




City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	June 26, 2025	Application ID:	SP2024-0009
Project:	AT&T Wall and Egress	Project Number:	PRJ2024-0012
Project Planner	Cole Williams, Senior Planner		
Owner:	Southern Bell Telephone & Telegraph Company	Agent:	Lisset Morejon
Location:	13900 Pines Boulevard	Commission District	4
Existing Zoning:	A (Agriculture)	Existing Land Use:	Office Park
Reference Applications:	ZC2001-04, SP 98-75, SP 95-17, SUB 90-08, SP 82-05		
Applicant Request:	Addition of a egress point and wall along the southern property line.		
Staff Recommendation:	Approval		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board <input type="checkbox"/> City Commission		
Reviewed for the Agenda:	Director:  Assistant Director: 		

Project Description / Background

Lisset Morejon, agent, is requesting approval of a wall and new egress point with associated driveway along the southern property line at the AT&T site located at 13900 Pines Boulevard.

In 1982, the site was approved through Site Plan SP 82-05. The parking lot was expanded in 1995 (SP 95-17) and 1998 (SP 98-75).

The site is currently used to support AT&T services. Currently, the only ingress/egress to the site is along the northern property line onto southwest 2nd street. The proposed improvement aims to provide better traffic flow.

ACCESS:

The applicant is proposing a new egress with associated driveway along the southern property line, providing direct access to Southwest 5th Street. This egress is intended for vehicles exiting the site and traveling northbound. Currently, northbound traffic must exit onto Southwest 2nd Street, turn right onto Southwest 145th Avenue, and then make a U-turn at the intersection of Southwest 5th Street and Southwest 145th Avenue. The proposed egress will streamline this movement, improving traffic flow and reducing the need for circuitous routing.

BUILDINGS / STRUCTURES:

The applicant is proposing to remove the southernmost portion of existing 6' chainlink fence and replace it with a 8' tall precast concrete wall with automatic metal sliding gate. The following colors are proposed for the wall and gate:

- Wall Main Body: T141 (Misty Bay)
- Wall Accents: SW 6527 (Gibraltar), SW 7006 (Extra White)
- Gate: SW 7006 (Extra White)

LANDSCAPING:

The following landscape is being proposed for this site:

- Installation of 2 trees, 7 palms, 250 shrubs, and 1025 groundcovers.
 - Primary species of trees include: Swietenia mahagoni - West Indies mahogany and Lagerstroemia indica - Crape myrtle.
 - Primary species of palms include: Sabal palmetto - Sabal palm and Roystonea regia - Royal palm.
 - Primary species of shrubs include: Conocarpus erectus - Green buttonwood, Chrysobalanus icaco - 'Red Tip' cocoplum, and Ilex vomitoria - Yaupon holly.
 - Primary species of groundcovers include: Nephrolepis exalta - Dwarf Boston fern.

- Trees remaining on site include: Quercus virginiana – Live oak, Ligustrum japonicum - Japanese privet, Roystonea regia - Royal palm, Lagerstroemia indica - Crape myrtle, and Swietenia mahagoni - West Indies mahogany.

OTHER SITE FEATURES:

The applicant is proposing 1, 20' tall concrete light pole with LED fixtures and replace of 3 existing light fixtures with LED fixtures.

Staff has reviewed the proposed changes and finds that the proposal meets all code requirements. Staff therefore recommends approval of this application.

Enclosed:

Unified Development Site Plan Application
 Memo from Engineering Division (5/14/2025)
 Memo from Fire Prevention Bureau (2/12/2025)
 Memo from Planning Division (1/30/2025)
 Memo from Landscape Planner (1/30/2025)
 Memo from Traffic Consultant (12/6/2024)
 Memo from Zoning Division (11/26/2024)
 Memo from Zoning Division (11/13/2024)
 Memo from Fire Prevention Bureau (11/7/2024)
 Memo from Planning Division (11/5/2025)
 Memo from Engineering Division (8/14/2024)
 Memo from Zoning Division (7/23/2024)
 Memo from Landscape Planner (7/23/2024)
 Memo from Fire Prevention Bureau (7/17/2024)
 Memo from Planning Division (7/16/2024)
 Site Plan
 Subject Site Aerial Photo



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____ Planner: _____

Indicate the type of application you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input checked="" type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - ____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$_____

SECTION 1-PROJECT INFORMATION:Project Name: AT&T PEMBROKE PINES S.O.C.Project Address: NEW EXIT DRIVE/WALL-13900 PINES BLVD, PEMBROKE PINES, FLLocation / Shopping Center: EAST OF " SHOPS AT PEMBROKE GARDENS"Acreage of Property: 8.24 ACRES Building Square Feet: 11, 551 S.F.Flexibility Zone: _____ Folio Number(s): 5140-15-02-0010Plat Name: SOUTHERN BELL Traffic Analysis Zone (TAZ): _____
PEMBROKE PINES

Legal Description:
Parcel "A" of "SOUTHERN BELL PEMBROKE PINES", according to the Plat thereof,
as recorded in Plat Book 112, Page 40, of the Public Records of Broward County,
Florida.

Has this project been previously submitted?

