

GENERAL NOTES

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C IN THE EVENT OF INCONSISTENCIES BETWEEN ARCHITECTURAL AND CONSULTANT BASE PLANS THE ARCHITECTURAL SHEET SHALL TAKE PRECEDENCE. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.

D DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS OR TOLERANCES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. REQUEST CLARIFICATION IN WRITING PRIOR TO PROCEEDING.

E DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

F DIMENSIONS AND CLEARANCES SHOWN ON DRAWINGS RELATING TO ACCESSIBILITY OR EGRESS ARE FROM FACE OF FINISH MATERIAL. ALLOW FOR FINISHES IN FABRICATING AND/OR INSTALLING ITEMS. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED ITEMS.

G COORDINATE DIMENSIONS ON PLANS AND FIELD VERIFY PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.

H EXISTING CONDITIONS ARE TO REMAIN AND BE PROTECTED IN PLACE DURING THE COURSE OF CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.

- KEY NOTES** (X)
1. CONSTRUCT CURB FINISH TO MATCH EXISTING
 2. CONSTRUCT SIDEWALK FINISH TO MATCH EXISTING
 3. PROPOSED PF CHANG'S HORSE PEDESTAL
 4. EXISTING SIDE DOOR DOOR TO BE REMOVED AND REPLACED WITH NEW ENTRANCE DOOR PART OF THE NEW STOREFRONT SYSTEM
 5. NOT USED
 6. NEW INSTALLED BUILDING SLAB WITH STAMPED CONCRETE FINISH FLUSH TO EXISTING BUILDING SLAB (GC TO COORDINATE WITH OWNER PATTERN AND FINISH OF CONCRETE PRIOR TO INSTALLATION)
 7. EXISTING TAKEOUT ENTRANCE DOOR UNDER SEPARATE PERMIT
 8. NEW EXTERIOR RAILING SYSTEM
 9. NEW STEEL POSTS AND STRING LIGHTS
 10. EXISTING LANDSCAPE TO REMAIN
 11. EXISTING CURB TO REMAIN
 12. RELOCATED EXISTING EXTERIOR POLE LIGHT G.C. TO SURVEY EXISTING UTILITIES IN AREA AND ENSURE THAT RELOCATION OF LIGHT POST AS SHOWN DOES NOT DISRUPT EXISTING WATER AND FIRE LINE UTILITIES IN THIS AREA. PATCH AND REPAIR EXISTING LOCATION BEHIND TO LIKE NEW CONDITION
 13. EXISTING EXTERIOR POLE LIGHT TO REMAIN
 14. EXISTING EXTERIOR PAVEMENT
 15. EXISTING FIRE LANE TO BE RESTRIPTED IN ACCORDANCE WITH REQUIREMENTS FOR CITY STANDARDS DETAIL R-43 SEE SHEET DS-A402 G.C. TO EXCLUDE FROM BASE BID WORK TO BE COMPLETED BY LANDLORD
 16. PF CHANG'S TAKE OUT SIGNAGE UNDER SEPARATE PERMIT
 17. PF CHANG'S SIGNAGE UNDER SEPARATE PERMIT
 18. EXISTING LANDSCAPE TO REMAIN TRIM AS NEEDED
 19. EXTERIOR STRING LIGHTS INSTALLED IN RANDOM SPACING AT TREES
 20. EXISTING EXTERIOR FLOOR DRAIN TO REMAIN
 21. EXISTING STORM WATER CLEAN-OUT TO REMAIN
 22. EXISTING LANDLORD GRAVEL UTILITY AREA TO REMAIN
 23. EXISTING ADA RAMP TO REMAIN

LEGEND	
LEGEND	DESCRIPTION
	EXISTING DEMISING WALL
	EXISTING CURB
	NEW CURB
	EXISTING LIGHT POLE
	RELOCATED LIGHT POLE
	EXTERIOR STRING LIGHT WITH CUSTOM CAGED SYSTEM
	STAMP CONCRETE FINISH - OWNER TO VERIFY PATTERN AND FINISH WITH GC PRIOR TO INSTALLATION
NOTE: THERE IS NO PARKING MODIFICATIONS PROPOSED WITH THIS SCOPE OF WORK. THE EXISTING SHARED MALL PARKING SHALL REMAIN FOR THE PROPOSED SPACE	

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REVISIONS	
DATE	DESCRIPTION
02/26/25	ISSUE FOR PERMIT
03/10/2025	SUBMITTAL FOR PERMIT
04/02/2025	SUBMITTAL FOR PERMIT

PLANNING AND ZONING SET

FIELD VERIFICATION
The Contractor shall verify all field dimensions and locations as the project progresses and notify Zebra Architecture, PLLC, of any discrepancies. Discrepancies shall be resolved before beginning or before starting any work on the site.

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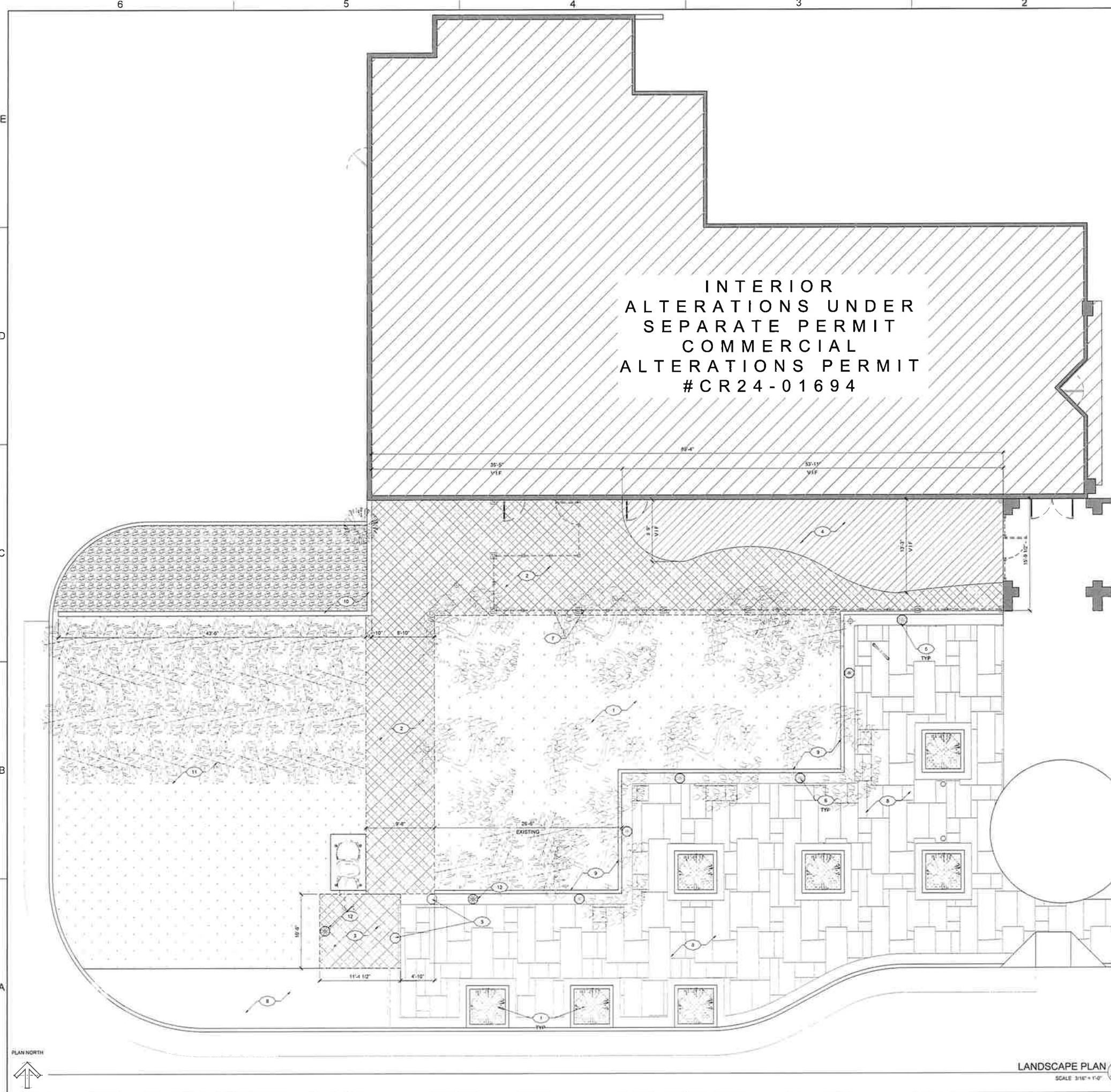
SHEET NAME
PATIO PLAN

DATE 02/26/25	PROJECT NO. 33607
DRAWN JB	SCALE AS NOTED

SHEET NO
PA100



PATIO PLAN
SCALE: 3/16" = 1'-0"
A2



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KEY NOTES

- 1 EXISTING LANDSCAPE TO REMAIN. REFER TO EXISTING CONDITION.
- 2 NEW SLAB TO BE INSTALLED WITH THE STAMPED CONCRETE FLUSH TO EXISTING BUILDING SLAB & PROVIDED WITH SLOPPING AT NEW FLOOR DRAINS. COORDINATE WITH PLUMBING PLAN AND STRUCTURAL PLAN FOR MORE INFORMATION (GC TO COORDINATE WITH OWNER PATTERN AND FINISH WITH OWNER PRIOR TO INSTALLATION).
- 3 EXISTING LANDSCAPE AND CURB TO BE REMOVED. NEW PAVEMENT TO BE INSTALLED FLUSH TO EXISTING CONCRETE SLAB. FINISH TO MATCH EXISTING. COORDINATE WITH STRUCTURAL PLAN FOR MORE INFORMATION.
- 4 CUTOFF EXISTING PATIO PAVEMENT TO ACCOMMODATE NEW OUTDOOR STAMPED CONCRETE SLAB. TO BE FLUSH TO EXISTING BUILDING SLAB AND PROVIDE WITH SLOPPING AT NEW FLOOR DRAINS. COORDINATE WITH PLUMBING AND STRUCTURAL PLAN FOR MORE INFORMATION (GC TO COORDINATE WITH OWNER PATTERN AND FINISH WITH OWNER PRIOR TO INSTALLATION).
- 5 EXISTING EXTERIOR POLE LIGHT TO BE RELOCATED.
- 6 EXISTING EXTERIOR POLE LIGHT TO REMAIN.
- 7 PROPOSED PATIO RAILING.
- 8 EXISTING EXTERIOR PAVEMENT TO REMAIN.
- 9 EXISTING CURB TO REMAIN.
- 10 EXISTING EXTERIOR SCREEN WALL TO REMAIN.
- 11 EXISTING LANDSCAPE TO REMAIN. TRIM AS NEEDED.
- 12 LOCATION OF RELOCATED LIGHT POLE.

LEGEND

LEGEND	DESCRIPTION
	EXISTING DEMISING WALL
	EXISTING LIGHT POLE
	RELOCATED LIGHT POLE
	EXISTING PATIO TO BE REMOVED
	NEW PATIO PAVEMENT

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REVISIONS

REV. NO.	DATE	DESCRIPTION
1	02/26/25	ISSUE FOR PERMIT
2	03/10/2025	RESUBMITTAL FOR PERMIT
3	04/01/2025	RESUBMITTAL FOR PERMIT

PLANNING AND ZONING SET



FIELD VERIFICATION
The Consultant shall verify all figures, dimensions and conditions in the project site and verify data. Architectural, PL, and all other dimensions, errors, omissions and discrepancies before beginning or proceeding with any work. Do not use these drawings.

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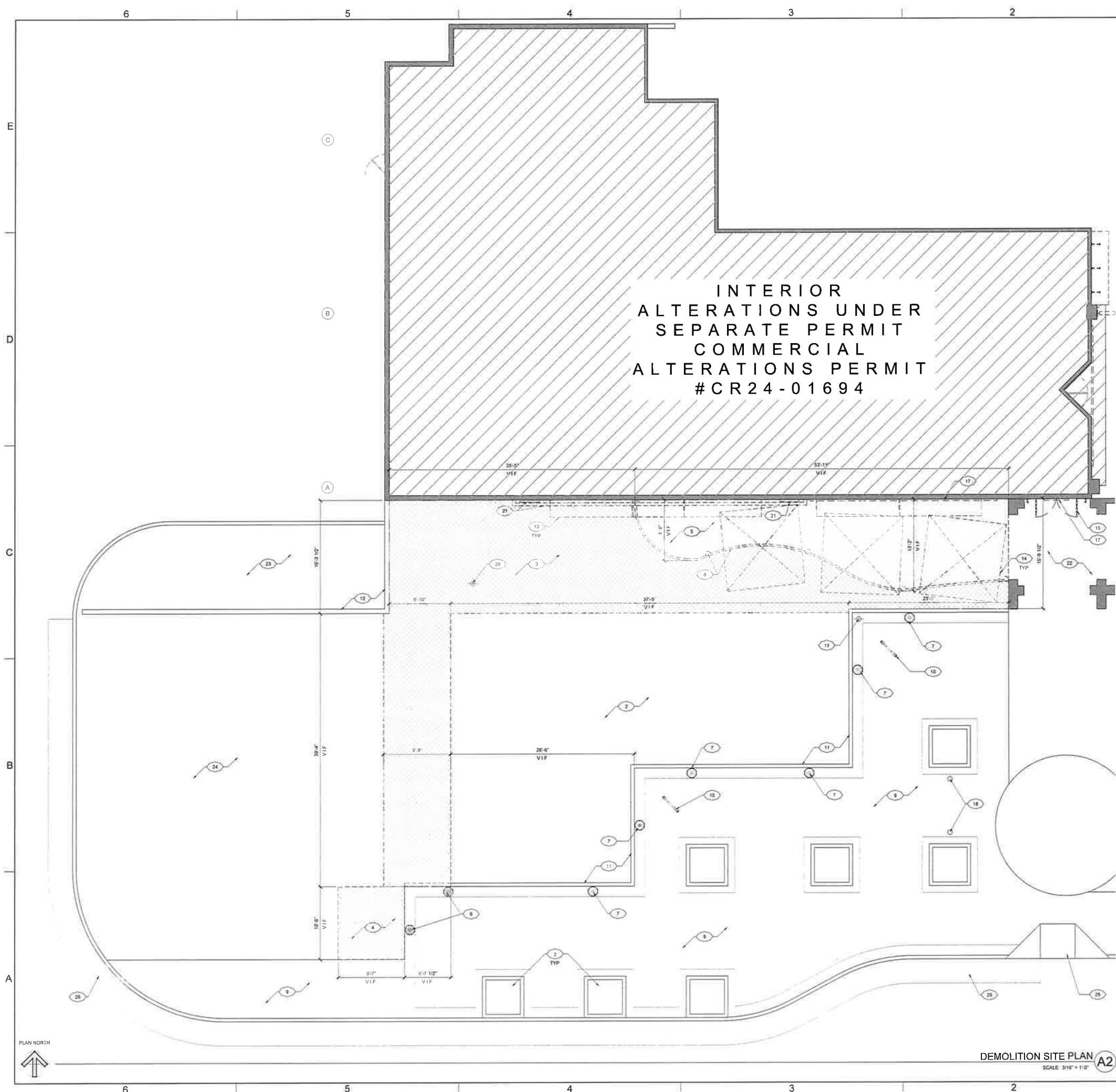
SHEET NAME
LANDSCAPE PLAN

DATE
02/26/25
PROJECT NO.
35607
DRAWN
PL
SCALE
AS NOTED

SHEET NO
L100



LANDSCAPE PLAN
SCALE 3/16" = 1'-0"
A2



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KEY NOTES

- 1 NOT USED
- 2 EXISTING LANDSCAPE TO REMAIN. REFER TO EXISTING CONDITION.
- 3 EXISTING LANDSCAPE TO BE REMOVED. NEW SLAB TO BE INSTALLED WITH THE STAMPED CONCRETE FLUSH TO EXISTING BUILDING SLAB & PROVIDED WITH SLOPPING AT NEW FLOOR DRAINS. COORDINATE WITH PLUMBING PLAN AND STRUCTURAL PLAN FOR MORE INFORMATION.
- 4 EXISTING LANDSCAPE AND CURB TO BE REMOVED. NEW CONCRETE SLAB TO BE INSTALLED FLUSH TO EXISTING CONCRETE SLAB. FINISH TO MATCH EXISTING. COORDINATE WITH STRUCTURAL PLAN FOR MORE INFORMATION.
- 5 CUTOFF EXISTING PATIO PAVEMENT TO ACCOMMODATE NEW OUTDOOR STAMPED CONCRETE SLAB. TO BE FLUSH TO EXISTING BUILDING SLAB & PROVIDED WITH SLOPPING AT NEW FLOOR DRAINS. COORDINATE WITH PLUMBING AND STRUCTURAL PLAN FOR MORE INFORMATION.
- 6 EXISTING EXTERIOR POLE LIGHT TO BE RELOCATED. PATCH AND REPAIR EXISTING CONNECTION LEFT BEHIND TO LIKE NEW CONDITION.
- 7 EXISTING EXTERIOR POLE LIGHT TO REMAIN.
- 8 EXISTING PATIO RAILING / BOLLARD LIGHTING TO BE REMOVED.
- 9 EXISTING EXTERIOR PAVEMENT TO REMAIN.
- 10 EXISTING BIKE RACK TO BE RELOCATED.
- 11 EXISTING CONCRETE CURB TO REMAIN.
- 12 EXISTING EXTERIOR SCREEN WALL TO REMAIN.
- 13 EXISTING AWNING TO BE REMOVED.
- 14 EXISTING UMBRELLA TO BE REMOVED.
- 15 EXISTING DOOR TO BE REMOVED AND REPLACED. G.C. TO REMOVE AND RAISE EXTERIOR UNIT FOR LARGER DOOR IN THIS LOCATION. COORDINATE WITH DOOR SCHEDULE FOR MORE INFORMATION.
- 16 NOT USED.
- 17 EXISTING SIGNAGE TO BE REMOVED.
- 18 EXISTING MALL BOLLARD TO REMAIN.
- 19 EXISTING EXTERIOR FLOOR DRAIN TO REMAIN.
- 20 EXISTING STORM WATER CLEAN-OUT TO REMAIN.
- 21 EXISTING EXTERIOR WALL DECORATIVE / PARAPET TO BE REMOVED.
- 22 INSTALL BARRICADE PRIOR TO WORK STARTING. REFER TO ADDITIONAL LANDLORD NOTES AND COORDINATE WITH ONSITE MALL OPERATIONS MANAGER FOR REQUIREMENTS AND FINAL LOCATION. REFER TO TDS FOR LANDLORD REQUIREMENTS.
- 23 EXISTING LANDLORD GRAVEL UTILITY AREA TO REMAIN.
- 24 EXISTING LOW LANDSCAPE TO REMAIN. ALL TREES BLOCKING THE EXTENDED WALL TO BE REMOVED OR RELOCATED AND REPLACE WITH LOW LANDSCAPE.
- 25 EXISTING ADA RAMP TO REMAIN.
- 26 EXISTING FIRE LANE TO REMAIN.

