

# *Pembroke Gardens*

## SIGNAGE MASTER PLAN

Submitted: June 11, 2025

# Pembroke Gardens

## MASTER SIGN PLAN

### Introduction

This Master Sign Plan has been created to ensure a high level of aesthetic quality and creativity in the creation of all signage and graphic design elements associated with the Center.

Individual tenant identity is facilitated, while at the same time controlling the overall aesthetic qualities of the Center. Tenants with registered brand identities are encouraged to use them, and those who do not are encouraged to work with a graphic design professional in the creation on their sign in conjunction to the criteria set forth herein.

All sign construction is to be completed, once approved by the landlord/owner, by a licensed sign contractor approved by the landlord/owner, in compliance with the Master Sign Plan. All signs must be engineered to meet all local, state, and national codes. All signs on any space or building shall be subject to the provisions of this master sign plan. Any signs not specifically covered within this master sign plan shall be submitted to the landlord/owner for written approval. This sole judge of the acceptability of any submission shall be the city, the landlord/owner and its consultants.

Approval by the landlord/owner in no way relieves the sign contractor or tenant from the responsibility of obtaining a valid City of Pembroke Pines sign permit acquired through the standard City of Pembroke Pines procedures prior to beginning any fabrication of signage. A copy of the approved permit must be submitted to the landlord/owner prior to the commencement of any work on site.

The landlord/owner may from time to time, at their sole discretion, modify or change these guidelines to reflect changes at the Center with the City of Pembroke Pines approval.

Shared signs are those that contain messaging for both Pembroke Gardens Commercial and Pembroke Gardens Residential ("Shared").

## Pembroke Gardens

### MASTER SIGN PLAN CRITERIA

Sign Types to be controlled by this master plan shall include, but are not limited to, the following:

#### 1. PERMANENT SIGNAGE

- A. Shared Primary, Secondary, Project and Monument
- B. Directional Wayfinding
- C. Shared Digital Directory Signs

- D. Retailer Signage
  - a. Wall Signage
  - b. Graphic Area
  - c. Non-Wall Signage – Blade, Awning
  - d. Approval Process
- E. Perimeter Buildings – Wall, Non Wall, Ground Signs
- F. Projecting Signs
- G. Residential Building Identity Signs
- H. Entry Arches with Signage
- I. Mural and Super Graphics
- J. Exterior Menu Boards at Restaurants
- K. Time Limited Parking

**All permanent signage shall be one or a combination of the following:**

- Internally illuminated reverse channel letters (halo effect)
- Internally illuminated channel letters flush mounted individually.
- Non-Illuminated PVC or aluminum letters with gooseneck or some other type of external light fixture to shine on the letter.
- Externally Illuminated signage is permitted however cannot be flashing or rotating. Colored illumination is permitted, and color changes are permitted for special events or promotions with landlord approval. Lighting shall meet the standards established within the City's Land Development Code.

**2. TEMPORARY SIGNAGE**

- A. Wall Signage
- B. Special Event signs
- C. Construction Barricade/Fencing and Banners
- D. Project Announcing
- E. Rental Office Trailer
- F. Seasonal Decorations
- G. Event / Brand Banners

**3. PROHIBITED SIGNAGE**

# EXHIBITS

1. Master Site Plan, Sign Location Plan & Residential Sign Legend
2. Shared Primary Identification Signage
3. Shared Secondary Identification Signage
4. Directional Signage
5. Shared I- 75 Monument Sign
6. Monument Building 8000
7. Shared Monument I-75 Digital Conceptual
8. Residential Entrance Monument Signage
9. Residential Directional Post & Panel Signage
10. Shared Digital Directory Detail
11. Entry Archway Detail
12. Freestanding Signage
13. Seasonal/Pop Up Store Signage Elevation Sample
14. Tenant Blade Signage
15. Pole Banner Signage
16. Time-Limited/To Go Signage
17. Project Announcing Signage
18. Property Logo Spec Sheet
19. Front & Rear Retailer Facade
20. Residential Building Identity Signage
21. Shared Parking Garage Entrance Signage

22. Projecting/Grand Blade Sign

23. External Illuminated Signage/Mural/Super Graphic

## SIGN TYPES

### 1. PERMANENT SIGNAGE

#### A. Shared Primary, Secondary, Project and Monument

Signage identifying Pembroke Gardens and Pembroke Gardens Residential shall be permitted along 145<sup>th</sup> Avenue, Pines Boulevard, and I-75. Such signage shall not display retailer names, displaying only the name and logo of Pembroke Gardens and Pembroke Gardens Residential, and shall be illuminated, either internally or externally with ground mounted lighting fixtures.

##### 1. Primary Identification Sign

- a) One freestanding shared sign shall be located along 145<sup>th</sup> Avenue at the access point nearest Pines Boulevard at the location designated on **Exhibit 2**, Signage Plan (the “Primary Sign”).
- b) The Primary Sign shall be architecturally consistent with Pembroke Gardens and Pembroke Gardens Residential general design theme as depicted on **Exhibit 2**
- c) The dimensions of the Primary Sign shall be as indicated on **Exhibit 2**.
- d) Adjacent, but not attached, to the Primary Sign shall be a tower feature as shown and dimensioned on **Exhibit 2**.

##### 2. Secondary Identification Signs

- a) Because access through property not owned by the owner of Pembroke Gardens and Pembroke Gardens Residential has been required by the County of Broward as part of the platting process, two (2) smaller freestanding shared signs may be located along 145<sup>th</sup> Avenue, one at each of the offsite access points at the locations designated on **Exhibit 3**, Signage Plan (the “Secondary Signs”) to direct vehicular and pedestrian traffic to Pembroke Gardens from 145<sup>th</sup> Avenue.
- b) The Secondary Signs shall be architecturally consistent with Pembroke Gardens and Pembroke Gardens Residential general design theme as depicted on **Exhibit 3**
- c) The dimensions of the Secondary Signs shall be as indicated on **Exhibit 3**. Changes to the design and dimensions are permitted in

accordance with the guidelines and upon review and approval by The City of Pembroke Pines.

- d) The Secondary Identification sign at the intersection of SW 145 Avenue and SW 5th Street, as an alternative, a tower element as shown on **Exhibit 3** Supplement and located on the north side of SW 5th Street to mirror the tower element constructed as part of the residential project and as shown on **Exhibit 3** Supplement is permitted to be installed and the existing Secondary Sign at the east end of SW 5<sup>th</sup> Street will be removed.

3. Shared I-75 Monument Sign

- a) One freestanding shared sign shall be located along I-75 at the location designated on **Exhibit 5**, Signage Plan (the “I-75 Monument Sign”).
- b) The I-75 Monument Sign shall be architecturally consistent with Pembroke Gardens and Pembroke Gardens Residential general design theme as depicted on **Exhibit 5**.
- c) The dimensions of the I-75 Monument Sign shall be as indicated on **Exhibit 5**.
- d) Additionally, but not attached, to the I-75 Monument Sign shall be a tower element designed for the Southwest corner of Bldg. 8000 as shown in **Exhibit 6**.
- e) The I-75 Monument Tower Feature may include two (2) shared digital Message Centers facing North and South to provide static, rotating images per FDOT and City of Pembroke Pines regulations. Units would be 16mm high brightness color LED Message Board with Rear ventilation. **Exhibit 7**

4. Residential Entrance Monument Sign

- a. One freestanding ground mounted monument sign shall be located at the new entrance adjacent to Pembroke Gardens Residential. Per current City Code Section 155.699 the sign shall be no larger than twenty-four (24) square feet, no taller than seven and a half (7.5) feet and no longer than seven (7) feet. Location designation shown on **Exhibit 1**, dimensions shown on **Exhibit 8**.
- b. The Residential Entrance Monument Sign shall be architecturally consistent with Pembroke Gardens Residential general design theme.

6. Monument – Hotel

A Hotel may be permitted one freestanding monument sign along I-75, provided the architectural design of the site and building have allowance for such a feature. See City Code.

B. Directional and Residential Directional Post & Panel Signage

Directional Signage shall be utilized to promote orderly and safe pedestrian and vehicular traffic. All such directional signage shall be of a uniform design which shall be consistent with the architectural design theme of Pembroke Gardens and Pembroke Gardens Residential, and will share elements of the freestanding signs, utilizing a uniform color scheme consisting of white/off white sign area with mid-tone accents/base and black/dark bronze lettering. **Exhibit 4.** Post & Panel poles on which residential directional signage is placed shall not exceed nine (9) feet in height. Graphic area of Post & Panel directional signage shall not exceed two (20) square feet. **Exhibit 9.** Fonts on directional signage shall all be consistent, except where directional to a particular retailer in which case the font may be trademarked fonts of such retailer. **Exhibit**

C. Shared Directional Directory Signs

In light of the size of Pembroke Gardens and Pembroke Gardens Residential, to promote the pedestrian atmosphere and to enhance the customer experience, up to fifteen (15) directories may be installed within Pembroke Gardens at the locations shown on **Exhibit 10**, Directory Plan. Directories shall be 2-4 sided structures which display either statically or digitally a Pembroke Gardens map, Pembroke Gardens retailer names and Pembroke Gardens Residential, along with advertising for various users. Such directories shall all be of a single design which shall be consistent with the architectural design theme of Pembroke Gardens. **Exhibit 10** and City Code Section 155.699.

D. Retailer Signage

Primary Storefront / Wall Signs - Inline Retailers and Anchor Retailer

Inline Retailers or Anchor Retailer may be permitted to use colors, fonts, design styles, descriptive words, and logos that are consistent with their prototypical signage packages to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally. **Exhibit 19**

a. Location of Wall Signage on Façades

- i) Wall signage for all Inline Retailers shall be placed in the wall sign band area of twelve (12 ) feet to twenty-four (24) feet above the finished floor elevation of the building. Notwithstanding the foregoing, a Four Corner Inline Retailer shall be permitted to install wall signage up to thirty (30) feet above the finished floor elevation if the wall area

where the sign will be located is located on an architectural feature that extends more than thirty-five (35) feet in height.

- ii) Wall signage for the Anchor Retailer shall be placed in the wall sign band area of twelve (12) feet to thirty (30) feet from the finished floor elevations.
- b. With the exception of the Four Corner Inline Retailers as described in #vi and viii below, Each Inline Retailer and the Anchor Retailer shall be permitted a maximum graphic area as determined by the following formula.
  - i) Two (2) square feet of graphic area for every lineal foot of storefront for a wall sign. For example, an In-line Retailer with twenty (20) feet of frontage may have a sign which is up to forty (40) square feet.
  - ii) The width of Inline Retailer and the Anchor Retailer wall signs shall be limited to no more than eighty percent (80%) of the width of such Inline Retailer's storefront.
  - iii) Inline Retailers occupying less than 10,000 square feet shall have letters no more than 36" in height and retailers occupying 10,000 square feet or more shall be permitted letters no larger than 72" in height.
  - iv) Inline Retailers occupying less than 10,000 square feet shall be limited to 100 square feet of sign area. Inline Retailers and the Anchor Retailer occupying 10,000 square feet or more shall be limited to **250** square feet of sign area.
  - v) In addition to the storefront wall sign, if an Inline Retailer or the Anchor Retailer is located on an end-cap of a building, such Inline Retailer or the Anchor Retailer shall be permitted additional sign area on the side of the building or on the Secondary Building Face. Secondary sign area shall be less than or equal to the sign on the primary façade. The total sign area of both facades cannot exceed the total allowable sign area for the tenant bay.
  - vi) Four Corner Inline Retailers shall be permitted a graphic area of up to sixty-four (64) square feet per Frontage (per street elevation). The width of such wall sign shall be no greater than thirty-two (32') feet in length and shall have letters no greater than 36" in height. For example, a Four



Corner Inline Retailer may install a sixty-four (64) square foot sign on the Primary Frontage and sixty-four (64) square foot sign on the side of the building which faces the street.

**Exhibit 19**

- vii) Signage is permitted on the back side of the building where an active entrance exists. This signage would be considered as the Secondary Sign. Secondary sign area shall be less than or equal to the sign on the primary façade. The total sign area of both facades cannot exceed the total allowable sign area for the tenant bay.
- viii) Projecting/Grand Blade signage –A sign attached to and supported by a building or other structure, which extends at angle therefrom is permitted on end caps and four corners' tenants as defined herein. If an existing Four Corner or end cap tenant so decides to install a projecting sign, they must submit an application and approval under Administrative review. Projecting sign square footage shall be no more than 50SF per elevation and count toward the total sign square footage for the tenant bay. Tenants may have both a wall sign and projecting sign on the same elevation. **Exhibit 22**
  - a) Projecting signs shall be double-sided, and design must be architecturally compatible with the façade that they area placed on.
  - b.) Projecting sign shall be at minimum 12' from the grade to the bottom of sign and not more than 5' wide and 30' high. Letter height should be no more than 24" high. Projection should not be more than 5' from the façade.
  - c) Projecting Sign is not it permitted to protrude past the roof or parapet wall.
  - d) Projecting signs shall follow the illumination standards established in section one of the Master Sign Plan.
  - e) Projecting Signs shall not be in conflict with existing landscaping or other vertical site feature.

## Non-Wall Signage

- i) In addition to the permitted wall signage, Inline Retailers and Anchor Retailers are permitted and shall be encouraged to use text/graphics on awnings, canopies, decorative signage elements, plaques and blade signs to complement and add to the downtown design theme of Pembroke Gardens.
- ii) The maximum allowable area for such text/graphics on awnings, canopies, decorative signage elements and plaques shall be one (1) square foot for every lineal foot of canopied frontage.
- iii) Blade signs shall not count towards the square footage requirement in 2) above but shall be limited in size to 2' x 3' and shall have a minimum distance from the ground of 7'. **Exhibit 14**

### iv) Blade Signage – Facade Mounted

In locations where the landlord has not provided a hard canopy and the tenant design does not incorporate their own overhead entry feature, the tenant is permitted to use a façade mounted blade sign. One (1) blade sign is allowed per tenant frontage, but where a tenant has a corner location, one sign for each face of the storefront is permitted. **Exhibit 14**

- a) These are intended to be fixed to the façade of the building at approved locations. The tenant shall coordinate with the landlord's Project Manager for a suitable location. One (1) blade sign is allowed per tenant footage, but where a Tenant has a corner location, one sign for each face of the storefront is permitted.
- b) The lowest component of the sign shall be no lower than 8'-0" above finished sidewalk.
- c) All sign panels and content (letters, logo) must be dimensional, at a minimum of ¼" in thickness
- d) Though they are referred to as "blade" signs, projecting or sculptural elements may be

incorporated into the panel design. The panel may have depth to create a box, or multi-layered panel.

- e) All local codes and regulations must be addressed by the Tenant.

v) Blade Signage – Under-Canopy Mounted

- a) In location where the landlord has provided an overhead, hard canopy, the tenant is permitted to suspend a blade sign. One (1) blade sign is allowed per tenant frontage, but where a tenant has a corner location, one sign for each face of the storefront is permitted.
- b) The lowest component of the sign shall minimum be 8'-0" above finished sidewalk. Coordinate with Project Management to determine mounting height to maximize blade sign visibility.
- c) All sign panels and content (letters, logos) must be dimensional, at a minimum of ¼" in thickness.
- d) In locations where the tenant has implemented their own steel canopies, the tenant may suspend a canopy sign near their entrance.
- e) Though they are referred to as "blade" signs, projecting or sculptural elements may be incorporated into the panel design. The panel may have depth to create a box, or multi-layered panel.
- f) The image on the sign is limited to the tenant's trade name and logo only.
- g) The sign will be centered on the centerline of the canopy. The edge of the sign may not project beyond the outer edge of the canopy overhead.
- h) All local codes and regulations must be addressed by the tenant.

vi) Window and door signage shall be in accordance with City Code of Ordinances.

## Approval Process

- i) Owner Approval. The owner of Pembroke Gardens shall review and approve or disapprove retailer storefront and façade submissions along with any Residential signage to ensure adherence to the guidelines set forth herein prior to submission to the Planning and Zoning Board for architectural review.
- ii) Municipal Approval. Upon owner approval, each Inline Retailer's storefront facade (including wall/residential building/shared garage signage as provided herein) must be individually approved through the City of Pembroke Pines Planning & Zoning Board Miscellaneous Application non-quasi-judicial process, provided, however, it is acknowledged that more than one Inline Retailer application may be reviewed at any given City of Pembroke Pines Planning & Zoning Board Miscellaneous Application non-quasi-judicial meeting. Residential signage can be submitted and approved by the City as a complete package. Approval will be by City Staff along with the Planning & Zoning Board. Building permit requirements are identified in City Code Section 155.6106.

### E. Perimeter Buildings

#### 1. Wall Signs

- a. Perimeter Buildings may each be permitted three (3) on-premises wall signs. No individual wall sign on a Perimeter Building shall be larger than one hundred (100) square feet. The total aggregate graphic area of all such signs shall not exceed two hundred (200) square feet per Perimeter Building.
- b. The maximum length of any wall sign shall not exceed eighty percent (80%) of the building façade on which it is located.
- c. Wall signs shall be mounted no higher than twenty-five feet (25') above grade and no less than fourteen (12') above grade.

#### 2. Non-Wall Signage

- a. Occupants of Perimeter Buildings shall be permitted and encouraged to utilize text/graphics on all awnings, windows, doors, blade signs, etc., and there shall be no limit on the size or amount of text, graphics

or items of information used on such surfaces or structures provided such are aesthetically pleasing and compatible with the overall downtown theme of Pembroke Gardens. The use of canopies and awnings shall be governed by the provisions pertaining to Inline Retailers above. **Exhibit 13**

Occupants of Perimeter Buildings may be permitted to use colors, fonts, design styles, descriptive words, and logos that are consistent with such occupant's prototypical signage package to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally.

- b. Signs in windows may not display prices. The total window sign area of all signs in windows may not exceed 20% of window area. Per City Code.

### 3. Ground Signs—Perimeter Buildings

- a. In addition to wall signage describe above, all Perimeter Buildings may be permitted one (1) freestanding ground sign. The maximum graphic area of such signs shall not exceed forty (40) square feet.
- b. The maximum height of any such ground sign shall not exceed eight (8) feet and the maximum width shall not exceed ten (10) feet.
- c. Wall signs may include the use colors, fonts, design styles, descriptive words and logos that are consistent with prototypical signage packages to encourage individuality and the proper brand imaging and may incorporate any logos and trademarks registered in the State of Florida or nationally.

### 4. Residential Building Identity & Shared Parking Garage Entrance Signs

#### Exterior Wall & Parking Garage Signs

- a. Pembroke Gardens Residential is permitted one (1) Residential Building Identity Exterior Wall sign. Per current City Code Section 155.699 the wall sign shall not be larger than sixty (60) square feet. It will be no longer than twenty (20) feet and no taller than four (4) feet. **Exhibit 20.** See City Code Section 155.6100 for supplemental regulations regarding letter height.
- b. Pembroke Gardens Residential is permitted one (1) Shared Parking Garage Entrance sign. Per City Code Section 155.699 the parking

garage entrance sign shall not be larger than thirty-six (36) square feet. It will be no longer than twelve (12) feet and no taller than four (4) feet. **Exhibit 21.** See City Code Section 155.6100 for supplemental regulations regarding letter height.

- c. Wall signs shall be mounted no higher than the roof parapet and no less than twelve (12') above grade.

F. Entry Archway Signage

- a. Installation of aluminum arches at the Crossing of SW 145 Terrace and 5<sup>th</sup> Street, at entrances and corners throughout the Center. **See Exhibit 11.**
- b. Arches may be accented with LED lights.

G. Murals & Super Graphics

- a. Murals and/or super graphics treatments are permitted per City Code Section 155.6100 (H). They shall be appropriate to the architectural elevation upon which they are to be executed but may not contain any branding, logos, text or other form of advertising or identity for a specific tenant or brand. They shall not exceed 80% of the total façade area on which they are placed.
- b. They may be created in a pictorial or graphic manner with images and/or graphics that are in no way threatening, controversial or provocative.
- c. Approval of the locations, image, size, colors, etc., is at the discretion of the landlord/owner and the City of Pembroke Pines.
- d. Murals and Super Graphics may be illuminated. Illumination may not be flashing or rotating. Colors can be utilized and changed in accordance with special event or holiday with landlord approval. Illumination must remain static at all times. Illumination is externally illuminated, and lighting shall meet the standards established within the City's Land Development Code. **Exhibit 23**

H. Exterior Menu Boards at Restaurants

- a. A restaurant may display one small freestanding, double faced menu display within 6'-0" of their front entry door provided it does not create a tripping hazard or blocks pedestrian movement from along the sidewalk. Such sign may be no more than 3'-6" high to the top of the sign area and no more than 2'-0" wide. Sign should be mounted on the weighted base with the sign panel

mounted with springs to allow for deflection. (Wind master of equivalent)  
Restaurants may incorporate a menu display into their storefront design not to exceed 6 square feet in area. See City Code.

- I. Time Limited Parking Signs
  - a. Reference PCD Guidelines. **See Exhibit 16**

## 2. TEMPORARY SIGNAGE

### A. Wall Signage

1. Pop up Tenant - Tenants with lease term up to 6 months will consist of temporary foam individually mounted letters. See **Exhibit 13**. Sign size shall be consistent with permanent tenant signage requirements.
2. Temporary Tenant Identification – Tenants less than 90 days may utilize a vinyl sign banner in accordance with landlord approval and within guidelines of City Code. See **Exhibit 12**

### B. Special Event

Special Event Signage promoting special events for entertainment or items for sale by occupants of Pembroke Gardens shall be permitted. Such signs shall be of a size and shape appropriate for the applicable location, aesthetically pleasing and compatible with the overall downtown theme of Pembroke Gardens. Outdoor special event signage is required to go through the appropriate City of Pembroke Pines approval process.

### C. Construction Barricade and Wraps

1. While under construction, each Tenant within Pembroke Gardens is required to install site protection including a construction barricade completely around the premises or a full storefront wrap. Similarly, Pembroke Gardens Residential will be required to install site protection including barricades or fencing completely around the construction site.
2. Each wrap should be a minimum of 4'-0" high not to exceed 8'-0" for a construction barricade, or the full height of the storefront windows, and be secured to structural supports meeting all codes. The banners may also be attached to fencing surrounding the residential site. The banners may extend for

the entire length of the fencing and will be consistent with current City Code Section 155.6102 (B).

3. For storefront wraps during construction or when a retail space has been vacated by tenant, a 2'-0" x 2'-0" clear glass "window" must be left open on the door for security / police personnel to be able to monitor the premises.
4. Creativity and originality are encouraged in the design of the wrap / barricade graphics. A graphic design professional should be used for the design following criteria set forth in City of Pembroke Pines Code of Ordinances.

#### D. Project Announcing Signs

- a. A maximum of two (2) temporary Project Announcing Signs may be installed, one along I-75 and one along Pines Boulevard in the locations shown on **Exhibit 17**. Such signs may include an illustration of the Master Plan as well as Retailer or Residential names with the designated trademarks and/or logos. The dimensions shall be as indicated on **Exhibit 17**.
- b. The dimensions of the Announcing Signs are identified in City Code Sections 155.6101 & 155.6102 and shall be as indicated on **Exhibit 17**.
- c. Project Announcing Signs shall be permitted for a period not to exceed one year or upon final Pembroke Gardens Retail Tenant or Pembroke Gardens Residential receives its Certificate of Occupancy, whichever is less. Each tenant must be removed from the announcing sign upon issuance of tenant's Certificate of Occupancy.

