



BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES

FREE STANDING EMERGENCY CARE FACILITY + MEDICAL OFFICE BUILDING

1400 SW 145th Avenue - Pembroke Pines. FL



SITE PLAN APPLICATION

04/27/2023 CURRENT SUBMITTAL: 09/03/2024 (SPA REV. 05)

Project Number: 02273.000

OWNER



BAPTIST HEALTH
8500 Southwest 117 Avenue
Miami, FL 33183

ARCHITECT



BERMELLO AJAMIL & PARTNERS
900 Southeast 3rd Avenue, Suite 100
Ft. Lauderdale, FL 33316
P: 954.278.3240

CIVIL ENGINEER



KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
P: 954.535.5100

LANDSCAPE



ARCHITECTURAL ALLIANCE LANDSCAPE
612 Southwest 4th Avenue,
Ft. Lauderdale, FL 33315
P: 954.764.8858

SIGNAGE CONSULTANT



TGA DESIGN
4649 Ponce de Leon Blvd. Suite 401
Coral Gables, FL 33146
P: 305.669.2550

PROJECT / BUILDING DATA	
BUILDING ADDRESS	1400 SW 145th AVENUE PEMBROKE PINES, FLORIDA
LEVEL OF ALTERATION	NEW CONSTRUCTION
CONSTRUCTION TYPE	TYPE IB (FBC TABLE 601) NFPA TYPE 211 TYPE I - 332 (NFPA TABLE A8.2.1.2)
FIRE SUPPRESSION	FULLY AUTOMATIC SPRINKLERED SYSTEM
OCUPANCY CLASSIFICATION	MIXED △
FIRST FLOOR	I-2, CONDITION 2, UNRESTRAINED (INSTITUTIONAL)
SECOND FLOOR	B
THIRD FLOOR	B

APPLICABLE CODES

FLORIDA BUILDING CODE 7TH EDITION (2020) - EXISTING BUILDING
 FLORIDA BUILDING CODE 7TH EDITION (2020) - BUILDING
 FLORIDA BUILDING CODE 7TH EDITION (2020) - ACCESSIBILITY
 FLORIDA BUILDING CODE 7TH EDITION (2020) - TEST PROTOCOLS
 FLORIDA BUILDING CODE 7TH EDITION (2020) - MECHANICAL
 FLORIDA BUILDING CODE 7TH EDITION (2020) - PLUMBING
 FLORIDA BUILDING CODE 7TH EDITION (2020) - FUEL GAS
 FLORIDA BUILDING CODE 7TH EDITION (2020) - ENERGY CONSERVATION
 NATIONAL ELECTRICAL CODE / NFPA 70 (2017) EDITION

GUIDELINES FOR DESIGN AND CONSTRUCTION OF HEALTH CARE FACILITIES (2018)
 CODES AS REFERENCED IN THE FLORIDA BUILDING CODE, SECTION 449: HOSPITALS
 FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020) WHICH INCLUDES:
 NFPA 1, UNIFORM FIRE CODE (2018)
 NFPA 101, LIFE SAFETY CODE (2018)
 ASME A17.1 - SAFETY CODE FOR ELEVATORS AND ESCALATORS

CONSTRUCTION TYPE (FBC TABLE 601): TYPE IB

SPRINKLERED: FULLY SPRINKLERED
 STRUCTURAL FRAME: 2 HOUR
 BEARING WALLS: 2 HOUR
 EXTERIOR NON-BEARING WALL: 1 HOUR
 INTERIOR NON-BEARING WALLS: NONE
 FLOOR CONSTRUCTION: 2 HOUR
 ROOF CONSTRUCTION: 2 HOUR

ALL EXPOSED STEEL ELEMENTS SHALL BE PROTECTED WITH INTUMESCENT PAINT

INTERIOR FINISHES (FBC CHAPTER 9)
 THE REQUIREMENTS OUTLINED BELOW ARE BASED UPON A FULLY SPRINKLERED BUILDING AND APPLICABLE OCCUPANT TYPES.

CLASS A - FLAME SPREAD - 0-25 / SMOKE DEVELOPMENT - 0-450
 CLASS B - FLAME SPREAD - 26-75 / SMOKE DEVELOPMENT - 0-450
 CLASS C - FLAME SPREAD - 76-200 / SMOKE DEVELOPMENT - 0-450

- EXIT ENCLOSURES AND EXIT PASSAGEWAYS
INSTITUTIONAL I-2: CLASS B
- CORRIDORS
INSTITUTIONAL I-2: CLASS B
- ROOMS AND ENCLOSED SPACES
INSTITUTIONAL I-2: CLASS B
*CLASS C ON ADMINISTRATIVE SPACES
*CLASS C ON ROOMS WITH CAPACITY FOR FOUR PERSONS OR LESS.

OTHER APPLICABLE DATA
 SMOKE BARRIERS: (FBC 407.4)
 a. SMOKE COMPARTMENTS AREA NO MORE THAN 22,500 SF
 b. MAX DISTANCE TO AN EXIT = 200 FT.
 c. MAX DEAD END = 20 FEET

FLORIDA ADMINISTRATIVE CODES (INCLUDING LIFE SAFETY CODES):
 CHAPTER 59A-3.081 PHYSICAL PLANT REQUIREMENTS FOR GENERAL, REHABILITATION AND PSYCHIATRIC HOSPITALS
 CHAPTER 69A-53 UNIFORM FIRE SAFETY STANDARDS FOR HOSPITALS AND NURSING HOMES
 CHAPTER 69A-3.012 STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION AND OTHER STANDARDS ADOPTED SFM UNIFORM FIRE SAFETY RULES:
 HTTPS://WWW.FLRULES.ORG/GATEWAY/ORGANIZATION/ASP?ID=359 OR 850-413-3619
 CHAPTER 633, FLORIDA STATUTES, FIRE PREVENTION AND CONTROL: HTTP://LEG.STATE.FL.US/STATUTES/ OR 850-413-3619

FEDERAL CODES AND REGULATIONS:
 THE AMERICANS WITH DISABILITIES ACT (ADA) AND ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (2010)



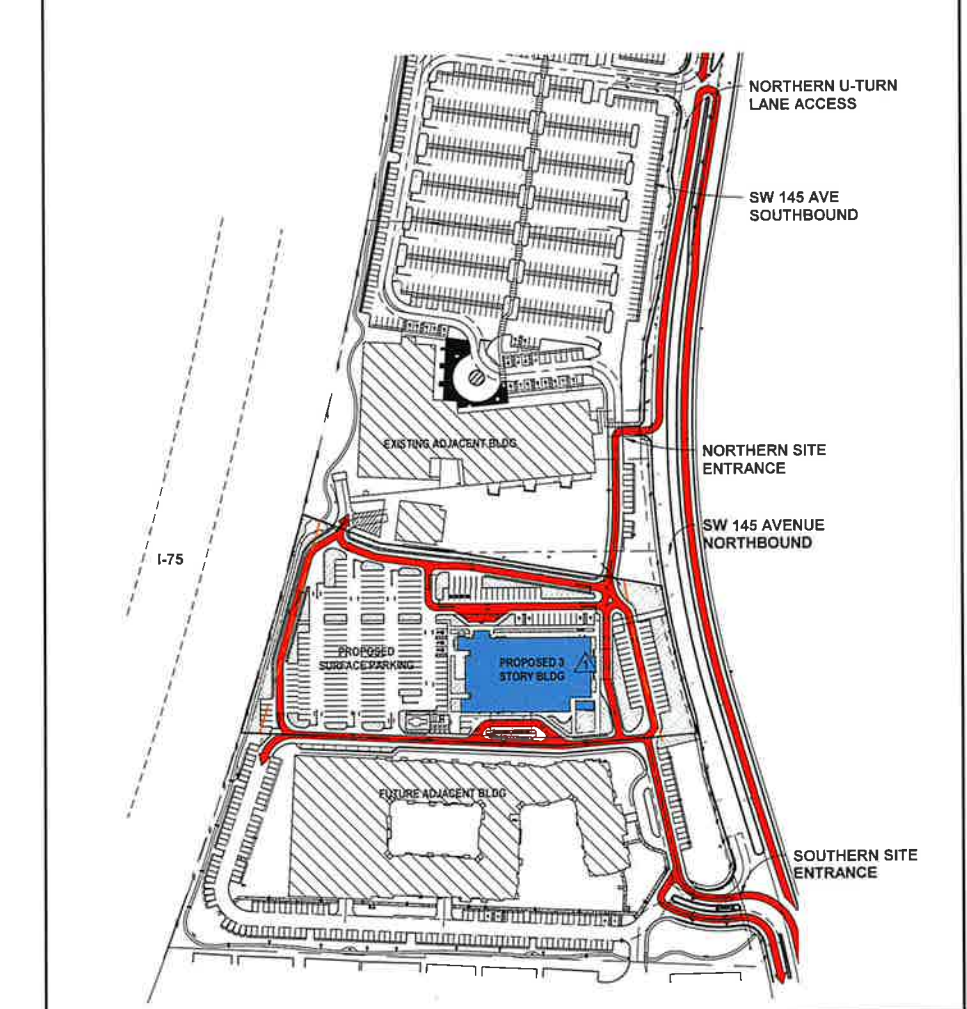
DRAWING SHEET INDEX		ORIGINAL ISSUE DATE	REV 01	REV 02	REV 03	REV 04	REV 05
SHEET NUMBER	SHEET DESCRIPTION		SPA COMMENTS	SPA COMMENTS	SITE UPDATES	SPA COMMENTS	SHEET ISSUED
A-000	COVER SHEET	04/27/2023					
A-001	PROJECT INFORMATION & INDEX	04/27/2023					
A-002	PHASE 1 SITE DIMENSION PLAN	04/27/2023					
A-005	PHASE 1 ENLARGED TRASH & GEN ENCLOSURE	04/27/2023					
A-007	MISC. SITE DETAILS	04/27/2023					
A-008	MISC. SITE DETAILS	08/30/2023					
A-009	SITE & ROOFTOP SCREENS	04/27/2023					
A-010	AREA PLANS	04/27/2023					
A-101	PHASE 1 GROUND FLOOR PLAN	04/27/2023					
A-103	PHASE 1 TYP. SHELL SPACE FLOOR PLAN (2 & 3 FLOOR)	04/27/2023					
A-105	PHASE 1 ROOF PLAN	04/27/2023					
A-201	PHASE 1 ELEVATIONS	04/27/2023					
A-202	PHASE 1 ELEVATIONS	04/27/2023					
A-301	TYPICAL WALL SECTION & SITE LINES	04/27/2023					
A-302	PHASE 1 BUILDING SECTIONS	04/27/2023					
A-401	PHASE 1 PHOTOMETRICS PLAN	04/27/2023					
A-404	LIGHTING SPECIFICATIONS	04/27/2023					
A-501	RENDERED ELEVATIONS	08/30/2023					
A-502	RENDERED ELEVATIONS	08/30/2023					
A-503	PROJECT RENDERING AERIAL VIEW	04/27/2023					
A-504	PROJECT RENDERING NORTH EAST	04/27/2023					
A-505	PROPOSED TOWER RENDERINGS	09/03/2024					

SCOPE OF WORK


ON A GREEN-FIELD SITE CONSTRUCT AN OWNER OCCUPIED 3 STORY BUILDING COMPRISED OF AN "OFF CAMPUS EMERGENCY DEPARTMENT" (OCED) ON THE GROUND FLOOR AND TWO SHELL SPACE MEDICAL OFFICE FLOORS ABOVE COMPLETE WITH SURFACE PARKING MEETING CODE REQUIRED QUANTITIES. PROPOSED CONSTRUCTION PROVIDES ALL LANDSCAPING, SITE LIGHTING & SITE IMPROVEMENTS TO CODE AND LOCAL ORDINANCES / BYLAWS.

MEDICAL USE AND / OR MEDICAL - HEALTHCARE OCCUPANCY INCLUDES (BUT ARE NOT LIMITED TO) THE FOLLOWING AND SHALL NOT BE CONSIDERED "MEDICAL SPECIALIZED" USE AND / OR OCCUPANCY:

- FREESTANDING EMERGENCY CARE FACILITY (AKA - OCED, OFF CAMPUS EMERGENCY DEPARTMENT) AND / OR EMERGENCY CARE FACILITY WITHIN THE MEDICAL OFFICE BUILDING
- FREESTANDING AMBULATORY SURGERY CENTER (AKA - ASC) AND / OR AMBULATORY SURGERY CENTER WITHIN THE MEDICAL OFFICE BUILDING
- URGENT CARE CENTERS AND / OR PRIMARY CARE CENTERS AND / OR CLINICS
- RADIOLOGY SERVICES - FIXED LOCATION AND / OR MOBILE DIAGNOSTIC IMAGING SERVICES UTILIZING CT, MRI, PET, PET/CT, OR SIMILAR HIGH END SOPHISTICATED IMAGING EQUIPMENT
- REHABILITATION AND / OR ORTHOPEDIC SERVICES
- RADIATION ONCOLOGY AND / OR RADIATION THERAPY
- ONCOLOGY INFUSION SERVICES
- CARDIAC CATHETERIZATION OR INTERVENTIONAL RADIOLOGY SERVICES
- ENDOSCOPY SERVICES
- SLEEP CENTER
- GENERAL MEDICAL OFFICES AND / OR MEDICAL OFFICE USE - BUSINESS OCCUPANCY
- LESS SOPHISTICATED DIAGNOSTIC IMAGING EQUIPMENT THAN THOSE LISTED ABOVE SUCH AS X-RAY MACHINES, CUSTOMARILY USED BY PHYSICIANS OR PHYSICIAN GROUPS IN THEIR MEDICAL OFFICES



2 PHASE 1 SITE ACCESS DIAGRAM
 A-001 NOT TO SCALE



Design for LIFE

ARCHITECT:
Bermello Ajamil & Partners
 900 SE 3rd Avenue, Suite 100
 Ft. Lauderdale, FL 33316
 P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
 8201 Peters Road, Suite 2200,
 Plantation, FL 33324
 954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
 6877 Northwestern Hwy., Suite 208,
 Southfield, MI 48033
 248.353.5080

LANDSCAPE ARCHITECT:
AAL
 612 S.W. 4th Avenue
 Ft. Lauderdale, FL 33315
 954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
 4649 Ponce de Leon Blvd, Suite 401
 Coral Gables FL 33146
 305-669-2550

Baptist Health

8500 SW 117 AVE
 Miami, FL 33183

THE EDISION
PEMBROKE PINES PHASE 1

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES

1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

 JOHN A. TOWNSEND, R.A.
 FL ARCHITECT REG NO. 93571

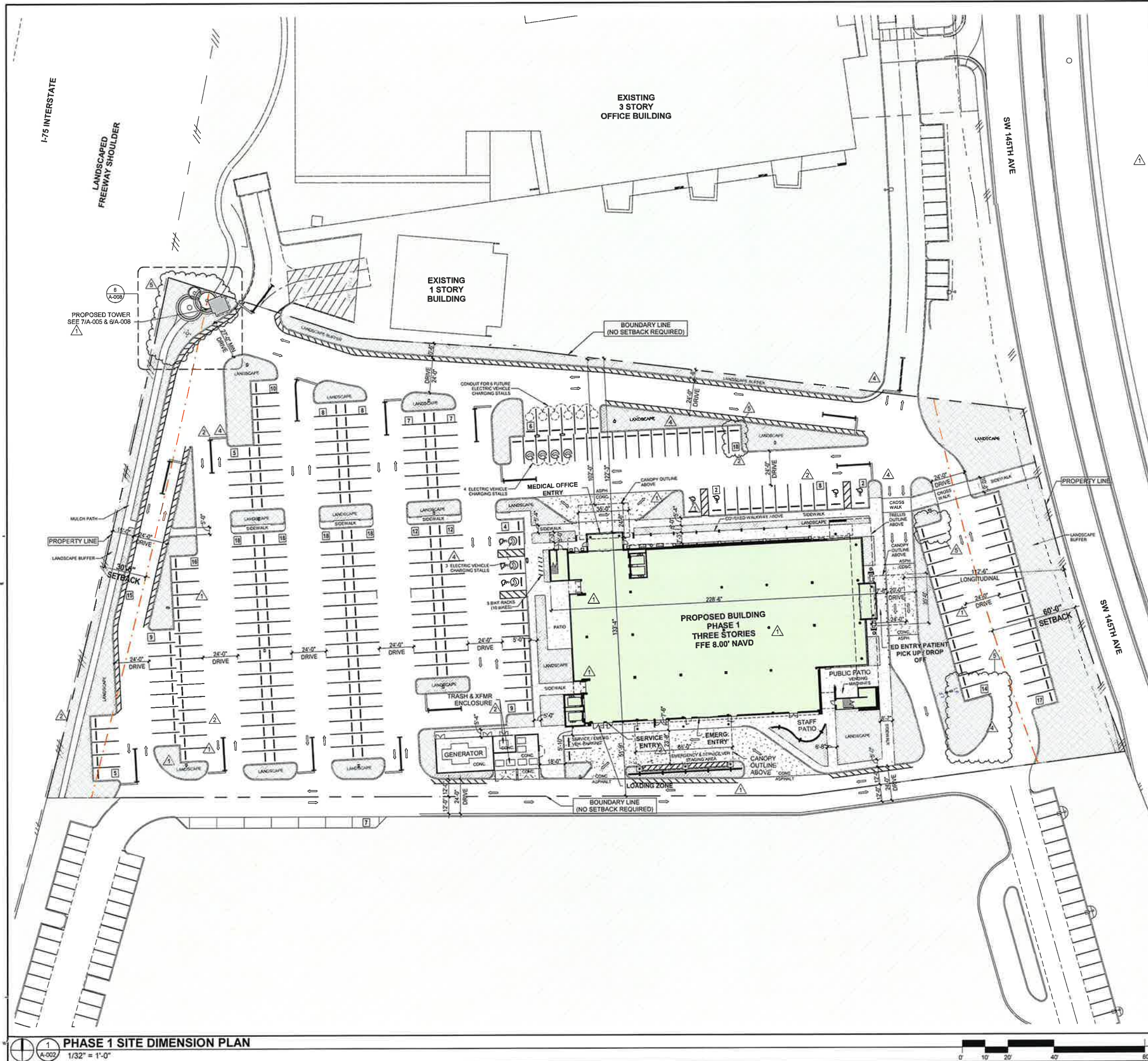
REVISIONS:

No.	DESCRIPTION	DATE:
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024
4	SPA Comments	07/12/2024
5	TOWER UPDATE	09/03/2024

TITLE:
PROJECT INFORMATION & INDEX

Project No: 02273.000
 Date: 04/20/2023
 Scale: As indicated
 Format: 24" x 36"
 Drawn: Author
 Checked: Checker

SHEET:
A-001



SITE PLAN LEGEND:

--- PROPERTY LINE
 - - - - - SETBACK LINE

ZONING INFORMATION:

BUILDING SETBACKS	REQ.	PROVIDED
FRONT PROPERTY LINE (EAST) FACING SW 145TH AVE	60'-0"	129'-0"
REAR PROPERTY LINE (WEST) FACING I-75	30'-0"	321'-0"
SIDE BOUNDARY LINE (NORTH)	N/A	N/A
SIDE BOUNDARY LINE (SOUTH)	N/A	N/A

NOTE:
 1. NORTH & SOUTH 'BOUNDARY LINES' DO NOT REQUIRE SETBACKS.
 2. EAST AND WEST 'PROPERTY LINES' ARE ILLUSTRATED WITH REQUIRED SETBACKS.

REFER TO CIVIL PLANS FOR PARKING CALCULATIONS

ARCHITECT:
Bermello Ajamil & Partners
 900 SE 3rd Avenue, Suite 100
 Ft. Lauderdale FL 33316
 P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
 8201 Peters Road, Suite 2200,
 Plantation, FL 33324
 954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
 6877 Northwestern Hwy., Suite 208,
 Southfield, MI 48033
 248.353.5080

LANDSCAPE ARCHITECT:
AAL
 612 S.W. 4th Avenue
 Ft. Lauderdale, FL 33315
 954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
 4649 Ponce de Leon Blvd, Suite 401
 Coral Gables FL 33146
 305-669-2550

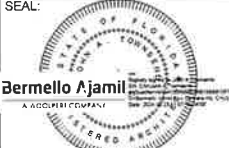
Baptist Health
 8500 SW 117 AVE
 Miami, FL 33183

THE EDISON
PEMBROKE PINES PHASE 1

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
 1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

Bermello Ajamil
 JOHN A. TOWNSEND, R.A.
 FL ARCHITECT REG. NO. 93571

REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024
4	SPA Comments	07/12/2024
5	TOWER UPDATE	09/03/2024

TITLE:
PHASE 1 SITE DIMENSION PLAN






Project No: 02273.000
 Date: 04/20/2023
 Scale: As indicated
 Format: 24" x 36"
 Drawn: Author
 Checked: Checker

SHEET:
A-002

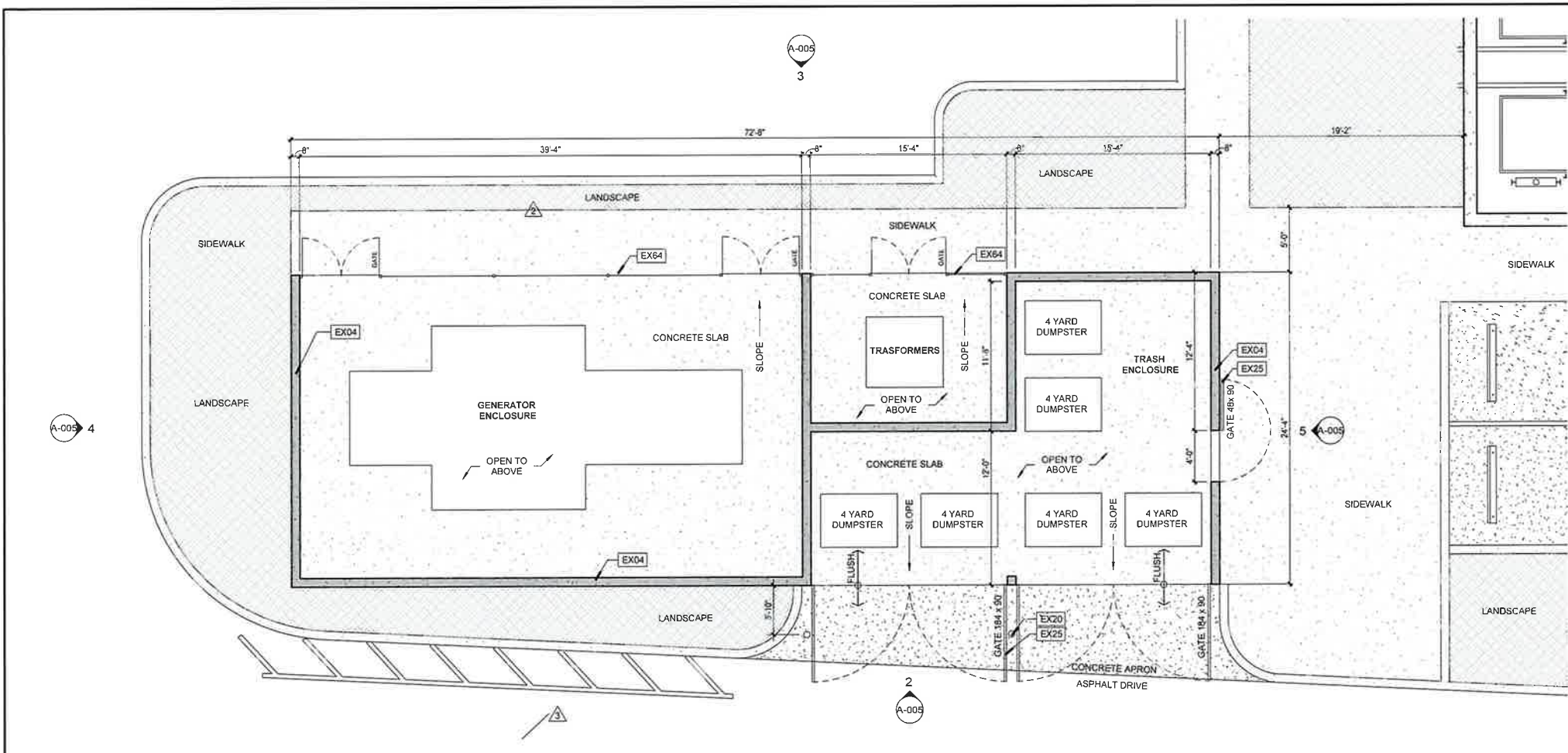
REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024
5	TOWER UPDATE	09/03/2024

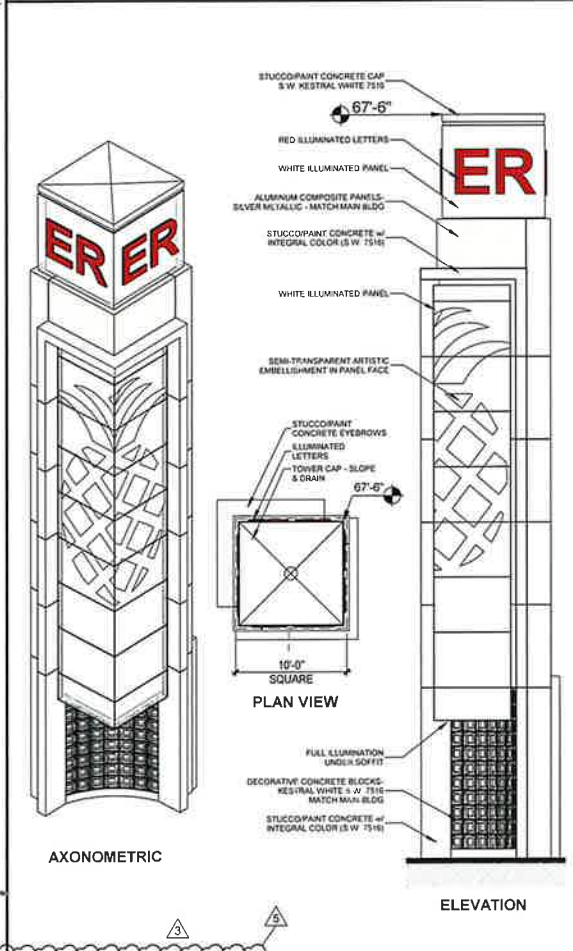
ELEVATION KEYNOTES		
TAG	COMMENTS	
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516	
EX08	1/2" MAX REVEAL IN WALL SURFACE - GALVANIZED METAL w/ PRE-FAB CORNER, INTERSECTIONS AND BENDS	
EX20	METAL BOLLARD-STEEL/CONC FILLED-PAINTED	
EX25	METAL GATE & HARDWARE - POWDER COATED MATCH COLOR 01 KESTREL WHITE SHERWIN WILLIAMS SW7516	
EX64	CHAIN LINK FENCE, GATES/HINGES/HASP AND CROSS BARS	
EX69	OUTLINE OF GENERATOR BEHIND WALL	
EX70	OUTLINE OF TRANSFORMER BEHIND WALL	

EX 01 EX 04 EX 40		BRAND: SHERWIN-WILLIAMS COLOR: 7516 FINISH: MATT
EX 05		BRAND: ALUCOBOND COLOR: SILVER METALLIC FINISH: METALLIC
EX 06		BRAND: ALUCOBOND COLOR: DRIFTWOOD FINISH: MICA
EX 07		BRAND: ALUCOBOND COLOR: WEST PEWTER FINISH: MICA II
EX 22		BRAND: POWDERCOAT COLOR: MATCH METALLIC SILVER PANELS FINISH: MATT
EX 11 EX 17	GLAZING NEUTRAL-GRAPHITE	BRAND: VIRACON GLASS COLOR: MATCH METALLIC SILVER RATING: N.O.A. RATED MISSILE IMPACT
	SPANDREL WARM GREY	

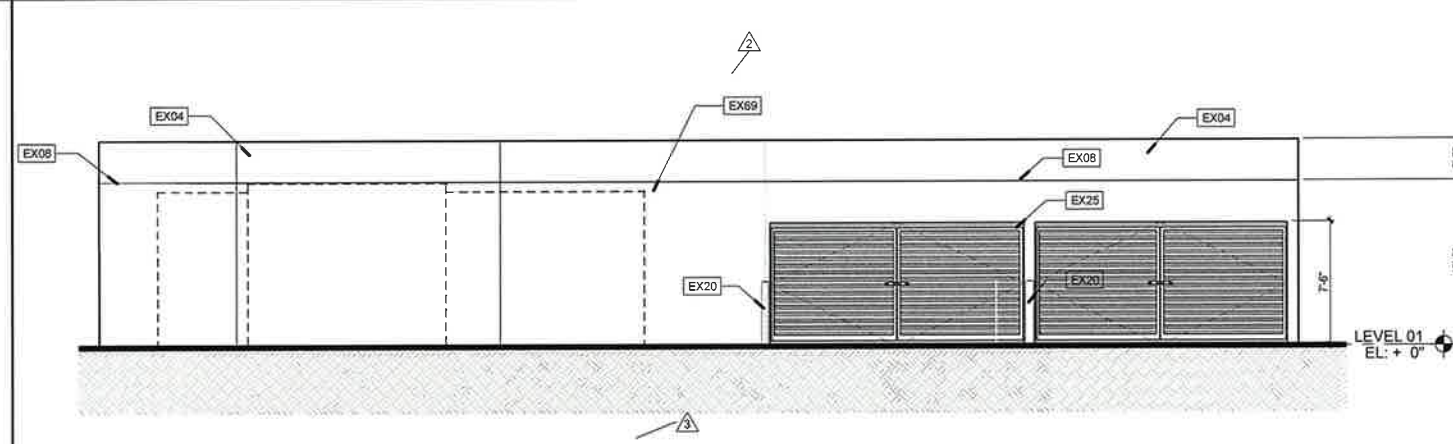
EXTERIOR FINISHES
NOT TO SCALE



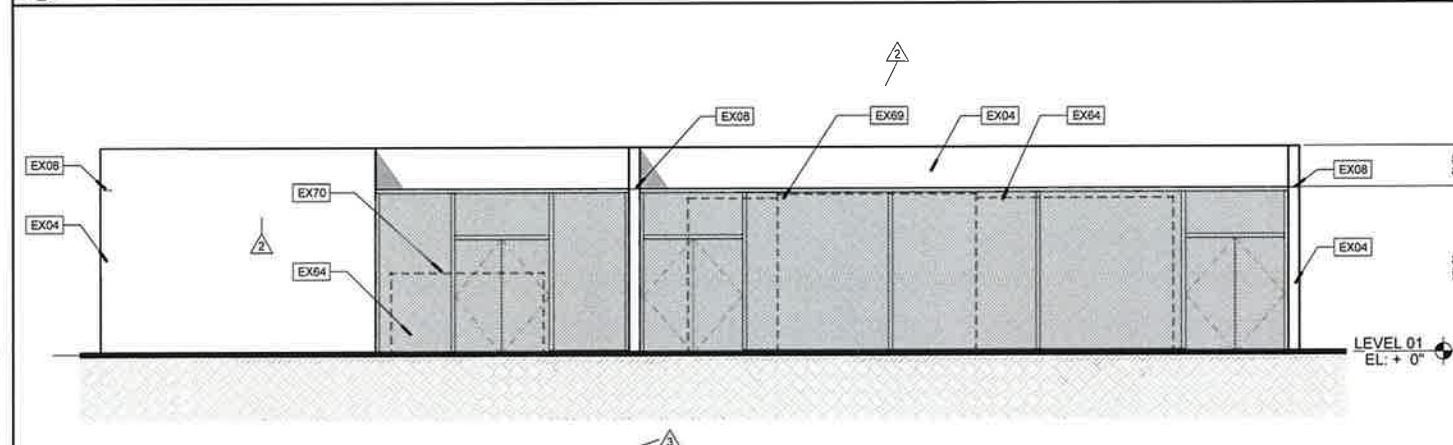
1 ENLARGED TRASH & GEN ENCLOSURE FLOOR PLAN
3/16" = 1'-0"



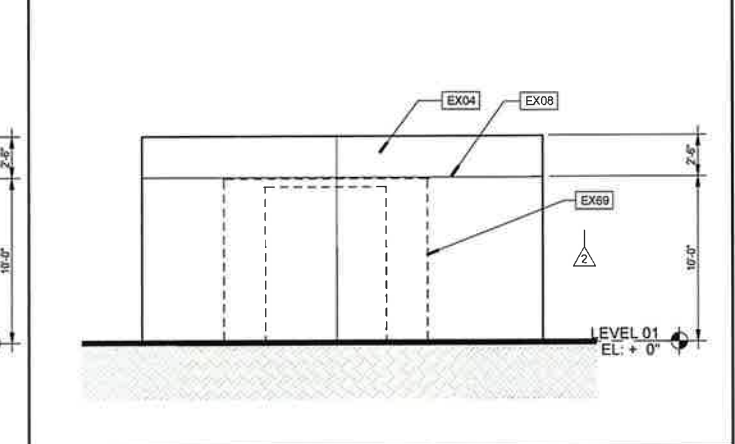
7 I-75 TOWER
1/8" = 1'-0"



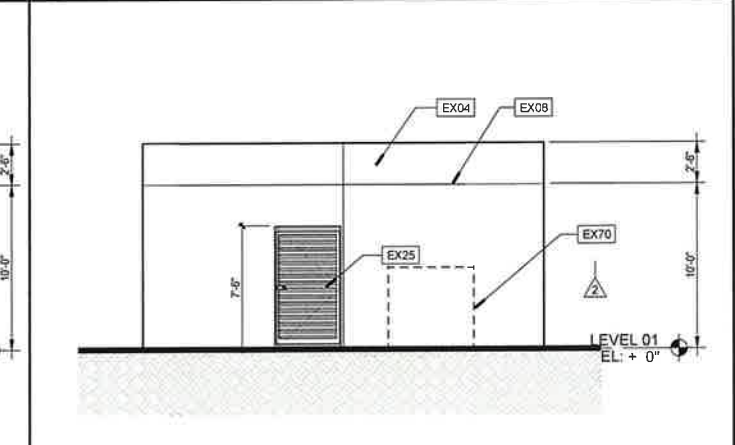
2 TRASH & GEN ENCLOSURE SOUTH ELEVATION
3/16" = 1'-0"



3 TRASH & GEN ENCLOSURE NORTH ELEVATION
3/16" = 1'-0"

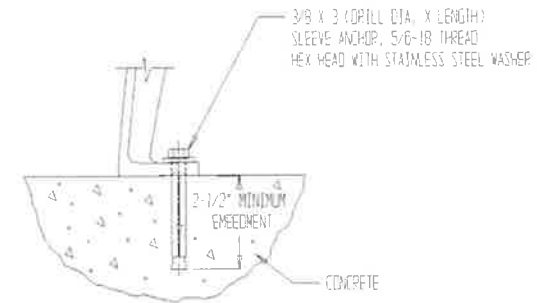


4 TRASH & GEN ENCLOSURE WEST ELEVATION
3/16" = 1'-0"



5 TRASH & GEN ENCLOSURE EAST ELEVATION
3/16" = 1'-0"

LANDSCAPE FORMS
NEOCOMBO BENCH
BACKED BENCH WITH DIVIDER AND ARMS
POWDER COATED FINISH TO MATCH BUILDING METAL
PANEL FINISH (SILVER METALLIC)



Backless or Backed Freestanding Bench - Surface Mounting Option
Concrete must be 4" thick minimum, no extra thickening is required for the freestanding surface mount bench.

Recommended Procedure for Surface Mounting - NOTE: All Cantilevered benches must be surface mounted
See following pages for footing and slab recommendations.

- Prepare proper footing or slab as required.
Note: Installation on an unknown pre-existing concrete is not recommended. Landscape Forms is not responsible for footing or slab installation. Landscapeforms recommends that concrete be reinforced and rated at 3,000 PSI minimum and has at least 28 days of curing before installing benches.
- Place unit in desired position.
Note: DO NOT DRAG bench across concrete or other rough surfaces. This could damage the powdercoat on the bottom of the base plate.
If surface mounting a bench with a freestanding support - remove the nylon glide from the bottom of the leg. If the mounting surface is not level use stainless steel shims or washers to level bench before tightening anchors. Failure to level bench before anchoring may cause damage to the bench supports or not allow the anchor to work properly. Be careful not to damage the finish.
- Mark anchor locations through holes provided in the base plate.
- Move unit to allow access for drilling holes.
- Although anchoring procedure and hardware are the responsibility of the installer, Landscape Forms suggests using corrosion resistant anchors (sometimes called bolt anchors), and stainless steel washers. See Anchor Mounting Details on the following pages.
- Drill for the anchors at the marked positions.
- Blow the holes clear of debris and dust using compressed air.
- Place unit in desired position and install the sleeve anchors. Tighten as recommended by anchor manufacturer.
- Periodically check fasteners and tighten if required.



LANDSCAPE FORMS
AUSTIN LITTER RECEPTACLE
SIDE OPEN



PROCEDURE FOR INSTALLATION:

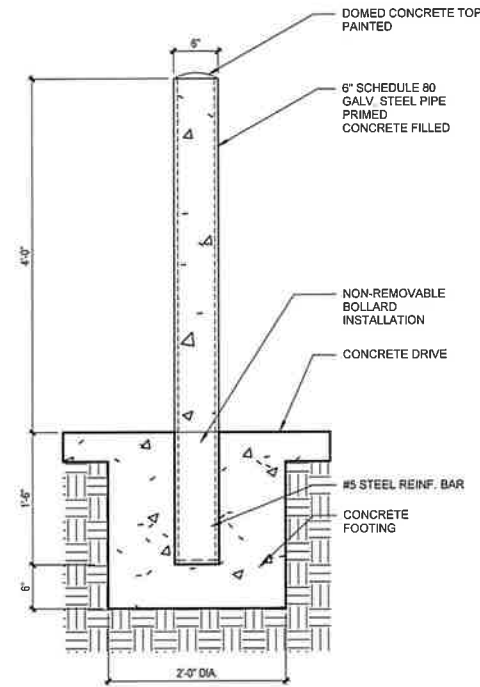
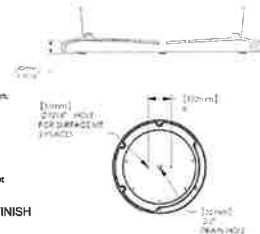
FOR SURFACE MOUNTED LITTER RECEPTACLE:
Note: Unit can be surface mounted with freestanding glides installed.

- Place the unit in the desired position. Open the door to check clearance.
- Remove the cover and mark anchor locations through the holes in the base.
- Move the unit to allow access for drilling holes.
- Drill holes at marked locations according to anchor manufacturer's specifications.
- Complete the anchor installation according to the anchor manufacturer's instructions.

FOR LOCK OPTION:

- Austin litter receptacle locks are keyed alike. Each receptacle is shipped with two keys. The key can be removed in both the locked and unlocked position.
- Leave the door unlocked (key horizontal) when the door is open. The door will not latch when the key is in the vertical position.

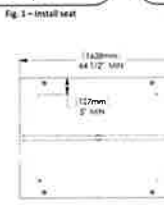
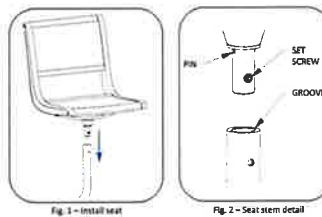
POWDER COATED FINISH TO MATCH RENOBOND FINISH (SILVER METALLIC)



2 TYPICAL BENCH DETAIL
NOT TO SCALE

3 TRASH RECEPTACLE
NOT TO SCALE

POWDER COATED FINISH TO MATCH
RENOBOND FINISH (SILVER METALLIC)



PROCEDURE FOR SURFACE MOUNT INSTALLATION:

- Note: DO NOT DRAG unit across concrete or other rough surfaces. This could damage the powdercoat on the bottom of the surface mount plates. Minimum recommended concrete slab thickness is 3 1/2".
- Place unit desired position and mark anchor locations through hole provided in surface mount plates.
 - Move Unit and drill holes.
 - Clear the holes of dust and debris using compressed air.
 - Place unit in desired position and install all the anchors. After all anchors are installed, tighten as recommended by anchor manufacturer.
 - Periodically check fasteners and tighten if required.

PROCEDURE FOR UMBRELLA INSTALLATION:

- Insert Umbrella grommet into hole in tabletop.
- Install Umbrella through hole in the grommet and into the table support tube.
- Insert the 1/4-20 machine screw through hole in table support tube and secure with locknut.

PROCEDURE FOR TABLETOP AND SEAT INSTALLATION:

- Lay tabletop upside down on non-marring surface.
- Place Table support upside down on tabletop. Center support on top and align holes in support plate to threaded holes in the tabletop.
- Install hardware. Tighten all table top fasteners until snug, then tighten additional 1/4 turn. [The use of power drivers is not recommended with Marneaux tabletops. Threaded inserts may be damaged or broken due to over-torquing.]
- Turn table unit right side up, using at least 2 people.
- Place stem on seat bottom into tube on table support. The pin in the stem fits into the groove inside the support tube. For backless seats, install with the head of the set screw closest to the table.
- Turn set screw in until snug, then tighten an additional 1/4 turn.

2 TYPICAL BENCH DETAIL
NOT TO SCALE

35 Collection
Product Data Sheet



Style	Depth	Length	Height	Product Weight
bike rack	14"	36"	31"	25 lb.

Loop

- Loop bike rack is a simple, sweeping circle with a twist.
- Both functional and sculptural.
- Cyclists can loop and lock one or two bikes around its shape-shifting cast aluminum ribbon frame.
- The aluminum casting, finished with Pangard 118 powdercoat, is offered in a selection of colors. Must be embedded to a concrete surface.
- Refer to install guide for spacing guidelines.
- Meets AASHTO guidelines.

Metal Finishes

- All metal is finished with Pangard 118, offered exclusively by Landscape Forms, a 19-step program of cleaning, priming, and powder coating that resists rusting, chipping, peeling and fading to produce the finest metal finish available for site furniture.
- In addition, Pangard 118 contains no heavy metals and is free of Hazardous Air Pollutants.
- Call for standard color chart.

Recycled Content

- Loop has a recycled content of 97%, and is 100% recyclable.

To Specify

- Specify collection name and product name.

