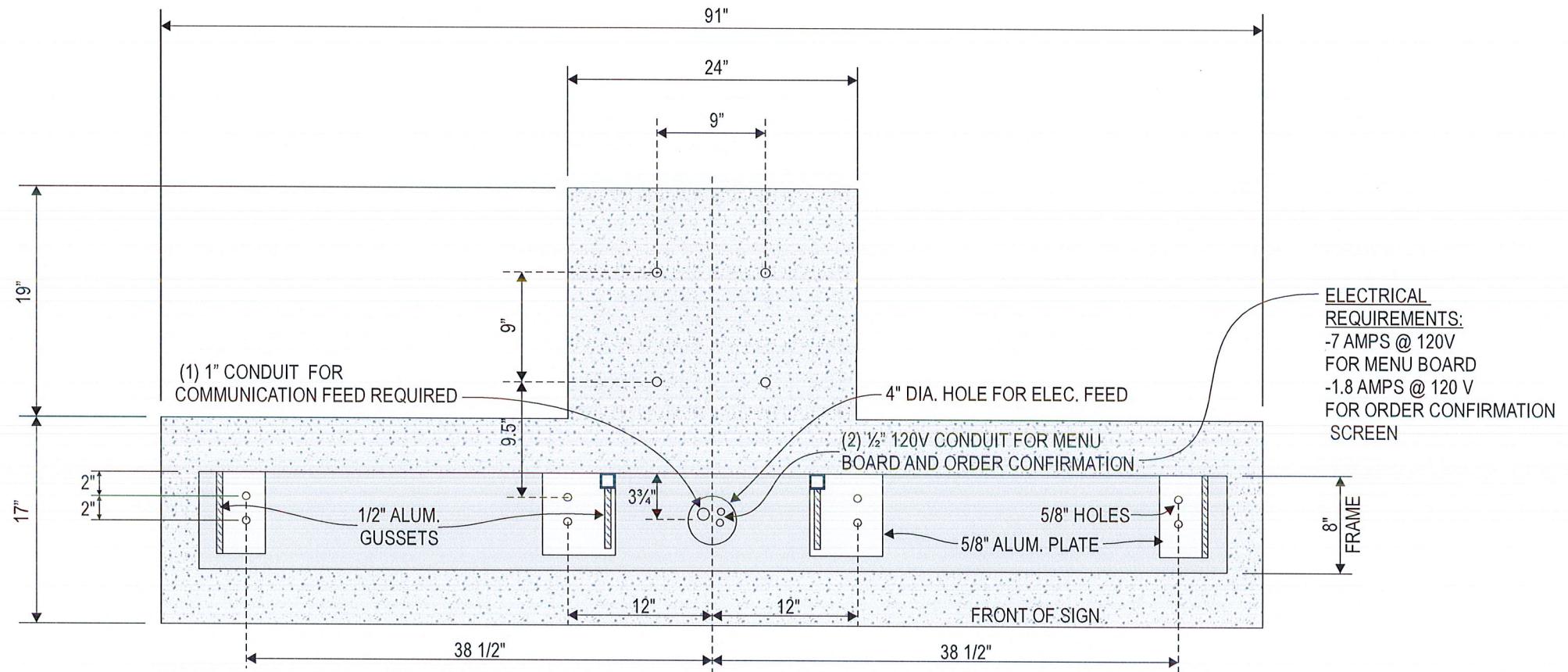
11025 Pines Blvd.  
Brentwood, CA 94513

Jim M.