#### E. Rental Office Trailer

- a. Signage size – per City Code Sections 155.6101 & 155.6102 the rental office trailer signs shall not be larger than thirty-two (32) square feet.
- b. Signage messaging – the rental office trailer sign messaging shall notify potential renters of the existence of the rental office trailer as a resource to discuss interest in the building with leasing representatives.
- c. Signage duration – the duration will be limited to the length of time that the trailer remains operating on site. The trailer will be placed approximately one hundred fifty (150) days prior to Occupancy. Once the Certificate of Occupancy is obtained the leasing office will move inside. At that point the trailer and its corresponding signage will be removed.



## F. Seasonal Decorations

1. Seasonal decorations may be installed on the streetscape and parking area light fixtures to add to the ambience of Pembroke Gardens. Such decorations may display the name and logo of Pembroke Gardens as well as other decorative graphics. **Exhibit 15**
2. Seasonal decorations shall be attached to the approved lighting fixtures and such decorations shall not exceed three (3) feet in height and two (2) feet in width on the streetscape and shall not exceed five (5) feet in height and three (3) feet in width in the parking areas.
3. Seasonal decorations are intended to display spring, summer, winter, and fall; and as such, will be removed or replaced within three (3) months of installation.
4. Seasonal decorations shall be submitted to the City of Pembroke Pines for administrative review and approval prior to installation. The owner may seek relief from an administrative decision by the City of Pembroke Pines Planning and Zoning Board.

## G. Event / Brand Banners

Located throughout Pembroke Gardens at locations to be determined by landlord/owner on street light poles, there may be permanently attached upper and lower banner support arms for temporary banners. **Exhibit 15**

1. Use of Pole banners will be controlled by landlord/owner. Timing and locations will be determined by landlord/owner and applicant and shall be done in such a way, so all tenants have the opportunity to utilize these banners.
2. Seasonal and Project wide event banners may be put in place by the landlord/owner for various promotional events, which impact the entire area. These projects wide banners take precedent over tenants' banners.
3. Double-faced banners will be no larger than 24" wide x 36" high and all must be made and installed by landlord/owner designated banner fabricator at tenant expense after landlord/owner approval.

- i. The period of time banners are to be displayed shall be no more the 30 days per tenant at a time.
- ii. Tenant must provide landlord/owner full color to scale computer generated design drawing of the proposed drawing to approve.
- iii. Landlord/owner cannot guarantee availability of specific locations.

### 3. PROHIBITED SIGNAGE

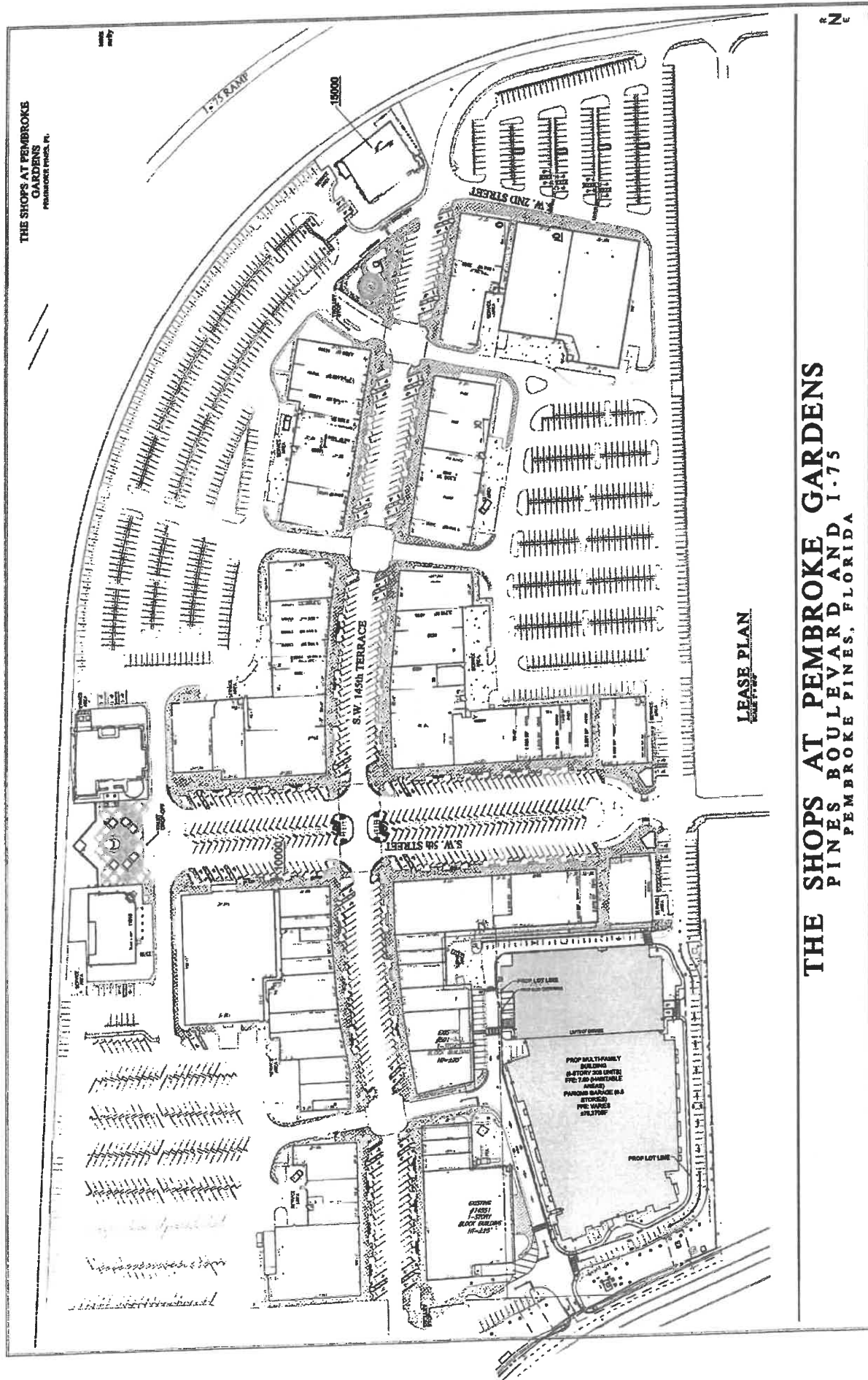
Except as expressly provided otherwise herein, the provisions of the Zoning Code shall apply.

- A. Animated moving or signs with moving or flashing lights, strobes, light races, including but not limited to human signage, etc.
- B. Signs employing fluorescent illumination as a light source i.e.: Neon Signage.
- C. Cloth, wood paper or cardboard signs, stickers, decals, handwritten or temporary painted signs around or on the exterior surfaces, doors, walls, exterior walkways or colonnades and/or glass of the demised premises or with in or on any landscape elements.
- D. Signs employing the use of any sound or noise making devises or components.
- E. Vehicle and/or trailer mounted signs driven around or through Pembroke Gardens property with specific intent to call attention to a product, service, or place of business whether in Pembroke Gardens or not.
- F. Exposed Neon Signage.
- G. Any permanent or temporary advertising devise using a hot air balloon, inflatable signs or objects, or any aerial device, illuminated or no illuminated, shall be prohibited.
- H. Sandblasting, etching or other permanent application of any type of window graphic in not permitted.

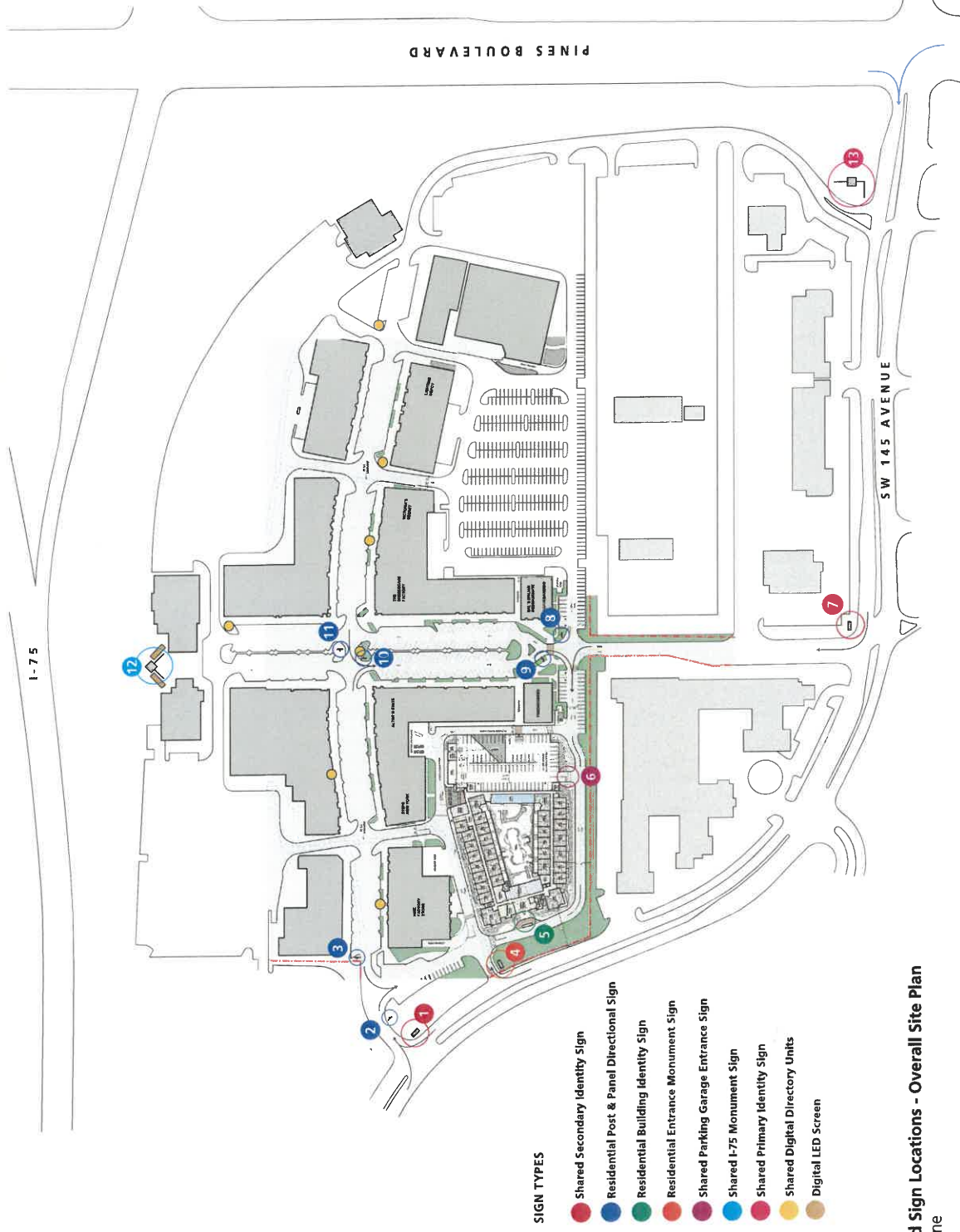
## Exhibit 1

# Master Site Plan, Sign Location Plan & Residential Sign Legend

# Exhibit 1 Master Plan



**THE SHOPS AT PEMBROKE GARDENS**  
 PINES BOULEVARD AND I-75  
 PEMBROKE PINES, FLORIDA



**Proposed Sign Locations - Overall Site Plan**

Scale: None

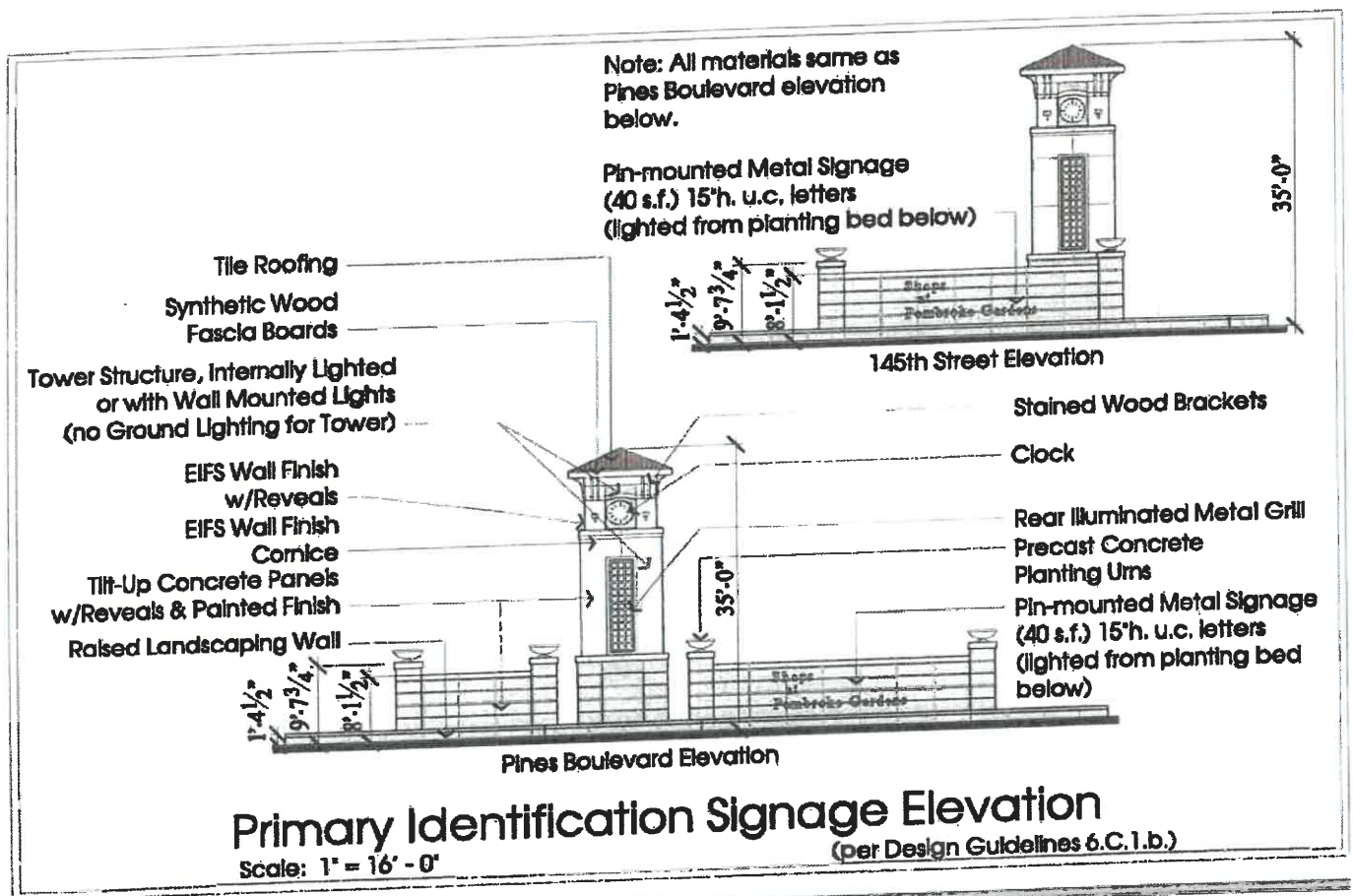
## SIGN LOCATIONS AND MESSAGES

Sign Number	Sign Type	Sign Message
1	Shared Secondary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
2	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
3	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
4	Entrance Monument Sign	Pembroke Gardens Residential (exact message TBD)
5	Residential Building Identity Sign	Pembroke Gardens Residential (exact message TBD)
6	Shared Parking Garage Entrance Sign	Pembroke Gardens Residential Garage (exact message TBD)
7	Shared Secondary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
8	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
9	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
10	Post & Panel Directional Sign	Pembroke Gardens Residential > (exact message TBD)
11	Post & Panel Directional Sign	< Pembroke Gardens Residential (exact message TBD)
12	Shared I-75 Monument Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)
13	Shared Primary Identification Sign	Shops at Pembroke Gardens (Existing) Pembroke Gardens Residential (exact message TBD)

## Exhibit 2

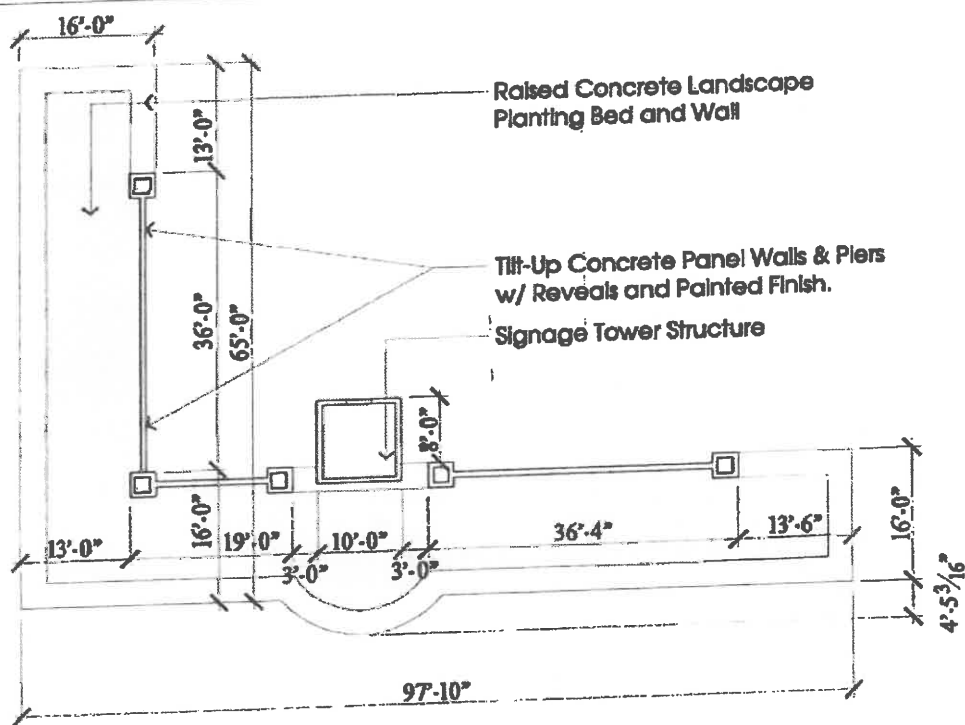
### Shared Primary Identification Signage





**Shops at Pembroke Gardens**  
Pembroke Pines, Florida  
January 2002

**CSO SCHENKEL SHULTZ**



**Primary Identification Signage Plan**  
 Scale: 1" = 16' - 0"  
 (per Design Guidelines 6.C.1.b.)



**Shops at Pembroke Gardens**  
 Pembroke Pines, Florida

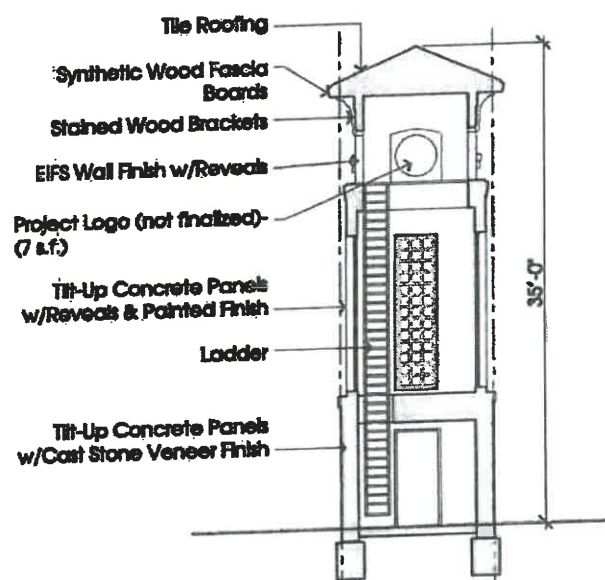
January 2004 00001

DATE

BY



CSO SCHENKEL SHULTZ



## Primary Identification Signage Section

Scale: 1" = 8' - 0" (per Design Guidelines 6.C.1.b.)



**Shops at Pembroke Gardens**  
Pembroke Pines, Florida

12 Decem 2007

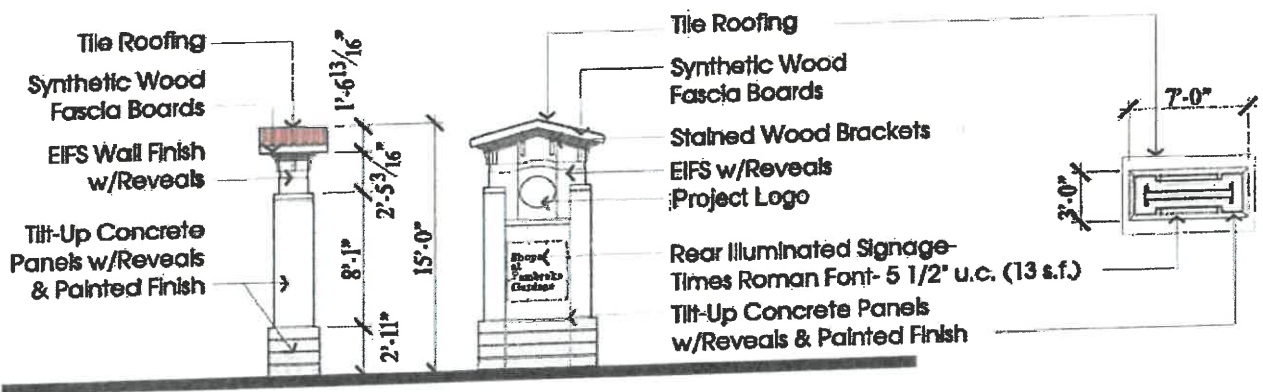
2007



CSO SCHENKEL SHULTZ

Exhibit 3

Shared Secondary Identification Signage



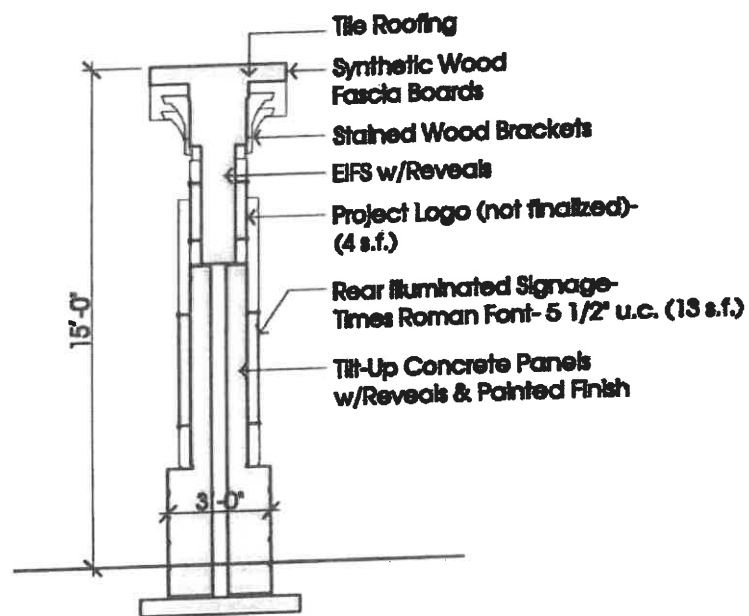
## Secondary Signage Elevations and Plan

Scale: 1" = 8' - 0"

(per Design Guidelines 6.C.1.c.)