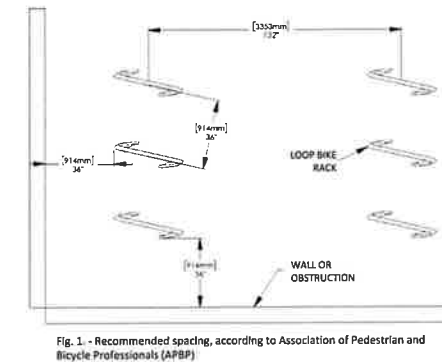
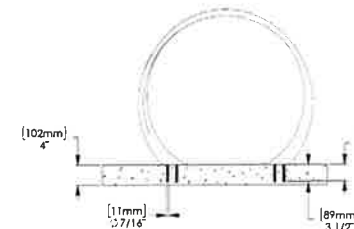


Fig. 1 - Recommended spacing, according to Association of Pedestrian and Bicycle Professionals (APBP)

5 BACK OF HOUSE BOLLARD
NOT TO SCALE

FIXED BOLLARD
Fixed post bollards are the most commonly used bollards. By creating a physical barrier, they protect pedestrians and buildings from oncoming vehicles, yet still allow free movement in between the bollards.

Material
Fixed post bollards are made of galvanized steel pipe with a domed concrete top. The bollard is finished with a powder coated finish to match the building's metal panel finish (silver metallic).

Installation
The bollard is installed in a concrete footing. The footing is 2 feet in diameter and 6 inches deep. The bollard is 4 feet high and 6 inches in diameter. The bollard is finished with a powder coated finish to match the building's metal panel finish (silver metallic).

Options
The bollard is available in three styles: Domes, Caps, and Yalga. The bollard is also available with a chain eye (optional).

Specifications

Style	Height	Material	Finish
Domes	4'0"	6" Schedule 80 Galv. Steel Pipe	Powder Coated (Silver Metallic)
Caps	4'0"	6" Schedule 80 Galv. Steel Pipe	Powder Coated (Silver Metallic)
Yalga	4'0"	6" Schedule 80 Galv. Steel Pipe	Powder Coated (Silver Metallic)

Procedure for Installation:

- Place unit in desired position and mark anchor locations through hole provided in surface mount plates.
- Move Unit and drill holes.
- Clear the holes of dust and debris using compressed air.
- Place unit in desired position and install all the anchors. After all anchors are installed, tighten as recommended by anchor manufacturer.
- Periodically check fasteners and tighten if required.

6 FRONT ENTRY BOLLARDS 1
NOT TO SCALE

4 MINGLE TABLE WITH UMBRELLA
NOT TO SCALE

1 BIKE RACKS
NOT TO SCALE

CT4000 Level 2 Commercial Charging Station

Specifications and Ordering Information

Ordering Information

Specify model number followed by the applicable code(s). The order code sequence is: **Model-Options, Software, Services and Misc** are ordered as separate line items.

Hardware

Description	Order Code
Model:	
1830 mm (6 ft) Single Port Bollard Mount	CT4001-GW1
1830 mm (6 ft) Dual Port Bollard Mount	CT4001-GW2
1830 mm (6 ft) Single Port Wall Mount	CT4003-GW1
1830 mm (6 ft) Dual Port Wall Mount	CT4003-GW2
2440 mm (8 ft) Single Port Bollard Mount	CT4005-GW1
2440 mm (8 ft) Dual Port Bollard Mount	CT4005-GW2
2440 mm (8 ft) Single Port Wall Mount	CT4007-GW1
2440 mm (8 ft) Dual Port Wall Mount	CT4007-GW2
Included:	Integral Meter - North America -GW1
Misc:	Power Management Kit Bollard Concrete Mounting Kit
	CT4000-PMGMT CT4001-CCM

Note: All CT4000 ID units include Integral Meter -IGMT

Software & Services

Description	Order Code
ChargePoint Commercial Service Plan	CPCLD-COMMERCIAL-S
ChargePoint Enterprise Plan	CPCLD-ENTERPRISE-S
ChargePoint Assure	CT4000-ASSURE-S
Station Activation and Configuration	CPSPH-POR1-ACTIVE
ChargePoint Station Installation and Validation	CT4000-INSTALLVALD

Note: All CT4000 stations require a network service plan for alert.
*Substitute for desired years (1, 2, 3, 4, or 5 years)

Order Code Examples

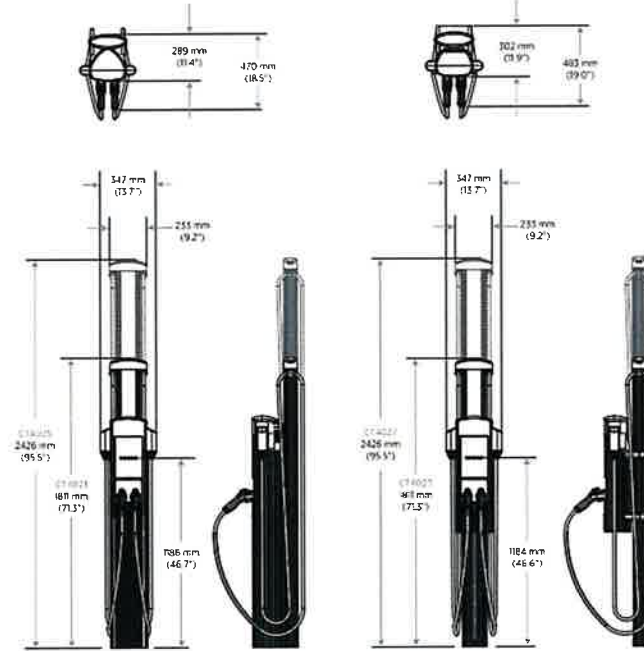
If ordering this:	The order code is:
1830 mm (6 ft) Dual Port Bollard Networked Station with Concrete Mounting Kit	CT4001-GW2 CT4001-CCM
ChargePoint Commercial Service Plan, 3 Year Subscription	CPCLD-COMMERCIAL-S
ChargePoint Station Installation and Validation, 3 Years of Assure Coverage	CT4000-INSTALLVALD CT4000-ASSURE-S
1830 mm (6 ft) Single Port Wall Mount Networked Station	CT4003-GW1
ChargePoint Commercial Service Plan, 5 Year Subscription	CPCLD-COMMERCIAL-S
5 Years of Assure Coverage	CT4000-ASSURE-S
Station Activation and Configuration	CPSPH-POR1-ACTIVE



ChargePoint CT4000 Family

CT4021 1830 mm (6 ft) Bollard

CT4025 2440 mm (8 ft) Wall Mount



2 | chargepoint.com

CT4000 Family Specifications

Electrical Input	Single Port (100 Amps/240V AC)			Dual Port (100 Amps/240V AC)		
	Line Current	Line Voltage	Phase-to-Phase Voltage	Line Current	Line Voltage	Phase-to-Phase Voltage
Standard	30A	One 40A branch circuit	240V AC dual pole (non-GFCI type)	30A + 2	Two independent 40A branch circuits	240V AC dual pole (non-GFCI type) x 2
Standard Power Share	N/A	N/A	N/A	32A	One 40A branch circuit	40A dual pole (non-GFCI type)
Power Select 24A	24A	One 30A branch circuit	240V AC dual pole (non-GFCI type)	24A + 2	Two independent 30A branch circuits	30A dual pole (non-GFCI type) x 2
Power Select 24A Power Share	N/A	N/A	N/A	26A	One 30A branch circuit	30A dual pole (non-GFCI type)
Power Select 16A	16A	One 20A branch circuit	240V AC dual pole (non-GFCI type)	16A + 2	Two independent 20A branch circuits	20A dual pole (non-GFCI type) x 2
Power Select 16A Power Share	N/A	N/A	N/A	18A	One 20A branch circuit	20A dual pole (non-GFCI type)

Service Panel GFCI: Do not provide external GFCI as it may conflict with internal GFCI (ICCD)

Wiring - Standard: 3-wire (L1, L2, Earth) | 5-wire (L1, L1, L2, L2, Earth)

Wiring - Power Share: N/A | 3-wire (L1, L2, Earth)

Station Power: 8 W typical (standby), 15 W maximum (operation)

Electrical Output	Single Port (100 Amps/240V AC)	Dual Port (100 Amps/240V AC)
Standard	7.2 kW (240V AC @ 30A)	7.2 kW (240V AC @ 30A) x 2
Standard Power Share	N/A	7.2 kW (240V AC @ 30A) x 1 or 8.8 kW (240V AC @ 36A) x 2
Power Select 24A	5.8 kW (240V AC @ 24A)	5.8 kW (240V AC @ 24A) x 2
Power Select 24A Power Share	N/A	5.8 kW (240V AC @ 24A) x 1 or 7.9 kW (240V AC @ 30A) x 2
Power Select 16A	3.8 kW (240V AC @ 16A)	3.8 kW (240V AC @ 16A) x 2
Power Select 16A Power Share	N/A	3.8 kW (240V AC @ 16A) x 1 or 13 kW (240V AC @ 36A) x 2

Functional Interfaces	Single Port (100 Amps/240V AC)	Dual Port (100 Amps/240V AC)
Connectors Type	SAE J1772*	SAE J1772* x 2
Cable Length - 1830 mm (6 ft) Cable Management	5.5 m (18 ft)	5.5 m (18 ft) x 2
Cable Length - 2440 mm (8 ft) Cable Management	N/A	7 m (23 ft)
Overhead Cable Management System	Yes	Yes
LCD Display	145 mm (5.7 in) full color, 640 x 480, 30 fps full motion video, active matrix, UV protected	
Card Reader	ISO 15693, ISO 14143, NFC	
Locking Monitor	Yes	Yes x 2

3 | chargepoint.com

1 CHARGING STATION PAGE 1

A-008 NOT TO SCALE

ChargePoint CT4000 Family

Safety and Connectivity Features

Ground Fault Detection	20 mA CCID with auto retry
Open Safety Ground Detection	Continuously monitors presence of safety (green wire) ground connection
Plug-Out Detection	Power terminated per SAE J1772* specifications
Power Measurement Accuracy	>= 2% from 2% to full scale (30A)
Power Report/Store Interval	15 minute, aligned to hour
Local Area Network	2.4 GHz Wi-Fi (802.11 b/g/n)
Wide Area Network	LTE Category 4

Safety and Operational Ratings

Enclosure Rating	Type 3R per UL 50E
Safety Compliance	UL listed and cUL certified, complies with UL 2594, UL 2251-1, UL 2251-2, and NEC Article 625
Surge Protection	6 kV @ 3,000A, in geographic areas subject to frequent thunder storms, supplemental surge protection at the service panel is recommended
EMC Compliance	FCC Part 15 Class A
Operating Temperature	40°C to 50°C (-40°F to 122°F)
Storage Temperature	40°C to 60°C (-40°F to 140°F)
Non-Operating Temperature	40°C to 62°C (-40°F to 140°F)
Operating Humidity	Up to 85% @ 50°C (122°F) non-condensing
Non-Operating Humidity	Up to 95% @ 50°C (122°F) non-condensing
Terminal Block Temperature Rating	125°C (222°F)
Network	All stations include integral LTE module and will be automatically configured to operate as gateway or non-gateway as needed

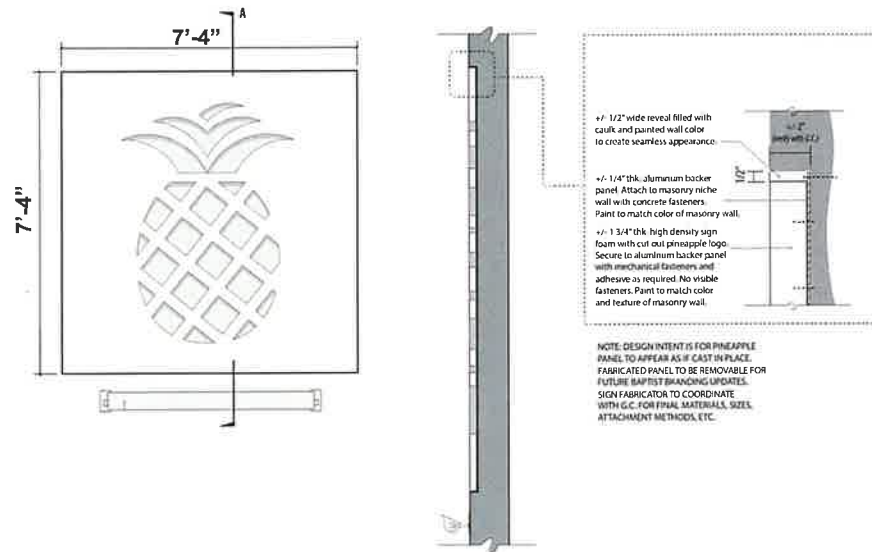
ChargePoint reserves the right to alter product offerings and specifications without notice and is not responsible for consequences in special circumstances that may occur in the future.

Contact Us:

- Visit chargepoint.com
- Call +1 408 705 1992
- Email sales@chargepoint.com

2 CHARGING STATION PAGE 2

A-008 NOT TO SCALE

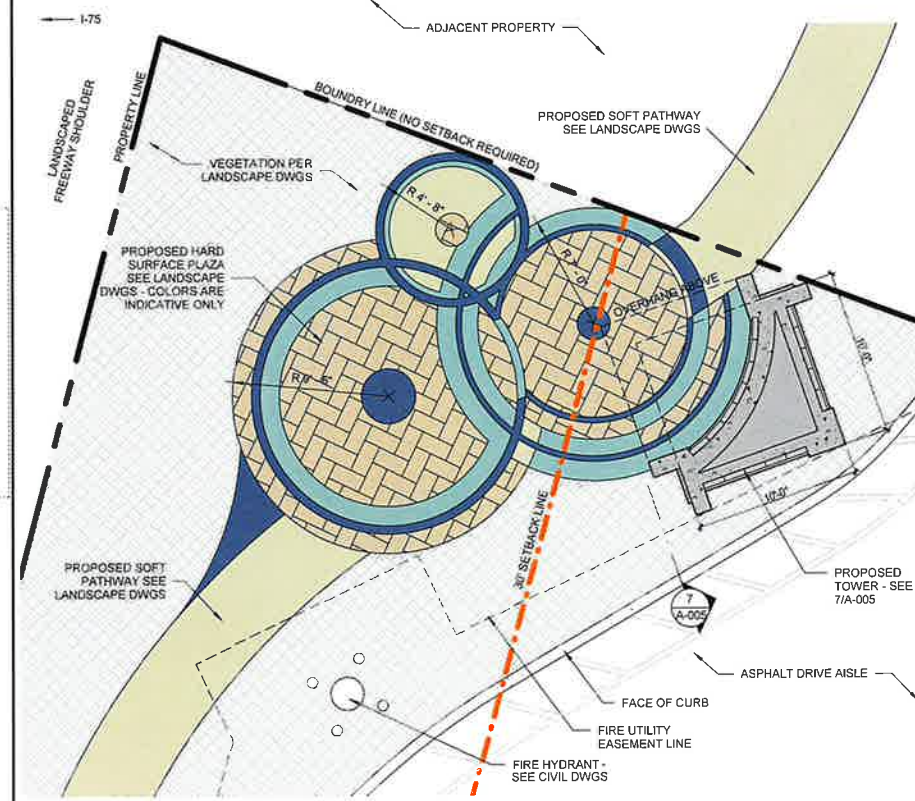


5 ARCHITECTURAL FEATURE DETAIL

A-008 NOT TO SCALE

3 CHARGING STATION PAGE 3

A-008 NOT TO SCALE



6 ENLARGED TOWER PLAZA PLAN

A-008 3/16" = 1'-0"

4 CHARGING STATION PAGE 4

A-008 NOT TO SCALE

5 ARCHITECTURAL FEATURE DETAIL

A-008 NOT TO SCALE

6 ENLARGED TOWER PLAZA PLAN

A-008 3/16" = 1'-0"

ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale, FL 33324
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.354.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd, Suite 401
Coral Gables, FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

THE EDISON
PEMBROKE PINES PHASE 1

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES

1400 SW 145th Avenue - Pembroke Pines, FL

PHASE: SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:
STATE OF FLORIDA
REGISTERED ARCHITECT

Bermello Ajamil
A ARCHITECTS
JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

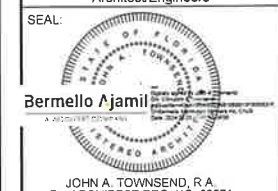
REVISIONS:	No.:	DESCRIPTION	DATE:
	1	SPA Comments	08/30/2023
	5	TOWER UPDATE	09/03/2024

TITLE:
MISC. SITE DETAILS

Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:

A-008



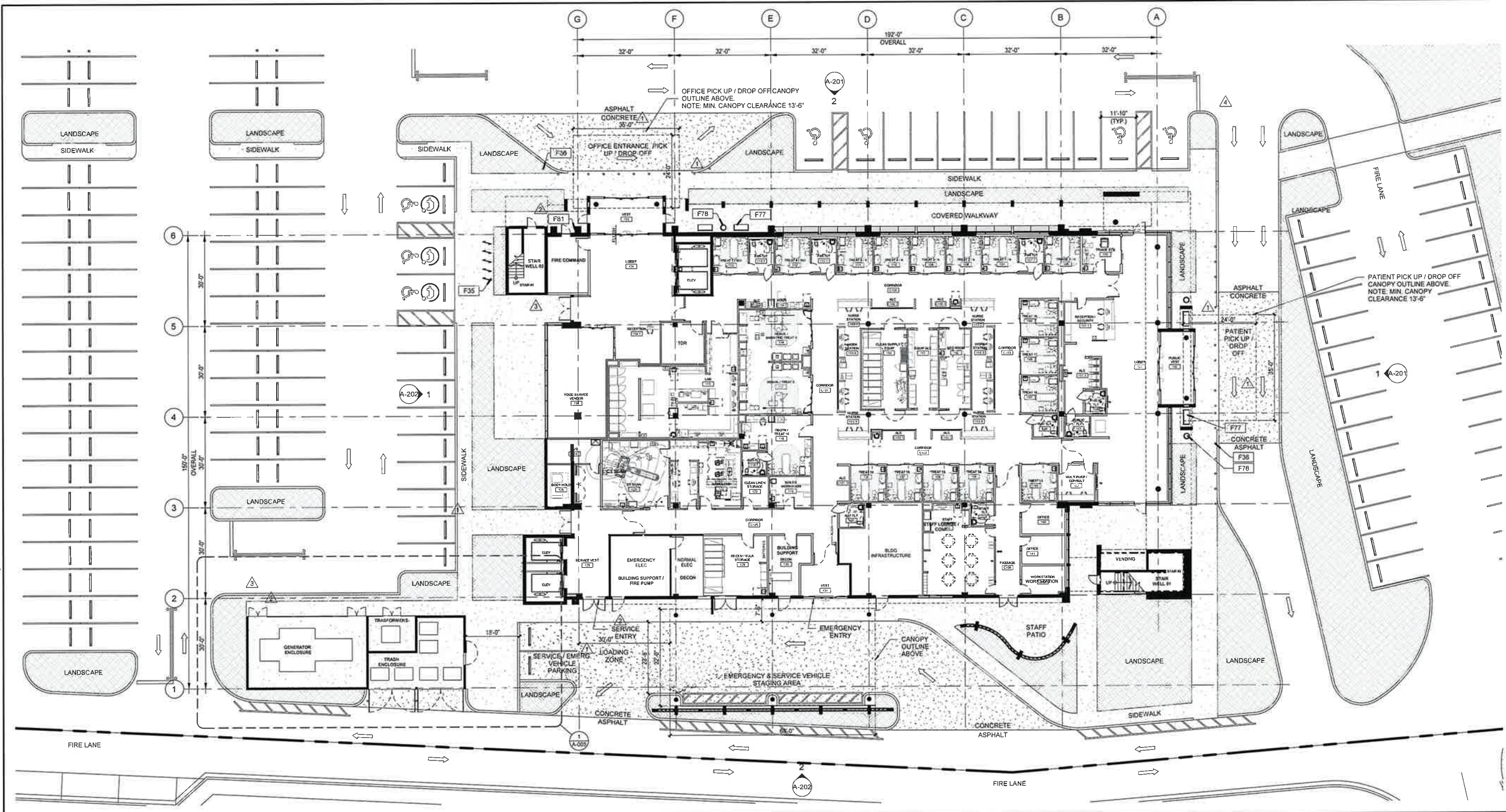
REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024
4	SPA Comments	07/12/2024

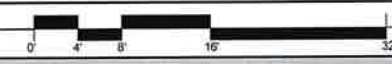
TITLE:
PHASE 1 GROUND FLOOR PLAN

Project No: 02273.000
Date: 04/20/2023
Scale: As Indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-101



1 PHASE 1 - GROUND FLOOR PLAN
A-101 1/16" = 1'-0"



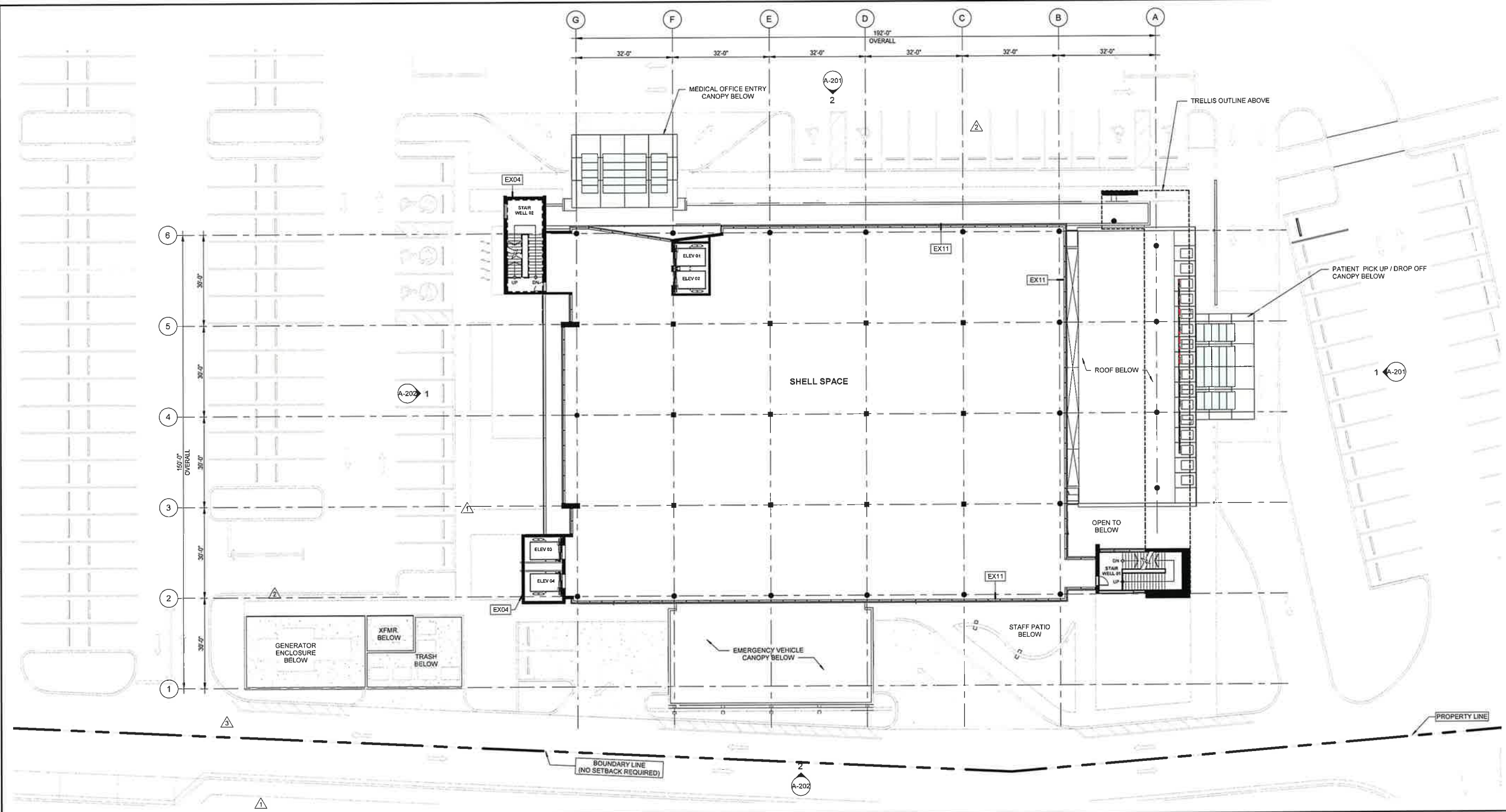
NEW CONSTRUCTION KEYNOTES

F35	LOOP BIKE RACK. LANDSCAPE FORMS "35 COLLECTION." QTY PER PLANS, PROVIDE MULTI-COLORED SIGNAGE
F36	CALPIPE SECURITY BOLLARDS, 6" NOMINAL SIZE, SSF06040 SCH 40 STAINLESS STEEL, AS SPECIFIED POLISHED #4 BRUSHED, KNIGHT CAP STYLE, #4 RATING. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
F77	NECCOMBO BENCH (ALUMINUM STYLE), LANDSCAPE FORMS, SURFACE MOUNTING WITH ARMS, WITH BACK, WITHOUT DIVIDER
F78	AUSTIN LITTER RECEPTACLE (34 GALLON CAPACITY), LANDSCAPE FORMS, SURFACE MOUNTING SIDE OPENING WITH LOCK
F81	PROVIDE RECESSED KNOX BOX SERIES 4400

NEW CONSTRUCTION PLAN LEGEND:

NON RATED PARTITION	
SMOKE RESISTANT	
1-HOUR FIRE RATED PARTITION	
1-HOUR FIRE RATED / SMOKE PARTITION	
2-HOUR FIRE RATED PARTITION	
2-HOUR FIRE RATED / SMOKE PARTITION	
NEW CONSTRUCTION KEYNOTES	
DOOR NUMBER DESIGNATION	
CARD READER	

201
3014
CR



PHASE 2A - TYP. SHELL SPACE (2 & 3 FLOOR)
1/16" = 1'-0"

NEW CONSTRUCTION KEYNOTES	
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516
EX11	GLAZING TYPE 01-NOA APPROVED/RATED - COLOR 01

NEW CONSTRUCTION PLAN LEGEND:	
NON RATED PARTITION	
SMOKE RESISTANT	
1-HOUR FIRE RATED PARTITION	
1-HOUR FIRE RATED / SMOKE PARTITION	
2-HOUR FIRE RATED PARTITION	
2-HOUR FIRE RATED / SMOKE PARTITION	
NEW CONSTRUCTION KEYNOTES	
DOOR NUMBER DESIGNATION	
CARD READER	

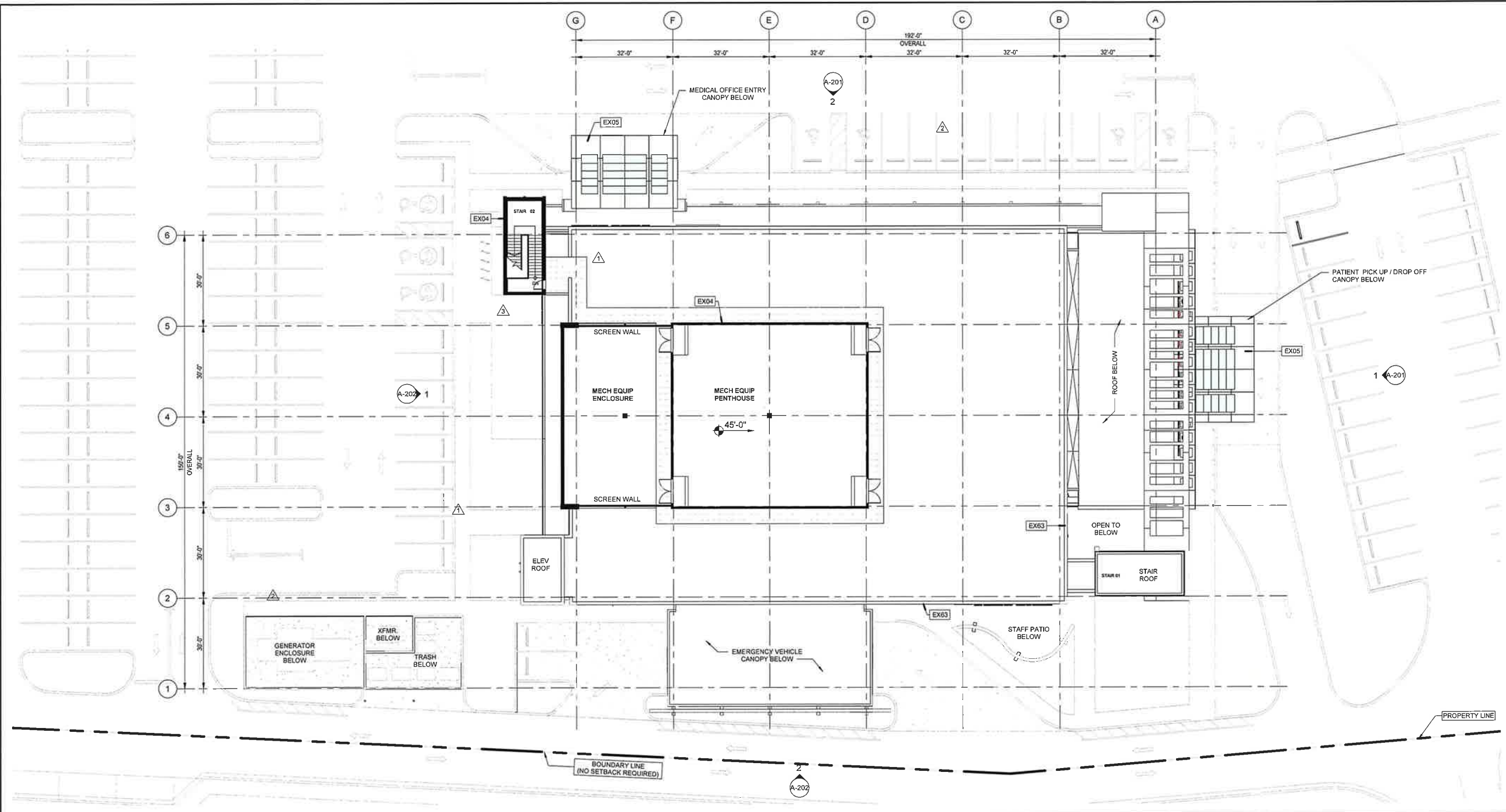
REVISIONS:

No.	DESCRIPTION	DATE:
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024

TITLE:
PHASE 1 ROOF PLAN

Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-105



1 PHASE 1 - ROOF PLAN
A-105 1/16" = 1'-0"

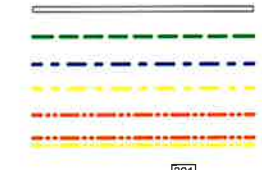


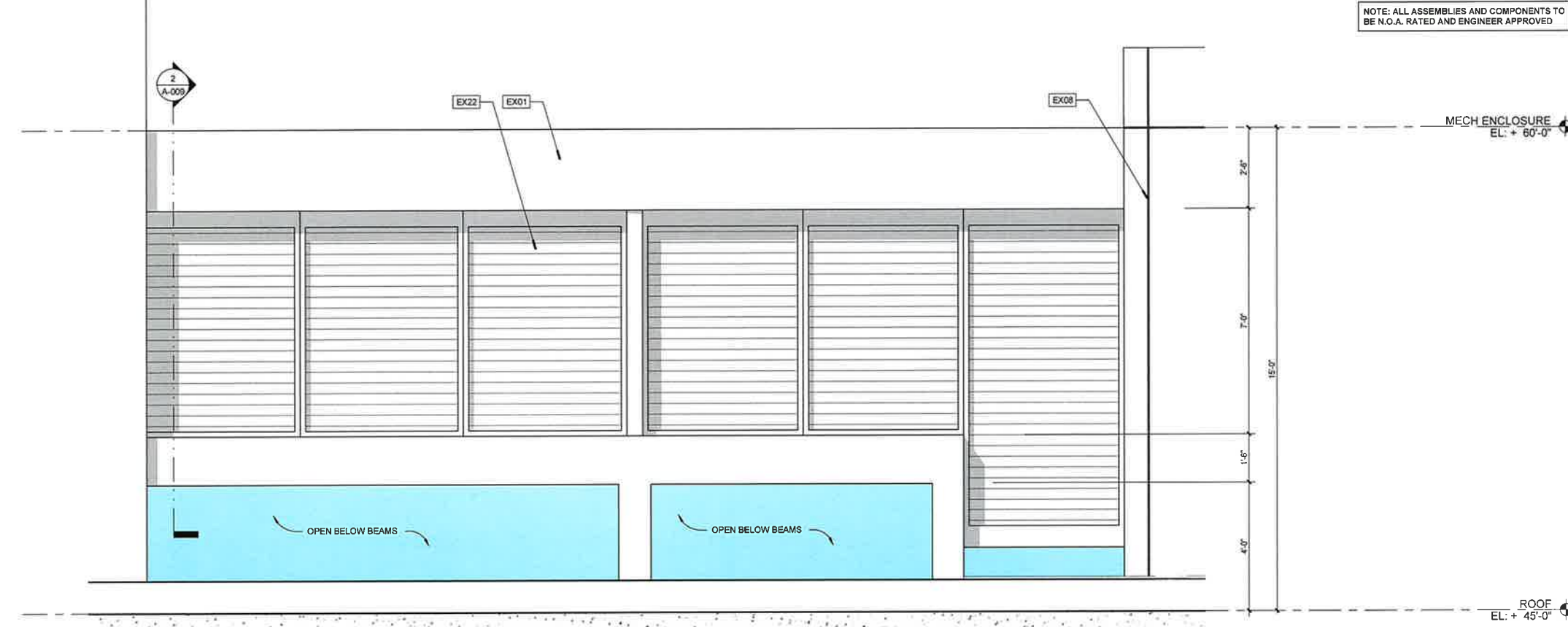
NEW CONSTRUCTION KEYNOTES

- EX04 PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516
- EX05 ALUMINUM COMPOSITE PANEL (ACP) - COLOR 01 SILVER METALLIC
- EX63 PARAPET FLASHING & FASTENING CLIPS

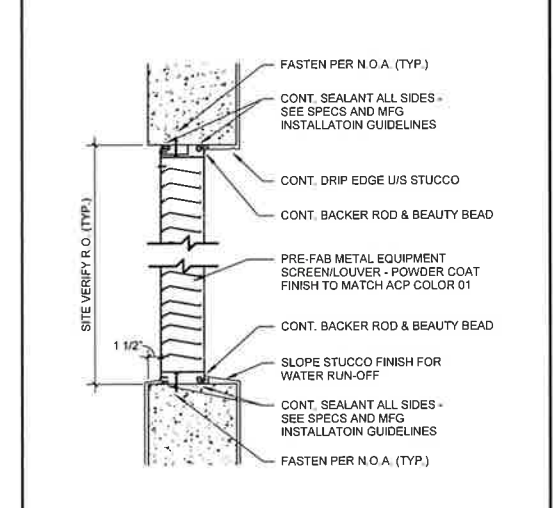
NEW CONSTRUCTION PLAN LEGEND:

- NON RATED PARTITION
- SMOKE RESISTANT
- 1-HOUR FIRE RATED PARTITION
- 1-HOUR FIRE RATED / SMOKE PARTITION
- 2-HOUR FIRE RATED PARTITION
- 2-HOUR FIRE RATED / SMOKE PARTITION
- NEW CONSTRUCTION KEYNOTES
- DOOR NUMBER DESIGNATION
- CARD READER



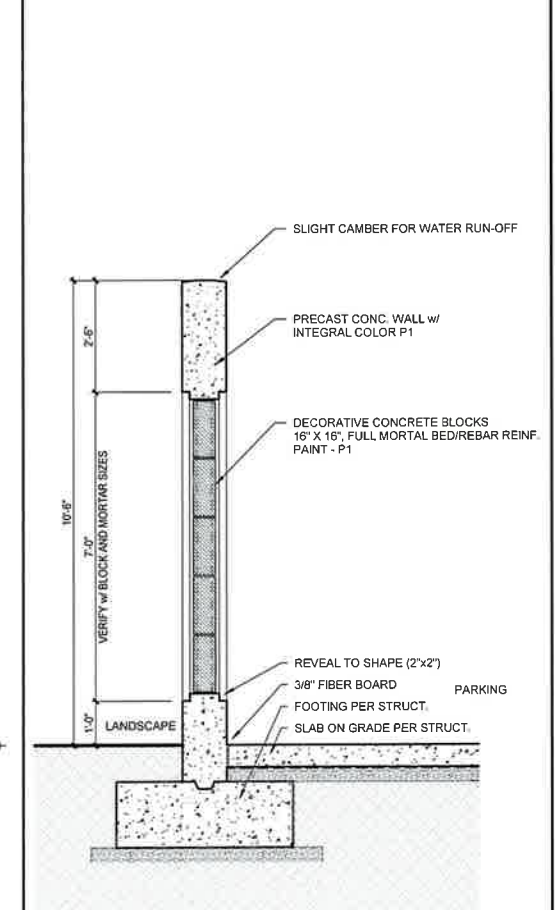
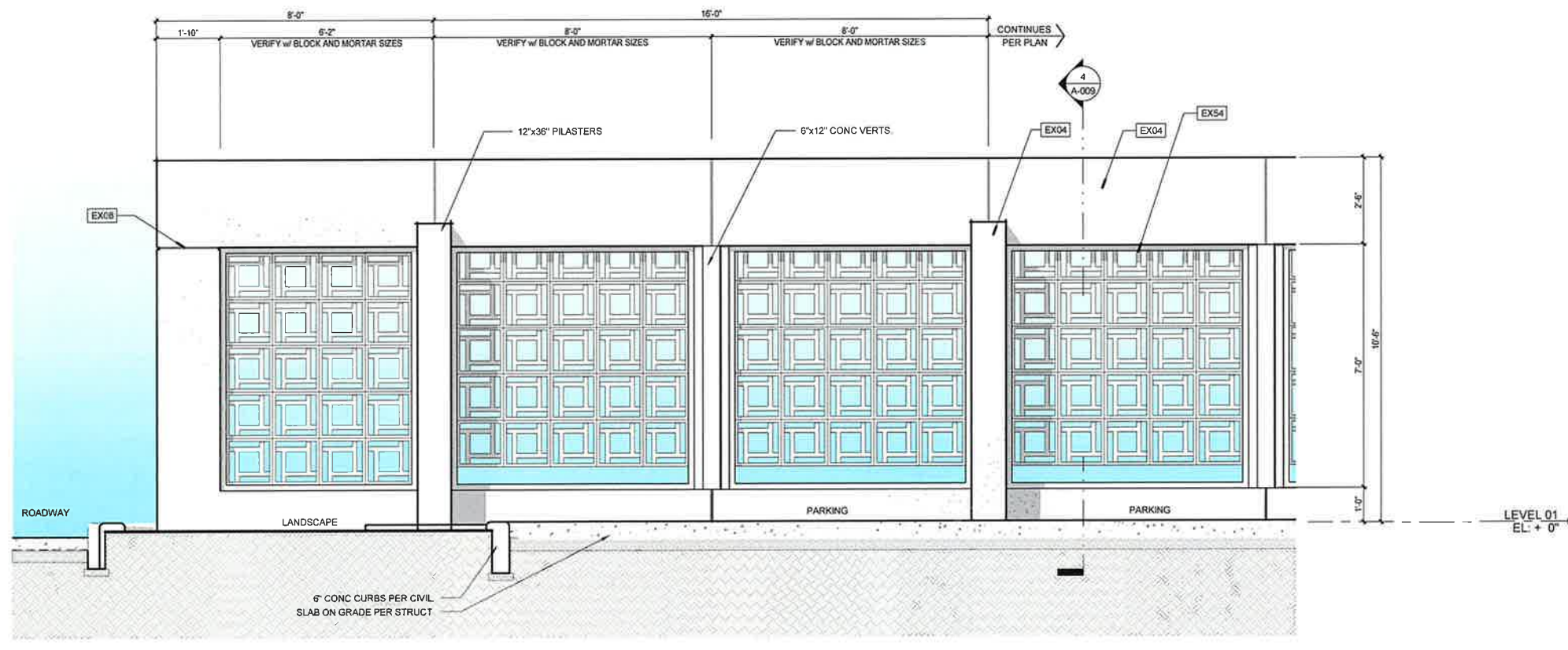


ELEVATION KEYNOTES	
TAG	COMMENTS
EX01	PAINT P1 - KESTREL WHITE SHERWIN WILLIAMS SW7516
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516
EX08	1/2" MAX REVEAL IN WALL SURFACE - GALVANIZED METAL CW PRE-FAB CORNER, INTERSECTIONS AND BENDS
EX22	METAL LOUVER-POWDER COATED COLOR 01 - MATCH ACP PANEL COLOR 01
EX54	DECORATIVE CONCRETE BLOCKS



1 ROOF TOP MECHANICAL EQUIPMENT SCREEN
1/2" = 1'-0"

2 EQUIPMENT SCREEN DETAIL
1" = 1'-0"



3 TYPICAL SITE SCREEN WALL
1/2" = 1'-0"

4 SITE WALL SECTION
1/2" = 1'-0"



ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale FL 33316
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd. Suite 401
Coral Gables FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

THE EDISON
PEMBROKE PINES PHASE 1
**BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES**
1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN
APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

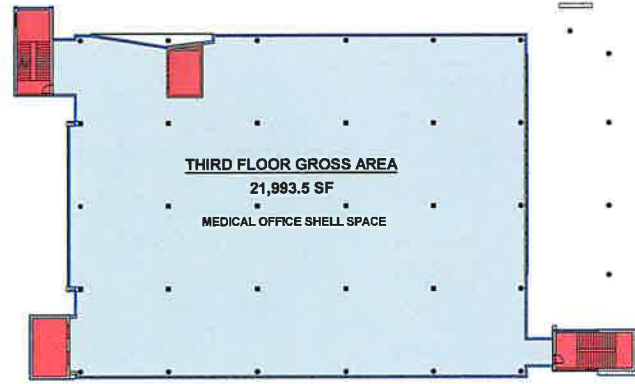
Bermello Ajamil
ARCHITECTS
JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

