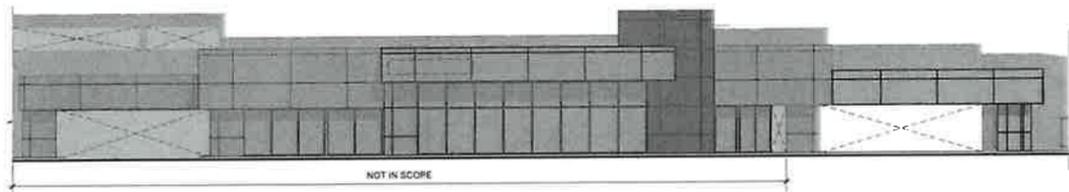


PROPOSED CANOPY RENOVATION FOR: LEXUS OF PEMBROKE PINES

16150 WEST PINES BOULEVARD
PEMBROKE PINES, FLORIDA , 33027

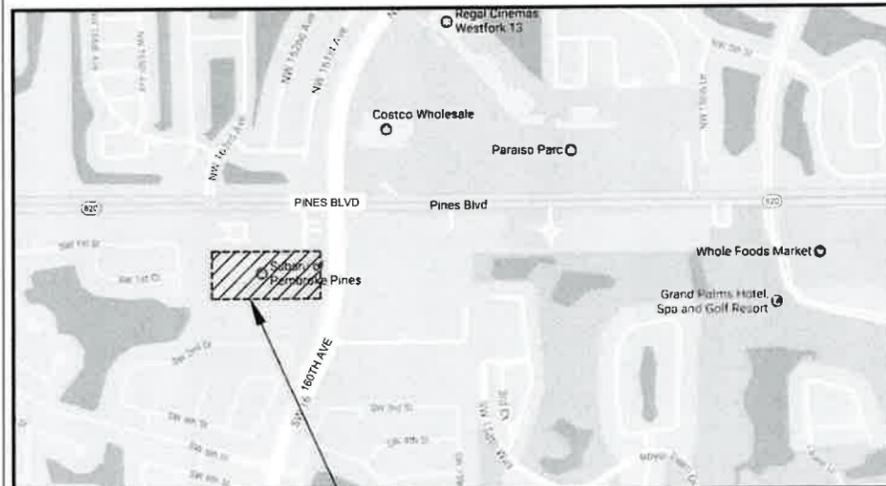


OWNER
COUNTYLINE AUTO CENTER, INC.
LEXUS OF PEMBROKE PINES
16150 W. PINES BLVD.
PEMBROKE PINES, FL 33027

ARCHITECT
STILES ARCHITECTURAL GROUP
201 E. LAS OLAS BLVD.
FT. LAUDERDALE, FL 33301
(954) 627-9180

CIVIL
SCHEFFER, MOTE & RICKS
888 E. LAS OLAS BLVD, SUITE 201
FT. LAUDERDALE, FL 33301
(954) 240-3230

CONSULTANTS



SITE LOCATION

ARCHITECTURAL

A-0	COVER SHEET
A-1.0	OVERALL SITE PLAN
A-2.1	FLOOR PLAN
A-6.1	EXTERIOR ELEVATIONS
A-6.2	COLOR ELEVATIONS

PERMIT - 07/01/24	●
REV #1 - 12/05/24	●
REV #2 - 02/19/25	●
REV #3 - 06/13/25	●

BUILDING LIMITATION ANALYSIS

PARCEL "C" OF "PEMBROKE SHORES", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157 AT PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. LESS AND EXCEPT THE FOLLOWING DESCRIBED PORTIONS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 17, TOWNSHIP 51 SOUTH, RANGE 40 EAST, THENCE SOUTH 89°39'58" WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 17, A DISTANCE OF 1137.77 FEET; THENCE SOUTH 00°20'02" EAST, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING SAID POINT LYING ON THE NORTH LINE OF SAID PARCEL "C"; THENCE CONTINUE SOUTH 00°20'02" EAST, A DISTANCE OF 228.00 FEET; THENCE SOUTH 89°29'58" WEST, ALONG A LINE 328.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 175.00 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT, AT WHICH THE RADIUS BEARS SOUTH 55°18'32" WEST, THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 175.00 FEET AND A CENTRAL ANGLE OF 10°38'34", A DISTANCE OF 32.51 FEET TO THE POINT OF TANGENCY; THENCE NORTH 45°20'02" WEST, A DISTANCE OF 116.94 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 65.00 FEET AND A CENTRAL ANGLE OF 45°00'00", A DISTANCE OF 51.05 FEET TO THE POINT OF TANGENCY; THENCE NORTH 00°20'02" WEST, A DISTANCE OF 75 FEET; THENCE NORTH 89°39'58" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF PINES BOULEVARD, AS DESCRIBED IN DEED BOOK 181 AT PAGE 33 AND DEED BOOK 728 AT PAGE 283 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, ALSO BEING THE NORTH LINE OF SAID PARCEL "C", A DISTANCE OF 236.82' TO THE POINT OF BEGINNING.