LEGEND	
LEGEND	DESCRIPTION
	EXISTING DEMISING WALL
	EXISTING LIGHT POLE
	RELOCATED LIGHT POLE
	EXISTING PATIO PAVEMENT TO BE REMOVED
	EXISTING LANDSCAPE TO BE REMOVED

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REVISIONS

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PLANNING AND ZONING SET



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SHEET NAME
DEMOLITION SITE PLAN

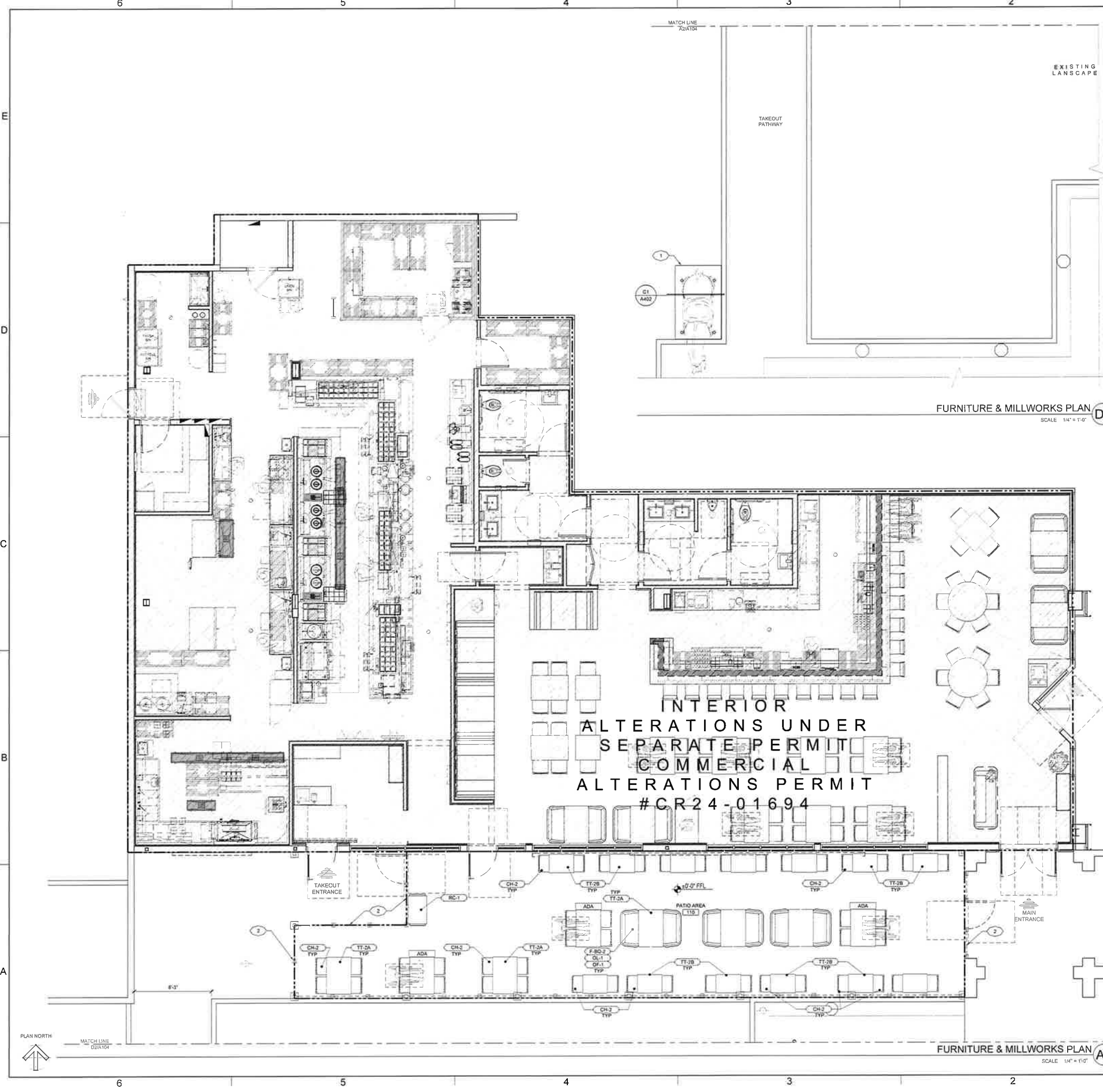
DATE
02/26/25

PROJECT NO.
35807

DRAWN
JB

SCALE
AS NOTED

SHEET NO.
D100



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KEY NOTES

1 HORSE PEDESTAL BY G.C. REFER TO SHEET A1/A402 FOR ADDITIONAL INFORMATION

2 NEW PATIO RAILING SYSTEM FINISHED WITH BLACK PAINT TO MATCH E-MF-2. REFER TO SHEET A2/A401 FOR MORE INFORMATION

	TAG	DESCRIPTION	REMARKS
OUTDOOR SEATING	F-BQ-2	FREESTANDING BANQUETTE SEATING	*
	CH-2	DINING CHAIR, LOW SEATING	*
	RC-1	ROLLING CART	MISC. EQUIPMENT
OUTDOOR TABLES	TT-2A	32" x 48" OUTDOOR TABLE, DINING HEIGHT	*
	TT-2B	32" x 24" OUTDOOR TABLE, DINING HEIGHT	*

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REVISIONS

NO.	DATE	DESCRIPTION
1	02/05/25	ISSUE FOR PERMIT
2	02/10/2025	RESUBMITTAL FOR PERMIT
3	04/01/2025	RESUBMITTAL FOR PERMIT

PLANNING AND ZONING SET

FIELD VERIFICATION
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SHEET NAME

EXTERIOR PATIO FURNITURE PLAN

DATE
02/05/25

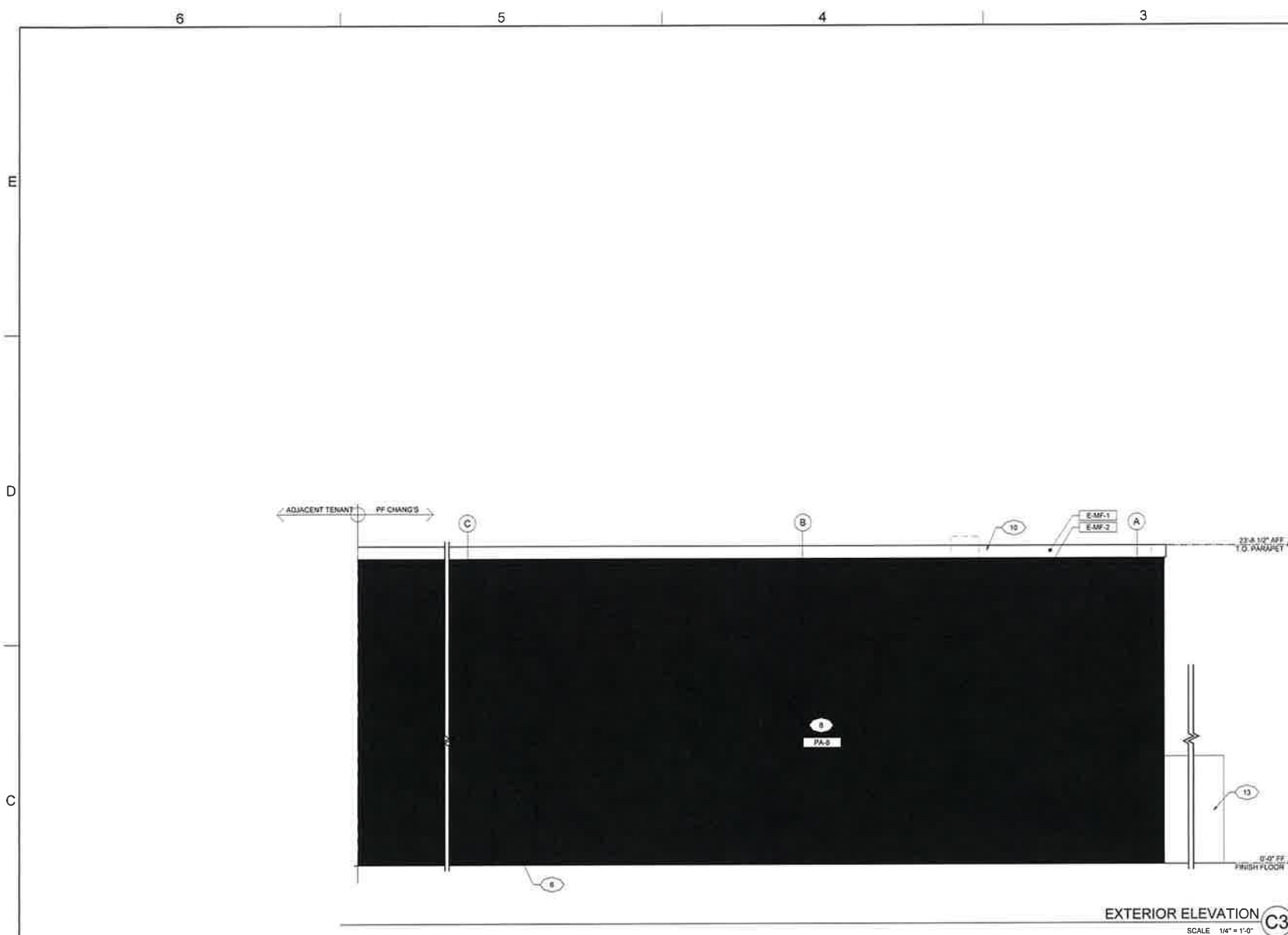
PROJECT NO.
35907

DRAWN
GS

SCALE
AS NOTED

SHEET NO.

A103



EXTERIOR FINISH SCHEDULE	
B-5	MANUFACTURER BEDROSIANS DESCRIPTION TILE BASE SIZE 3/8" THK X 6" X 12" (CUT TO SIZE) COLOR ABSOLUTE BLACK G771 LOCATION EXTERIOR (BASE). VERIFY PER DRAWINGS
EF-1	MANUFACTURER DRYVIT FINISH LYMESTONE CODE SW 6258 COLOR TRICORN BLACK (TO MATCH PA-8) LOCATION FIELD EIFS HORSE PEDESTAL, REFER TO EXTERIOR ELEVATIONS
E-MF-1	MANUFACTURER PROVIDED BY G C DESCRIPTION BRUSHED BRASS - EXTERIOR FINISH BRUSHED GAUGE VARIES PER APPLICATION LOCATION EXTERIOR. VERIFY PER ELEVATIONS
E-MF-2	MANUFACTURER PROVIDED BY G C DESCRIPTION HOT ROLLED BLACKENED STEEL - EXTERIOR FINISH MILL FINISH COLOR BLACKENED STEEL LOCATION EXTERIOR. VERIFY PER ELEVATIONS
PA-7	MANUFACTURER SHERWIN WILLIAMS DESCRIPTION EXTERIOR PAINT CODE SW 6868 COLOR REAL RED LOCATION EXTERIOR. VERIFY PER DRAWINGS
PA-8	MANUFACTURER SHERWIN WILLIAMS DESCRIPTION EXTERIOR PAINT CODE SW 6258 COLOR TRICORN BLACK LOCATION EXTERIOR. VERIFY PER DRAWINGS
PC-1	MANUFACTURER AXALTA DESCRIPTION POWDER COAT PAINT NAME SUN GOLD COLOR EFD 405M9 LOCATION EXTERIOR. VERIFY PER DRAWINGS
PC-2	MANUFACTURER AXALTA DESCRIPTION POWDER COAT PAINT NAME ALESTA POWDER COAT PAINT COLOR BLACK RAL 9005 LOCATION EXTERIOR. VERIFY PER DRAWINGS

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- KEY NOTES**
- 1 EXTERIOR SIGNAGE UNDER SEPARATE PERMIT. PROVIDE BLOCKING AND J-BOX.
- 2 EXISTING DOOR TO BE REPLACED WITH STOREFRONT SYSTEM.
- 3 NEW STOREFRONT SYSTEM. INSTALL FRAMING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 4 P.F. CHANG'S HORSE PEDESTAL.
- 5 NEW WINDOW G.C. TO INSTALL PRIVACY FILM FROM INSIDE.
- 6 EXISTING SERVICE DOOR TO REMAIN.
- 7 TAKE OUT DOOR UNDER SEPARATE PERMIT COMMERCIAL ALTERATIONS PERMIT #CR24-01844.
- 8 EXISTING EXTERIOR WALL TO REMAIN.
- 9 NOT USED.
- 10 COPING CAP.
- 11 EXTERIOR PAINTED WALL WITH INTEGRATED COVE AND LED WALL GRADING LIGHT FIXTURES. TYPE LA. REFER TO ELECTRICAL DOCUMENT.
- 12 NEW PATIO RAILINGS.
- 13 EXISTING MALL WALL FINISH TO REMAIN.
- 14 NEW DOOR TRANSOM G.C. TO INSTALL PRIVACY FILM FROM INSIDE.
- 15 NOT USED.
- 16 NOT USED.
- 17 SIGNAGE IN TRANSOM ABOVE REMOVED AND REPLACED NEW MAIN ENTRY DOOR.

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REVISIONS

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PLANNING AND ZONING SET

STATE OF FLORIDA
ARCHITECT
BRANDY BRANNUM
A39989
04/02/2025

FIELD VERIFICATION
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SHEET NAME
EXTERIOR ELEVATIONS

DATE
02/25/25

PROJECT NO
39907

DRAWN
PL

SCALE
AS NOTED

SHEET NO
A400



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- DIMENSIONS AND CLEARANCES SHOWN ON DRAWINGS RELATING TO ACCESSIBILITY OR EGRESS ARE FROM FACE OF FINISH MATERIAL. ALLOW FOR FINISHES IN FABRICATING AND/OR INSTALLING ITEMS. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED ITEMS.
- COORDINATE DIMENSIONS ON PLANS AND FIELD VERIFY PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- EXISTING CONDITIONS ARE TO REMAIN AND BE PROTECTED IN PLACE DURING THE COURSE OF CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.

E

D

C

B

A

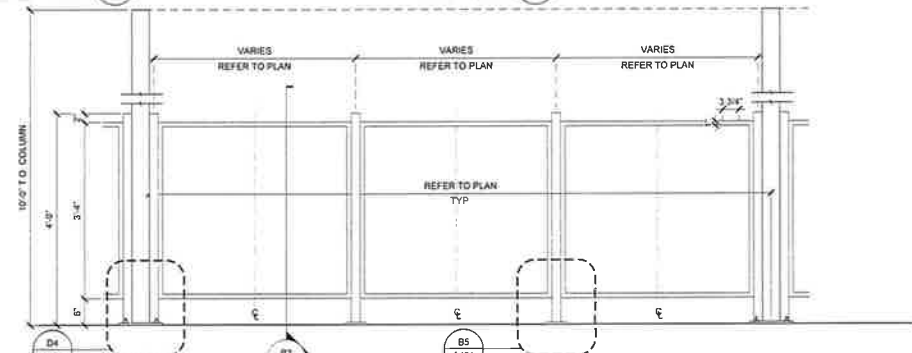
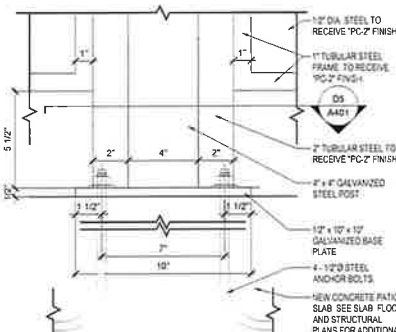
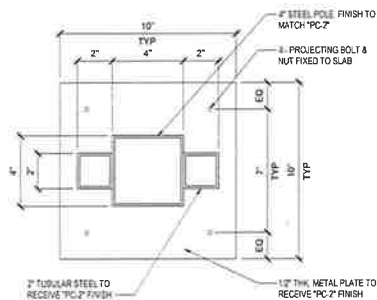
NOT USED
SCALE NTS E6

NOT USED
SCALE NTS E5

NOT USED
SCALE NTS E4

NOT USED
SCALE NTS E3

NOT USED
SCALE NTS E2

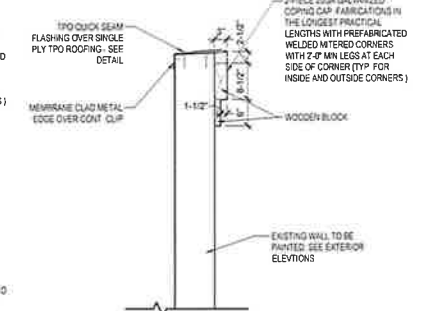
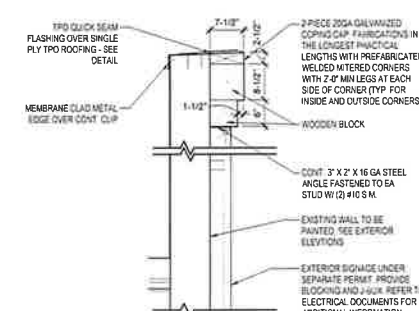
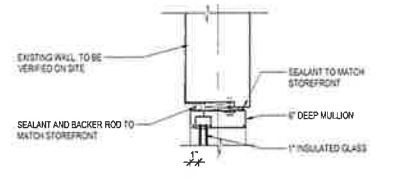
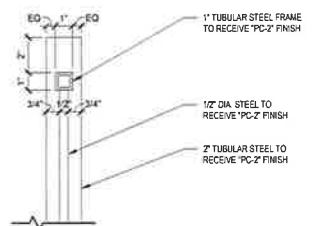


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POLE - BASE PLATE PLAN (D5)

POLE SURFACE MOUNT DETAIL (D4)

POST / RAILING ELEVATION (D1)



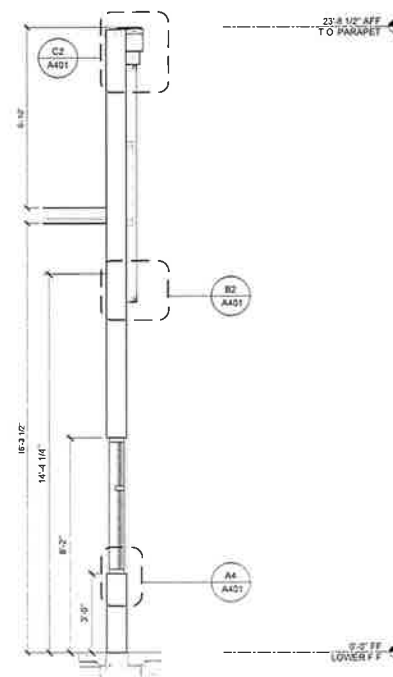
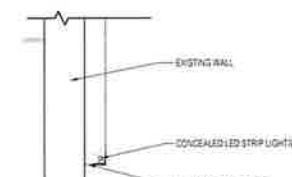
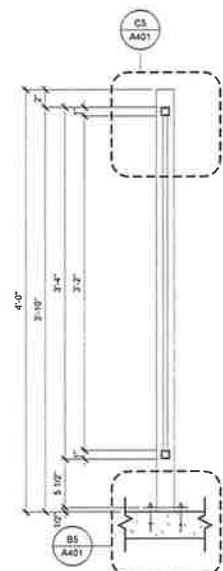
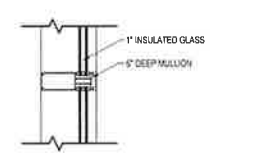
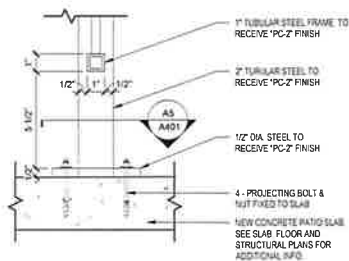
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SCALE NTS C6

DETAIL (C5)

WINDOW HEAD (C4)

PARAPET DETAIL (C2)

PARAPET DETAIL (C1)



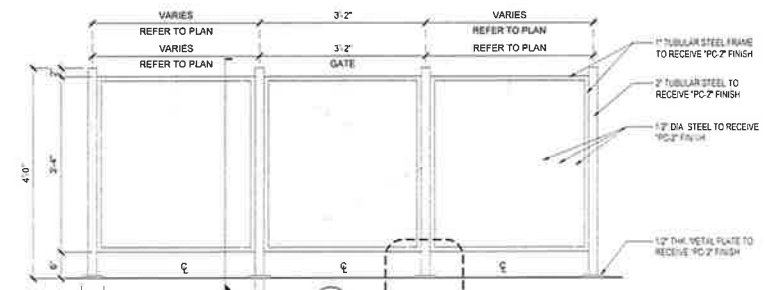
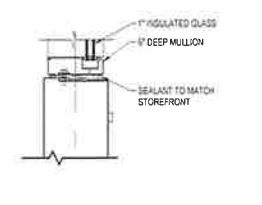
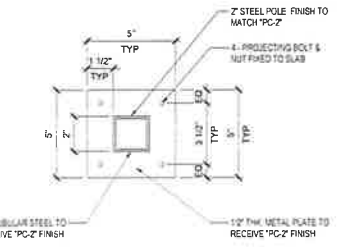
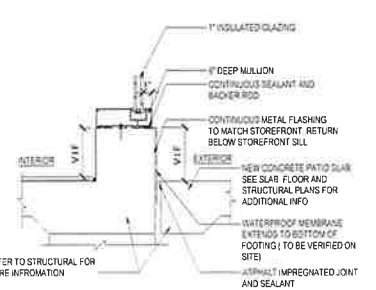
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SCALE NTS B6

DETAIL (B5)

WINDOW JAMB DETAIL (B4)

SECTION (B3)

STOREFRONT DETAIL (B2)



STORE NO
9709

P.F. CHANG'S

MEMPHIS, TENNESSEE
11401 PINES BOULEVARD, SUITE 100
PEMBROKE PINES, FL 33026 USA

REVISIONS

DATE	DESCRIPTION
02/25/25	ISSUE FOR PERM
12/10/2024	RE-SUBMITTAL FOR PERM
2/04/2025	RE-SUBMITTAL FOR PERM

PLANNING AND ZONING SET



FIELD VERIFICATION
The Contractor shall verify all field conditions and dimensions as shown on this set of drawings. Zebra Architecture, PLLC, is not responsible for any errors or omissions in the field verification process. The contractor shall be responsible for any errors or omissions in the field verification process.