Shops at Pembroke Gardens  
Pembroke Pines, Florida

CSO SCHENKEL SHULTZ



**Secondary Signage Section**  
 Scale: 1" = 4' - 0" (per Design Guidelines 6.C.1.c.)



**Shops at Pembroke Gardens**  
 Pembroke Pines, Florida

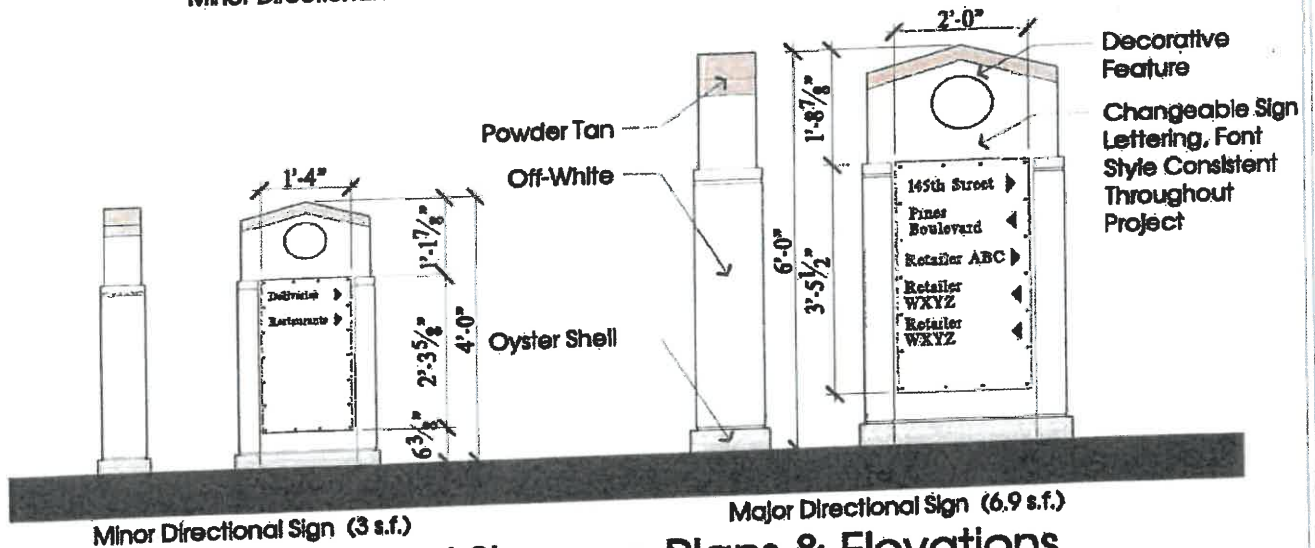
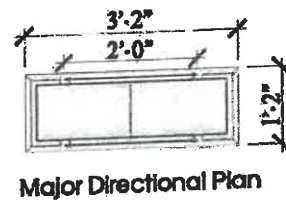
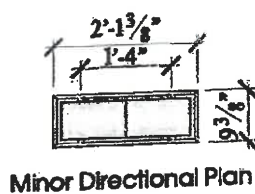
15 Decem 2001 2001

2001



CSO SCHENKEL SHULTZ

Exhibit 4  
Directional Signage



# **Directional Signage Plans & Elevations** (per Design Guidelines 6.C.2.)

Scale: 1" = 2' - 0"



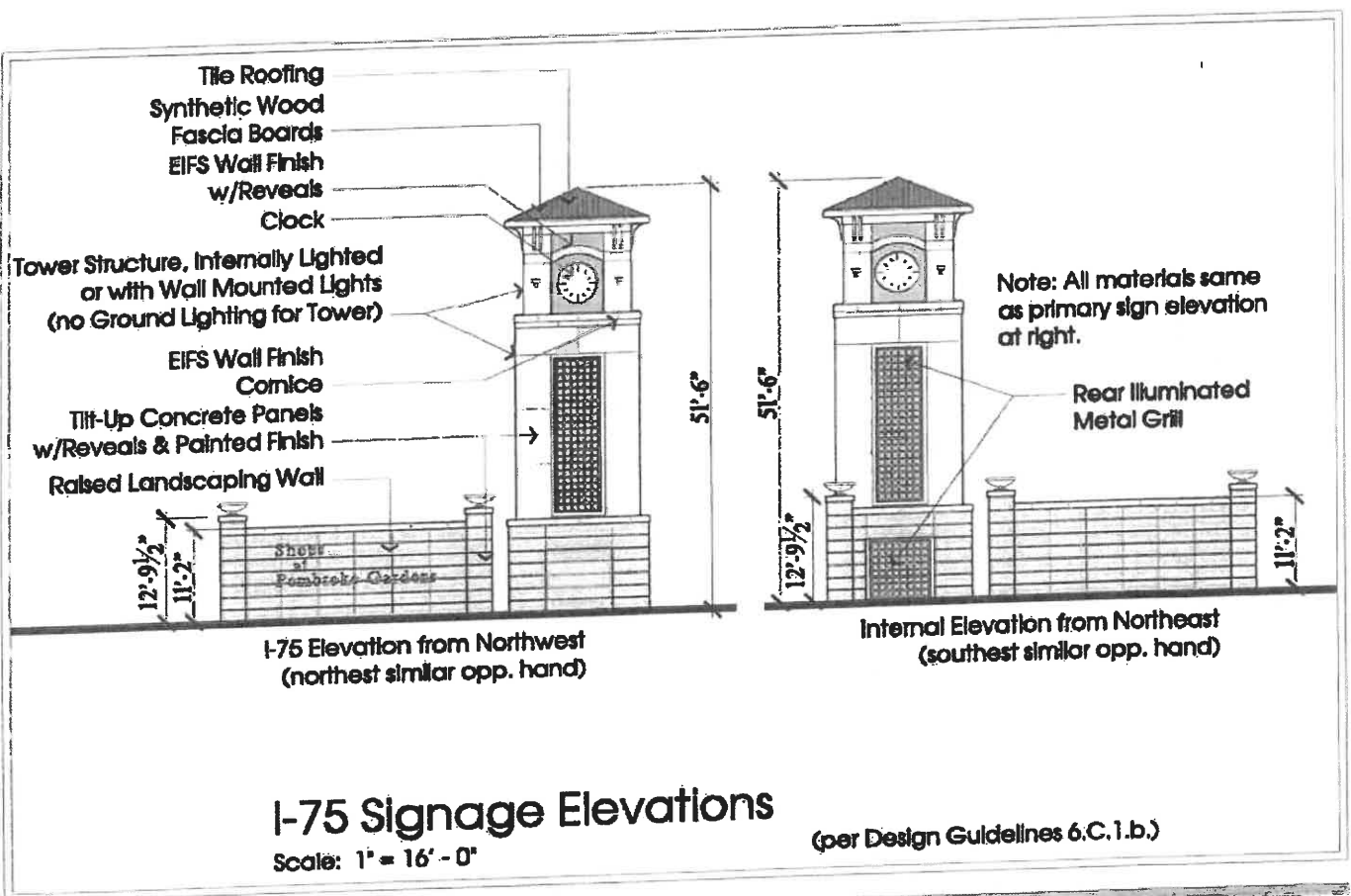
**Shops at Pembroke Gardens**  
 Pembroke Pines, Florida  
 33061

**CSO SCHENKEL SHULTZ**



Exhibit 5

Exhibit I-75 Monument Sign

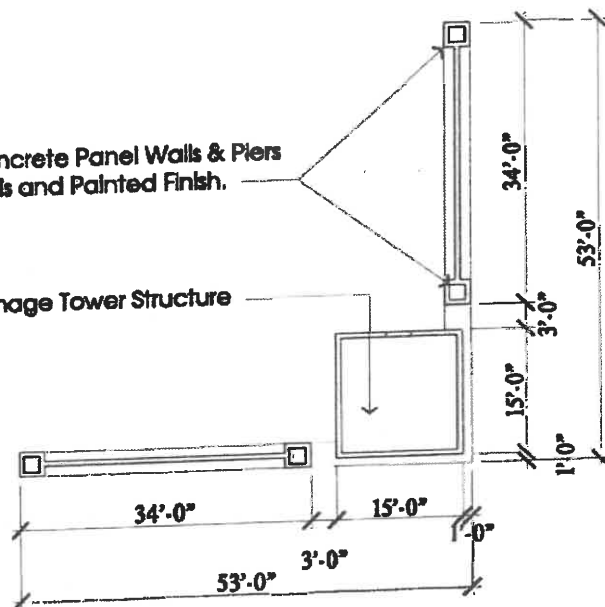


**Shops at Pembroke Gardens**  
 Pembroke Place, Florida  
 1 January 2000

CSO SCHENKEL SHULTZ

Tilt-Up Concrete Panel Walls & Piers  
w/ Reveals and Painted Finish.

Signage Tower Structure



## I-75 Signage Plan

Scale: 1" = 16' - 0"

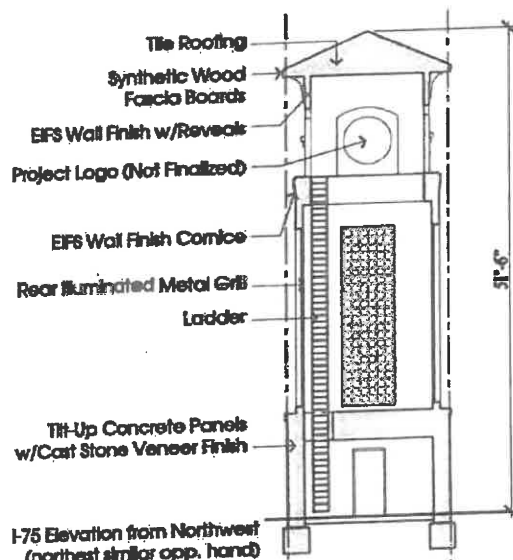
(per Design Guidelines 6.C.1.b.)



**Shops at Pembroke Gardens**  
Pembroke Pines, Florida  
1 JANUARY 2006 25005



CSO SCHENKEL SHULTZ



# **I-75 Signage Section**

Scale: 3" = 32' - 0"

(per Design Guidelines 6.C.1.b.)



**Shops at Pembroke Gardens**  
Pembroke Pines, Florida

12 Decem ber 2022 2022



CSO SCHENKEL SHULTZ

Exhibit 6

Monument Building 8000

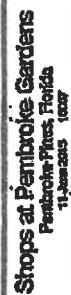


Exhibit 7

Shared Monument I-75 Digital Conceptual





25945

A503

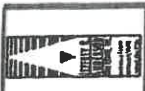
Shops at Pembroke Gardens

Pembroke Gardens  
Pembroke Pines, Florida  
SIGNAGE DETAILS

DATE: 01/27/00  
BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

CSO SCHOENKEL SHULTZ  
1100 N. W. 10th Ave., Suite 100  
Fort Lauderdale, FL 33304  
Tel: (954) 561-1100  
Fax: (954) 561-1101  
www.schoenkelshultz.com

8



Duke  
Engineering & Construction, Inc.

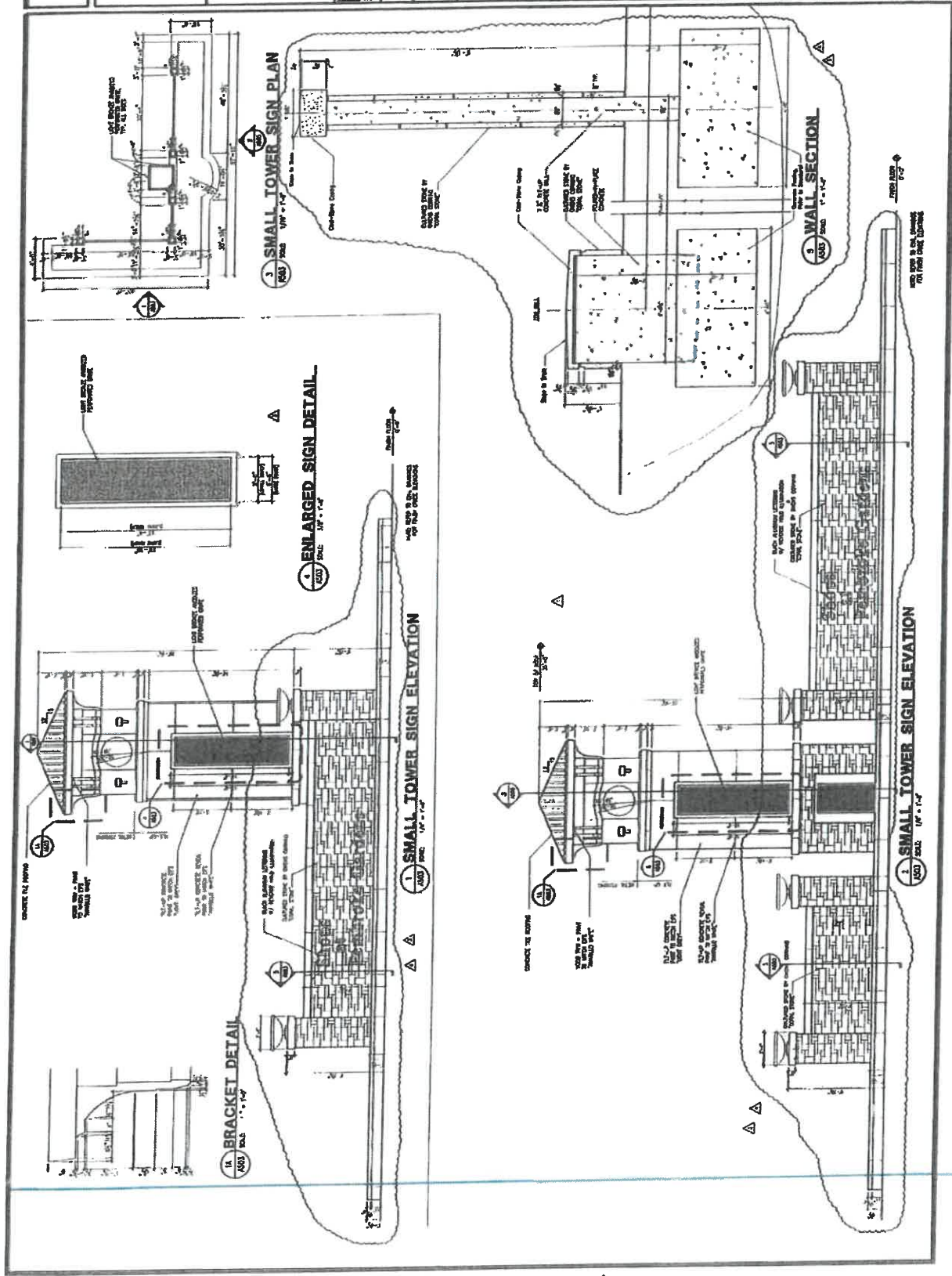
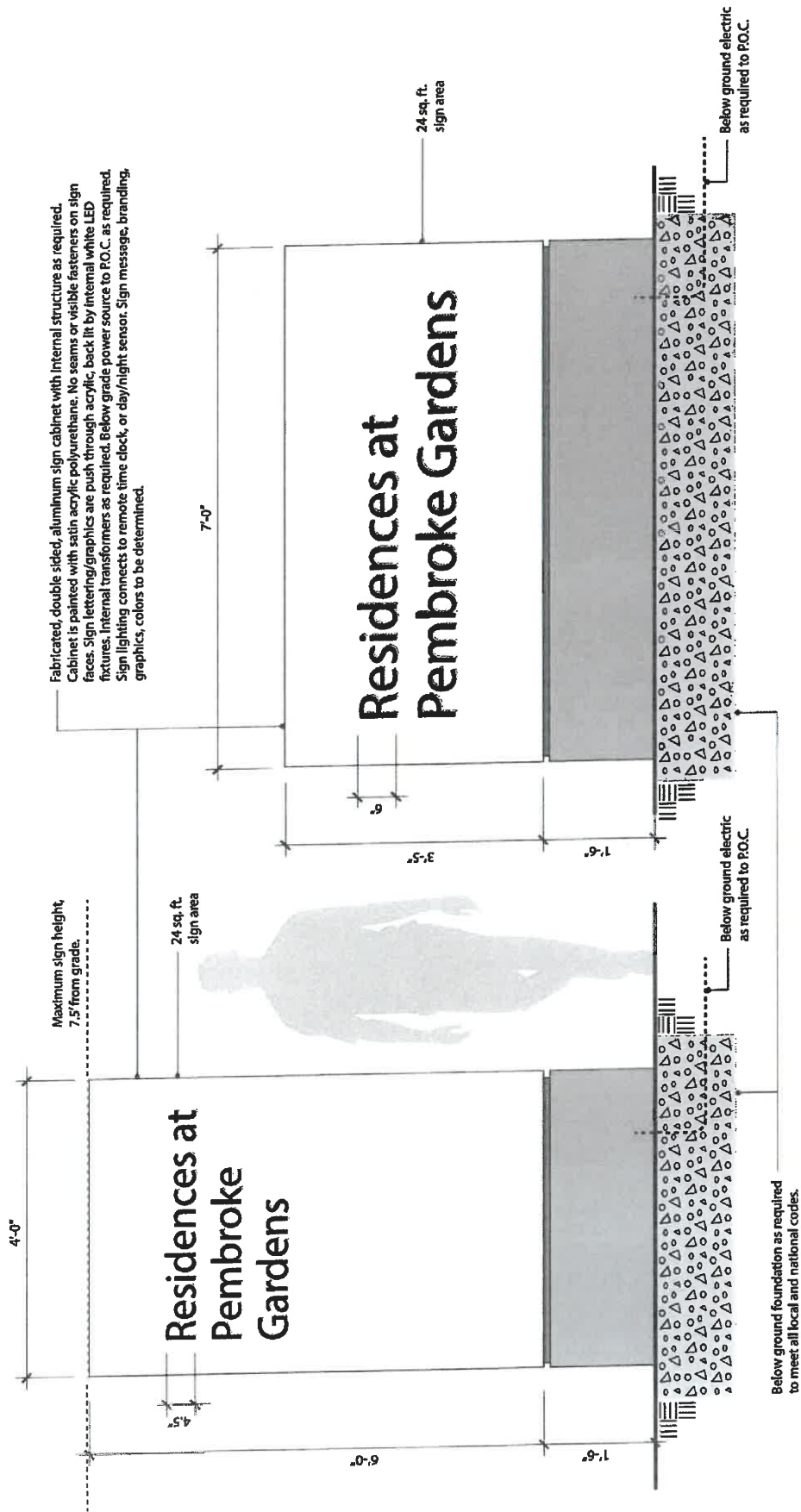


Exhibit 8

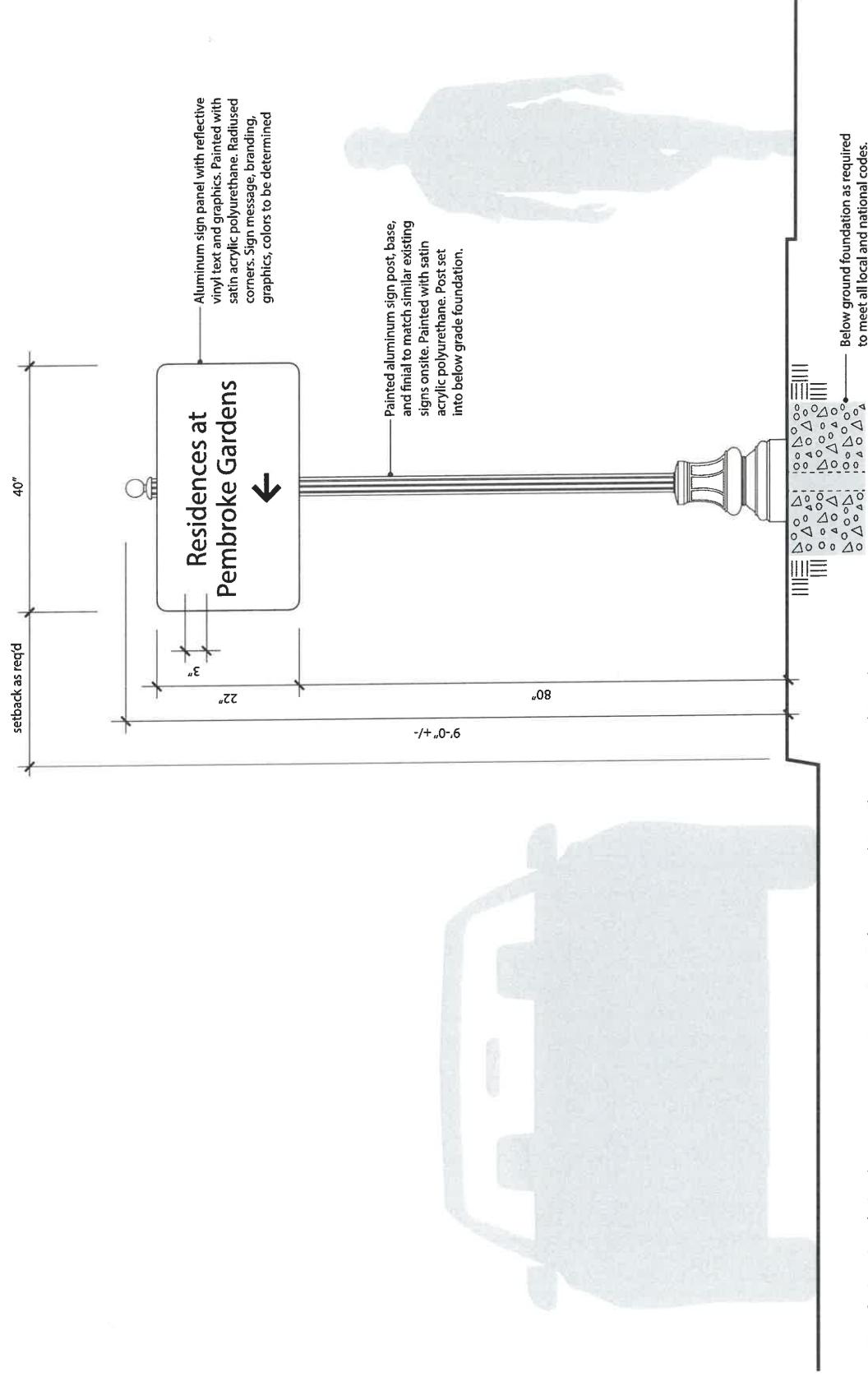
## Residential Entrance Monument Signage