JM 05/13/19

JM  
ARTIST

DRAWING NAME



#### FRAME MOUNTING PLATE DETAILS- PLAN VIEW

SCALE - 1" = 1'-0"

MENU BOARD BOLTS: (8) 1/2" x 42" LONG ANCHOR BOLTS with 4" THREAD AND HOOK 7" EXPOSED ABOVE CONCRETE

CANOPY BOLTS:.....(4) 3/4" x 36" LONG ANCHOR BOLTS with 4" THREAD AND HOOK 4" EXPOSED ABOVE CONCRETE





676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

www.mandevillesign.com

#### APPROVALS

Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

PDF NAME

#### REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

WORK ORDER #



CUSTOMER

STORE NUMBER

11025 Pines Blvd.  
Pembroke Pines, FL 33026

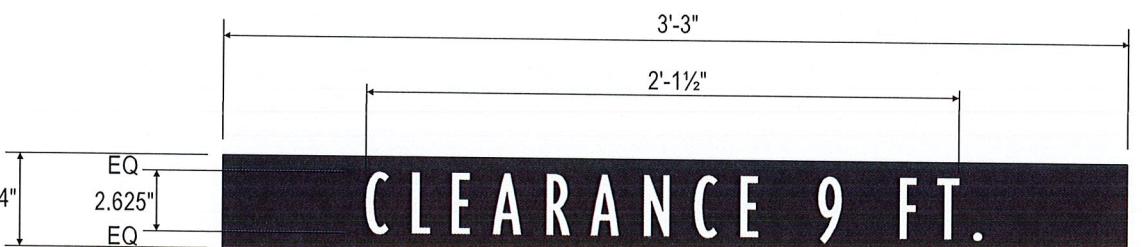
LOCATION

PROJECT MANAGER

JM  
ARTIST  
05/13/19  
DATE

00841.9

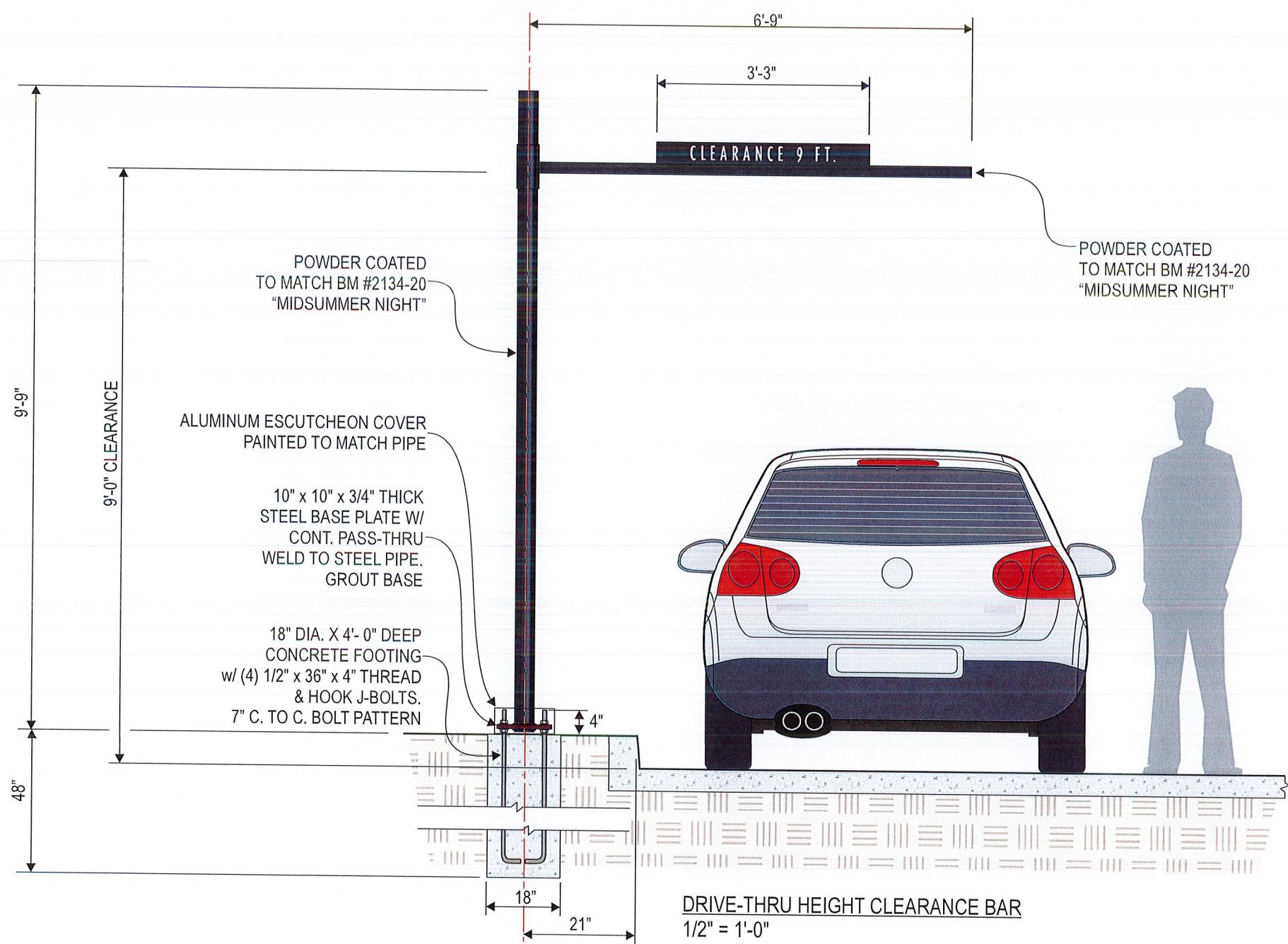
DRAWING NAME



TYPE FONT: TRIPLEX CONDENSED REGULAR, 20% LETTER SPACING

#### CLEARANCE BAR SIGN

1 1/2" = 1'-0"



ARTWORK EXCLUSIVE PROPERTY OF  
SINCE 1917

**MANDEVILLE SIGN**  
making your mark.

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

www.mandevillesign.com