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SHEET NAME
EXTERIOR DETAILS

DATE
02/25/25

PROJECT NO
35507

DRAWN
JB

SCALE
AS NOTED

SHEET NO
A401

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Landscaping	X	14.8 fc	20.6 fc	4.2 fc	4.9:1	3.5:1
Patio	X	2.9 fc	6.2 fc	1.0 fc	6.2:1	2.9:1
Sidewalk	X	10.6 fc	20.3 fc	0.6 fc	33.8:1	17.7:1
Walkway	X	2.6 fc	7.7 fc	0.1 fc	77.0:1	26.0:1

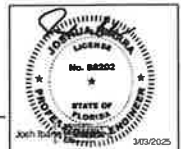
ALL OUTDOOR LIGHTING FIXTURES TO BE
90-DEGREE FULL CUT OFF FIXTURES AND
NOT EXCEEDING 4,000L.

STORE NO:
9709

P.F. CHIANG'S
PETERSON LAMAR MALL
1401 N. WILLOW BLVD., SUITE 1000
SCOTTSDALE, ARIZONA 85254

REVISIONS	
DATE	DESCRIPTION
02/11/2025	ISSUE FOR PERM
02/26/25	ISSUE FOR PERM

PLANNING AND ZONING SET



FIELD VERIFICATION
The Consultant has verified all required dimensions and
conditions at the project site and notes that the
information on this plan is based on the field verification.
The Consultant is not responsible for any errors or
omissions in the field verification or for any errors or
omissions in the field verification or for any errors or
omissions in the field verification.

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or by any information storage and retrieval system, without
prior written permission from Zebra Architecture, PLLC.

SHEET NAME:
SITE PHOTOMETRIC

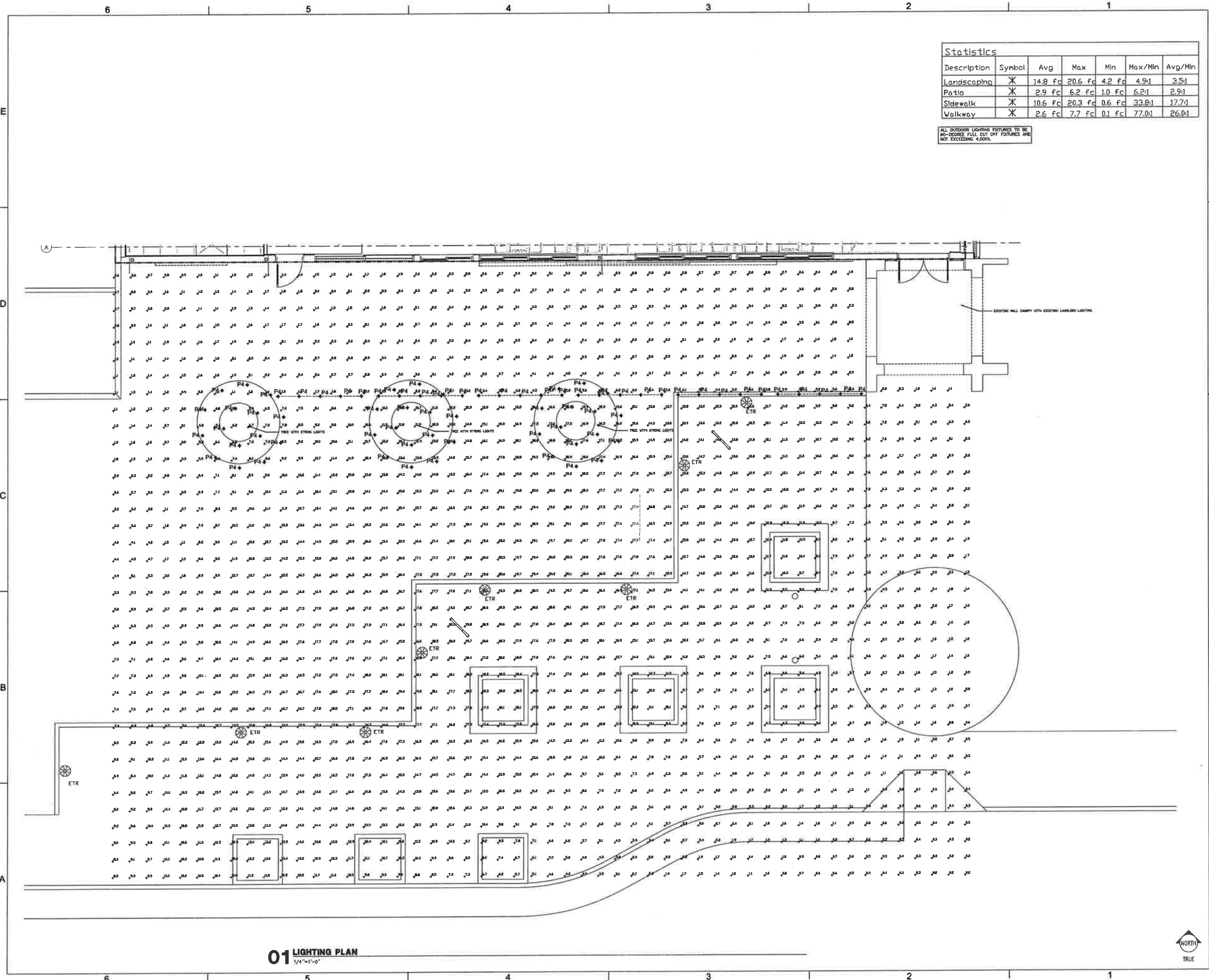
DATE:
02/26/25

PROJECT NO:
30507

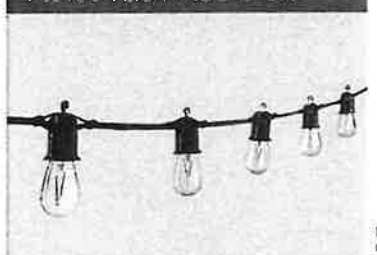
DRAWN:
AM

SCALE:
AS NOTED

SHEET NO:
ES100



DECOSTRING - SERIES
FESTOON LIGHTING SYSTEM



PROJECT _____
TYPE _____
NOTES _____

FEATURES

DURABLE CONSTRUCTION
Constructed with high-quality stainless-steel cables for strength, UV-rated duplex power cables and zip ties for reliable performance, and non-metallic phenolic sockets for durability in harsh environments. Designed to remain resilient and functional in extreme weather conditions.

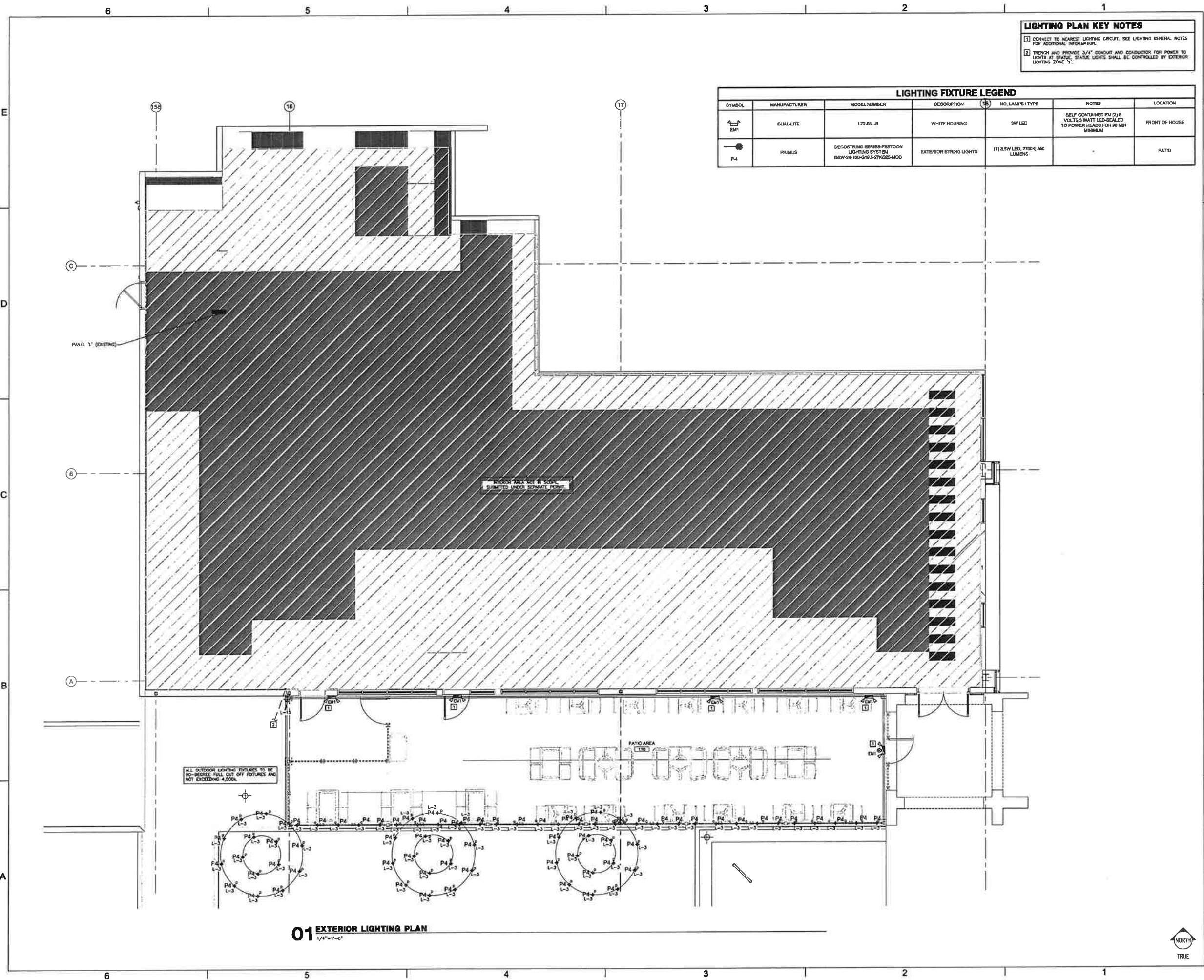
VERSATILE APPLICATIONS
Decostrings are a specification-grade festoon lighting system engineered to endure harsh year-round commercial conditions. Ideal for restaurants, hospitality venues, cityscape enhancements, and theme park installations, they offer both functional lighting and aesthetic appeal.

CUSTOMIZATION
Decostrings are custom-built to your specifications, offering precise run lengths and personalized lamp spacing. With a wide selection of lamps and decorative shades, you can tailor the lighting to match your vision. This level of customization brings your project ideas to life, ensuring both functionality and aesthetic appeal.

WET-RATED
Decostrings, including springs and lamps, are ETL listed for permanent wet installations, ensuring durability in any environment. Proudly made in the USA, Decostrings guarantee lasting quality and reliability.



SERIES	SPACING	LAMP	SHADE-STYLE	SHADE-FINISH	TERMINATION KIT	LENGTH
BSW, DRY/WET	12" O/C 18" O/C 24" O/C 36" O/C 48" O/C 60" O/C CUSTOM (SPECIFY)	SELECT FROM LAMPS PAGE	OPTIONAL SELECT FROM SHADE PAGES	SELECT FROM PAGES	OPTIONAL BTR STANDARD TERMINATION KIT TBK TURNBUCKLE KIT OL QUICK LINK	SPECIFY
Refer to PG. 1-2	Refer to PG. 2	Refer to PG. 2	Refer to PG. 4 & 5-7	Refer to PG. 5-7	Refer to PG. 8	Refer to PG. 10



LIGHTING PLAN KEY NOTES

1. CONNECT TO NEAREST LIGHTING CIRCUIT, SEE LIGHTING GENERAL NOTES FOR ADDITIONAL INFORMATION.

2. TRENCH AND PROVIDE 3/4" CONDUIT AND CONDUCTOR FOR POWER TO LIGHTS AT STAKE. STAKE LIGHTS SHALL BE CONTROLLED BY EXTERIOR LIGHTING ZONE "2".

LIGHTING FIXTURE LEGEND						
SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	NO. LAMP(S) / TYPE	NOTES	LOCATION
EM1	DUAL-LITE	L22-03L-B	WHITE HOUSING	3W LED	SELF-CONTAINED EM (2) 8 VOLTS 3 WATT LED-SEALED TO POWER HEADS FOR 80 MIN MINIMUM	FRONT OF HOUSE
P-4	PRIMUS	DECOSTRING SERIES-FESTOON LIGHTING SYSTEM DSH-24-120-016-5-27K/325-MCO	EXTERIOR STRING LIGHTS	(1) 3.5W LED; 2700K 350 LUMENS		PATIO

zebra

ZEBRA ARCHITECTURE, PLLC
14814 N KIERLAND BLVD., SUITE 1000
SCOTTSDALE, ARIZONA 86234
PHONE: 480.812.1188 zsu@zebraa.com

dialectic
ENGINEERING

Donna M. M...
11401 PINE BLVD., SUITE 100
PUEBLO, CO 81001
761-238-1111

STORE NO:
9709

P.F. CHANG'S
PUEBLO LAKES MALL
11401 PINE BLVD., SUITE 100
PUEBLO, CO 81001

REVISIONS

DATE	DESCRIPTION
02/11/2024	EXT. ALL. PERMIT SET
02/26/25	ISSUE FOR PER

PLANNING AND ZONING SET

JOHN J. HARRIS
LICENSED PROFESSIONAL ENGINEER
No. 88202
STATE OF ARIZONA
3/23/2025

FIELD VERIFICATION:
The Designer shall verify all field dimensions and locations of all existing and proposed structures, including all underground utilities, before beginning any work. Do not make base drawings.

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SHEET NAME:
EXTERIOR LIGHTING PLAN

DATE: 02/26/25 PROJECT NO: 36807
DRAWN: BAW SCALE: AS NOTED

SHEET NO:
E110

LEGAL DESCRIPTION:

A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, "EVERGLADES SUGAR & LAND CO. SUBDIVISION" AS RECORDED IN PLAT BOOK 2 AT PAGE 39 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 13; THENCE S.0°21'16"W, ALONG THE WEST LINE OF SAID SECTION 13, FOR 55.02 FEET; THENCE S.88°10'42"E, ALONG A LINE 55.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 13, FOR 100.03 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND (SAID POINT OF BEGINNING ALSO BEING ON THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF JOHNSON STREET WITH THE EASTERLY RIGHT-OF-WAY LINE OF FLAMINGO ROAD); THENCE CONTINUE S.88°10'42"E, ALONG THE LAST DESCRIBED COURSE, FOR 148.66 FEET TO A POINT OF CURVATURE; THENCE EASTERLY AND SOUTHEASTERLY, ALONG A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 1445.00 FEET AND A CENTRAL ANGLE OF 21°35'27", FOR AN ARC DISTANCE OF 544.52 FEET TO A POINT OF TANGENCY; THENCE S.66°35'15"E, FOR 1929.75 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY, ALONG A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 2208.00 FEET AND A CENTRAL ANGLE OF 53°45'00", FOR AN ARC DISTANCE OF 2071.56 FEET TO A POINT OF TANGENCY; THENCE N.50°39'45"E, FOR 210.22 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY AND EASTERLY, ALONG A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 1577.09 FEET AND A CENTRAL ANGLE OF 32°09'33", FOR AN ARC DISTANCE OF 885.19 FEET TO A POINT OF TANGENCY; THENCE S.88°10'42"E, ALONG A LINE 108.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 13, FOR 198.42 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF HIATUS ROAD (THE LAST DESCRIBED SEVEN COURSES BEING COINCIDENT WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID JOHNSON STREET); THENCE S.0°20'02"W, ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID HIATUS ROAD, BEING 53.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTH 1/2 OF SAID SECTION 13, FOR 2432.97 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD; THENCE N.88°10'15"W, ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID HOLLYWOOD BOULEVARD, BEING 100.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 13, FOR 519.83 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID FLAMINGO ROAD; THENCE N.0°21'16"E, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID FLAMINGO ROAD, BEING 100.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTH 1/2 OF SAID SECTION 13, FOR 690.10 FEET; THENCE S.88°10'25"E, ALONG THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTH 1/2 OF SAID SECTION 13, FOR 1026.45 FEET TO A POINT OF CURVATURE; THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY, ALONG A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 2500 FEET AND A CENTRAL ANGLE OF 80°50'50", FOR AN ARC DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY; THENCE N.1°49'45"E, FOR 300.09 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY, ALONG A CIRCULAR CURVE TO THE RIGHT, HAVING A RADIUS OF 464.00 FEET AND A CENTRAL ANGLE OF 51°10'36", FOR AN ARC DISTANCE OF 414.44 FEET TO A POINT ON SAID CURVE; THENCE N.36°59'30"W, RADIAL TO THE LAST DESCRIBED CURVE, FOR 475.57 FEET; THENCE N.66°35'15"W, FOR 4275.00 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY, ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1145.00 FEET AND A CENTRAL ANGLE OF 21°35'27", FOR AN ARC DISTANCE OF 431.47 FEET TO A POINT OF TANGENCY; THENCE N.88°10'42"W, FOR 140.88 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID FLAMINGO ROAD; THENCE N.0°21'16"E, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID FLAMINGO ROAD, BEING 100.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTH 1/2 OF SAID SECTION 13, FOR 300.10 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA AND CONTAINING 217.474 ACRES, MORE OR LESS.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THAT PEMBROKE LAKES REGIONAL CENTER ASSOCIATES, LTD., A FLORIDA LIMITED PARTNERSHIP UNDER THE UNIFORM PARTNERSHIP LAWS OF THE STATE OF FLORIDA, HAS CAUSED TO BE MADE THE ATTACHED PLAT OF "PEMBROKE LAKES REGIONAL CENTER", A REPLAT.

