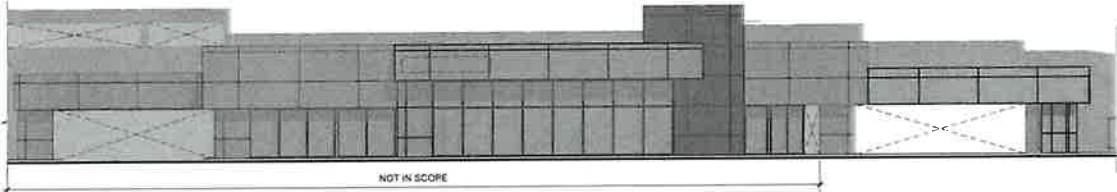


PROPOSED CANOPY RENOVATION FOR:  
**LEXUS OF PEMBROKE PINES**

16150 WEST PINES BOULEVARD  
PEMBROKE PINES, FLORIDA , 33027



OWNER  
COUNTYLINE AUTO CENTER, INC.  
LEXUS OF PEMBROKE PINES  
16150 W. PINES BLVD.  
PEMBROKE PINES, FL 33027

ARCHITECT  
STILES ARCHITECTURAL GROUP  
201 E. LAS OLAS BLVD.  
FT. LAUDERDALE, FL 33301  
(954) 627-9180

CIVIL  
SCHEFFER, MOTE & RICKS  
888 E. LAS OLAS BLVD, SUITE 201  
FT. LAUDERDALE, FL 33301  
(954) 240-3230

**BUILDING LIMITATIONS: (NO MODIFICATIONS)**

**ALLOWABLE HEIGHT (NO MODIFICATIONS)**

**PARKING GARAGE**  
(TABLE 504.3)  
MODERATE HAZARD STORAGE (S-1)  
SPRINKLERED, 75'-0"  
ACTUAL BUILDING HEIGHT:  
30'-4" TOP OF PARKING DECK  
45'-2" TOP OF STAIR TOWER

**SHOWROOM**  
(TABLE 504.3)  
BUSINESS (B)  
SPRINKLERED, 75'-0"  
ACTUAL BUILDING HEIGHT:  
22'-6" TOP OF PARAPET  
30'-0" TOP OF ICON WALL

**ALLOWABLE STORIES (NO MODIFICATIONS)**

**PARKING GARAGE**  
(TABLE 504.4)  
MODERATE HAZARD STORAGE (S-1)  
SPRINKLERED: 3 STORIES  
ACTUAL BUILDING STORIES: 3

**SHOWROOM**  
(TABLE 506.2)  
BUSINESS (B)  
SPRINKLERED: 4 STORIES  
ACTUAL BUILDING STORIES: 1

**ALLOWABLE AREA (NO MODIFICATIONS)**

**PARKING GARAGE**  
(TABLE 506.2)  
MODERATE HAZARD STORAGE (S-1)  
SPRINKLERED: 70,000 S.F.  
ACTUAL BUILDING: EXISTING TO REMAIN

**SHOWROOM**  
(TABLE 506.2)  
BUSINESS (B)  
SPRINKLERED: 92,000 S.F.  
ACTUAL BUILDING: EXISTING TO REMAIN

**PROJECT DATA:**

NOTE: ALL SITE COMPONENTS ARE EXISTING TO REMAIN INCLUDING SITE LIGHTING, PAVEMENT, STRIPING, ETC. NO WORK SHALL BE DONE UNDER THIS PERMIT OTHER THAN PARTIAL FACADE RENOVATION

1. JURISDICTION	CITY OF PEMBROKE PINES, FLORIDA
2. ZONING DESIGNATION	B-3
3. ADDRESS	16150 W. PINES BLVD
4. SITE AREA	840,765 S.F. (19.3 ACRES)
5. BUILDING AREA (THIS SUBMITTAL)	PARTIAL FACADE WORK ONLY
6. APPLICABLE CODE(S)	FLORIDA BUILDING CODE - 2023 (8th ED.) FLORIDA ACCESSIBILITY CODE - 2023 (8th ED.) FFPC - 2023 (8th EDITION) FLORIDA EXISTING BUILDING CODE 2023 (8th ED.) FLORIDA FIRE PREVENTION CODE 2023 (8TH ED.)

7. TYPE OF CONSTRUCTION	II-B
8. OCCUPANCY CLASSIFICATION	B, S-1
9. BUILDING HEIGHT:	SHOWROOM: 30'-0" (EXISTING, NO MODIFICATION) GARAGE: 30'-4" (EXISTING, NO MODIFICATION) 45'-2" (EXISTING, NO MODIFICATION)
10. FAR	0.58

REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1:1.14.4  
NO FIRE SPRINKLER WORK REQUIRED. FIRE SPRINKLER SYSTEM TO REMAIN AS ORIGINALLY APPROVED  
NO FIRE ALARM WORK REQUIRED. FIRE ALARM SYSTEM TO REMAIN AS ORIGINALLY APPROVED

**SETBACKS:**

(NO MODIFICATIONS)	MINIMUM	PROVIDED
NORTH	30'-0"	287'-2" EXISTING
SOUTH	100'-0"	178'-1" EXISTING
EAST	10'-0"	359'-10" EXISTING
WEST	100'-0"	109'-0" EXISTING

FIRE DEPARTMENT ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT. NFPA 1-18.2.3.4.1.1

COPP ENGINEERING DEPARTMENT VERIFICATION IS REQUIRED. COPP 154.35

FIRE DEPARTMENT ROADS SHALL HAVE A MINIMUM CENTERLINE TURNING RADIUS OF 50' MIN.