☐

Yes



No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: SOUTHERN BELL TELEPHONE & TELEGRAPH COMPANY
Owner's Address: 600 NW 79th AVE., ROOM 111, MIAMI, FL, 33126
Owner's Email Address: lm5434@att.com
Owner's Phone: 305-913-4985 Owner's Fax: _____
Agent: LISSET MOREJON
Contact Person: LISSET MOREJON
Agent's Address: 600 NW 79th AVE., ROOM 111, MIAMI, FL, 33126
Agent's Email Address: lm5434@att.com
Agent's Phone: 305-913-4985 Agent's Fax: _____

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning: A
Land Use / Density: UTILITY
Use: SERVICE CENTER
Plat Name: SOUTHERN BELL
PEMBROKE PINES
Plat Restrictive Note: _____
ELECTRIC UTILITY EASEMENT

PROPOSED

Zoning: _____
Land Use / Density: _____
Use: _____
Plat Name: _____
Plat Restrictive Note: _____

ADJACENT ZONING

North: PUD
South: PD-SL
East: B-2
West: PCD

ADJACENT LAND USE PLAN

North: _____
South: _____
East: _____
West: _____

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY N/A

Application Type (Circle One): ☐ Variance ☐ Zoning Appeal ☐ Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY N/A

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

[illegible]

SECTION 7- PROJECT AUTHORIZATION

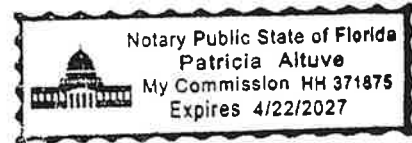
OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]
Signature of Owner

7/1/24
Date

Sworn and Subscribed before me this 1 day
of July, 2024



-
Fee Paid

[Signature]
Signature of Notary Public

4/22/27
My Commission Expires

AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of Agent

Date

Sworn and Subscribed before me this _____ day
of _____, 20____

Fee Paid

Signature of Notary Public

My Commission Expires

Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: SOUTHERN BELL TELEPHONE & TELEGRAPH COMPANY

Authorized Representative: LISSET MORELON

Application Number: _____

Application Request: _____

I, LISSET MORELON (print Applicant/Authorized Representative name), on behalf of SOUTHERN BELL (Applicant), hereby waive the deadlines and/or procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.

Lisset Morelon 7/1/24
Signature of Applicant or Applicant's Authorized Representative Date

Lisset Morelon
Print Name of Applicant/Authorized Representative

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**



DRC REVIEW FORM

May 14, 2025

Project: *AT&T SW 5TH STREET DRIVEWAY AND WALL IMPROVEMENTS*
City Reference Number: *SP2024-0009*

To: Cole Williams, AICP
Senior Planner, Planning and Economic Development Department
From: John L. England, P.E., Assistant City Engineer
Engineering Division/Public Services Department
(954) 518-9046

RECOMMENDATION:

The Engineering Division's DRC 'Comments' have been satisfied, and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed project site related improvements. Submittal of a completed and executed Engineering Permit application, one (1) signed and sealed set of Site Engineering Plans along with copy in PDF format, Plans Review Fee payment and Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: AT&T Gate
REFERENCE #: SP 2024 - 09
DATE REVIEWED: 2/12/2025

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

Contingent on COPP Engineering department verification for Fire Apparatus radii is required.

Please Note

All new and existing automatic entry gates installed in either commercial or multifamily communities shall be provided with a universal access system, approved by the Fire Prevention subcommittee of the Fire Chiefs Association of Broward County, to allow rapid entry. Existing applications may be provided up to one (1) year to complete as approved by the AHJ.

Owners and responsible parties of automatic entry gates are required to install a universal gate access system known as Click2Enter (C2E) <https://www.click2enter.net/> For more information on installation processes or questions, please visit our website or contact the Pembroke Pines Fire Prevention Bureau at (954) 499-9560 | <https://www.ppines.com/1632/Click-2-Enter>

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: January 30, 2025
To: SP 2024-0009 file
From: Cole Williams, Senior Planner
Re: AT&T Wall and Gate

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED.

MEMORANDUM

January 30, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2024-0009) AT&T Wall and Fence v3 – sign-off

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. All landscape comments satisfied.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
954.392.2100 (Office) • yhall@ppines.com
City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday
Online Access: [Pines Web Services](#)
Consider the environment before printing this email.

To: John L. England, P.E., Assistant City Engineer, City of Pembroke Pines

From: Myra E. Patino, P.E., PMP, Project Manager, Marlin Engineering, Inc.

Ashok Sampath, Traffic Engineer, Marlin Engineering, Inc.

Cc: Karl Kennedy, P.E., City Engineer, City of Pembroke Pines

Date: December 6, 2023

Subject: AT&T Pembroke Pines – Traffic Impact Analysis - Review Comments #1

MARLIN Engineering, Inc. has conducted a peer review of the AT&T Pembroke Pines Traffic Impact Analysis (TIA) submitted by Traff Tech, Engineering dated November 2023 for an existing industrial development located at 13900 Pines Boulevard in the City of Pembroke Pines, Florida.

The following comments were made for the first round of review:

1. **General Comment:** Data collection date and seasonal factors are acceptable.
2. **Growth rate:** Using a 1% growth rate is acceptable due to the negative 5-year growth.
3. **Trip Distribution:** Trip distribution is acceptable.
4. **Future Background (Non-Project) Volumes:** Committed development information are included and the committed trips have been added to the background scenario.
5. **Intersection Analysis:**
 - a. Default values cannot be used and have to be updated based on the study:
 - i. Please update all the Heavy Vehicle % in the Synchro analysis to match the traffic counts.
 - ii. Please update all the PHF values for the unsignalized and signalized intersections in the Synchro analysis.
 - b. Please provide a comparison table of LOS, Delay and 95th Percentile Queues for all scenarios.
6. **Queueing Information:** Queueing information is missing in the study. Please provide the Synchro queue reports and show them as per comment #4 (b) in the main report.