REVISIONS:	No.:	DESCRIPTION	DATE:
	1	SPA Comments	08/30/2023

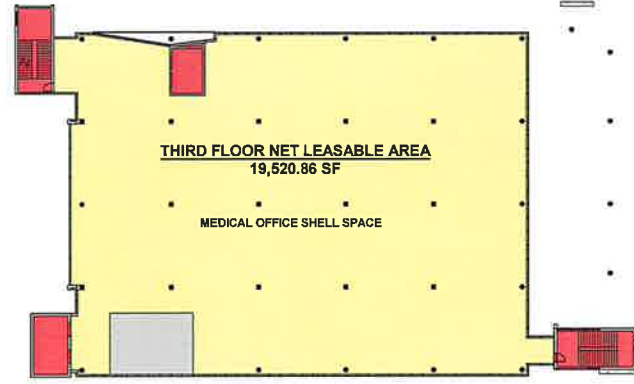
TITLE:
**SITE & ROOFTOP
SCREENS**

Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

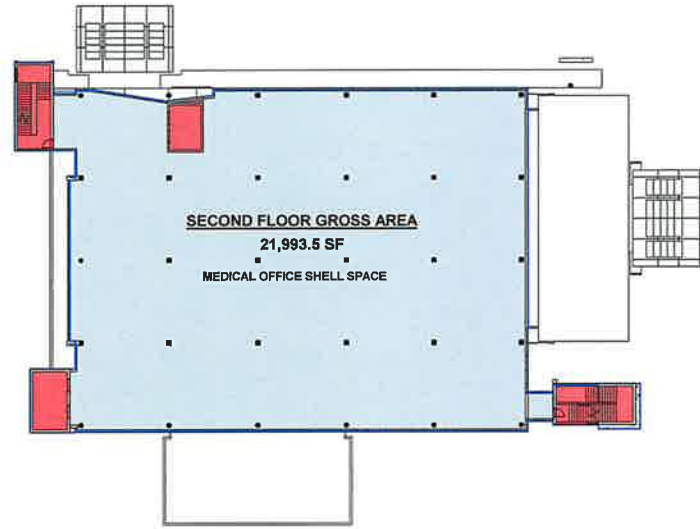
SHEET:
A-009



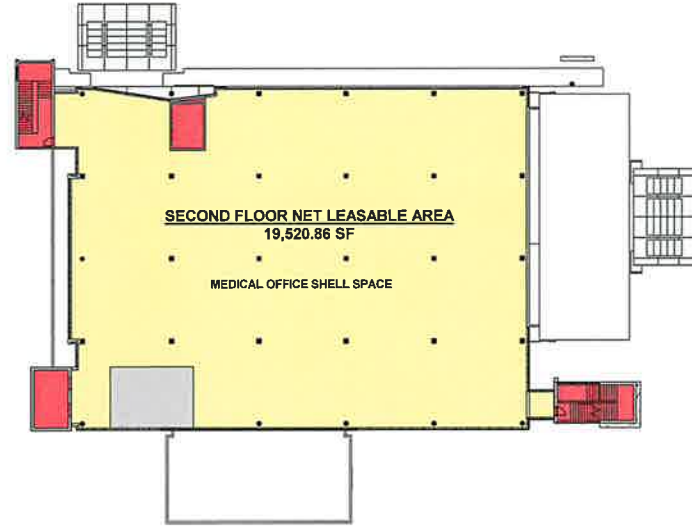
3 PHASE 1 THIRD FLOOR GROSS AREA PLAN
A-010 1/32" = 1'-0"



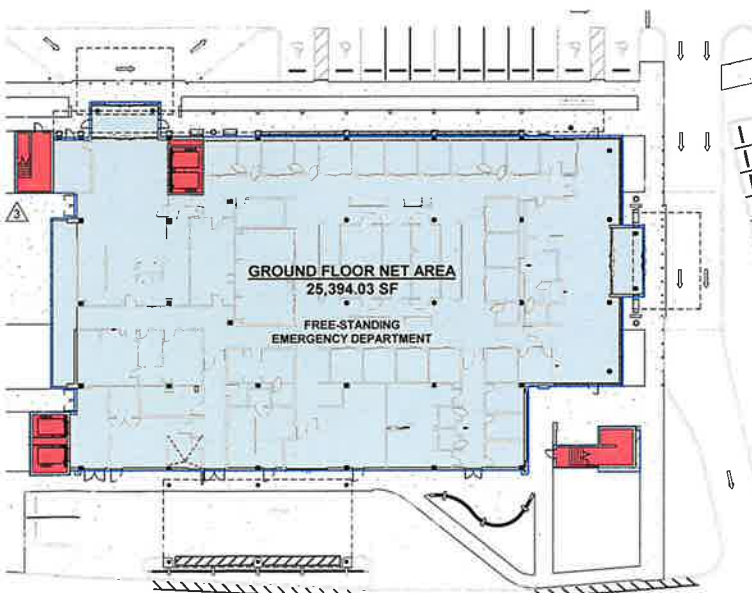
4 PHASE 1 THIRD FLOOR NET AREA PLAN
A-010 1/32" = 1'-0"



6 PHASE 1 SECOND FLOOR GROSS AREA PLAN
A-010 1/32" = 1'-0"



2 PHASE 1 SECOND FLOOR NET AREA PLAN
A-010 1/32" = 1'-0"



5 PHASE 1 GROUND FLOOR GROSS AREA PLAN
A-010 1/32" = 1'-0"



1 PHASE 1 GROUND FLOOR NET AREA PLAN
A-010 1/32" = 1'-0"

GROSS & NET AREA BY LEVEL

LEVEL	PHASE 1 GROSS SF	PHASE 1 NET SF
LEVEL 01 - OCED	25,394.03 [△]	21,363.46 [△]
LEVEL 02 - SHELL SPACE	21,993.50	19,520.86
LEVEL 03 - SHELL SPACE	21,993.50	19,520.86
TOTAL AREA	69,381.03 GROSS SF [△]	60,405.18 NET SF [△]

- GROSS AREA
- NET AREA
- VERTICAL CIRCULATION
- SERVICE / BUILDING INFRASTRUCTURE (UN-OCCUPIED SPACE)

NET AREA CALCULATION METHOD
BOMA STANDARD 1989

THE PORTION OF THE INSIDE FINISHED SURFACE OF THE PERMANENT OUTER BUILDING WALL WHICH IS 50% OR MORE OF THE VERTICAL FLOOR-TO-CEILING DIMENSION MEASURED AT THE DOMINANT PORTION. IF THERE IS NO DOMINANT PORTION, OR IF THE DOMINANT PORTION IS NOT VERTICAL, THE MEASUREMENT FOR AREA SHALL BE TO THE INSIDE FINISHED SURFACE OF THE PERMANENT OUTER BUILDING WALL WHERE IT INTERSECTS THE FINISHED FLOOR.

- NOTES:
- REFER TO SHEET A-002 FOR PARKING CALCULATIONS.
 - PARKING REQUIREMENTS BASED ON NET SQUARE FOOTAGE = OCCUPIABLE SPACE SQUARE FEET



ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale FL 33316
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd, Suite 401
Coral Gables FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

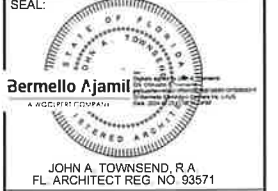
THE EDISON
PEMBROKE PINES PHASE 1

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES

 1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers



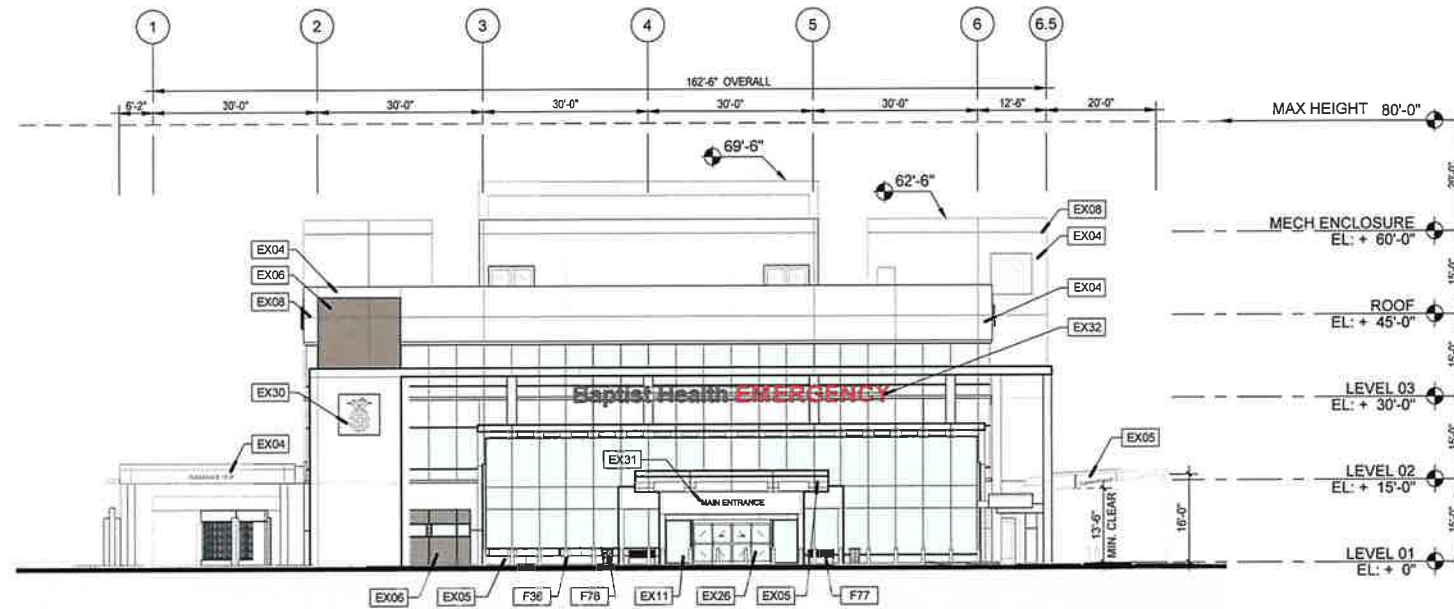
REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023
3	Site Update	04/15/2024

TITLE:
AREA PLANS

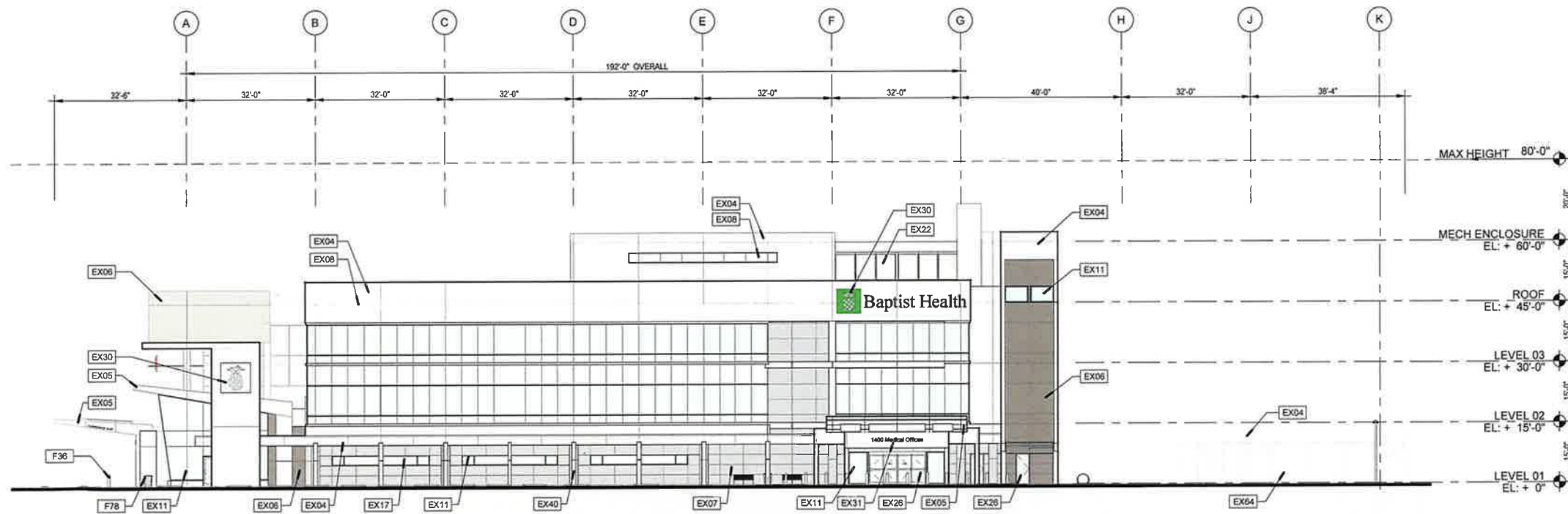
Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-010



1 PHASE 1 - EAST ELEVATION

A-201 1/16" = 1'-0"



2 PHASE 1 - NORTH ELEVATION

A-201 1/16" = 1'-0"

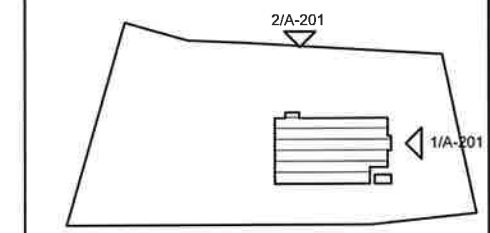


ELEVATION KEYNOTES

TAG	COMMENTS
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516
EX05	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 01 SILVER METALLIC
EX06	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 02 DRIFWOOD MICA
EX07	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 03 WEST PEWTER MICA II
EX08	1/2" MAX REVEAL IN WALL SURFACE - GALVANIZED METAL c/w PRE-FAB CORNER, INTERSECTIONS AND BENDS
EX11	GLAZING TYPE 01-NOA APPROVED/RATED - COLOR 01
EX17	CURTAIN WALL SPANDREL PANEL COLOR 02
EX22	METAL LOUVER-POWDER COATED COLOR 01 - MATCH ACP PANEL COLOR 01
EX26	METAL DOOR & FRAME / POWDER COATED COLOR TO MATCH ADJACENT WALLS
EX30	ARCHITECTURAL EMBELLISHMENT-INTEGRAL CONCRETE PANEL - REMOVABLE - MATCH COLOR 01 KESTREL WHITE SHERWIN WILLIAMS SW7516
EX31	SIGNAGE-SURFACE MOUNTED-ILLUMINATED
EX32	SIGNAGE-SUSPENDED-ILLUMINATED
EX40	STRUCTURAL COLUMN-STUCCO w/ PAINT P1 - KESTREL WHITE SHERWIN WILLIAMS SW7516
EX04	CHAIN LINK FENCE, GATES/HINGES/HASP AND CROSS BARS
F36	CALPIPE SECURITY BOLLARDS, 6" NOMINAL SIZE SSF06040 SCH 40 STAINLESS STEEL AS SPECIFIED POLISHED #4 BRUSHED, KNIGHT CAP STYLE, K4 RATING, INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
F77	NEOCOMBO BENCH (ALUMINUM STYLE), LANDSCAPE FORMS, SURFACE MOUNTING WITH ARMS, WITH BACK, WITHOUT DIVIDER
F78	AUSTIN LITTER RECEPTACLE (34 GALLON CAPACITY), LANDSCAPE FORMS, SURFACE MOUNTING SIDE OPENING WITH LOCK

EX 01 EX 04 EX 40		BRAND: SHERWIN-WILLIAMS COLOR: 7516 FINISH: MATT
EX 05		BRAND: ALUCOBOND COLOR: SILVER METALLIC FINISH: METALLIC
EX 06		BRAND: ALUCOBOND COLOR: DRIFWOOD FINISH: MICA
EX 07		BRAND: ALUCOBOND COLOR: WEST PEWTER FINISH: MICA II
EX 22		BRAND: POWDERCOAT COLOR: MATCH METALLIC SILVER PANELS FINISH: MATT
EX 11 EX 17	GLAZING NEUTRAL-GRAPHITE	BRAND: VIRACON GLASS COLOR: MATCH METALLIC SILVER RATING: N.O.A. RATED MISSILE IMPACT
	SPANDREL WARM GREY	

EXTERIOR FINISHES
NOT TO SCALE



LOCATOR KEY



ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale, FL 33316
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd. Suite 401
Coral Gables, FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

THE EDISON
PEMBROKE PINES PHASE 1

**BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES**

1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
**SITE PLAN
APPLICATION**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

Bermello Ajamil
A REGISTERED COMPANY
EST. 1988

JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93671

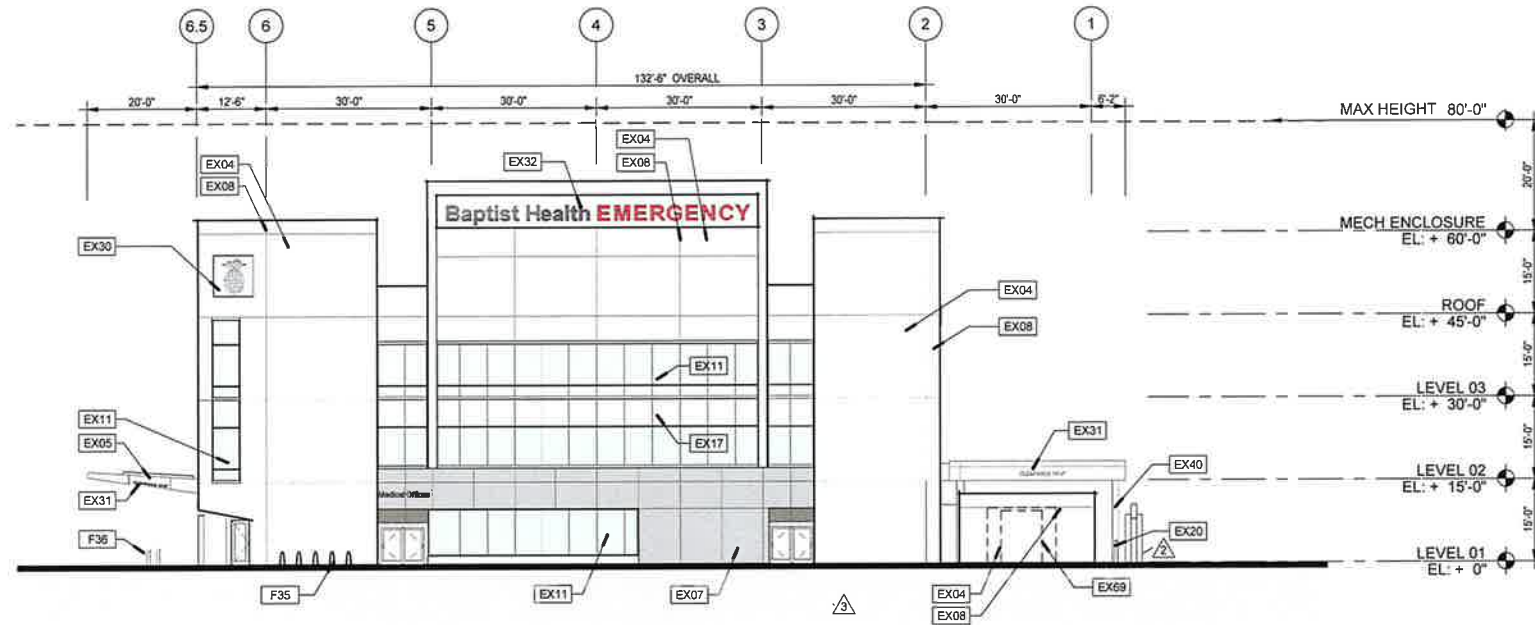
REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023

TITLE:
**PHASE 1
ELEVATIONS**

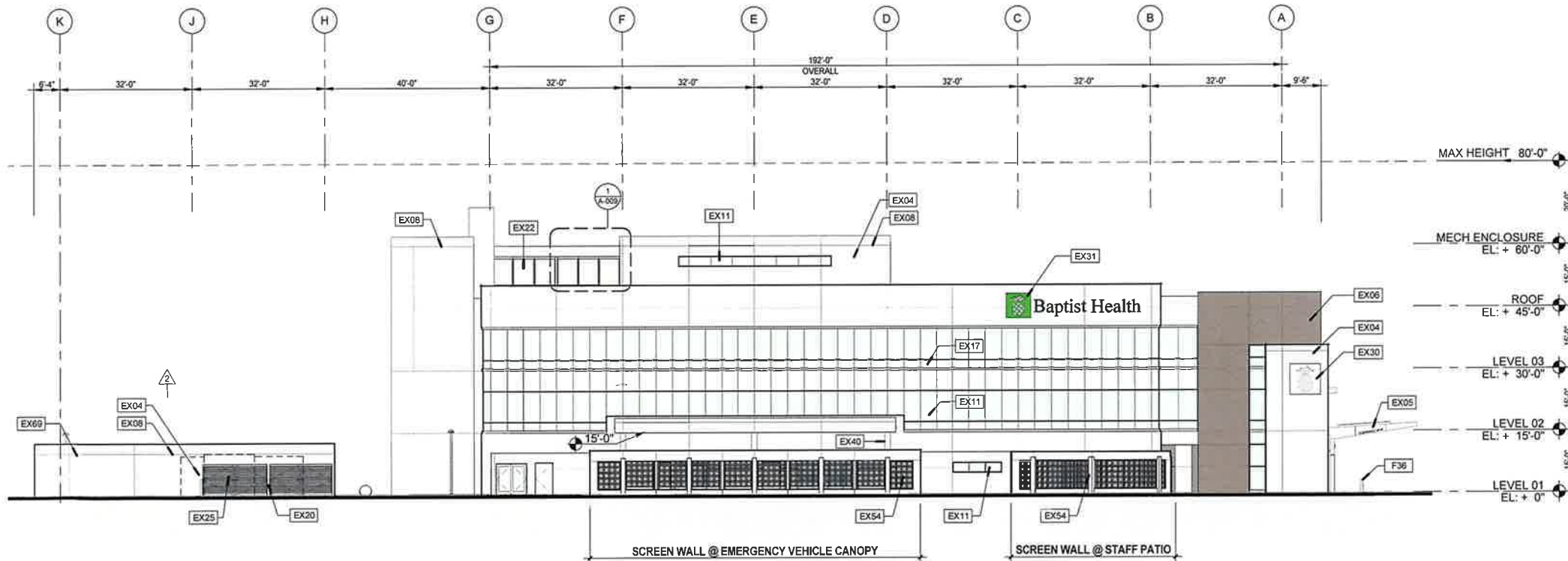
Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-201



1 PHASE 1 - WEST ELEVATION

1/16" = 1'-0"



2 PHASE 1 - SOUTH ELEVATION

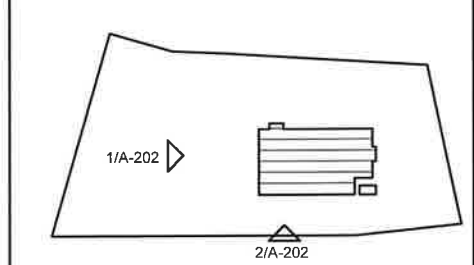
1/16" = 1'-0"

ELEVATION KEYNOTES	
TAG	COMMENTS
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7516
EX05	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 01 SILVER METALLIC
EX06	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 02 DRIFWOOD MICA
EX07	ALUMINUM COMPOSITE PANEL (ACP) - COLOR 03 WEST PEWTER MICA II
EX08	1/2" MAX REVEAL IN WALL SURFACE - GALVANIZED METAL w/ PRE-FAB CORNER, INTERSECTIONS AND BENDS
EX11	GLAZING TYPE 01-NOA APPROVED/RATED - COLOR 01
EX17	CURTAIN WALL SPANDREL PANEL COLOR 02
EX20	METAL BOLLARD-STEEL/CONC FILLED-PAINTED
EX22	METAL LOUVER-POWDER COATED COLOR 01 - MATCH ACP PANEL COLOR 01
EX25	METAL GATE & HARDWARE - POWDER COATED MATCH COLOR 01 KESTREL WHITE SHERWIN WILLIAMS SW7516
EX30	ARCHITECTURAL EMBELLISHMENT-INTEGRAL CONCRETE PANEL - REMOVABLE - MATCH COLOR 01 KESTREL WHITE SHERWIN WILLIAMS SW7516
EX31	SIGNAGE-SURFACE MOUNTED-ILLUMINATED
EX32	SIGNAGE-SUSPENDED-ILLUMINATED
EX40	STRUCTURAL COLUMN-STUCCO w/ PAINT P1 - KESTREL WHITE SHERWIN WILLIAMS SW7516
EX54	DECORATIVE CONCRETE BLOCKS
EX69	OUTLINE OF GENERATOR BEHIND WALL
F35	LOOP BIKE RACK, LANDSCAPE FORMS "36 COLLECTION" QTY PER PLANS, PROVIDE MULTI-COLORED SIGNAGE
F36	CALPIPE SECURITY BOLLARDS, 6" NOMINAL SIZE, SSF09040 SCH 40 STAINLESS STEEL, AS SPECIFIED POLISHED #4 BRUSHED, KNIGHT CAP STYLE, K4 RATING, INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

TAG	COMMENTS
EX 01	BRAND: SHERWIN-WILLIAMS COLOR: 7516 FINISH: MATT
EX 04	
EX 40	
EX 05	BRAND: ALUCOBOND COLOR: SILVER METALLIC FINISH: METALLIC
EX 06	BRAND: ALUCOBOND COLOR: DRIFTWOOD FINISH: MICA
EX 07	BRAND: ALUCOBOND COLOR: WEST PEWTER FINISH: MICA II
EX 22	BRAND: POWDERCOAT COLOR: MATCH METALLIC SILVER PANELS FINISH: MATT
EX 11	BRAND: VIRACON GLASS COLOR: MATCH METALLIC SILVER RATING: N.O.A. RATED MISSILE IMPACT
EX 17	

TAG	COMMENTS
EX 01	BRAND: SHERWIN-WILLIAMS COLOR: 7516 FINISH: MATT
EX 04	
EX 40	
EX 05	BRAND: ALUCOBOND COLOR: SILVER METALLIC FINISH: METALLIC
EX 06	BRAND: ALUCOBOND COLOR: DRIFTWOOD FINISH: MICA
EX 07	BRAND: ALUCOBOND COLOR: WEST PEWTER FINISH: MICA II
EX 22	BRAND: POWDERCOAT COLOR: MATCH METALLIC SILVER PANELS FINISH: MATT
EX 11	BRAND: VIRACON GLASS COLOR: MATCH METALLIC SILVER RATING: N.O.A. RATED MISSILE IMPACT
EX 17	

EXTERIOR FINISHES
NOT TO SCALE



LOCATOR KEY

BA HEALTH
Design for LIFE

ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
FL Lauderdale FL 33324
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.6080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd. Suite 401
Coral Gables FL 33146
305-689-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

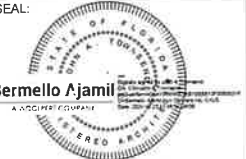
THE EDISON
PEMBROKE PINES PHASE 1

**BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES**

1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

Bermello Ajamil
A PROFESSIONAL ARCHITECT
JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

REVISIONS:

No.	DESCRIPTION	DATE
1	SPA Comments	08/30/2023
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024

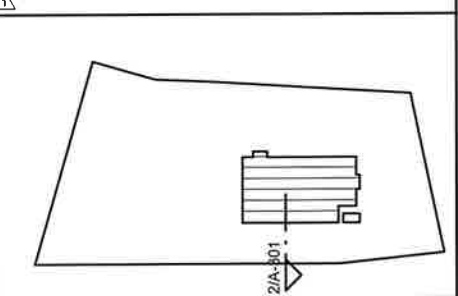
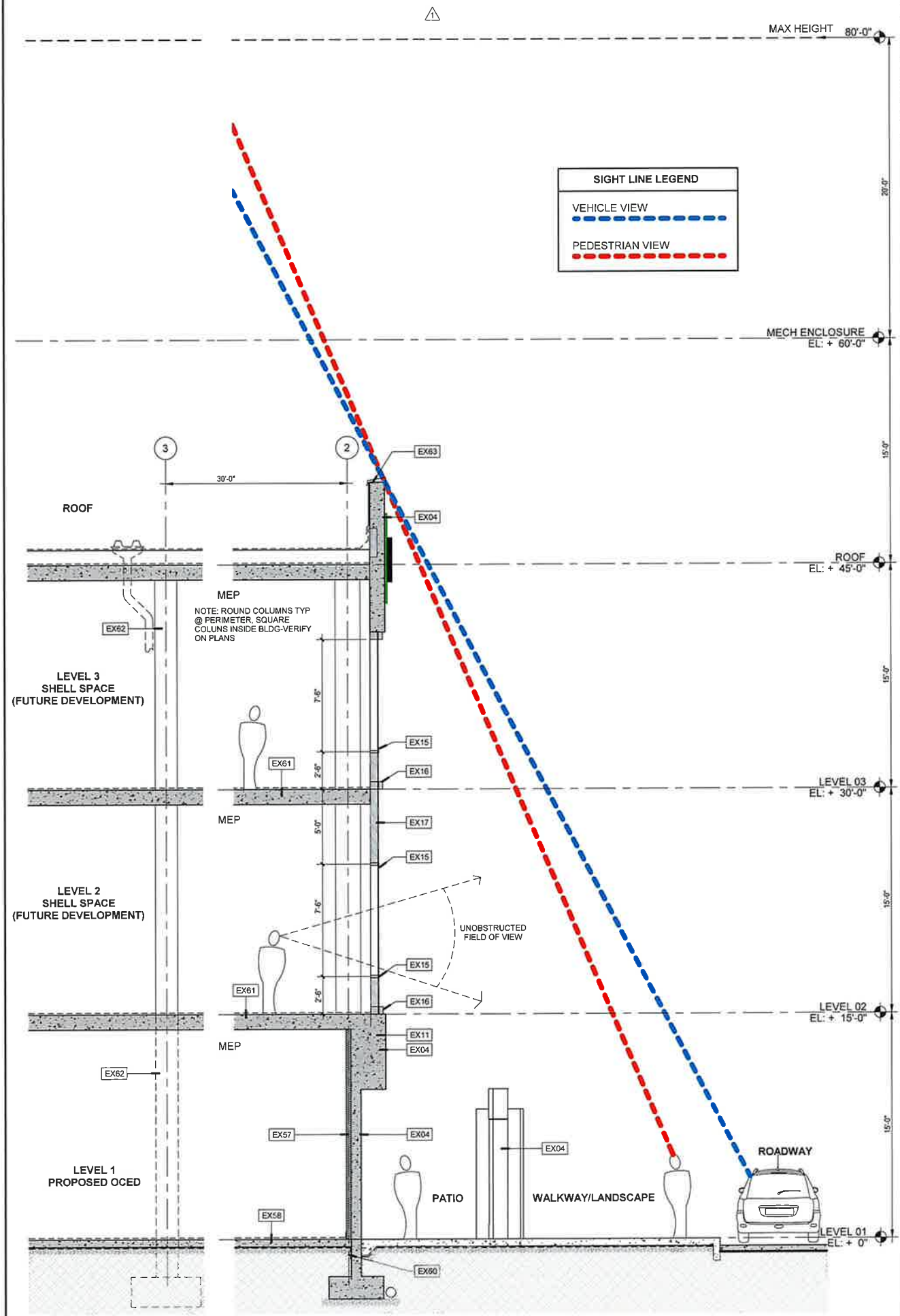
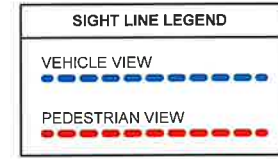
TITLE:
PHASE 1 ELEVATIONS

Project No:	02273.000
Date:	04/20/2023
Scale:	As Indicated
Format:	24" x 36"
Drawn:	Author
Checked:	Checker

SHEET:
A-202

BUILDING SECTION KEYNOTES

TAG	COMMENTS
EX04	PRECAST CONCRETE PANELS w/ INTEGRAL COLOR, MATCH KESTREL WHITE SHERWIN WILLIAMS SW7515
EX11	GLAZING TYPE 01-NOA APPROVED/RATED - COLOR 01
EX15	CURTAIN WALL STANDARD MULLION 2" PROFILE - COLOR 01
EX16	CURTAIN WALL FEATURE MULLION 4"x6" PROFILE - COLOR 01
EX17	CURTAIN WALL SPANDREL PANEL COLOR 02
EX57	INSULATION AND FURRING PER PARTITION TYPE ON PLAN
EX58	SLAB ON GRADE / MEMBRANE / GRAVEL FILL / COMP. SOIL
EX60	FOOTINGS / WEEPING TILE PER STRUCTURAL & MEP
EX61	SLAB PER STRUCTURAL
EX62	COLUMN PER STRUCTURAL
EX63	PARAPET FLASHING & FASTENING CLIPS



BA HEALTH
Design for LIFE

ARCHITECT:
Bermello Ajamil & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale FL 33316
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd. Suite 401
Coral Gables FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

THE EDISON
PEMBROKE PINES PHASE 1

**BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES**
1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
SITE PLAN APPLICATION

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:

bermello ajamil
ARCHITECTS
JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

REVISIONS:

No.	DESCRIPTION	DATE:
1	SPA Comments	08/30/2023

TITLE:
TYPICAL WALL SECTION & SITE LINES

Project No: 02273.000
Date: 04/20/2023
Scale: 1/4" = 1'-0"
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-301

ARCHITECT:
Bermello Ajami & Partners
900 SE 3rd Avenue, Suite 100
Ft. Lauderdale, FL 33316
P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
8201 Peters Road, Suite 2200,
Plantation, FL 33324
954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
6877 Northwestern Hwy., Suite 208,
Southfield, MI 48033
248.353.5080

LANDSCAPE ARCHITECT:
AAL
612 S.W. 4th Avenue
Ft. Lauderdale, FL 33315
954.764.9858

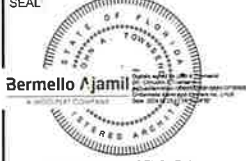
SIGNAGE CONSULTANT
TGA DESIGN
4649 Ponce de Leon Blvd, Suite 401
Coral Gables FL 33146
305-669-2550

Baptist Health
8500 SW 117 AVE
Miami, FL 33183

THE EDITION
PEMBROKE PINES PHASE 1
**BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES**
1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
**SITE PLAN
APPLICATION**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL

Bermello Ajami
JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

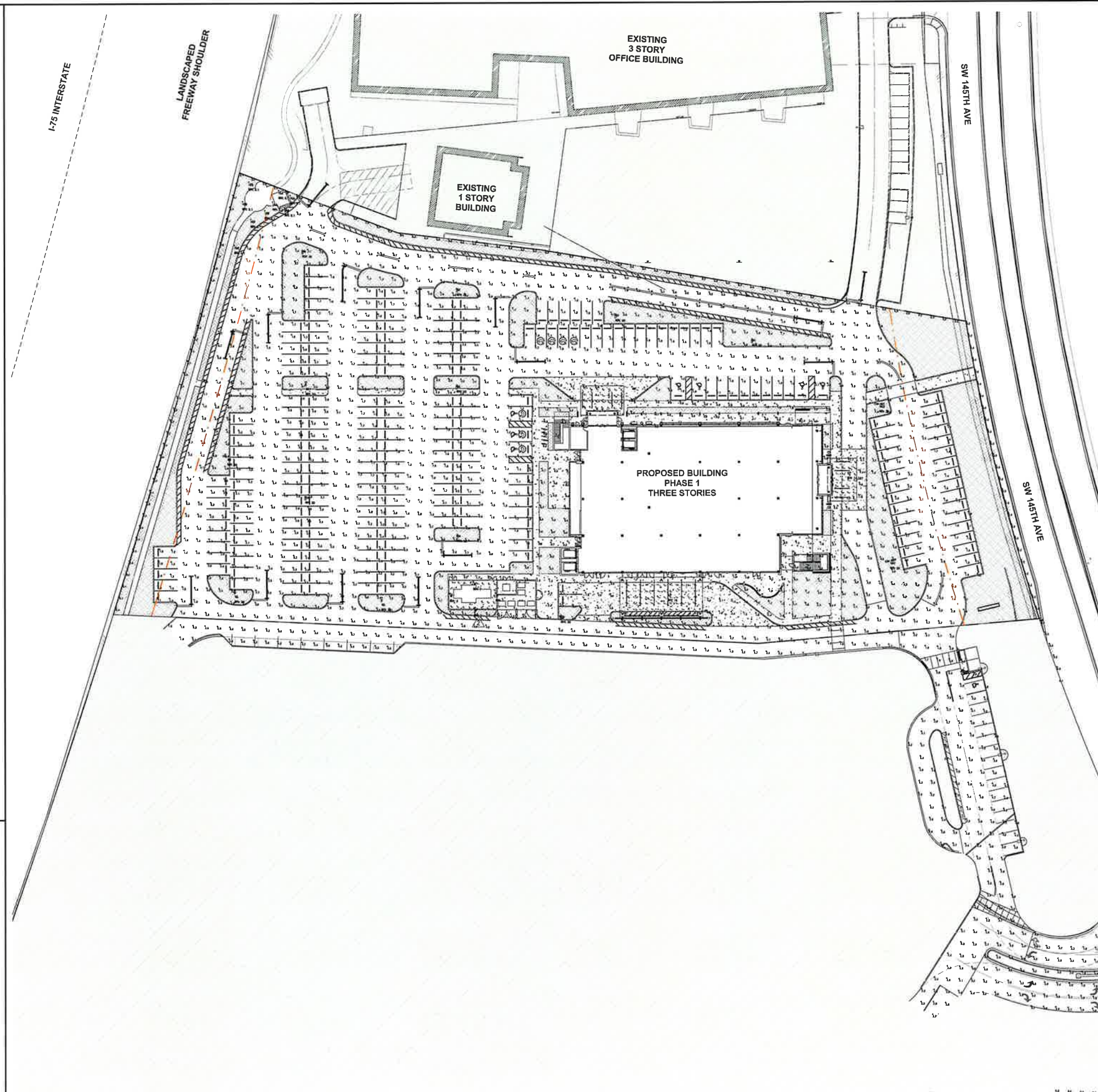
REVISIONS:

No.	DESCRIPTION	DATE
2	SPA Comments	11/10/2023
3	Site Update	04/15/2024
5	TOWER UPDATE	09/03/2024

TITLE:
**PHASE 1
PHOTOMETRICS
PLAN**

Project No: 02273.000
Date: 04/20/2023
Scale: As indicated
Format: 24" x 36"
Drawn: Author
Checked: Checker

SHEET:
A-401



Luminaire Schedule

Symbol	ID	Label	Manufacturer	Lotus Location	LED	Luminaire Size	Mounting	Description
	01	SP	Wing	102	4.0x4	14	FM	DETAILS: SEE PLAN & SECTION - 1 & 2 - SEE NOTES & SPECIFICATIONS
	02	AS	Spot	001	4.0x4	21	SI	REAR OFFICE (EXISTING)
	03	AS	Spot	002	4.0x4	21	SI	REAR OFFICE (EXISTING)
	04	AS	Spot	003	4.0x4	21	SI	REAR OFFICE (EXISTING)
	05	AS	Spot	004	4.0x4	21	SI	REAR OFFICE (EXISTING)
	06	AS	Spot	005	4.0x4	21	SI	REAR OFFICE (EXISTING)
	07	AS	Spot	006	4.0x4	21	SI	REAR OFFICE (EXISTING)
	08	AS	Spot	007	4.0x4	21	SI	REAR OFFICE (EXISTING)
	09	AS	Spot	008	4.0x4	21	SI	REAR OFFICE (EXISTING)
	10	AS	Spot	009	4.0x4	21	SI	REAR OFFICE (EXISTING)
	11	AS	Spot	010	4.0x4	21	SI	REAR OFFICE (EXISTING)
	12	AS	Spot	011	4.0x4	21	SI	REAR OFFICE (EXISTING)
	13	AS	Spot	012	4.0x4	21	SI	REAR OFFICE (EXISTING)
	14	AS	Spot	013	4.0x4	21	SI	REAR OFFICE (EXISTING)
	15	AS	Spot	014	4.0x4	21	SI	REAR OFFICE (EXISTING)
	16	AS	Spot	015	4.0x4	21	SI	REAR OFFICE (EXISTING)
	17	AS	Spot	016	4.0x4	21	SI	REAR OFFICE (EXISTING)
	18	AS	Spot	017	4.0x4	21	SI	REAR OFFICE (EXISTING)
	19	AS	Spot	018	4.0x4	21	SI	REAR OFFICE (EXISTING)
	20	AS	Spot	019	4.0x4	21	SI	REAR OFFICE (EXISTING)
	21	AS	Spot	020	4.0x4	21	SI	REAR OFFICE (EXISTING)
	22	AS	Spot	021	4.0x4	21	SI	REAR OFFICE (EXISTING)
	23	AS	Spot	022	4.0x4	21	SI	REAR OFFICE (EXISTING)

BLX-II ARRAY LED Specifications

TYPE SA, SA1, SB, SC, SD



Project Name: _____
 Category Number: _____
 Title: _____

The new **BLX II Array LED** fixture continues the unique architectural design inspired by the sleek design of the BLX family. Separating the individual aluminum array housing and the individual circuit aluminum base LED engine, allows the % of the LEDs and the Driver, and maintains the same level of efficiency. The fixture is available in sizes up to 30" wide and 12" high for adjusting the light levels where you need it.

The BLX II Array LED fixture is offered with arm packages ranging from 20,000, 115,000, 200,000, 300,000, 400,000 or 500,000 lumens per fixture. The BLX II Array LED fixture is available in a variety of finishes for the front view of the fixture.

A durable polycarbonate cover (not shown) is guaranteed for five years and is available in standard or custom colors.

The **BLX II Array LED** fixture is an excellent choice for auto washes, shopping centers, commercial parking lots and general area lighting.