**Entrance Monument Sign | Sign Location 4 | Conceptual Specifications and Details**  
Scale: 3/4" = 1'-0"

Exhibit 9

Residential Directional Post & Panel Signage

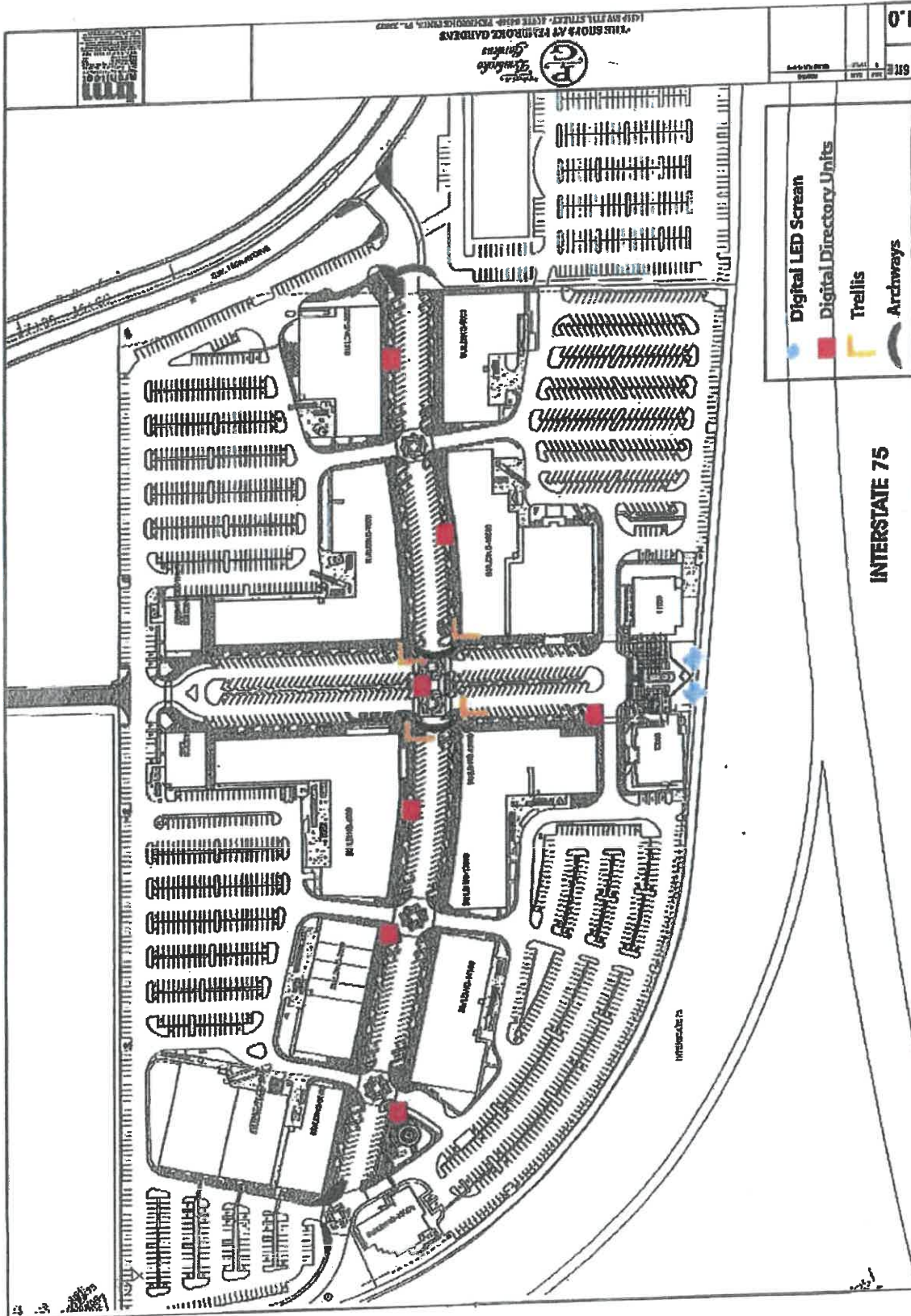


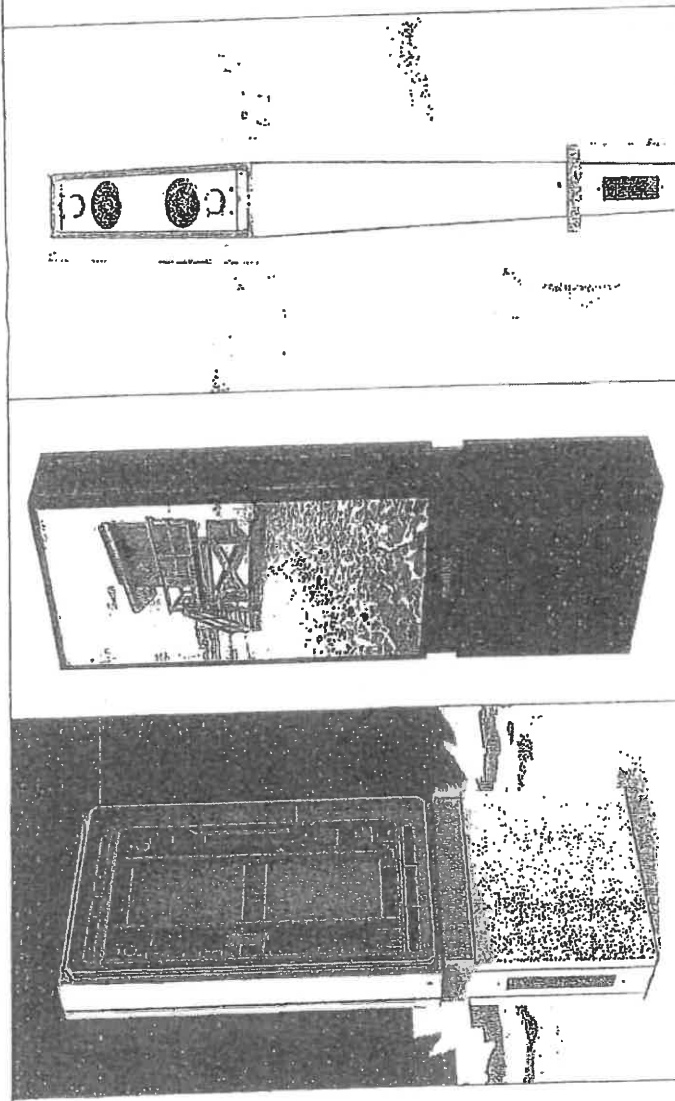
**Post & Panel Directional Sign | Sign Locations 2, 3, 8, 9, 10, 11 | Conceptual Specifications and Details**  
Scale: 3/4" = 1'-0"

## Exhibit 10

### Shared Digital Directory Detail







# SCOPE OF WORK

THE PROJECT CONSIST OF THE INSTALLATION OF EIGHT (8) DIGITAL INFORMATION SIGN IN THE LOCATIONS INDICATED ON THIS SET OF PLANS. INSTALLER SHALL PROVIDE AND INCLUDE ALL WORKMANSHIP AND MATERIALS NECESSARY TO COMPLETE THE INSTALLATION INCLUDING BUT NOT LIMITED TO:

1. CONCRETE FOUNDATION (4" X 7'-6" X 18" DEEP) AS PER DETAIL ON SHEET S-1.
2. INSTALL SERVICE POINTS FOR ELECTRICAL & DATA AS PER PLANS.
3. RUN TWO (2) 1" DIA. PVC CONDUITS FROM DIGITAL SIGNS TO SERVICE POINT.
4. RUN 4 # 10 THWN, 1 # 10 GRD THWN IN ONE OF THE CONDUITS TO FEED THE UNIT.
5. INSTALL TWO (2) 1 POLE, 20 AMP CIRCUIT BREAKERS FOR EACH KIOSK.
6. INSTALL A 20 FT 1/2" DIA. COPPER GROUND ROD AT AS INDICATED ON PLANS.
7. LOCATION OF THE UNITS SHALL BE COORDINATED IN CONJUNCTION WITH THE CITY OF SOUTH MIAMI.
8. RESTORATION OF THE EXISTING SITE TO ITS ORIGINAL CONDITION AFTER THE INSTALLATION OF THE FOUNDATION.
9. TESTING OF THE UNIT IN CONJUNCTION WITH THE A REPRESENTATIVE OF SMART LINK.

## DIGITAL SIGN SPECIFICATIONS AND FUNCTIONS

THE UNIT CONSISTS OF A UL/NRTL LISTED

(CERTIFICATE NUMBER

U8-17-05-84668-017, UL TEST

60950-1/R, CSA TESTING

NUMBER C22.2/60950-1)

WEATHER AND VANDAL

RESISTANT FREE STANDING

ENCLOSURE DESIGNED TO

COMPLY WITH THE FLORIDA

BUILDING CODE AND OTHER

APPLICABLE CODES

INCLUDING THE NATIONAL

ELECTRICAL CODE. THE

UNIT HAS BEEN DESIGNED

TO WITHSTAND WINDS OF

180 MPH. THE UNIT'S MAIN

COMPONENTS ARE:

1. TWO (2) INTERACTIVE

VIDEO TOUCH SCREENS

2. TWO (2) CAMERAS

3. ONE (1) AC UNIT

4. ONE (1) CPU

5. ONE (1) WI-FI

TRANSMITTER

6. OTHER SUPPORTIVE

COMPONENTS.

ELECTRICAL POWER

REQUIREMENT: TWO (2)

ONE POLE, 20 AMP

CIRCUITS.

TOTAL CONNECTED LOAD:

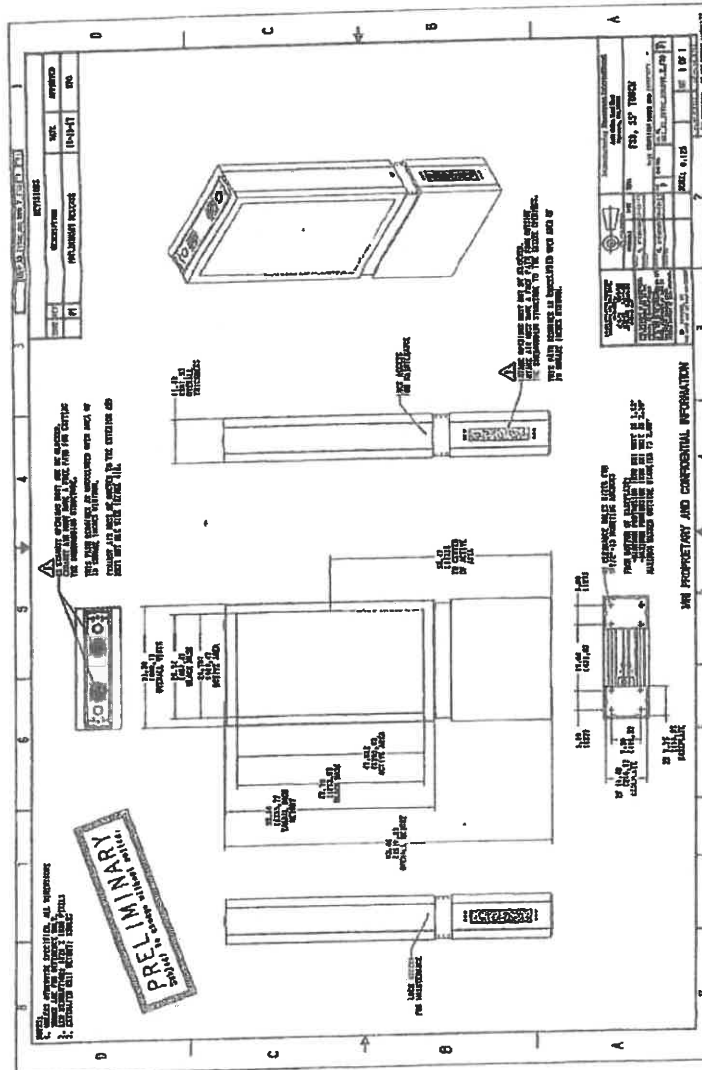
2,457 WATTS

DATE	BY	PROJECT	SHEET	02
PROJECT	DIGITAL SIGNS REPLACEMENT	FIDELITY PARK, FLORIDA	SCALE	AS SHOWN
DESCRIPTION	SIGN SPECIFICATIONS	SCALE	AS SHOWN	AS SHOWN



# **ELECTRICAL NOTES:**

1. ALL WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC), FLORIDA BUILDING CODE (F.B.C.), ALL APPLICABLE STATE AND LOCAL CODES AND THE LOCAL UTILITY COMPANY REQUIREMENTS.
2. ALL WORK SHALL BE PERFORMED BY LICENSED ELECTRICAL ELECTRICIAN IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY THE ELECTRICAL ENGINEER OR OWNER REPRESENTATIVE.
3. ENDS OF CONDUITS SHALL BE SEALED WITH POLYURETHANE FOAM AFTER WIRING IS COMPLETE. FOAM SEAL SHALL NOT BE USED AS A MEANS TO PROTECT CONDUITS FROM ABUSION IN RACEWAYS. CONDUITS SHALL BE PROTECTED FROM ABUSION. SHALL HAVE PROPER FITTINGS TO PROTECT CONDUITS FROM ABUSION.
4. SPLICES AND CONNECTIONS MADE IN PULL BOXES SHALL BE PROPERLY TAPPED AND HEAT SHRINK TUBES OR CAPS SHALL BE USED TO WATERPROOF THESE CONNECTIONS.
5. ALL MATERIAL SHALL BE NEW AND SHALL BEAR THE UNDERWRITER'S LABELS WHERE APPLICABLE.
6. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER. ALL INSULATION SHALL BE TYPE THHN.
7. UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 80 ELECTRICAL. A THIN BOND WIRE MUST ALSO BE INSTALLED IN EACH CONDUIT EXCEPT SPARE CONDUIT AS INDICATED ON THE PLANS. BOND WIRE IS REQUIRED REGARDLESS OF CONDUIT MATERIAL.
8. LOCATION OF EXISTING EQUIPMENT & CONDUIT IS DIAGNOSTIC ONLY. ALL NEW INSTALLATIONS SHALL BE VERIFIED BY CONTRACTOR WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
9. WHERE TRENCHES OR OTHER EXCAVATIONS ARE MADE IN AREAS OF EXISTING ROADWAYS OR WALKWAYS, OR WHERE SURFACE TREATMENT OF ANY KIND EXISTS, RESTORE SUCH SURFACE TREATMENT TO THE SAME THICKNESS AND IN THE SAME KIND AS PREVIOUSLY EXISTED (EXCEPT AS OTHERWISE INDICATED) AND TO MATCH AND TIE INTO THE ADJACENT AND SURROUNDING SURFACES.
10. UNDERGROUND CONDUIT SHALL BE INSTALLED WITH MIN 24" OF COVER IN GREEN AREAS AND 36" UNDER PAVEMENT OR SIDEWALKS.
11. IN AS MUCH AS SYSTEMS ARE EXISTING AND THE SCOPE MAY REQUIRE MODIFICATIONS AND ADDITION TO THEM, THE NEW EQUIPMENT AND DEVICES SHALL BE FULLY COMPATIBLE WITH THE EXISTING SYSTEMS.
12. LOCATION AND ROUTING OF NEW CONDUITS IS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION AND ROUTING OF CONDUITS TO AVOID CONFLICTS WITH EXISTING BURIED UTILITIES AND OTHER OBSTRUCTIONS. SIGNIFICANT OR MATERIAL CHANGE TO CONDUIT ROUTING SHALL REQUIRE THE APPROVAL OF THE PROGRAM MANAGER.
13. THE MINIMUM BEND RADIUS FOR ALL UNDERGROUND CONDUITS SHALL BE 8 TIMES THE INTERNAL CONDUIT DIAMETER.
14. EACH CONDUIT SYSTEM SHALL BE PROVIDED WITH EXPANSION FITTINGS. LOCATE FITTINGS IN FIELD AT BUILDING EXPANSION JOINTS.
15. ALL CONDUITS SHALL BE INSTALLED USING NARROW TRENCHES TO MINIMIZE DAMAGE TO EXISTING UTILITIES.
16. ALL CONDUIT TRENCHES SHALL BE BACKFILLED COMPLETELY TO PROVIDE SAFE CROSSING BY THE END OF EACH WORKING DAY. THE EXISTING WORK ZONE BECOMES AN EXISTING WORK ZONE. THE CONTRACTOR SHALL OPEN ANY AREA THAT CAN NOT BE BACKFILLED IN THE SAME DAY/NIGHT OPERATION.
17. PULL BOXES, JUNCTION BOXES AND ALL ELECTRICAL WORK SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE AND THE STATE OF FLORIDA D.A.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL COMPONENTS SHALL BE PROPERLY GROUNDED AND BONDED PER NEC REQUIREMENTS.

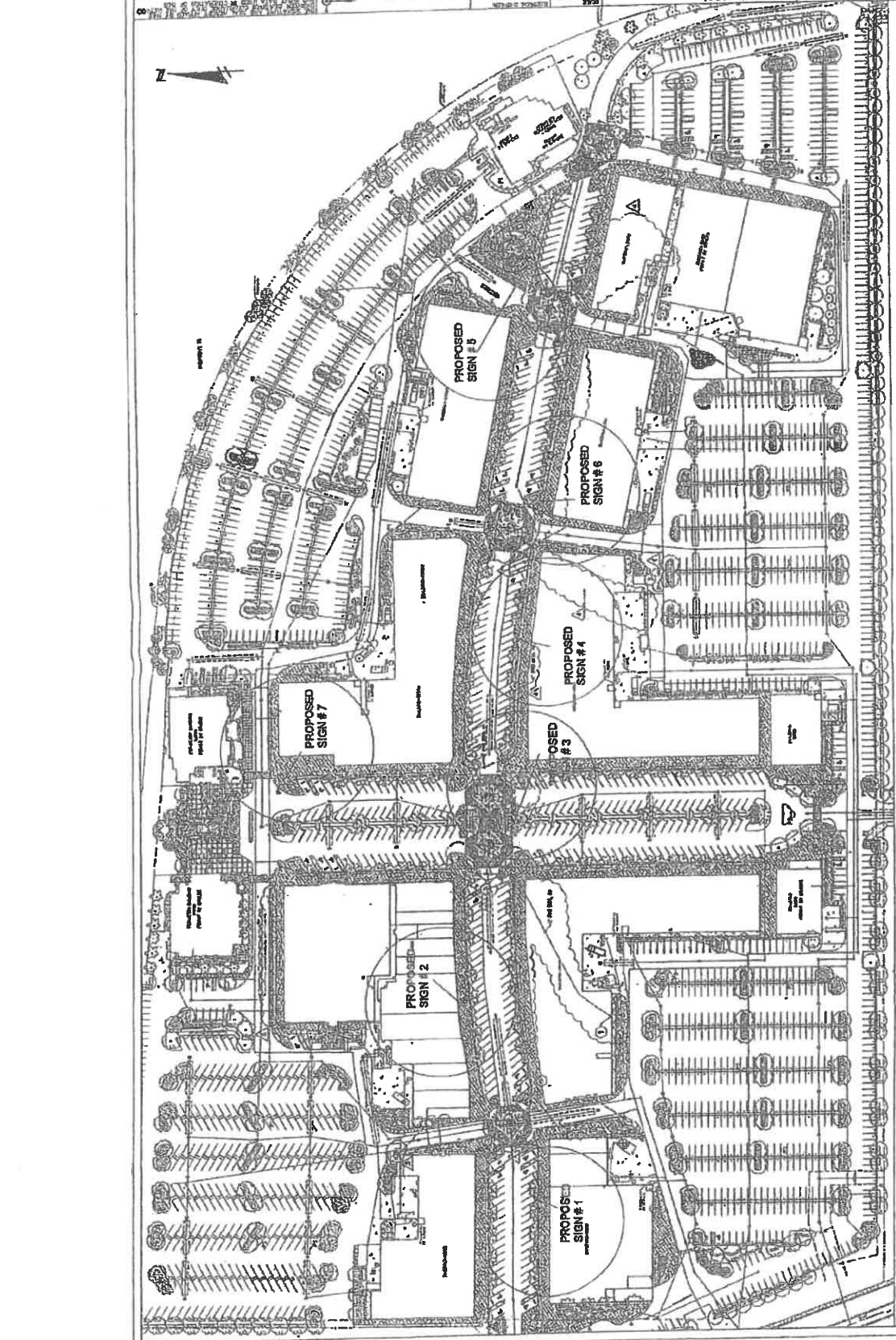


PROJECT: DIGITAL SIGNS REPLACEMENT	DATE: 10/1/11	SHEET NUMBER: 03
PROJECT: DIGITAL SIGNS REPLACEMENT	DATE: 10/1/11	SHEET NUMBER: 03
PROJECT: DIGITAL SIGNS REPLACEMENT	DATE: 10/1/11	SHEET NUMBER: 03

DESCRIPTION: SIGN DETAIL

DATE: 10/1/11	BY: WJL
DATE: 10/1/11	BY: WJL
DATE: 10/1/11	BY: WJL

DATE: 10/1/11	BY: WJL
DATE: 10/1/11	BY: WJL
DATE: 10/1/11	BY: WJL



SITE PLAN  
(NOT TO SCALE)

Exhibit 11  
Entry Archway Detail

# CONSTRUCTION PLANS FOR 4 ALUMINUM ENTRYWAY ARCHES



LOCATED AT:  
PEMBROKE GARDENS MALL  
527 NW 145TH TERRACE  
PEMBROKE PINES, FL. 33027

**SCOPE OF WORK:**  
INSTALLATION OF 2 ALUMINUM ARCHES AT THE CROSSING OF SW 145TH TERRACE AND SW 45TH ST.  
1 ALUMINUM ARCH AT EAST GATE ON SW 5TH ST.  
AND 1 ALUMINUM ARCH AT SOUTH GATE ON SW 145TH TERRACE

**SHEET LIST:**  
ARCHES LOCATION PG. 2  
RENDERS PG. 3 - 4  
ARCHES 1 AND 4 PROFILE VIEW PG. 5  
ARCHES 2 AND 3 PROFILE VIEW PG. 6  
CONNECTION DETAILS PG. 7 - 8  
COLUMN DETAILS PG. 9  
COLUMN HOLES DETAILS PG. 10  
CHANNEL CONNECTION DETAILS PG. 11  
FOOTING DETAILS PG. 12  
POWDER COAT CHART PG. 13

GENERAL NOTES:  
THOMPSON ARCHITECTURAL DRAWINGS OF HOLLYWOOD  
ASSUME THAT ALL SITE CONDITIONS ARE PER ARCHITECTURAL  
AND STRUCTURAL DOCUMENTS PROVIDED UNLESS NOTED  
OTHERWISE.  
ALL DOCUMENTS PROVIDED BY CONTRACTING PARTIES OF  
DRAWINGS OF HOLLYWOOD MUST REFLECT FIELD CONDITIONS  
BY 1/4" = 25' INCLUDING ELEVATIONS AND PLAN REFLECTED FRAMING  
EXTENTS UNLESS NOTED OTHERWISE IN WRITTEN REFLECTED  
CONDITIONS.