AND
A PORTION OF PARCEL "C" "PEMBROKE SHORES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 157, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST NORTHEAST CORNER OF SAID PARCEL "C"; THENCE SOUTH 89°39'58" WEST, ALONG THE NORTHERLY LINE OF SAID PARCEL "C", A DISTANCE OF 304.87 FEET; THENCE SOUTH 00°20'02" EAST, A DISTANCE OF 245 FEET TO THE EASTERLY LINE OF SAID PARCEL "C"; THENCE NORTH 01°46'00" WEST, A DISTANCE OF 205.95 FEET; THENCE NORTH 46°03'01" WEST, A DISTANCE OF 48.87 FEET TO THE POINT OF BEGINNING.

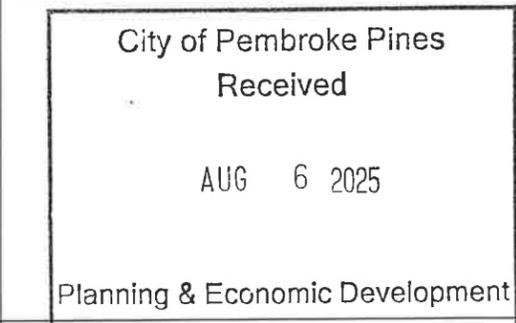
(BEARINGS BASED ON THE NORTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 17 AS SHOWN ON THE CRAWEN-THOMPSON AND ASSOC. RESURVEY, AS RECORDED IN MISCELLANEOUS PLAT BOOK 6 AT PAGE 4 OF SAID PUBLIC RECORDS, HAVING A BEARING OF SOUTH 89°39'58" WEST.)

SAID LANDS SITUATE IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA AND CONTAIN 19.314 ACRES, MORE OR LESS.

LEGAL DESCRIPTION

THE SCOPE OF WORK UNDER THIS PERMIT SHALL BE INCLUSIVE OF THE FOLLOWING

FAÇADE RENOVATION OF EXISTING DRIVE THROUGH SERVICE CANOPY DESIGN FOR A NEW LEXUS FAÇADE AT DRIVE THROUGH SERVICE CANOPY. SCOPE COMPRISES OF EXTENDING EXISTING CANOPY AND PLACING NEW SCANNER MACHINE. SCOPE OF WORK EXPLICITLY EXCLUDES ANY MEP, CIVIL, AND ANY OTHER DISCIPLINE NOT NAMED ABOVE. EXISTING IMPACT-RESISTANT STOREFRONT TO REMAIN THROUGHOUT



SCOPE OF WORK

PROJECT DATA:

NOTE: ALL SITE COMPONENTS ARE EXISTING TO REMAIN INCLUDING SITE LIGHTING, PAVEMENT, STRIPING, ETC. NO WORK SHALL BE DONE UNDER THIS PERMIT OTHER THAN PARTIAL FAÇADE RENOVATION

1. JURISDICTION	CITY OF PEMBROKE PINES, FLORIDA
2. ZONING DESIGNATION	B-3
3. ADDRESS	16150 W. PINES BLVD 840,765 S.F. (19.3 ACRES)
4. SITE AREA	PARTIAL FAÇADE WORK ONLY
5. BUILDING AREA (THIS SUBMITTAL)	FLORIDA BUILDING CODE - 2023 (8th ED.) FLORIDA ACCESSIBILITY CODE - 2023 (8th ED.) FFPC - 2023 (8th EDITION)
6. APPLICABLE CODE(S)	FLORIDA EXISTING BUILDING CODE 2023 (8th ED.) FLORIDA FIRE PREVENTION CODE 2023 (8TH ED.)
7. TYPE OF CONSTRUCTION	II-B
8. OCCUPANCY CLASSIFICATION	B, S-1
9. BUILDING HEIGHT:	SHOWROOM: 30'-0" (EXISTING, NO MODIFICATION) GARAGE: 30'-4" (EXISTING, NO MODIFICATION) 45'-2" (EXISTING, NO MODIFICATION)
10. FAR	0.58

REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1:1.14.4
NO FIRE SPRINKLER WORK REQUIRED. FIRE SPRINKLER SYSTEM TO REMAIN AS ORIGINALLY APPROVED
NO FIRE ALARM WORK REQUIRED. FIRE ALARM SYSTEM TO REMAIN AS ORIGINALLY APPROVED

SETBACKS:

(NO MODIFICATIONS)	MINIMUM	PROVIDED
NORTH	30'-0"	287'-2" EXISTING
SOUTH	100'-0"	178'-1" EXISTING
EAST	10'-0"	359'-10" EXISTING
WEST	100'-0"	109'-0" EXISTING

FIRE DEPARTMENT ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT. NFPA 1-18.2.3.4.1.1

COPP ENGINEERING DEPARTMENT VERIFICATION IS REQUIRED. COPP 154.35

FIRE DEPARTMENT ROADS SHALL HAVE A MINIMUM CENTERLINE TURNING RADIUS OF 50', MIN.