Site Plan:

1. Based on the counts, the property has significant use of heavy vehicles. Please provide more information on how the trucks will exit onto SW 5th Street. If possible, design vehicle information and auto-turns analysis would be sufficient.

MEMORANDUM

November 26, 2024

To: Cole Williams, AICP
Senior Planner

From: Julia Aldridge
Planner / Zoning Technician

Re: SP 2024-0009 (AT&T gate)

All of my comments regarding the above Miscellaneous Plan have been satisfied.

MEMORANDUM

November 13, 2024

To: Cole Williams, AICP
Senior Planner

From: Laura Arcila Bonet
Planner / Zoning Technician

Re: SP 2024-0009 (AT&T gate)

The following are my comments regarding the above Site Plan:

- ~~1. The maximum illumination level at the property line is .5 f.c.~~
- ~~2. Provide color elevations of all sides, showing color names, color numbers, finishes, materials, etc. on all.~~
3. Clarify is signage is being proposed.
11/13/24 – Directional signs cannot exceed 1.5 square feet.
- ~~4. Contact Sherrell Jones Ruff in Building to set up a pre-app meeting regarding permit process if desired. Her contact information is:
sjonesruff@cgasolutions.com or (954) 628-3725.~~

Contact me if you have any questions lcastanoarcila@ppines.com



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: AT&T Gate
REFERENCE #: SP 2024 - 09
DATE REVIEWED: 11/7/2024

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

NOTE: The following were not addressed, please provide a response letter as well.

Note: Please Place All Notes Below on Fire Access (FA) Sheet

1. Access Box(s). The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*

NFPA 1-18.2.2.1

2. Place notes on plan and depict on requested Fire Access Sheet: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**

a. Fire apparatus access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building.

COPP CO 93.11 (B)

3. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

4. Place note on plan and depict: Fire apparatus access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in. NFPA-1:18.2.3.5.1.2**

Note: Permanent, weatherproof signage will be required for fire apparatus access routes.

Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.5 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

5. Place note on plan: Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA-1:18.2.3.5.2**

Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire apparatus to access of buildings under construction.

6. Place note on plan: The angle of approach and departure for any means of the fire apparatus access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department and shall be subject to approval by the AHJ.

NFPA-1:18.2.3.5.6.2

7. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each edge of the fire apparatus access road. **NFPA-1:18.2.3.5.3.3**

8. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.5.7**

Note: The AHJ will not approve successive traffic calming devices such as rumble strips or speed humps that cause a delay in response time and or alter patient care.

9. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and maintained to identify fire apparatus access roads or to prohibit the obstruction thereof or both. **NFPA-1:18.2.3.6.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones.

COPP CO 93.12

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided.

See Fire Lane Detail.

c. Fire Lane Sign(s) shall be 18" by 24" and shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" or similar wording. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.6.3**

10. Please depict all new and existing Fire Hydrants, Fire Department Connections (FDC), and Fire Line Backflow Devices

NOTE: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

a. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. **NFPA-1:18.5.2**

b. Fire hydrants shall be located not more than 12 ft. from the fire apparatus access road. **NFPA-1:18.5.1.6**

c. Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.8**

d. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.10.1**

e. Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six-inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (A)**

f. Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight- inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys.

COPP CO 93.25 (B)

g. Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. **COPP CO 93.25 (C)**

h. Fire hydrants 4 ½ inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant.

COPP CO 93.25 (E)

NOTE: Fire Hydrant Detail to be provided on submittal.

i. No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. **COPP CO 93.25 (F)**

11. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED ‘Ground Sign Assembly Details’.