DOCUMENT PAGES CONTENT HEREIN ARE NOT TO BE SCALED.  
USE WRITTEN LINE DIMENSION PERTAINING TO DOCUMENT  
ILLUSTRATIONS

	
TITLE	ARCH INSTALLATION
DATE	527 NW 145TH TERRACE PEMBROKE PINES, FL. 33027
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	CT
	







TITLED: GATEWAY ARCHES 1.4  
 RENDER  
 DATE: 027 MAY 14TH TERENCE  
 PEMBROKE PINES, FL  
 33027

ASSISTANT:  
 SCALE:  
 BOARD:  
 CALCULATED: CT



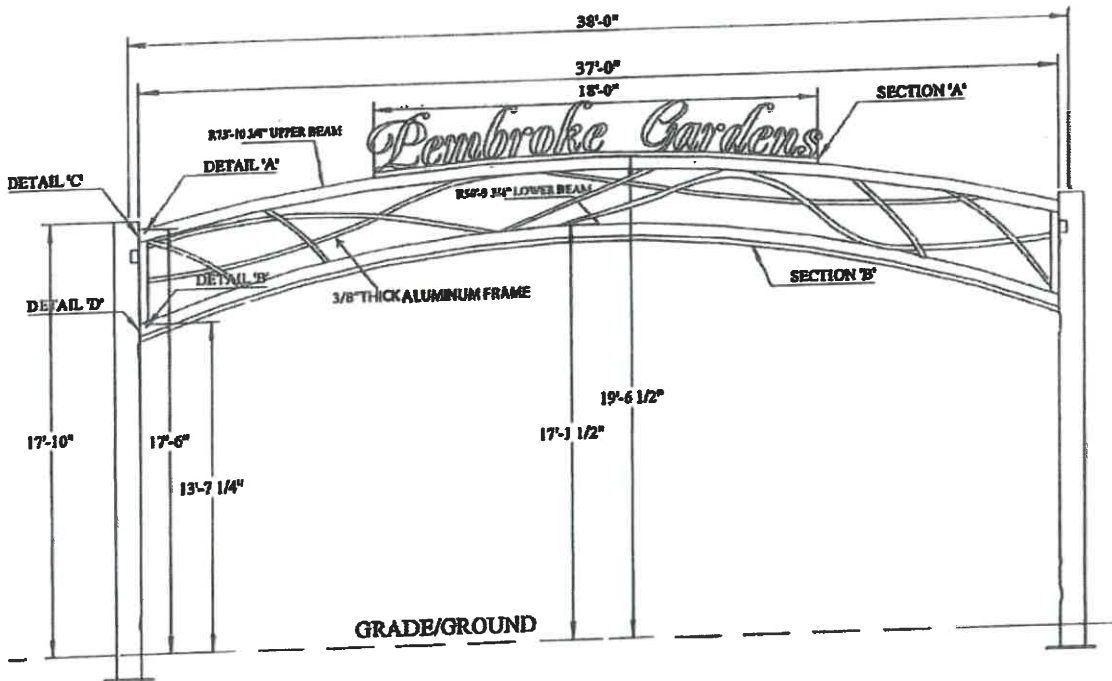


TITLE  
GATEWAY ARCHES 2, 3  
RENDER

DATE  
527 NW 148TH TERRACE  
PEMBROKE PINES, FL.  
33027

DATE ORDERED  
SCALE  
REVISION  
SALES/NO. CT



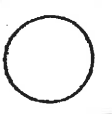


\*ALL 3/8" THICK ALUMINUM FRAMES SHALL BE FULLY WELDED TO UPPER BEAM, LOWER BEAM AND CONNECTION PLATES THUS:

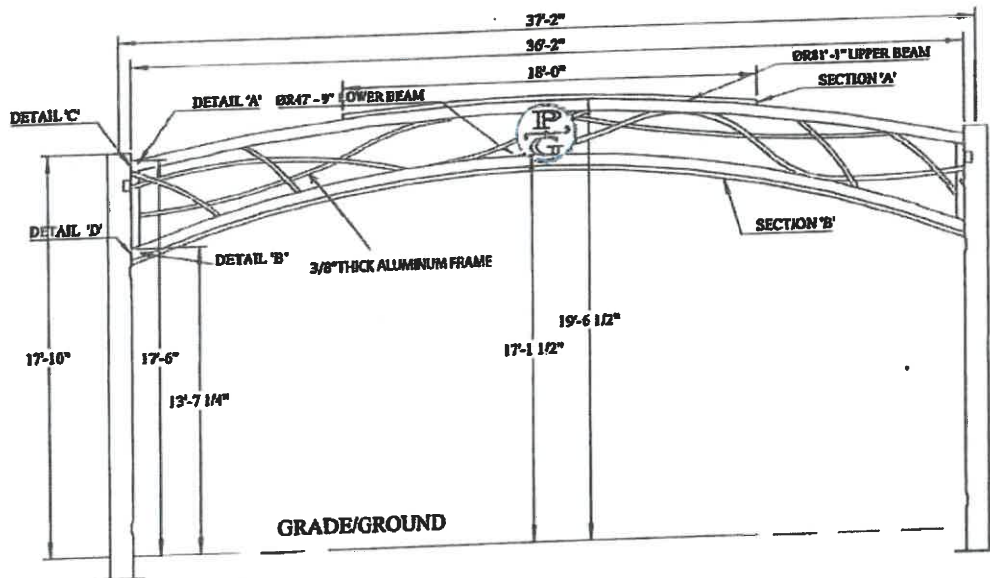


TITLE: ARCH 1, 4  
 SITE: 627 NW 14TH TERRACE  
 PEMBROKE PINES, FL  
 33027

DATE ISSUED:  
 SCALE:  
 REVISION:  
 CALIBRATED: CT





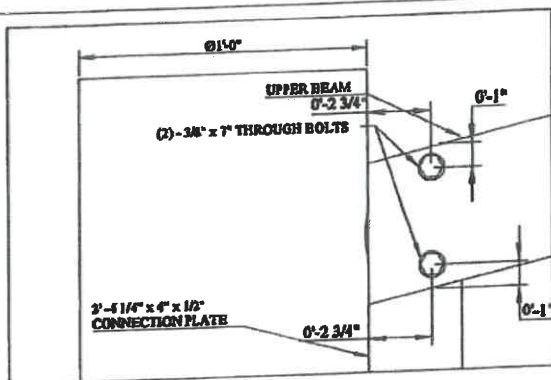


\*ALL 3/8" THICK ALUMINUM FRAMES SHALL BE FULLY WELDED TO UPPER BEAM, LOWER BEAM AND CONNECTION PLATE THUS:

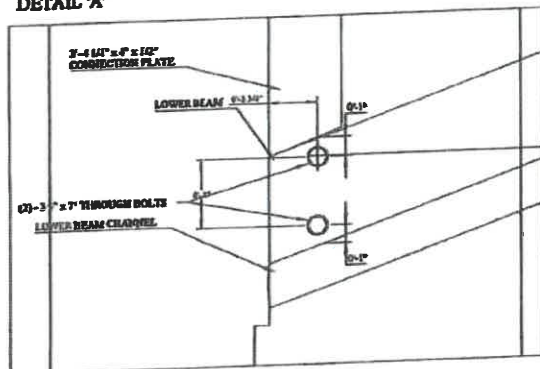


TITLE: ARCH 2, 3  
 DATE ISSUED:  
 SCALE:  
 REVISION:  
 SALESMAN: CT

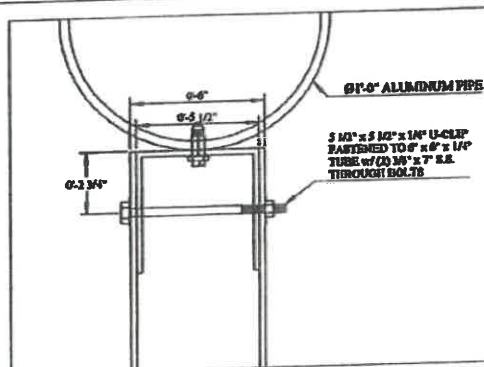




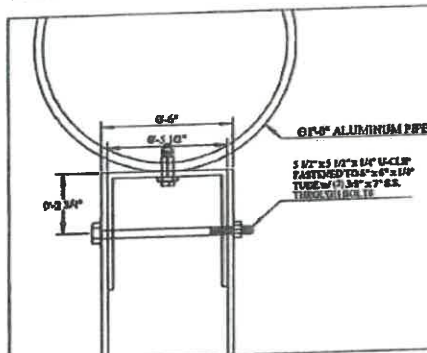
DETAIL 'A'



DETAIL 'B'



DETAIL 'A.1'



DETAIL 'B.1'



5027

35027

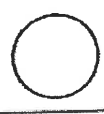
TITLE: TUBE CONNECTION DETAIL

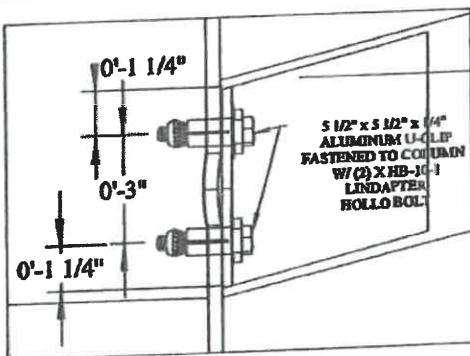
DATE ISSUED:

SCALE:

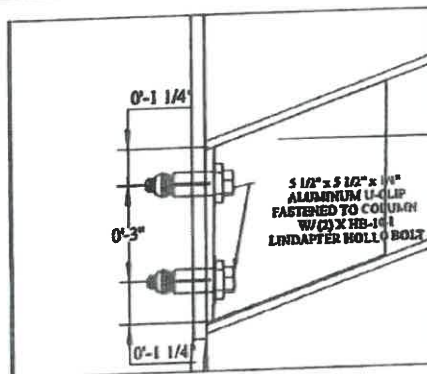
REVISION:

SUBMITTER: CT





DETAIL 'C'

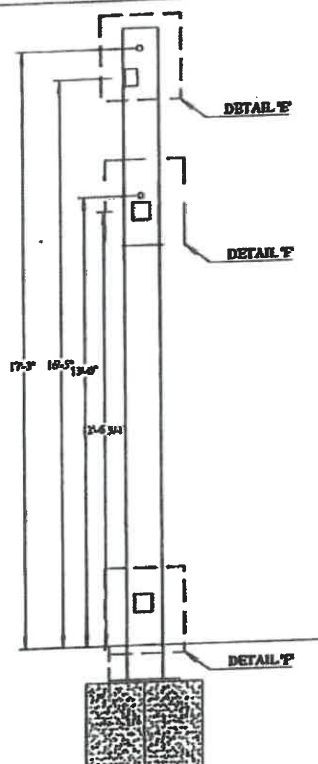


DETAIL 'D'



TITLE: U-CLIP CONNECTION DETAIL  
 DATE ISSUED: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 SALESMAN: CT

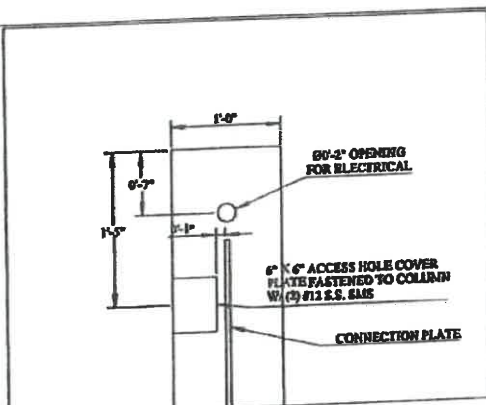




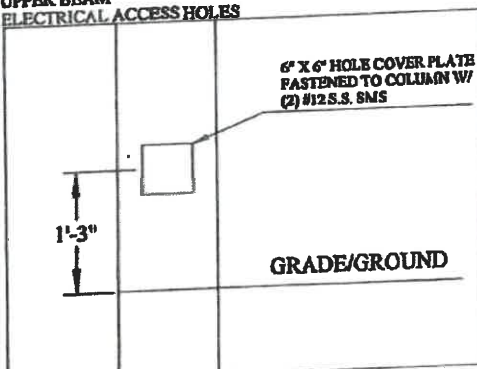
COLUMN DETAIL

	
TITLE	COLUMN DETAILS
DATE ISSUED	
SCALE	
REVISION	
SALES/DOC	CT
	
9 OF 13	

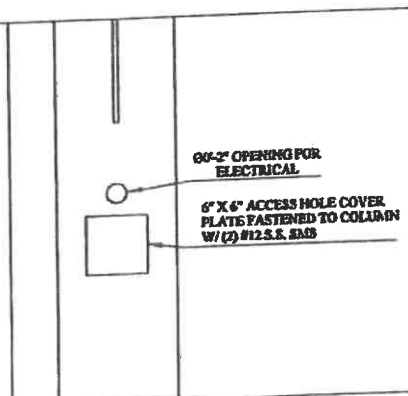
527 NW 14TH TERRACE  
 PEMBROKE PARK, FL  
 33027



**DETAIL 'A'**  
UPPER BEAM  
ELECTRICAL ACCESS HOLES



**COLUMN BASE**  
ELECTRICAL ACCESS HOLES



**DETAIL 'B'**  
LOWER BEAM  
ELECTRICAL ACCESS HOLES

**AWTHINGS**

**THOMPSON**

ARCHITECTURAL PRODUCTS

200 WILSON AVENUE, SUITE 100, WILSON, NC 27157

**TITLE:** COLUMN HOLES DETAILS

**DATE ISSUED:**

**SCALE:**

**REVISION:**

**SALESMAN:** CT





- 

Technical drawing of a vertical section of a structure, likely a well or shaft, showing internal components and dimensions. The drawing includes a central vertical pipe, a lower section with a horizontal beam, and various structural details. Dimensions are given in feet and inches.

Labels and dimensions:

- CONCRETE PILE
- 0.75" COLUMN
- LOWER BEAM
- 7' x 12' x 1/4" ANGLE FASTENED TO 6" x 6" x 1/4" BEAM IN 11' x 11' SQUARES EVERY 7' x 0" O.C.
- 6" x 12' x 1/4" CHANNELS FASTENED TO 7' x 12' x 1/4" ANGLE IN 11' x 11' SQUARES EVERY 7' x 0" O.C.
- 6" x 12' x 1/4" CHANNELS FOR ELECTRICAL LINES UNDER THE LOWER BEAM
- Dimensions: 7' x 0", 7' x 0", 6" x 0"

## SECTION 'B'

**TITLE:**  
**CHANNEL CONNECTION**  
**DETAIL AND NOTES**

ST#:  
S27 NW 145TH TERRACE  
PENSACOLA PINES, FL.  
73033

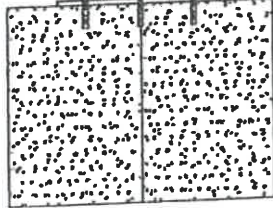
DATE RECEIVED:

SCALE:

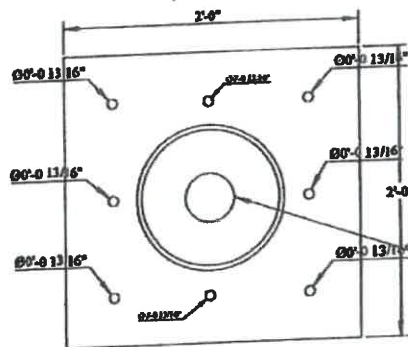
**KEYSTONE:****SALMON: CT**

2'-0" x 2'-0" x 1/4" STEEL  
BASE PLATE FULLY  
WELDED TO Ø12" x 0.416"  
COLUMN

2'-0" x 2'-0" x 1/4" BASE PLATE FASTENED  
TO CONCRETE FOOTER W/ (8) Ø3/4" X 5"  
EMBED WEDGE ANCHORS



REINFORCED CONCRETE  
FOOTER BY OTHERS



Ø4" HOLE IN BASE PLATE  
@ CENTER OF COLUMN  
FOR ELECTRICAL LINES



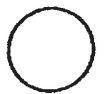
TITLE: PROFILE VIEW

DATE ISSUED:

SCALE:

REVISION:

SALES/REV: CT




00000 00000-00000	01000 01000-01000	02000 02000-02000	03000 03000-03000	04000 04000-04000	05000 05000-05000
06000 06000-06000	07000 07000-07000	08000 08000-08000	09000 09000-09000	10000 10000-10000	11000 11000-11000
12000 12000-12000	13000 13000-13000	14000 14000-14000	15000 15000-15000	16000 16000-16000	17000 17000-17000
18000 18000-18000	19000 19000-19000	20000 20000-20000	21000 21000-21000	22000 22000-22000	23000 23000-23000
24000 24000-24000	25000 25000-25000	26000 26000-26000	27000 27000-27000	28000 28000-28000	29000 29000-29000
30000 30000-30000	31000 31000-31000	32000 32000-32000	33000 33000-33000	34000 34000-34000	35000 35000-35000
36000 36000-36000	37000 37000-37000	38000 38000-38000	39000 39000-39000	40000 40000-40000	41000 41000-41000
42000 42000-42000	43000 43000-43000	44000 44000-44000	45000 45000-45000	46000 46000-46000	47000 47000-47000
48000 48000-48000	49000 49000-49000	50000 50000-50000	51000 51000-51000	52000 52000-52000	53000 53000-53000
54000 54000-54000	55000 55000-55000	56000 56000-56000	57000 57000-57000	58000 58000-58000	59000 59000-59000
60000 60000-60000	61000 61000-61000	62000 62000-62000	63000 63000-63000	64000 64000-64000	65000 65000-65000
66000 66000-66000	67000 67000-67000	68000 68000-68000	69000 69000-69000	70000 70000-70000	71000 71000-71000
72000 72000-72000	73000 73000-73000	74000 74000-74000	75000 75000-75000	76000 76000-76000	77000 77000-77000
78000 78000-78000	79000 79000-79000	80000 80000-80000	81000 81000-81000	82000 82000-82000	83000 83000-83000
84000 84000-84000	85000 85000-85000	86000 86000-86000	87000 87000-87000	88000 88000-88000	89000 89000-89000
90000 90000-90000	91000 91000-91000	92000 92000-92000	93000 93000-93000	94000 94000-94000	95000 95000-95000
96000 96000-96000	97000 97000-97000	98000 98000-98000	99000 99000-99000		

**Drylac**  
Powder Coatings

POWDER COAT TO BE  
TIGER DRYLAC  
BLACK RAL 9005

01000 01000-01000	02000 02000-02000	03000 03000-03000	04000 04000-04000	05000 05000-05000	06000 06000-06000
07000 07000-07000	08000 08000-08000	09000 09000-09000	10000 10000-10000	11000 11000-11000	12000 12000-12000
13000 13000-13000	14000 14000-14000	15000 15000-15000	16000 16000-16000	17000 17000-17000	18000 18000-18000
19000 19000-19000	20000 20000-20000	21000 21000-21000	22000 22000-22000	23000 23000-23000	24000 24000-24000
25000 25000-25000	26000 26000-26000	27000 27000-27000	28000 28000-28000	29000 29000-29000	30000 30000-30000
31000 31000-31000	32000 32000-32000	33000 33000-33000	34000 34000-34000	35000 35000-35000	36000 36000-36000
37000 37000-37000	38000 38000-38000	39000 39000-39000	40000 40000-40000	41000 41000-41000	42000 42000-42000
43000 43000-43000	44000 44000-44000	45000 45000-45000	46000 46000-46000	47000 47000-47000	48000 48000-48000
49000 49000-49000	50000 50000-50000	51000 51000-51000	52000 52000-52000	53000 53000-53000	54000 54000-54000
55000 55000-55000	56000 56000-56000	57000 57000-57000	58000 58000-58000	59000 59000-59000	60000 60000-60000
61000 61000-61000	62000 62000-62000	63000 63000-63000	64000 64000-64000	65000 65000-65000	66000 66000-66000
67000 67000-67000	68000 68000-68000	69000 69000-69000	70000 70000-70000	71000 71000-71000	72000 72000-72000
73000 73000-73000	74000 74000-74000	75000 75000-75000	76000 76000-76000	77000 77000-77000	78000 78000-78000
79000 79000-79000	80000 80000-80000	81000 81000-81000	82000 82000-82000	83000 83000-83000	84000 84000-84000
85000 85000-85000	86000 86000-86000	87000 87000-87000	88000 88000-88000	89000 89000-89000	90000 90000-90000
91000 91000-91000	92000 92000-92000	93000 93000-93000	94000 94000-94000	95000 95000-95000	96000 96000-96000
97000 97000-97000	98000 98000-98000	99000 99000-99000			