**BUILDING AREAS:**

DEALERSHIP					
FACILITY	SHOWROOM	OFFICES	SUPPORT	MISC	PARTS SERVICE
TOTAL	15,511 SF	12,160 SF	9,133 SF	6,386 SF	18,055 SF 85,589 SF
TOTAL	148,096 SF				

NOT IN SCOPE

EXISTING (NO MODIFICATIONS)

**SITE DATA:**

BUILDING FOOTPRINT:	208,515 SF (24.9%)
+ HARDSCAPE AREA:	375,729 SF (44.7%)
IMPERVIOUS AREA:	585,244 SF (69.6%)

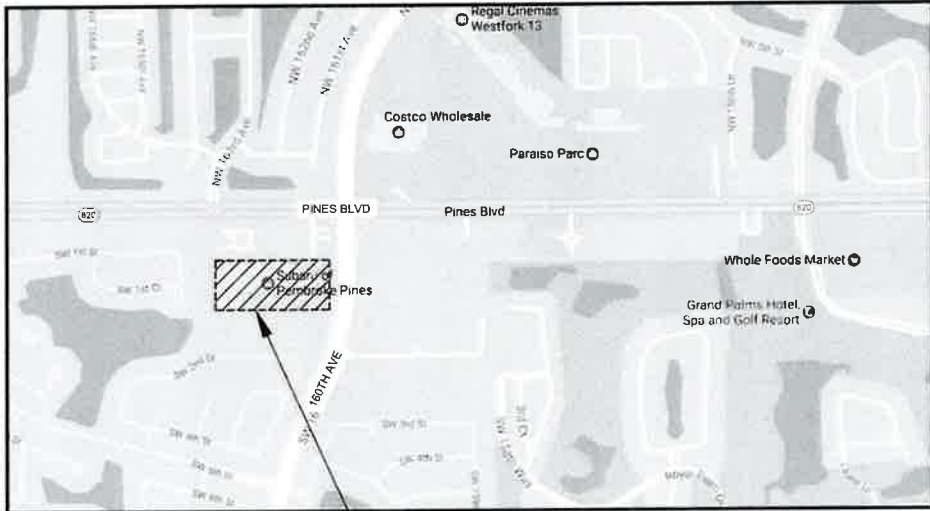
+ PERVIOUS AREA:	256,023 SF (30.4%) (EXISTING) + 56 SF (NEW LANDSCAPE) = 256,079 SF (30.4%)
TOTAL SITE AREA:	841,317 SF (100.0%)

EXISTING (NO MODIFICATIONS)

**PARKING CALCULATIONS:**

TOTAL PARKING PROVIDED (GROUND LEVEL) 231  
(226 REGULAR AND 5 REQ'D HANDICAPPED SPACES)

**CONSULTANTS**



SITE LOCATION

**ARCHITECTURAL**

A-0	COVER SHEET
A-1.0	OVERALL SITE PLAN
A-2.1	FLOOR PLAN
A-6.1	EXTERIOR ELEVATIONS
A-6.2	COLOR ELEVATIONS

PERMIT - 0710124	REV #1 - 12/05/24	REV #2 - 02/19/25	REV #3 - 08/13/25
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**BUILDING LIMITATION ANALYSIS**

PARCEL "C" OF "PEMBROKE SHORES", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157 AT PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PORTIONS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 17, TOWNSHIP 51 SOUTH, RANGE 40 EAST, THENCE SOUTH 89°39'58" WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 17, A DISTANCE OF 1137.77 FEET; THENCE SOUTH 00°20'02" EAST, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING SAID POINT LYING ON THE NORTH LINE OF SAID PARCEL "C"; THENCE CONTINUE SOUTH 00°20'02" EAST, A DISTANCE OF 228.00 FEET; THENCE SOUTH 89°29'58" WEST, ALONG A LINE 328.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 175.00 FEET TO A POINT ON THE ARC OF A CIRCULAR CURVE TO THE LEFT, AT WHICH THE RADIUS BEARS SOUTH 55°18'32" WEST, THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 175.00 FEET AND A CENTRAL ANGLE OF 10°38'34", A DISTANCE OF 32.51 FEET TO THE POINT OF TANGENCY; THENCE NORTH 45°20'02" WEST, A DISTANCE OF 116.04 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 65.00 FEET AND A CENTRAL ANGLE OF 45°00'00", A DISTANCE OF 51.05 FEET TO THE POINT OF TANGENCY; THENCE NORTH 00°20'02" WEST, A DISTANCE OF 75 FEET; THENCE NORTH 89°39'58" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF PINES BOULEVARD, AS DESCRIBED IN DEED BOOK 181 AT PAGE 33 AND DEED BOOK 728 AT PAGE 283 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, ALSO BEING THE NORTH LINE OF SAID PARCEL "C", A DISTANCE OF 296.82' TO THE POINT OF BEGINNING

AND

A PORTION OF PARCEL "C" "PEMBROKE SHORES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 157, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERNMOST NORTHEAST CORNER OF SAID PARCEL "C"; THENCE SOUTH 89°39'58" WEST, ALONG THE NORTHERLY LINE OF SAID PARCEL "C", A DISTANCE OF 204.87 FEET; THENCE SOUTH 00°20'02" EAST, A DISTANCE OF 245 FEET TO THE EASTERLY LINE OF SAID PARCEL "C"; THENCE NORTH 01°46'00" WEST, A DISTANCE OF 205.95 FEET; THENCE NORTH 46°03'01" WEST, A DISTANCE OF 48.87 FEET TO THE POINT OF BEGINNING.