THAT THE THOROUGHFARES AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES, RESERVING TO THE DEDICATORS, THEIR SUCCESSORS OR ASSIGNS, THE REVERSION OR REVERSIONS THEREOF, WHENEVER DISCONTINUED BY LAW.

THAT THE EASEMENTS AS SHOWN AND IDENTIFIED HEREON AS UTILITY EASEMENTS ARE HEREBY DEDICATED FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND SHALL BE KEPT FREE OF PERMANENT OBSTRUCTIONS.

RESTRICTIONS:

THIS PLAT SHALL BE RESTRICTED TO 602 GARDEN APARTMENTS, 200 ROOM HOTEL, 1,756,000 SQ. FT. COMMERCIAL, AND 575,000 SQ. FT. OFFICE. ALL USES TO BE CONSISTENT WITH THE CERTIFIED LAND USE PLAN.

IN WITNESS WHEREOF: PEMBROKE LAKES REGIONAL CENTER ASSOCIATES, LTD., HAS CAUSED THESE PRESENTS TO BE SIGNED AND SEALED BY ITS GENERAL PARTNERS, THIS 14th DAY OF April, A.D. 1986.

PEMBROKE LAKES REGIONAL CENTER ASSOCIATES, LTD.

WITNESS: Leonard Miller
AS TO BOTH

BY: Leonard Miller GENERAL PARTNER.
LEONARD MILLER

WITNESS: Alvin Cassel
AS TO BOTH

BY: Alvin Cassel GENERAL PARTNER.
ALVIN CASSEL

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

I HEREBY CERTIFY: THAT ON THIS DAY, PERSONALLY APPEARED BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, LEONARD MILLER AND ALVIN CASSEL, AS GENERAL PARTNERS OF PEMBROKE LAKES REGIONAL CENTER ASSOCIATES, LTD., A FLORIDA LIMITED PARTNERSHIP UNDER THE UNIFORM PARTNERSHIP LAWS OF THE STATE OF FLORIDA, TO ME WELL KNOWN TO BE THE PERSONS HEREIN DESCRIBED AND WHO SIGNED THE FOREGOING INSTRUMENT, AS SUCH OFFICERS, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THEY AFFIXED THERETO THE OFFICIAL SEAL OF SAID CORPORATION AND THAT THE SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS: MY HAND AND OFFICIAL SEAL, THIS 14th DAY OF April, A.D. 1986.
MY COMMISSION EXPIRES: 7-31-88

NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXPIRY JULY 31, 1988
SIGNED THIS GENERAL 1ST, 1986.

NOTARY PUBLIC STATE OF FLORIDA, AT LARGE.

IS PLAT HAS BEEN AMENDED:

SEE O.R. BOOK 22117 PG 878

PEMBROKE LAKES REGIONAL CENTER

A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, "EVERGLADES SUGAR & LAND CO. SUBDIVISION" (PB.2, PG.39, DADE CO.), CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.
SHEET 1 OF 5

THIS PLAT HAS BEEN AMENDED:

SEE O.R. BOOK 24440 PG 717

THIS PLAT HAS BEEN AMENDED:

SEE O.R. BOOK 24440 PG 726

MORTGAGE:

KNOW ALL MEN BY THESE PRESENTS: THAT PEMBROKE LAKES, LTD., A FLORIDA LIMITED PARTNERSHIP UNDER THE UNIFORM PARTNERSHIP LAWS OF THE STATE OF FLORIDA, THE OWNER AND HOLDER OF THAT CERTAIN MORTGAGE RECORDED JUNE 7, 1985 IN OFFICIAL RECORDS BOOK 12592, AT PAGE 766 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY CONSENT TO THIS PLAT AND JOINS IN THE ABOVE DEDICATIONS.

IN WITNESS WHEREOF: PEMBROKE LAKES, LTD., HAS CAUSED THESE PRESENTS TO BE SIGNED AND SEALED BY ITS GENERAL PARTNER, THIS 21st DAY OF February, A.D. 1986.

PASADENA HOMES, INC. AS GENERAL PARTNER.

WITNESS: Adolph J. Berger
AS TO BOTH

BY: Adolph J. Berger PRESIDENT.
ADOLPH J. BERGER

WITNESS: Leonard Miller
AS TO BOTH

BY: Leonard Miller SECRETARY.
LEONARD MILLER

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

I HEREBY CERTIFY: THAT ON THIS DAY, PERSONALLY APPEARED BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, ADOLPH J. BERGER AND LEONARD MILLER, PRESIDENT AND SECRETARY RESPECTIVELY OF PASADENA HOMES, INC., A FLORIDA CORPORATION, AS GENERAL PARTNER OF PEMBROKE LAKES, LTD., A FLORIDA LIMITED PARTNERSHIP UNDER THE UNIFORM PARTNERSHIP LAWS OF THE STATE OF FLORIDA, TO ME WELL KNOWN TO BE THE PERSONS HEREIN DESCRIBED AND WHO SIGNED THE FOREGOING INSTRUMENT, AS SUCH OFFICERS, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THEY AFFIXED THERETO THE OFFICIAL SEAL OF SAID CORPORATION AND THAT THE SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS: MY HAND AND OFFICIAL SEAL, THIS 21st DAY OF February, A.D. 1986.
MY COMMISSION EXPIRES: 7-31-88

NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXPIRY JULY 31, 1988
SIGNED THIS GENERAL 1ST, 1986.

NOTARY PUBLIC STATE OF FLORIDA, AT LARGE.

SURVEYOR'S CERTIFICATE:

WE HEREBY CERTIFY: THAT THE ATTACHED PLAT OF "PEMBROKE LAKES REGIONAL CENTER" IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS DESCRIBED HEREON, AS RECENTLY SURVEYED UNDER OUR RESPONSIBLE DIRECTION AND SUPERVISION, ALSO THAT THE PERMANENT REFERENCE MONUMENTS WERE SET IN ACCORDANCE WITH SECTION 177.001 OF CHAPTER 177, FLORIDA STATUTES, A.D. 1971 AND THAT THE PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE (1) YEAR OF THE DATE OF RECORDING OF THIS PLAT. THE SURVEY DATA SHOWN HEREON COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177 (PART 1), FLORIDA STATUTES AND THAT THE BEACH MARKS SHOWN HEREON WERE ESTABLISHED IN CONFORMITY WITH STANDARDS ADOPTED BY THE U.S.S. FOR THIRD ORDER WORK. REFER TO U.G.V.D. SEE SURVEYORS NOTES.

SCHWEBKE-SHISKIN & ASSOCIATES, INC.

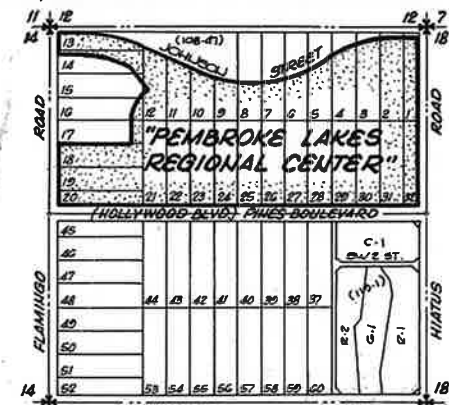
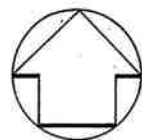
DATE: MAY 17th 1986 BY: James P. Shiskin SECRETARY-TREASURER.

JAMES P. SHISKIN
PROFESSIONAL LAND SURVEYOR N° 1115 STATE OF FLORIDA.

SURVEYOR'S NOTES:

- R.M. DENOTES PERMANENT REFERENCE MONUMENT.
- R.C.P. DENOTES PERMANENT CONTROL POINT.
- --- DENOTES NON-VEHICULAR ACCESS.

BEACH MARKS SHOWN, RELATE TO U.G.V. DATUM AND ORIGINATE FROM THE SYSTEM OF BEACH MARKS BY BROWARD COUNTY. STATE PLANE COORDINATES ARE BASED ON THE NORTH WEST CORNER OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, AS SHOWN ON CRAVEN THOMPSON ASSOCIATES, INC., RESURVEY AS RECORDED IN PLAT BOOK G, PAGE 4, SHEET 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. BEARINGS SHOWN ARE BASED ON AN ASSUMED MERIDIAN. BEARINGS SHOWN IN PARENTHESIS ARE STATE PLANE BEARINGS AND ARE BASED ON THE NORTH LINE OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST OF THE SAID CRAVEN THOMPSON ASSOCIATES, INC., RESURVEY. S.P. DENOTES STATE PLANE.



SECTION 13, TWP 51S, RGE. 40E.
LOCATION MAP SCALE: 1"=1200'

APPROVALS:

CITY OF PEMBROKE PINES:

THIS PLAT WAS APPROVED BY THE COUNCIL OF THE CITY OF PEMBROKE PINES, FLORIDA, IN AND BY RESOLUTION ADOPTED, THIS 1st DAY OF April, A.D. 1986.

ATTEST: Charles A. Dwyer CITY CLERK.

BY: Charles W. Dwyer MAYOR.

CITY BUILDING AND ZONING DEPARTMENT:

THIS PLAT WAS APPROVED BY THE CITY OF PEMBROKE PINES, FLORIDA, BUILDING AND ZONING DEPARTMENT, THIS 2nd DAY OF April, A.D. 1986.

BY: John J. Kuehl CITY DIRECTOR.

CITY PLANNING AND ZONING BOARD:

THE ZONING ESTABLISHED BY THIS PLAT WAS ADOPTED AND ACCEPTED BY THE PLANNING AND ZONING BOARD OF THE CITY OF PEMBROKE PINES, FLORIDA, THIS 11th DAY OF October, A.D. 1986.

BY: Joe Williams CHAIRMAN.

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL, APPROVED THIS PLAT WITH REGARD TO DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS BY RESOLUTION ADOPTED THIS 5th DAY OF December, A.D. 1986.

BY: John J. Kuehl CHAIRMAN.

BROWARD COUNTY ENGINEERING DIVISION:

THIS PLAT WAS APPROVED AND ACCEPTED FOR RECORD.

BY: Robert L. Thompson

ROBERT L. THOMPSON,
COUNTY SURVEYOR P.L.S. N° 3869

DATE: 7-14-86

BY: Henry P. Cook DIRECTOR OF ENGINEERING

HEINRY P. COOK
P.E. N° 12506 STATE OF FLORIDA.

DATE: 7-16-86

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS 2nd DAY OF JUNE, A.D. 1986.

ATTEST: F.T. JOHNSON, COUNTY ADMINISTRATOR.

BY: Phyllis J. Flanagan DEPUTY.

BY: Howard P. Johnson CHAIRMAN - COUNTY COMMISSION.

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - RECORDING SECTION:

THIS INSTRUMENT WAS FILED FOR RECORD, THIS 15th DAY OF July, A.D. 1986; AND RECORDED IN PLAT BOOK 127 AT PAGE 50 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ATTEST: F.T. JOHNSON, COUNTY ADMINISTRATOR.

BY: Carole C. Doyle DEPUTY.

HOLLYWOOD RECLAMATION DISTRICT:

THIS PLAT OF "PEMBROKE LAKES REGIONAL CENTER", A REPLAT, IS HEREBY APPROVED THIS 21st DAY OF February, A.D. 1986.

BY: Michael H. Dwyer SUPERVISOR.

BY: Michael H. Dwyer SUPERVISOR.

PREPARED BY:

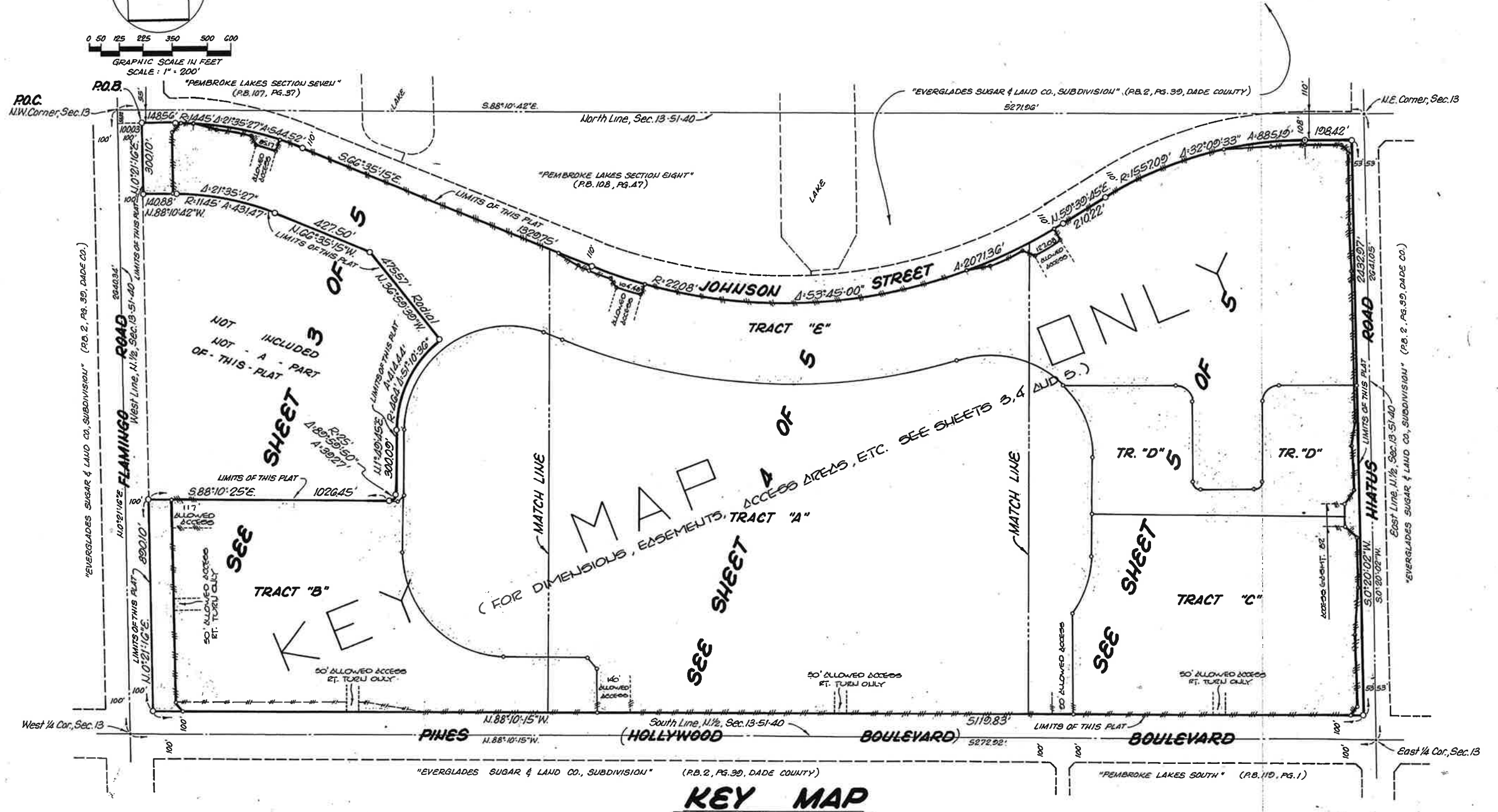
SCHWEBKE-SHISKIN & ASSOCIATES, INC.

LAND SURVEYORS ENGINEERS ARCHITECTS LAND PLANNERS SOILS
18800 NORTHWEST SECOND AVENUE MIAMI, FLORIDA 33160
ORDER N° 151774 SCALE: 1"=100' NOVEMBER 22, 1985.

PEMBROKE LAKES REGIONAL CENTER

A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, "EVERGLADES SUGAR & LAND CO., SUBDIVISION" (P.B. 2, PG. 39, DADE CO.), CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

SHEET 2 OF 5



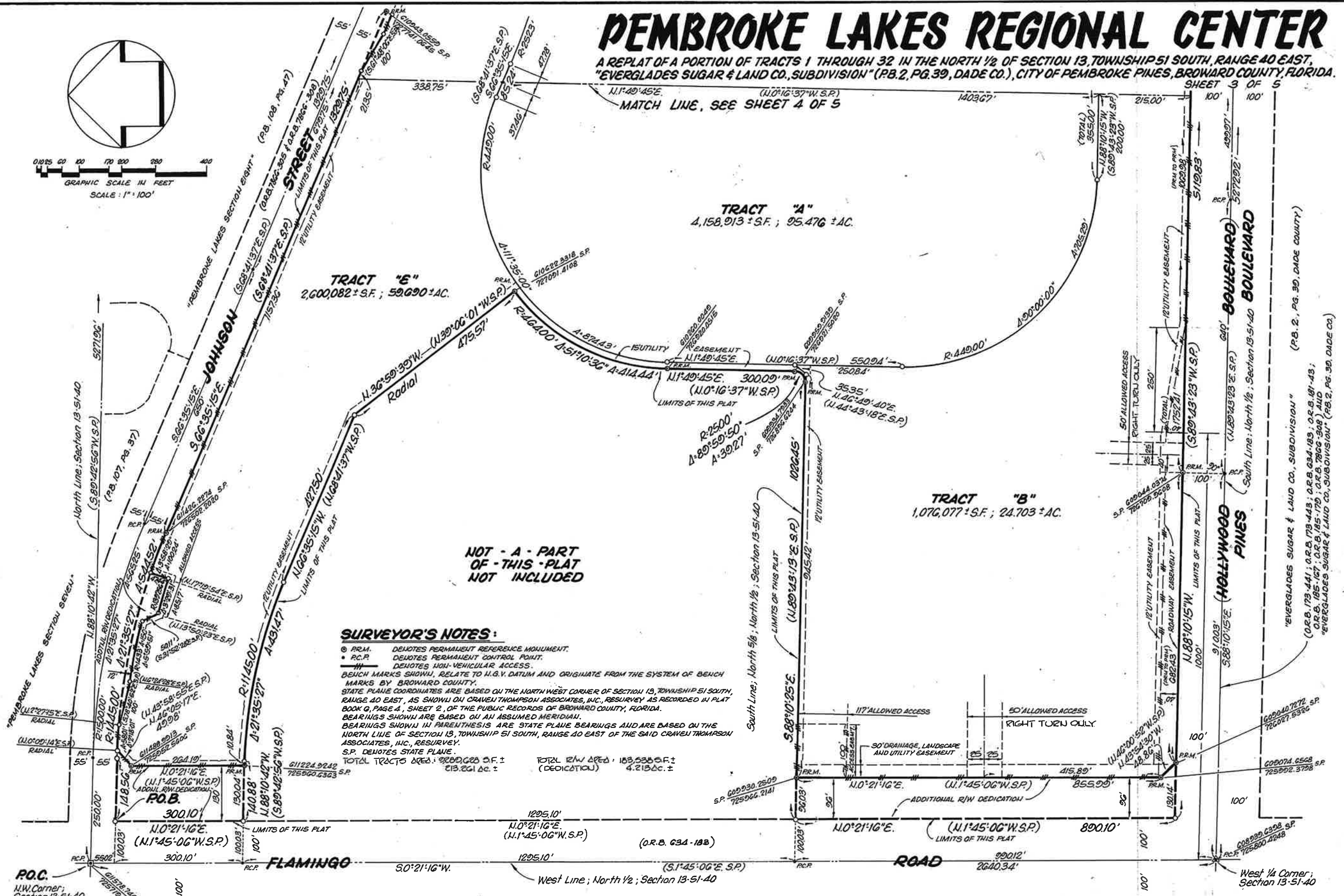
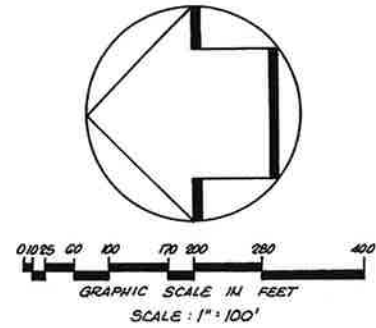
PREPARED BY:

SCHWEBKE-SHISKIN & ASSOCIATES, INC.