AWTHINGS THOMPSON  
ARCHITECTURAL PRODUCTS

827 NW 145TH TERRACE  
PENSACOLA, FL 32507

TITLE: **POWDER COAT CHART**

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

REVISION: \_\_\_\_\_

SALES: **CT**






Exhibit 12  
Freestanding Signage

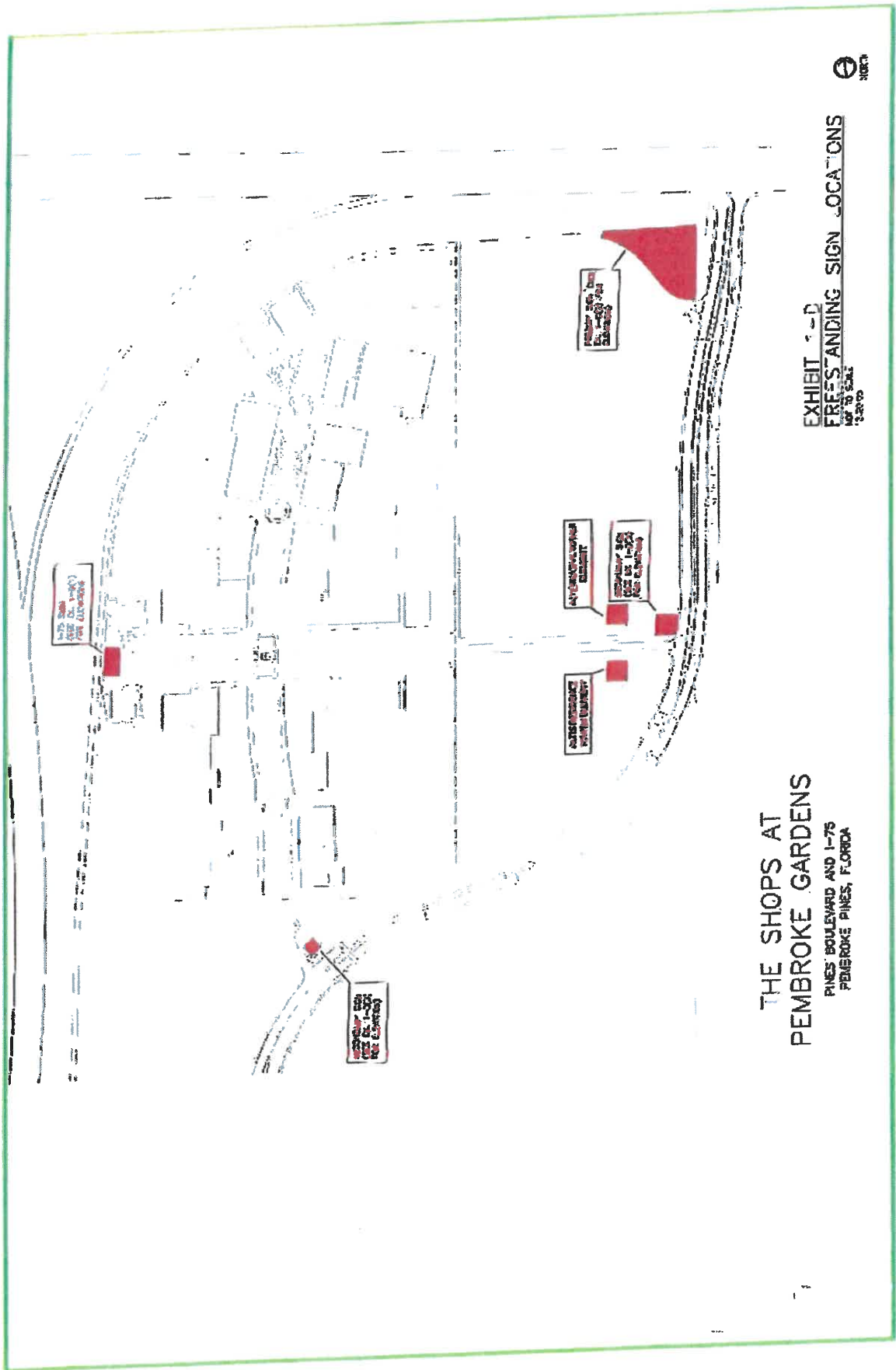
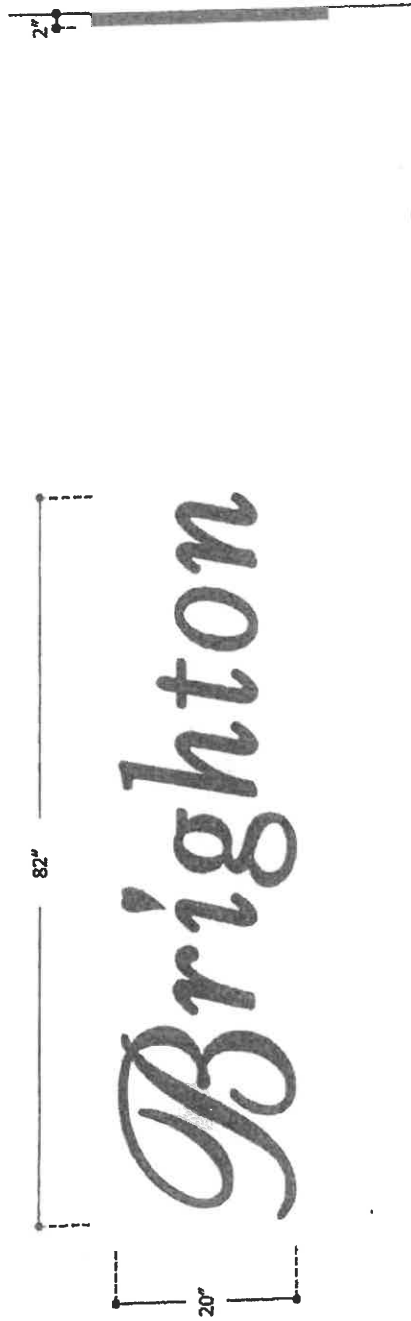


Exhibit 13

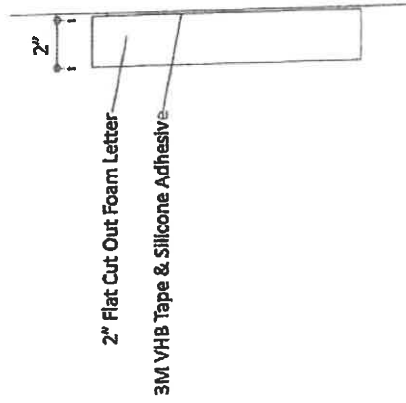
Seasonal/Pop Up Store Signage Elevation Sample



**A** FOAM FCO LETTERS  
TWO SET/S REQUIRED

TOTAL SIGN AREA: 11.39 S.F.  
SCALE: 1" = 1'

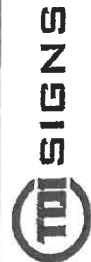
**A** END VIEW



**A** COLOR SCHEDULE

F1 2" Black Foam

**A** ATTACHMENT DETAIL



13158 ARCTIC CIRC.  
SANTA FE SPRINGS, CA 90670  
PH. 562.436.5188  
FX. 562.436.5199  
WWW.TDSIGNS.COM

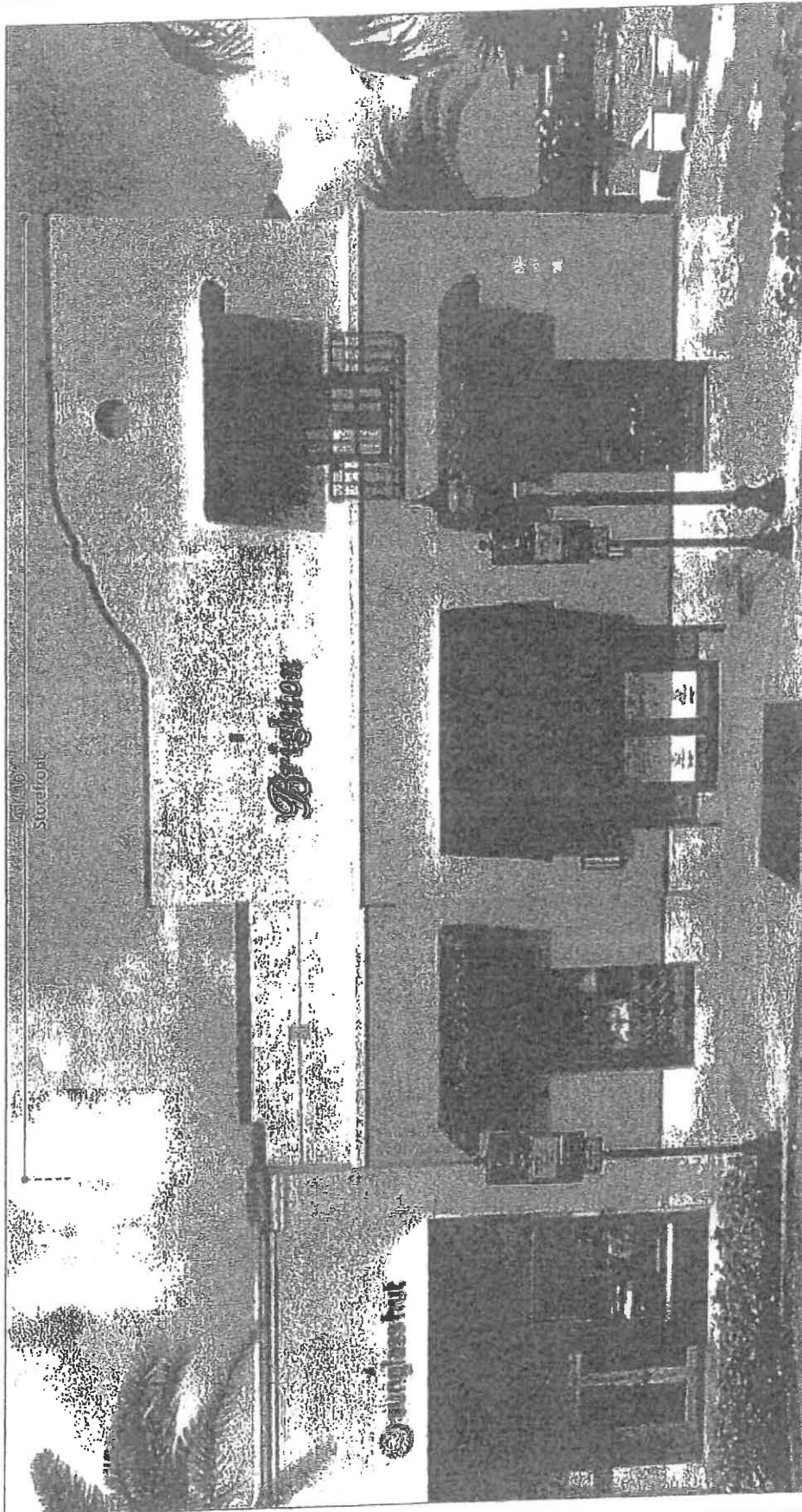
PROJECT: Brighton, Pembroke Phase 2  
ADDRESS: 14564 SW 145th Terrace  
CITY/STATE: Pembroke Pines, FL  
ZIP CODE: 33027

DESIGNER: D. Hyman  
ACCT MAN: D. Rivas  
PM: C. Pedroza  
Time: 2 hour

DRAWING APPROVALS:  
CLIENT: \_\_\_\_\_  
LANDLORD: \_\_\_\_\_  
TDS SIGNS: \_\_\_\_\_

#180023-01  
1/24/18  
PAGE: 5 OF 5

THIS IS AN ORIGINAL, UNREPRODUCED DRAWING CREATED BY TDS SIGNS. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TDS SIGNS. THIS DRAWING IS VALID AS LONG AS IT IS USED IN ACCORDANCE WITH THE TDS SIGNS SPECIFICATIONS AND A TDS SIGNS SIGN IS USED TO CALL OUTS FOR ACTUAL CREATION TO BE USED.



**A2** EAST ELEVATION - TEMPORARY FOAM FCO LETTER SIGN  
ONE SET/S REQUIRED

SCALE: 1/4" = 1'



13158 ARCTIC CIRC.  
SANTA FE SPRINGS, CA 90670  
PH. 562.436.5188  
FX. 562.436.5199  
WWW.TDISIGNS.COM

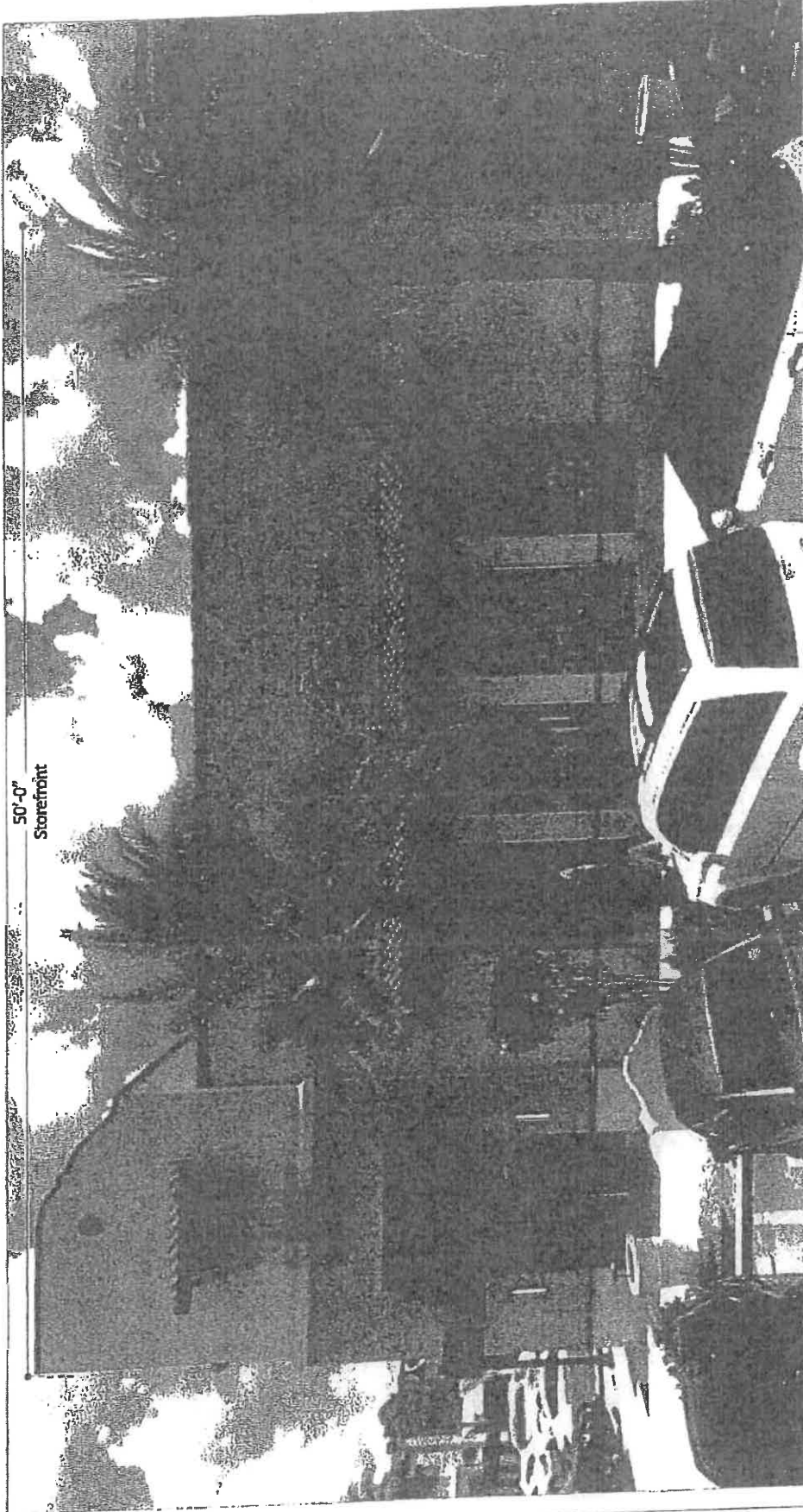
PROJECT: Brighton, Pembroke Phase 2  
ADDRESS: 14564 SW 145th Terrace  
CITY/STATE: Pembroke Pines, FL  
ZIP CODE: 33027

DESIGNER: D. Hymán  
ACCT MAN: D. Rivas  
PMC: C. Pedroza  
Time: 2 hour

DRAWING APPROVALS:  
CLIENT: \_\_\_\_\_  
LANDLORD: \_\_\_\_\_  
TDI SIGNS: \_\_\_\_\_

#180023-01  
1/24/18  
PAGE: 4 OF 5

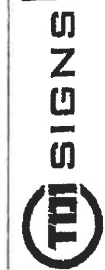
THIS IS AN ORIGINAL UNCHANGED DRAWING CREATED BY TDI SIGNS. IT IS SUBMITTED FOR YOUR APPROVAL. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TDI SIGNS. THIS DESIGN IS VALID IN THE STATE OF FLORIDA. THIS DESIGN MUST BE APPROVED BY THE CLIENT AND LANDLORD BEFORE ANY CONSTRUCTION. TO CALL OUT FOR ACTUAL COLORS TO BE USED.



50'-0"  
Storefront

**A1** NORTH ELEVATION - TEMPORARY FOAM FCO LETTER SIGN  
ONE SET/S REQUIRED

SCALE: 1/4" = 1'



13158 ARCTIC CIRC.  
SANTA FE SPRINGS, CA 90670  
PH. 562.436.5183  
FX. 562.436.5189  
WWW.TDSIGNS.COM

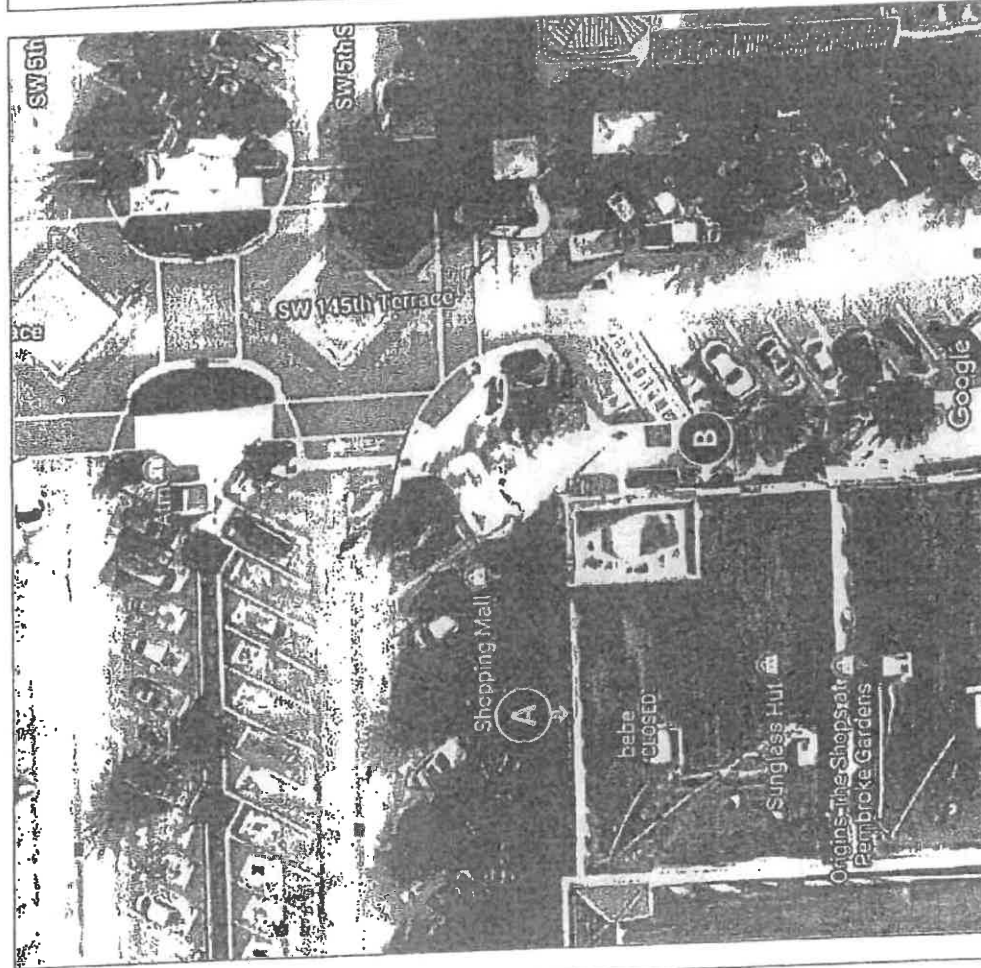
PROJECT: Brighton, Pembroke Phase 2  
ADDRESS: 14564 SW 145th Terrace  
CITY/STATE: Pembroke Pines, FL  
ZIP CODE: 33027

DESIGNER: D. Hyman  
ACCT MAN: D. Rivas  
PM: C. Pedroza  
Time: 2 hour

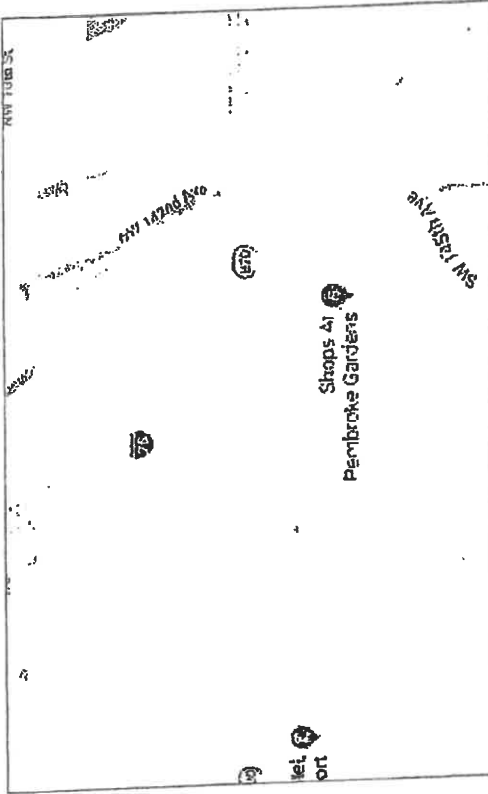
DRAWING APPROVALS:  
CLIENT: \_\_\_\_\_  
LANDLORD: \_\_\_\_\_  
TDI SIGNS: \_\_\_\_\_

#180023-01  
1/24/18  
PAGE: 3 OF 5

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SITE PLAN



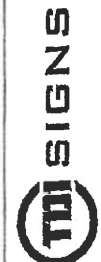
VICINITY MAP

**SIGN A: Manufacture and install (1) set of Temporary Foam FCO Letters on North Elevation**

**SIGN B: Manufacture and install (1) set of Temporary Foam FCO Letters on East Elevation**

**SCOPE OF WORK**

13458 ARCTIC CIRC.  
SANTA ROSA, CA 96070  
PH. 562.436.5188  
FX. 562.436.5199  
WWW.TDISIGNS.COM



**PROJECT:** Brighton, Pembroke Phase 2  
**ADDRESS:** 14564 SW 145th Terrace  
**CITY/STATE:** Pembroke Pines, FL  
**ZIP CODE:** 33027

**DESIGNER:** D. Hyman  
**ACCT MAN:** D. Rivas  
**PM:** C. Pedroza  
**Time:** 2 hour

**DRAWING APPROVALS:**  
**CLIENT:**  
**LANDLORD:**  
**TDI SIGNS:**

**#180023-01**  
**1/24/18**  
**PAGE: 2 OF 5**

THIS IS AN ORIGINAL DRAWING. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF TDI SIGNS IS STRICTLY PROHIBITED. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF TDI SIGNS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TDI SIGNS.

# Brighton

## EXTERIOR MARKETING PACKAGE



19158 ARCTIC CIRC.  
SANTA FE SPRINGS, CA 90670  
P.H. 562.436.5188  
F.X. 562.436.5199  
WWW.TDISIGNS.COM

PROJECT: Brighton, Pembroke Phase 2  
ADDRESS: 14564 SW 145th Terrace  
CITY/STATE: Pembroke Pines, FL  
ZIP CODE: 33027

DESIGNER: D. Hyman  
ACCT MAN: D. Rivas  
PM: C. Pedroza  
Time: 2 hour

DRAWING APPROVALS:  
CLIENT: \_\_\_\_\_  
LANDLORD: \_\_\_\_\_  
TDI SIGNS: \_\_\_\_\_

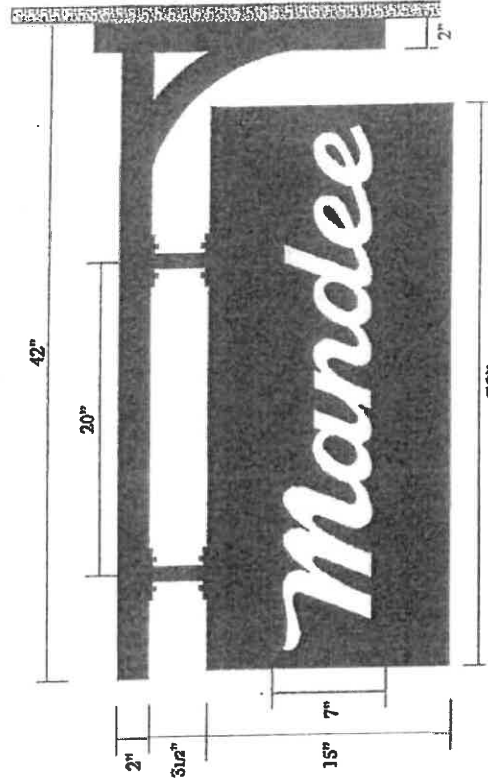
THIS IS AN ORIGINAL, UNREPRODUCED DRAWING. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER. ANY REPRODUCTION OR COPIING OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF TDI SIGNS IS STRICTLY PROHIBITED. THIS DESIGN MUST BE OBTAINED BY THE STATE. TO CALL OUTS FOR ACTUAL GOODS TO BE USED.