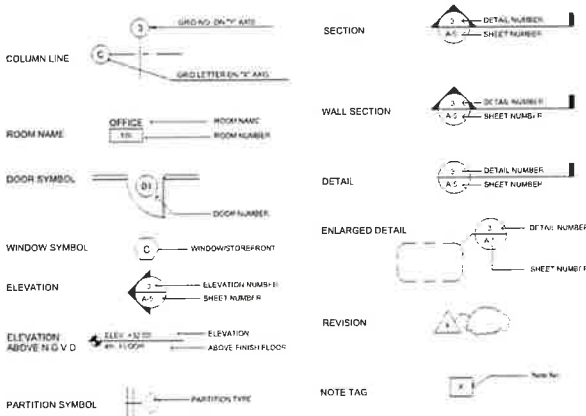
(BEARINGS BASED ON THE NORTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 17 AS SHOWN ON THE CRAVEN-THOMPSON AND ASSOC. RESURVEY AS RECORDED IN MISCELLANEOUS PLAT BOOK 6 AT PAGE 4 OF SAID PUBLIC RECORDS, HAVING A BEARING OF SOUTH 89°39'58" WEST.)

SAID LANDS SITUATE IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA AND CONTAIN 19.314 ACRES, MORE OR LESS.

**VICINITY MAP**

ABV	ABOVE	DB	DOOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			</
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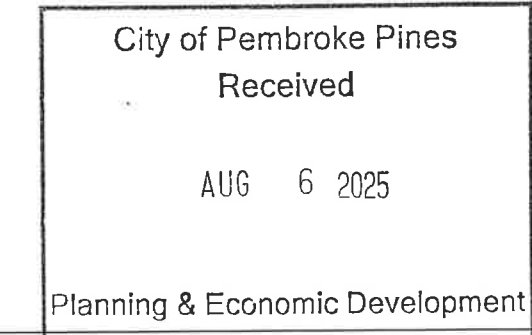
**INDEX OF DRAWINGS**



**LEGAL DESCRIPTION**

THE SCOPE OF WORK UNDER THIS PERMIT SHALL BE INCLUSIVE OF THE FOLLOWING

FACADE RENOVATION OF EXISTING DRIVE THROUGH SERVICE CANOPY DESIGN FOR A NEW LEXUS FAÇADE AT DRIVE THROUGH SERVICE CANOPY. SCOPE COMPRISES OF EXTENDING EXISTING CANOPY AND PLACING NEW SCANNER MACHINE. SCOPE OF WORK EXPLICITLY EXCLUDES ANY MEP, CIVIL, AND ANY OTHER DISCIPLINE NOT NAMED ABOVE. EXISTING IMPACT-RESISTANT STOREFRONT TO REMAIN THROUGHOUT



**ABBREVIATIONS AND SYMBOLS**

**PROJECT DATA**

REVISIONS

1	BUILDING COMMENTS
2	06/13/2025
3	
4	
5	

SEAL

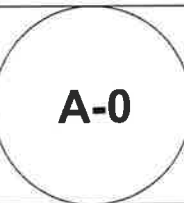
CONSULTANT  
**ALEJANDRO ECHEVERRY**  
Fl Reg # 95254  
7/30/2025

**STILES ARCHITECTURAL GROUP**  
201 East Las Olas Blvd  
Fort Lauderdale, Florida.  
954 - 627 - 9180 33301  
FL REG # AA-26001798