BUILDING AREAS:

DEALERSHIP						
FACILITY	SHOWROOM	OFFICES	SUPPORT	MISC	PARTS	SERVICE
TOTAL	15,511 SF	12,160 SF	9,133 SF	6,386 SF	18,055 SF	85,589 SF
TOTAL	148,096 SF					

NOT IN SCOPE

EXISTING (NO MODIFICATIONS)

SITE DATA:

BUILDING FOOTPRINT:	208,515 SF (24.9%)
HARDSCAPE AREA:	375,729 SF (44.7%)
IMPERVIOUS AREA:	585,244 SF (69.6%)
PERVIOUS AREA:	256,023 SF (30.4%) (EXISTING) + 50 SF (NEW LANDSCAPE) = 256,073 SF (30.4%)
TOTAL SITE AREA:	841,317 SF (100.0%)

EXISTING (NO MODIFICATIONS)

PARKING CALCULATIONS:

TOTAL PARKING PROVIDED(GROUND LEVEL)
(226 REGULAR AND 5 REQ'D HANDICAPPED SPACES) 231

VICINITY MAP

ABV	ABOVE	DR	DOOR	HM	HOLLOW METAL	PARTN	PARTITION
ACOUS	ACOUSTICAL	DTL	DETAIL	HOR	HORIZONTAL	PFS	PREMOLDED FALLER
ADJ	AREA DRAIN	DWGS	DRAWING(S)	H P	HIGH POINT	PL	PLATE
ADJ	ADJACENT/ADJUSTABLE	DW	DRYWALL	H V A C	HEATING VENTILATING	PLG	PLUMBING
AGGR	AGGREGATE	EA	EACH	PLAS	PLASTER	PLAS	PLASTER PLASTIC
ALUM	ALUMINUM	E	EXPANSION JOINT	PRJ	PROJECT	PLYWD	PLYWOOD
ANCH	ANCHOR	ELECT	ELECTRICAL	INSUL	INSULATION	PNT	PAVEMENT
ANCH	ANCHORED	ELEV	ELEVATION	ID	INCH	PT	POINT
ANOD	ANODIZED	ELEV	ELEVATION	IN	INSIDE DIAMETER	PNT	POINT
APPROX	APPROXIMATE (LY)	EQ	EQUAL	INSUL	INSULATION	PNT	POINT
ARCH	ARCHITECT (URAL)	EQUIP	EQUIPMENT	INT	INTERIOR	PT	POINT
AS	ACUSTICAL SEALANT	EXP	EXPOSED	JC	JANITOR'S CLOSET	REF	REFERENCE/REFRIGERATOR
ASPH	ASPHALT	EXPAN	EXPANSION	JT	JOINT	REIN	REINFORCED
AT	ACUSTICAL TILE	EXIST	EXISTING	JT	JOINT	RES	RESILIENT
B	BOTTOM	FE	FIRE EXTINGUISHER	KIT	KITCHEN	RO	ROUGH OPENING
BD	BOARD	FEC	FIRE EXTINGUISHER CABINET	KG	KNOCK OUT	SAN	SANITARY
BTUM	BITUMINOUS	FD	FLOOR DRAIN	LAM	LAMINATE	SHT	SHEET
BLDG	BUILDING	FF	FINISHED FLOOR	LP	LOW POINT	SHTG	SHEATHING
BM	BEAM	FHC	FIRE HOSE CABINET	LT	LIGHT	SIM	SIMILAR
BRK	BRICK	FIN	FINISHED	LVR	LOUVER	SPEC	SPECIFICATION
CAB	CABINET	FL	FLOOR	MACH	MACHINE	S S	STAINLESS STEEL
CJ	CONTROL JOINT	FLASH	FLASHING	MAX	MAXIMUM	STRD	STANDARD
CLG	CEILING	FLR	FLOOR	MECH	MECHANICAL	T O C	TOP OF CONCRETE
C	CENTERLINE	FT	FOOT, FEET	MFR	MANUFACTURER	T S G	TORSURE AND GROOVE
CLR	CLEAR	FURR	FURRING	MIN	MINIMUM	TEMP	TEMPERED
CLR OPN	CLEAR OPENING	GA	GAUGE	MISC	MISCELLANEOUS	TERR	TERRAZO
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	MI D	MASONRY OPENING	TYP	TYPICAL
CP	CEMENT PLASTER	GC	GENERAL CONTRACTOR	MFR	MOISTURE RESISTANT	UN	UNLESS OTHERWISE NOTED
COL	COLUMN	GLASS	GLASS	MTD	MOUNTED	W	WOOD
CONC	CONCRETE	G W B	GYPSSUM WALL BOARD	MTL	METAL	WDW	WINDOW
CONST	CONSTRUCTION	GYP	GYPSSUM BOARD	MULL	MULLION	WH	WATER HEATER
CONT	CONTINUOUS	GYP BD	GYPSSUM BOARD	N I C	NOT IN CONTRACT	WIO	WITHOUT
CONTR	CONTRACTOR	HANDIC	HANDICAPPED	NO	NUMBER	WSC	WAINSCOT
CPT	CARPET	HE	HOSE END	NOM	NOMINAL		
CT	CERAMIC TILE	HC	HOLLOW CORE	N T S	NOT TO SCALE		
CT	CERAMIC TILE	HD	HAND	OC	ON CENTER		
DIA	DIAMETER	HW	HARDWARE	OD	OUTSIDE DIAMETER		
D OS	DOOR OPENING SIZE	HWWD	HARDWOOD	OPNG	OPENING		
DP	DAMP PROOFING	HGT	HEIGHT	OPP	OPPOSITE		