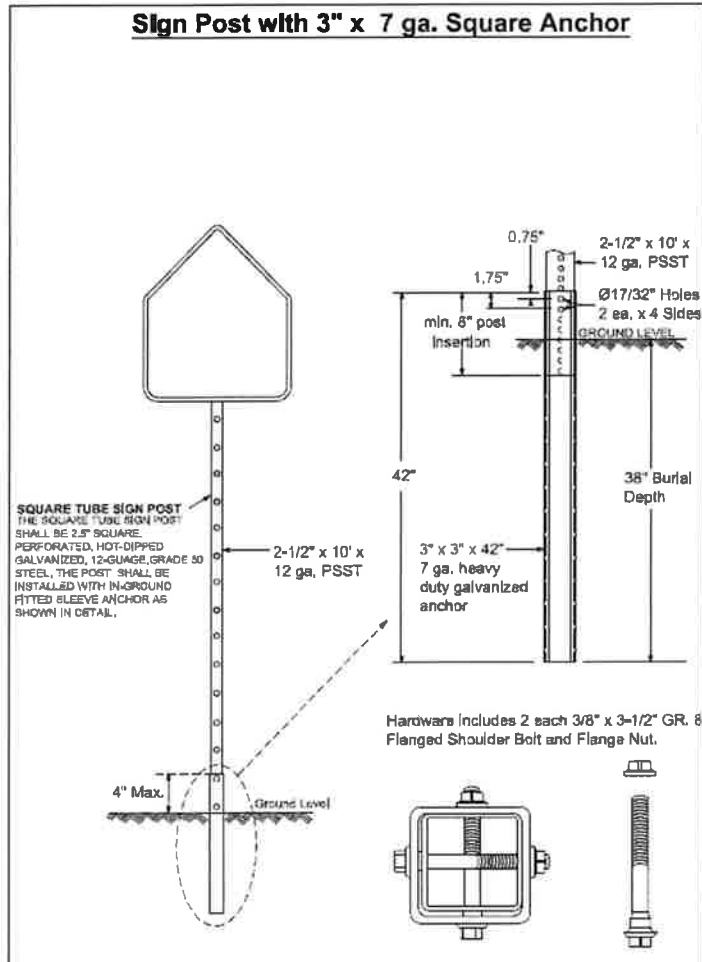
NOTE: Detail Provided Below

FIRE HYDRANT DETAIL

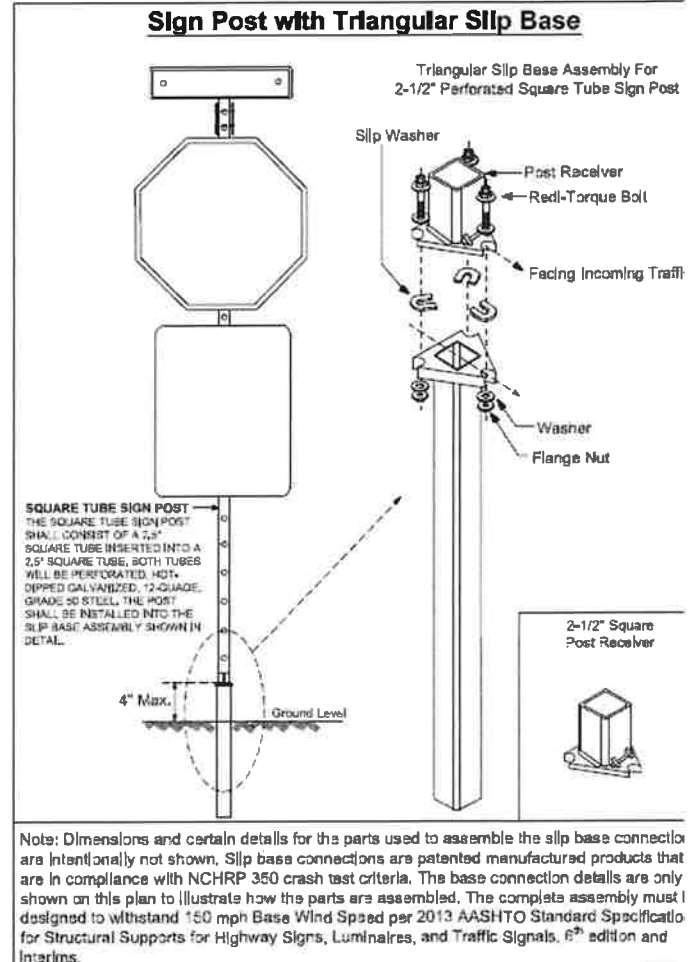
4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

Ground Sign Assembly Details

Sign Post with 3" x 7 ga. Square Anchor



Sign Post with Triangular Slip Base



Note: Dimensions and certain details for the parts used to assemble the slip base connector are intentionally not shown. Slip base connectors are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specification for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and Interlins.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: November 5, 2024
To: SP 2024-0009 file
From: Cole Williams, Senior Planner
Re: AT&T Wall and Gate

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide public notice affidavit
<https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=> . The following HOAs are within 500':
 - Century Village Plymouth III Ilene Bernstein 13460 SW 10 Street, #101 Pembroke Pines, FL 33027 954-436-5888
ilene.bernstein@fsresidential.com
2. ~~Provide operational plans for new gates (Hours of operations, anticipated number of vehicles, etc.)~~
3. ~~Provide color elevations of the wall and gate~~
4. ~~Provide add color number and manufacture of labels.~~
5. Provide material board with physical paint chips. **Physical copy of material board is needed.**
6. Clarify if any signage is proposed. Signage shown on coversheet is not permitted by code. **Directional signage cannot exceed 1.5 square feet. Clarify the location of the exit only sign.**
7. ~~Lighting cannot exceed 0.5 f.c at the property line.~~
8. ~~Clarify CCT. CCT cannot exceed 3,000K.~~
9. Further comments may apply as more details are provided.
10. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
11. Please contact me prior to resubmittal 954-392-2100.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**

DRC REVIEW FORM



August 14, 2024

PROJECT: AT&T DRIVEWAY AND WALL (SP2024-0001)

**TO: Cole Williams, Senior Planner
Planning and Economic Development Department**

**FROM: John L. England, P.E., Assistant City Engineer
Engineering Division
(954) 518-9046**

COMMENTS:

1. Partial Site Plan, Sheet C100 – Locate and reflect the existing Access Driveway for the Altis Apartments site on the south side of SW 5th Street on the plan for review of the alignment of the Egress Lane for the Proposed Driveway for the AT&T relative to the existing Access Driveway for the Altis Apartments site by the city's traffic consultant and Engineering Division.
2. Partial Site Plan, Sheet C100 – Per Fire Prevention Bureau standards/requirements, revise the edge of pavement radii for the proposed Access Driveway to reflect the required 38' inside radius and 62' outside radius, including at the connection to SW 5th Street.
3. Partial Site Plan, Sheet C100– Denote/label the Proposed Culvert under the Access Driveway. Provide its size and material and whether it will have Flared End or Mitered End Sections.
4. Partial Site Plan, Sheet C100 – Clearly denote/label the Proposed Guardrail with Steel Posts per FDOT Standard Plans Index #536-001.
5. General Comment – Provide a separate 'Site Engineering Plan' reflecting design information of all proposed site engineering related improvements/scope of work, including the following:
 - Limits of proposed Asphalt Pavement by 'Legend' (shade) designation

- Proposed Grading along the proposed Access Drive
 - Proposed Culvert design information
 - Proposed Guardrail design information
 - Proposed Sections designations:
 - Typical Crowned Road/Drive
 - Section through the Proposed Culvert
 - Limits of Swale Regrading required per Proposed Culvert and Access Drive
 - Proposed Pavement Markings and Signage improvements by 'Legend' designations
 - Proposed Stormwater Pollution Prevention & Erosion Control Measures
 - Reflecting the attached 'City Accessibility and PM&S Requirements Notes'
6. General Comment –Provide a separate 'Site Engineering Details' sheet reflecting the following EOR design sections/details, City Standards, BCTED Details Sheets and FDOT Standard Plans Indexes:
- City Standards:
 - R-44, 'Typical Trench Backfill
 - R-39, 'Pavement Connection'

Note that all 'City Standards can be downloaded from the City's website by way of the following "Link:

<https://www.ppines.com/1434/Engineering-Design-Standards-Manual>

- BCTED Details Sheets:
 - Ground Sign Assembly (2-5-21 rev.)
 - Pavement Markings & Sign Details (5-6-22 rev.)
 - Stop & Street Sign Assembly Details (6-22-23 rev.)
 - FDOT Standard Plans Indexes:
 - 536-001. 'Guardrail' (minimum applicable sheets of the index)
 - 430-022, 'Side Drain Metered End Section
 - EOR Sections/Details:
 - Crowned Road Section for proposed driveway
 - Cross Section through the proposed Culvert
 - Pavement Specifications and/or Pavement Section
 - Stormwater Pollution Prevention/Erosion Control Measures
7. General Comment – Based upon a review of the City Sewer System records for this site, it appears as if the property may still be utilizing a Sewer Septic System as the method of sewage treatment.

Note that per Florida Statute Section 381.00655, the owner of a properly functioning onsite sewage treatment and disposal system, excluding an approved onsite graywater system, must connect the system or the building's plumbing to an available publicly owned or investor-owned sewerage system within 365 days after written notification by the owner of the publicly owned or investor-owned sewerage system that the system is available for

connection. The publicly owned or investor-owned sewerage system must notify the owner of the onsite sewage treatment and disposal system of the availability of the central sewerage system. No less than 1 year prior to the date the sewerage system will become available, the publicly owned or investor-owned sewerage system shall notify the affected owner of the onsite sewage treatment and disposal system of the anticipated availability of the sewerage system and shall also notify the owner that the owner will be required to connect to the sewerage system within 1 year of the actual availability.

In accordance with the terms/requirements of the above referenced Florida Statute, the existing private sewer system for this property is required to connect to the city's available gravity sewer system immediately to the west of the property within the Shops of Pembroke Gardens. (Refer to the attached '(City Sewer Atlas Sheet with Sewer Lateral Connection Mark-Up Exhibit' for design use and required representation of the sewer lateral connection to be reflected on the required 'Site Engineering Plan'.

8. General Comment – Per Code Section 93.25(C), fire hydrants for all commercially and business zoned area shall be installed on minimum of an eight (8”) inch “looped” water main in city rights-of-way or easements and shall be spaced not further than 500 feet apart as measured along the streets or alleys.

In accordance with the requirements of the above referenced Code section, an extension of the existing water main will be necessary to comply with the Code 'Fire Protection' requirement of an 8” minimum “looped” water main supplying the two (2) existing Fire Hydrants within the property.

NOTE: All resubmittals must include 'Responses' to all 'Comments' in letter format. Based upon the 'Responses' and/or 'Plan Revisions', additional 'Comments' may be forthcoming prior to Engineering DRC approval/sign-off for the proposed project.

NOTE that an Engineering Permit is required for construction of the proposed project's site-related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the “Engineering Review Queue” pending receipt of the Plans Review Fee based on an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.

MEMORANDUM

July 23, 2024

To: Cole Williams, AICP
Senior Planner

From: Laura Arcila Bonet
Planner / Zoning Technician

Re: SP 2024-0009 (AT&T gate)

The following are my comments regarding the above Site Plan:

1. The maximum illumination level at the property line is .5 f.c.
2. Provide color elevations of all sides, showing color names, color numbers, finishes, materials, etc. on all.
3. Clarify if signage is being proposed.
4. Contact Sherrell Jones-Ruff in Building to set up a pre-app meeting regarding permit process if desired. Her contact information is:
sjonesruff@cgasolutions.com or (954) 628-3725.