#180023-01  
1/24/18  
PAGE: 1 OF 5



Exhibit 14  
Tenant Blade Signage

15"X36" .080 ALUM. D/F BLADE SIGN, 7"  
'MANDEE' X 1" THK. WHITE LETTER ON  
BLACK ALUM. BACKGROUND W/ 1" BLACK  
BORDER, SIGN TO BE MOUNTED ON 42"  
BLACK ALUM. SIGN BRACKET.



BLADE SIGN ELEVATION

SCALE 1/2" = 1'

Exhibit 15  
Pole Banner Signage

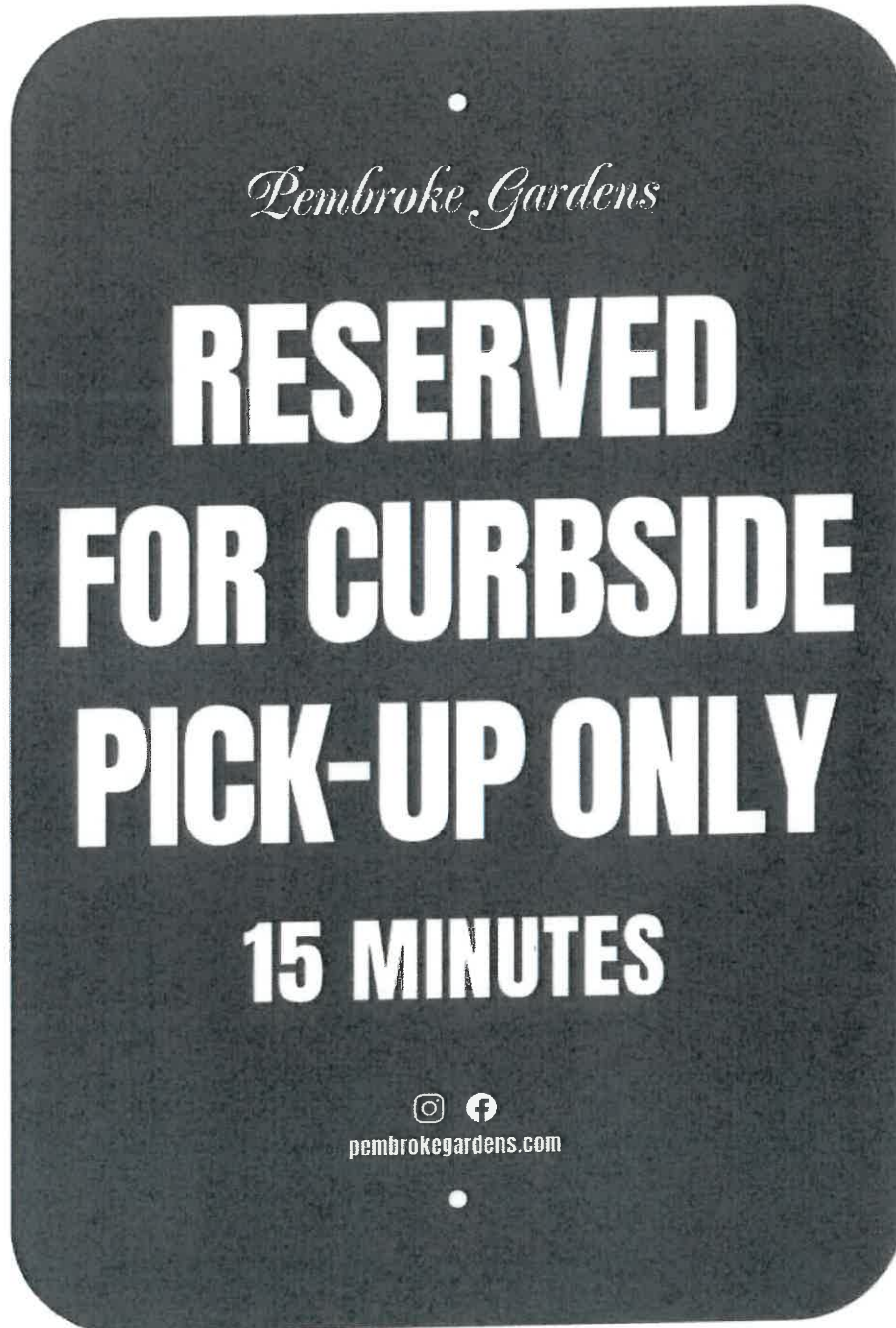


Exhibit 16

Time Limited/To Go Signage

12 in

18 in



Pembroke Pines  
**Signarama**

12240 SW 53rd Street, Suite 502  
Cooper City, FL 33330  
(954) 334-3436  
[www.signarama-pembrokepines.com](http://www.signarama-pembrokepines.com)

Description: (Qty. 15) UV LAMINATED WIDE FORMAT DIGITAL PRINT  
GRAPHICS ON .063 ALUMINUM BLANKS

Version: 1

Exhibit 17  
Project Announcing Signage

ONLY 10 DAYS UNTIL GRAND OPENING

COMING  
SOON

J.Jill  
GALYAN'S

Divas



ACCO

BORDERS

ANTIQUE LOFT

VICTORIA'S SECRET

Claddagh  
Irish Pub

OLD NAVY

GYMBOREE

ALGONQUIN  
COMMONS

POTTERY BARN  
Coldwater Creek

BIAGGI'S  
RISTORANTE ITALIANO

DSW  
SHOE  
WAREHOUSE

HOLLISTER Co.

AMERICAN EAGLE  
OUTFITTERS

BOMBAY  
KIDS

Abercrombie  
& Fitch

JARED  
The County of Nevada

Talbots

Camille

WILLIAMS-SONOMA

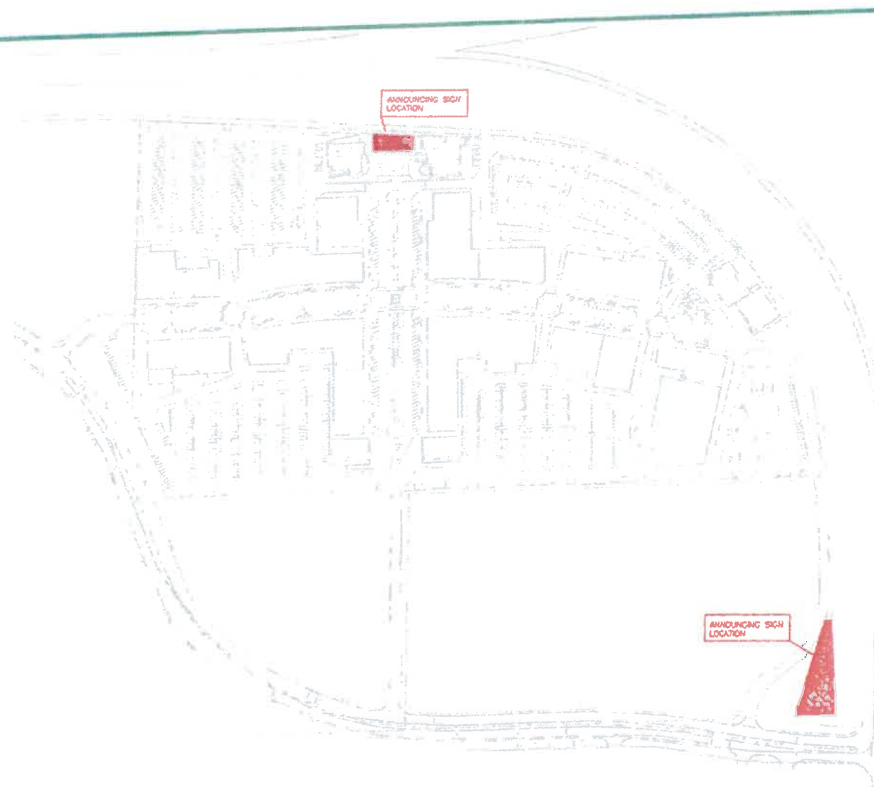
CHICO'S

GRAND  
OPENING  
OCT. 7, 2004

FOR LEASING INFO, Call Mark Fallon, (513) 241-5800

27 6:24 PM





THE SHOPS AT  
PEMBROKE GARDENS  
PINES BOULEVARD AND I-75  
PEMBROKE PINES, FLORIDA

EXHIBIT 1-F  
ANNOUNCING SIGN LOCATIONS  
NOT TO SCALE  
12.20.05



Exhibit 18  
Property Logo Spec Sheet

# *Pembroke Gardens*

Exhibit 19

Front & Rear Retailer Façade

A2.1

DATE: 10-10-07  
SCALE: 1/8" = 1'-0"

DATE: 10-10-07  
SCALE: 1/8" = 1'-0"

PETER MARK VIOLA  
FLORIDA ARCHITECT  
10-10-07

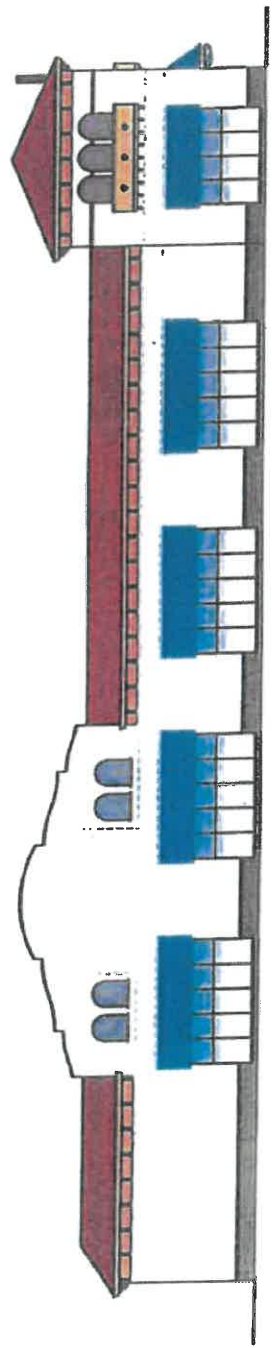
Architect  
PETER MARK VIOLA  
FLORIDA ARCHITECT  
10-10-07

BUILDING 1000  
FOR THE SHOPS AT PEMBROKE GARDENS  
606 SW 14TH TERRACE  
PEMBROKE PINES, FLORIDA 33027

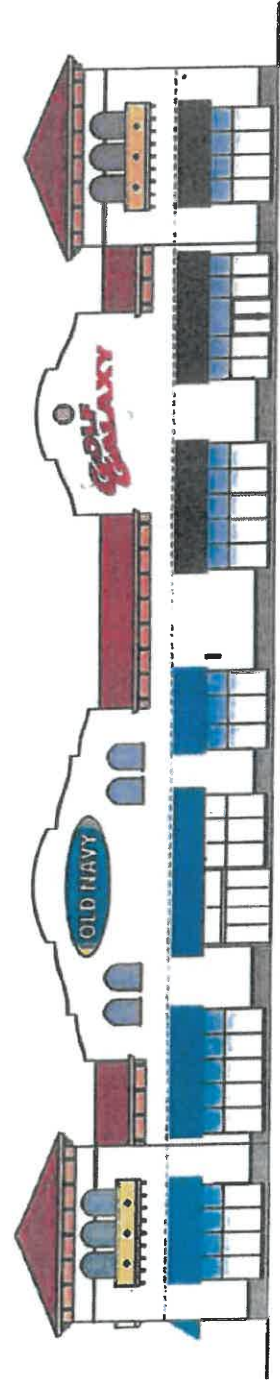



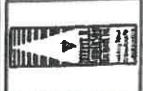


# BUILDING 1000 ELEVATIONS

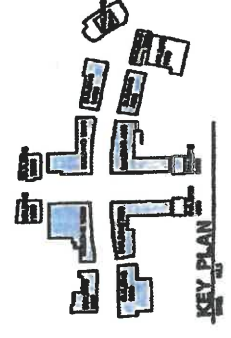
EAST ELEVATION  
10' - 0"



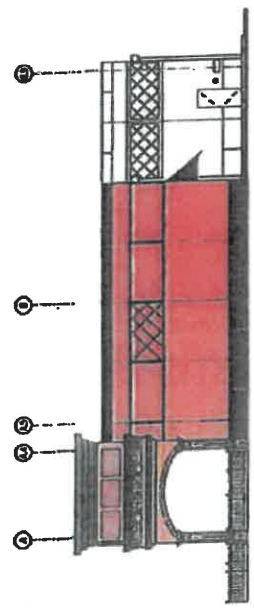
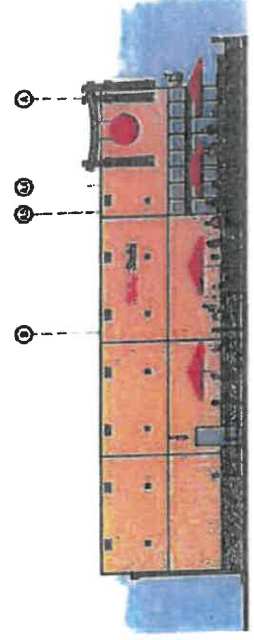
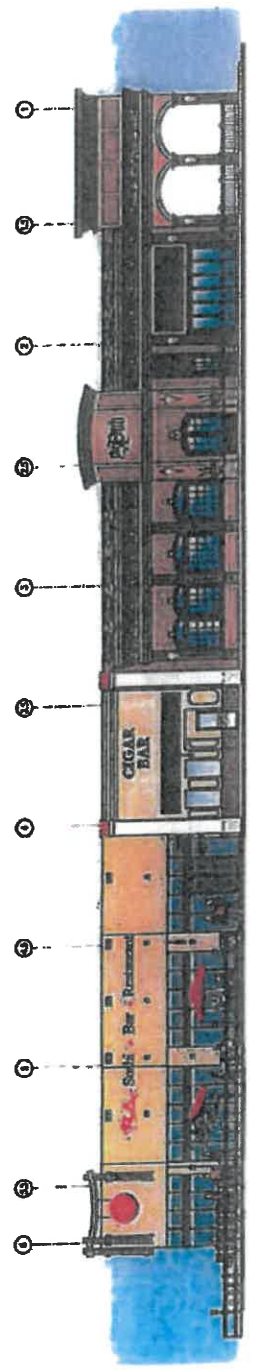
NORTH ELEVATION  
10' - 0"



		<b>CSO SCHEINER SHULTZ</b> 11111 1st Avenue, Suite 100, Fort Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112	<b>8</b>	<b>5</b>			<b>Shops at Pembroke Gardens</b> Pembroke Gardens Pembroke Pines, Florida <b>BUILDING 2000 &amp; 3000 ELEVATIONS</b>	<b>A301</b> 11/11/2015	200345
								Date: 11/11/2015	200345

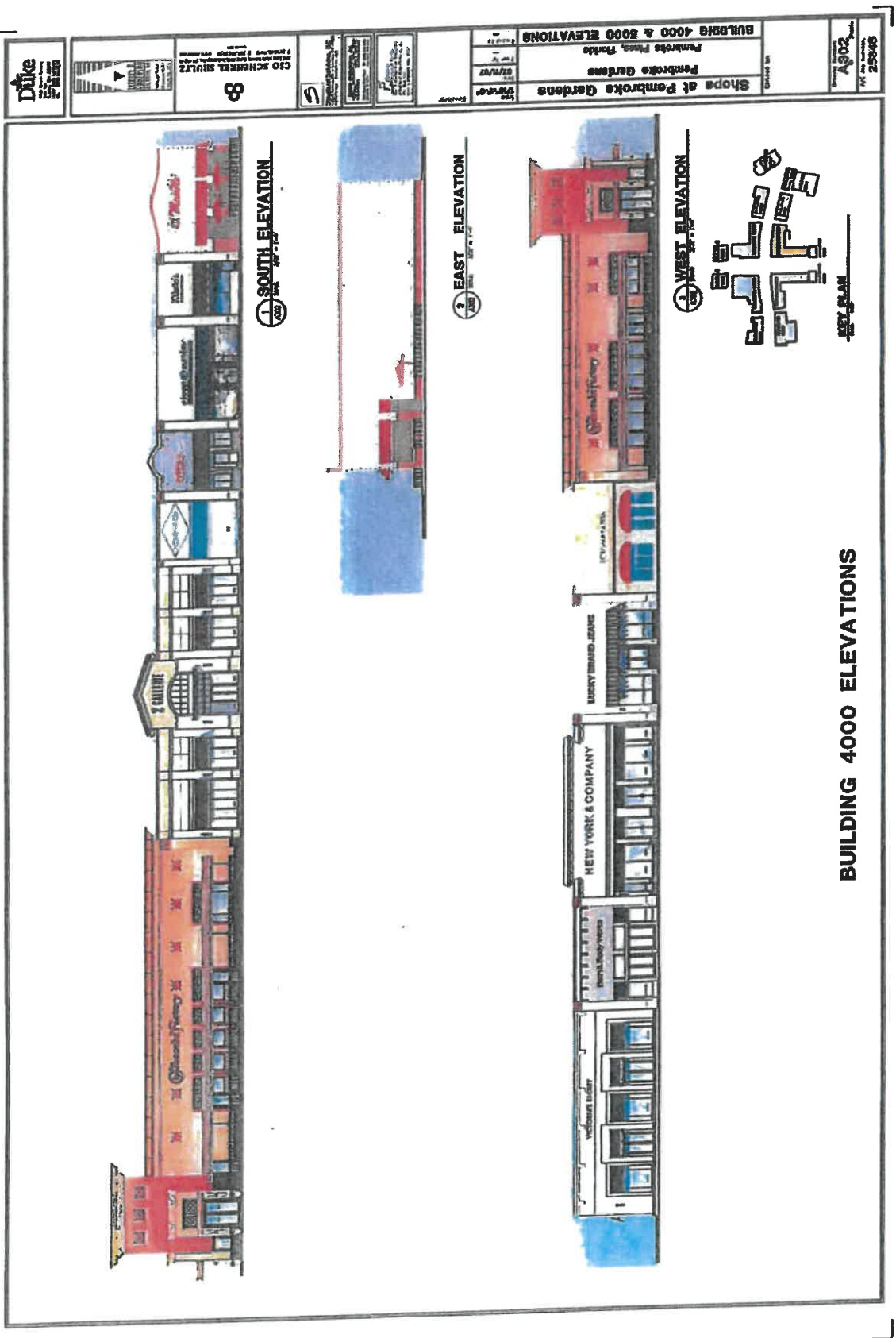


# BUILDING 2000 ELEVATIONS

















**8**

**CSO SCIENTIFIC ANALYZE**

1. Structural Analysis & Design

2. Foundation Design

3. Geotechnical Engineering

4. Environmental Engineering

5. Civil Engineering

6. Mechanical Engineering

7. Electrical Engineering

8. Architectural Engineering

**Permit No.**

**Project No.**

**Scale**

**Sheet No.**

**Shops at Pembroke Gardens**

**Pembroke Gardens**

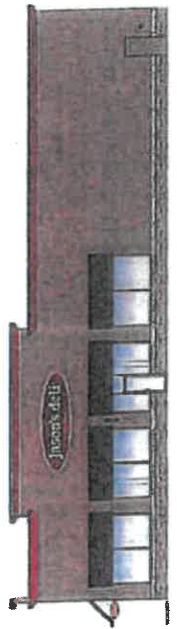
**Pembroke Pines, Florida**

**BUILDING 4000 & 5000 ELEVATIONS**

**Architect**

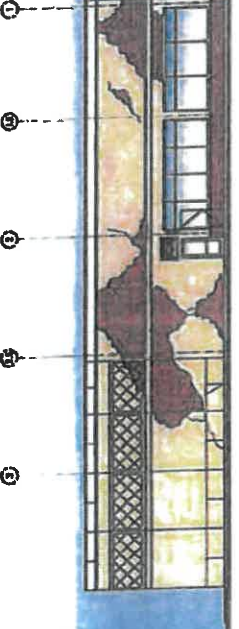
**A302**

**20345**



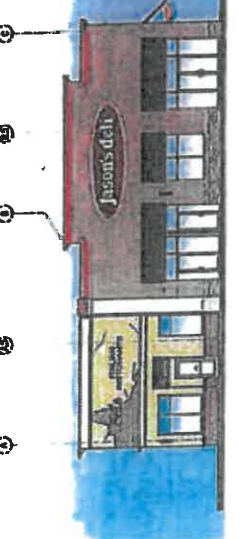
**1 EAST ELEVATION**

ASB 1/8" = 1'-0"



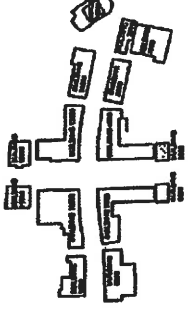
**2 WEST ELEVATION**

ASB 1/8" = 1'-0"



**3 SOUTH ELEVATION**


ASB 1/8" = 1'-0"




**KEY PLAN**

ASB 1/8" = 1'-0"


**BUILDING 5000 ELEVATIONS**






**8**

CD SCHUEHL SMITH






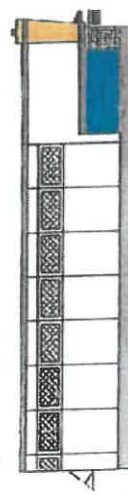
Shops at Pembroke Gardens  
Pembroke Gardens  
Pembroke Pines, Florida