INDEX OF DRAWINGS

COLUMN LINE	SECTION	DETAIL NUMBER
ROOM NAME	WALL SECTION	SHEET NUMBER
DOOR SYMBOL	DETAIL	DETAIL NUMBER
WINDOW SYMBOL	ENLARGED DETAIL	DETAIL NUMBER
ELEVATION	REVISION	SHEET NUMBER
ELEVATION ABOVE FIN FLOOR	NOTE TAG	

ABBREVIATIONS AND SYMBOLS

PROJECT DATA

REVISIONS

1	BUILDING COMMENTS
2	06/13/2025

SEAL

CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
7/30/2025

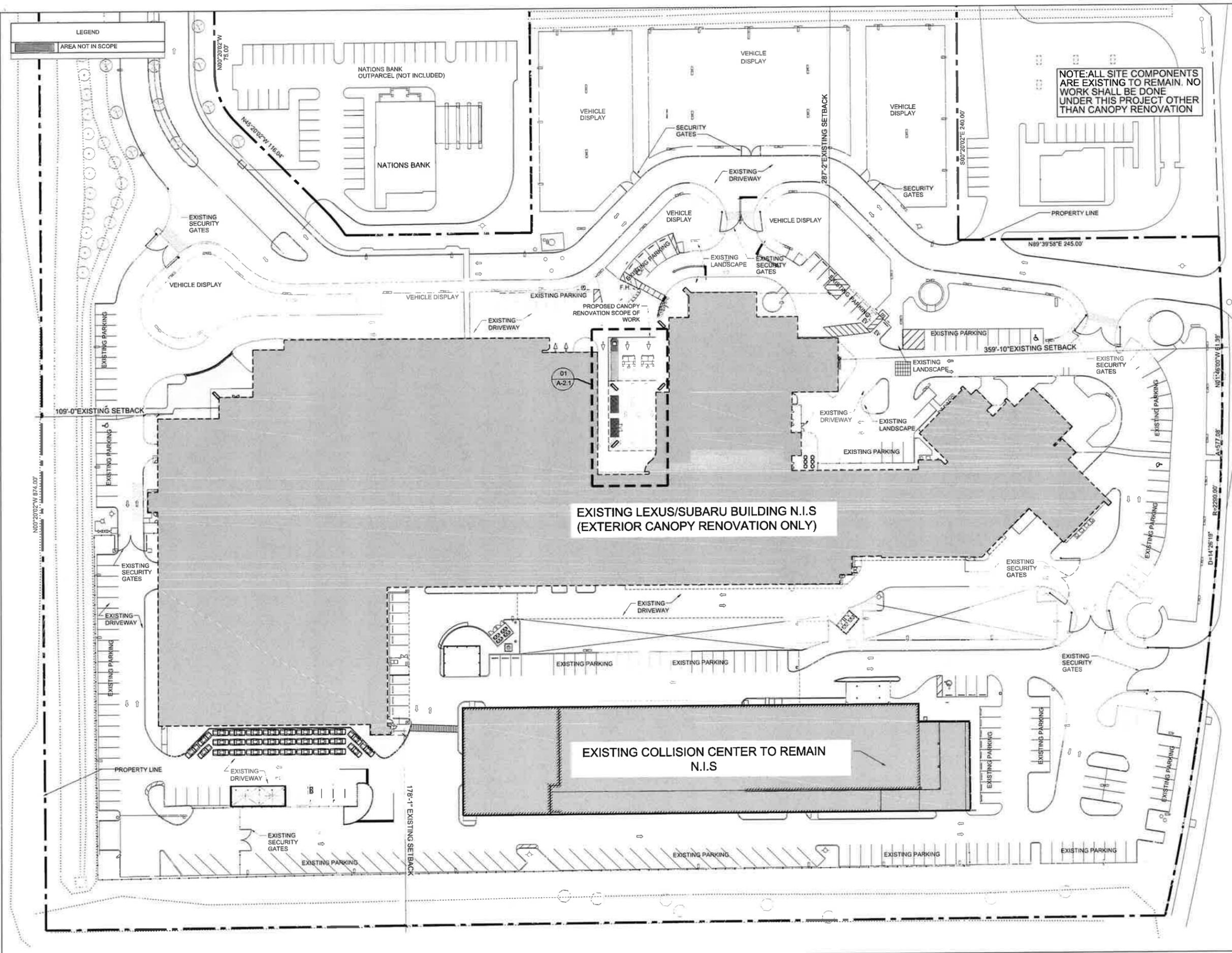
CANOPY RENOVATION FOR:
LEXUS OF PEMBROKE PINES
16150 WEST PINES BOULEVARD
PEMBROKE PINES, FLORIDA , 33027

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida,
954 - 627 - 9180 33301
FL. REG # AA-26001798

COVER SHEET

A-0

PROJECT NO
74145
DRAWN BY
A R
CHECKED BY
A E
DATE
MARCH 25, 2025



NOTE: ALL SITE COMPONENTS ARE EXISTING TO REMAIN. NO WORK SHALL BE DONE UNDER THIS PROJECT OTHER THAN CANOPY RENOVATION

LEGEND
AREA NOT IN SCOPE

REVISIONS



CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
7/30/2025

STILES ARCHITECTURAL GROUP
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Fort Lauderdale, Florida 33301
954 - 627- 9180 33301
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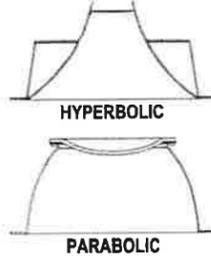
CANOPY RENOVATION FOR:
LEXUS OF PEMBROKE PINES
16150 WEST PINES BOULEVARD
PEMBROKE PINES, FLORIDA , 33027