Contact me if you have any questions lcastanoarcila@ppines.com

MEMORANDUM

July 23, 2024

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2024-0009) AT&T Wall and Fence

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. As per LDC SEC. 155.657 (A) 3. - Provide Code Calculation table (attached end of this document) onto the landscape plans with filled in calculations for sections which apply, to confirm required number of trees and shrubs. Please reference the current Code SEC. 155.661 (I).
2. Is a monument sign proposed on site, if so, please refer to LDC SEC. 155.662 (C) 3. (a) - Landscape area must consist of 2 layers of shrubs, groundcover, annual or perennial flowers, or some combination of live plants to complement and enhance the sign. Sod may not be used to meet this requirement.
3. Tabulation table on Sheet 1, to show conditional rating and disposition of existing trees.
4. Please show linear feet for the South perimeter on L-100.
5. Structural pruning is required for all existing canopy trees on site. Removal of canopy dieback, providing vertical clearance on both sides (sidewalk and maintenance side), crossing and decaying limbs to be removed.
 - a. Crew should use caution when approaching tree # 959 canopy, an active bee colony noted. Colony should not be removed during pruning, as it is not in the way.
6. During a site visit, staff noted tree #950 displaying a lot of decay in the limbs and trunk of the tree, pooling of water and mushy texture. An arborist report is required with assessment, for the tree to remain and not require removal/replacement.
7. The South perimeter hedge is observed to be in poor condition. As per Code, perimeter hedges are required to be full, lush, and continuous. During a site visit performed on 7-23-24, staff observed large gaps, additional Cocoplum is required to be filled in. Hedges installed for perimeter plantings abutting properties other than ROW, must be installed at no less than 36 inches in height.
8. Additional comments may apply.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining to DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
954.392.2100 (Office) • yhall@ppines.com
City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday
Online Access: [Pines Web Services](#)
Consider the environment before printing this email.

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		
<u>SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.</u> 1. All properties three stories and below minimum: (a) 20% of required trees meet 14-16' H with 3" diameter at breast height. (b) 20% of required trees meet 12-14' H with 2" diameter at breast height. (c) 60% of required trees required meet 155.664 (M). 2. All properties four stories and above minimum: (a) 30% of required trees meet 14-16' H with 3" diameter at breast height. (b) 30% of required trees meet 12-14' H with 2" diameter at breast height. (c) 40% of required trees required meet 155.664 (M).		
<u>SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways – All Properties.</u> One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.		
<u>SEC 155.661 (J) Landscaping Adjacent to Abutting Properties – All Properties.</u> The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.		
<u>SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.</u> 1. For non-residential properties the planting requirement shall be calculated on the following basis; (a) One tree every 5,000 square feet of gross area. (b) Ten shrubs every 5,000 square feet of gross area.		
<u>SEC. 155.663 (F) Interior parking and paved area landscaping.</u> Parking lots shall comply with the following minimum requirements: 1. One tree: (a) Every five parking spaces; and (b) Every 100 square feet of interior landscaping; 2. Ten square feet of interior landscaping every parking space up to 50 spaces; 3. One hundred square feet of landscaping every ten parking spaces over 50 spaces; 4. One square foot of landscaping: (a) Every 100 square feet of paved areas up to 50,000 square feet; and (b) Every 200 square feet of paved area over 50,000 square feet; and		
City of Pembroke Pines Landscape Code Requirements		
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: AT&T Gate
REFERENCE #: SP 2024 - 09
DATE REVIEWED: 07/17/2024

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

Note: Please Place All Notes Below on Fire Access (FA) Sheet

1. Access Box(s). The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*

NFPA 1-18.2.2.1

2. Place notes on plan and depict on requested Fire Access Sheet: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**

a. Fire apparatus access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building.

COPP CO 93.11 (B)

3. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

4. Place note on plan and depict: Fire apparatus access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in. NFPA-1:18.2.3.5.1.2**

Note: Permanent, weatherproof signage will be required for fire apparatus access routes.

Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.5 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

5. Place note on plan: Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA-1:18.2.3.5.2**

Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire apparatus to access of buildings under construction.

6. Place note on plan: The angle of approach and departure for any means of the fire apparatus access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department and shall be subject to approval by the AHJ.

NFPA-1:18.2.3.5.6.2

7. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each edge of the fire apparatus access road. **NFPA-1:18.2.3.5.3.3**

8. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.5.7**

Note: The AHJ will not approve successive traffic calming devices such as rumble strips or speed humps that cause a delay in response time and or alter patient care.

9. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and maintained to identify fire apparatus access roads or to prohibit the obstruction thereof or both. **NFPA-1:18.2.3.6.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones.

COPP CO 93.12

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided.

See Fire Lane Detail.

c. Fire Lane Sign(s) shall be 18" by 24" and shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" or similar wording. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.6.3**

10. Please depict all new and existing Fire Hydrants, Fire Department Connections (FDC), and Fire Line Backflow Devices

NOTE: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

a. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. **NFPA-1:18.5.2**

b. Fire hydrants shall be located not more than 12 ft. from the fire apparatus access road. **NFPA-1:18.5.1.6**

c. Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.8**

d. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.10.1**

e. Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six-inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. **COPP CO 93.25 (A)**

f. Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight- inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys.

COPP CO 93.25 (B)

g. Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. **COPP CO 93.25 (C)**

h. Fire hydrants 4 ½ inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant.

COPP CO 93.25 (E)

NOTE: Fire Hydrant Detail to be provided on submittal.

i. No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. **COPP CO 93.25 (F)**

11. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED 'Ground Sign Assembly Details'.

NOTE: Detail Provided Below

FIRE HYDRANT DETAIL

4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.
5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.