7/1/17  
8/1/17  
9/1/17

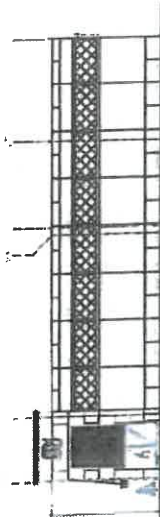
**Building 7000 Elevations**



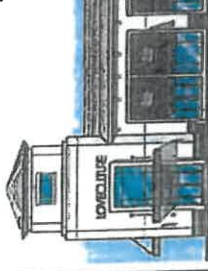
**1 NORTH ELEVATION**




**1 EAST ELEVATION**



**1 SOUTH ELEVATION**



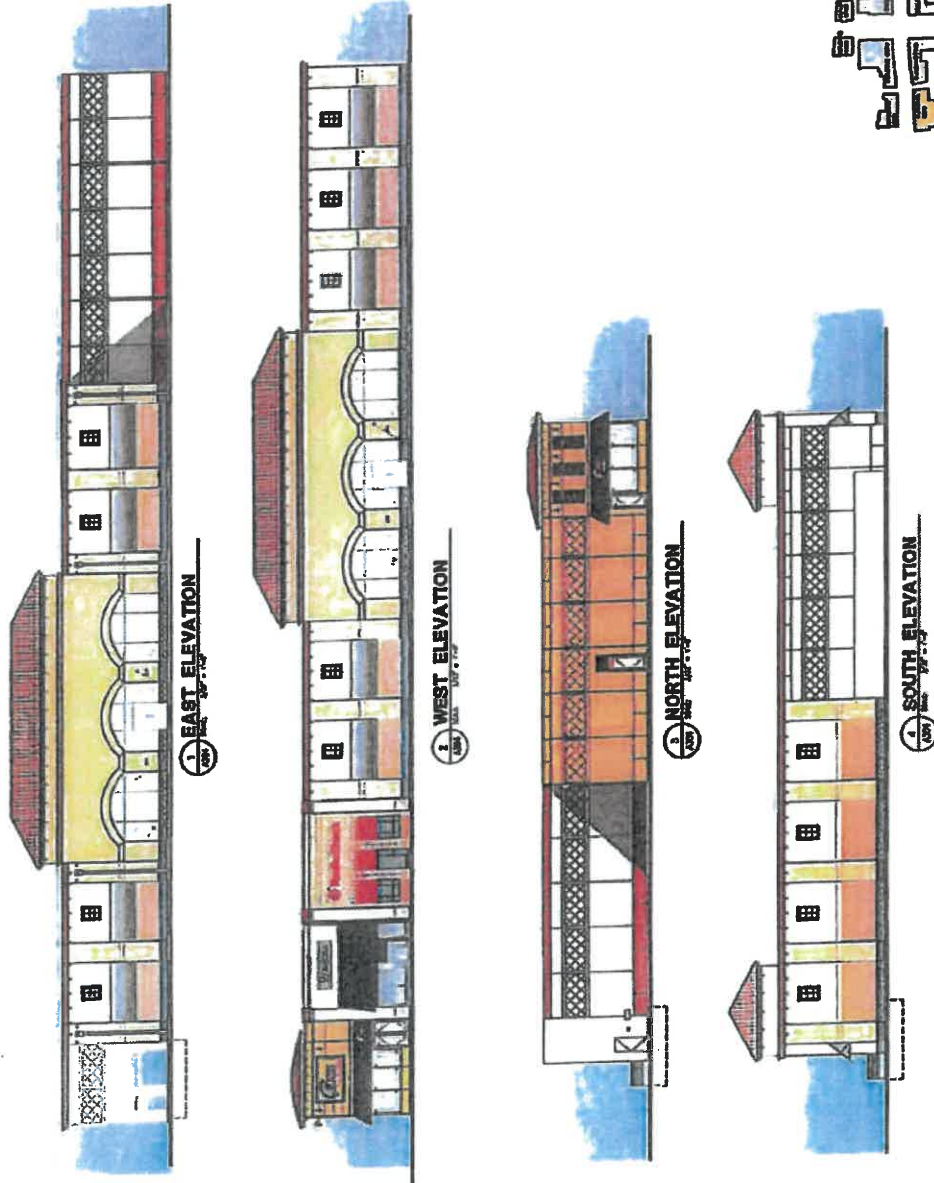

**1 WEST ELEVATION**



**KEY PLAN**

**BUILDING 7000 ELEVATIONS**

**KEY PLAN**

Duke  
Duke







CSO SCHENNEL SHUTZ

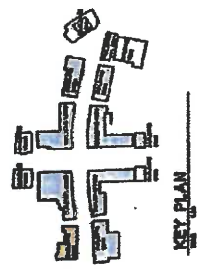
5

	2019/10/10
	2019/10/10
	2019/10/10
	2019/10/10

**Shops at Pembroke Gardens**  
Pembroke Gardens  
Pembroke Park, Florida  
BUILDING 3000 & 3000 ELEVATIONS

100% **A304** 2000  
 100% **A304** 2000

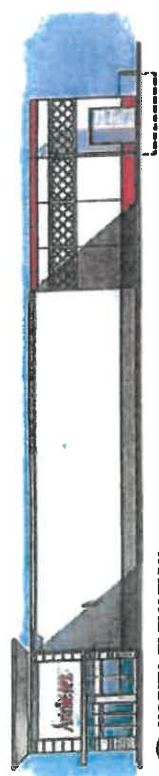
		<b>8</b> CSD SCHENKER, SMOLTZ 2100 N. 1st St., Suite 100 Phoenix, AZ 85016 Phone: (602) 944-1111 Fax: (602) 944-1112										<b>Shops at Pembroke Gardens</b> Pembroke Gardens Pembroke Plaza, Florida BUILDING 8000 & 9000 ELEVATIONS	Project No. <b>7304</b> Date: <b>2/23/05</b>
												Scale: <b>1/8" = 1'-0"</b>	



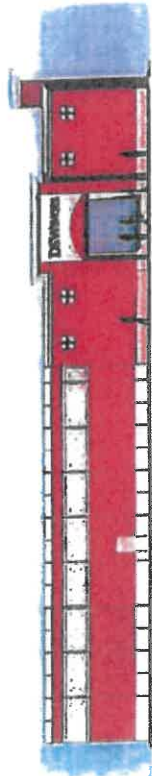
# BUILDING 9000 ELEVATIONS



**EAST ELEVATION**  
 1/8" = 1'-0"

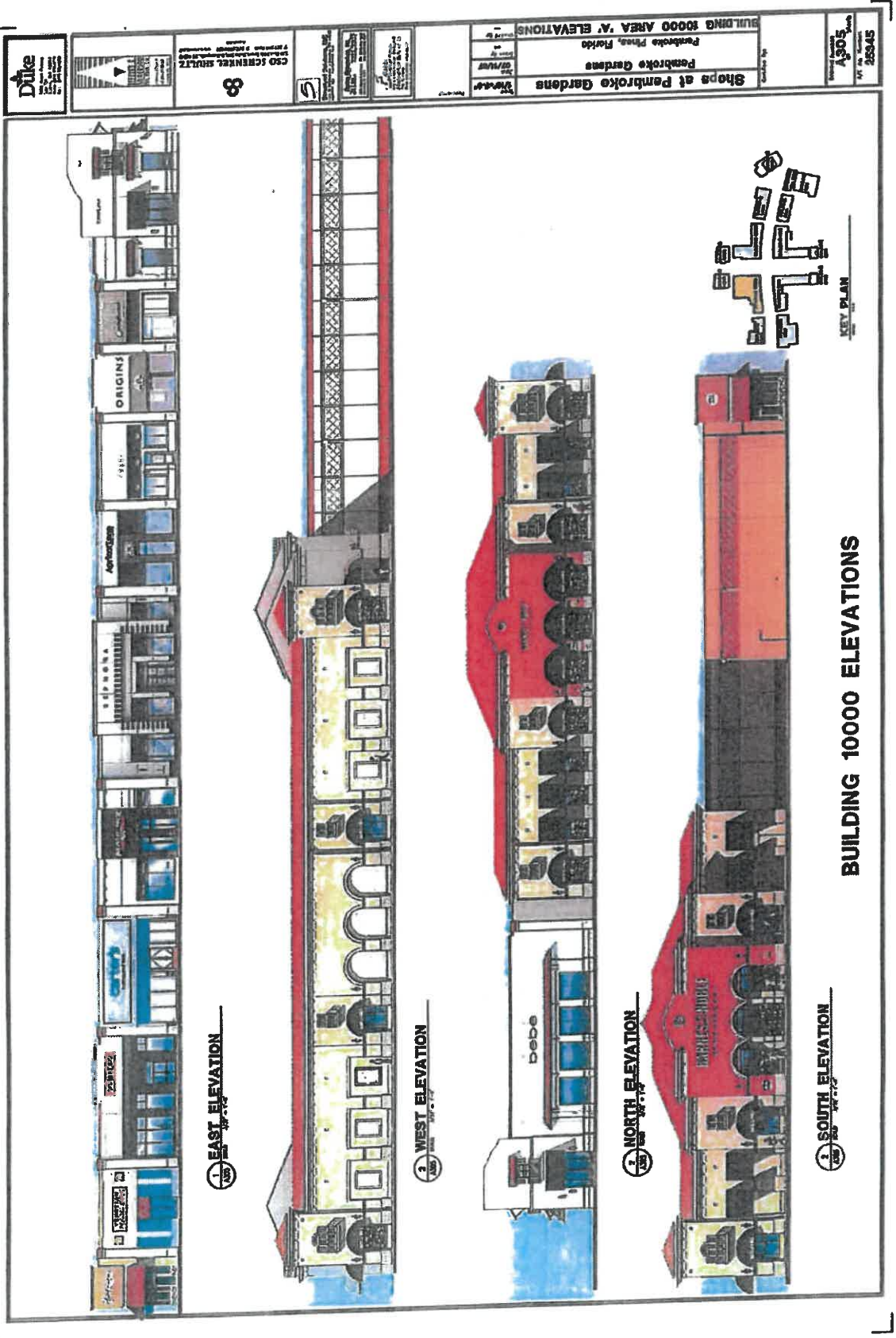


**NORTH ELEVATION**  
 1/8" = 1'-0"



**SOUTH ELEVATION**  
 1/8" = 1'-0"







**Shops at Pembroke Gardens**  
Pembroke Gardens  
Pembroke Place, Florida  
BUILDING 13000 ELEVATIONS

25345  
4/1 203 10/10/10  
A308  
4/1 203 10/10/10



2170HS 733N3H52



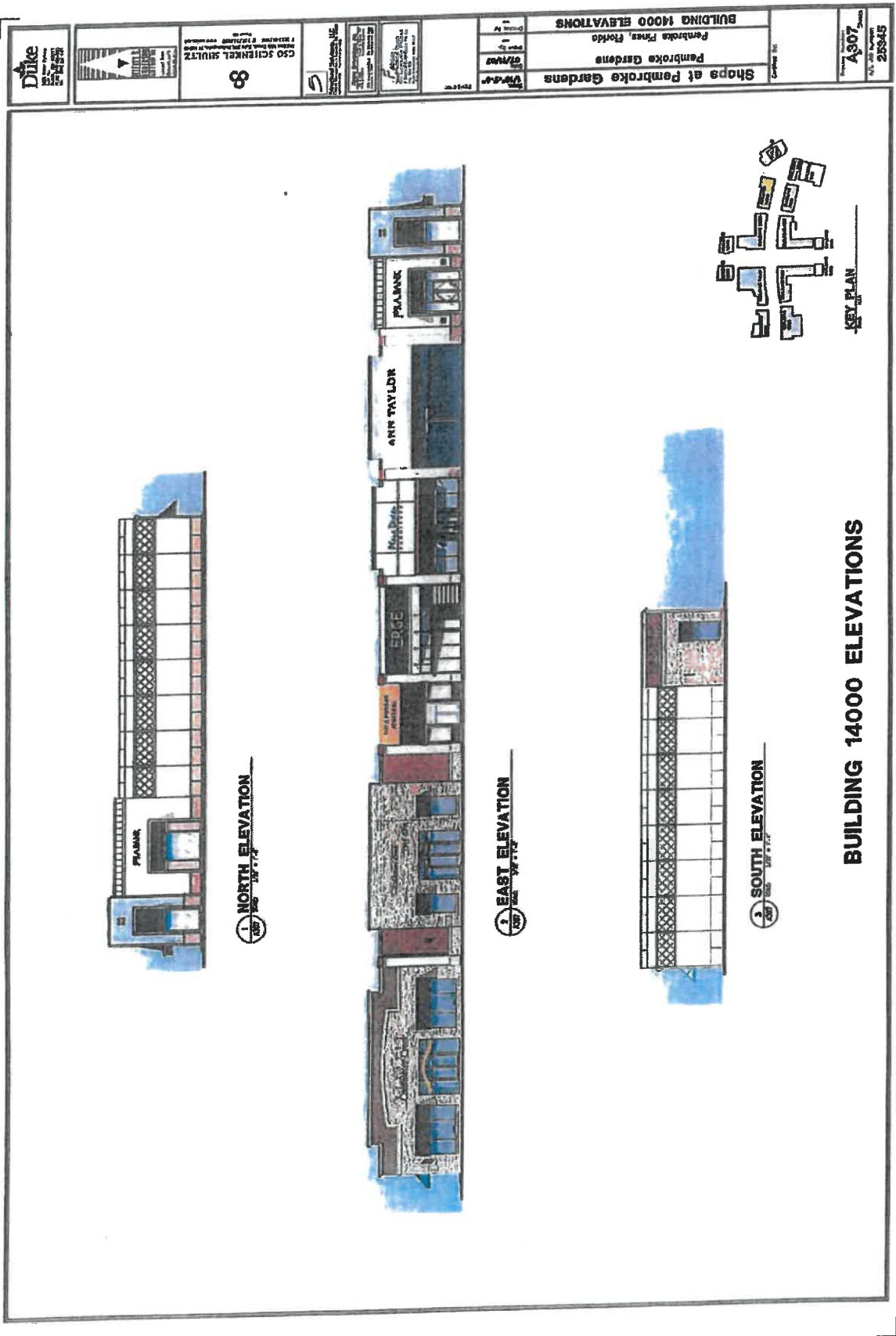


Exhibit 20

Residential Building Identity Signage



CLIENT  
**FEDERAL REALTY**

090 H Federal Ave, Boca Raton, FL 33432

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**Available Professional Services (BIM) Inc.**

REV	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	01/11/2022



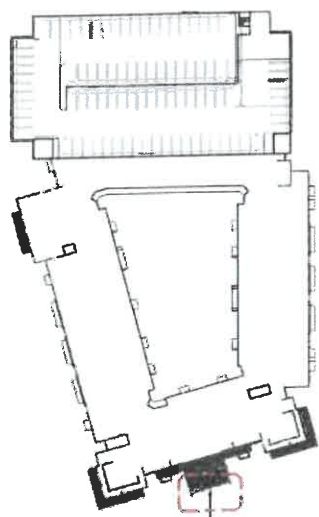
**ARCADIS**  
7000 W. Palmetto Ave., 2nd Floor  
Miami, FL 33143  
Tel: 305.555.1234  
www.arcadis.com

**PROJECT**  
Pembroke Gardens Residential  
Pembroke Park, Florida

**PROJECT NO.** 220172  
**DESIGNED BY:** [Signature]  
**CHECKED BY:** [Signature]  
**APPROVED BY:** [Signature]  
**DATE:** 01/11/2022

**SHEET NO.** 112  
**SIGNAGE EXHIBIT - A**

**SHEET NUMBER**  
**AS1.06**



60 SF BUILDING IDENTITY SIGN

**1 KEY PLAN - A**  
AS1.06 Scale: 1"=50'-0"



**2 BUILDING IDENTITY SIGN**  
AS1.06 Scale: 1/2"=1'-0"

Exhibit 21

Shared Parking Garage Entrance Signage

CLIENT  
**FEDERAL REALTY**

980 N Federal Hwy, Boca Raton, FL 33432

**CONTRACT**  
This drawing has been prepared solely for the use of the client and is not to be used for any other purpose without the written consent of the architect. The architect assumes no responsibility for the accuracy or completeness of the information provided by the client. The architect is not responsible for the accuracy or completeness of the information provided by the client. The architect is not responsible for the accuracy or completeness of the information provided by the client.

**Architect: Professional Services (PSS) Inc.**

REVISION	DATE
No.	DATE



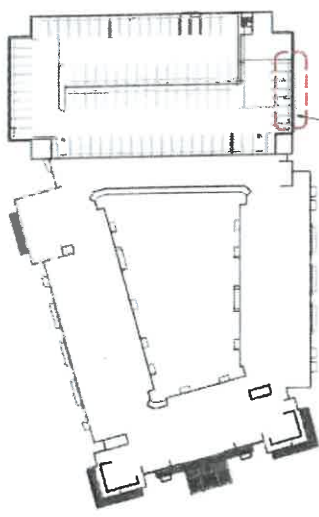
**ARCADIS**  
7000 Pines Blvd, Suite 200  
Boca Raton, FL 33433  
Tel: 561.995.1100  
Fax: 561.995.1101  
www.arcadisusa.com

**PROJECT**  
Pembroke Gardens Residential  
Pembroke Park, Florida

**PROJECT NO:** 233172  
**DRAWN BY:** [Name]  
**PROJECT MGR:** [Name]  
**APPROVED BY:** [Name]  
**DATE:** [Date]

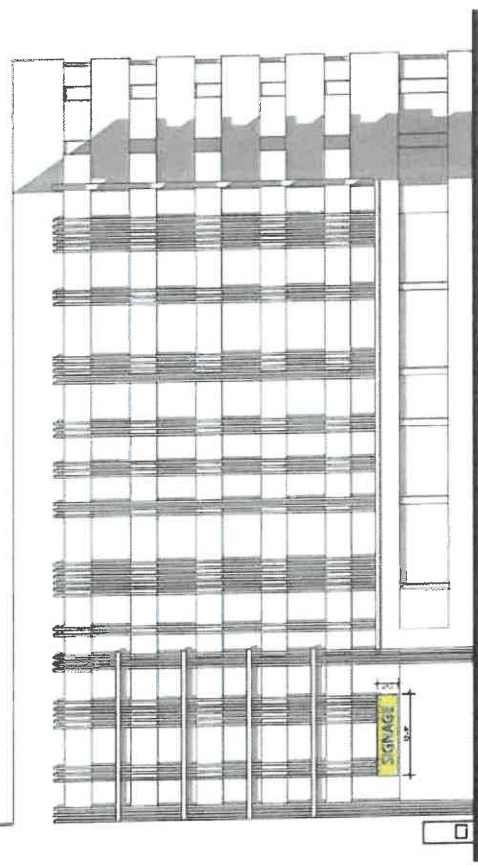
**SHEET TITLE**  
SIGNAGE EXHIBIT - B

**SHEET NUMBER**  
AS1.07  
**SCALE**



**1 KEY PLAN - B**  
AS1.07 Scale: 1"=50'-0"

**36 SF SHARED PARKING  
GARAGE ENTRANCE SIGN**



**1 SHARED PARKING GARAGE ENTRANCE SIGN**  
AS1.07 Scale: 1/8"=1'-0"

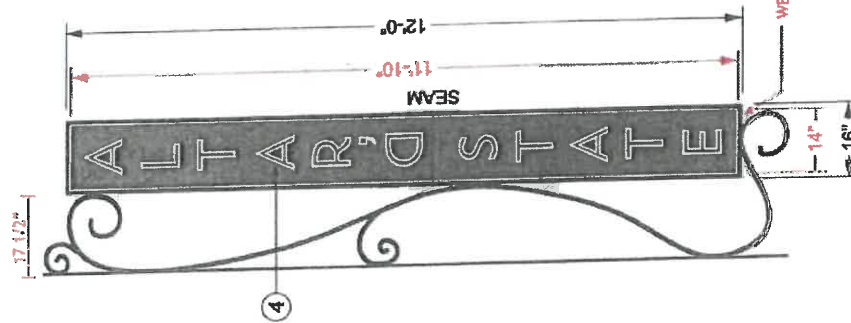
Exhibit 22

Projecting/Grand Blade Sign

# **A** PUSH-THRU CABINET SIGN - ELEVATION Scale: 1/2" = 1' - 0"

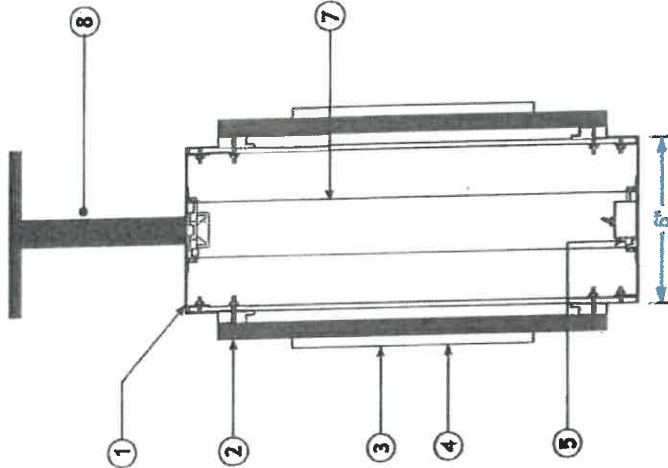
## **SIGN - DETAILS**

- 6" DEEP ALUMINUM EXTRUSION CABINET, PAINTED "CHARCOAL GRAY" (EXACT COLOR T.B.D.), INSIDE PAINTED HIGH GLOSS WHITE
- 1" THICK CLEAR ACRYLIC PUSH THRU WITH SANDED EDGES STUDDED, BACKED WITH 1/8" POLYCARBONATE STUD MOUNTED TO EXTRUSION WITH ROUTED BROKE ALUMINUM OVERLAY PAINTED TO MATCH PANTONE METALLIC #8621C "BRONZE", MP20156, TO "SHOEBOX" OVER ACRYLIC (ONLY 1/4" OF ACRYLIC PUSH-THRU TO SHOW AS EDGE-LIT)
- 1/2" THICK ROUTED ACRYLIC PUSH-THRU "ALTARD STATE" LETTERS, WITH POLYCARBONATE BACKER PANEL AND STUD MOUNTED TO BACK SIDE OF ALUMINUM OVERLAY.
- ALUMINUM OVERLAY PAINTED TO MATCH SW #7010 WHITE DUCK MP39439 AND IN-LINES PAINTED TO MATCH PANTONE METALLIC #8621C "BRONZE" MP20156. OVERLAYS WILL BE GLUED TO THE FACE OF LETTERS.
- GE TETRA EDGE STRIP MD 3200X WHITE LED UNITS TO ILLUMINATE SIGN APPLIED ALONG INSIDE TOP AND BOTTOM OF EXTRUSION. WITH SELF CONTAINED GE GP24-100U-NA LED DRIVERS (120-277 VOLT)
- WEEP HOLES WITH LIGHT COVERS IN BOTH CABINETS
- 2" WIDE SQUARE STEEL TUBE STRUCTURE, TO RUN COMPLETELY THROUGH SIGN AND ATTACH TO WELDED ANGLES WITH NUTS AND BOLTS INSIDE OF CABINETS
- SIGN WILL ATTACH TO STOREFRONT WITH SCROLL WORK ARMATURE BY OTHERS, DETAIL AND ENGINEERING T.B.D. MUST HAVE ADEQUATE MOUNTING TO HOLD WEIGHT OF SIGN.



OPTION 1 - EDGE LIGHTING ONLY WITH OVERLAYS

## **PUSH-THRU CABINET SIGN - DETAILS** SCALE 3/4" = 1' - 0"



GC TO SUPPLY A 10'-0" WHIP COMING FROM INSIDE THE STORE THROUGH THE ARMATURE AND CAPPED OFF ELECTRIC LOCATION T.B.D



**Ruggles SIGN**  
93 Industry Drive  
PO Box 349  
Versailles, KY 40383  
859.879.1199



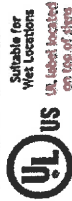
ALTAR'D STATE

Store 235  
Space 7070

THE SHOPS AT PEMBROKE  
GARDENS  
14560 SW 5TH STREET  
PEMBROKE PINES, FL 33027

This sign is intended to be installed in accordance with the requirements of Article 604 of the National Electrical Code and any applicable local codes. This includes proper grounding and bonding of this sign.

RUGGLES SIGN DOES NOT PROVIDE ANNUAL ELECTRICAL TO SIGN LOCATION!



Suitable for Wet Locations  
UL label located on top of sign

Submittal Date: 04/14/21  
Acct Rep: Matt Boone  
Designer: Derek Couch

### REVISIONS

r1:	04/16/21	r7:	
r2:		r8:	
r3:		r9:	
r4:		r10:	
r5:		r11:	
r6:		r12:	

PAGE: 3

ADS PT CB144 cust BLADE

Exhibit 23

External Illuminated Signage/Mural/Super Graphic

**External Illumination / Mural / Super Graphic**