LAND SURVEYORS ENGINEERS ARCHITECTS LAND PLANNERS SOILS
18800 NORTHWEST SECOND AVENUE MIAMI, FLORIDA 33169
ORDER N° 151774 SCALE: 1" = 200' NOVEMBER 22, 1985.

PEMBROKE LAKES REGIONAL CENTER

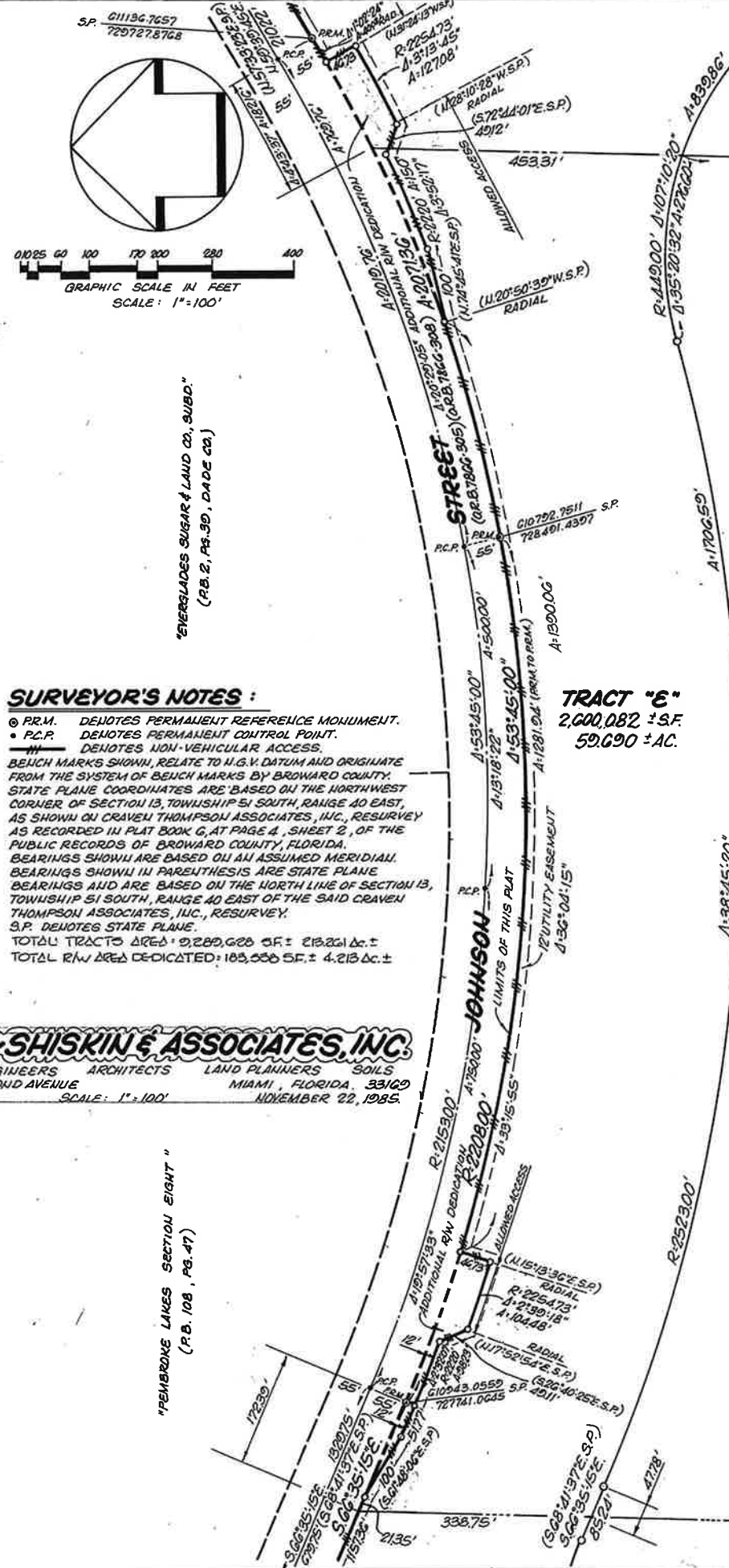
A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, "EVERGLADES SUGAR & LAND CO. SUBDIVISION" (P.B. 2, PG. 39, DADE CO.), CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.



PEMBROKE LAKES REGIONAL CENTER

A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, "EVERGLADES SUGAR & LAND CO., SUBDIVISION" (P.B. 2, PG. 39, DADE CO.), CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

SHEET 4 OF 5



SURVEYOR'S NOTES :

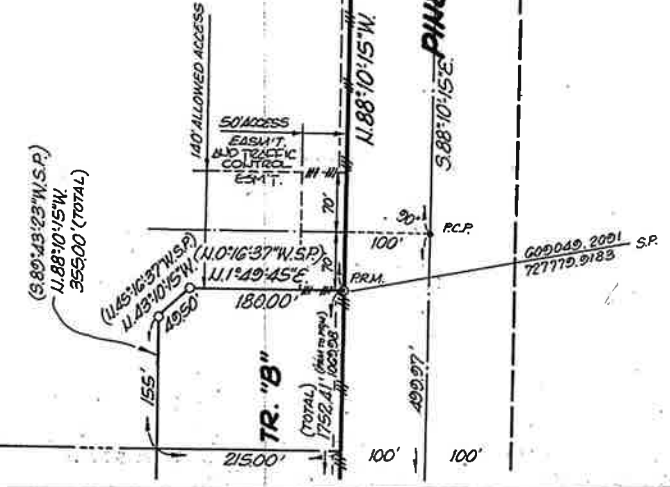
- P.R.M. DENOTES PERMANENT REFERENCE MONUMENT.
 - P.C.P. DENOTES PERMANENT CONTROL POINT.
 - N.V. DENOTES NON-VEHICULAR ACCESS.
- BENCH MARKS SHOWN RELATE TO U.G.V. DATUM AND ORIGINATE FROM THE SYSTEM OF BENCH MARKS BY BROWARD COUNTY. STATE PLANE COORDINATES ARE BASED ON THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST, AS SHOWN ON CRAVEN THOMPSON ASSOCIATES, INC., RESURVEY AS RECORDED IN PLAT BOOK G, AT PAGE 4, SHEET 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. BEARINGS SHOWN IN PARENTHESES ARE STATE PLANE BEARINGS AND ARE BASED ON THE NORTH LINE OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST OF THE SAID CRAVEN THOMPSON ASSOCIATES, INC., RESURVEY. S.P. DENOTES STATE PLANE.
- TOTAL TRACTS AREA: 2,289,628 SF ± 213.261 AC ±
TOTAL R.W. AREA DEDICATED: 183,556 SF ± 4.213 AC ±

PREPARED BY:

SCHWEBKE-SHISKIN & ASSOCIATES, INC.
LAND SURVEYORS ENGINEERS ARCHITECTS LAND PLANNERS SOILS
18800 NORTHWEST SECOND AVENUE MIAMI, FLORIDA 33162
ORDER NO. 151774 SCALE: 1" = 100' NOVEMBER 22, 1985

"PEMBROKE LAKES SECTION EIGHT"
(P.B. 108, PG. 47)

MATCH LINE
SEE SHEET 3 OF 5



"EVERGLADES SUGAR & LAND CO., SUBDIVISION"
(P.B. 2, PG. 39, DADE COUNTY)

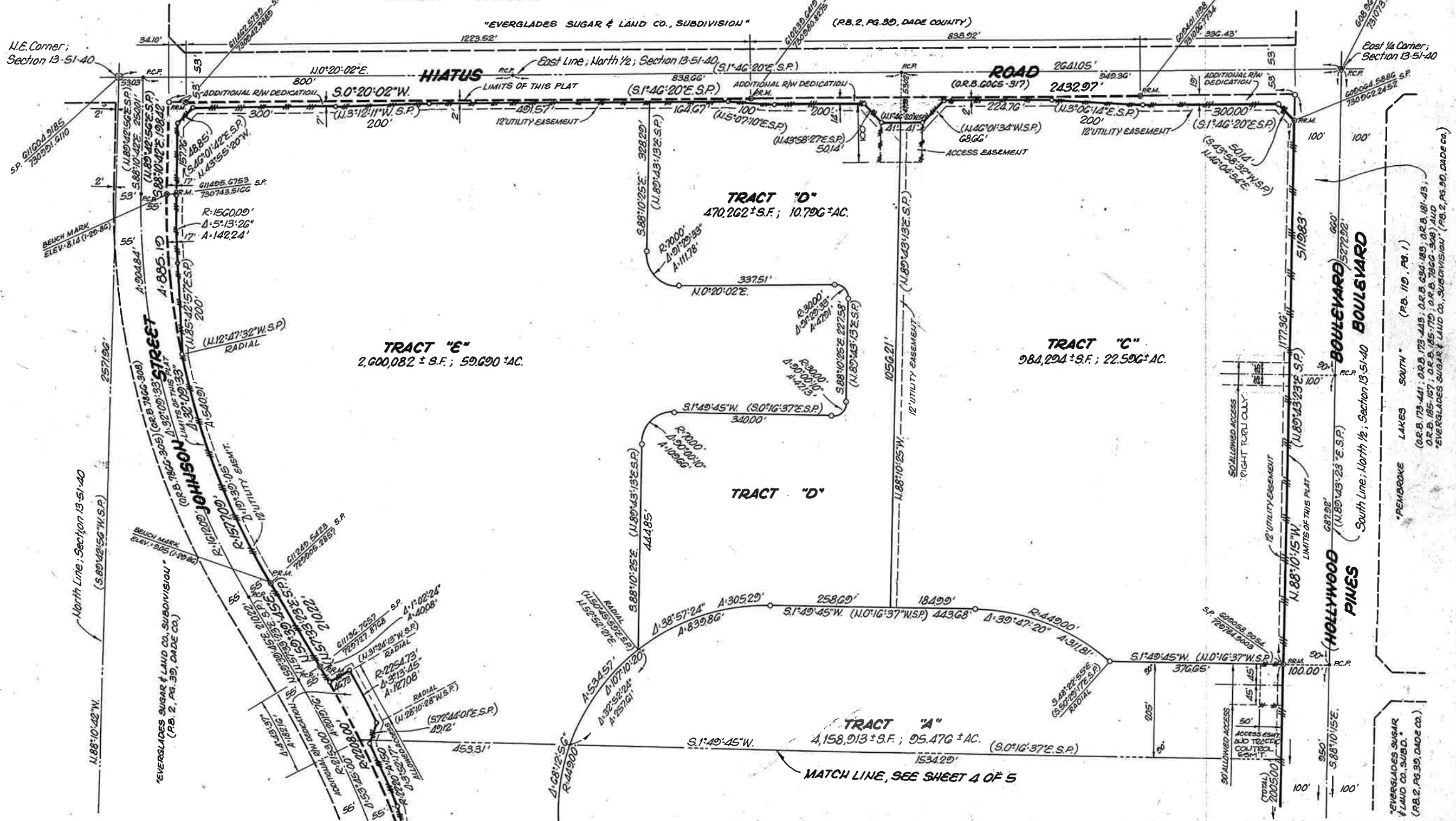
"EVERGLADES SUGAR & LAND CO., SUBDIVISION"
(P.B. 2, PG. 39, DADE COUNTY)

A REPLAT OF A PORTION OF TRACTS 1 THROUGH 32 IN THE NORTH 1/2 OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 40 EAST,
"EVERGLADES SUGAR & LAND CO. SUBDIVISION" (PB.2, PG.39, DADE CO.), CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.
SHEET 5 OF 5

S.P. DENOTES STATE PLANE.
TOTAL TRACTS AREA: 9,280,528 S.F. ±
213.261 Ac. ±

TOTAL T/W AREA: 183,538 S.F. ±
(DEDICATED) 4.213 Ac. ±

LAND SURVEYORS ENGINEERS ARCHITECTS LAND PLANNERS SOILS
18800 NORTHWEST SECOND AVENUE MIAMI, FLORIDA 33169
ORDER N° 151774 SCALE: 1" = 100' NOVEMBER 22, 1985





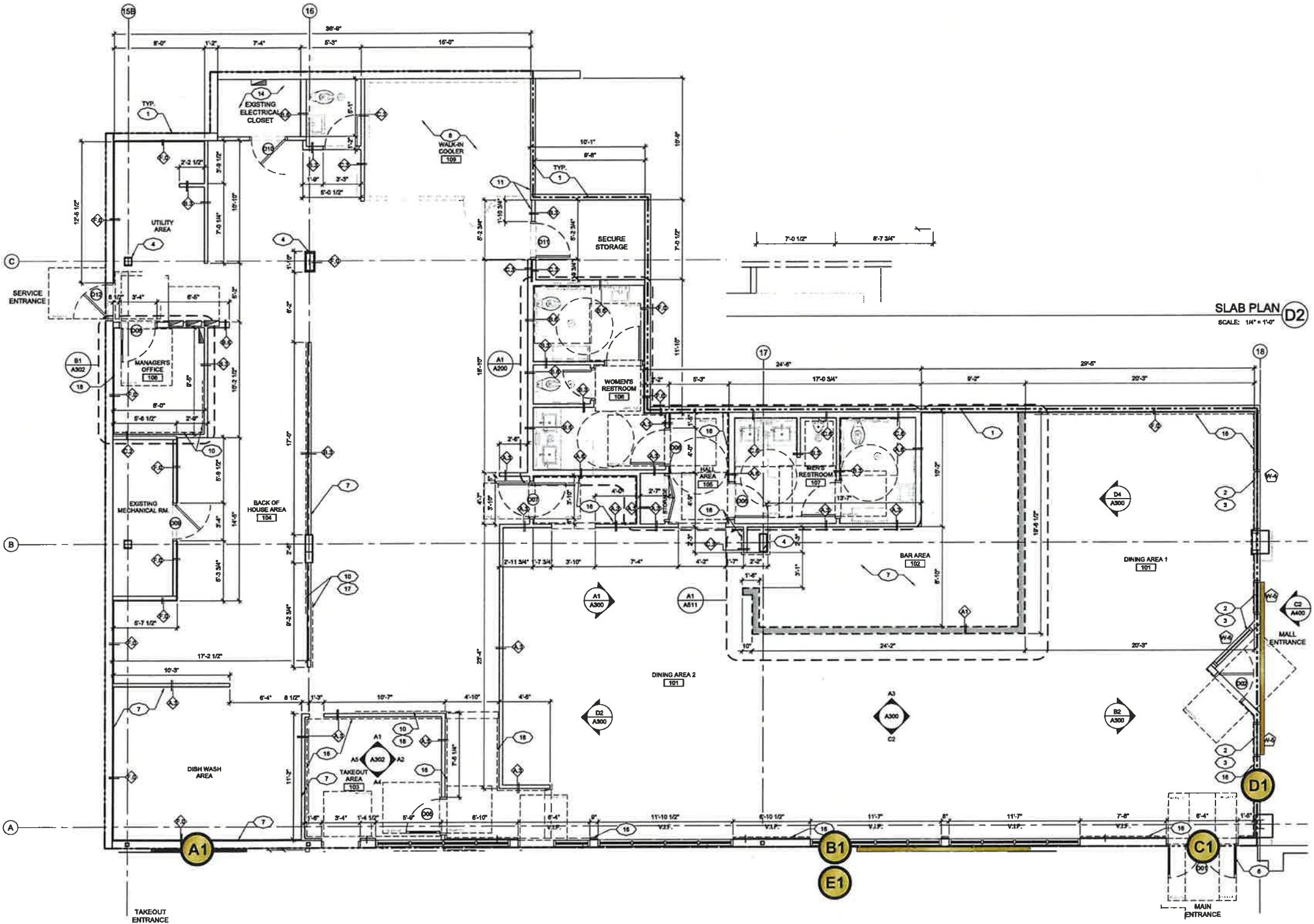
WALTON

P.F. CHANG's®

11401 PINES BLVD., SUITE 100 PEMBROKE PINES, FL 33026

PEMBROKE LAKES MALL

EXTERIOR SIGN PACKAGE



- A1** FACE-LIT CHANNEL LETTERS 36.83 ft²
- B1** HALO-LIT CHANNEL LETTERS 46.26 ft²
- C1** TRANSOM VINYL 6.28 ft²
- D1** HALO-LIT CHANNEL LETTERS 46.26 ft²
- E1** COVE LIGHTING FRAME

PLAN NORTH



10101 Reunion Place
Suite 200
San Antonio, TX 78216
P 210.886.0644
waltonsignage.com

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Client: **P.F. CHANG'S**
Address: **11401 PINES BLVD., SUITE 100**
City/State: **PEMBROKE PINES, FL 33026**
Sales: **JK** Designer: **T. STEFANIAK**
Date: **03/20/24** PM: **CHERYL BROWN**
SE: **MATT RIDER**

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Revision Notes

- R9) REVISE SPECS. & DETAILS FOR COVE LIGHTING FRAME - TVS 01/07/25
- R4) REVISED PER PM NOTES - JSS 5/3/24
- R5) TAKEOUT TO FACE LIT CL - TVS 5/15/24
- R6) REMOVE REG. TM FROM ALL SIGNAGE - TVS 5/31/24
- R7) COVE LIGHTING FRAME ADDED TO SCOPE - RJB (07/16/24)
- R8) UPDATED ADDRESS & TITLE BLOCK INFO - IP (01/30/25)

\\OneDrive-WALTONSIGNAGE\PF Chang's\Documents\New Construction\6. Locations\FL\Pembroke Pines, FL\2-Design

Signs will be manufactured with 120 Volts A/C. Signs will be manufactured by UL Guidelines. All Primary electrical service to the sign is the responsibility of the buyer. If primary electrical service is existing and within 6 feet of sign area, Walton to make final connections unless restricted by municipality.