**APPROVALS**  
Signatures Required Before Release to Production

Engineering	DATE
BY Sales	DATE
BY Estimating	DATE
BY Production	DATE
BY Quality Control	DATE
BY	DATE

PDF NAME

**REVISIONS**

NO.	BY	DESCRIPTION	DATE
1	JM	updated d/t graphics	05/20/19
2	JM	updated sign layouts	06/03/19
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National Electric Code (Article 600) and be manufactured according to Underwriters Laboratories U.L. 48 standards and labeled accordingly.

00841.1

Panera BREAD

CUSTOMER

4718

STORE NUMBER

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

Jim M.

PROJECT MANAGER

JM 05/13/19

DATE

00841.10

DRAWING NAME

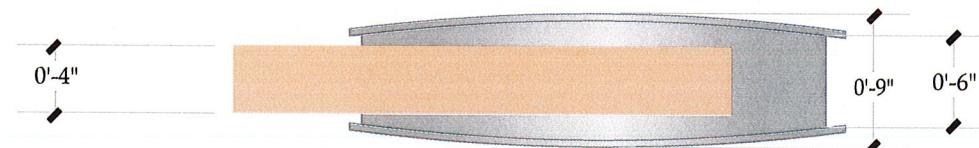
A	ICI 440 Pavilion Peach EXTERIOR BUILDING
B	ICI 627 Venus Star EXTERIOR BUILDING
C	ICI 476 Golden Wheat EXTERIOR BUILDING
D	ICI 178 Agave Rose EXTERIOR BUILDING
E	ICI 1016 White on White EXTERIOR BUILDING
G	PPG GM 12 Channel Letter Casting
H	PPG GM 03 Channel Back Plate
I	PPG GM 1 Line Work
J	White Santoglass #7728 acrylic
K	ICI 1346 Philosophical Grey METAL CANOPY
L	PROCESS BLACK C Translucent Vinyl