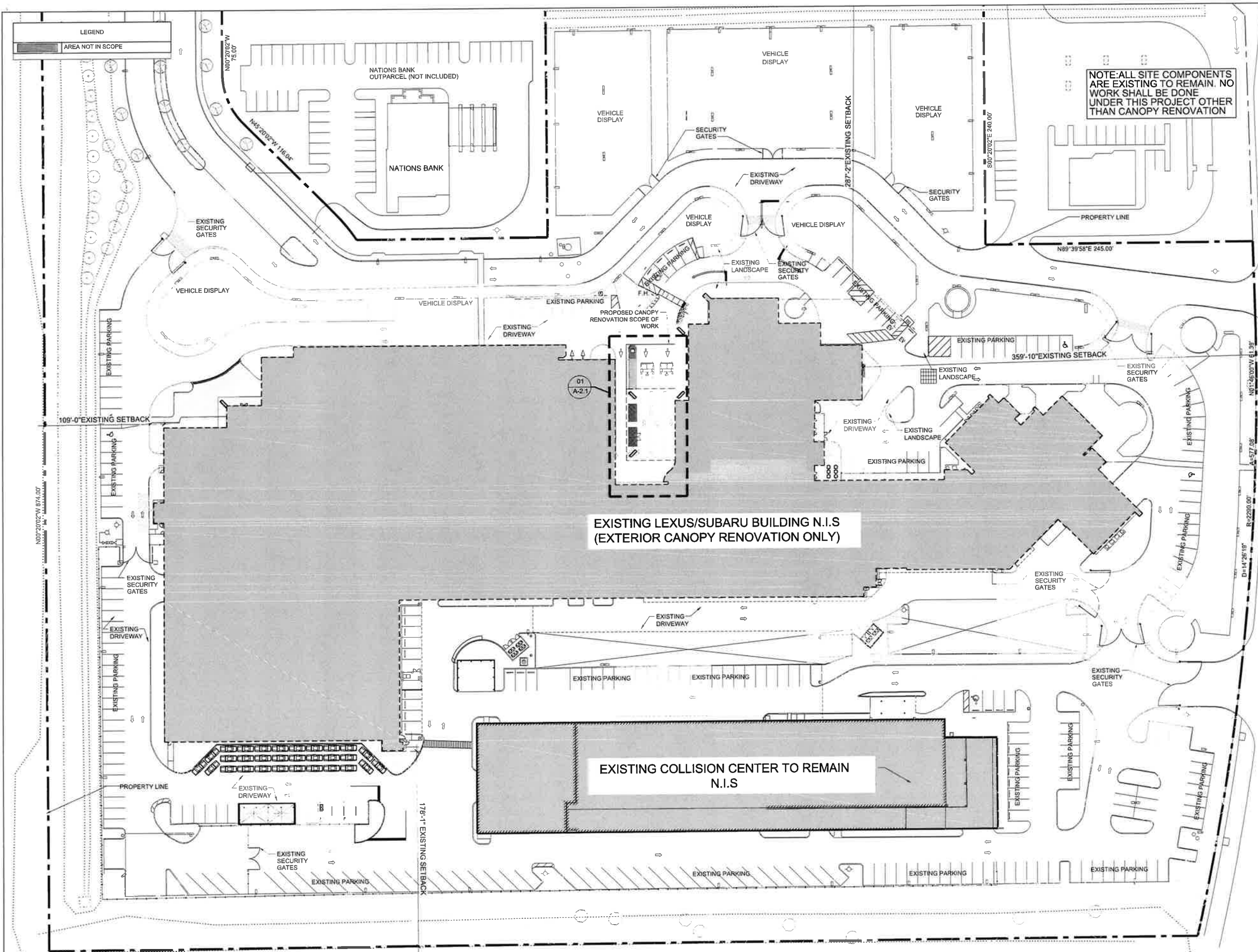


CANOPY RENOVATION FOR:  
**LEXUS OF PEMBROKE PINES**  
16150 WEST PINES BOULEVARD  
PEMBROKE PINES, FLORIDA , 33027

COVER SHEET



PROJECT NO  
74145  
DRAWN BY  
A R  
CHECKED BY  
A E  
DATE  
MARCH 25, 2025



PROPOSED OVERALL SITE PLAN

SCALE: 1"=40'-0"

01

REVISIONS

SEAL

CONSULTANT  
ALEJANDRO ECHEVERRY  
FL Reg # 95254  
7/30/2025

STILES  
ARCHITECTURAL GROUP

201 East Las Olas Blvd  
Fort Lauderdale, Florida  
954 - 627- 9180 33301  
FL REG # AA-26001798

CANOPY RENOVATION FOR:

LEXUS OF PEMBROKE PINES

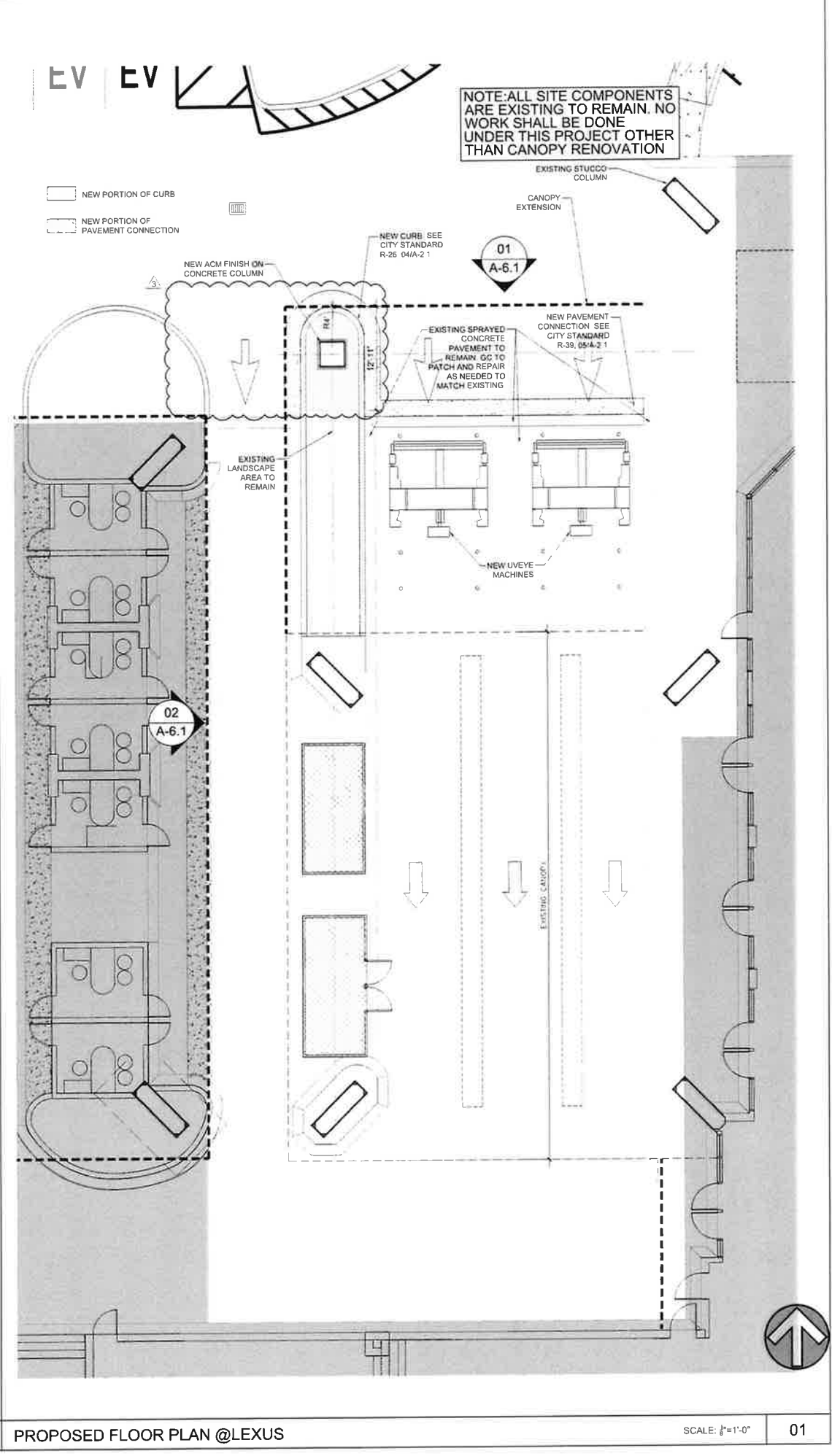
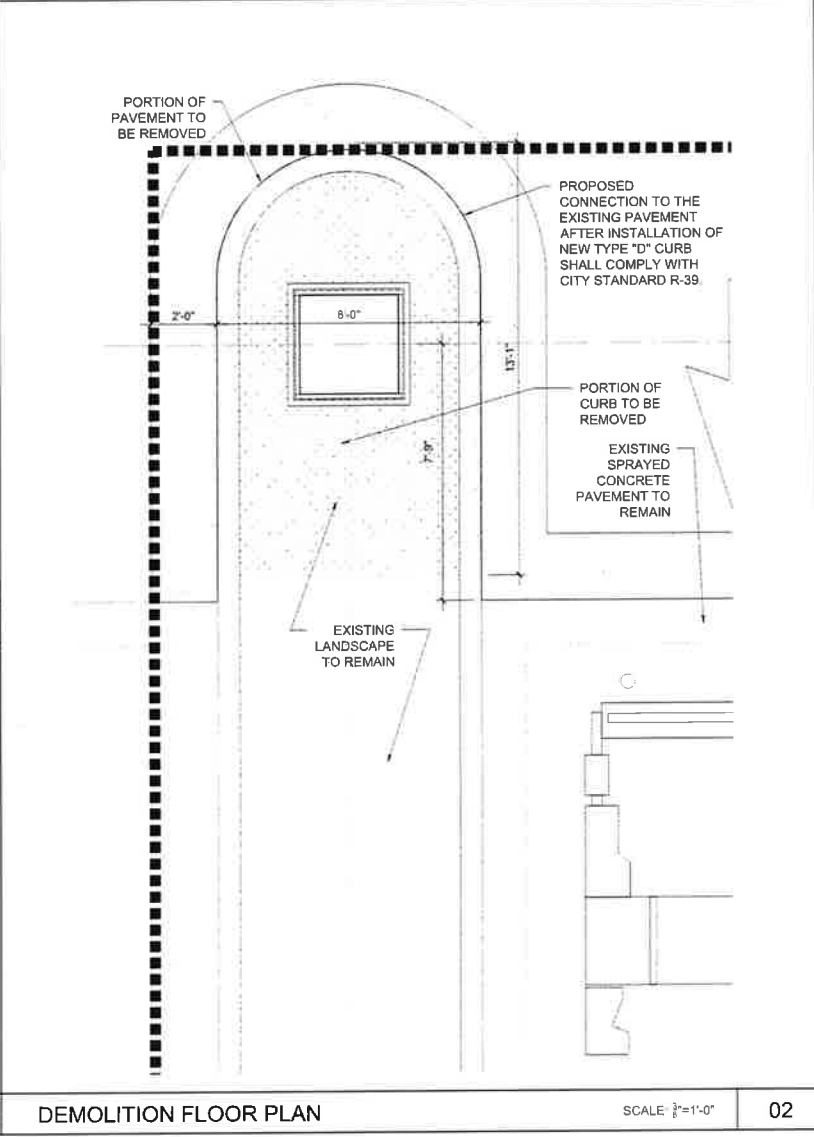
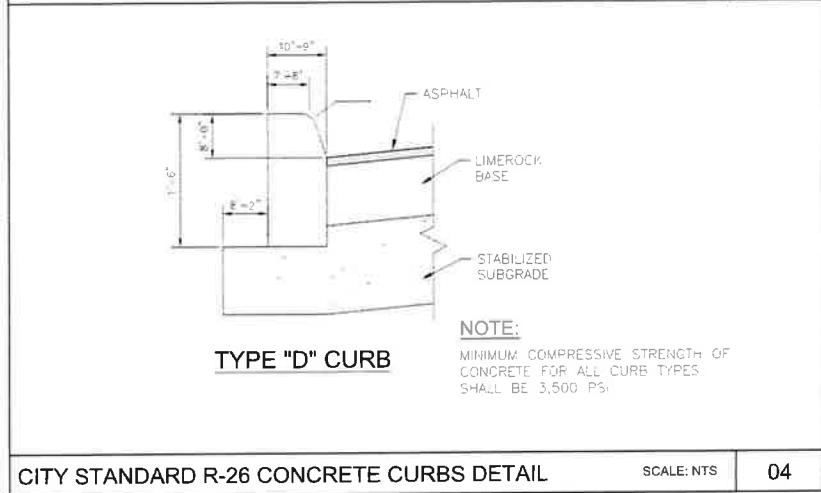