All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

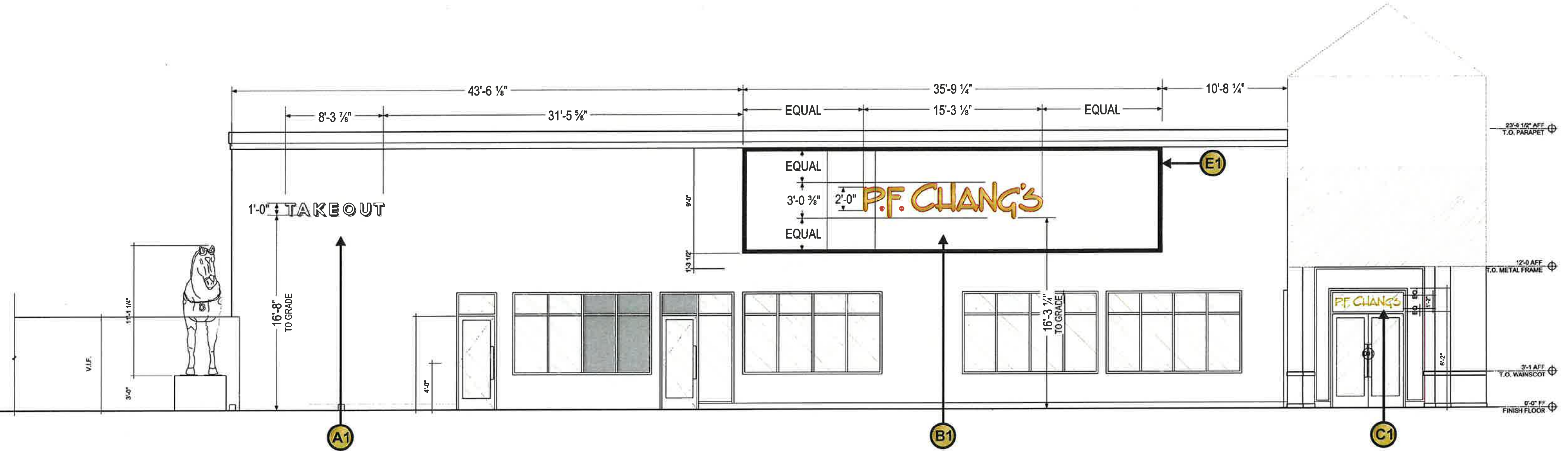
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code

CID340084

PAGE SIZE: 11x17

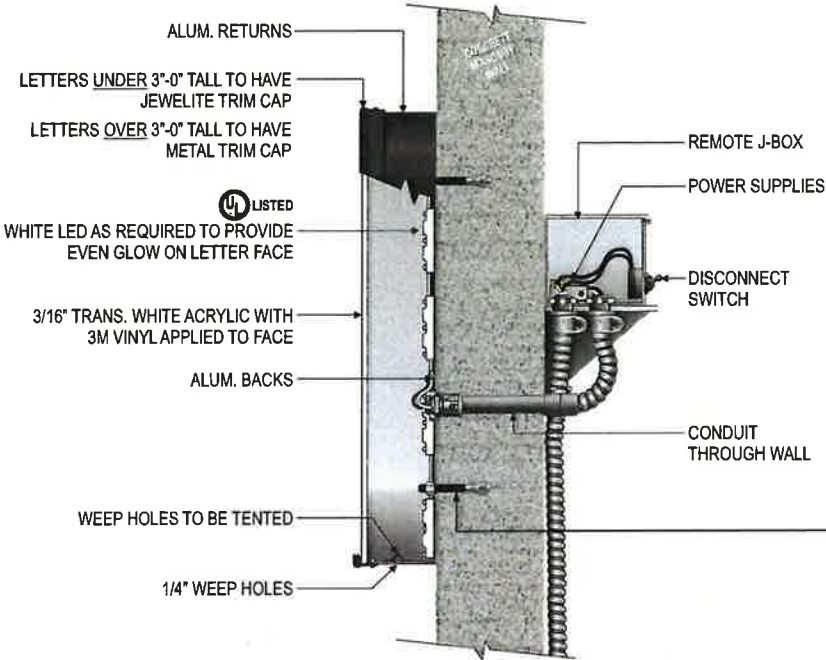
Sheet: 2

- A1 TAKEOUT / FACE-LIT CHANNEL LETTERS
- B1 PF CHANG'S / HALO-LIT CHANNEL LETTERS
- C1 PF CHANG'S / TRANSOM VINYL GRAPHICS
- E1 PF CHANG'S / COVE LIGHTING BORDER



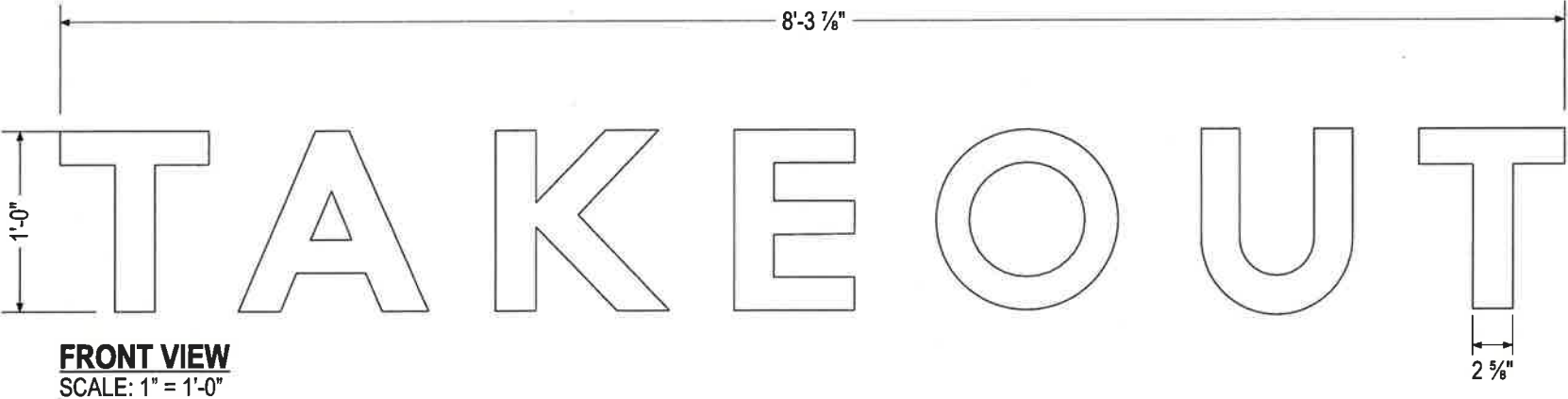
MALL PARKING (NORTH) ELEVATION
SCALE:1/8" = 1'-0"

LETTERS
BACKS : .040" PRE-PAINTED WHITE ALUMINUM BACKS
RETURNS : .040" x 5" DEEP PRE-PAINTED BLACK ALUM. COIL
TRIM CAP : 1" BLACK TRIM CAP
FACES : .177" #7328 WHITE ACRYLIC
ILLUMINATION : WARM WHITE LEDS 3200K
POWER SUPPLY : 60W/12V
UL LABEL : TO BE PLACED ON THE TOP CENTER OF THE LETTERS
ATTACHMENT : TBD PER SITE / SEE CHART



SECTION VIEW
SCALE: NTS

FASTENER SCHEDULE / TBD PER SITE CONDITION		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" LAG & SHIELD	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" DIA. THREADED ROD & BEARING PLATES	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2"
	3/8" DIA. HILTI HIT ROD WITH Hy150 MAX ADHESIVE	FOR USE WITH CONCRETE, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH MASONRY AND BRICK EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH CONCRETE BLOCK, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HLC SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK EMBED A MIN. OF 3 3/8"



FRONT VIEW
SCALE: 1" = 1'-0"



SIDE VIEW
SCALE: NTS

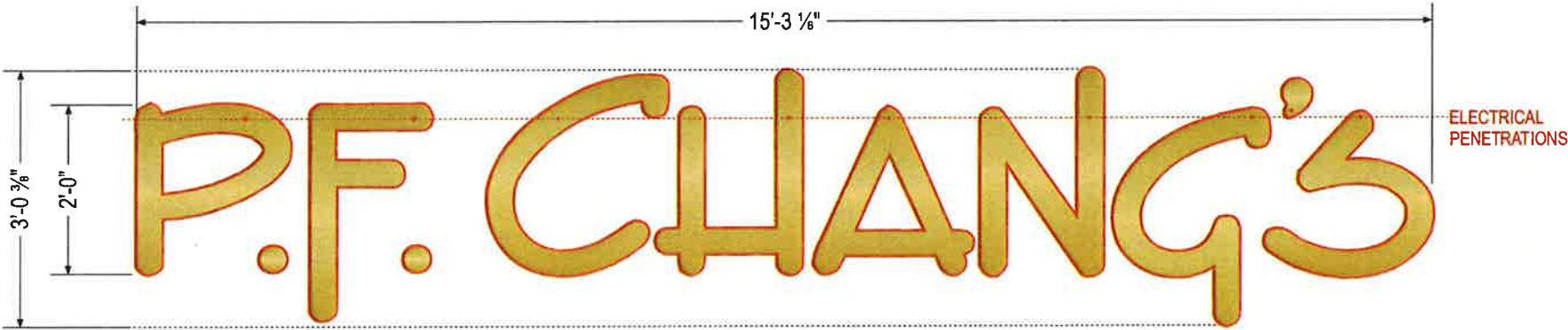
B1 PF CHANG'S / HALO-LIT CHANNEL LETTERS
REVERSE CHANNEL LETTERS

SCALE: AS NOTED
46.26 SQ.FT.



BACKPLATES: 080 ALUMINUM PAINTED RED TO MATCH 3M 3630-53
FACES : .125" ALUM. FACE / PAINTED MP BRILLIANT GOLD
BACKS : .177" POLYCARBONATE CLEAR WITH DIFFUSER
RETURNS : .063" ALUM. / PAINTED MP BRILLIANT GOLD
ILLUMINATION : WARM WHITE LEDS 3200K
POWER SUPPLY : 60W/12V
UL LABEL : TO BE PLACED ON THE TOP CENTER OF THE LETTERS
ATTACHMENT : TBD PER SITE / SEE CHART

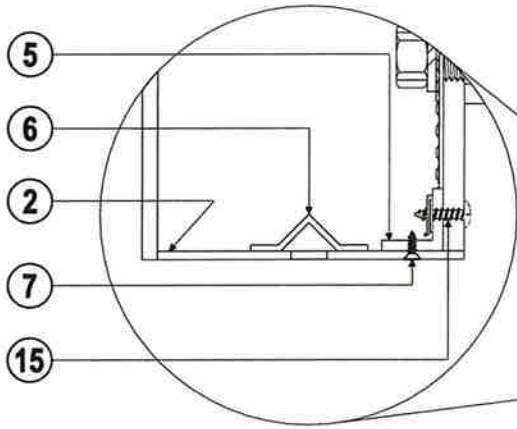
NOTE: DOTS WILL NOT BE ILLUMINATED



FRONT VIEW
SCALE: 1/2" = 1'-0"



SIDE VIEW
SCALE: NTS



HALO-LIT CHANNEL LETTER SECTION
SCALE: NTS

UL LABEL LOCATION
STD. BOTTOM LEFT CORNER
TOP OF LETTERS/ NOT VISIBLE
SEE NOTE

NOTES:
A. LOCATED BEHIND WALL
B. LOOP ALL SECONDARY JUMPS INSIDE OF RACEWAY

MATERIALS & SPECIFICATIONS	
#	DESCRIPTION
1	3" DEEP X .063 ALUM. RETURNS
2	.125" ALUM.FACES
3	1 1/2" SPACERS
4	.177" CLEAR POLY BACKS WITH 3M 3635-70 WHITE DIFFUSER FILM
5	ALUM. ANGLE CLIPS
6	WEEP HOLES TO BE TENTED
7	COUNTER-SINK SCREWS / PAINTED TO MATCH CREATIVE PAINT WS X BLACK / MATTE FINISH
8	GE WARM WHITE LED's 3200K
9	CORROSION RESISTANT FASTENERS / EXACT FASTENERS TBD PER SITE
10	REMOTE J-BOX, EXACT LOCATION TBD PER SITE SURVEY
11	60W/12V REMOTE POWER SUPPLIES
12	DISCONNECT SWITCH
13	RIGID PASS-THRU FOR SECONDARY WIRING
14	PRIMARY ELECTRICAL FEED (BY OTHERS)
15	#10 CLIP SCREW
16	.080 ALUMINUM BACKPLATES PAINTED RED TO MATCH 3M-3630-53
17	12" x 8" x .063" FABRICATED ALUM. REVERSE RACEWAY, PAINTED WHITE

FASTENER SCHEDULE / TBD PER SITE CONDITION		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" LAG & SHIELD	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" DIA. THREADED ROD & BEARING PLATES	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS

WALTON
10101 Reunion Place
Suite 200
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com
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Client: PF CHANG'S
Address: 11401 PINES BLVD., SUITE 100
City/State: PEMBROKE PINES, FL 33026
Sales: JK Designer: T. STEFANIAK
Date: 03/20/24 PM: CHERYL BROWN
CE: MATT RIDER

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Revision Notes	
R9)	REVISE SPECS. & DETAILS FOR COVE LIGHTING FRAME - TVS 01/07/25
R4)	REVISED PER PM NOTES - JSS 5/3/24
R5)	TAKEOUT TO FACE LIT CL - TVS 5/15/24
R6)	REMOVE REG. TM FROM ALL SIGNAGE - TVS 5/31/24
R7)	COVE LIGHTING FRAME ADDED TO SCOPE - RJB (07/16/24)
R8)	UPDATED ADDRESS & TITLE BLOCK INFO - JP (01/30/25)

\\OneDrive-WALTONSIGNAGE\PF Chang's\Documents\New Construction\6. Locations\FL\Pembroke Pines, FL\2-Design

Signs will be manufactured with 120 Volts A/C. Signs will be manufactured by UL Guidelines. All Primary electrical service to the sign is the responsibility of the buyer. If primary electrical service is existing and within 6 feet of sign area, Walton to make final connections unless restricted by municipality. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code

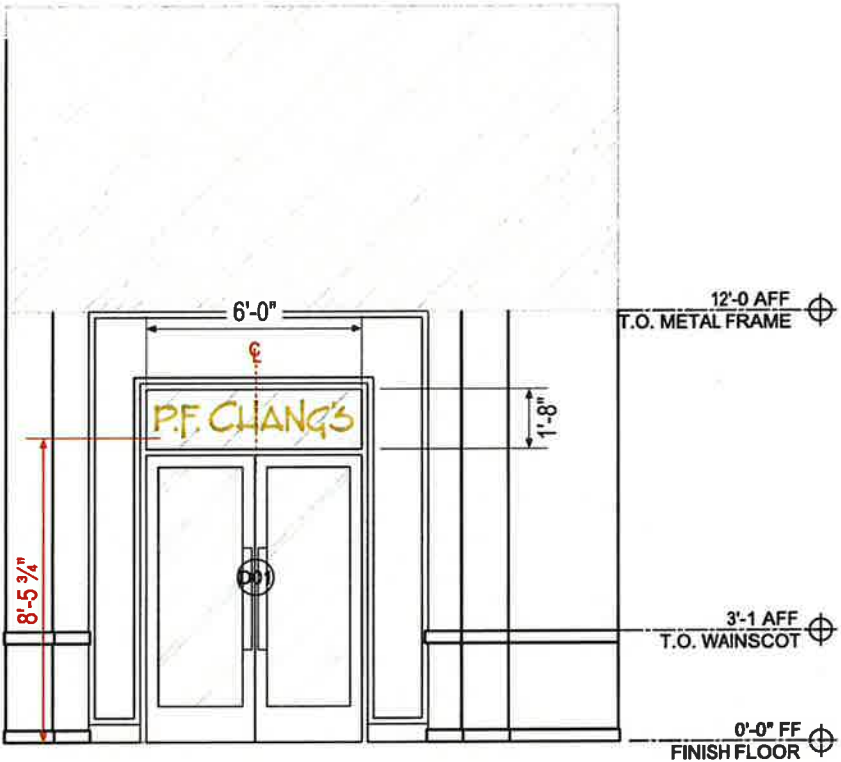
CID340084



GRAPHICS : 3M 3630-131 GOLD METALLIC
APPLICATION : APPLIED TO 1ST SURFACE OF GLASS



FRONT VIEW
SCALE: 1 1/2" = 1'-0"



ENTRANCE (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



10101 Reunion Place
Suite 200
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com

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Client: PF CHANG'S
Address: 11401 PINES BLVD., SUITE 100
Address: _____
City/State: PEMBROKE PINES, FL 33026
Sales: JK Designer: T. STEFANIAK
Date: 03/20/24 PM: CHERYL BROWN
CC: MATT RIDER

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R8) UPDATED ADDRESS & TITLE BLOCK INFO - IP (01/30/25)

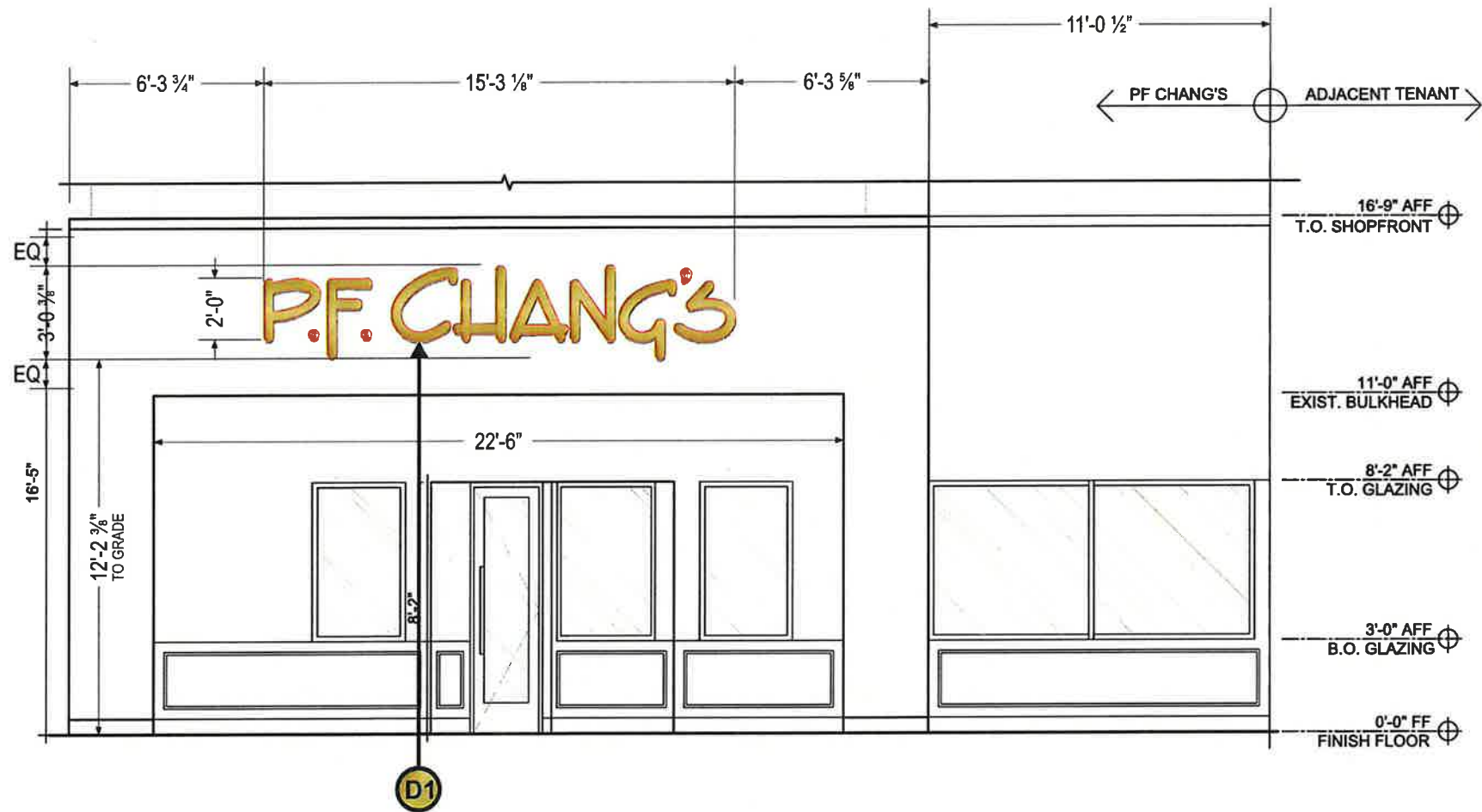
\\OneDrive-WALTONSIGNAGE\\PF Chang's\\Documents\\New Construction\\6. Locations\\FL\\Pembroke Pines, FL\\2-Design