## Design Data

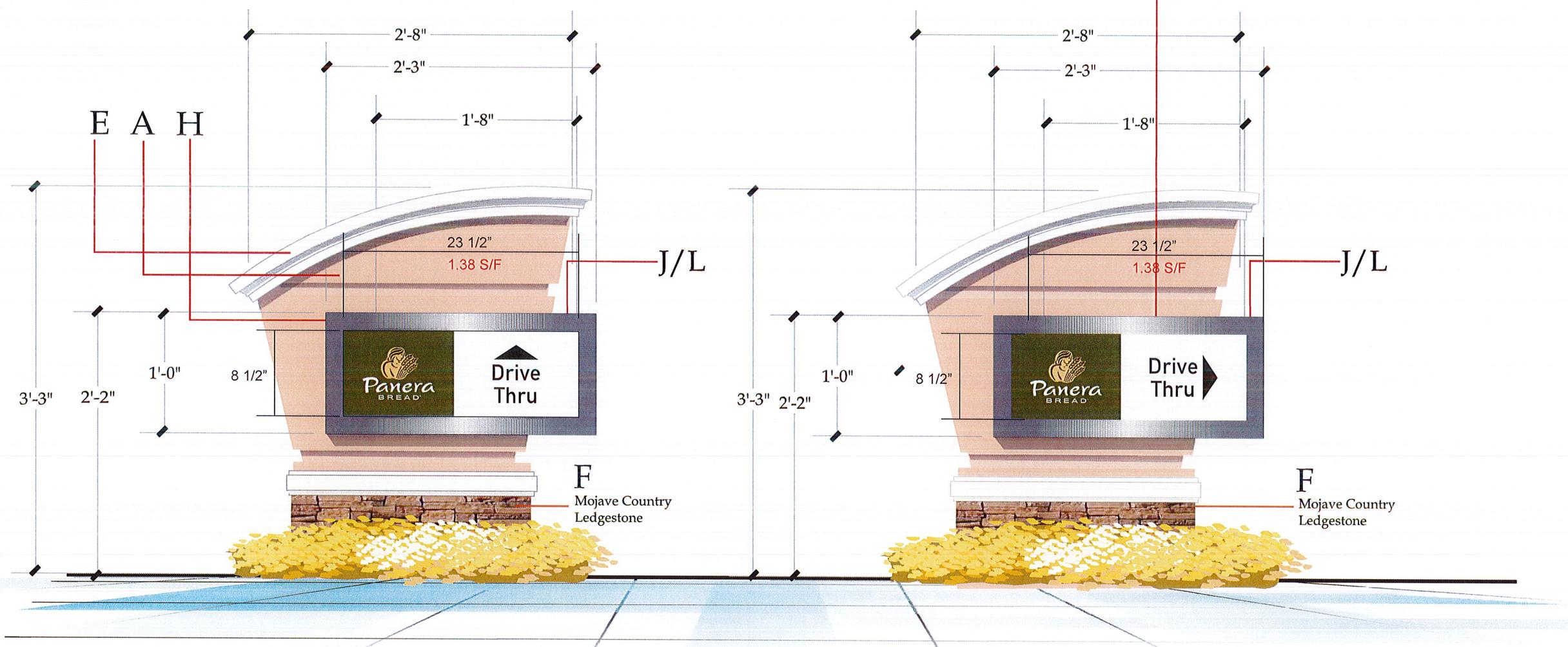
Allowable Graphic area square footage @ 1.5 Sq ft  
Pharmacy Drive Thru with directional arrow @ 1.07 sq ft  
Bank Drive Thru with directional arrow @ 1.07 sq ft  
ATM with directional arrow @ 0.50 sq ft  
Proposed: Internal Illumination with decorative ground lighting

## Lighting Data

All lettering / directional arrows routed from aluminum face with white acrylic back within. Internal fluorescent or LED\illumination. Background opaque.