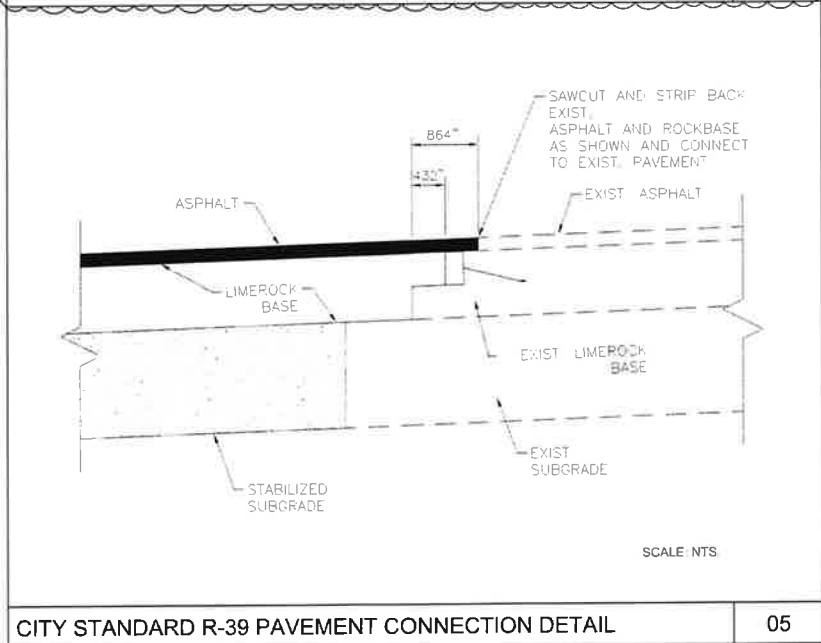
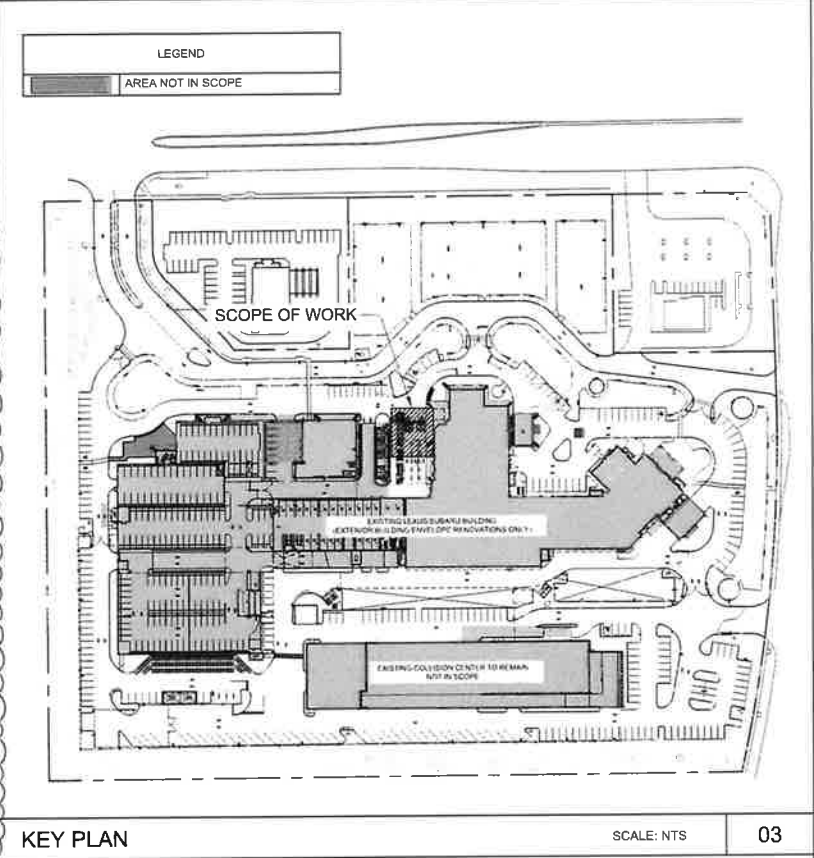
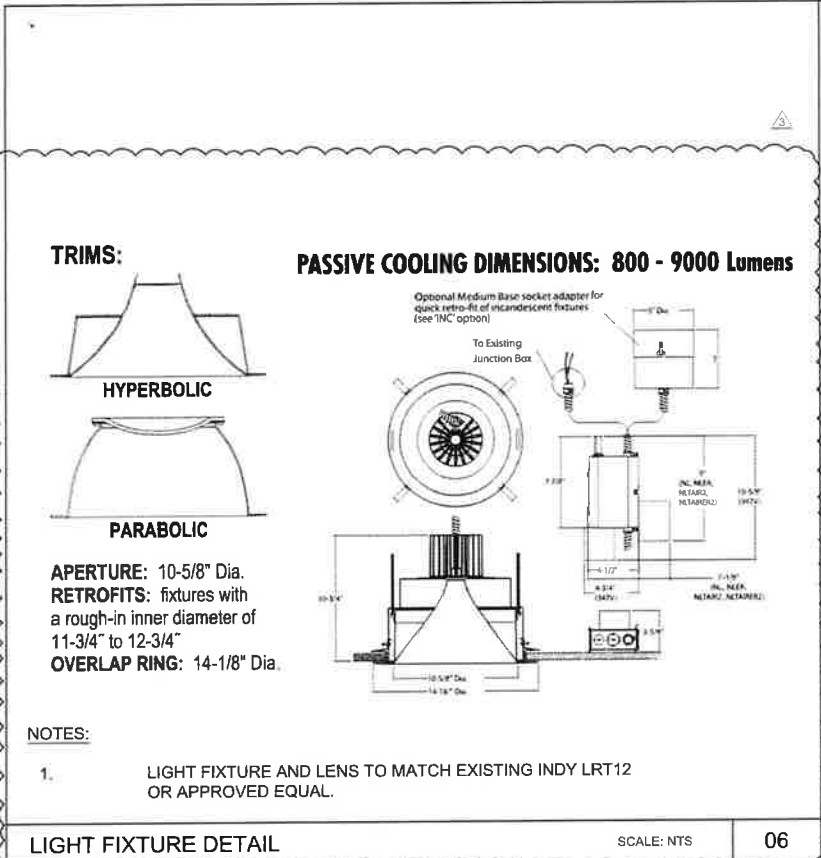
16150 WEST PINES BOULEVARD  
PEMBROKE PINES, FLORIDA , 33027