Ordering Information

MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	MOUNTING	FINISH	OPTIONS	OPTIONS
BLX-II-1	T1 Type 1	20L	3K 3000K	UNV 120V	PT Post Top	WM Wall Mount	GY Grey	PCR-120	WSC-8
BLX-II-2	T2 Type 2	25L	4K 4000K	B 120V	MA Mount Arm	BLX II QTY	SL Silver	PCR-200	WSC-16
BLX-II-3	T3 Type 3	35L	5K 5000K	S 120V	KM Mount Arm	BLX II QTY	MA Matte	PCR-277	WSC-20
BLX-II-4	T4 Type 4	45L	6K 6000K	S 120V	BOA 3rd Arm	BLX II QTY	BLK Black	PCR-400	WSC-40
BLX-II-5	T5 Type 5	55L	7K 7000K	S 120V	BAHP 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-6	T6 Type 6	65L	8K 8000K	S 120V	BAWP-XL 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-7	T7 Type 7	75L	9K 9000K	S 120V	UPMA-S 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-8	T8 Type 8	85L	10K 10000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-9	T9 Type 9	95L	11K 11000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-10	T10 Type 10	105L	12K 12000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-11	T11 Type 11	115L	13K 13000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-12	T12 Type 12	125L	14K 14000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-13	T13 Type 13	135L	15K 15000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40
BLX-II-14	T14 Type 14	145L	16K 16000K	S 120V	UPMA-R 3rd Arm	BLX II QTY	WH White	PCR-400	WSC-40



VL-PA-ING-001-F37

REV. 0

CRCABR22-03

NOTE: GRAPHITE COLOR TO MATCH EXISTING OFFICE AT ADJACENT PROPERTY

V-Sconce-II LED Specifications

TYPE W1 AND W2



Project Name: _____
 Category Number: _____
 Title: _____

The **V-Sconce II** LED fixture continues the unique architectural design that is inspired by the V-Sconce series. It combines LED performance and advanced LED thermal management technology and provides lighting that is energy efficient and aesthetically pleasing.

The LED performance and the fixture is an arm-mountable enclosure that is easy-to-install cast aluminum housing. Easy access for mounting and maintenance.

The LED light assemblies come with 16, 32, or 48 LEDs. Dimensions are 3000, 4000 or 5000 lumens per fixture for the LED.

A durable polycarbonate cover (not shown) is guaranteed for five years, and is available in standard or custom colors.

The **V-Sconce II** LED fixture is an excellent choice for office corridors, schools, commercial buildings, and many architectural projects.

Ordering Information

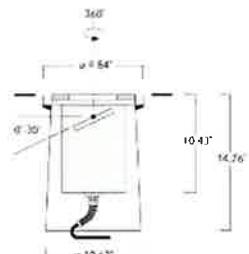
MODEL	OPTICS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VSC-II-1	T1 Type 1	16LC	3 300mA	3K 3000K	UNV 120V	WM Wall Mount	BZ Bronze	PC-120	UP
VSC-II-2	T2 Type 2	32LC	6 600mA	4K 4000K	B 120V	VCB 3rd Arm	BLK Black	PC-200	DM
VSC-II-3	T3 Type 3	48LC	9 900mA	5K 5000K	S 120V	VCB 3rd Arm	BLK Black	PC-240	DM
VSC-II-4	T4 Type 4	64LC	12 1200mA	6K 6000K	S 120V	VCB 3rd Arm	BLK Black	PC-277	DM
VSC-II-5	T5 Type 5	80LC	15 1500mA	7K 7000K	S 120V	VCB 3rd Arm	BLK Black	PC-320	DM
VSC-II-6	T6 Type 6	96LC	18 1800mA	8K 8000K	S 120V	VCB 3rd Arm	BLK Black	PC-360	DM
VSC-II-7	T7 Type 7	112LC	21 2100mA	9K 9000K	S 120V	VCB 3rd Arm	BLK Black	PC-400	DM
VSC-II-8	T8 Type 8	128LC	24 2400mA	10K 10000K	S 120V	VCB 3rd Arm	BLK Black	PC-440	DM
VSC-II-9	T9 Type 9	144LC	27 2700mA	11K 11000K	S 120V	VCB 3rd Arm	BLK Black	PC-480	DM
VSC-II-10	T10 Type 10	160LC	30 3000mA	12K 12000K	S 120V	VCB 3rd Arm	BLK Black	PC-520	DM
VSC-II-11	T11 Type 11	176LC	33 3300mA	13K 13000K	S 120V	VCB 3rd Arm	BLK Black	PC-560	DM
VSC-II-12	T12 Type 12	192LC	36 3600mA	14K 14000K	S 120V	VCB 3rd Arm	BLK Black	PC-600	DM
VSC-II-13	T13 Type 13	208LC	39 3900mA	15K 15000K	S 120V	VCB 3rd Arm	BLK Black	PC-640	DM
VSC-II-14	T14 Type 14	224LC	42 4200mA	16K 16000K	S 120V	VCB 3rd Arm	BLK Black	PC-680	DM
VSC-II-15	T15 Type 15	240LC	45 4500mA	17K 17000K	S 120V	VCB 3rd Arm	BLK Black	PC-720	DM
VSC-II-16	T16 Type 16	256LC	48 4800mA	18K 18000K	S 120V	VCB 3rd Arm	BLK Black	PC-760	DM
VSC-II-17	T17 Type 17	272LC	51 5100mA	19K 19000K	S 120V	VCB 3rd Arm	BLK Black	PC-800	DM
VSC-II-18	T18 Type 18	288LC	54 5400mA	20K 20000K	S 120V	VCB 3rd Arm	BLK Black	PC-840	DM
VSC-II-19	T19 Type 19	304LC	57 5700mA	21K 21000K	S 120V	VCB 3rd Arm	BLK Black	PC-880	DM
VSC-II-20	T20 Type 20	320LC	60 6000mA	22K 22000K	S 120V	VCB 3rd Arm	BLK Black	PC-920	DM



VL-PA-ING-001-F37

REV. 0

CRCABR22-03



Description
 IP69K, Class I, IK10+. Stainless steel construction. PCS hardware. Optional with Anti Slip ceramic Coating ASC to DIN 51130 (Trip Classification 10) available on request. Silicone CCG* Controlled Compression Gasket. Safety glass lens; max load 5.5 tons (11,000 lbs). Luminaire can be driven over at low speed. Cable gland with spiral cable bending protection. Factory sealed termination chamber complete with cable gland and 3 ft of flexible PVC-free, gel-impregnated anti-wicking cable. CAD optimized optics for superior illumination and glare control. Integral driver in thermally separated compartment. OLC* One LED Concept. Factory-installed LED circuit board. 0-10V Dimming comes standard with luminaire. Gimbal mounted, 360° rotatable and 30° tiltable. "No tool" removable gear/lens tray.

Suitable for flush installation in concrete or earth. The concrete-pour installation blockout is supplied as standard with luminaire.

Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately.

WE-EF LIGHTING USA, LLC
 210 D Keystone Drive, 15086 Warrendale, PA 15086 Phone: +1 724 742 0030
 customersupport@weef.com https://www.weef.com/us
 Subject to technical changes and errors. Generated on 08/30/2024

RAIL 4 RM4DOD

OUTDOOR, LED, RECESSED, DIRECT



- Efficacy up to 110 LPW
- Integral drivers
- Standard distribution available with Integral Mount option
- Standard rotatable finish
- Emergency lighting

TYPE CP

PERFORMANCE SUMMARY @ 3500K	Meta Blanc (lm)	Meta Grey (lm)	Meta Asymmetric (lm)
L3	133	133	133
Lumens per foot	80 CRI	80 CRI	80 CRI
Efficiency	80 CRI	80 CRI	80 CRI
Efficiency	80 CRI	80 CRI	80 CRI

L70 ESTIMATE: 60,000 hrs @ 24,000 hrs



ORDERING LOGIC

Example Part Number: RM4DOD-1L35K-6x4-MS-W-L31-R-1-90

1. SERIES	2. COLOR TEMP	3. LENGTH	4. PATTERN	5. OPTICS	6. NATATORIUM FINISH
RM4DOD	135K 3000K	2 2ft	G4 Square	MB Meta Blanc	SA Satin Aluminum
	135K 3000K	3 3ft	G4-B Rectangle	MG Meta Grey	WB White
	135K 3000K	4 4ft	U&B-C U-Shape	MA Meta Asymmetric	B Black
	135K 3000K	5 5ft	L&B-L L-Shape	PC Polycarbonate	C Custom Finish
	135K 3000K	6 6ft			W White
	135K 3000K	7 7ft			B Black
	135K 3000K	8 8ft			C Custom Finish
	135K 3000K	9 9ft			W White
	135K 3000K	10 10ft			B Black
	135K 3000K	11 11ft			C Custom Finish
	135K 3000K	12 12ft			W White

- Select Driver:
- Factory option 0-10V, 1% Dimming
 - Lutron H-Series Hi-Lume 1% Ecosystem LED Driver
 - Lutron A-Series Hi-Lume 1% 2-wire LED Driver
 - Lutron S-Series Ecosystem LED Driver



1-800-845-4141 • 1-800-845-4141 • 1-800-845-4141 • 1-800-845-4141



Design for LIFE

ARCHITECT:
Bermello Ajamil & Partners
 900 SE 3rd Avenue, Suite 100
 Ft. Lauderdale FL 33316
 P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
 8201 Peters Road, Suite 2200,
 Plantation, FL 33334
 954.375.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
 6877 Northwestern Hwy., Suite 208,
 Southfield, MI 48033
 248.764.5080

LANDSCAPE ARCHITECT:
AAL
 612 S.W. 4th Avenue
 Ft. Lauderdale, FL 33315
 954.764.8858

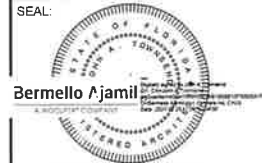
SIGNAGE CONSULTANT
TGA DESIGN
 4649 Ponce de Leon Blvd, Suite 401
 Coral Gables FL 33146
 305-669-2550

Baptist Health
 8500 SW 117 AVE
 Miami, FL 33193

THE EDISON
 PEMBROKE PINES PHASE 1
**BAPTIST HEALTH
 EMERGENCY CARE
 PEMBROKE PINES**
 1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
**SITE PLAN
 APPLICATION**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers



REVISIONS:

No.	DESCRIPTION	DATE:
3	Site Update	04/15/2024
4	SPA Comments	07/12/2024
5	TOWER UPDATE	09/03/2024

TITLE:
**LIGHTING
 SPECIFICATIONS**

Project No: 02273.000
 Date: 04/20/2023
 Scale:
 Format: 24" x 36"
 Drawn: Author
 Checked: Checker

SHEET:
A-404

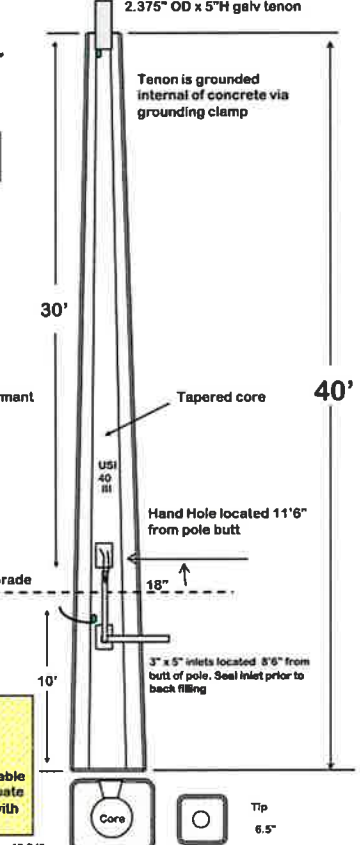
Utilities Structures, Inc.
 PO Box 9303
 2700 Evans Ave.
 Fort Myers, FL. 33901

"Your concrete pole producer since 1988"



- Prestressed Concrete Pole**
- Pole Weight= 3,280lbs
 - Wind speed= 170mph Vuit
 - Exposure = "C"
 - Risk Category II
 - Wind Gust = 3 seconds
 - 8th Edition 2023 FBC 1609, 1620 HVHZ, 1806
 - ASCE 7-22
 - Min. Brk. Strength= 3,000#
 - Concrete= 6,500lbs @ 28 days
 - Grd. Wire= #6 Copper
 - Strand= .500" @ 70% Ultimate + (4) .500" dormant
 - Tenor= 2.375" x 5"

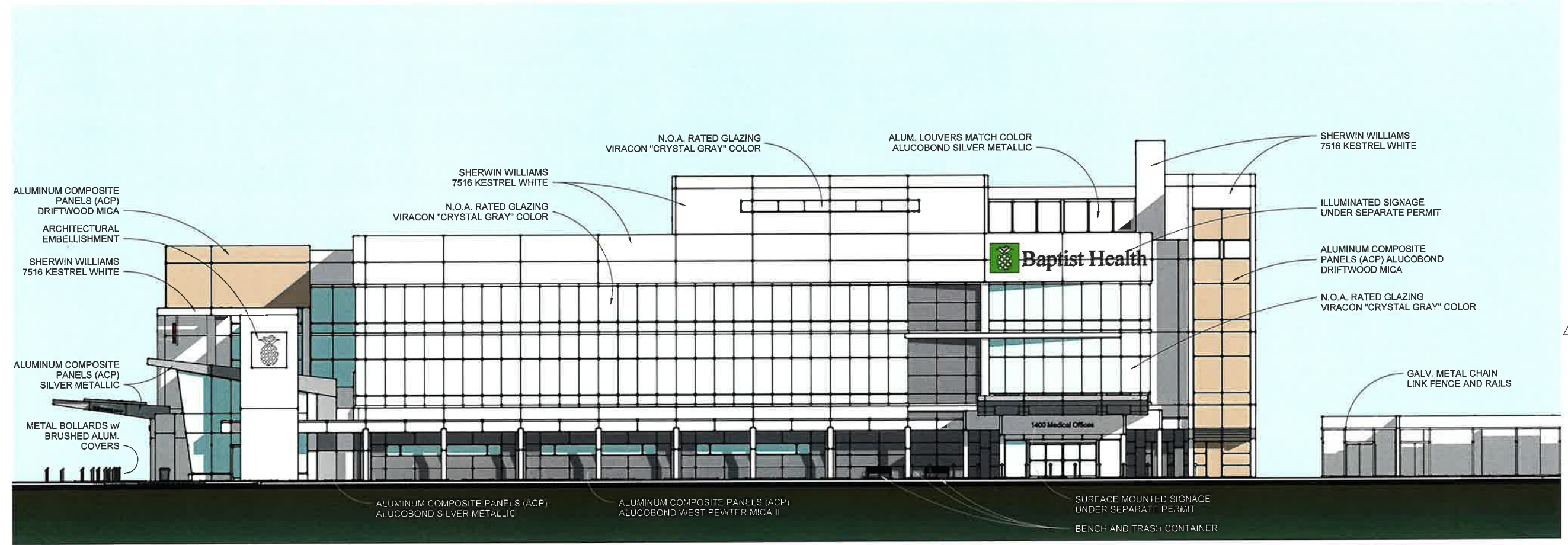
Select Structural LLC.
 Esra Persellin P.E.



PROJECT:
 This pole embedded 10' in to soils with an allowable passive pressure of 300pcf is structurally adequate to resist the local wind speeds of Broward Co. with the 4.0sqft epa attached.



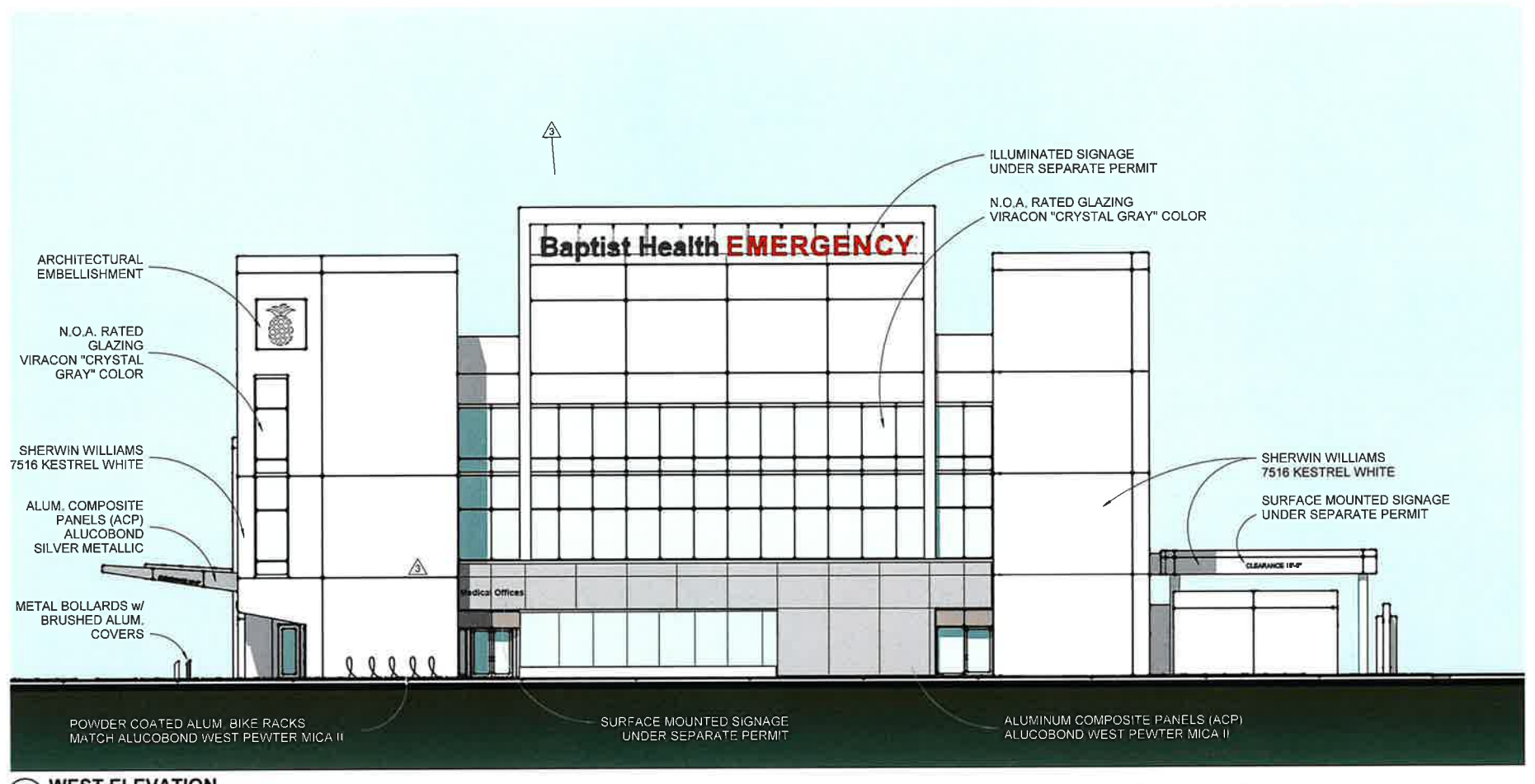
1 EAST ELEVATION
A-501 3/32" = 1'-0"



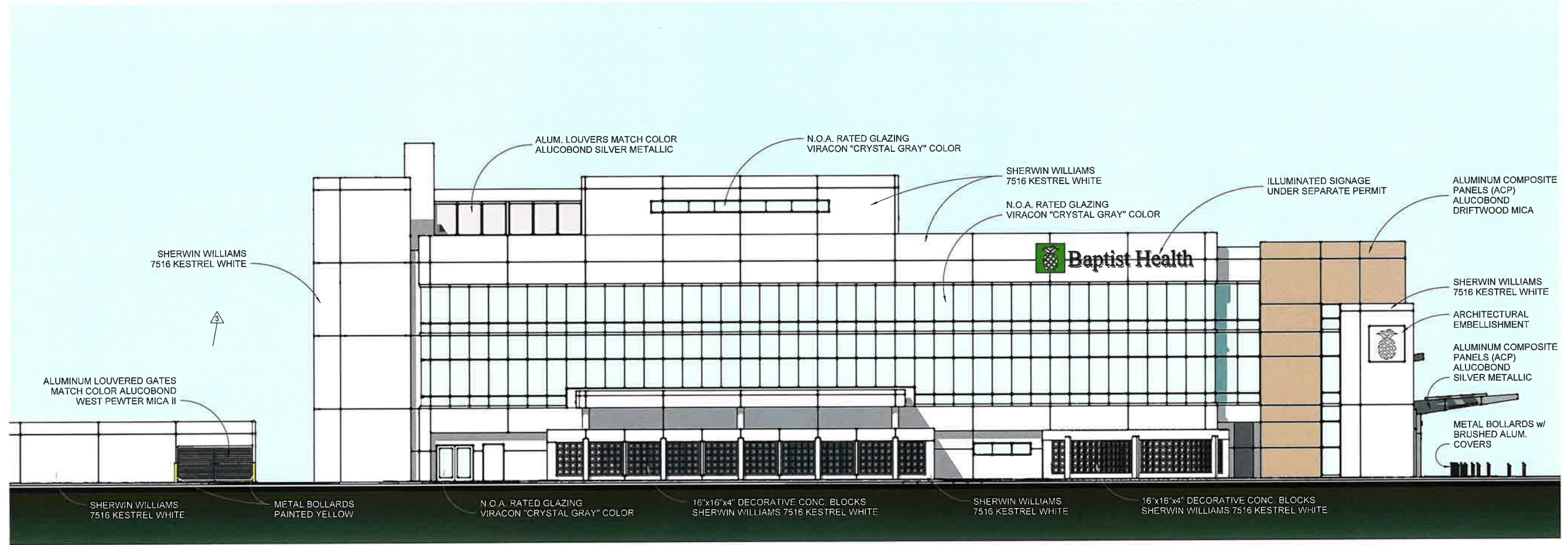
2 NORTH ELEVATION
A-501 3/32" = 1'-0"

REVISIONS:

No.	DESCRIPTION	DATE
3	Site Update	04/15/2024



1 WEST ELEVATION
A-502 3/32" = 1'-0"



2 SOUTH ELEVATION
A-502 3/32" = 1'-0"

REVISIONS:

No.	DESCRIPTION	DATE
3	Site Update	04/15/2024



PROJECT RENDERING - AERIAL VIEW

ALL ADJACENT BUILDINGS & LANDSCAPE ARE SHOWN FOR REFERENCE PURPOSES ONLY



ARCHITECT:
Bermello Ajamil & Partners
 900 SE 3rd Avenue, Suite 100
 Ft. Lauderdale FL 33316
 P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
 8201 Peters Road, Suite 2200,
 Plantation, FL 33324
 954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
 6877 Northwestern Hwy., Suite 208,
 Southfield, MI 48033
 248.353.5080

LANDSCAPE ARCHITECT:
AAL
 612 S.W. 4th Avenue
 Ft. Lauderdale, FL 33315
 954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
 4649 Ponce de Leon Blvd, Suite 401
 Coral Gables FL 33146
 305-669-2550

 **Baptist Health**
 8500 SW 117 AVE
 Miami, FL 33183

THE EDISION
 PEMBROKE PINES PHASE 1

**BAPTIST HEALTH
 EMERGENCY CARE
 PEMBROKE PINES**

1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
**SITE PLAN
 APPLICATION**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:


Bermello Ajamil
 JOHN A. TOWNSEND, R.A.
 FL ARCHITECT REG. NO. 93571

REVISIONS:

No.	DESCRIPTION	DATE

TITLE:
**PROJECT
 RENDERING AERIAL
 VIEW**

Project No: 02273.000
 Date: 04/20/2023
 Scale:
 Format: 24" x 36"
 Drawn: Author
 Checked: Checker

SHEET:
A-503



PROJECT RENDERING - VIEW FROM NORTH EAST

ALL ADJACENT BUILDINGS & LANDSCAPE ARE SHOWN FOR REFERENCE PURPOSES ONLY



ARCHITECT:
Bermello Ajamil & Partners
 900 SE 3rd Avenue, Suite 100
 Ft. Lauderdale FL 33316
 P: 954.278.3240

CIVIL ENGINEER:
KIMLEY-HORN
 8201 Peters Road, Suite 2200,
 Plantation, FL 33324
 954.535.5100

PARKING CONSULTANT:
RICH & ASSOCIATES
 6877 Northwestern Hwy., Suite 208,
 Southfield, MI 48033
 248.353.5080

LANDSCAPE ARCHITECT:
AAL
 612 S.W. 4th Avenue
 Ft. Lauderdale, FL 33315
 954.764.8858

SIGNAGE CONSULTANT
TGA DESIGN
 4649 Ponce de Leon Blvd. Suite 401
 Coral Gables FL 33146
 305-889-2550

 **Baptist Health**
 8500 SW 117 AVE
 Miami, FL 33183

THE EDISON
 PEMBROKE PINES PHASE 1

**BAPTIST HEALTH
 EMERGENCY CARE
 PEMBROKE PINES**
 1400 SW 145th Avenue - Pembroke Pines, FL

PHASE:
**SITE PLAN
 APPLICATION**

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers

SEAL:


Bermello Ajamil
 A REGISTERED COMPANY
 JOHN A. TOWNSEND, R.A.
 FL ARCHITECT REG. NO. 93571

REVISIONS:

No.	DESCRIPTION	DATE:

TITLE:
**PROJECT
 RENDERING NORTH
 EAST**

Project No: 02273.000
 Date: 04/20/2023
 Scale:
 Format: 24" x 36"
 Drawn: Author
 Checked: Checker

SHEET:
A-504



- ILLUMINATED TOWER CAP
- ILLUMINATED RED LETTERS
- ALUMINUM COMPOSITE PANELS - METALLIC SILVER TO MATCH BLDG
- STUCCO/PAINT CONCRETE - KESTRAL WHITE (S.W. 7516)
- WHITE ILLUMINATED PANEL
- SEMI-TRANSPARENT ARTISTIC EMBELLISHMENT IN PANEL FACE



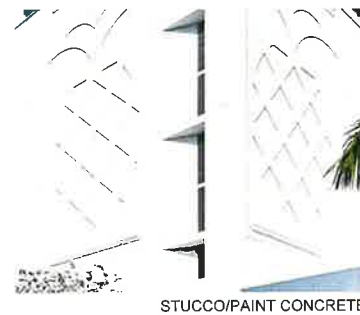
TOWER CAP



VIEW FROM I-75 (NIGHT)



VIEW FROM I-75 (DAY)



- ALUMINUM COMPOSITE PANELS - METALLIC SILVER TO MATCH BLDG
- STUCCO/PAINT CONCRETE - KESTRAL WHITE (S.W. 7516)
- DECORATIVE CONCRETE BLOCKS TO MATCH BLDG



TOWER BASE

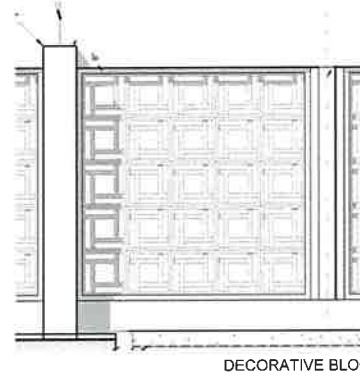


VIEW FROM PARKING AREA (NIGHT)

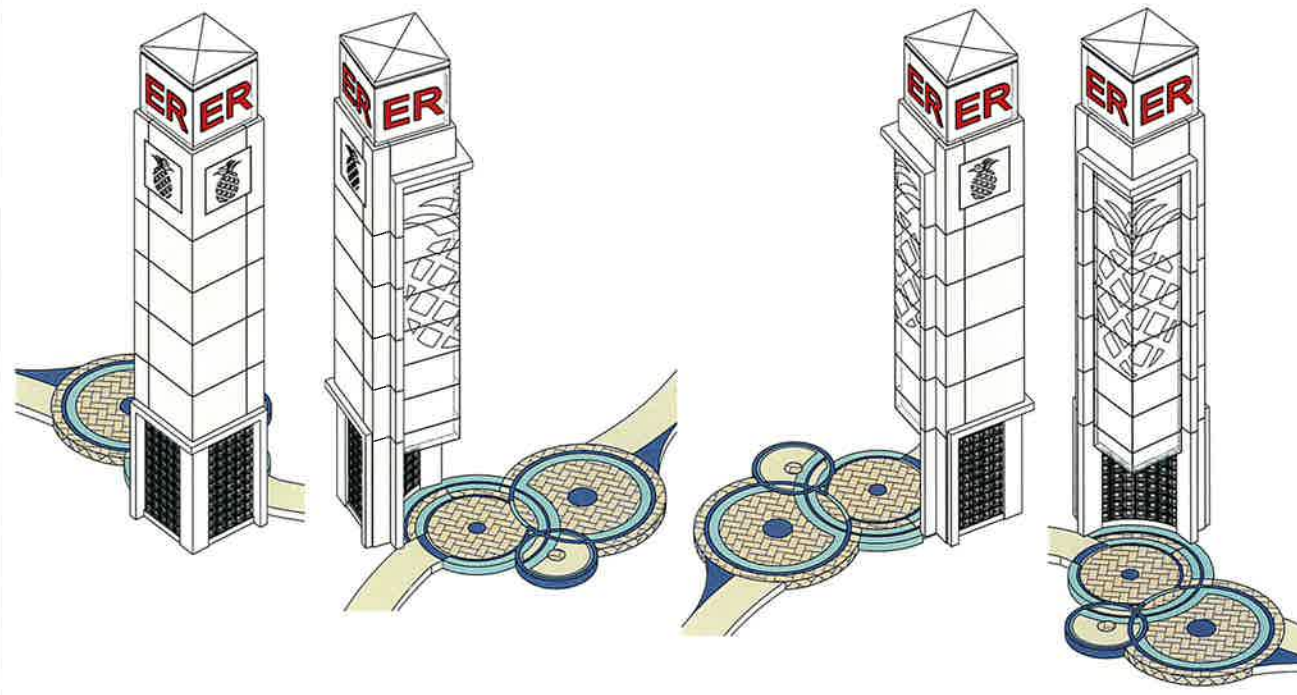


VIEW FROM PARKING AREA (DAY)

ALL ADJACENT BUILDINGS & LANDSCAPE ARE SHOWN FOR REFERENCE PURPOSES ONLY

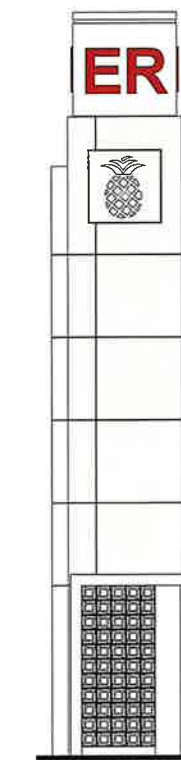


DECORATIVE BLOCK



1 AXO SOUTH EAST 2 AXO NORTH EAST

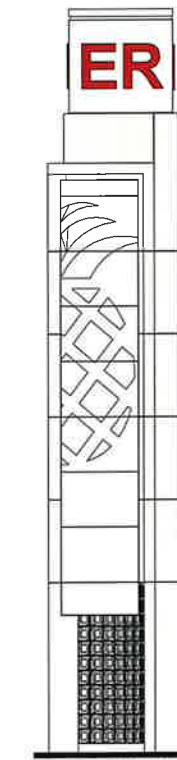
3 AXO SOUTH WEST 4 AXO NORTH WEST



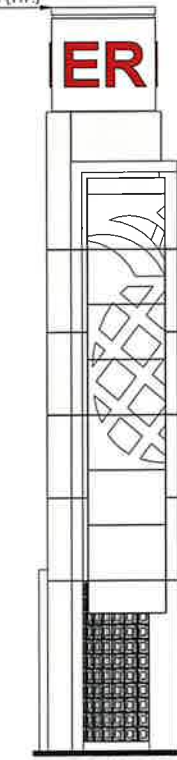
5 EAST ELEV 1/8" = 1'-0"



6 NORTH ELEV 1/8" = 1'-0"

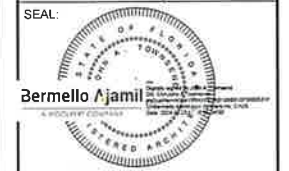


7 SOUTH ELEV 1/8" = 1'-0"



8 WEST ELEV 1/8" = 1'-0"

Note: This drawing is protected by copyright. It shall not be transmitted to any other except as agreed to by the Architect/Engineers



JOHN A. TOWNSEND, R.A.
FL ARCHITECT REG. NO. 93571

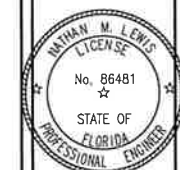
REVISIONS:

No.	DESCRIPTION	DATE
5	TOWER UPDATE	09/03/2024

TITLE:
**PROPOSED TOWER
RENDERINGS**

Project No: 02273.000
Date: 04/20/2023
Scale: 1/8" = 1'-0"
Format: 24" x 36"
Drawn: Author
Checked: Checker

REVISIONS	
#	DATE



September 10, 2024

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY NATHAN M. LEWIS, P.E. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Nathan M. Lewis
Professional Engineer

THE EDISON SITE PLAN
THE EDISON PEMBROKE PINES
PEMBROKE PINES, FL 33027

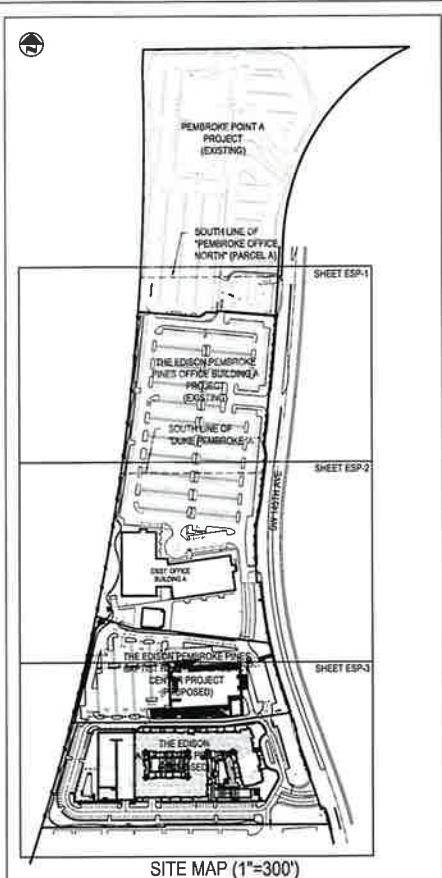
Botek Thurlow Engineering, Inc.
3409 NW 4th Avenue, Suite 102, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-368-8888 F: 954-368-9757

BTE PROJECT # 16-1204.B

PROJECT DATE: 4.13.23

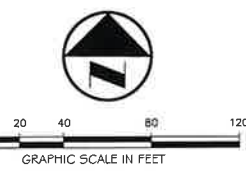
SHEET #

ESP-1



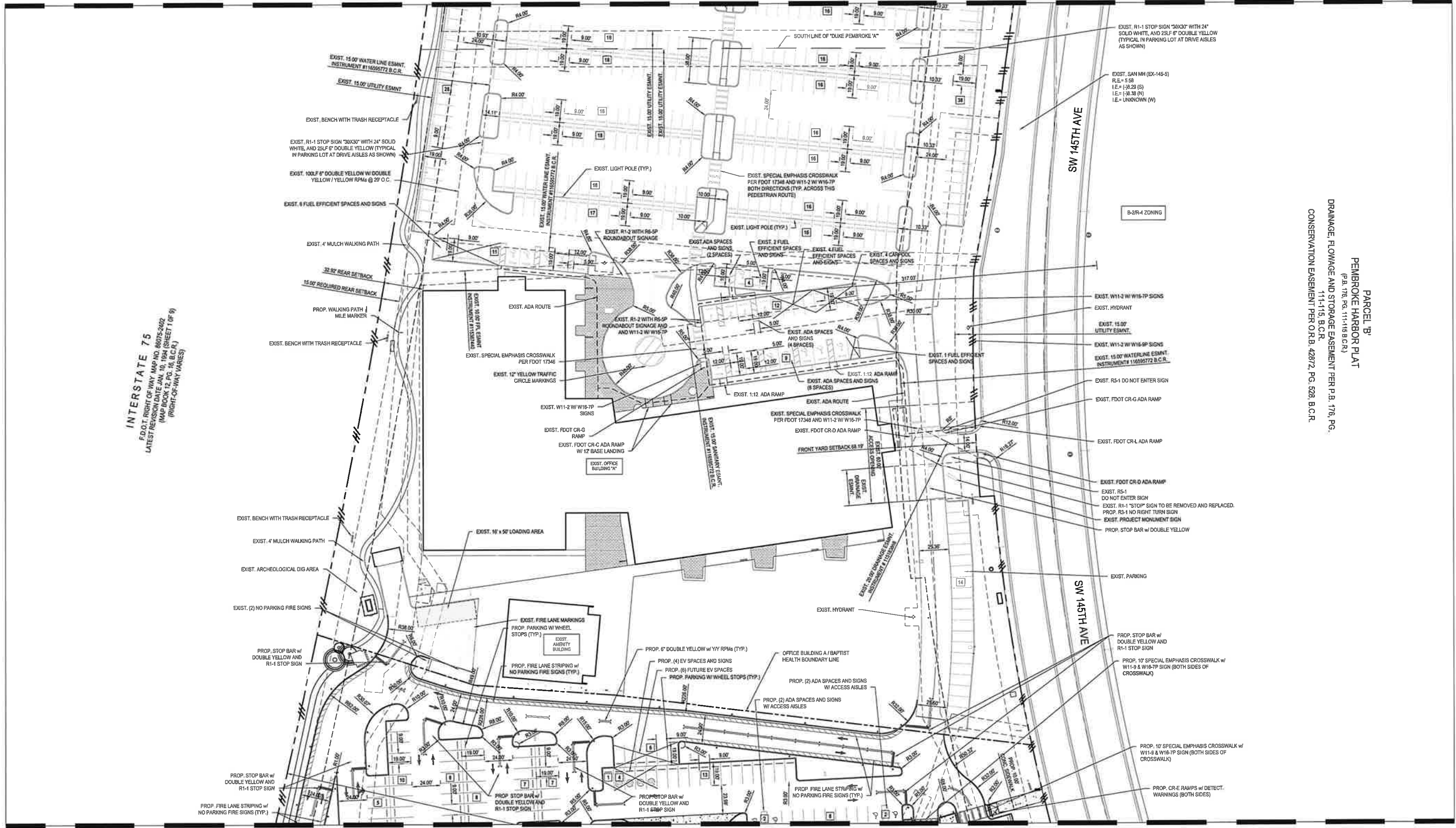
PROJECT DATA		
SITE INFORMATION		
LAND USE DESIGNATION	OFFICE PARK AND IRREGULAR (48 1)	
ZONING DESIGNATION	RESIDENTIAL MKD	
SITE AREA		
GROSS AREA	1,062,022 S F (24.3 ACRES +/-)	
OFFICE BUILD A PARCEL AREA	540,528 S F (12.4 ACRES +/-)	
BAPTIST HEALTH PARCEL AREA	206,501 S F (4.7 ACRES +/-)	
RESIDENTIAL PARCEL AREA	314,992 S F (7.2 ACRES +/-)	
BUILDING COVERAGE AREA	16.75%	
BUILDING GROSS IMPERVIOUS AREA	655,424 S F	
VEHICULAR USE AREAS		
SIDEWALK HARDSCAPE	387,654 S F (36.24%)	
PERVIOUS AREA	220,530 S F (20.60%)	
OPEN SPACE	336,834 S F (31.72%)	
COMMERCIAL FLOOR AREA RATIO	239,567 / 1,062,022 S F = 22.56%	
BUILDING SETBACKS		
FRONT (EAST)	REQUIRED: 65'	PROVIDED: 68'-2" (OFFICE A) 109'-2" (BAPTIST HEALTH) 146'-0" (RESIDENTIAL)
REAR (WEST)	30'	32'-11" (OFFICE A) 299'-9" (BAPTIST HEALTH) 95'-10" (RESIDENTIAL) 738'-2" (OFFICE A) 53'-0" (RESIDENTIAL)
SIDE (NORTH)	30'	
SIDE (SOUTH)	30'	
*MEASURED FROM PERIMETER OF THE MKD ZONING PARCEL		
OFFICE BUILDING A (EXISTING) INFORMATION		
BUILDING HEIGHT	55'-0" TO TOP OF SCREEN WALL - (100' MAXIMUM ALLOWED) 4 STORIES	
STORY HEIGHT	15'-0"	
BUILDING GROSS AREA	1,665,000 SQUARE FEET (EXISTING OFFICE BUILDING A)	
BUILDING GROSS AREA	5,146 SQUARE FEET (EXISTING AMENITY BUILDING)	
BUILDING FOOTPRINT	57,243 S F (EXISTING OFFICE BUILDING A)	
BUILDING FOOTPRINT	5,186 SQUARE FEET (EXISTING AMENITY BUILDING)	
BUILDING COVERAGE	62,429 / 540,528 S F = 11.54%	
FLOOR AREA RATIO	170,188 / 540,528 S F = 31.48%	
OPEN SPACE	156,537 / 540,528 S F = 28.96%	
BAPTIST HEALTH EMERGENCY CENTER (PROPOSED) INFORMATION		
BUILDING HEIGHT	43'-0" TO ROOF SLAB (82'-8") TO PARAPET OF MEZ ROOM	
STORY HEIGHT	15'-0" FLOOR TO FLOOR TYPICAL	
BUILDING GROSS AREA	69,381 SQUARE FEET	
BUILDING FOOTPRINT	23,394 SQUARE FEET	
BUILDING COVERAGE	23,394 / 206,501 S F = 12.30%	
FLOOR AREA RATIO	69,381 / 206,501 S F = 34.47%	
OPEN SPACE	41,182 / 206,501 S F = 19.93%	
RESIDENTIAL (PROPOSED) INFORMATION		
BUILDING HEIGHT	67'-0" TO ROOF SLAB (72'-0") TO PARAPET	
STORY HEIGHT	10'-0" (1ST LEVEL) AND 9'-0" (2ND LEVEL AND UP)	
BUILDING GROSS AREA	415,857 SQUARE FEET OF RESIDENTIAL	
BUILDING GROSS AREA	197,583 SQUARE FEET OF GARAGE	
BUILDING FOOTPRINT	88,140 SQUARE FEET	
BUILDING COVERAGE	88,140 / 314,992 S F = 28.17%	
OPEN SPACE	139,135 / 314,992 S F = 44.17%	
PARKING AND LOADING		
OVERALL REQUIRED	(OFFICE A) = 495 SPACES (BAPTIST HEALTH) = 251 SPACES (RESIDENTIAL) = 700 SPACES TOTAL = 1,446 SPACES	
OVERALL PROVIDED	(OFFICE A) = 874 SPACES (BAPTIST HEALTH) = 251 SPACES (RESIDENTIAL) = 190 SPACES (SITE) * 532 SPACES (GARAGE) TOTAL = 1,647 SPACES*	
* THERE IS NO DEDICATED USPS PARKING SPACE PROVIDED IN THE RESIDENTIAL PROJECT BOUNDARY WHICH IS NOT CREDITED IN THIS COUNT		
ADA ACCESSIBLE REQUIRED		
REQUIRED OFFICE A	20 FOR FIRST 1000, +1 FOR EACH 100 (OR FRACTION THEREOF)	
PROVIDED OFFICE A	19 SPACES	
REQUIRED BAPTIST HEALTH	7 ADA SPACES	
PROVIDED BAPTIST HEALTH	7 SPACES	
REQUIRED RESIDENTIAL	20 FOR FIRST 1000, +1 FOR EACH 100 (OR FRACTION THEREOF)	
PROVIDED RESIDENTIAL	15 ADA SPACES	
FUEL EFFICIENT SPACES	5 SPACES (SITE) + 13 SPACES (GARAGE) 18 SPACES (TOTAL)	
FUEL EFFICIENT SPACES		
REQUIRED EXISTING (OFFICE A)	0 (PER MKD)	
PROVIDED EXISTING (OFFICE A)	48 SPACES	
REQUIRED PROPOSED (BAPTIST)	5 EV SPACES FOR WIRING AND 5 EV SPACES FOR FUTURE (PER MKD)	
PROVIDED PROPOSED (BAPTIST)	5 EV SPACES FOR WIRING AND 5 EV SPACES FOR FUTURE	
REQUIRED PROPOSED (RES)	5 EV SPACES FOR WIRING AND 5 EV SPACES FOR FUTURE (PER MKD)	
PROVIDED PROPOSED (RES)	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE	
FLOOD ZONE INFORMATION		
SITE IS LOCATED IN FLOOD ZONE AH 5 (BF) NAVD PER FLOOD INSURANCE RATE MAP AUGUST 2014 - 1201102705H		

INTERSTATE 75
E.D.D.T. RIGHT OF WAY MAP NO. 88075-2402
LATEST REVISION DATE: JAN. 10, 1994 (SHEET 1 OF 9)
(RIGHT-OF-WAY VARIES)



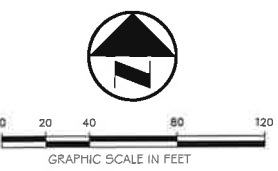
MATCHLINE - SEE SHEET SP-2

MATCHLINE - SEE SHEET SP-1



MATCHLINE - SEE SHEET SP-3

CONSTRUCTION NOTES:
 • BUILDINGS ARE NOT TO USE LIGHT-FRAME TRUSS-TYPE CONSTRUCTION



INTERSTATE 75
 F.D.O.T. RIGHT-OF-WAY MAP NO. 88075-2402
 LATEST REVISION DATE: JAN. 10, 1984 (SHEET 1 OF 8)
 (RIGHT-OF-WAY VARIES)

PARCEL: B'
 PEMBROKE HARBOR PLAT
 (P.R. 176, PG. 111-116 B.C.R.)
 DRAINAGE, FLOWAGE AND STORAGE EASEMENT PER P.R. 176, PG. 111-115, B.C.R.
 CONSERVATION EASEMENT PER O.R.B. 42872, PG. 528, B.C.R.