PROPOSED OVERALL SITE PLAN

A-1.0

PROJECT NO. 74145
DRAWN BY: AR
CHECKED BY: AE
DATE: MARCH 25 2025

TRIMS:

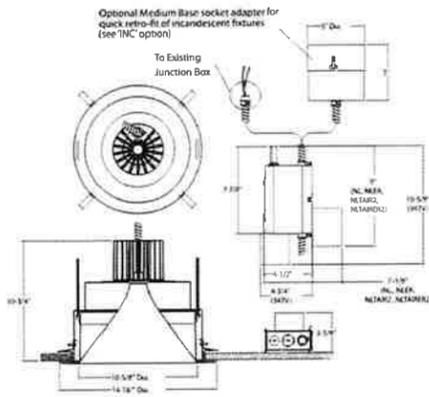


HYPERBOLIC

PARABOLIC

APERTURE: 10-5/8" Dia.
RETROFITS: fixtures with a rough-in inner diameter of 11-3/4" to 12-3/4"
OVERLAP RING: 14-1/8" Dia.

PASSIVE COOLING DIMENSIONS: 800 - 900 Lumens



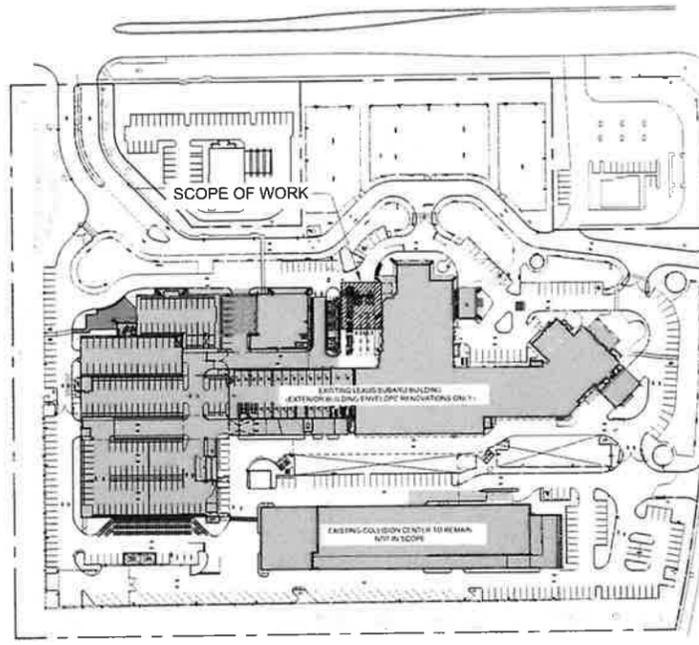
NOTES:

1. LIGHT FIXTURE AND LENS TO MATCH EXISTING INDY LRT12 OR APPROVED EQUAL.

LIGHT FIXTURE DETAIL

SCALE: NTS

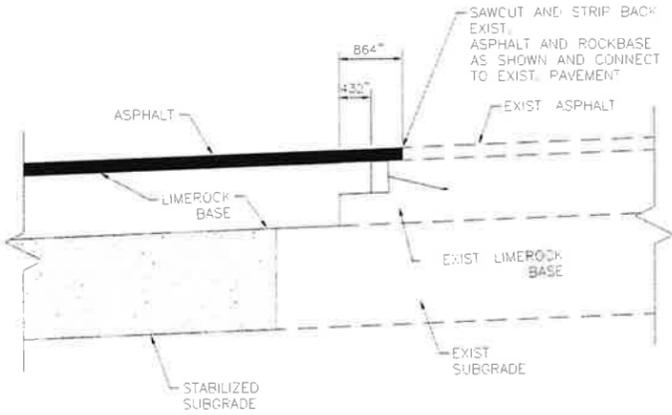
06



KEY PLAN

SCALE: NTS

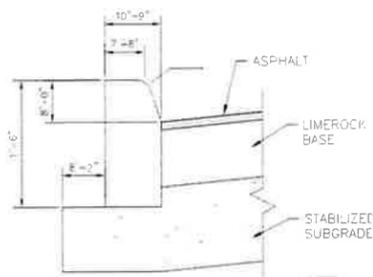
03



CITY STANDARD R-39 PAVEMENT CONNECTION DETAIL

SCALE: NTS

05



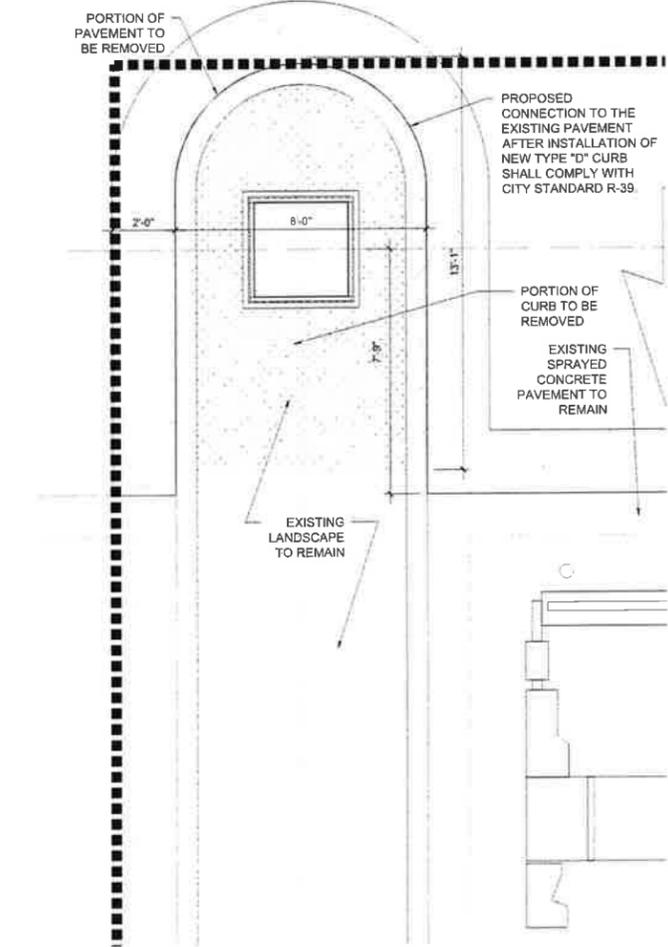
TYPE "D" CURB

NOTE:
 MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR ALL CURB TYPES SHALL BE 3,500 PSI.

CITY STANDARD R-26 CONCRETE CURBS DETAIL

SCALE: NTS

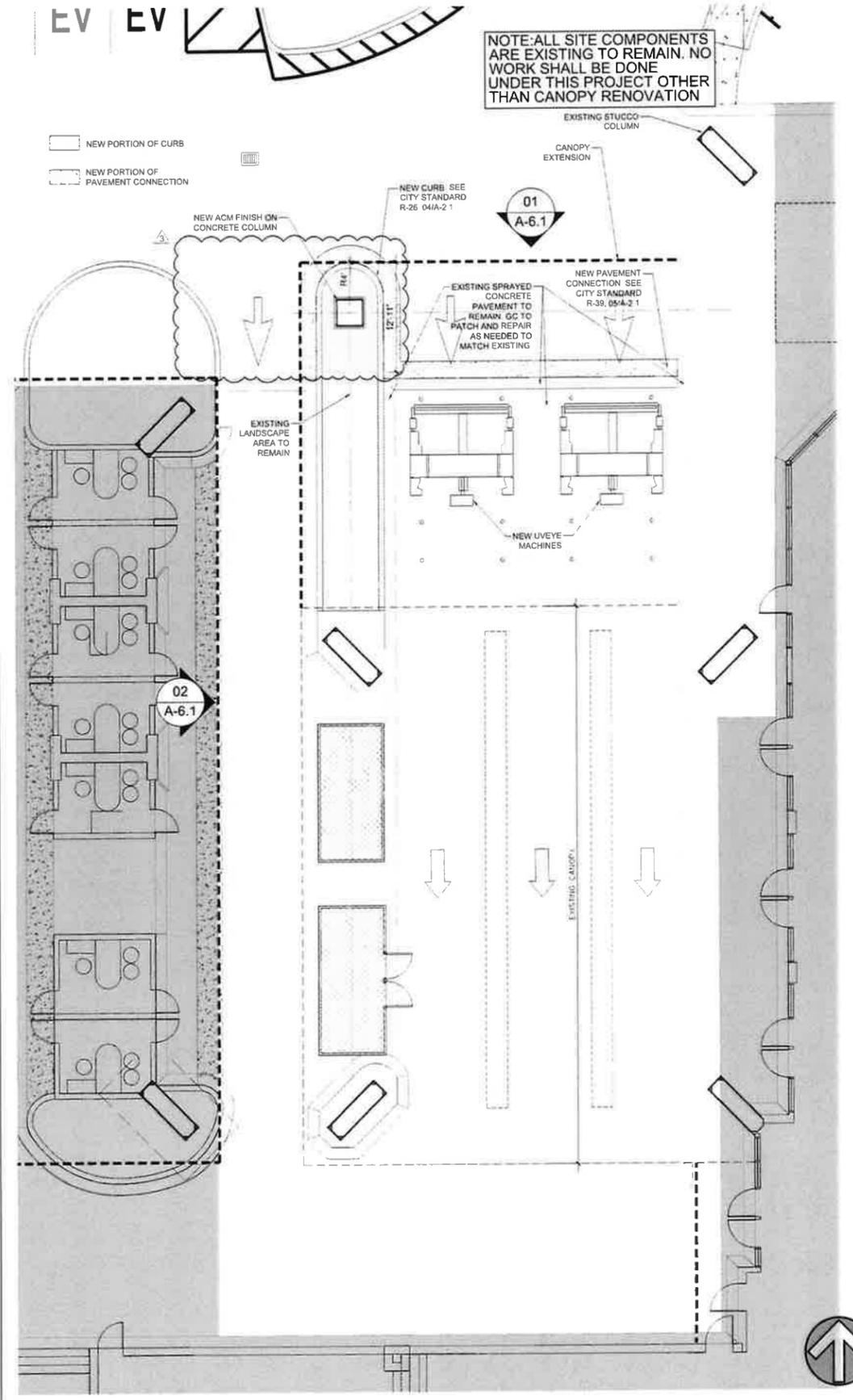
04



DEMOLITION FLOOR PLAN

SCALE: 3/8"=1'-0"