PROPOSED OVERALL  
SITE PLAN

A-1.0

PROJECT NO.  
74145  
DRAWN BY :  
A.R  
CHECKED BY  
A.E  
DATE:  
MARCH 25 2025





**REVISIONS:**

1	BUILDING COMMENTS	12/05/2024
2	BUILDING COMMENTS	02/19/2025
3	BUILDING COMMENTS	06/13/2025

SEAL

STATE OF FLORIDA

ALEJANDRO ECHEVERRY

REGISTERED ARCHITECT

AR 95254

CONSULTANT

ALEJANDRO ECHEVERRY

FL Reg # 95254

7/30/2025

**STILES ARCHITECTURAL GROUP**

201 East Las Olas Blvd

Fort Lauderdale, Florida

954 - 627 - 9180

33301

FL REG # AA-26001798

**CANOPY RENOVATION FOR:**

**LEXUS OF PEMBROKE PINES**

16150 WEST PINES BOULEVARD

PEMBROKE PINES, FLORIDA , 33027

**PROPOSED FLOOR PLAN**

**A-2.1**

**PROJECT NO**

74145

**DRAWN BY**

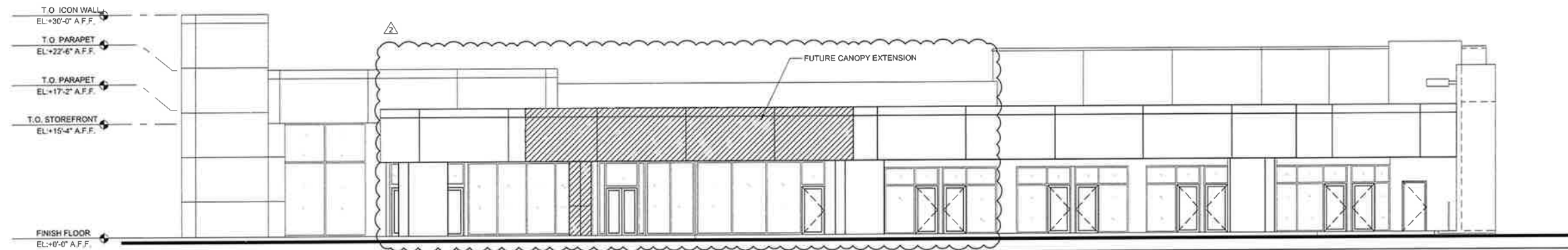
A.R.

**CHECKED BY**

A.E.