#	DATE	REVISIONS



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY NATHAN M. LEWIS, P.E. ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

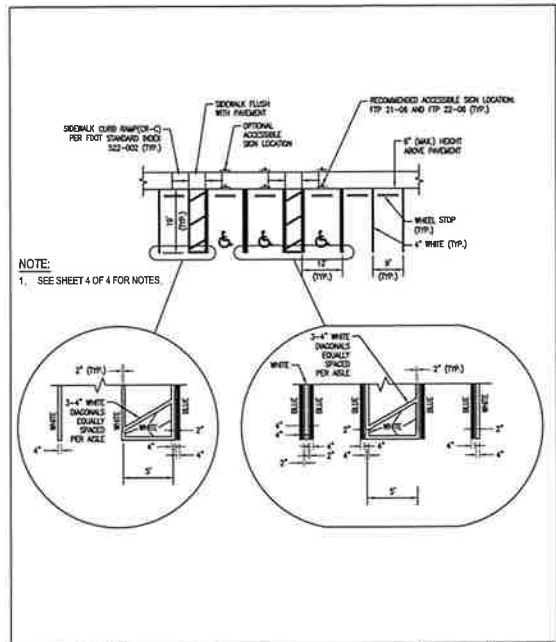
THE EDISON SITE PLAN
THE EDISON PEMBROKE PINES
 PEMBROKE PINES, FL 33027

Botek Thurlow Engineering, Inc.
 3400 NW 4th Avenue, Suite 1002, Ft. Lauderdale, FL 33309
 www.botekthurlow-eng.com P: 954.568.8888 F: 954.568.9777

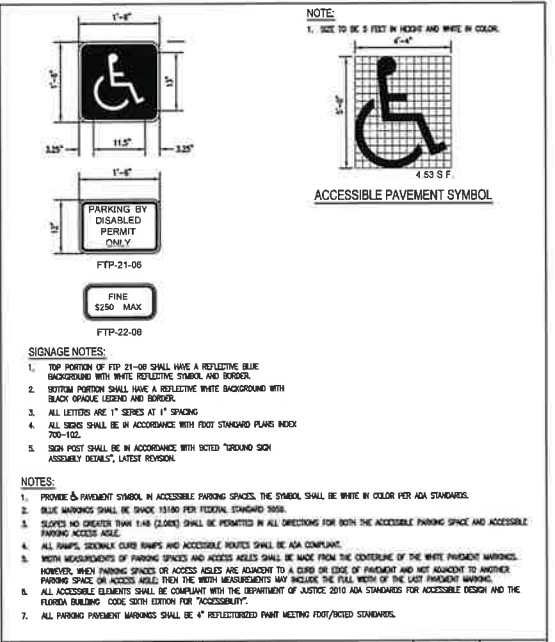
BTE PROJECT #:
 16-1204.B

PROJECT DATE:
 4.13.23

SHEET #:
ESP-2



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

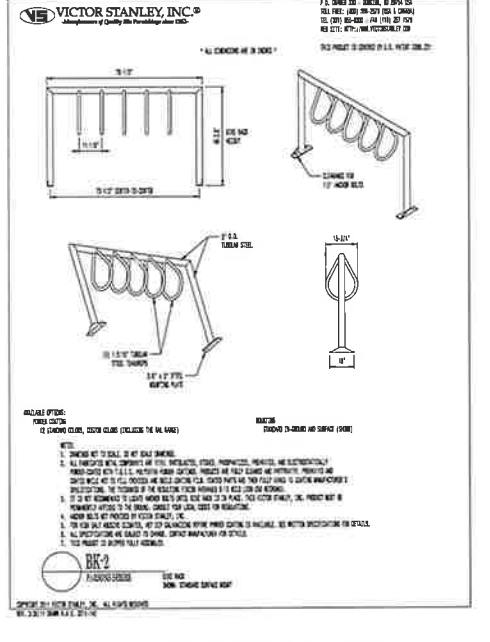


CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		



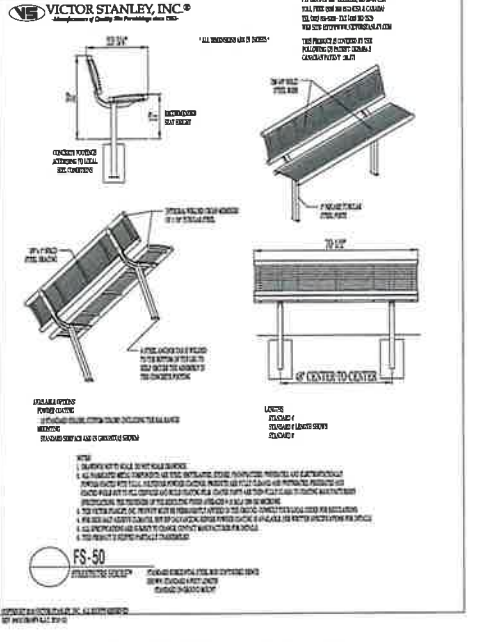
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

**TRASH RECEPTACLE
DETAIL**



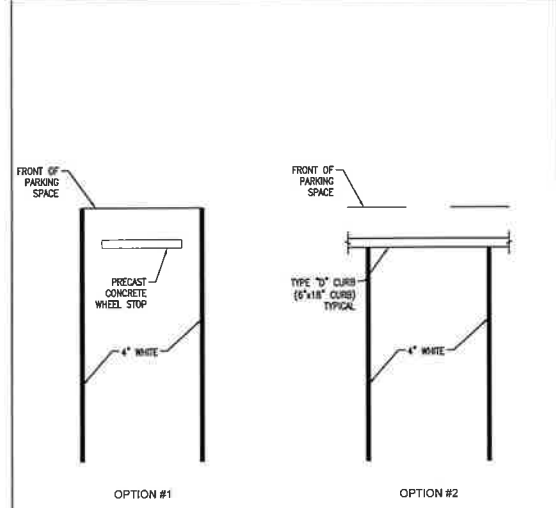
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

**OFFICE BIKE RACK
DETAIL**



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

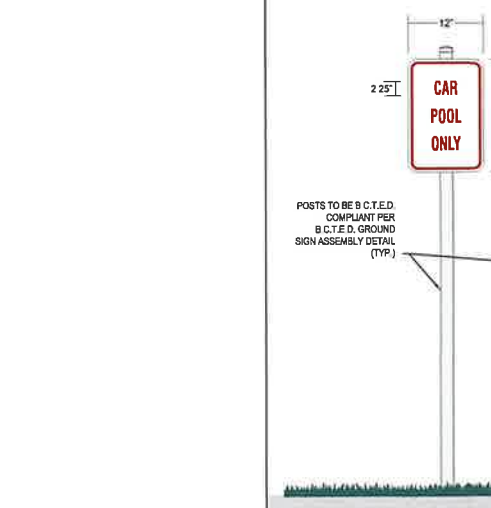
BENCH DETAIL



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

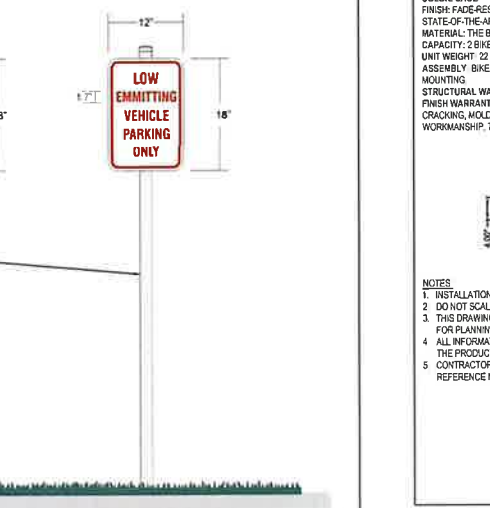


CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

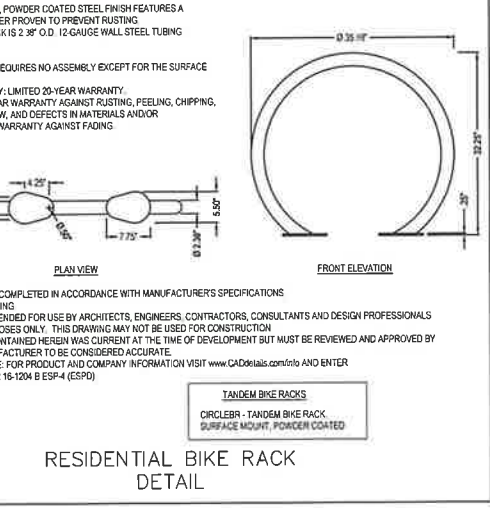


CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

PROPOSED CARPOOL/LOW EMITTING VEHICLE PARKING SIGNS

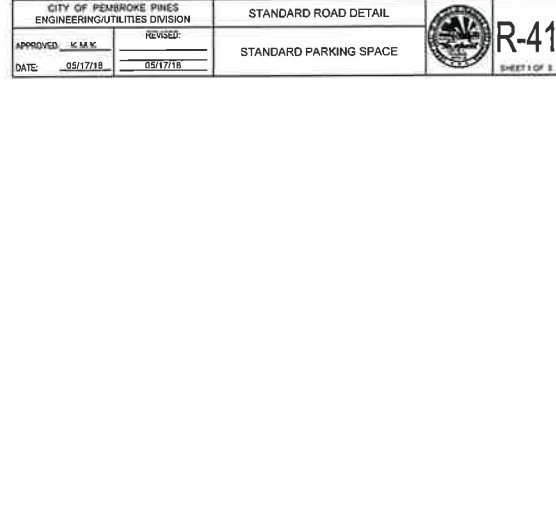


CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

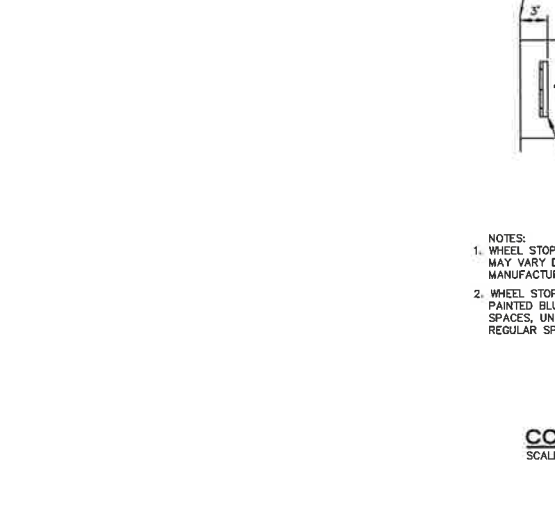


CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/20/23 DATE: 12/20/18	ACCESSIBLE PARKING SPACE DETAILS		

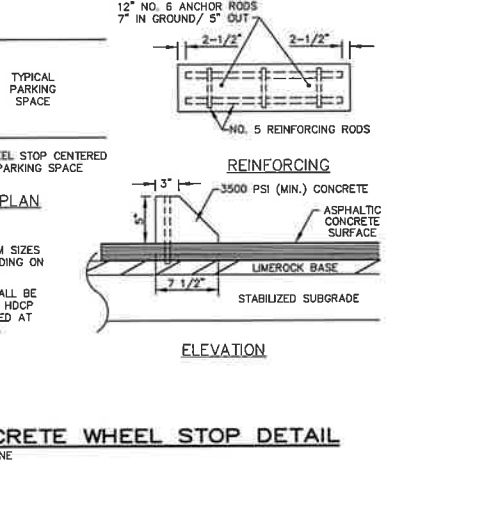
**RESIDENTIAL BIKE RACK
DETAIL**



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	STANDARD PARKING SPACE		



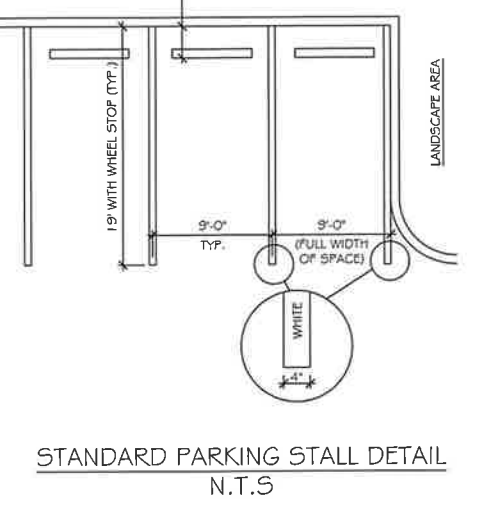
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	STANDARD PARKING SPACE		



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	STANDARD PARKING SPACE		

CONCRETE WHEEL STOP DETAIL

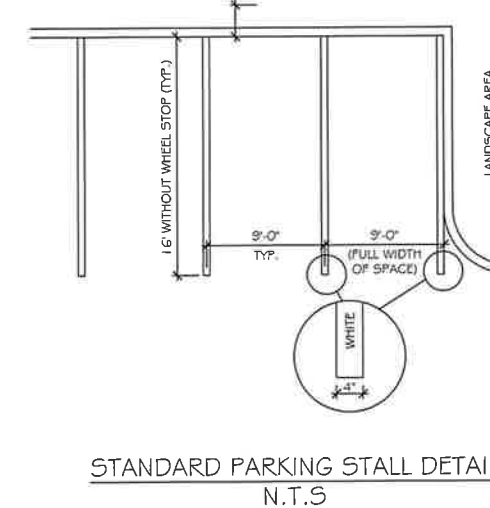
SCALE: NONE



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	STANDARD PARKING SPACE		

STANDARD PARKING STALL DETAIL

N.T.S



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	STANDARD PARKING SPACE		

STANDARD PARKING STALL DETAIL

N.T.S

BTE REF DATE: 9/10/24
REVISIONS
DATE
#

THIS DOCUMENT HAS BEEN
DIGITALLY SIGNED AND
SEALED BY NATHAN M. LEWIS,
P.E. ON THE DATE ADJACENT
TO THE SEAL.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

THE EDISON SITE PLAN DETAILS

THE EDISON PEMBROKE PINES
PEMBROKE PINES, FL 33027

**Botek Thurlow
Engineering, Inc.**
1409 N.W. 9th Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com | 954-368-6666 | E 954-368-6972

BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
SP-4

BAPTIST HEALTH EMERGENCY CARE-PEMBROKE PINES



PROJECT LOCATION
BROWARD COUNTY

PROJECT TEAM

OWNER
BAPTIST HEALTH SOUTH FLORIDA
8500 SW 117 AVENUE
MIAMI, FLORIDA 33183
(786) 596-7768

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(954) 535-5133
CONTACT: STEFANO VIOLA, P.E.

SURVEYOR
GIBBS LAND SURVEYORS
2131 HOLLYWOOD BLVD, SUITE 204
HOLLYWOOD, FLORIDA 33020
(954) 923-7666
CONTACT: STEPHEN SEELEY

ARCHITECT
BERMELLO AJAMIL AND PARTNERS, INC.
4711 SOUTH LEJEUNE ROAD
CORAL GABLES, FLORIDA 33146
(305) 859-2050
CONTACT: LUIS SOUSA

LOCATION
SW 145 AVENUE
PEMBROKE PINES, 33027



PROJECT LOCATION

PEMBROKE ROAD

VICINITY MAP

1"=250'



Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
C1	GENERAL NOTES
C2	SITE PLAN
C3	EROSION CONTROL PLAN (PRE)
C3.1	EROSION CONTROL PLAN (POST)
C3.2	EROSION CONTROL PLAN DETAILS
C4	DEMOLITION PLAN
C4.1	DEMOLITION NOTES
C5	PAVING AND GRADING PLAN
C5.1	DRAINAGE PLAN
C5.2	CROSS SECTIONS
C5.3	PAVING, GRADING, AND DRAINAGE DETAILS
C5.4	PAVING GRADING AND DRAINAGE DETAILS
C6	WATER AND SEWER PLAN
C6.1	WATER MAIN PROFILE
C6.2	SEWER MAIN PROFILE
C6.3	WATER AND SEWER DETAILS
C6.4	WATER AND SEWER DETAILS
C6.5	WATER AND SEWER DETAILS
C7	PAVEMENT MARKING AND SIGNING
C7.1	PAVEMENT MARKING AND SIGNING DETAILS
C7.2	PAVEMENT MARKING AND SIGNING DETAILS
C8	FIRE TRUCK MANEUVERABILITY PLAN
C8.1	FIRE ACCESS PLAN
C8.2	FIRE ACCESS NOTES

PREPARED BY:
Kimley»Horn



Digitally signed by Stefano Viola
DN: CN=Stefano Viola,
dnQualifier=A01410C0000017AE3330E6700007DE7,
O=Florida, C=US
Date: 2024.09.17 14:27:54-04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEFANO VIOLA, P.E. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's fast. It's free. It's the law.
www.callsunshine.com

No.	REVISIONS	DATE	BY
1	DRG COMMENTS	09.01.2023	LL
2	DRG COMMENTS	11.20.2023	LL
3	DRG COMMENTS	04.04.2024	LL
4	DRG COMMENTS	06.24.2024	LL
5	DRG COMMENTS	08.03.2024	LL

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
143155011	APRIL 2024	AS SHOWN	KVM	LL	CF

COVER SHEET

PERMIT SET 9/17/2024

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH
PEMBROKE PINES

SHEET NUMBER
C0

1. GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS... 3. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK... 4. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER... 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA... 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION... 7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS... 8. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER... 9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY... 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA... 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS... 12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES... 13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE... 14. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR... 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY DURING CONSTRUCTION... 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS... 17. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL: SWEEP THE ENTIRE SITE, ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS, PRESSURE CLEAN THE SITE ASPHALT, PRESSURE CLEAN THE CURBS AND SIDEWALKS

RECORD DRAWINGS

- 1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 3 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2015 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR... 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED... 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION... 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS... 5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS... 6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN... 7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED... 8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED

PAVING, GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONS RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS... 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED... 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION... 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS... 5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS... 6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN... 7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED... 8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED

- 9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER... 10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS... 11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED IN SOME CASES... 12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS... 13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS... 14. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN... 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION... 16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS... 17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES... 18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMITS... 19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS... 20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS

WATER AND SEWER UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS... 2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION... 3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE... 4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS... 5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER... 6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE... 7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS... 8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING... 9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION... 10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE EQUIPMENTS OF CHAPTER 62-555 320, FAC... 11. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-VELL PLASTIC PIPE ASSOCIATIONS GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM... 12. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSII/AWWA C600-05 OR LATEST REVISION... 13. ALL WATER MAIN PIPES SHALL BE COLOR CODED USING BLUE AS A PREDOMINANT COLOR... 14. ALL WATER MAINS SHALL BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 33" FOR DIP... 15. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED... 16. LOCATOR TAPE AND WIRE SHALL BE INSTALLED ON ALL NEW WATER MAINS... 17. R P M S TO BE INSTALLED PRIOR TO CO AT CENTER OF NEAREST DRIVE AISLE ADJACENT TO ALL HYDRANTS (BLUE) FOR HYDRANTS AT CORNERS, TWO (2) R P M S SHALL BE INSTALLED, ONE AT EACH ROADWAY

- 18. WATER DISTRIBUTION SYSTEM MATERIAL... 19. GRAVITY SEWAGE COLLECTION SYSTEM MATERIAL... 20. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY... 21. PRIOR TO ANY PHYSICAL CONNECTIONS TO EXISTING WATER MAIN SYSTEM... 22. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF PEMROKE PINES UTILITIES DEPARTMENT... 23. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED... 24. ALL WATER MAINS SHALL BE PIGGED PRIOR TO DISINFECTION... 25. METER CONNECTIONS SHALL BE MADE TO NEW LINES ONLY AFTER TWO CONSECUTIVE DAYS OF BACTERIOLOGICAL SAMPLES HAVE PASSED... 26. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS... 27. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA: L = (S * D * sqrt(D)) / 148,000

PAVEMENT MARKINGS NOTES

- 1. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FOOT STANDARD INDEX # 711-001... 2. WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS... 3. ALL PAVEMENT SYMBOLS AND MARKINGS ARE TO BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STRIPING... 4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE... 5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS... 6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT... 7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA... 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE OBTAINED AND PROPERLY TREATED OR DISPOSED... 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS... 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE... 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS... 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT... 3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP... 4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE... 5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS... 6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT... 7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA... 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE OBTAINED AND PROPERLY TREATED OR DISPOSED... 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS... 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE... 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS

- 12. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL... 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED... 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT ON WHEELS... 15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS... 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS... 17. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION... 18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE... 19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT... 20. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE... 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION... 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED... 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED... 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY... 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION... 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS... 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION

TYPICAL ENGINEER OBSERVATIONS

- CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES, ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES, THE ENGINEER TO BE PRESENT

3RD PARTY TEST REPORTS REQ'D

- TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO: DENSITY TEST REPORTS, BACTERIOLOGICAL TESTS OF WATER SYSTEM PRESSURE TEST OF WATER/SEWER, LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS, ANY OTHER TESTING REQUIRED BY THE AGENCY

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88, TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'



PERMIT SET 9/17/2024

BAPTIST HEALTH EMERGENCY CARE PEMROKE PINES PREPARED FOR BAPTIST HEALTH PEMROKE PINES

SHEET NUMBER C1

LICENSED PROFESSIONAL KHA PROJECT 1-43155011 DATE APRIL 2024 SCALE AS SHOWN DESIGNED BY KVM DRAWN BY LL CHECKED BY CF

Kimley Horn STEFANO WOLA, P.E. 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324 PHONE: 954-535-5100 FAX: 954-739-2247 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Table with columns: No., REVISIONS, DATE, BY

Printed: 8/14/24, 1:14 PM. Sheet Set: BAPTIST HEALTH EMERGENCY CARE - PEMROKE PINES. Layout: C1000 - GENERAL NOTES. September 17, 2024. 02:10:34pm. K:\174\143155011\ba\hospita\1\43155011.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Please do not disseminate or use this document without authorization and adaptation by Kimley-Horn and Associates, Inc. All rights reserved. Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE BROWARD COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 400-4, F.A.C., AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 823R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
B. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES LISTED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMPs. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENT AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

- A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
1. FUEL SPILLS AND LEAKS PREVENTION
2. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
3. CLEANING AND EQUIPMENT MAINTENANCE AND REPAIR
4. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
5. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
6. SOLID WASTE MANAGEMENT
7. HAZARDOUS WASTE MANAGEMENT
8. CONCRETE WASTE MANAGEMENT
9. SANDBLASTING WASTE MANAGEMENT
10. STRUCTURE CONSTRUCTION AND PAINTING
11. SPILL PREVENTION AND CONTROL
12. CONTAMINATED SOIL MANAGEMENT
13. SANITARY/SEPTIC WASTE MANAGEMENT
14. SOIL EROSION CONTROL
15. STORM WATER TURBIDITY MANAGEMENT
ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
H. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVES-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
I. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
J. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMPs IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

- A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSLOPE THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

- 1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
2. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
3. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.
F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

NOTES:

- 1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
3. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
4. IT SHOULD BE NOTED THAT THE MEASURE IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMPs. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS NECESSARY TO CONFORM TO CURRENT CITY, FDEP AND SFWMD CODES AND SPECIFICATIONS.
5. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE.
6. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
7. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
8. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

- G. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE.

- 1. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY OCCURRED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN CLEARLY IDENTIFIED DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUND COVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).
3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FIT GEOTEXTILE FILTER FABRIC SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.

STABILIZATION PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 82-621.300(4)(a)

STRUCTURAL PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 82-621.300(4)(a)

WASTE DISPOSAL:

- A. WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
B. HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
C. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

OFFSITE TRACKING:

- A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARP/AULIN.
B. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES. TRUCKS AND EQUIPMENT COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PALS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
C. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
D. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT AND MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
E. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

MAINTENANCE:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
B. B ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEED AS NEEDED.
C. THE COMPOST ROCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK.
D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. THE SEDIMENT BASIN/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
H. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETE, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
I. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
J. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
K. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

- A. GOOD HOUSEKEEPING
1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
4. ALL CONSTRUCTION MATERIALS STORED SHOULD BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
B. HAZARDOUS PRODUCTS
1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
C. PRODUCT SPECIFIC PRACTICES
1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON FENCE.
2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALED PLASTIC BIN TO AVOID SPILLS.
3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

- 5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
B. HAZARDOUS PRODUCTS
1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
C. PRODUCT SPECIFIC PRACTICES
1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON FENCE.
2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALED PLASTIC BIN TO AVOID SPILLS.
3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEAN UP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

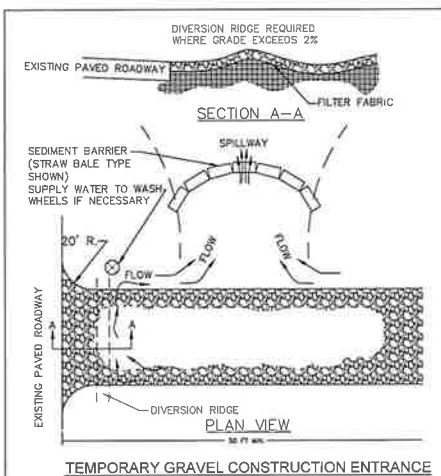
- C. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
D. THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
E. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
F. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
G. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
H. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
I. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
J. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DEMOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

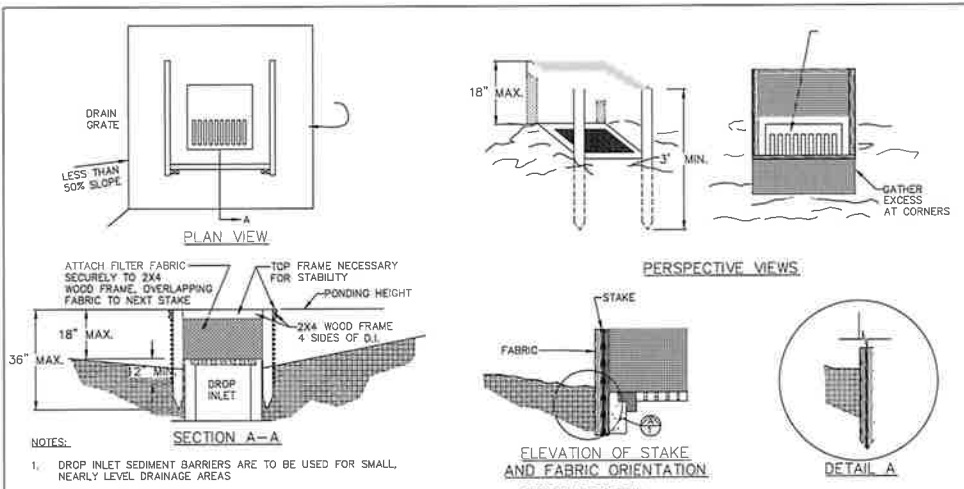
- 1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND INSTALL SILT FENCE
2. DEMOLISH EXISTING STRUCTURES, (IF APPLICABLE)
3. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
4. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, ETC.)
5. PREPARE CLEARING AND GRUBBING OF THE SITE, (IF APPLICABLE)
6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES
7. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS
8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE AS REQUIRED BY GENERIC PERMIT.

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS NECESSARY FOR CONSTRUCTION.
NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

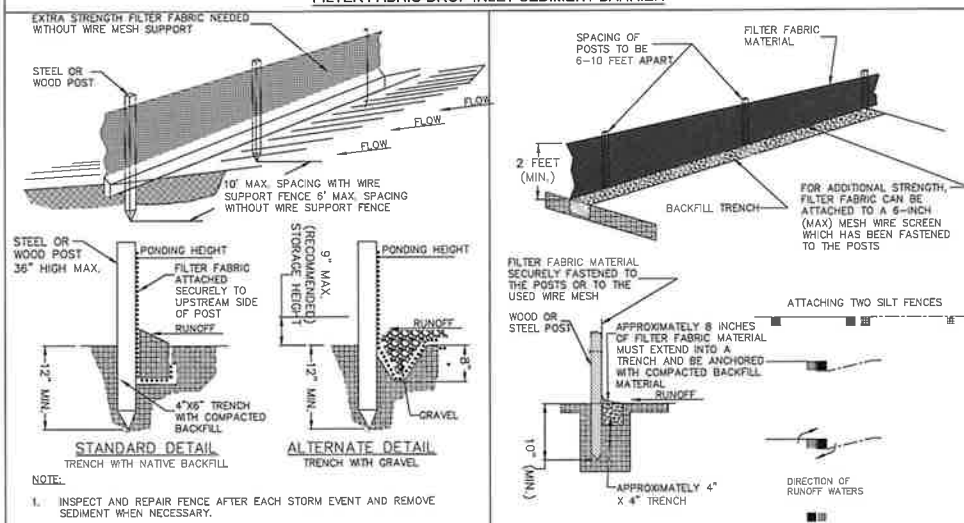


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

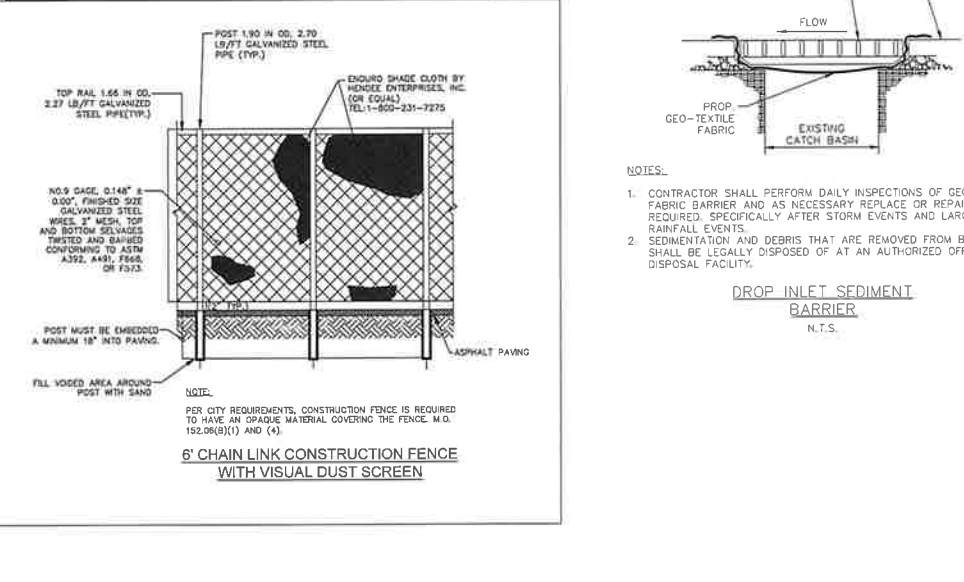
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



- NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS.
2. USE 2X4 OR EQUIVALENT METAL STAKES. (3' MIN. LENGTH)
3. INSTALL 2X4 TOP WOOD FRAME TO INSURE STABILITY.
4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
SPECIFIC APPLICATION:
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS IS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.



- NOTE:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



DROP INLET SEDIMENT BARRIER N.T.S.

- NOTES:
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.

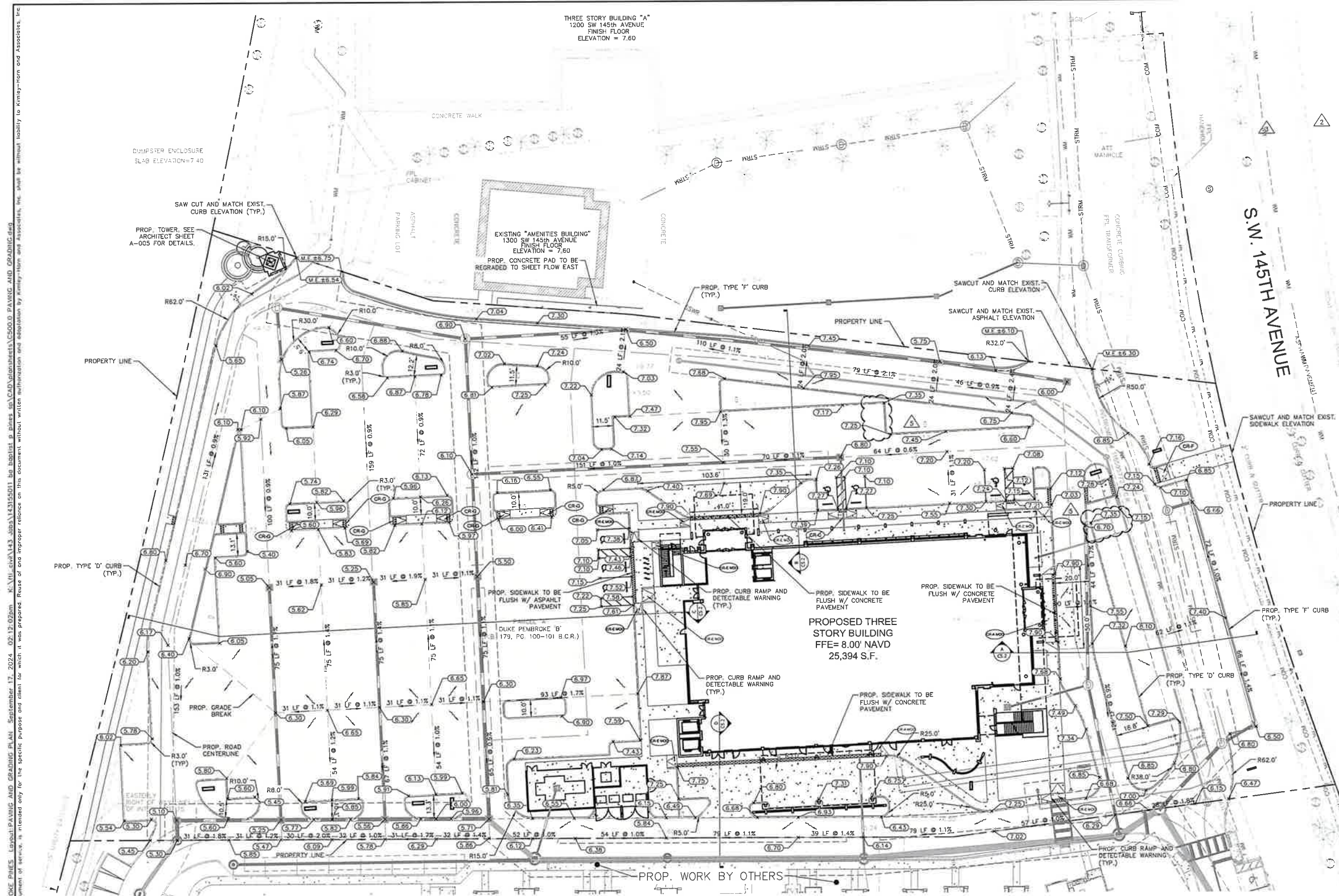
811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG It's fast. It's free. It's the law. www.callsunshine.com

Table with columns: No., REVISIONS, DATE, BY.

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-355-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Table with columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY, LICENSED PROFESSIONAL, DATE, SCALE, AS SHOWN, DRAWN BY, CHECKED BY.

PERMIT SET 9/17/2024
BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH
PEMBROKE PINES
FLORIDA
EROSION CONTROL
PLAN DETAILS
SHEET NUMBER
C3.2



LEGEND

---	PROPERTY LINE
---	PROPOSED WATER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING FPL POWER LINE
---	EXISTING COMMUNICATION LINE
---	EXISTING CATCH BASIN
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED CONCRETE PAVEMENT/SIDEWALK
---	PROPOSED GRADE BREAK
---	PROPOSED GRADE
---	MATCH EXISTING GRADE
---	EXISTING GRADE
---	FLOW ARROW
---	PROPOSED STORM SEWER
---	PROPOSED EXFILTRATION TRENCH
---	PROPOSED CATCH BASIN
---	PROPOSED STORM SEWER MANHOLE

- ADA NOTES:
- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
 - ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
 - CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
 - RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
 - SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2% MEASURED IN ANY DIRECTION.
 - SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2% MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
 - GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH WIDTH, PERPENDICULAR TO THE PREDOMINANT FLOW OF PEDESTRIAN TRAFFIC.

- GENERAL NOTES:
- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
 - ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
 - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
 - CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
 - CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
 - IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
 - ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/2 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/2 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/4 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/4 (V:H).
 - ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'



PERMIT SET 9/17/2024

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH
PEMBROKE PINES

FLORIDA

SHEET NUMBER
C5

REVISIONS

No.	DATE	REVISIONS
1	09.01.2023	LL
2	11.20.2023	LL
3	04.04.2024	LL
4	06.24.2024	LL
5	09.03.2024	LL

Kimley»Horn

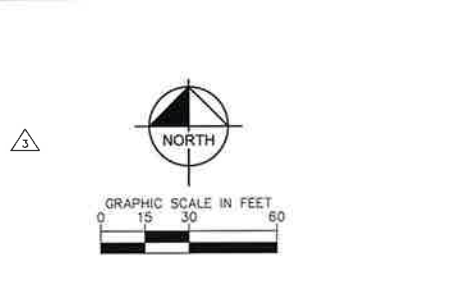
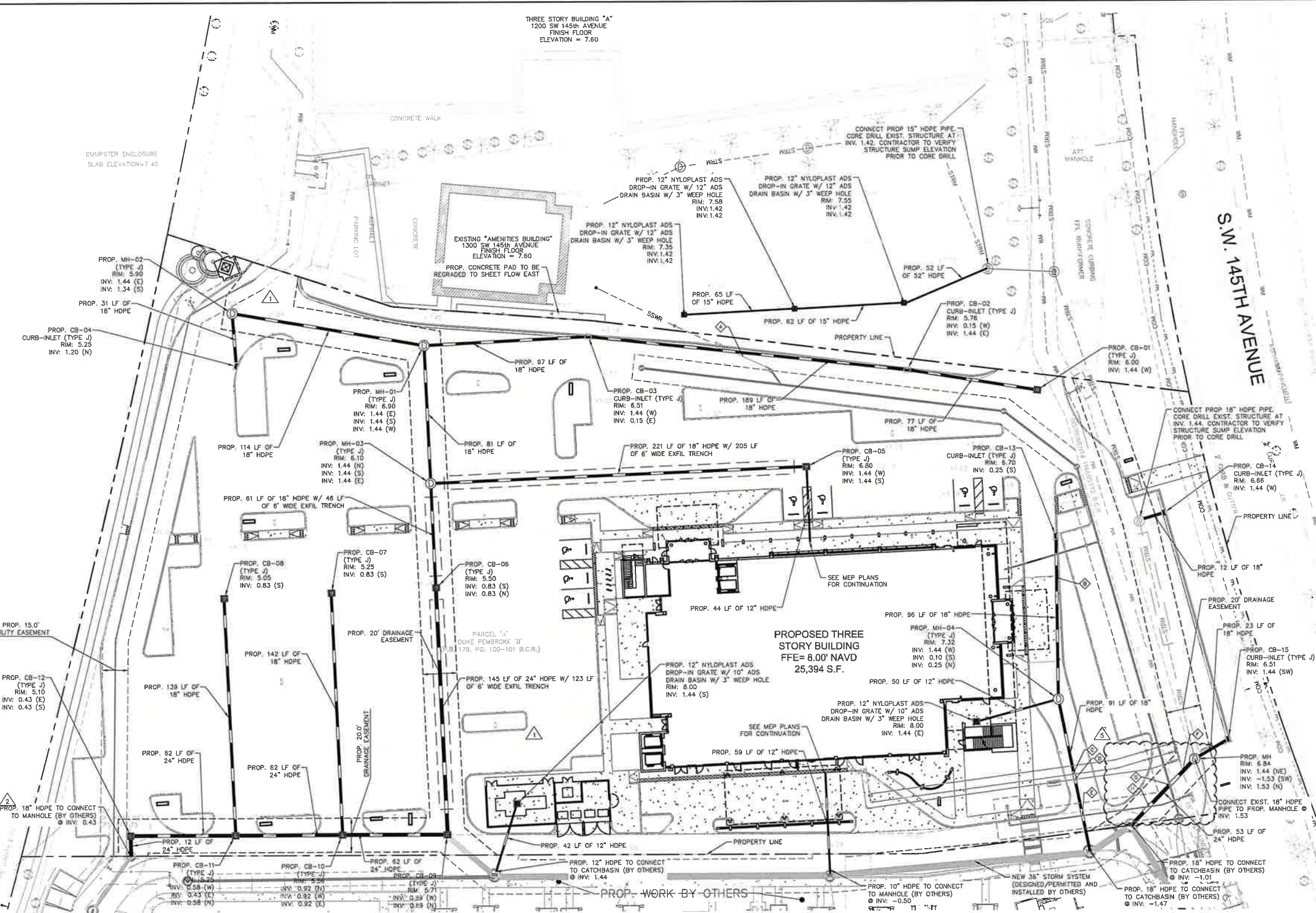
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2000, PLANTATION, FL 33324
PHONE: 954-353-5100 FAX: 954-759-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
STEFANO VOLA, P.E.
FLORIDA LICENSE NUMBER 74655
DATE 9/17/2024

KHA PROJECT 143155011
DATE APRIL 2024
DESIGNED BY KVM
DRAWN BY LL
CHECKED BY CF

PAVING AND GRADING PLAN

Plotted By: Lord, Ltd. Sheet Set: Baptist Health Emergency Care Pembroke Pines - Layout: Drainage Plan - September 17, 2024 - 02:12:22pm - K:\VI-CAD\143155011 - 143155011.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, it is intended only for the specific purpose and client for which it was prepared. Revise of and engineer retains an irrevocable right of first refusal to any other project.