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CID340084

PAGE SIZE: 11x17

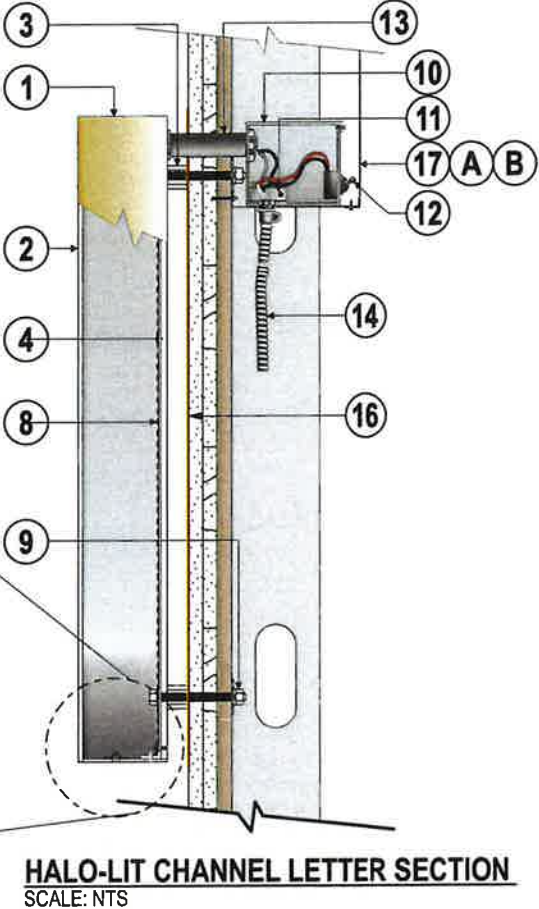
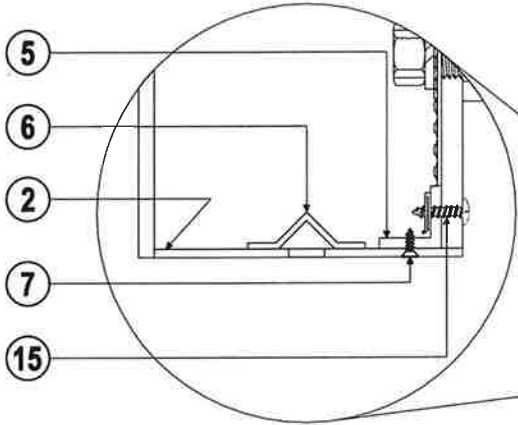
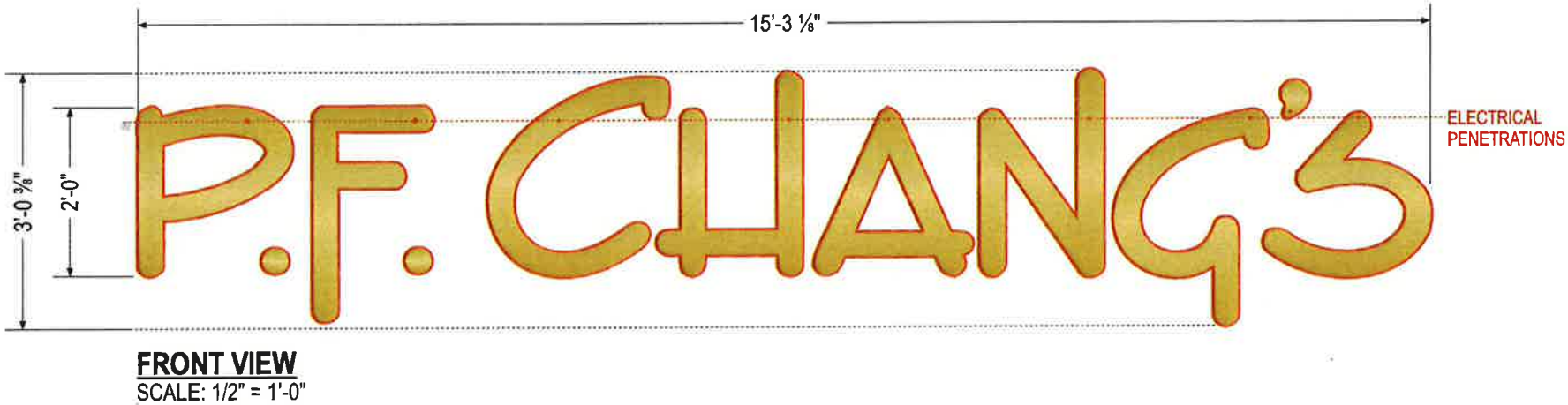


MALL ENTRANCE (EAST) ELEVATION
SCALE: 3/16" = 1'-0"

Revision Notes	
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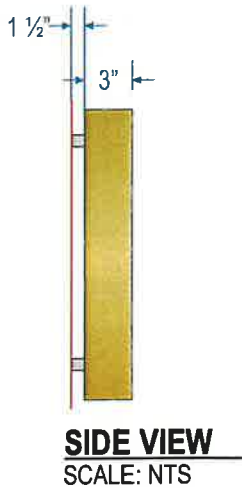
BACKPLATES: 080 ALUMINUM PAINTED RED TO MATCH 3M 3630-53
FACES : .125" ALUM. FACE / PAINTED MP BRILLIANT GOLD
BACKS : .177" POLYCARBONATE CLEAR WITH DIFFUSER
RETURNS : .063" ALUM. / PAINTED MP BRILLIANT GOLD
ILLUMINATION : WARM WHITE LEDS 3200K
POWER SUPPLY : 60W/12V
UL LABEL : TO BE PLACED ON THE TOP CENTER OF THE LETTERS
ATTACHMENT : TBD PER SITE / SEE CHART

NOTE: DOTS WILL NOT BE ILLUMINATED



UL LABEL LOCATION
STD. BOTTOM LEFT CORNER
TOP OF LETTERS/ NOT VISIBLE
SEE NOTE

NOTES:
A. LOCATED BEHIND WALL
B. LOOP ALL SECONDARY JUMPS INSIDE OF RACEWAY

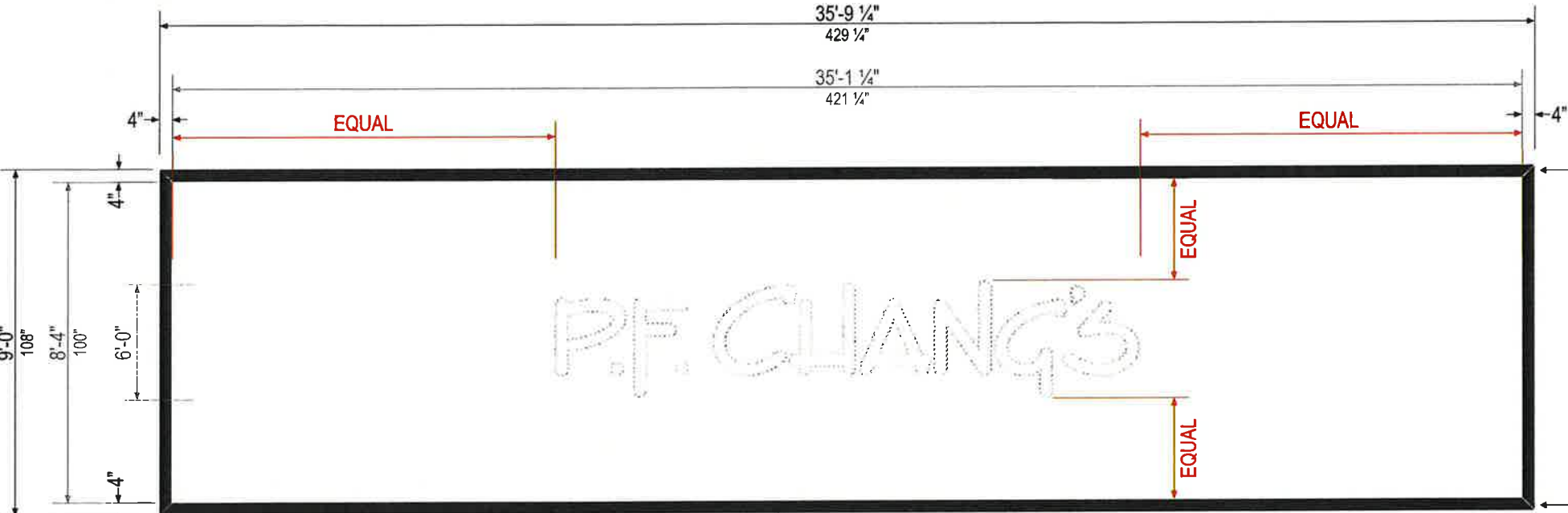


FASTENER SCHEDULE / TBD PER SITE CONDITION		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" LAG & SHIELD	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
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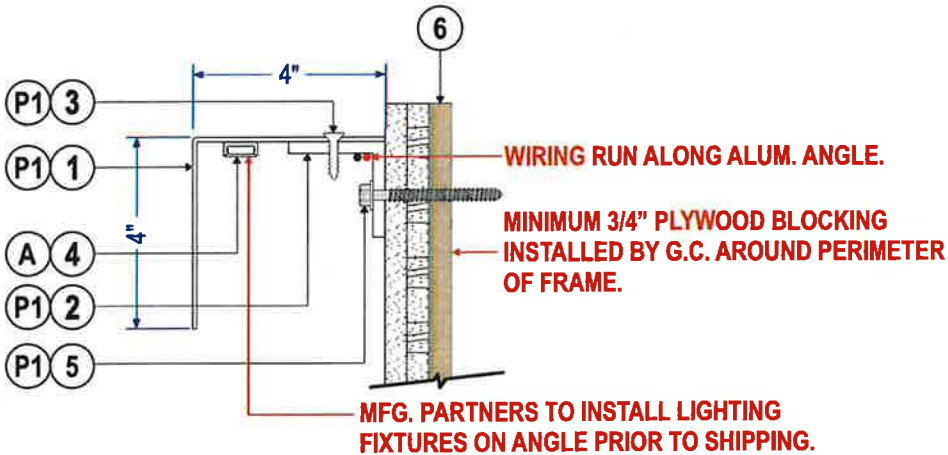
MATERIALS & SPECIFICATIONS	
#	DESCRIPTION
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5	ALUM. ANGLE CLIPS
6	WEEP HOLES TO BE TENTED
7	COUNTER-SINK SCREWS / PAINTED TO MATCH CREATIVE PAINT WS X BLACK / MATTE FINISH
8	GE WARM WHITE LED's 3200K
9	CORROSION RESISTANT FASTENERS / EXACT FASTENERS TBD PER SITE
10	REMOTE J-BOX, EXACT LOCATION TBD PER SITE SURVEY
11	60W/12V REMOTE POWER SUPPLIES
12	DISCONNECT SWITCH
13	RIGID PASS-THRU FOR SECONDARY WIRING
14	PRIMARY ELECTRICAL FEED (BY OTHERS)
15	#10 CLIP SCREW
16	.080 ALUMINUM BACKPLATES PAINTED RED TO MATCH 3M-3630-53
17	12" x 8" x .063" FABRICATED ALUM. REVERSE RACEWAY, PAINTED WHITE



COVE: BRAKE-FORMED .125 ALUMINUM CLADDING OVER 3"x3"x1/4" ALUMINUM ANGLE | ALL PARTS AND SIDES PAINTED TRICORN BLACK
ILLUMINATION : 3000K WARM WHITE COVE LIGHTING MODULES
POWER SUPPLY : 60W/12V
ATTACHMENT : TBD PER SITE / SEE CHART



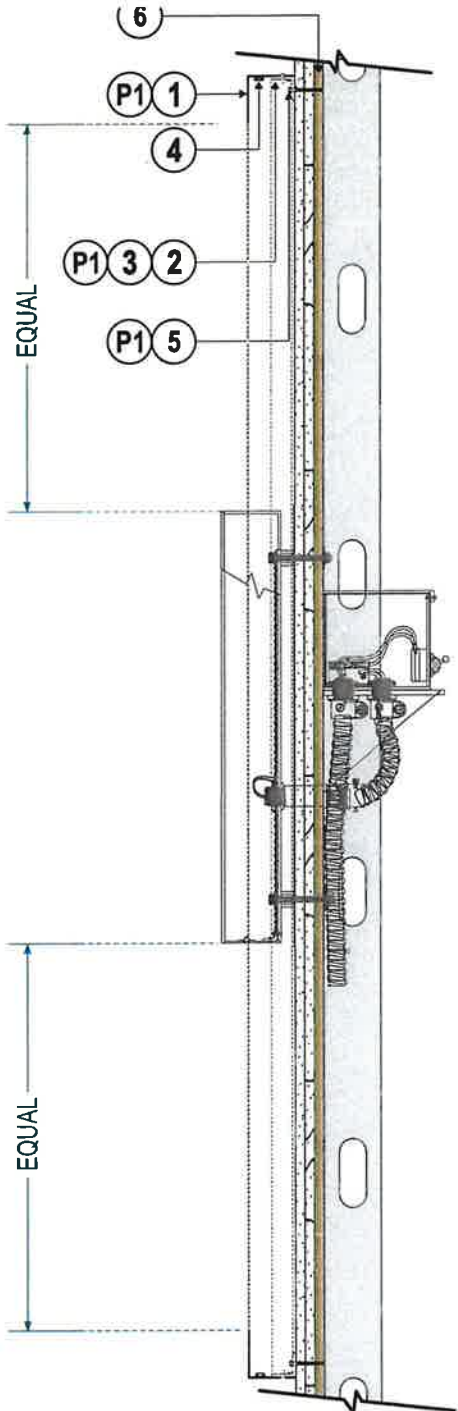
FRONT VIEW
SCALE: 1/4" = 1'-0"



SECTION DETAIL VIEW @ TOP & BOTTOM MEMBER
SCALE: 3" = 1'-0"

NOTE: ALL HARDWARE TO BE TOUCHED UP
WITH PAINT AFTER INSTALLATION.

COVE LIGHTING IN TOP AND BOTTOM ONLY



SECTION VIEW
NOT TO SCALE

NOTES:

A. MOUNTED W/ 3M TAPE & SILICONE ADHESIVE

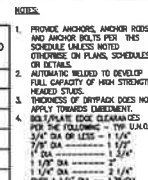
MATERIALS & SPECIFICATIONS	
#	DESCRIPTION
1	125" ALUM / PAINTED TO MATCH TRICORN BLACK
2	2"x2"x1/4" ALUMINUM ANGLE / PAINTED TO MATCH TRICORN BLACK
3	COUNTER-SINK SCREWS / PAINTED TO MATCH TRICORN BLACK
4	DI-CPCHN-SL SLIM CHANNEL W/ DI-24V-BLBS2 3000K LED STRIP LIGHTS AND DI-ODX-24V96W-J DIMMABLE DRIVER(S)
5	CORROSION RESISTANT FASTENERS / EXACT FASTENERS TBD PER SITE, PTM TRICORN BLACK
6	MINIMUM 3/4" THK. PLYWOOD (BLOCKING)

FASTENER SCHEDULE / TBD PER SITE CONDITION		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)

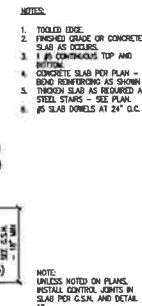
Revision Notes

R9) REVISE SPECS. & DETAILS FOR COVE LIGHTING FRAME - TVS 01/07/25
R4) REVISED PER PM NOTES - JSS 5/3/24
R5) TAKEOUT TO FACE LIT CL - TVS 5/15/24
R6) REMOVE REG. TM FROM ALL SIGNAGE - TVS 5/31/24
R7) COVE LIGHTING FRAME ADDED TO SCOPE - RJB (07/16/24)
R8) UPDATED ADDRESS & TITLE BLOCK INFO - IP (01/30/25)

\\OneDrive-WALTONSIGNAGE\PF Chang's\Documents\New Construction\6. Locations\FL\Pembroke Pines, FL\2-Design



06 PLAN - CORNER REINFORCING IN CONCRETE FOOTING, STEM OR WALL 22-1072 NO SCALE



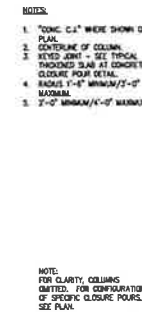
06 CONCRETE TURNDOWN AT SLAB EDGE 22-1072 NO SCALE



07 TYPICAL KEY IN CONCRETE 101-03 NO SCALE



08 SLEEVE FOR PIPE AT SLAB 105-22 NO SCALE



09 TYPICAL COLUMN CLOSURE POUR AT CONCRETE SLAB ON GRADE
(L)101-24 NO SCALE

01 TYPICAL ANCHOR ROD, ANCHOR BOLT, ANCHOR AND HEADED STUD
SCHEDULE AND BOLT/PLATE EDGE CLEARANCES 401-02 NO SCALE

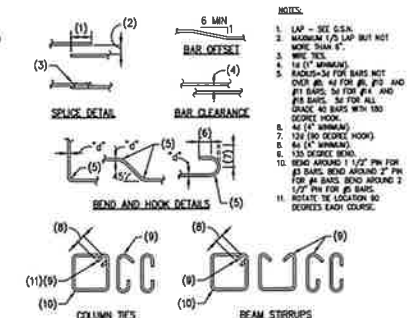
COMP. POS.	CLASS B TORQUE SPACE LENGTHS						COMP. BARS f _c = 2,000 PSI
	f _c = 1,500 PSI		f _c = 4,000 PSI		f _c = 5,000 PSI		
MAX. SECTION AREA (IN ²)	REGULAR	TOP	REGULAR	TOP	REGULAR	TOP	TD BAR ENLARGED TOP SPALL
#3 (10)	24"	31"	18"	24"	17"	22"	12"
#4 (13)	32"	41"	25"	32"	22"	29"	15"
#5 (16)	39"	51"	31"	40"	28"	38"	14"
#6 (19)	47"	61"	37"	46"	33"	43"	17"
#7 (22)	60"	89"	54"	70"	43"	58"	20"
#8 (25)	78"	102"	82"	90"	50"	72"	24"
#9 (28)	86"	115"	70"	91"	53"	81"	26"
#10 (32)	98"	128"	79"	102"	70"	91"	30"
#11 (36)	110"	143"	87"	113"	78"	101"	33"

NOTES:

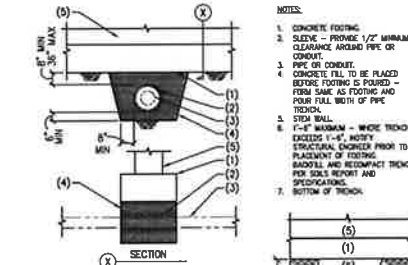
1. TOP BARS ARE ANY HORIZONTAL BARS PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.
2. LAP SPACES SHALL BE CLASS Y TENSION LAP SPACES FOR LATEST EDITION OF ACI 318 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS OR SCHEDULES.
3. CONTRACT STRUCTURAL ENGINEER IF CLEAR SPACING OF REINFORCEMENT IS LESS THAN 6" OR EQUAL TO 6" IN BAR SPACING (S) OR, IF CLEAR COVER IS LESS THAN THE BAR DIAMETER (Ø).
4. THIS TABLE IS BASED ON NORMAL WEIGHT CONCRETE.
5. FOR ADDITIONAL INFORMATION, SEE A.C.I. PLAIN SCHEDULES AND DETAILS.

LAP SCHEDULE FOR REINFORCING STEEL IN CONCRETE

02	201-31.01	NO SCALE
----	-----------	----------



03 TYPICAL REINFORCING BAR DETAILS 201-32 NO SCALE



04 PIPE PASSING UNDER WALL FOOTING 105-30 NO SCALE

FOR ADDITIONAL INFORMATION SHOWN BUT NOT NOTED, SEE GENERAL
STRUCTURAL NOTES ON SHEET S101 AND TYPICAL DETAIL SHEETS.