**DATE**

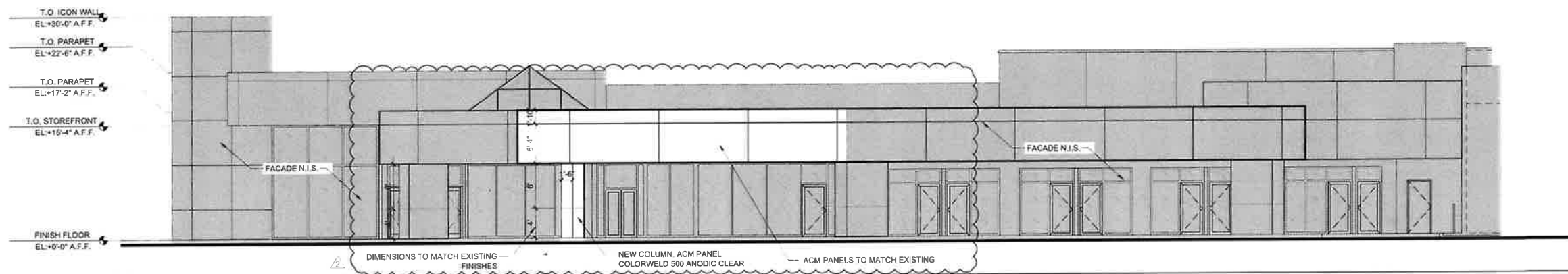
MARCH 25, 2025



EXISTING NORTH ELEVATION - SHOWROOM

SCALE:  $\frac{1}{8}"=1'-0"$

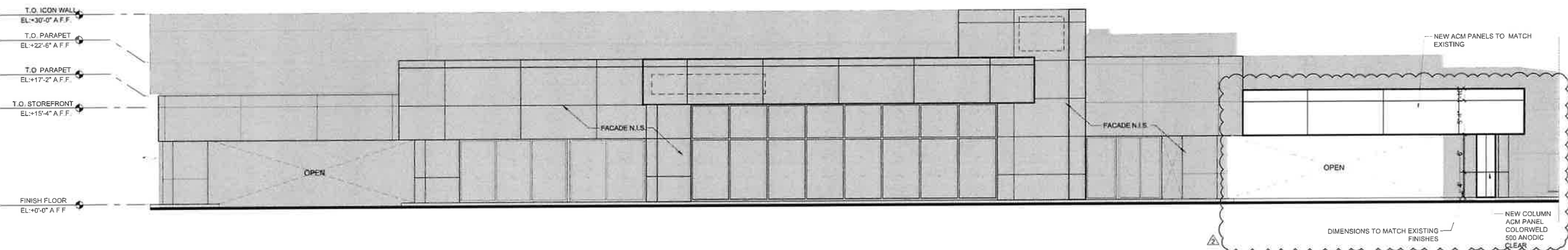
03



WEST ELEVATION - SHOWROOM

SCALE:  $\frac{1}{8}"=1'-0"$

02



NORTH ELEVATION - SHOWROOM

SCALE:  $\frac{1}{8}"=1'-0"$

01

REVISIONS
BUILDING COMMENTS 02/19/2025



CONSULTANT  
ALEJANDRO ECHEVERRY  
Fl Reg # 95254  
7/30/2025

**STILES**  
ARCHITECTURAL GROUP  
201 East Las Olas Blvd  
Fort Lauderdale, Florida  
954 - 627 - 9180 33301  
FL REG # AA-26001798



CANOPY RENOVATION FOR:  
**LEXUS OF PEMBROKE PINES**  
16150 WEST PINES BOULEVARD  
PEMBROKE PINES, FLORIDA , 33027

EXTERIOR ELEVATIONS

**A-6.1**

PROJECT NO  
74145  
DRAWN BY:  
A R  
CHECKED BY:  
A E  
DATE:  
MARCH 25, 2025

REVISIONS:

BUILDING COMMENTS

02/19/2025

SEAL

STATE OF FLORIDA

ALEJANDRO ECHEVERRY

REGISTERED ARCHITECT

AR 95254

CONSULTANT

ALEJANDRO ECHEVERRY

FL Reg # 95254

7/30/2025

**STILES**  
ARCHITECTURAL GROUP  
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Fort Lauderdale, Florida  
954 - 627 - 9180 33301  
FL REG # AA-28001798



CANOPY RENOVATION FOR:  
**LEXUS OF PEMBROKE PINES**  
16150 WEST PINES BOULEVARD  
PEMBROKE PINES, FLORIDA , 33027

EXTERIOR ELEVATIONS

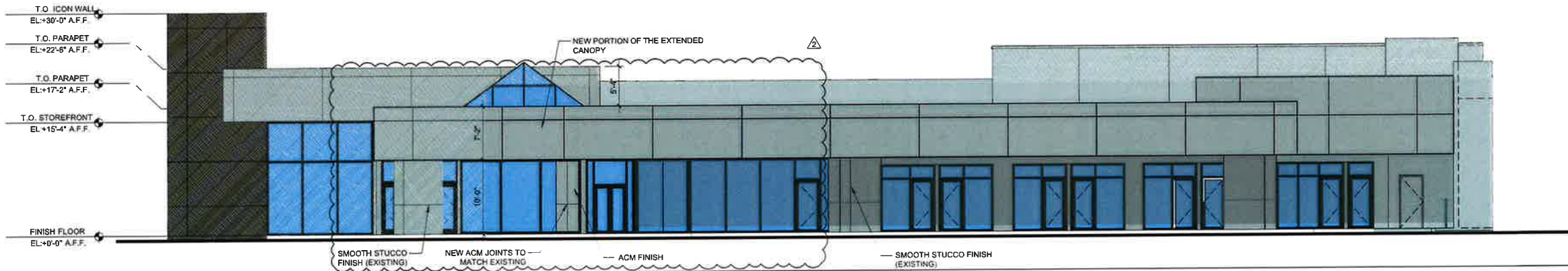
A-6.2

PROJECT NO  
74145  
DRAWN BY:  
A.R  
CHECKED BY:  
A.E  
DATE:  
MARCH 25, 2025

- SHERWIN WILLIAMS 6254
- EXISTING CLEAR ANODIZED ALUMINUM  
HIGH MISSILE IMPACT RATED GLAZING  
SYSTEM
- EXISTING GLAZING FRAME
- EXISTING ACM PANELS ARCONIC -  
COLORWELD 500 ANODIC CLEAR

LEGEND

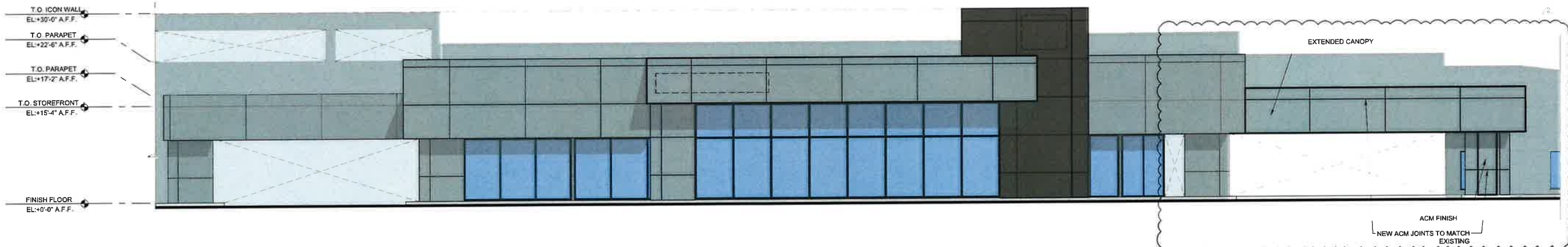
03



WEST ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0"

02



NORTH ELEVATION - SHOWROOM

SCALE: 1/8"=1'-0"

01