LEGEND	
---	PROPERTY LINE
---	PROPOSED WATER
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
---	PROPOSED EXFILTRATION TRENCH
---	EXISTING STORM SEWER
---	EXISTING FPL POWER LINE
---	EXISTING COMMUNICATION LINE
---	PROPOSED CATCH BASIN
---	PROPOSED STORM MANHOLE
---	EXISTING CATCH BASIN
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED CONCRETE PAVEMENT/SIDEWALK
---	EXISTING GRADE

- GENERAL NOTES:**
- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
 - ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
 - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
 - CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
 - CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE UDS TO MATCH PROPOSED GRADES.
 - IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
 - ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUM SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE RENEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4" HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4" HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/4" (V:H) FOR A LEVEL CHANGE UP TO 1/2" HIGH. IF THE CHANGE IS MORE THAN 1/2" HIGH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/4" (V:H).
 - ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.
 - ALL ADS DRAIN BASINS SHALL HAVE A MINIMUM 12" SUMP PER CITY STANDARDS.
 - ALL EXISTING DRAINAGE PATTERNS THAT AFFECT EXISTING DEVELOPED, OFF-SITE PROPERTIES WILL NEED TO BE MAINTAINED AND RE-ESTABLISHED PRIOR TO THE REMOVAL OF EXISTING DRAINAGE FACILITIES THAT SERVE THESE PROPERTIES, AS APPLICABLE.

- ADA NOTES:**
- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL, AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
 - ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
 - CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
 - RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33%. IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
 - SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
 - SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30x48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
 - GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2" INCH WIDTH, PERPENDICULAR TO THE PREDOMINANT FLOW OF PEDESTRIAN TRAFFIC.

UTILITIES CROSSING INFORMATION

FINISHED GRADE: ±7.26 EXIST. 6" SEWER B.O.P.: ±3.32 PROP. 8" SEWER T.O.P.: ±1.82 CLEARANCE: ±1.50	FINISHED GRADE: ±6.88 EXIST. 8" WATER B.O.P.: ±1.72 PROP. 24" STORM T.O.P.: ±0.72 CLEARANCE: ±1.00
FINISHED GRADE: ±7.16 PROP. 18" STORM B.O.P.: ±1.27 PROP. 8" SEWER T.O.P.: ±1.30 CLEARANCE: ±2.57	FINISHED GRADE: ±6.93 PROP. 24" STORM B.O.P.: ±1.50 PROP. 8" SEWER T.O.P.: ±2.50 CLEARANCE: ±1.00
FINISHED GRADE: ±6.90 PROP. 2" WATER B.O.P.: ±2.80 PROP. 18" STORM T.O.P.: ±1.59 CLEARANCE: ±1.21	FINISHED GRADE: ±6.76 PROP. 6" WATER B.O.P.: ±1.99 PROP. 24" STORM T.O.P.: ±0.99 CLEARANCE: ±1.00
FINISHED GRADE: ±6.88 PROP. 4" WATER B.O.P.: ±2.80 PROP. 18" STORM T.O.P.: ±1.59 CLEARANCE: ±1.21	
FINISHED GRADE: ±6.30 PROP. 8" WATER B.O.P.: ±2.59 PROP. 18" STORM T.O.P.: ±1.59 CLEARANCE: ±1.00	

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



KVA PROJECT
143155011

LICENSED PROFESSIONAL
STEFANO VOLA, P.E.

DATE
APRIL 2024

SCALE
AS SHOWN

DESIGNED BY
KVM

DRAWN BY
LL

CHECKED BY
CF

DATE
9/17/2024

08.01.2023 LL
11.20.2023 LL
04.04.2024 LL
09.03.2024 LL

1 DRC COMMENTS
2 DRC COMMENTS
3 DRC COMMENTS
5 DRC COMMENTS

NO. REVISIONS
DATE

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH
PEMBROKE PINES

PERMIT SET 9/17/2024

DRAINAGE PLAN

FLORIDA

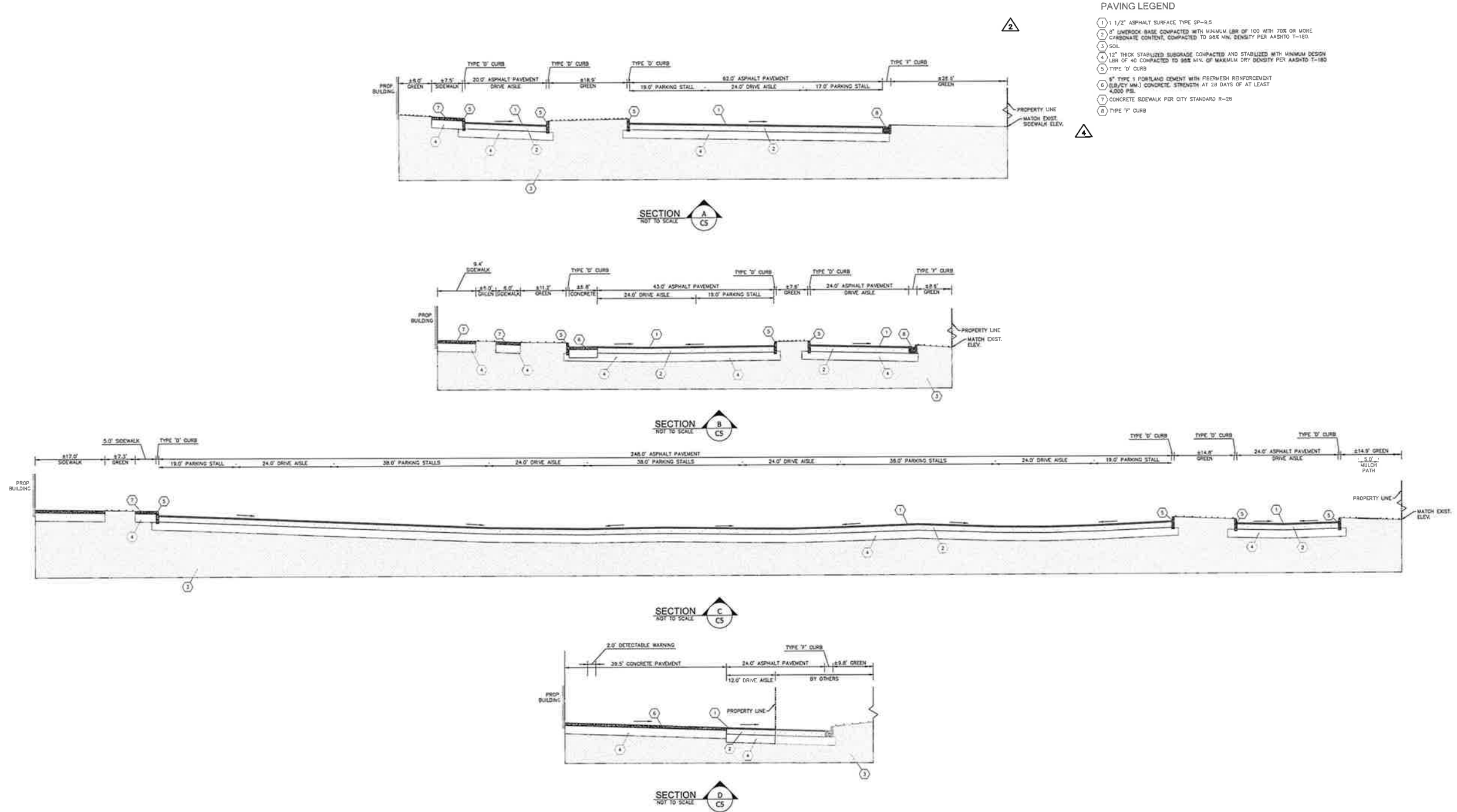
SHEET NUMBER
C5.1

NO.	REVISIONS	DATE	BY
1	DRC COMMENTS	08.01.2023	LL
2	DRC COMMENTS	11.20.2023	LL
3	DRC COMMENTS	04.04.2024	LL
5	DRC COMMENTS	09.03.2024	LL

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 8200 WOODLAND BLVD., SUITE 200, FORT LAUDERDALE, FL 33404
 PH: (954) 885-5333 FAX: (954) 739-2247
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

Plotted By: Liza Luis - Street Set/BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES - Layout: C501.0 CROSS SECTIONS - September 17, 2024 - 02:12:34pm. K:\HLS\ch\143_308a\143_308a\143155011 to be posted.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. It is not to be used for any other purpose without the written authorization and signature of Kimley-Horn and Associates, Inc.



- PAVING LEGEND**
- 1) 1 1/2" ASPHALT SURFACE TYPE SP-9.5
 - 2) 8" LIMESTONE BASE COMPACTED TO 98% MIN. DENSITY PER AASHTO T-180.
 - 3) SOL.
 - 4) 12" THICK STABILIZED SUBGRADE COMPACTED TO 98% MIN. DENSITY PER AASHTO T-180.
 - 5) TYPE 'D' CURB
 - 6) 6" TYPE 1 PORTLAND CEMENT WITH FIBERESH REINFORCEMENT (8.0% MIN.) CONCRETE. STRENGTH AT 28 DAYS OF AT LEAST 4500 PSI.
 - 7) CONCRETE SIDEWALK PER CITY STANDARD R-28
 - 8) TYPE 'D' CURB

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



PERMIT SET 9/17/2024

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH

CROSS SECTIONS

KHA PROJECT
143155011
DATE
APRIL 2024
SCALE
AS SHOWN
DESIGNED BY
KVM
DRAWN BY
LL
CHECKED BY
CF

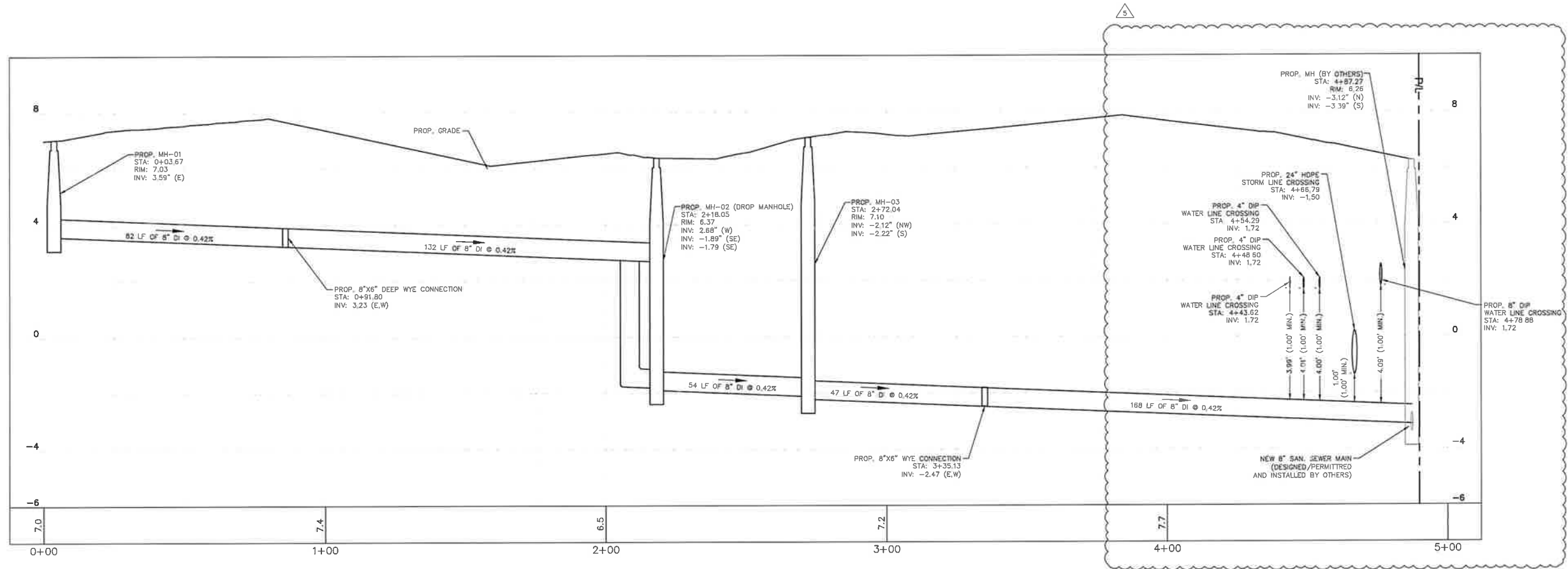
Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

No.	REVISIONS	DATE	BY
2	DIR COMMENTS	11.20.2023	LL
4	SBDO AND SPWAD COMMENTS	06.24.2024	LL

SHEET NUMBER
C5.2

PEMBROKE PINES FLORIDA

Plotted By: Luro, Luis. Sheet Set: BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES. Layout: SEWER MAIN PROFILE. September 17, 2024. 02:13:26pm. K:\VH\civil\143_Jobs\143155011_bis_baptist_b_pines.sp\CAD\DWG\SEWERMAIN\01.DWG WATER MAIN PROFILE.DWG
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROPOSED 8" DIP SEWER MAIN PROFILE
 SCALE: 1" = 20' (HORZ.)
 1" = 2' (VERT.)
 (NAVD 88)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

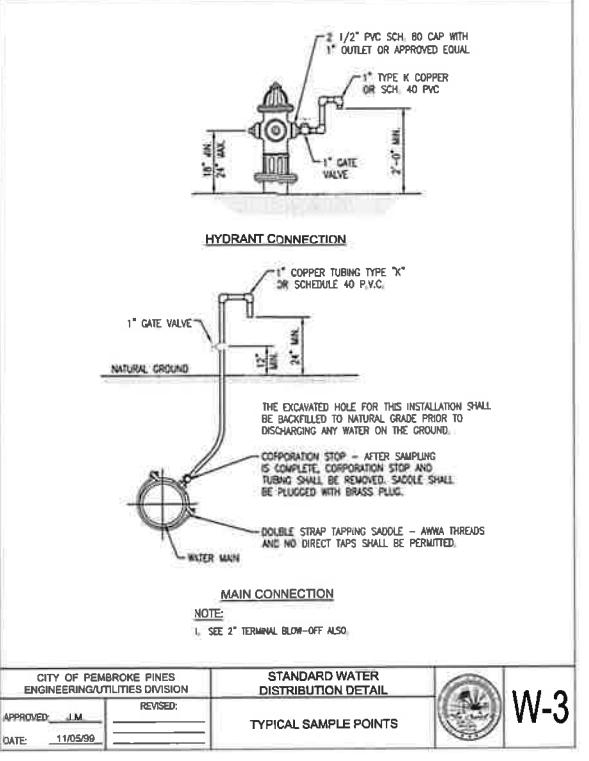
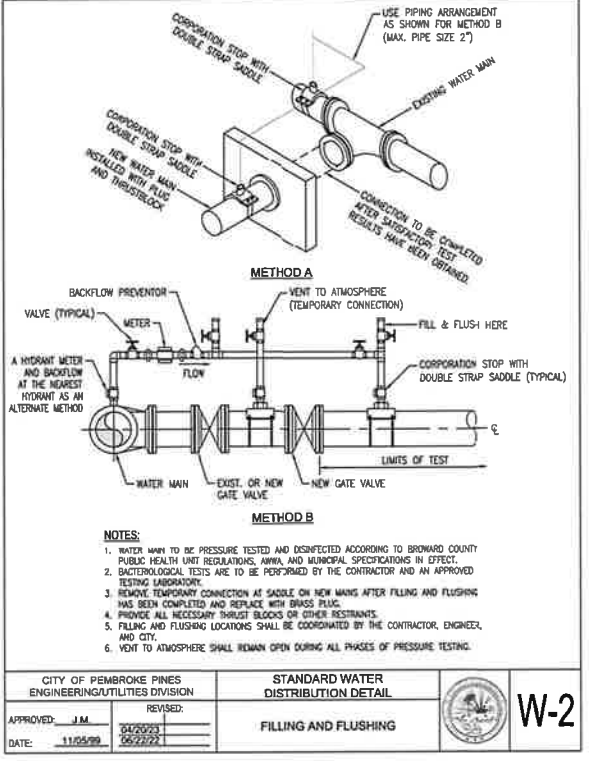
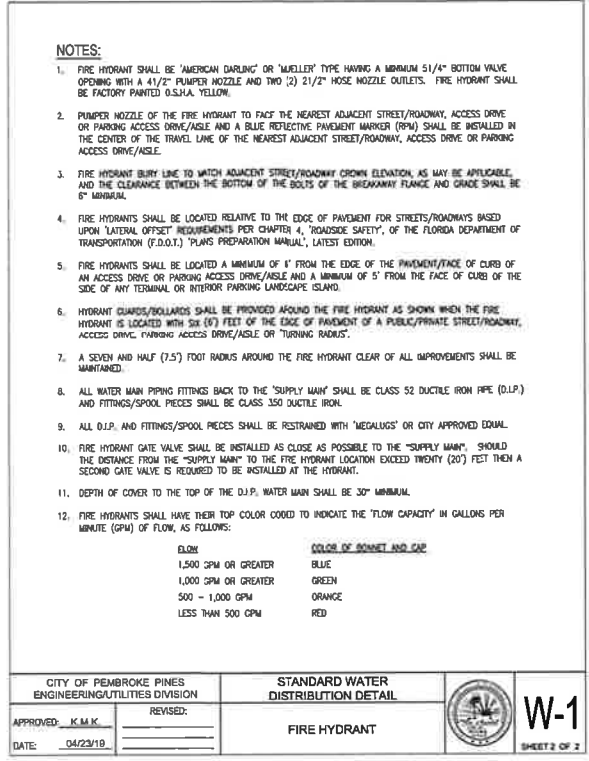
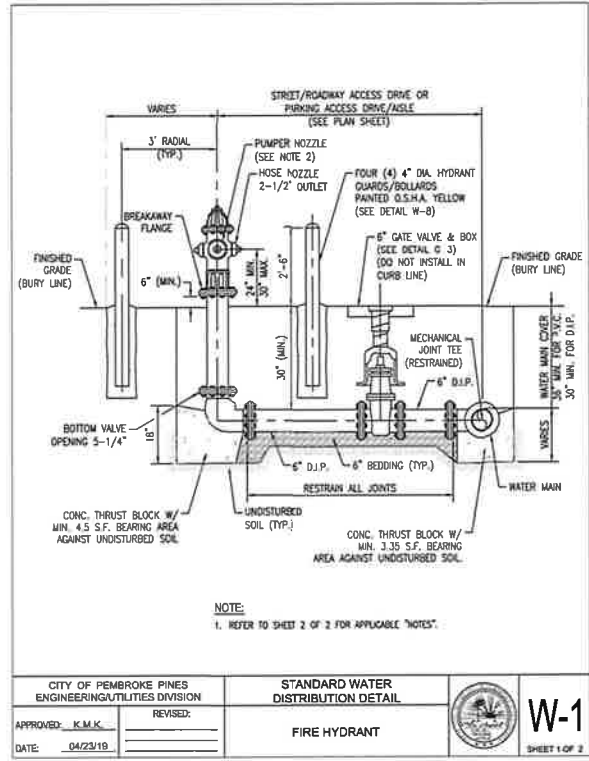
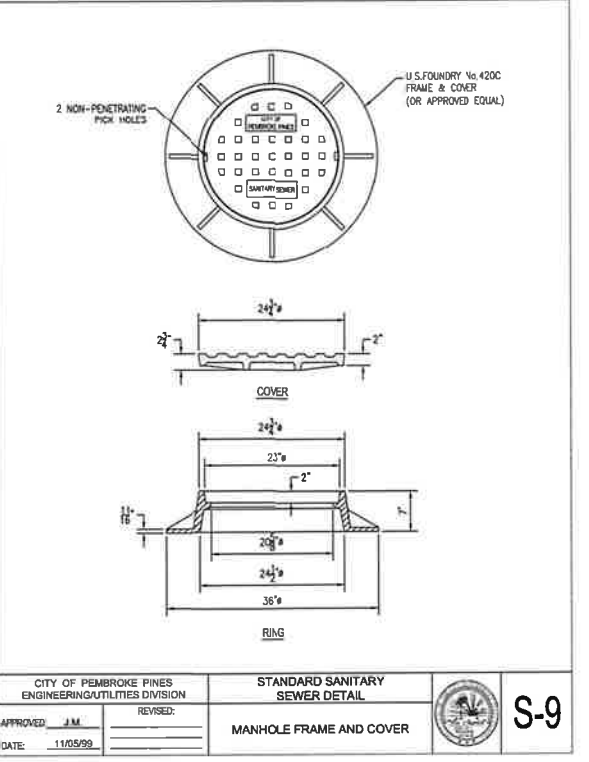
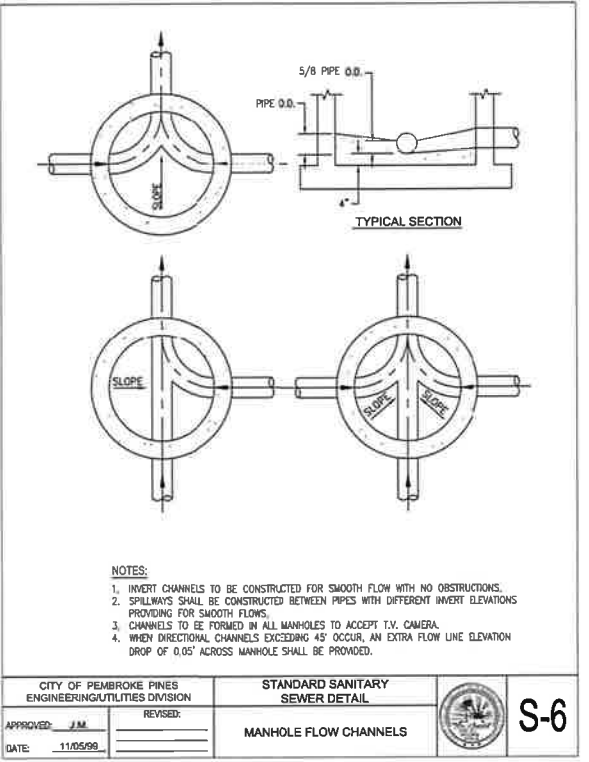
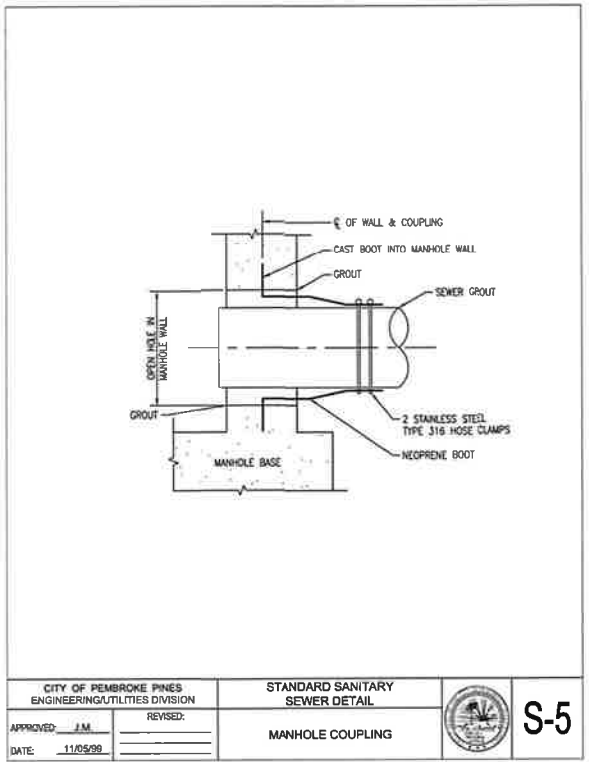
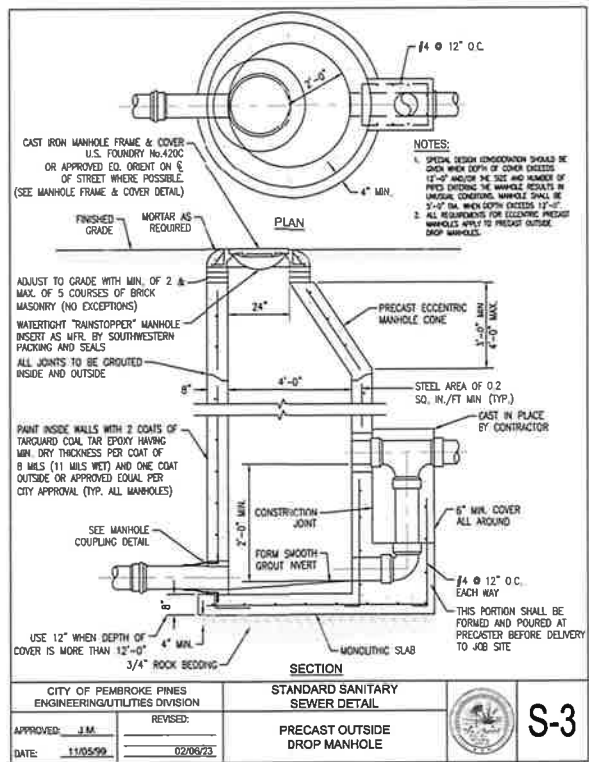
ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



PERMIT SET 9/17/2024

BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES PREPARED FOR BAPTIST HEALTH		FLORIDA	
SEWER MAIN PROFILE		SHEET NUMBER C6.2	
KHA PROJECT 143155011	DATE APRIL 2024	LICENSED PROFESSIONAL STEFANO VOLA, P.E.	KIMLEY-HORN AND ASSOCIATES, INC. 8001 S. W. 22nd PL., SUITE 33324 MIAMI, FL 33134 PHONE: 954-535-5100 FAX: 954-739-2247 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106
SCALE AS SHOWN	DESIGNED BY KVM	FLORIDA LICENSE NUMBER 74655	REVISIONS
DRAWN BY LL	CHECKED BY CF	DATE 9/17/2024	No. 1 No. 5
		No. 1 No. 5	DATE 09.01.2024 LL 09.03.2024 LL

Printed: E:\Lords_Luis_Sheet_Sets\BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES - Layout\WATER AND SEWER DETAILS 2 - September 17, 2024 - 02:13:53pm. K:\VTL_civil\43_0803\143155011_ba_baptist_b_pines_waco\dwg\dwgs\WATER AND SEWER DETAILS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained in this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PERMIT SET 9/17/2024

BAPTIST HEALTH
 EMERGENCY CARE
 PEMBROKE PINES
 PREPARED FOR
 BAPTIST HEALTH
 PEMBROKE PINES

**WATER AND SEWER
 DETAILS**

LICENSED PROFESSIONAL
 KHA PROJECT 143155011
 DATE APRIL 2024
 SCALE AS SHOWN
 DESIGNED BY KVM
 DRAWN BY LL
 CHECKED BY CF
 STEFANO VIOLA, P.E.
 FLORIDA LICENSE NUMBER 74655
 DATE: 9/17/2024

NO.	REVISIONS	DATE	BY

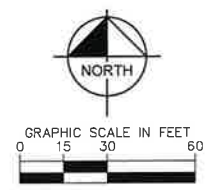
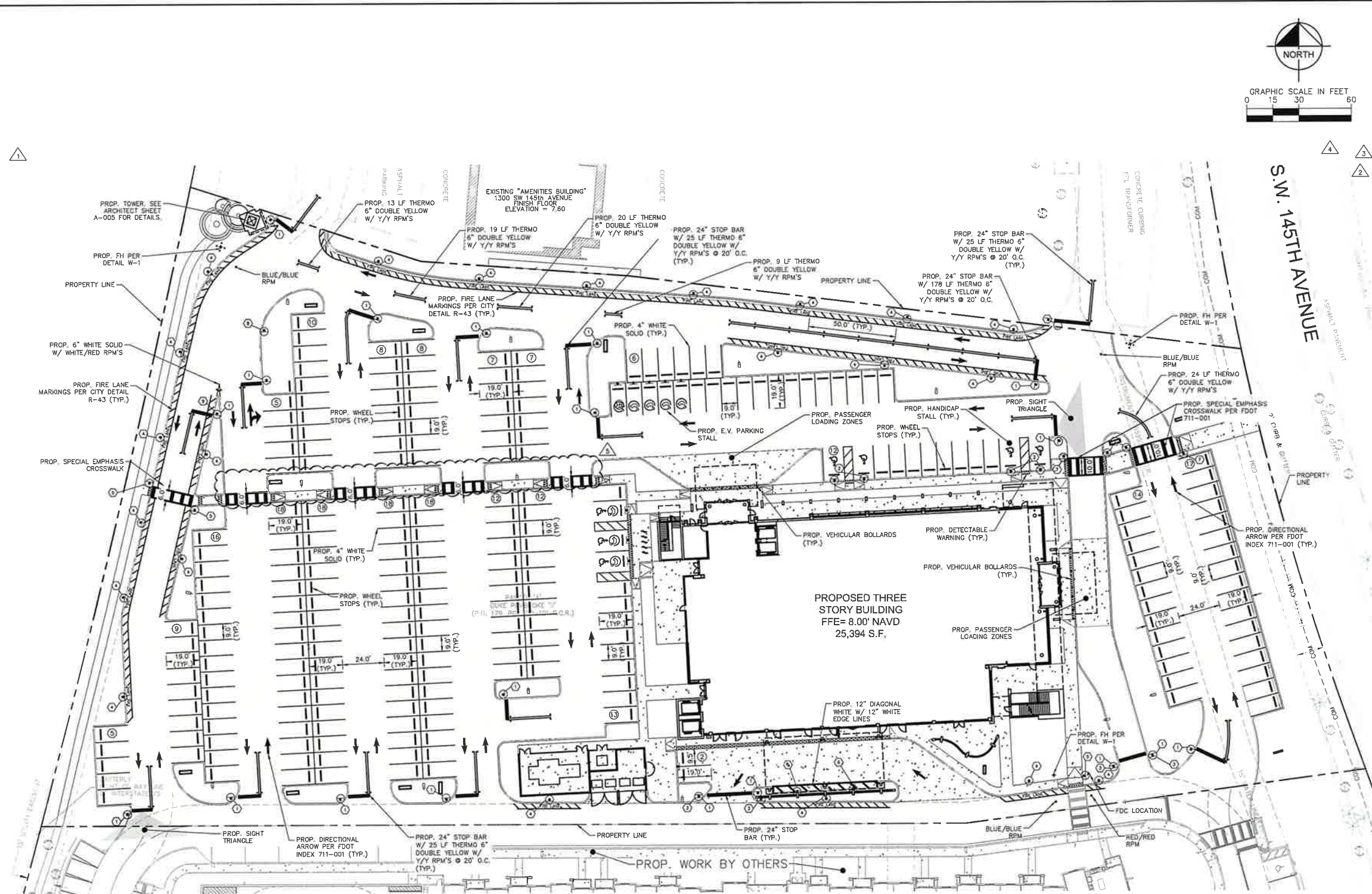
SHEET NUMBER
C6.4

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



Project: 143155011, Sheet: 01 of 10, Date: 02/14/2024, Title: PAVEMENT MARKING AND SIGNING, Designer: KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND	
	PROPERTY LINE
	PROPOSE SIGN
	EXISTING SIGN

SIGN QUANTITY			
LEGEND	SIGN SYMBOL	SIGN NUMBER & DIMENSIONS	QUANTITY
1		R1-1 30" X 30"	20
2		FDOT #FTF-20-06 12" X 18" FDOT #FTF-22-06 12" X 18"	7
3		RS-1 30" X 30"	4
4		NO PARKING FIRE LANE PER CITY DETAIL R-43 18" X 24"	21
5		W11-02 36" X 30" W16-7P(L) 24" X 12"	3
6		NO PARKING EMERGENCY VEHICLES ONLY 18" X 24"	2
7		W11-9 36" X 30" W16-7P(L) 24" X 12"	4
8		WA-5 36" X 36"	1
9		RS-4 24" X 24"	1

CITY ACCESSIBILITY AND PAVEMENT MARKING & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FDOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR "STANDARD PAINT".
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH "STOP BARS" ARE TO HAVE YELLOW/YELLOW RPM'S AT 20' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPM'S) SHALL BE CLASS "8" OR EQUIVALENT APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE PER FDOT'S APPROVED PRODUCTS LIST (APL). PLACEMENT OF RPM'S SHALL BE IN ACCORDANCE WITH FDOT "STANDARD PLANS" INDEX NO. 705-001. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPM'S) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
BLUE (FIRE HYDRANTS)
RED (FIRE DEPARTMENT CONNECTION)
WHITE (WATER MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
ORANGE (SEWER MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARDS PLANS", INDEX NOS. 711-001 AND 700-102 AND LATEST CITY STANDARD DETAIL R-32, "ACCESSIBLE PARKING SPACE DETAILS".
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE. THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT "STANDARD PLANS", INDEX NO. 522-002.
- ALL PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD "STANDARD" MID-BLOCK TYPE PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN/ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN/ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT "DESIGN MANUAL", SECTION 230/FDOT "PLANS INDEX" NO. 711-001 AND MUTCD STANDARDS. IF A "CROSSING" STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-9) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-2) SIGNAGE.

THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION THERMOPLASTIC" COMPLYING WITH FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 711.

ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY".

ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING: SLOPING, NON-COMPLYING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-COMPLYING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

NOTES TO CONTRACTOR:

- ALL STANDARD PARKING SPACES, INCLUDING STANDARD PARKING SPACES ABUTTING A LANDSCAPE ISLAND, MUST HAVE TWO (2) WHITE STRIPES PER CITY STANDARD R-41, "STANDARD PARKING SPACE DETAILS".

SITE & PAVEMENT MARKINGS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND THE "MANUAL ON UNIFORM CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY".
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS INDEX, NO'S 17346 AND 17355.
- ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT DESIGN STANDARDS INDEX NO. 324.
- WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND PROHIBIT THE OBSTRUCTION THEREOF OR BOTH, NFPA1-18.2.3.5.1 FIRE LANE MARKING.
- FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING, OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE; SIGN(S) SHALL BE PROVIDED.
- THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED BY HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES. COPP CO 93.12.
- A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. NFAF 1-16.4.3.1.1
- THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18" OR MORE THAN 4' ABOVE GRADE. PEMBROKE PINES FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED AT 3' ABOVE GRADE. NFAF 14-6.4.6 (2013)

FIRE NOTES:

- REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFAF 1:11.4.4
- WHEN REQUIRED BY THE AHJ, ROAD(S) OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFAF 1-18.2.3.4.1.1 AND NFAF 1-18.2.3.4.1.2
- MULTIPLE ACCESS ROADS, MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS.
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC), 7TH EDITION, EFFECTIVE DECEMBER 31, 2020 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFAF 101, 2018 EDITION, NFAF 1, 2018 EDITION, & STATE STATUTE, 7TH EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
- A FLORIDA CERTIFIED SPRINKLER CONTRACTOR SHALL PULL PERMITS AND BEGIN WORK FROM THE POINT OF SERVICE. FAC 69A-48.040 (2)
- THE FULL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE. A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTOR LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT. WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPLISHED, CLOSED LOOP FLOW CAN BE ACCEPTABLE IF A FLOWMETER OR SITE GLASS IS INCORPORATED INTO THE SYSTEM TO ENSURE FLOW. A.8.17.4.6.1

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88 TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.