L105 AERIAL BODY

H775 HUFFMAN, CHASSY

1495 105 PLATFORM

APPROVED FOR PRODUCTION

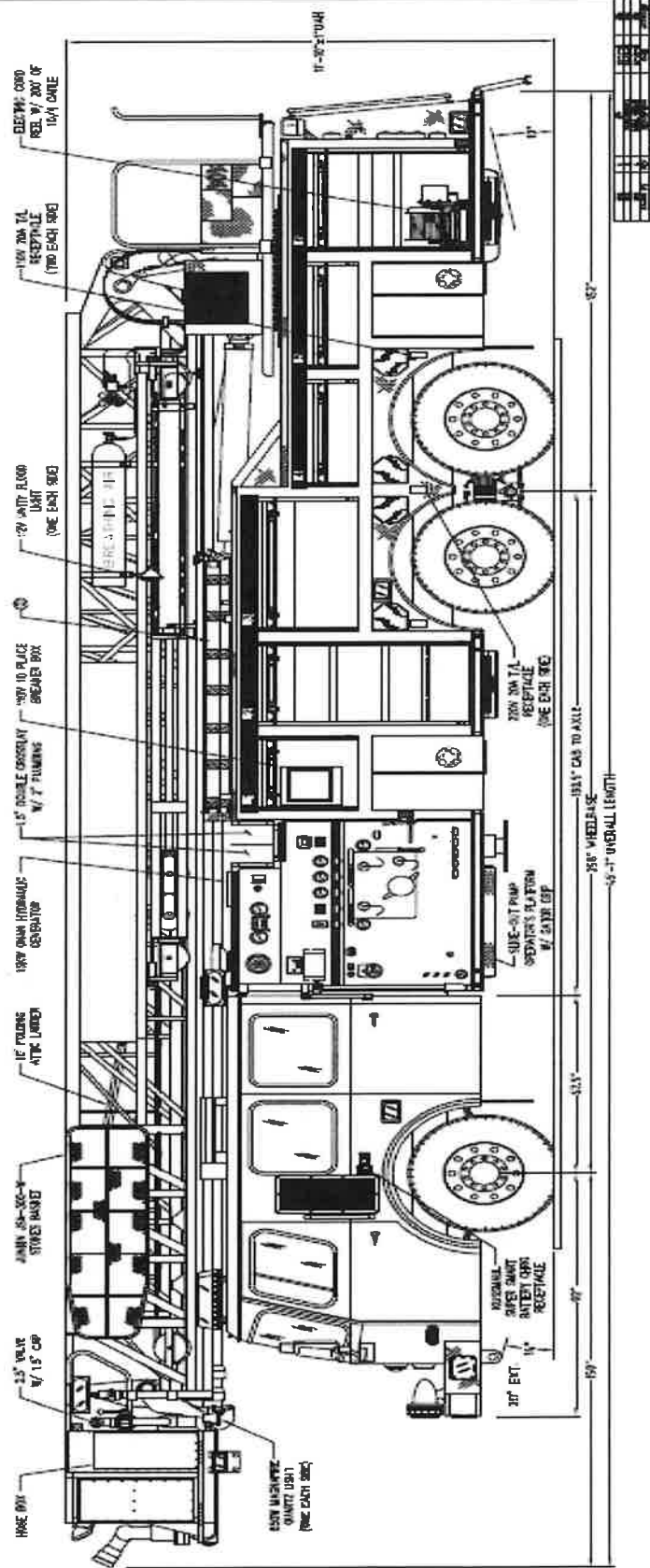
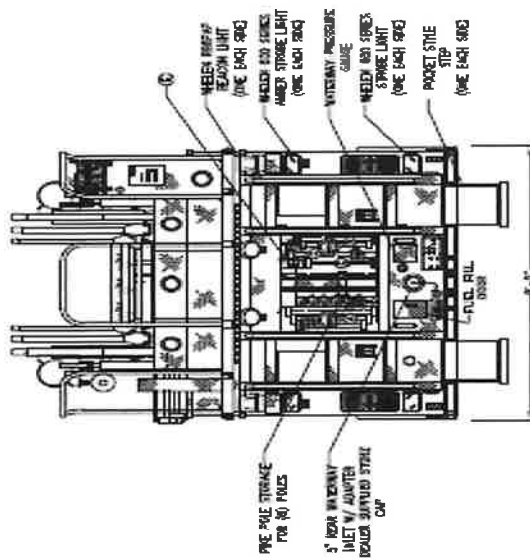
MEMBER