02



PROPOSED FLOOR PLAN @LEXUS

SCALE: 1/4"=1'-0"

01

REVISIONS
12/05/2024
02/19/2025
06/13/2025

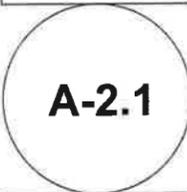


CONSULTANT
ALEJANDRO ECHEVERRY
 FI Reg # 95254
 7/30/2025

STILES ARCHITECTURAL GROUP
 201 East Las Olas Blvd
 Fort Lauderdale, Florida
 954 - 627 - 9180 33301
 FL. REG # AA-26001798

CANOPY RENOVATION FOR:
LEXUS OF PEMBROKE PINES
 16150 WEST PINES BOULEVARD
 PEMBROKE PINES, FLORIDA , 33027

PROPOSED FLOOR PLAN

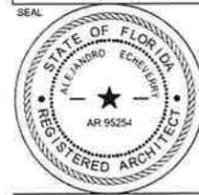


PROJECT NO
 74145
 DRAWN BY
 A R
 CHECKED BY
 A E
 DATE
 MARCH 25, 2025

REVISIONS

▲	BUILDING COMMENTS
	02/19/2025

SEAL



CONSULTANT
ALEJANDRO ECHEVERRY
Fl Reg # 95254
7/30/2025

STILES ARCHITECTURAL GROUP
201 East Las Olas Blvd
Fort Lauderdale, Florida
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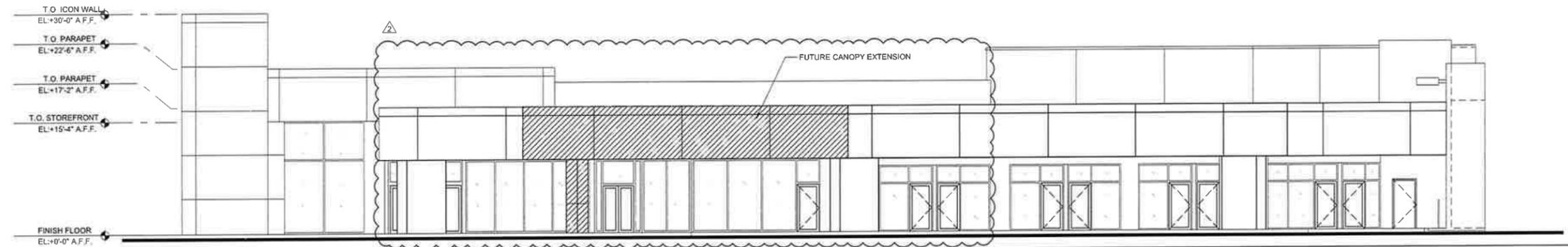