## Directional / Plan View



## Drive Thru Directional Sign

SCALE: 1=1-0

REPLACEMENT FACES FOR  
EXISTING INTERNALLY ILLUMINATED  
DIRECTIONAL SIGNS:

- .090 ALUMINUM FACES
- PANTONE 5757 CP OPAQUE GREEN FIELD/BACKGROUND
- STENCIL CUT COPY
- COLORS AS SHOWN: BLACK, WHITE & PANTONE 7403 CP PEACH

COPY AREA: 1.38 S/F



MANDEVILLE SIGN  
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

WEB [www.mandevillesign.com](http://www.mandevillesign.com)

APPROVALS

Signatures Required Before Release to Production

Engineering

BY DATE

Sales

BY DATE

Estimating

BY DATE

Production

BY DATE

Quality Control

BY DATE

PDF NAME

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JM	updated d/t graphics	05/20/19
2	JM	updated sign layouts	06/03/19
3			
4			
5			
6			
7			
8			
9			
10			

All electrical signs shall comply with the National  
Electric Code (Article 600) and be manufactured  
according to Underwriters Laboratories U.L. 48  
standards and labeled accordingly.

00841.1  
WORK ORDER #



CUSTOMER

4718

11025 Pines Blvd.  
Pembroke Pines, FL 33026

LOCATION

Jim M.

PROJECT MANAGER JM 05/13/19  
DATE

00841.10  
DRAWING NAME

SIGN #21



SIGN #25



SIGN #23



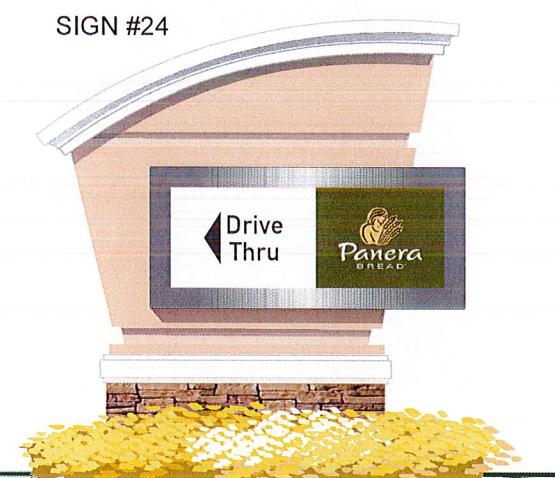
Drive Thru Directional Sign

SCALE: 3/4"=1'-0"

SIGN #22



SIGN #24



Drive Thru Directional Sign

SCALE: 3/4"=1'-0"