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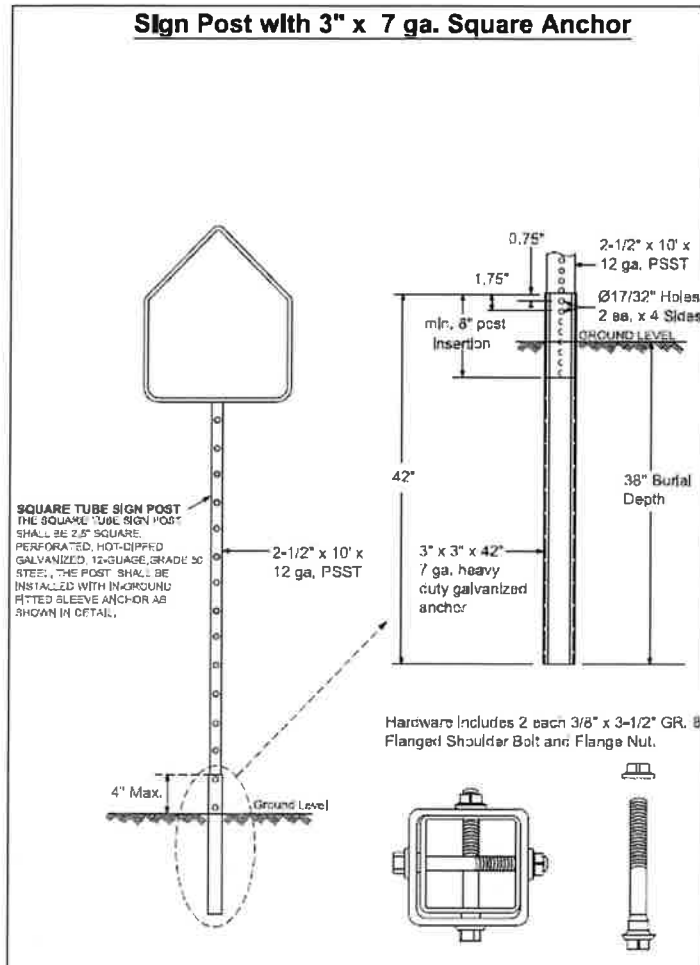
DATE 05-11-2011

PROPERTY ADDRESS		CITY AND STATE		COUNTY		ZONING		APPLICANT		DATE	
10000 S. 101 ST LN.		SPRINGFIELD	MO	DADE	FL	UNZONED		DAVID L. BROWN			
<p>THIS IS A PRELIMINARY PLAT FOR THE</p> <p>10000 S. 101ST LN.</p> <p>SPRINGFIELD, MO</p> <p>DADE COUNTY, FL</p> <p>UNZONED</p> <p>APPLICANT: DAVID L. BROWN</p> <p>DATE: 10/1/2000</p>											

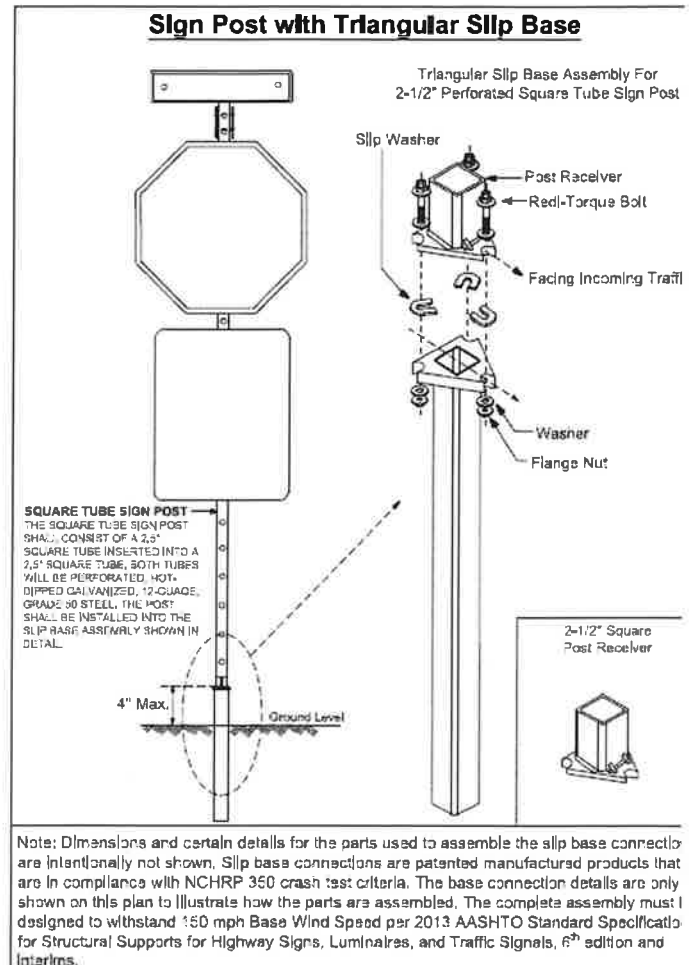


Ground Sign Assembly Details

Sign Post with 3" x 7 ga. Square Anchor



Sign Post with Triangular Slip Base



Note: Dimensions and certain details for the parts used to assemble the slip base connection are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specification for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and Interlams.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: July 16, 2024
To: SP 2024-0009 file
From: Cole Williams, Senior Planner
Re: AT&T Wall and Gate

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide public notice affidavit
<https://www.ppines.com/DocumentCenter/View/5020/Public-Notification-Guide?bidId=> . The following HOAs are within 500':
 - Century Village Plymouth III Ilene Bernstein 13460 SW 10 Street, #101 Pembroke Pines, FL 33027 954-436-5888
ilene.bernstein@fsresidential.com
2. Provide operational plans for new gates (Hours of operations, anticipated number of vehicles, etc.)
3. Provide color elevations of the wall and gate
4. Provide add color number and manufacture of labels.
5. Provide material board with physical paint chips.
6. Clarify if any signage is proposed. Signage shown on coversheet is not permitted by code.
7. Lighting cannot exceed 0.5 f.c at the property line.
8. Clarify CCT. CCT cannot exceed 3,000K
9. Further comments may apply as more details are provided.
10. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.
11. Please contact me prior to resubmittal 954-392-2100.