PERMIT SET 9/17/2024

BAPTIST HEALTH
 EMERGENCY CARE
 PEMBROKE PINES
 PREPARED FOR
 BAPTIST HEALTH
 PEMBROKE PINES

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

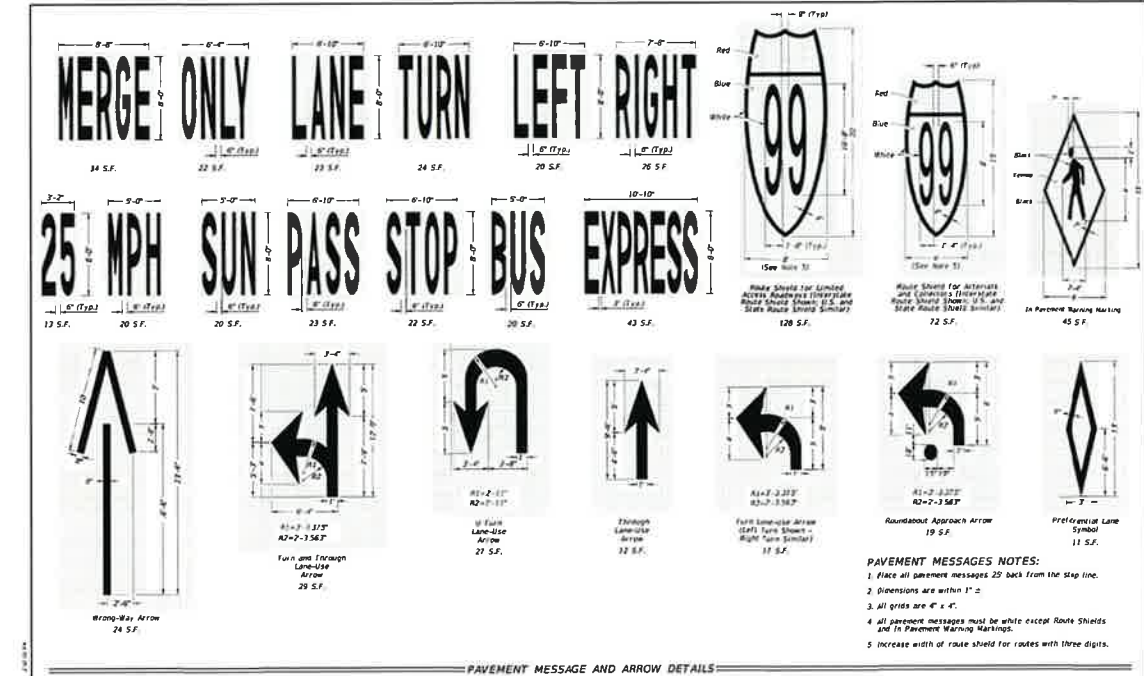
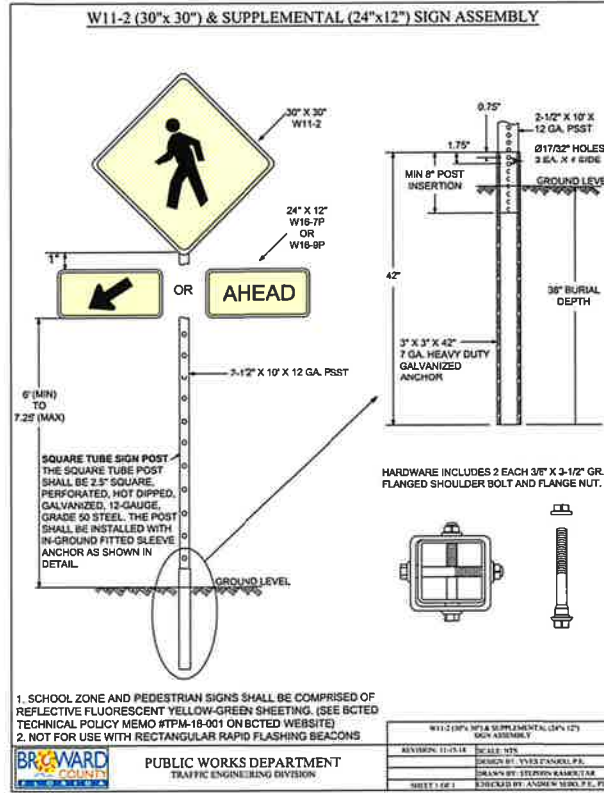
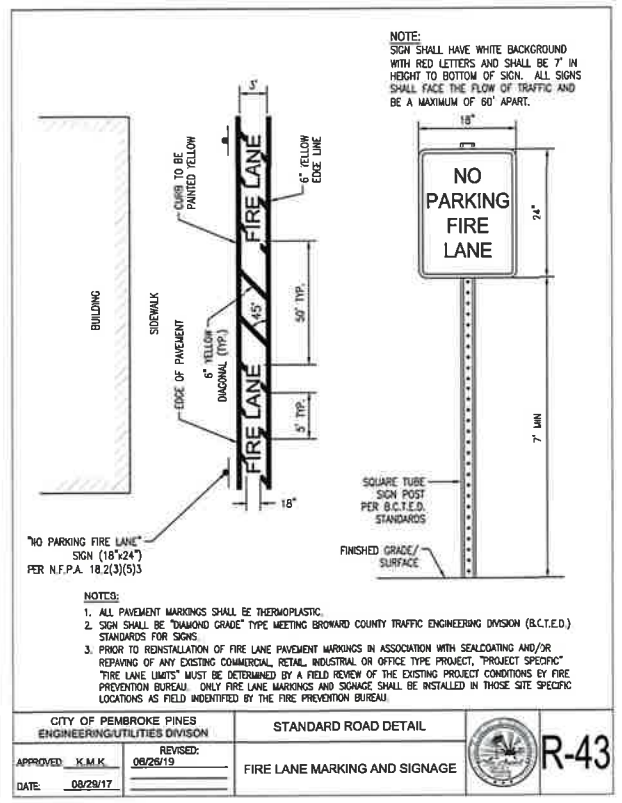
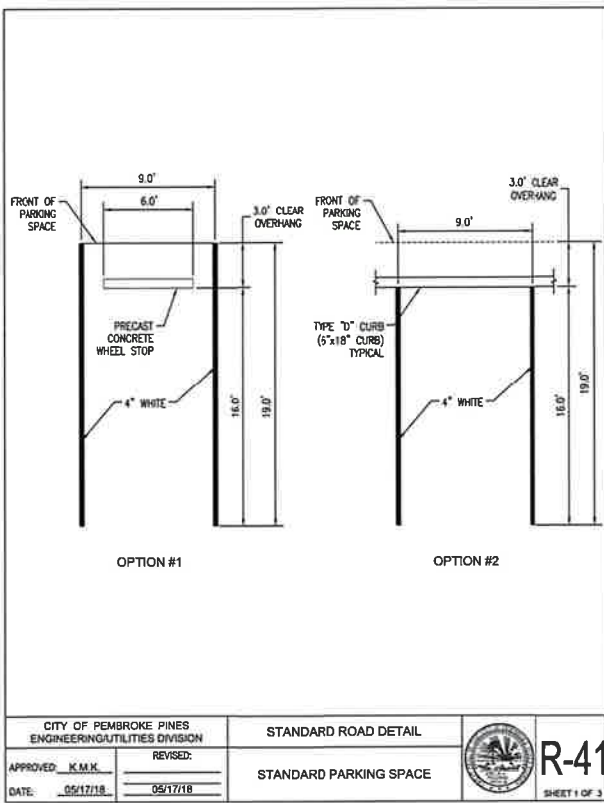
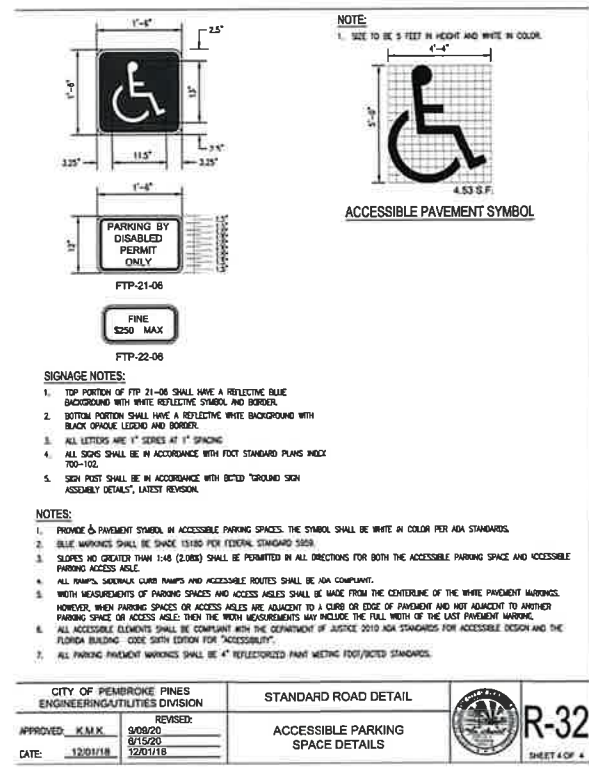
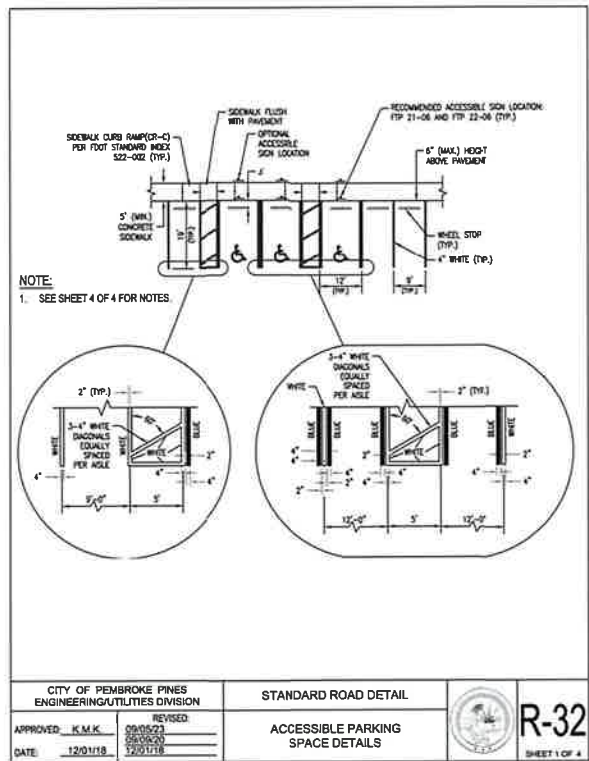
LICENSED PROFESSIONAL
 STEFANO VOLA, P.E.
 FLORIDA LICENSE NUMBER
 74655
 DATE: 9/17/2024

**PAVEMENT MARKING
 AND SIGNING**

SHEET NUMBER
07

NO.	DATE	REVISIONS
1	09.07.2023	LL
2	11.20.2023	LL
3	01.23.2024	LL
4	06.24.2024	LL
5	09.03.2024	LL

Plotted: B:\Labs_Luis_Sheet Set\BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES Layout\CT010 PAVING, MARKING, AND SIGNING DETAILS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of any copyright or other proprietary rights in this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/21		711-001	1 of 13

FY 2023-24 STANDARD PLANS

PAVEMENT MARKINGS

BAPTIST HEALTH EMERGENCY CARE
 PEMBROKE PINES
 PREPARED FOR
 BAPTIST HEALTH
 PEMBROKE PINES

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'.

811
 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 It's fast. It's free. It's the low.
 www.calisunshine.com

PERMIT SET 9/17/2024

BAPTIST HEALTH EMERGENCY CARE PEMBROKE PINES

PREPARED FOR BAPTIST HEALTH PEMBROKE PINES

FLORIDA

SHEET NUMBER C7.1

KIMLEY-HORN & ASSOCIATES, INC.
 6201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
 KHA PROJECT 14-3155011
 DATE APRIL 2024
 SCALE AS SHOWN
 DESIGNED BY KVM
 DRAWN BY LL
 CHECKED BY CF
 DATE 9/17/2024

PAVEMENT MARKING AND SIGNING DETAILS

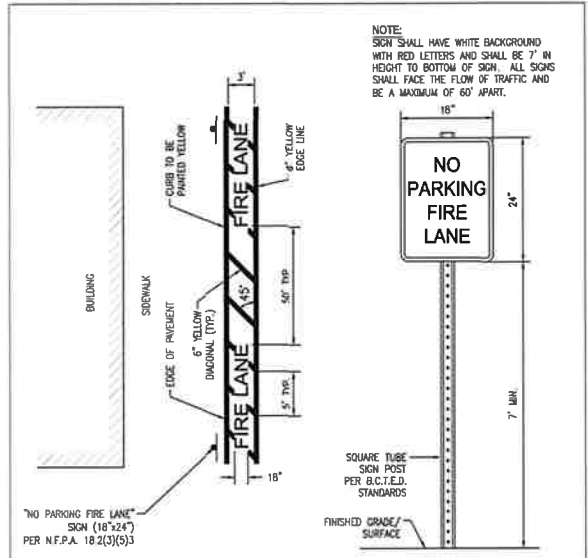
REVISIONS
 No. DATE COMMENTS
 2 11/20/2023 LL

Printed By: User, Job: Sheet: S-101, Date: 02/13/2024, 02:15:27pm, K:\Vill\ch14\14_0001\14_0001.dwg, User: jk...
This document, together with the drawings and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Please do not reproduce or disseminate this document without written authorization and consent by Kimley-Horn and Associates, Inc.

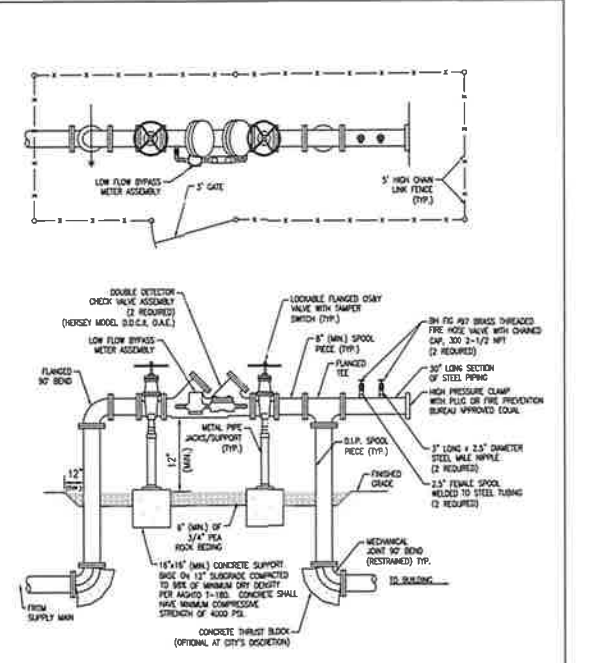
FIRE NOTES

- REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1-1.14.4.
- WHEN REQUIRED BY THE AHJ, ROAD(S) OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 1-18.2.3.4.1.1 AND NFPA 1-18.2.3.4.1.2.
- MULTIPLE ACCESS ROADS MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS.
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION, EFFECTIVE DECEMBER 31, 2020 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2018 EDITION, NFPA 1, 2018 EDITION, & STATE STATUTES, 2017 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN).
- A FLORIDA CERTIFIED SPRINKLER CONTRACTOR SHALL PULL PERMITS AND BEGIN WORK FROM THE POINT OF SERVICE, FAC 69A-46.040 (2).
- THE FULL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE, A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTOR LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT, WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPLISHED, CLOSED LOOP FLOW CAN BE ACCEPTABLE IF A FLOWMETER OR SITE GLASS IS INCORPORATED INTO THE SYSTEM TO ENSURE FLOW, A.8.17.4.6.1
- APPROVED FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTION OR RELOCATED, NFPA 1-18.2.3.1.1
- FIRE DEPARTMENT ACCESS ROADS SHALL CONSIST OF ROADWAY, FIRE LANES, PARKING LOT LANES, OR A COMBINATION THEREOF, NFPA-1-18.2.3.1.2
- FIRE LANES SHALL BE PROVIDED FOR ALL BUILDINGS WHICH ARE A SETBACK OF MORE THAN 150' FROM A PUBLIC ROADWAY, OR WHICH EXCEED 30' IN HEIGHT AND ARE SETBACK OVER 50' FROM A PUBLIC ROAD. FIRE LANES SHALL BE AT LEAST 20 FEET IN WIDTH WITH ROAD EDGE CLOSEST TO THE BUILDING AT LEAST TEN FEET FROM THE BUILDING, COPP CO 93.11 (B)
- A FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT. OF A SINGLE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING, NFPA-1-18.2.2.1
- NOTE: FOR THE PURPOSES OF THIS SECTION, A SINGLE EXTERIOR DOOR SHALL BE IN COMPLIANCE WITH BCLCA F-101.2.2(J).
- WHEN REQUIRED BY THE AHJ, ROAD(S) OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 1-18.2.3.4.1.1 AND NFPA 1-18.2.3.4.1.2
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS NOT LOCATED NOT MORE THAN 150 FT. (45.7 M) FROM SPRINKLER BUILDINGS) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY, NFPA-1-18.2.3.2.2 AND NFPA-1-18.2.3.2.1
- MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS, NFPA-1-18.2.3.3
- FIRE DEPARTMENT ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT, NFPA-1-18.2.3.4.1.1
- NOTE: THE MINIMUM 20 FT, WIDTH REQUIRED BY NFPA-1-18.2.3.4.1.1 ALLOWS FOR TWO-WAY VEHICULAR TRAFFIC AND FOR ONE FIRE APPARATUS TO PASS WHILE ANOTHER IS WORKING AT A FIRE HYDRANT OR CONDUCTING AERIAL OPERATIONS.
- DRIVING LANES SHALL HAVE A MINIMUM CLEAR WIDTH OF 24 FEET FOR TWO-WAY TRAFFIC, 15 FEET FOR ONE-WAY TRAFFIC, COPP CO 154.35 (3) NOTE: FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT, NFPA-1-18.2.3.4.1.1
- FIRE ACCESS ROADS SHALL BE A MINIMUM CENTERLINE TURNING RADIUS OF 50', SHOW MIN. 36" INSIDE RADIUS AND MIN 62" OUTSIDE RADIUS THROUGHOUT AREA, SHOW A SHADED TRUCK ROUTE INCLUDING ENTERING AND LEAVING THE SITE WITH THE ABOVE TURNING RADIUS. NUMERALS ON PLANS SHOWN THROUGHOUT. COPP ENGINEERING DEPARTMENT VERIFICATION IS REQUIRED
- NOTE: ALL CENTERLINE TURNING RADII MUST BE A MINIMUM 50 FEET - COPP CO 154.35 (3)
- NOTE: A SEPARATE SHEET MUST BE PROVIDED WHEN THE PLANS ARE REQUIRED TO DEMONSTRATE THE FIRE APPARATUS ABILITY TO MANUEVER THROUGHOUT THE FIRE ACCESS ROAD USING THE FIRE APPARATUS SPECIFICATIONS PROVIDED.
- THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES, NFPA-1-18.2.4.1.1
- FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FT, MIN. NFPA-1-18.2.4.1.2
- PERMANENT WEATHERPROOF SIGNAGE WILL BE REQUIRED FOR FIRE TRUCK ACCESS ROUTES, VERTICAL CLEARANCES OR WIDTHS SHALL BE INCREASED WHEN VERTICAL CLEARANCES OR WIDTHS ARE NOT ADEQUATE TO ACCOMMODATE FIRE APPARATUS, NFPA-1-18.2.3.4.1.2.2
- THERE SHALL BE A 14" MINIMUM WIDTH AT LEVEL 6" TO 8" FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE.
- MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.4 SHALL BE MAINTAINED AT ALL TIMES, NFPA-1-18.2.4.1.2
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHTING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE, NFPA-1-18.2.3.4.2
- NOTE: ROADS DURING CONSTRUCTION, HARD COMPACTED SURFACE SUPPORTING 32 TONS SHALL BE PROVIDED ON ROADS FOR FIRE RESCUE VEHICLES TO ACCESS OF BUILDINGS UNDER CONSTRUCTION.
- THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ, NFPA-1-18.2.3.4.6.2
- FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT BEYOND EACH OF THE FIRE LANE, NFPA-1-18.2.3.4.6.3
- THE DESIGN AND USE OF TRAFFIC CALMING DEVICES SHALL REQUIRE APPROVAL BY THE AHJ AND COPP ENGINEERING DEPARTMENT, NFPA-1-18.2.3.4.7
- WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND PROHIBIT THE OBSTRUCTION THEREOF OR BOTH, NFPA-1-18.2.3.5.1
- THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED BY HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES, COPP CO 93.12
- FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING, OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE; SIGN(S) SHALL BE PROVIDED, SEE FIRE LANE DETAIL.
- FIRE LANE SIGN(S) SHALL BE 18" BY 24" SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. SUCH SIGNS SHALL BE 12 IN BY 18 IN WITH WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO BE THE BOTTOM PART OF THE SIGN. THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART, NFPA-1-18.2.3.5.3
- A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLES MATERIAL ACCUMULATES, NFPA-1-18.4.3.1.1
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE, NFPA-1-18.4.3.1.3
- NOTE: IT IS NOT INTENDED TO PROHIBIT THE CONSTRUCTION OF NONCOMBUSTIBLE STRUCTURE FOUNDATION ELEMENTS, SUCH AS FOUNDATIONS AND FOOTINGS, PRIOR TO THE COMPLETION OF UNDERGROUND WATER MAINS AND HYDRANTS, NFPA-1-18.4.3.1.3
- AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION, THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 18.4 FIRE FLOW REQUIREMENTS FOR BUILDINGS, NFPA-1-18.3.1. FIRE FLOW CALCULATIONS FOR MANUAL FIRE SUPPRESSION PURPOSES ARE REQUIRED TO BE PROVIDED IN ACCORDANCE WITH NFPA-1-18.4.
- NOTE: FIRE FLOW CALCULATIONS MUST BE PROVIDED ON SEPARATE SHEETS PRIOR TO APPROVAL ON ENGINEERING PERMITS. FIRE FLOWS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.
- NOTE: THE FIRE FLOW TEST MUST BE WITNESSED BY A PEMBROKE PINES FIRE INSPECTOR. PLEASE CALL (954) 489-9550 TO COORDINATE A TEST DATE AND TIME.
- THE NUMBER AND TYPE OF FIRE HYDRANT AND CONNECTIONS TO APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS, NFPA-1-18.5.1
- NOTE: FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE ACCESSIBLE TO THE FIRE DEPARTMENT.
- FIRE HYDRANTS AND CONNECTION TO APPROVED WATER SUPPLIES MUST BE INSTALLED AND MAINTAINED IN A MANNER THAT ALLOWS THE FIRE DEPARTMENT TO ACCESS THE WATER SUPPLY POINT WITHOUT BEING DELAYED BY FENCES, SIGNS, AND OTHER OBSTRUCTIONS, NFPA-1-18.5.2
- FIRE HYDRANTS SHALL BE LOCATED NOT MORE THAN 12 FT. FROM THE FIRE DEPARTMENT ACCESS ROAD, NFPA-1-18.5.1.6
- WHERE REQUIRED BY THE AHJ, FIRE HYDRANTS SUBJECT TO VEHICULAR DAMAGE SHALL BE PROTECTED UNLESS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY, NFPA-1-18.5.1.5
- FIRE HYDRANTS SHALL BE MARKED WITH AN APPROVED REFLECTOR AFFIXED TO OR PROXIMATE TO THE FIRE HYDRANT WHERE REQUIRED BY THE AHJ, NFPA-1-18.5.10.1
- FIRE HYDRANTS IN ZONING CLASSIFICATIONS WITH LOWER RESIDENTIAL ZONING THAN R-3 SHALL BE INSTALLED ON A MINIMUM OF A SIX-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING AS MEASURED ALONG STREETS OR ALLEYS, COPP CO 93.25 (A)
- FIRE HYDRANTS IN ZONING CLASSIFICATIONS R-3 AND ALL RESIDENTIAL CLASSIFICATIONS WITH GREATER DENSITY THAN R-3 SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS AND WITHIN 300 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING AS MEASURED ALONG STREETS OR ALLEYS, COPP CO 93.25 (B)
- FIRE HYDRANTS IN ALL COMMERCIAL AND BUSINESS ZONED AREAS SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS AND SHALL NOT BE SPACED NOT FURTHER THAN 500 FEET APART AS MEASURED ALONG STREET OR ALLEYS, COPP CO 93.25 (C)
- FIRE HYDRANTS 4 1/2 INCH STREAMER CAP SHALL FACE THE NEAREST ROADWAY, SHALL BE BETWEEN 24 INCHES AND 30 INCHES ABOVE GROUND, AND REQUIRE A BLUE REFLECTOR IN CENTER OF ROADWAY IN FRONT OF THE HYDRANT, COPP CO 93.25 (E)
- NOTE: FIRE HYDRANT DETAIL TO BE PROVIDED ON SUBMITTAL.

- NO TREE, BUSH, HEDGE, OR SHRUB SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND LOCATED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET, COPP CO 93.25 (F)
- IN EVERY CASE, AT LEAST TWO FIRE HYDRANTS SHALL BE WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING, AND BE SPACED 500 FEET APART THROUGHOUT, MEASUREMENTS TAKEN AS THE FIRE TRUCK TRAVELS, COPP CO 93.25 (G) ENGINEERING DEPARTMENT VERIFICATION REQUIRED.
- BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITHIN 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION, COPP CO 93.25 (D) AND NFPA-14.6.4.5.4 (2016 ED.)
- FIRE DEPARTMENT CONNECTIONS SHOULD BE LOCATED AND ARRANGED SO THAT HOSE LINES CAN BE READILY AND CONVENIENTLY ATTACH WITHOUT INTERFERENCE FROM NEARBY OBJECTS, INCLUDING BUILDINGS, FENCES POSTS, OR OTHER DEPARTMENT CONNECTIONS, NFPA-14.6.4.5.1.1 (2016 ED.)
- FIRE DEPARTMENT CONNECTIONS SHALL BE VISIBLE AND RECOGNIZABLE FROM THE STREET OF NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY OR ON THE STREET SIDE OF BUILDING, NFPA-14.6.4.5.1 (2016 ED.)
- NOTE: FIRE DEPARTMENT CONNECTIONS SHALL ALSO BE SHOWN ON SAME SIDE OF THE STREET AS THE FIRE HYDRANT.
- THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18 IN. NOR MORE THAN 48 IN. ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE, NFPA-14.6.4.6 (2016 ED.)
- NOTE: PEMBROKE PINES FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED AT 3 FT. ABOVE GRADE.
- THE POINT OF SERVICE FOR THE FIRE LINE MUST BE SHOWN AND LABELED ON THE WATER CIVIL SHEETS (THIS IS THE TIE IN WHERE THE WATER IS BEING USED EXCLUSIVELY FOR THE SPRINKLER/STANDPIPE SYSTEM).
- NOTE: ANY GROUND WORK COMMENCING AT THE POINT OF SERVICE SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS SPECIFIED IN FSS 633.102.
- BACKFLOW PREVENTION VALVES MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FLOW TESTS AT SYSTEM DEMAND, NFPA-13.8.17.4.6.1
- THE FULL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE, A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTOR LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT, WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPLISHED, CLOSED LOOP FLOW CAN BE ACCEPTABLE IF FLOWMETER OR SITE GLASS IS INCORPORATED INTO THE SYSTEM TO ENSURE FLOW, NFPA-13.8.17.4.6.1
- NOTICE REQUIRED FOR STRUCTURES WITH LIGHT-FRAME TRUSS-TYPE CONSTRUCTION FOR NEW AND EXISTING STRUCTURES, EFFECTIVE 12-13-09, DECLARE IF STRUCTURE(S) ARE TO BE CONSTRUCTED WITH LIGHT-FRAME TRUSS-TYPE CONSTRUCTION: (PLEASE PROVIDE A DETAIL ON SITE PLANS ADDRESSING TYPE OF CONSTRUCTION AND PLACARD TO BE POSTED) FAC 69A-60.0081
- ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTIFAMILY BUILDINGS WITHIN THE CITY SHALL BE NUMBERED WITH THE STREET ADDRESS, FRONT & REAR AND/OR SIDE DOORS, WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS, COPP CO 52.10
- NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET, COPP CO 52.10 (D)
- ALL SUPPORT/SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED 'GROUND SIGN ASSEMBLY DETAILS'.
- IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ, NFPA-1-11.10.1
- THE OWNER'S REP OR GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS; PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITIONS, WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRASTRUCTURE TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED.
- AN ASSESSMENT WILL BE CONDUCTED BY THE OWNER'S REP OR GC TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH NFPA-1-11.10.1 AND NFPA-72.24.5.2.2.3.
- RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72.14.4.12.1.2 THROUGH NFPA-72.14.4.12.1.4 AND NFPA-24.5.2.3.
- NOTE: A TEST GRID (HEAT MAP) PLAN SHALL BE PRODUCED TO ENSURE TESTING THROUGHOUT THE BUILDING.
- NOTE: SIGNAL LEVELS SHALL BE MEASURED TO ENSURE THE SYSTEM MEETS THE CRITERIA OF NFPA 24.5.2.3 WITH A MINIMUM INBOUND SIGNAL STRENGTH OF -95 DBM AND A MINIMUM OUTBOUND SIGNAL ON -95 DBM AT THE DONOR SITE.
- THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE AN ACCESS BOX(ES) TO BE INSTALLED IN AN ACCESSIBLE LOCATION WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS DIFFICULT BECAUSE OF SECURITY. THE ACCESS BOX(ES) SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037. A KNOX BOX SHALL BE PROVIDED ON ALL BUILDINGS THAT HAVE REQUIRED SPRINKLER SYSTEMS, STANDPIPES SYSTEMS OR FIRE ALARM SYSTEMS, PLEASE ORDER ON-LINE AT WWW.KNOXBOX.COM, NFPA-1-18.2.2.1
- EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNED BY A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS, HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1 IN. IN HEIGHT ON PLATE OF FITTED READING SERVICE SIGN THAT SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS-FOR EXAMPLE, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE AS APPLICABLE, NFPA-14.6.4.5.2.1 (2016 ED.)



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-43
APPROVED: K.M.K. 08/29/19	REVISD: 08/29/19		
DATE: 08/29/17			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-6
APPROVED: K.M.K. 08/23/22	REVISD: 08/23/22		
DATE: 05/13/19			

- NOTES:
- MECHANICAL JOINT FITTINGS SHALL BE REQUIRED UNDERGROUND BACK TO "SUPPLY MAIN" AND FLANGED FITTINGS FOR ABOVE GROUND WATER METER, BACKFLOW PREVENTER AND ALL PIPING FITTINGS/APPLICANCES. NO UNFLANGES WILL BE PERMITTED. ALL HARDWARE (BOLTS, NUTS, ETC.) FOR ABOVE GROUND FLANGED FITTINGS (CONNECTIONS) SHALL BE STAINLESS STEEL.
 - THE ABOVE GROUND ASSEMBLY AND PIPING FITTINGS/APPLICANCES SHALL BE PAINTED WITH TUNNEL DRY/POLYURETHANE COATING OR CITY APPROVED EQUAL, BASED UPON TUNNEL/FRAM MANUFACTURER'S RECOMMENDATION PER APPLICATION. PAINTING SHALL BE COMPLETED ONLY AFTER TUNNEL'S/PAINT MANUFACTURER'S REQUIRED SURFACE AND PREPARATION MEASURES HAVE BEEN COMPLETED, INSPECTED, AND ACCEPTED BY THE CITY.
 - ADJUSTABLE PIPE JACKS/SUPPORT PIERS AS APPROVED BY THE CITY PER SHOP DRAWINGS SUBMITTAL SHALL BE PROVIDED AT LOCATIONS AS SHOWN OR AS OTHERWISE DIRECTED BY CITY IN THE FIELD.
 - 5' HIGH CHAIN LINK FENCE SHALL BE GALVANIZED AND CONFORM TO BUILDING DEPARTMENT REQUIREMENTS.
 - ALL LOW FLOW BY PASS WATER PIPING AND FITTINGS SHALL BE THREADED BRASS.
 - ALL PIPING SHALL BE D.I.P. WATER MAIN SHALL BE CLASS 350 OR AS REQUIRED PER N.F.P.A./CITY FIRE PREVENTION BUREAU STANDARDS/REQUIREMENTS AND RESTRAINED BACK TO THE POINT OF SERVICE WITH MECHALUGS.
 - 3' WIDE (MIN.) 6" THICK CONCRETE SLAB HAVING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI ON 12" STABILIZED SUBGRADE HAVING A MINIMUM LBR OF 40 COMPACTED TO 98% OF MAXIMUM DRY DENSITY PER AASHTO. 1-180 MAY BE PROVIDED AS AN ALTERNATE TO THE 6" OF 3/4" PEA ROCK BEDDING AND 18"X18" CONCRETE SUPPORT BASES.
 - EACH OXY VALVE SHALL BE MONITORED BY AN ELECTRONIC TAMPER SWITCH CONNECTED TO A CENTRAL ALARM SERVICE.

CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-6
APPROVED: K.M.K. 08/23/22	REVISD: 08/23/22		
DATE: 05/13/19			

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 1929, ADD 1.58'



PERMIT SET 9/17/2024

BAPTIST HEALTH
EMERGENCY CARE
PEMBROKE PINES
PREPARED FOR
BAPTIST HEALTH
PEMBROKE PINES

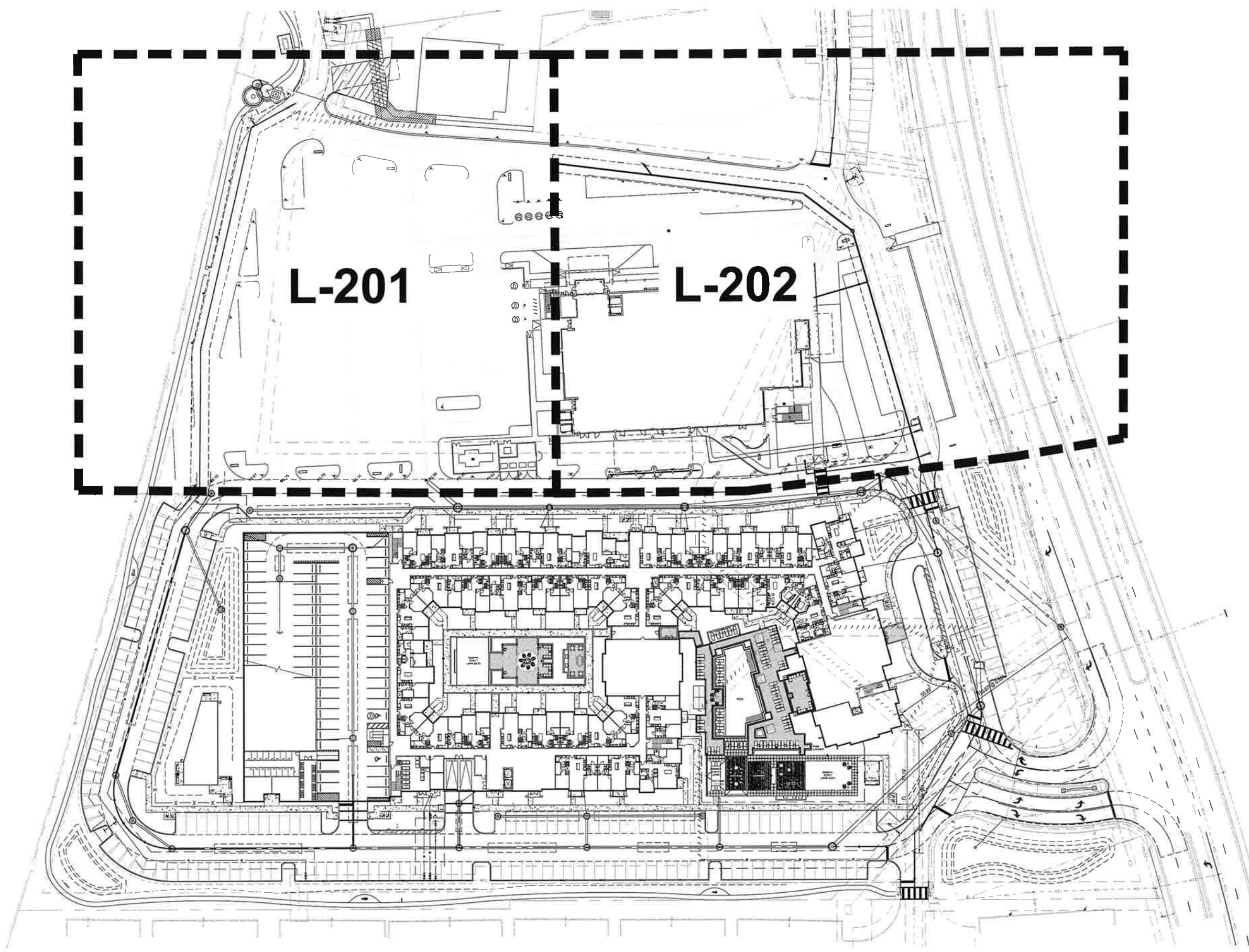
FIRE ACCESS NOTES

KHA PROJECT
143155011
DATE
APRIL 2024
SCALE AS SHOWN
DESIGNED BY KVM
DRAWN BY LL
CHECKED BY CF
DATE 9/17/2024
LICENSED PROFESSIONAL
STEFANO VOLA, P.E.
FLORIDA LICENSE NUMBER
74655

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

NO.	REVISIONS	DATE
2	TRC COMMENTS	11-20-2023 LL
3	TRC COMMENTS	04-04-2024 LL

SHEET NUMBER
C8.2



L-201

L-202

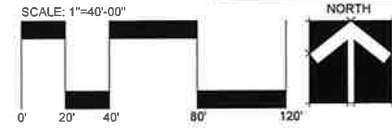


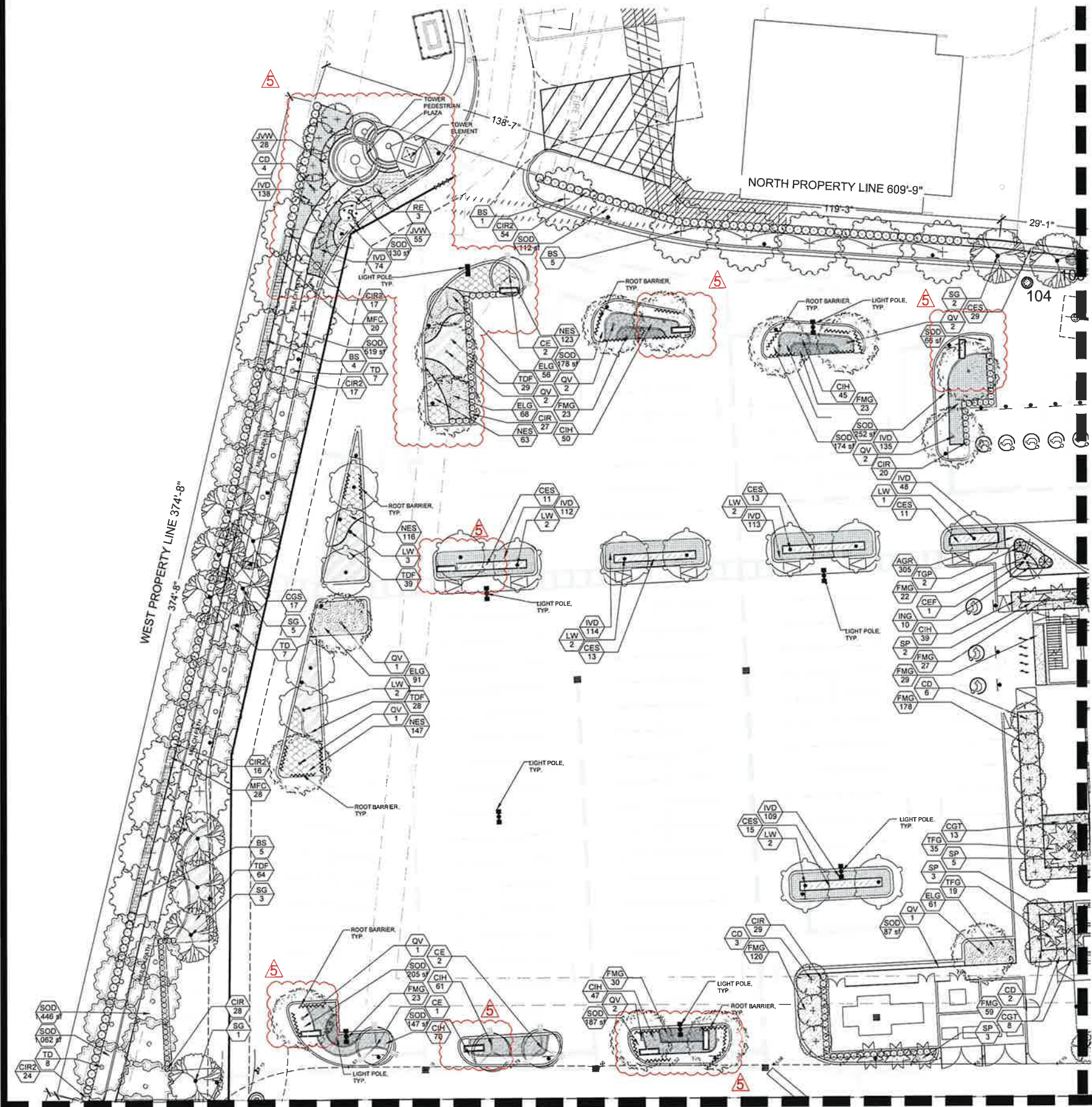
1	DRC RESUBMITTAL	11-22-2023
2	DRC RESUBMITTAL	04-18-2024

Revision Dates

SITE PLAN SUBMITTAL SET
BAPTIST PEMBROKE
 PEMBROKE PINES, FLORIDA

Sheet Description	OVERALL LANDSCAPE PLAN
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-200
	Sheet 1 of 5





MULTI-FAMILY PARCEL - NOT INLCUDED

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	COUNT	CALIPER	SIZE	NATIVE	INDICATED	WATER DEMAND	TOTAL
TRAIL TREES											
TR1	TR1	22	BURSERA SIMARUBA	GUANO LIMBO	FGSAB	4" CAL	18' GA. 1" SPD. 8' CT	YES	HIGH	30	1100
TR2	TR2	3	BURSERA SIMARUBA	GUANO LIMBO	RELOCATED	VARIABLE	RELOCATED GUANO LIMBO	YES	HIGH	36	150
TR3	TR3	16	COCCOLOBIA OVERSOPOLA	PROUD PALM	FGSAB	2.5" CAL	12' HT X 8' SPD. 3' CT	YES	HIGH	25	300
TR4	TR4	18	CONOCARPUS ERECTUS	GREEN BUTTWOOD	FGSAB	7" CAL	12' HT X 5' SPD. 3' CT	YES	HIGH	25	360
TR5	TR5	13	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	FGSAB	7" CAL	10' HT. 5' SPD. MULTI-TRUNKED	YES	HIGH	15	180
TR6	TR6	15	LYTOLAIA LATIFOLIA	MILD TAMARIND	FGSAB	7" CAL	14' HT X 8' SPD.	YES	HIGH	50	750
TR7	TR7	5	MITICANTHES FRAGRANS	SIMPSON'S STOPPER	-	1.5" CAL	18' HT X 8' SPD.	YES	HIGH	15	75
TR8	TR8	4	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	EXISTING	VARIABLE	EXISTING TO REMAIN	YES	HIGH	88	360
TR9	TR9	23	QUERCUS VIRGINIANA	LIVE OAK HIGH RISE	FGSAB	7" CAL	16-18' HT X 7' SPD. 3' CT	YES	HIGH	50	1300
TR10	TR10	5	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	RELOCATED	VARIABLE	VARIABLE	YES	HIGH	60	180
TR11	TR11	16	SMARANDHA OLIVACEA	PARADISE TREE	FGSAB	7" CAL	12' HT X 8' SPD.	YES	HIGH	25	375
TR12	TR12	12	TAILOREAN DISTICHUM	BAIRD CYPRESS	FGSAB	7" CAL	14' HT X 8' SPD.	YES	HIGH	35	770
PLANTING TREES											
TRV1	TRV1	1	BALNEARIA ARBOREA	VERAWOOD	EXISTING TO BE RELOCATED	VARIABLE	VARIABLE	NO	HIGH	50	50
TRV2	TRV2	1	BALNEARIA ARBOREA	VERAWOOD	EXISTING TO REMAIN	VARIABLE	EXISTING TO REMAIN	NO	HIGH	50	50
PALM TREES											
TRP1	TRP1	5	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FGSAB	10" QW	25' GA. MATCHED	YES	HIGH	25	75
TRP2	TRP2	7	ROYSTONIA ELATA	FLORIDA ROYAL PALM	RELOCATED	VARIABLE	VARIABLE	YES	HIGH	25	50
TRP3	TRP3	4	SABAL PALMETTO	CABBAGE PALMETTO	EXISTING	VARIABLE	EXISTING TO REMAIN	YES	HIGH	12	12
TRP4	TRP4	12	SABAL PALMETTO	CABBAGE PALMETTO	FGSAB	14-20" GA. VARY HEIGHTS	YES	HIGH	12	264	
TRP5	TRP5	2	SABAL PALMETTO	CABBAGE PALMETTO	RELOCATED	VARIABLE	VARIABLE	YES	HIGH	12	24
TRP6	TRP6	1	THUNBERGIA FASCIATA	FLORIDA THATCH PALM	FGSAB	10-12" GA. SINGLE, STRAIGHT LEADER	YES	HIGH	18	18	
SHRUBS											
SHR1	SHR1	100	CHRYSOBALANUS ICAGO REDTIP	RED TIP COCCOPLUM	-	24" HT X 24" SPD.	YES	MEDIUM	100	2400	
SHR2	SHR2	100	CHRYSOBALANUS ICAGO REDTIP	RED TIP COCCOPLUM	-	18" HT X 30" SPD.	YES	MEDIUM	100	1800	
SHR3	SHR3	11	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	-	18" HT X 30" SPD.	NO	HIGH	11	198	
SHR4	SHR4	3	CRAPPA AUGUSTINA QUEEN EMMA	QUEEN EMMA CRAPPA	-	4' GA. FUEL	NO	HIGH	3	12	
SHR5	SHR5	1	ENGELMANNIA MITREFOIDA	BRUSH CHERRY	-	4-5' GA.	NO	MEDIUM	1	4	
SHR6	SHR6	4	TRICHOGONIA GRAMMEOIDA	PURPLE GLORY TREE	2" CAL	8' HT X 3" SPD. TREE FORM	NO	MEDIUM	4	16	
SYMBOL CODE QTY BOTANICAL NAME COMMON NAME COUNT CALIPER SIZE NATIVE INDICATED TRACING											
SOE1	SOE1	21	SLURIA GUTTIFERA	SMALL-LEAF SLURIA	-	30" HT X 30" SPD.	YES	HIGH	21	630	
SOE2	SOE2	100	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	-	30" HT X 30" SPD.	YES	HIGH	100	3000	
SOE3	SOE3	100	DORNA COCCHEA NORA GRANT	RED VIOGA	-	30" HT X 30" SPD.	NO	HIGH	100	3000	
SOE4	SOE4	11	MITICANTHES FRAGRANS COMPACTA	COMPACT SIMPSON S STOPPER	-	30" HT X 30" SPD.	YES	HIGH	11	330	
SOE5	SOE5	100	TRIPSACUM DACTYLOIDES	FAKAKATCHEE GRASS	-	24" HT X 24" SPD.	YES	MEDIUM	100	2400	
SOE6	SOE6	110	TRIPSACUM FLORIDIANA	FLORIDA GAMMA GRASS	-	30" HT X 20" SPD.	YES	HIGH	110	3300	
GROUND COVERS											
GR1	GR1	100	ARACHIS GLABRATA	LARGE LEAF PEAHANT	-	4" HT X 12" SPD.	NO	HIGH	100	1200	
GR2	GR2	100	CARNOVA MICROPHYLLA	FUNKIA TEA	-	10" HT X 10" SPD.	NO	HIGH	100	1000	
GR3	GR3	127	CHRYSOBALANUS ICAGO HORIZONTALIS	HORIZONTAL COCCOPLUM	-	12" HT X 18" SPD @	YES	HIGH	127	3810	
GR4	GR4	114	DANIELLA TAMARICA	BLUEBERRY FLAX LILY	-	20" HT X 18" SPD.	NO	MEDIUM	114	2052	
GR5	GR5	276	ERIVOKIA LITTORALIS	GOLDEN CREEPER	-	12" HT X 12" SPD.	YES	HIGH	276	3312	
GR6	GR6	156	FICUS MICROCARPA GREEN ISLAND	GREEN ISLAND FIG	-	18" HT X 18" SPD.	NO	HIGH	156	2808	
GR7	GR7	129	ILEX VOMITORIA STOKES DWARF	DWARF YALPOHOLLY	-	18" HT X 18" SPD.	YES	HIGH	129	2322	
GR8	GR8	118	JASMINUM VOLUBILE	WAX JASMINE	-	18" HT X 18" SPD.	NO	MEDIUM	118	2124	
GR9	GR9	108	NEOPHELIX X BOSSIA NORA	GREEN & WHITE BROWNEAD	-	27" HT, 12" SPD. FULL	NO	HIGH	108	2916	
GR10	GR10	49	NEPHROLEPIS EXALTATA	BOSTON FERN	-	12" HT X 12" SPD.	YES	HIGH	49	588	
SOE600											
SOE600	SOE600	10	STENOTAPHYLLUM SECUNDATUM FLORIDANA	FLORIDANA ST AUGUSTINE	500	-	-	NO	HIGH	-	-

- NOTES:
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
 - SEE SHEET L-210 TREE DISPOSITION PLAN.
 - SEE SHEET L-200 THROUGH L-202 FOR THE PLANTING PLANS.
 - SEE SHEET L-203 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
 - SEE SHEET L-204 FOR LANDSCAPE DETAILS AND NOTES.
 - A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.