# MANDEVILLE SIGN

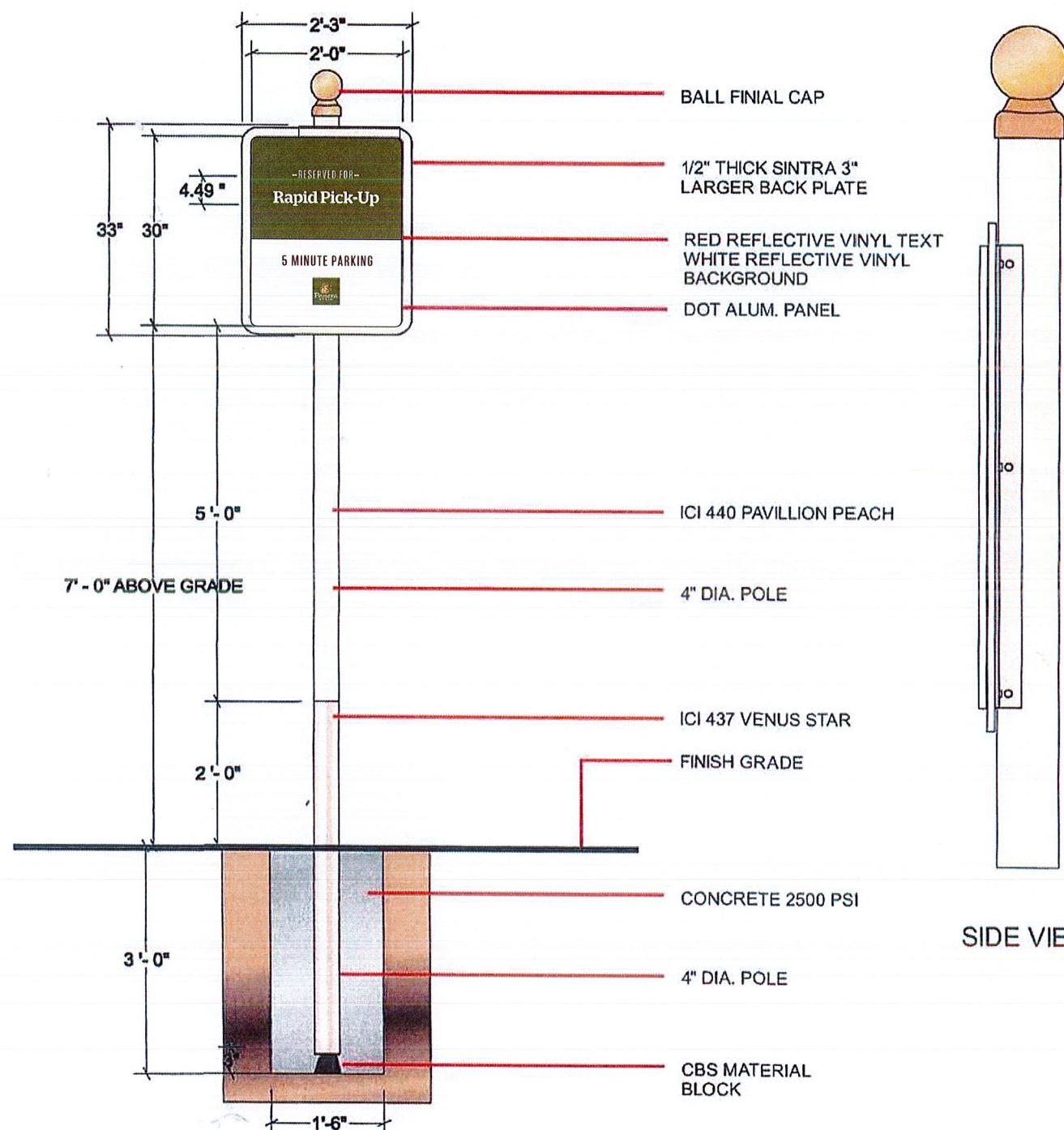
*making your mark.*

676 GEORGE WASHINGTON HIGHWAY  
LINCOLN, RI 02865-4255

401-334-9100 401-334-7799  
PHONE FAX

WEB [www.mandevillesign.com](http://www.mandevillesign.com)

## MOUNTING DETAIL SECTION



**TYP. POST AND SIGN**

### (3) REQUIRED

### SIDE VIEW

### TOP VIEW

## SPECIFICATIONS:

NOTE: BOTTOM OF SIGN BACK PLATES TO BE AT 7'-0" ABOVE GRADE

ALL SIGN PANELS TO HAVE 1/2" THICK ICI 440 PAVILLION PEACH SINTRA BACK PLATES WHICH ARE OVERSIZED 15" ON ALL EDGES.

POLES TO BE 4" DIA ALUMINUM PAINTED TWO PARTS ICI 440 PAVILLION PEACH  
ON TOP SECTION AND ICI 437 VENUS STAR ON 2' LOWER SECTION  
BALL FINIALS PAINTED MP 30133 BRILLIANT GOLD  
SCREWS AND HARWARE PAINTED ICI 440 PAVILLION PEACH.

N



## CUSTOMER

4718

10. *Journal of the American Statistical Association*, 1980, 75, 362-375.

11025 Pines Blvd.  
Pembroke Pines, FL 33026

#### LOCATION

Jim M

JM 05/13/19  
ARTIST DATE

00841.11

DRAWING NAME