CANOPY RENOVATION FOR:
LEXUS OF PEMBROKE PINES
16150 WEST PINES BOULEVARD
PEMBROKE PINES, FLORIDA , 33027

EXTERIOR ELEVATIONS

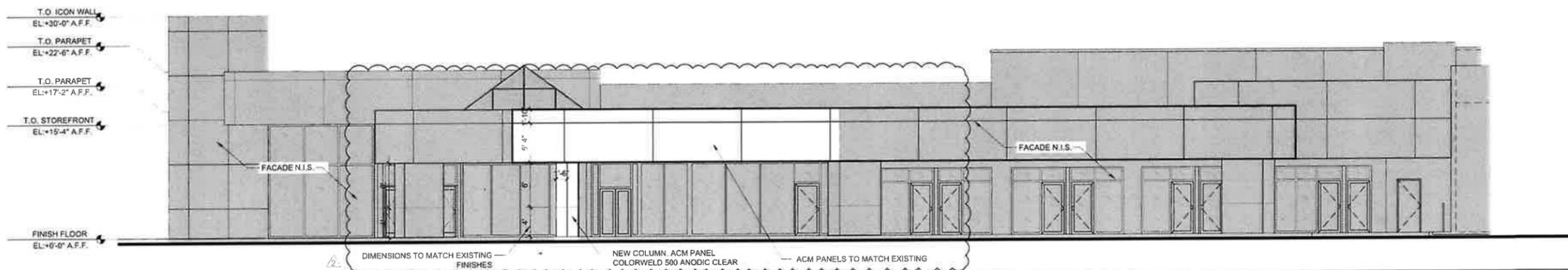
A-6.1

PROJECT NO
7415
DRAWN BY
A R
CHECKED BY
A E
DATE
MARCH 25, 2025



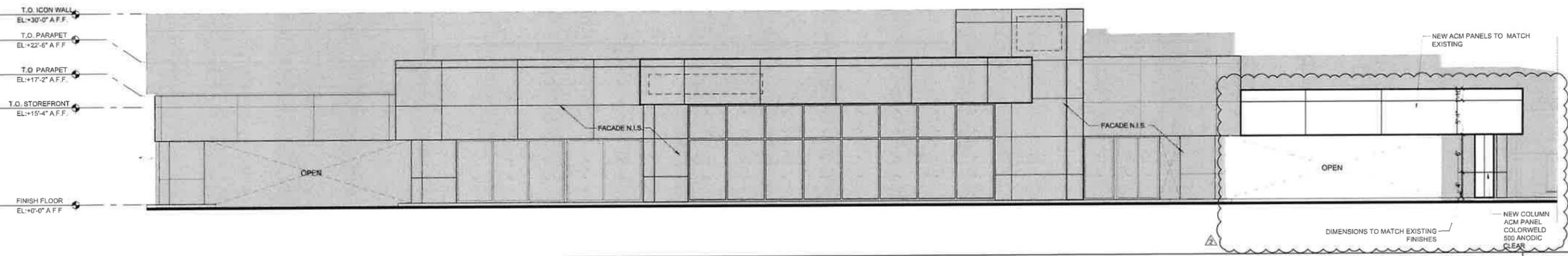
EXISTING NORTH ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0" 03



WEST ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0" 02



NORTH ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0" 01

REVISIONS:

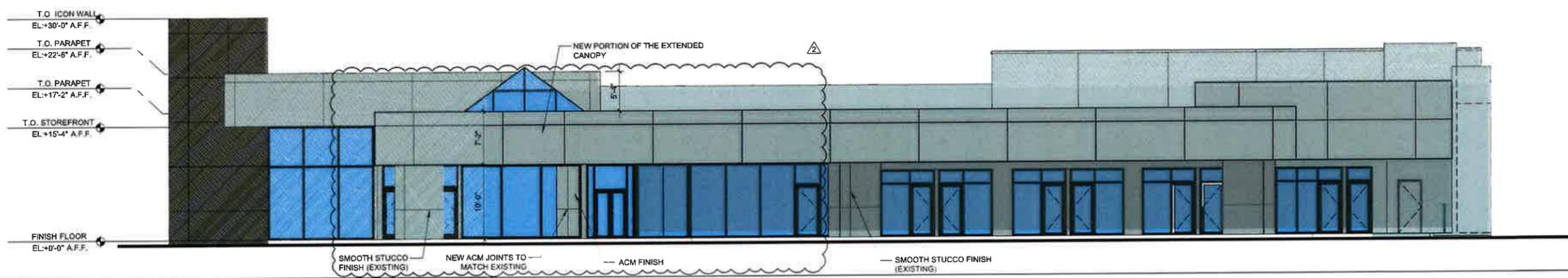
▲	BUILDING COMMENTS
	02/19/2025

SEAL

CONSULTANT
ALEJANDRO ECHEVERRY
 Fl Reg # 95254
 7/30/2025

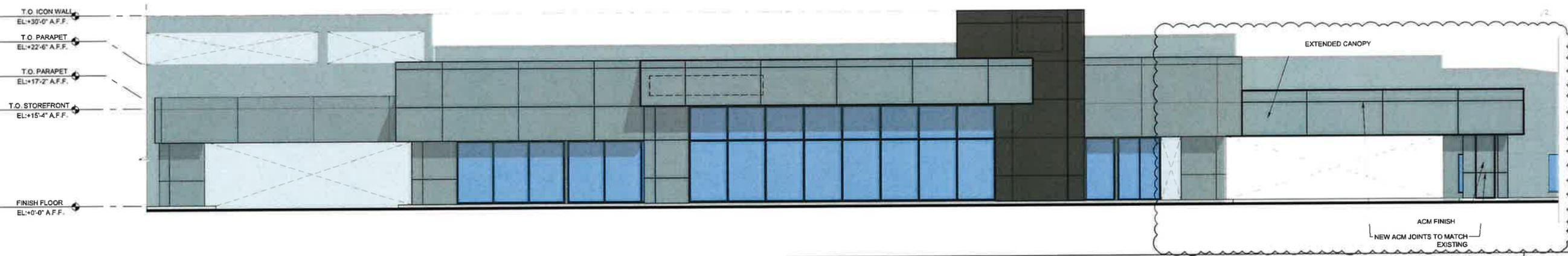
LEGEND 03

- SHERWIN WILLIAMS 6254
- EXISTING CLEAR ANODIZED ALUMINUM HIGH MISSILE IMPACT RATED GLAZING SYSTEM
- EXISTING GLAZING FRAME
- EXISTING ACM PANELS ARCONIC-COLORWELD 500 ANODIC CLEAR



WEST ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0" 02



NORTH ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0" 01

STILES ARCHITECTURAL GROUP
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 FL. REG # AA-26001798

**CANOPY RENOVATION FOR:
 LEXUS OF PEMBROKE PINES**
 16150 WEST PINES BOULEVARD
 PEMBROKE PINES, FLORIDA , 33027

EXTERIOR ELEVATIONS

A-6.2

PROJECT NO
 7415
 DRAWN BY:
 A.R
 CHECKED BY:
 A.E
 DATE:
 MARCH 25, 2025