Architectural Alliance Landscape
612 SW 4th Ave., Fort Lauderdale, FL 33315
Tel: 954.333.3333 Fax: 954.333.3334

1. DRC RESUBMITTAL 1/22/2023
 2. DRC RESUBMITTAL 04/15/2024
 3. DRC RESUBMITTAL 07/31/2024
 4. DRC RESUBMITTAL 09/03/2024
 5. DRC RESUBMITTAL 09/03/2024

Revision Dates

SITE PLAN SUBMITTAL SET

BAPTIST PEMBROKE

PEMBROKE PINES, FLORIDA

Sheet Description

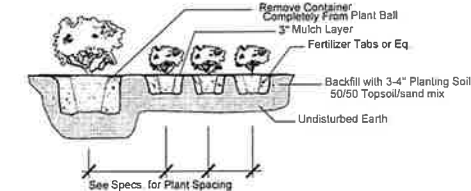
LANDSCAPE PLAN

Release Date
09-01-2023

Project Number
2124/2305

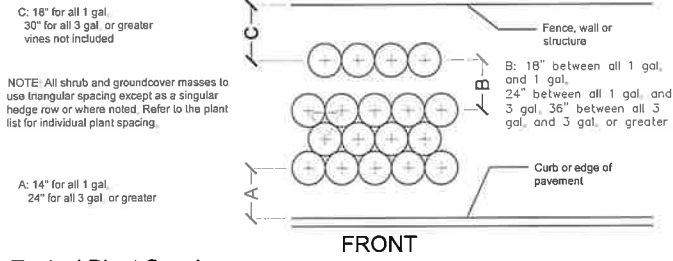
Drawing Number
L-201

Sheet 2 of 5



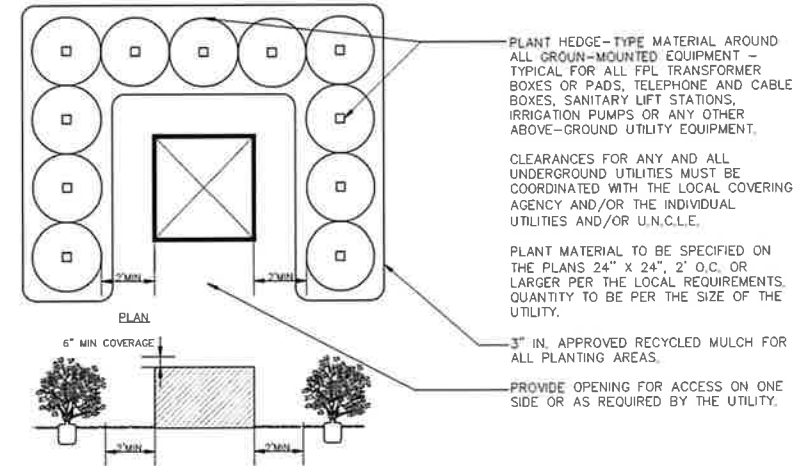
Shrub & Ground Cover Planting Detail

NTS



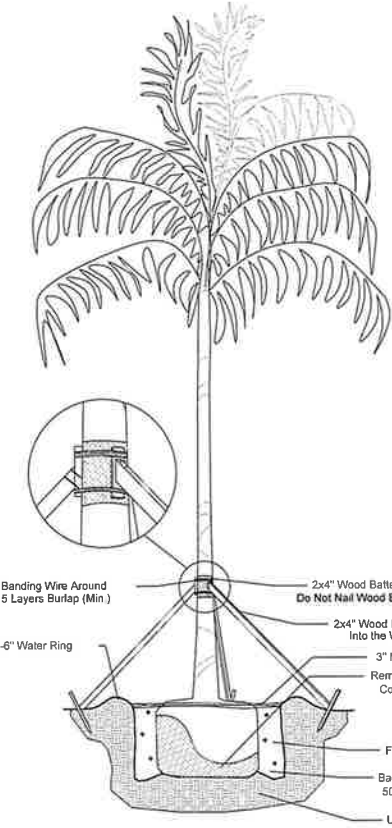
Typical Plant Spacing

NTS



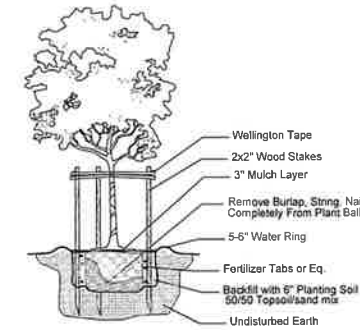
MECHANICAL EQUIPMENT SCREENING DETAIL

NTS



Palm Planting Detail

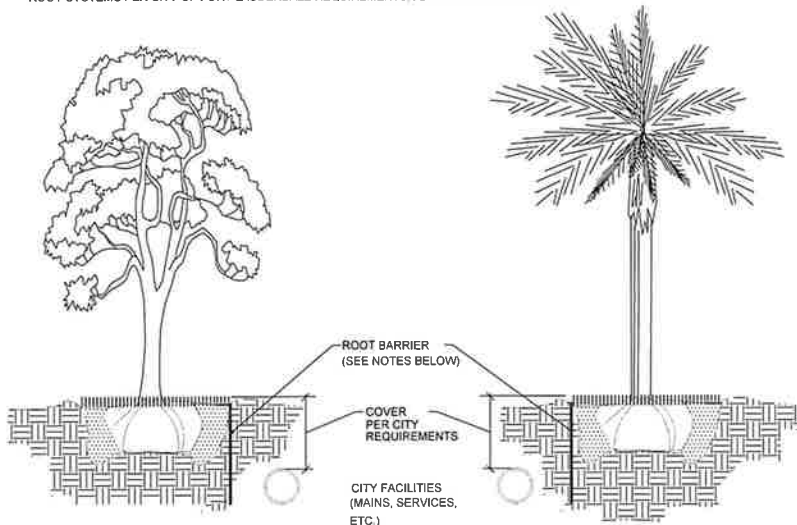
NTS



Small Tree Planting Detail

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES. MINIMUM CLEARANCE OF 5' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS. SEE TYPICAL DETAIL BELOW.

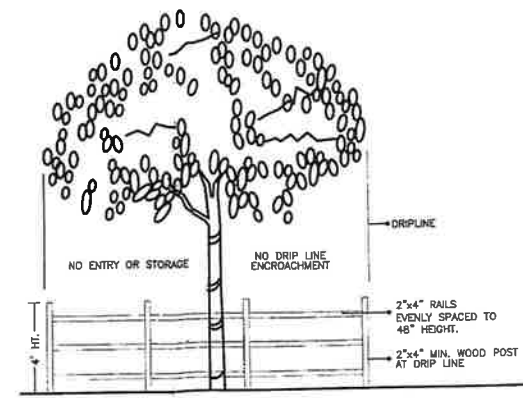


NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Root Barrier Detail

NTS



TREE PRESERVATION BARRICADE FENCING DETAIL

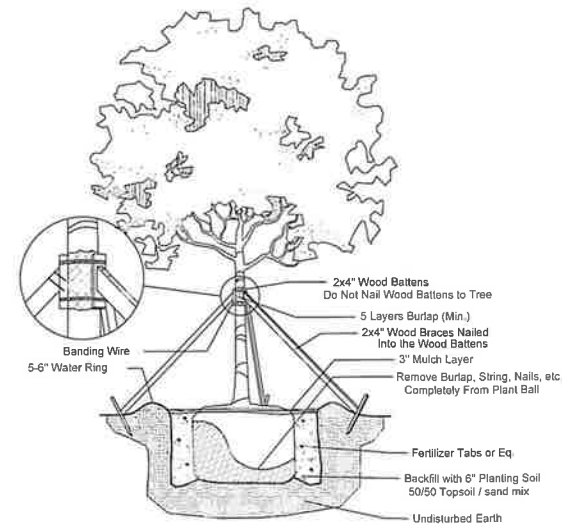
NTS

SPECIAL INSTRUCTIONS:

1. GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
2. ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID SOD. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. SEE SHEET L-210 TREE DISPOSITION PLAN.
4. SEE SHEET L-200 THROUGH L-202 FOR THE PLANTING PLANS.
5. SEE SHEET L-203 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
6. SEE SHEET L-204 FOR LANDSCAPE DETAILS AND NOTES.
7. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.



Large Tree Planting Detail

NTS

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants. Tree rings shall be a minimum of 12 inches away from the tree trunk flar but shall not be permitted within the first two inches from the tree trunk.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

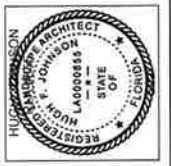
All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

The plan takes precedence over the plant list.

AAL
Architectural Alliance Landscape
REL 26 Ave SW, 4th Fl, Lakeland, FL 33815
TEL: 888-888-8888 FAX: 888-888-8888 EMAIL: AAL@AALFL.COM



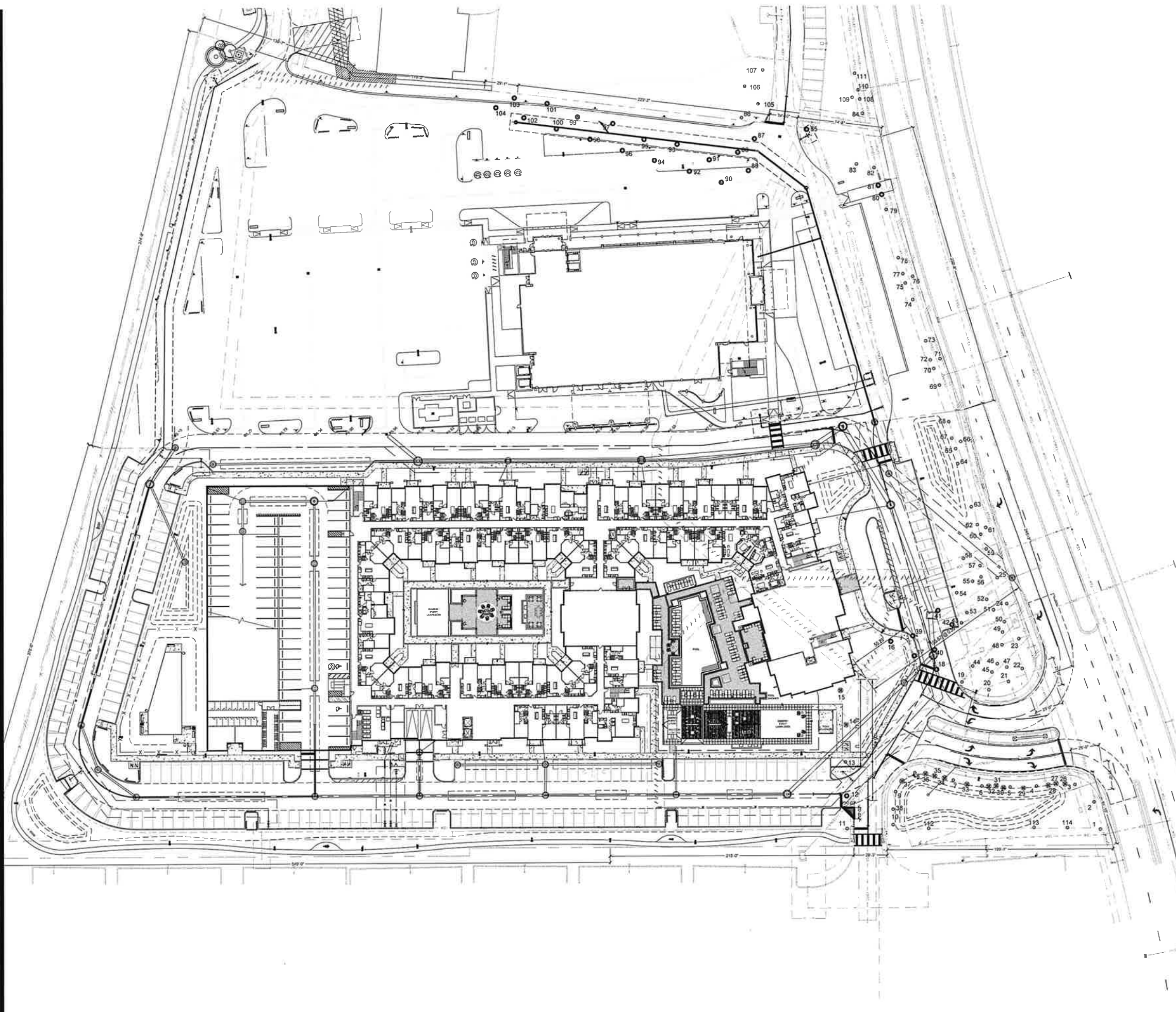
1	DRC RESUBMITTAL	07-31-2024
2	DRC RESUBMITTAL	04-15-2024
3	DRC RESUBMITTAL	04-15-2024
4	DRC RESUBMITTAL	07-31-2024

Revision Dates

SITE PLAN SUBMITTAL SET
BAPTIST PEMBROKE
PEMBROKE PINES, FLORIDA

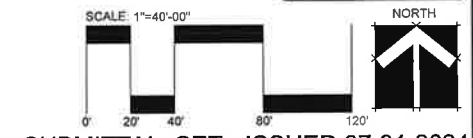
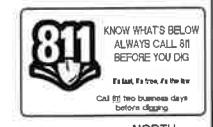
Sheet Description	LANDSCAPE NOTES AND DETAILS
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-204
Sheet 5 of 5	





TREE DISPOSITION LEGEND	
○	TREES/PALMS TO REMAIN
⊙	TREES/PALMS TO BE RELOCATED
⊗	TREES/PALMS TO BE REMOVED

1. ALL EXISTING EXOTICS AND INVASIVE TREES/PALMS SHALL BE REMOVED FROM SITE.
2. ALL EXISTING TREES LOCATED ALONG THE WESTERN PROPERTY LINE ARE EXOTICS AND INVASIVES.



SUBMITTAL SET - ISSUED 07-31-2024

AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000237
 TEL: 954.343.8888 FAX: 954.343.8811



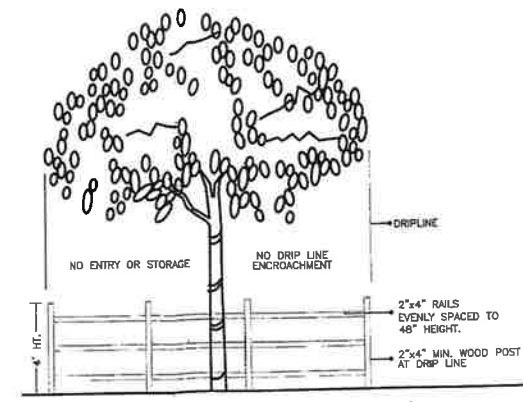
Revision Dates	
1	DRC RESUBMITTAL 1-22-2023
2	DRC RESUBMITTAL 04-19-2024
4	DRC RESUBMITTAL 07-31-2024

SITE PLAN SUBMITTAL SET
BAPTIST PEMBROKE
 PEMBROKE PINES, FLORIDA

Sheet Description	TREE DISPOSITION PLAN
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-210
Sheet 1 of 2	

BAPTIST HEALTH AND THE EDISON APARTMENTS - PEMBROKE PINES
 EXISTING TREE SURVEY - 04-21-2023, Rev. 07-XX-2024

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (FT)	SPREAD (FT)	CANOPY (S.F.)	CLEAR TRUNK (FT)	CAUPER	HEALTH CONDITION	DISPOSITION
1	Royal Palm	<i>Roystonea regia</i>	24	18		18		60%	Remain
2	Royal Palm	<i>Roystonea regia</i>	26	18		18		55%	Remain
3	Royal Palm	<i>Roystonea regia</i>	26	16		18		60%	Remain
4	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Remain
5	Royal Palm	<i>Roystonea regia</i>	22	16		14		50%	Remain
6	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Remain
7	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Remain
8	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Remain
9	Royal Palm	<i>Roystonea regia</i>	28	20		20		50%	Remain
10	Royal Palm	<i>Roystonea regia</i>	28	20		20		55%	Remain
11	Royal Palm	<i>Roystonea regia</i>	28	20		20		60%	Remain
12	Royal Palm	<i>Roystonea regia</i>	28	20		20		60%	Relocate - TPA
13	Royal Palm	<i>Roystonea regia</i>	28	20		20		55%	Remain
14	Royal Palm	<i>Roystonea regia</i>	28	20		20		30%	Remove
15	Royal Palm	<i>Roystonea regia</i>	28	20		20		30%	Remove
16	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
17	Royal Palm	<i>Roystonea regia</i>	28	18		18		50%	Relocate - TPA
18	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Remain
19	Royal Palm	<i>Roystonea regia</i>	28	20		20		55%	Remain
20	Royal Palm	<i>Roystonea regia</i>	28	20		20		55%	Remain
21	Royal Palm	<i>Roystonea regia</i>	26	18		18		50%	Remain
22	Royal Palm	<i>Roystonea regia</i>	26	18		18		50%	Remain
23	Royal Palm	<i>Roystonea regia</i>	26	14		16		30%	Remain
24	Royal Palm	<i>Roystonea regia</i>	24	18		14		60%	Remain
25	Royal Palm	<i>Roystonea regia</i>	24	18		14		60%	Remain
26	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
27	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
28	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
29	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remove
30	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
31	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
32	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
33	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remove
34	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
35	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
36	Orange Geiger Tree	<i>Cardia sebestena</i>	10	4		5	2	60%	Remove
37	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remove
38	Gumbo Limbo	<i>Bursera simaruba</i>	12	5		5	2	60%	Remain
39	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Relocate - TPA
40	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Relocate - BAPTIST
41	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Relocate - BAPTIST
42	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Relocate - BAPTIST
43	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
44	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remain
45	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
46	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
47	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
48	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remain
49	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
50	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
51	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
52	African Tulip Tree	<i>Spathodea campanulata</i>	12	5		5	2	60%	Remain
53	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
54	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
55	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
56	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
57	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
58	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
59	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
60	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
61	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
62	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
63	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
64	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
65	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
66	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
67	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
68	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
69	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
70	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
71	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
72	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
73	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
74	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
75	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
76	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
77	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
78	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
79	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
80	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Relocate - BAPTIST
81	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Relocate - BAPTIST
82	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
83	Verawood	<i>Bulnesia arborea</i>	14	6		6	2	60%	Remain
84	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
85	Verawood	<i>Bulnesia arborea</i>	12	5		5	2	60%	Relocate - BAPTIST
86	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
87	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Relocate - BAPTIST
88	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Relocate - BAPTIST
89	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Relocate - BAPTIST
90	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Relocate - BAPTIST
91	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - BAPTIST
92	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
93	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
94	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
95	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Relocate - TPA
96	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
97	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
98	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
99	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
100	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Relocate - TPA
101	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
102	Royal Palm	<i>Roystonea regia</i>	26	18		18		60%	Relocate - TPA
103	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Relocate - TPA
104	Royal Palm	<i>Roystonea regia</i>	22	16		16		50%	Relocate - TPA
105	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
106	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
107	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
108	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
109	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
110	Cabbage Palm	<i>Sabal palmetto</i>	18	10		8		65%	Remain
111	Live Oak	<i>Quercus virginiana</i>	14	6		6	2	60%	Remain
112	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
113	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain
114	Gumbo Limbo	<i>Bursera simaruba</i>	14	6			3	60%	Remain



TREE PRESERVATION BARRICADE FENCING DETAIL

1. ALL EXISTING EXOTICS AND INVASIVE TREES/PALMS SHALL BE REMOVED FROM SITE.
2. ALL EXISTING TREES LOCATED ALONG THE WESTERN PROPERTY LINE ARE EXOTICS AND INVASIVES.

AAL
 Architectural Alliance Landscape
 612 SW 4th Ave., Fort Lauderdale, FL 33315
 TEL: 954.333.4444 FAX: 954.333.4444

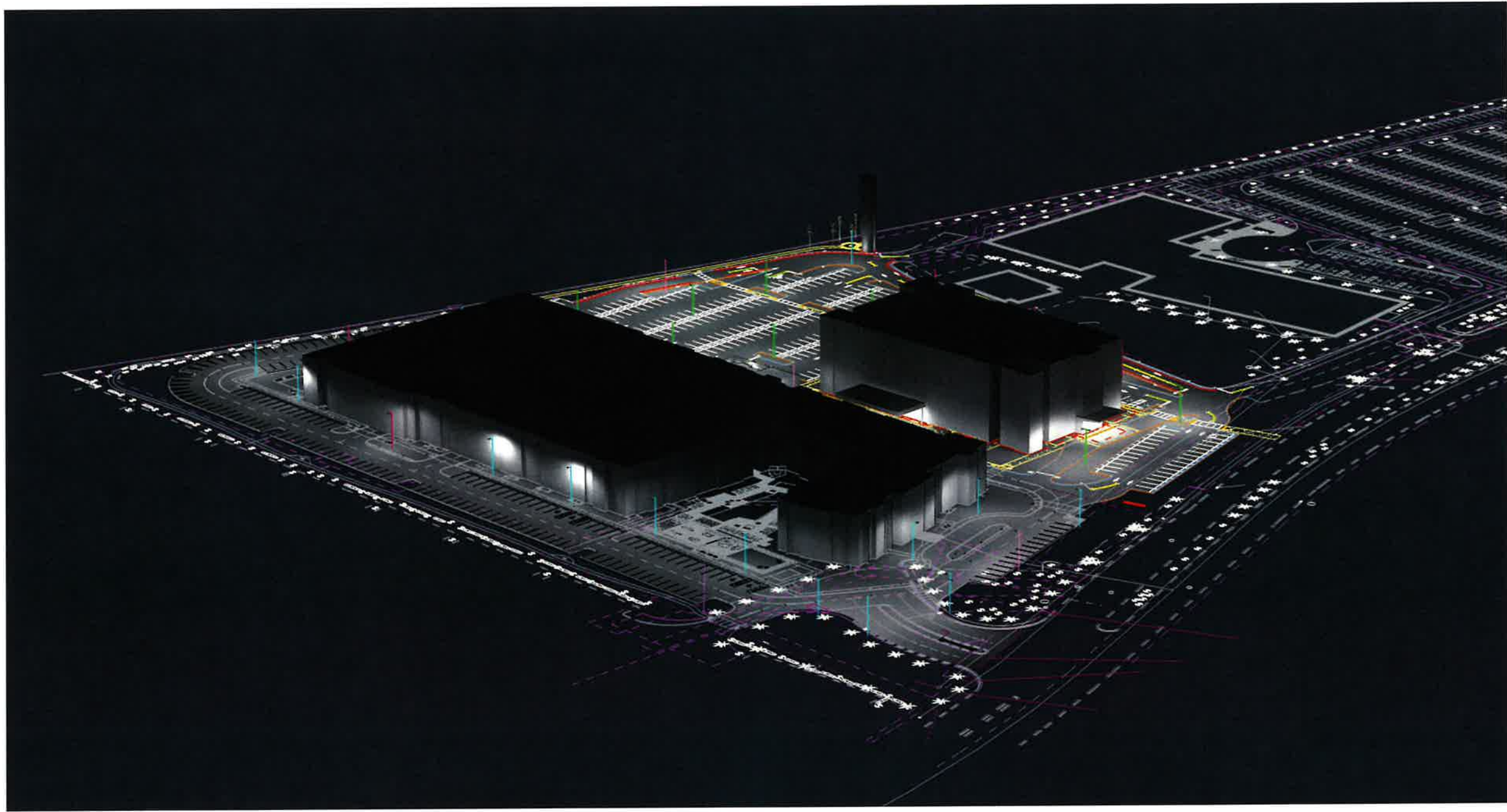
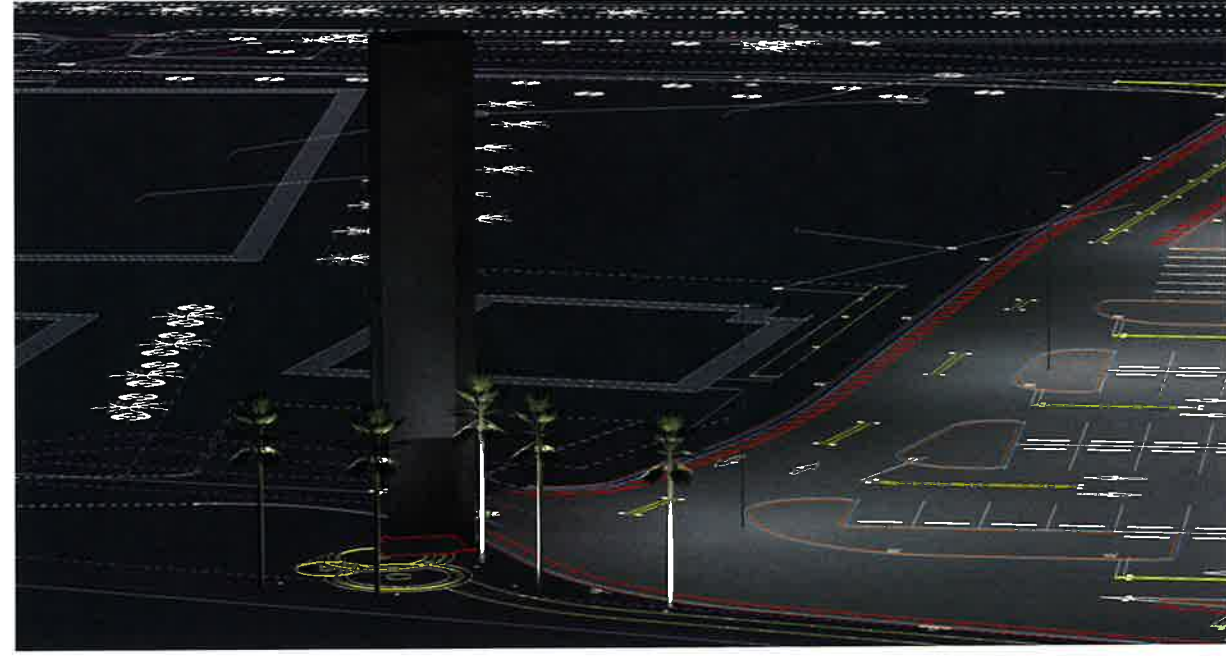
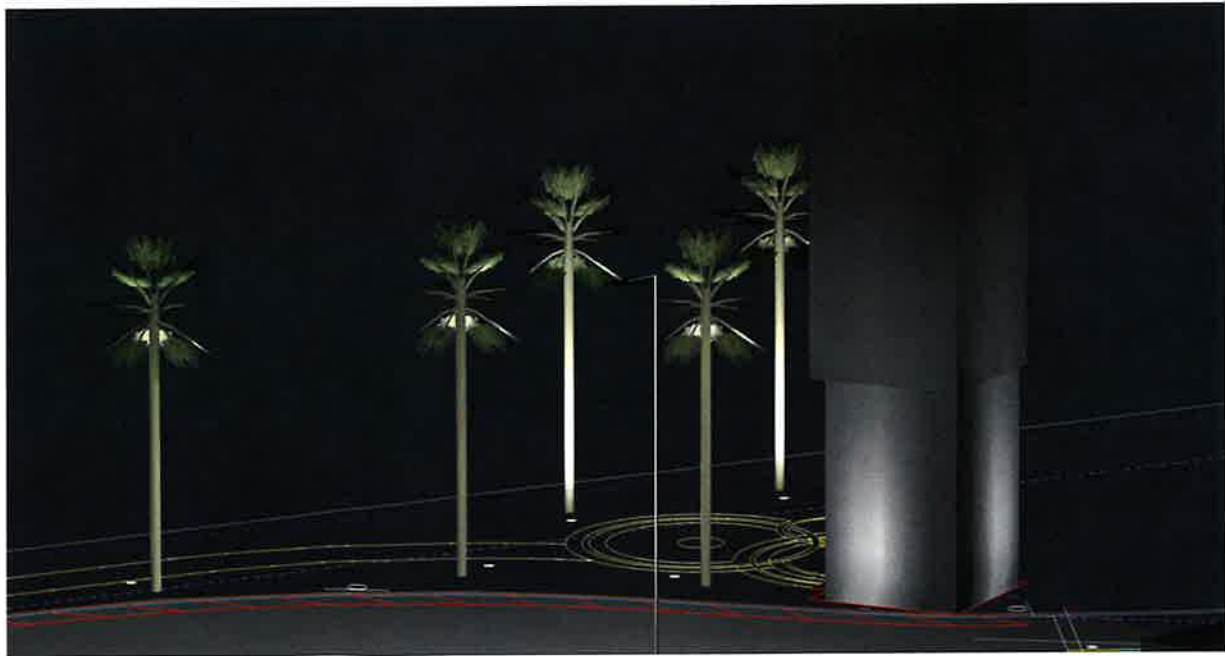


1 DRC RESUBMITTAL
 2 DRC RESUBMITTAL
 04/19/2024

SITE PLAN SUBMITTAL SET
BAPTIST PEMBROKE
 PEMBROKE PINES, FLORIDA

Sheet Description
 TREE DISPOSITION PLAN
 Release Date
 09-01-2023
 Project Number
 2124/2305
 Drawing Number
L-211
 Sheet 2 of 2





**BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11**

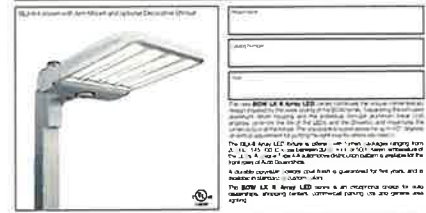
Date: 9/11/2024

Sales Rep: Peter Farinas
Office: Ft. Lauderdale
Contact: (305) 219-0799
Photometrics: L. Zemanian

Disclaimer: SESCO Lighting provides the photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures. The laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.). In general, SESCO Lighting considers numerical studies to be predictive in that they cannot calculate the true performance of a lighting system. Actual performance may vary from the predicted performance. The information provided is based on experience, consultation with the manufacturer, and, above all, common sense.



BLX-II ARRAY LED Specifications



Ordering Information

MODEL	SPICES	LUMENS	KELM	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
BLX-II-1	71	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-2	72	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-3	73	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-4	74	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-5	75	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-6	76	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-7	77	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-8	78	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-9	79	25L	3K	120V	ET	WV	PCB-120	WSC-8
BLX-II-10	80	25L	3K	120V	ET	WV	PCB-120	WSC-8

V-Sconce-II LED Specifications



Ordering Information

MODEL	SPICES	SOURCE	CURRENT	KELM	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VSC-II-1	71	14C	3	300K	120V	WV	PC-120	UP	
VSC-II-2	72	23L	5	400K	120V	WV	PC-120	UP	
VSC-II-3	73	32L	7	500K	120V	WV	PC-120	UP	
VSC-II-4	74	41L	9	600K	120V	WV	PC-120	UP	
VSC-II-5	75	50L	11	700K	120V	WV	PC-120	UP	
VSC-II-6	76	59L	13	800K	120V	WV	PC-120	UP	
VSC-II-7	77	68L	15	900K	120V	WV	PC-120	UP	
VSC-II-8	78	77L	17	1000K	120V	WV	PC-120	UP	
VSC-II-9	79	86L	19	1100K	120V	WV	PC-120	UP	
VSC-II-10	80	95L	21	1200K	120V	WV	PC-120	UP	

RAIL 4 RM4DOD



ORDERING LOGIC

LEVEL	LEVEL NUMBER	DESCRIPTION	LEVEL NUMBER	DESCRIPTION
1	1	RAIL 4 RM4DOD	1	RAIL 4 RM4DOD
2	2	RAIL 4 RM4DOD	2	RAIL 4 RM4DOD
3	3	RAIL 4 RM4DOD	3	RAIL 4 RM4DOD
4	4	RAIL 4 RM4DOD	4	RAIL 4 RM4DOD
5	5	RAIL 4 RM4DOD	5	RAIL 4 RM4DOD
6	6	RAIL 4 RM4DOD	6	RAIL 4 RM4DOD
7	7	RAIL 4 RM4DOD	7	RAIL 4 RM4DOD
8	8	RAIL 4 RM4DOD	8	RAIL 4 RM4DOD
9	9	RAIL 4 RM4DOD	9	RAIL 4 RM4DOD
10	10	RAIL 4 RM4DOD	10	RAIL 4 RM4DOD

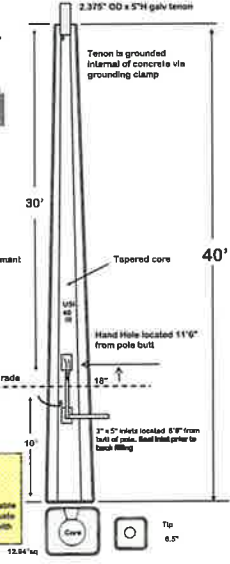
Utilities Structures, Inc.

PO Box 9303
2700 Evans Ave.
Fort Myers, FL 33901

Your concrete pole producer since 1988

US1407111-11685

- Prestressed Concrete Pole**
- Pole Weight: 3,260 lbs
 - Wind Speed: 170 mph Vult
 - Exposure: "C"
 - Risk Category: II
 - Wind Gust: 3 seconds
 - 4th Edition 2023 FBC 1809, 1620 HVH2, 1806
 - ASCE 7-22
 - Min. Brk. Strength: 3,000#
 - Concrete: 6,500 psi @ 28 days
 - Core: Wires #1 Copper
 - Strand: 500" @ 75% Ultimate + (4) 500" strand
 - Tenon: 2.375" x 6"
- Select Structural P.L.C.**
Eira Perceval P.L.C.



PROJECT:
This pole embedded 12" in to soils with an ultimate passive pressure of 300psi is structurally adequate to resist the local wind speeds of Broward Co. with the 4 Draft spec attached.

ETC130-GB LED

Inground Luminaires

we-ef



WE-ef LIGHTING USA, LLC
4115 Bryson Road, 13166 Broward, FL 33486, Phone: +1 754 741 9825
Customer support: customer@we-ef.com, 24/7 live chat
Subject to technical change and errors. Consulted on 08/08/2024



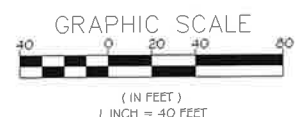
Disclaimer: SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures. This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, jacking, recoverable and non-recoverable light loss factors, etc.). In general, SESCO Lighting considers numerical studies to be predictive in nature. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: Peter Farinas
Office: Ft. Lauderdale
Contact: (305) 219-0799
Photometrics: L. Zemanian

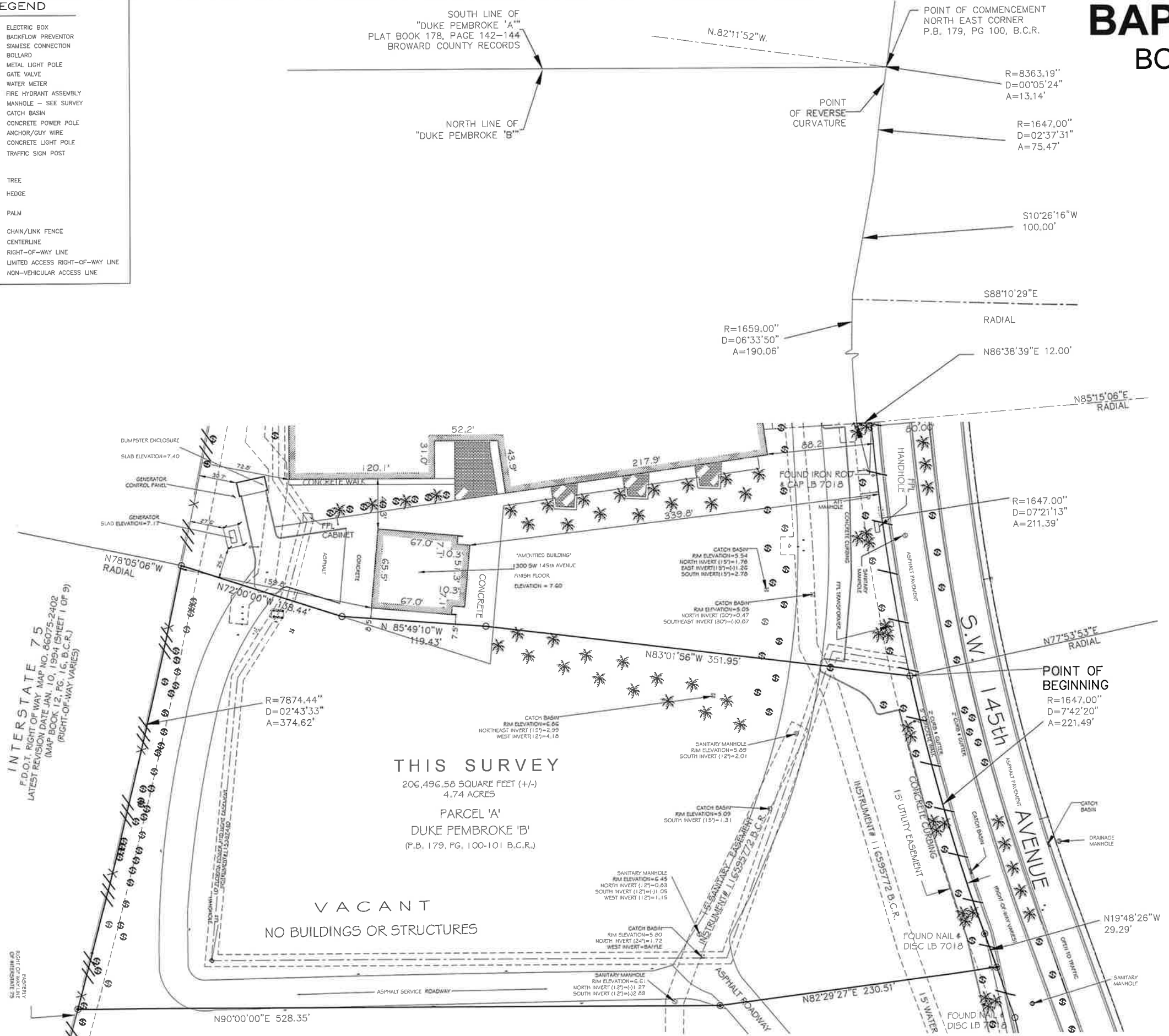
BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11

Date: 9/11/2024

BAPTISH HEALTH BOUNDARY SURVEY



LEGEND	
	ELECTRIC BOX
	BACKFLOW PREVENTOR
	SIAMESE CONNECTION
	BOLLARD
	METAL LIGHT POLE
	GATE VALVE
	WATER METER
	FIRE HYDRANT ASSEMBLY
	MANHOLE - SEE SURVEY
	CATCH BASIN
	CONCRETE POWER POLE
	ANCHOR/GUY WIRE
	CONCRETE LIGHT POLE
	TRAFFIC SIGN POST
	TREE
	HEDGE
	PALM
	CHAIN/LINK FENCE
	CENTERLINE
	RIGHT-OF-WAY LINE
	LIMITED ACCESS RIGHT-OF-WAY LINE
	NON-VEHICULAR ACCESS LINE



THIS SURVEY
206,496.56 SQUARE FEET (+/-)
4.74 ACRES
PARCEL 'A'
DUKE PEMBROKE 'B'
(P.B. 179, PG. 100-101 B.C.R.)

VACANT
NO BUILDINGS OR STRUCTURES

PARCEL 'B'
PEMBROKE HARBOR PLAT
(P.B. 176, PG. 111-115 B.C.R.)
DRAINAGE, FLOWAGE AND STORAGE
EASEMENT PER P.B. 176, PG. 111-115,
B.C.R.
CONSERVATION EASEMENT PER O.R.B.
42872, PG. 528, B.C.R.

INTERSTATE 75
F.D.O.T. RIGHT OF WAY MAP NO. 86075-2402
LATEST REVISION DATE JAN. 10, 1994 (SHEET 1 OF 9)
(RIGHT-OF-WAY VARIES)

REVISION	DATE	BY

BAPTIST HEALTH BOUNDARY SURVEY		
JOB # RN9331	DATE: 04-30-2024	DRAWN BY: CM
SCALE: 1"=40'	SHEET 2 of 2	CHECKED BY: SKS
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.		

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574