THESE DRAWINGS/CALCULATIONS ARE CONSIDERED PRELIMINARY - NOT FOR
CONSTRUCTION OR RECORDING UNLESS THE STRUCTURAL ENGINEER OF
RECORD'S SEAL IS AFFIXED WITH WRITTEN SIGNATURE.

FOUNDATION NOTES - TYP U.N.O.:

1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. BUILDING DIMENSIONS AND ELEVATIONS, WHERE SHOWN, ARE PRICED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE RESOLVED THROUGH THE ARCHITECT.
2. SCHEDULED MARK DESIGNATIONS ARE TYPICAL TO THE PROJECT AND MAY NOT NECESSARILY BE FOUND ON THIS PLAN.
3. "X" AS SHOWN ON PLAN INDICATES NON-STRUCTURAL, ARCHITECTURAL OR FINISH ADDITIONAL INFORMATION. SEE ARCH'D DRAWINGS, G.S.A. AND TYPICAL DETAILS, OR AS NOTED ON PLANS AND DETAILS.
4. "O" AS SHOWN ON PLAN INDICATES DETAILED BUILDING WALL.
5. UNLESS NOTED OTHERWISE ON PLANS AND/OR DETAILS, DEPTH OF FOOTING DIMENSIONS INDICATED IN THE G.S.A. ARE MINIMUM. FOUNDATION CONTRACTOR SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER FOR ADDITIONAL INFORMATION. FOUNDATIONS ARE SUFFICIENT FOR THE WORK. SEE TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.
6. CONC G.C. - AS SHOWN ON PLAN INDICATES LOCATION OF KEYED CONTROL JOINT AND KEY CHAIR.
7. THE FOSTING DIMENSIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.

zebra

ZEBRA ARCHITECTURE, PLLC
14614 N KIERLAND BLVD, SUITE N300
SCOTTSDALE, ARIZONA 85254
PHONE 480 912 1169 zbr global

PROJECT NUMBER	22-1072
PROJECT MANAGER	OST
PROJECT ENGINEER	NSC
PROJECT DRAFTER	HN



STORE NO

9709

P.F. CHANG'S

PEMBROKE LAKES MALL
111401 PINES BOULEVARD, SUITE 100
PEMBROKE PINES, FL 33026, USA

REVISIONS

[illegible]

STATUS

EXT ALT PERMIT SET



Brady
Notbohm

FIELD VERIFICATION
The Contractor shall verify all figured dimensions and conditions of the project and determine Zoning, Right-of-Way, and any dimensional or siting restrictions in Maryland before beginning or fabricating any work. Do not allow these through.

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A SHEET NAME

FOUNDATION PLAN

DATE _____

11/07/2024

DRAWN
HN

511/100

SHEET NO.

S201

DATE	PROJECT NO
------	------------

11/07/2024 35607

DRAWN HN	SCALE AS NOTED
-------------	-------------------

SHEET NO.

FOUNDATION PLAN

: INDICATES WORK UNDER SEPARATE PERMIT.

LOCATION OF DETAILS		
DETAILS	SHEET	DESCRIPTION
-----	S101	GENERAL STRUCTURAL NOTES
01-20	S102	TYPICAL DETAILS

FOR ADDITIONAL INFORMATION SHOWN BUT NOT NOTED, SEE GENERAL STRUCTURAL NOTES ON SHEET S101 AND TYPICAL DETAIL SHEETS.

THESE DRAWINGS/CALCULATIONS ARE CONSIDERED EXHIBITANTS - NOT BE CONSIDERED AS RECORDING UNLESS THE STRUCTURAL ENGINEER OF RECORD'S SEAL IS AFFIXED WITH WRITTEN SIGNATURE.

STORE NO.
9709

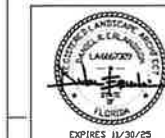
P.F. CIANG'S

P.F. CIANG'S LANDSCAPE ARCHITECTURE, PLLC
11401 PINECREST BLVD., SUITE 100
PINE CREEK, FL 32076, USA

REVISIONS

DATE	DESCRIPTION

EXT. ALT. PERMIT SET



EXPIRES: 11/30/25

FIELD VERIFICATION
The Designer shall verify all field dimensions and conditions in the project as noted. Zebra Architecture, PLLC, or its authorized representative, shall verify all dimensions and conditions in the project as noted. Zebra Architecture, PLLC, or its authorized representative, shall verify all dimensions and conditions in the project as noted. Zebra Architecture, PLLC, or its authorized representative, shall verify all dimensions and conditions in the project as noted.

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Zebra Architecture, PLLC, shall retain all copyright in the design and all other intellectual property. The Designer shall retain the right to use the design for the purpose of the project and for the purpose of the project.

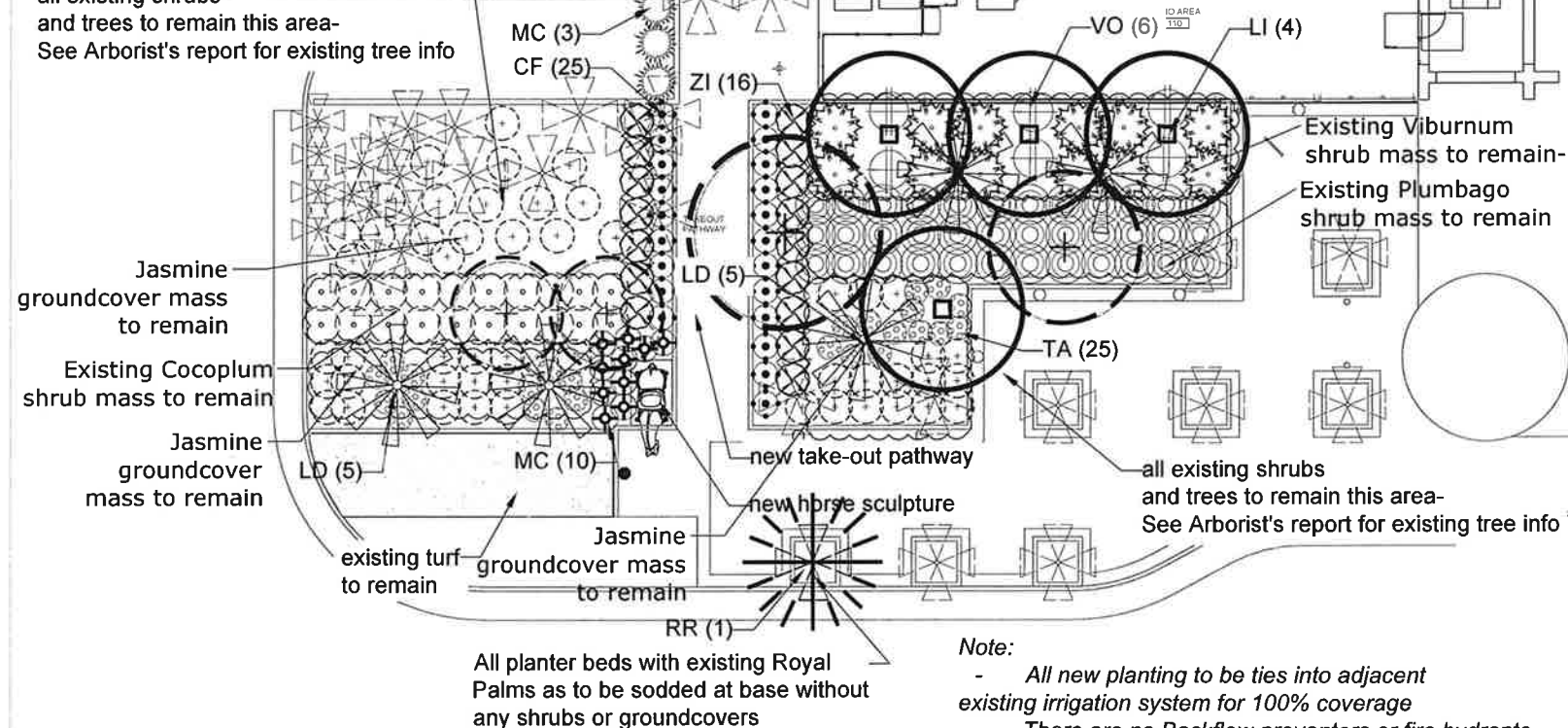
SHEET NAME
LANDSCAPE PLANDATE: 05/24/2025 PROJECT NO: 35507
DRAWN: SCALE: AS NOTED

SHEET NO.

L2.00

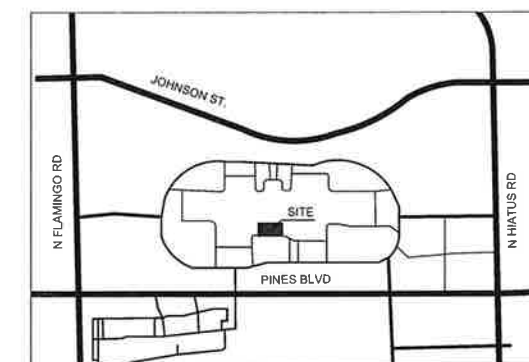
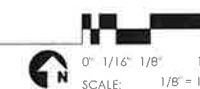
PLANT PALETTE - SITE					
EXISTING TREES AND SHRUBS					
NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE
EXISTING TREE TO REMAIN REFER TO TREE TABLE FOR SPECIES					
EXISTING PALM TO REMAIN REFER TO TREE TABLE FOR SPECIES					
EXISTING TREE TO BE REMOVED REFER TO TREE TABLE FOR SPECIES					
EXISTING PALM TO BE REMOVED REFER TO TREE TABLE FOR SPECIES					
CAULIFLOR: HEIGHT COMMENTS:					
Trachospermum ovale				MEDIUM	YES
ASIATIC JASMINE - TO REMAIN IN PLACE				MEDIUM	YES
Chrysobalanus kato 'Red Tip'					
RED TIP COCOPLUM - TO REMAIN IN PLACE					
Viburnum obovatum				YES	YES
WALTER'S VIBURNUM					
Plumbago scandens				YES	YES
NATIVE PLUMBAGO					
TREES					
NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE
Lagerstroemia indica (LI)	4	2" CAL.	10' HT	NO	YES
GRAPE MYRTLE					
MIN. OF 40-50% OF CLEAR TRUNK IS REQUIRED					
PALMS					
NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE
Livistona decapens (LD)	5	8-8	10' HT MIN.	YES	NO
REBON PALM					
10' SPREAD MIN.					
Royalea regia (RR)	1	8"	16' HT MIN.	YES	YES
ROYAL PALM					
10' SPREAD MIN.					
SHRUBS					
NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE
Mynca caribaea (MC)	3	5 GAL.	24" HT.	YES	NO
WAX MYRTLE					
Zamia integrifolia (ZI)	16	3 GAL.	24" O.C.	YES	YES
COONTIE					
Cordyline fruticosa (CF)	21	3 GAL.	24" O.C.	MEDIUM	NO
TI PLANT					
Muhlenbergia capillaris 'Pink Cloud' (MC)	10	5 GAL.	30" O.C.	YES	YES
PINK CLOUD MURRAY					
Viburnum obovatum (VO)	6	3 GAL.	24" O.C.	YES	NO
WALTER'S VIBURNUM					
Trachospermum ovale (TA)	25	1 GAL.	4" O.C.	MEDIUM	YES
ASIATIC JASMINE - TO REMAIN IN PLACE					
Note: Per city code, all shrubs shall have at least a 3 gallon container size and be 2 feet in height at the time of planting					
SURFACE MATERIALS					
DESCRIPTION					
SHREDDED HARDWOOD MULCH (BY LOCAL SUPPLIER)					
2" - 4" DEPTH MATCH EXISTING					

all existing shrubs
and trees to remain this area-
See Arborist's report for existing tree info



TREE INVENTORY PLAN

SITE



VICINITY MAP

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
SEC 155.631 Meet minimum bufferyard requirements.		
SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.		
1. All properties three stories and below minimum:		
(a) 20% of required trees meet 14-16' H with 3" diameter at breast height.	8	8
(b) 20% of required trees meet 12-14' H with 2" diameter at breast height.	8	8
(c) 60% of required trees required meet 155.664(M).	24	24
2. All properties four stories and above minimum:		
(a) 30% of required trees meet 14-16' H with 3" diameter at breast height.	N/A	N/A
(b) 30% of required trees meet 12-14' H with 2" diameter at breast height.	N/A	N/A
(c) 40% of required trees required meet 155.664 (M).	N/A	N/A
SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways - All Properties.	N/A	N/A
One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.	Project is not adjacent to ROW	
SEC 155.661 (J) Landscaping Adjacent to Abutting Properties - All Properties.	N/A	N/A
The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.	Project is not adjacent to any abutting properties	
SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.	Project Area- 7,500 sf	
1. For non-residential properties the planting requirement shall be calculated on the following basis;		
(a) One tree every 5,000 square feet of gross area.	1.5	40
(b) Ten shrubs every 5,000 square feet of gross area.	15	+150
SEC. 155.663 (F) Interior parking and paved area landscaping.		
Parking lots shall comply with the following minimum requirements:		
1. One tree:		
(a) Every five parking spaces; and	N/A	N/A
(b) Every 100 square feet of interior landscaping;	N/A	N/A
2. Ten square feet of interior landscaping every parking space up to 50 spaces;	N/A	N/A
3. One hundred square feet of landscaping every ten parking spaces over 50 spaces;	N/A	N/A
4. One square foot of landscaping:	Paved Area- 4,700 sf	
(a) Every 100 square feet of paved areas up to 50,000 square feet; and	47	2,800
total trees	41.5	80
total shrubs	15	+150

GENERAL LANDSCAPE NOTES

- All finished grades to be approved by the landscape architect prior to the installation of any plant material.
- Plant material to be approved by the landscape architect prior to installation.
- All tree locations to be stated by the landscape contractor and approved by the landscape architect prior to any holes being dug.
- The contractor is to provide a 2 lb. sample of the proposed mulch for review and approval by the landscape architect & owner. The contractor shall provide 100% coverage of non-paved areas within the limits of construction.
- For all tree planting that encounters hardpan/clay, provide separate unit price to install trees with an auger.
- It is the responsibility of the landscape contractor to inform the landscape architect of any plant material concerns based on the planting season. (E.G. Summer vs. Winter) Should the landscape contractor have any concerns about the plant material due to heat or frost exposure, the installer shall request a substitution or delay in planting. Once planted, all plant material is subject to specified warranties.
- All deciduous trees to be unconditionally guaranteed for 1 year after installation. All other plants shall be guaranteed for a minimum period of 90 days from the date of final approval by the City/Owner. Any plant materials not approved by the City/Owner prior to October 1st of the calendar year (in which they are installed) shall be further guaranteed until May 20th of the following calendar year.
- Trees, shrubs, groundcovers, vines, and turf which have to be replaced under the terms of the guarantee shall be guaranteed for an additional 90 days from the date of replacement.
- The landscape contractor shall be responsible for providing all finished grades, and for maintaining positive drainage away from all buildings during the finish grading process. All slopes not to exceed 4:1 in landscape areas.
- Under no circumstance shall any tree be planted within 6'-0" of any building without the express written approval of the landscape architect.
- Trees and shrubs shall be placed a minimum of 6'-0" from public accessways, utility cabinets, and fire hydrants.
- Shrubs must be, at maturity, 6'-0" from the rear of a fire hydrant. No material, other than groundcovers, may be placed between a fire hydrant and the street or roadway, or 6'-0" on either side. Field verify all hydrant locations with the civil engineering plans.
- All site improvements, including landscape and site clean-up, must be completed prior to final approval or certificate of occupancy.
- Trees adjacent to pedestrian walkways should have a minimum canopy clearance of 6'-8".
- The landscape contractor shall coordinate all construction with the appropriate utility companies and shall be responsible for all damage to utilities.
- The landscape contractor shall be responsible for the fine grading of all planting areas. Ensure positive drainage off of landscape berms.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities on the plan will take precedence.
- Groundcover, when used, should extend under adjacent shrubs and trees.
- All planting areas shall be fertilized with 12 lbs /1,000 s f. of 10-10-10 fertilizer.
- All planting beds (or mulch beds) shall be sprayed with Round-Up (or equal) prior to installation of the mulch.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Field adjustments may be required to avoid conflicts with proposed utilities or other site appurtenances. Notify the landscape architect prior to any field adjustments.
- All vegetative material must meet the American Standard for Nursery Stock sponsored by the American Association of Nurserymen and be approved by the American National Standards Institute, Inc. (ANSI).
- All new landscaping shall be in conformance with the standards of city ordinances.
- All planting shall be properly irrigated.
- All landscape islands to be excavated to a minimum depth of 24 inches.

INSPECTIONS:

- No excavation shall occur in city R.O.W. without a R.O.W. permit—contact Public Works Department.
- The Contractor shall mark all water lines, sewer lines, and tree locations prior to calling for ROW permit.
- The landscape installation shall comply with approved landscape drawings prior to Final Acceptance by the City and issuance of a Certificate of Occupancy. Contact Development Services landscape architect for a landscape inspection.
- Water meters, cleanouts and other appurtenances, shall be accessible, adjusted to grade, clearly marked with flagging, and compliant with Public Works Department standards prior to calling for landscape and final R.O.W. inspections.

LANDSCAPE STANDARDS:

- Plantings and landscape elements shall comply with Engineering Standards, Public R.O.W. Visibility requirements.
- Unless otherwise specified, trees shall be planted no less than 6' from curbs, and 4' from sidewalks, utility lines, and screening walls. The City has final approval for all tree placements.
- A three foot radius around a fire hydrant shall remain clear of plant materials pursuant to the Fire Code.
- Street trees, where required, shall be (10') minimum from the edge of a storm sewer curb inlet box and the edge of the root ball shall be (4') minimum from the water meter.
- All plants shall be grown and harvested in accordance with The American Standard for Nursery Stock (ANSI Z601-1-2004).
- Tree planting shall comply with details herein and the International Society of Arboriculture (ISA) standards.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within 24-hours, the tree shall be moved or drainage shall be provided.
- Native site topsoil is to be protected from erosion or stockpiled.
- Native site topsoil shall be laboratory tested by and accredited laboratory and amended per said laboratory's recommendations.

PLANT PALETTE - SITE EXISTING TREES AND SHRUBS

NOTE: See Arborist's Report for detailed existing tree information & protection details.

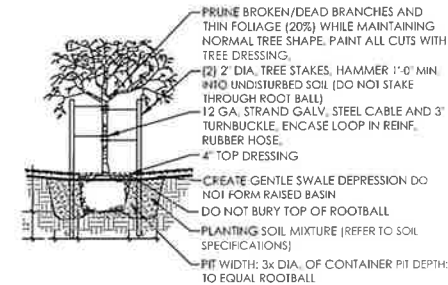
SYMBOL	NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE	COMMENTS
⊙	EXISTING TREE TO REMAIN						REFER TO TREE TABLE FOR SPECIES
⊕	EXISTING PALM TO REMAIN						REFER TO TREE TABLE FOR SPECIES
⊗	EXISTING TREE TO BE REMOVED						REFER TO TREE TABLE FOR SPECIES
⊗	EXISTING PALM TO BE REMOVED						REFER TO TREE TABLE FOR SPECIES
⊙	Trachelospermum quinquem: ASIATIC JASMINE- TO REMAIN IN PLACE				MEDIUM	YES	
⊙	Chrysobalanus icaco 'Red Tip' RED TIP COCOPLUM- TO REMAIN IN PLACE					YES	YES
⊙	Viburnum obovatum WALTER'S VIBURNUM					YES	YES
⊙	Plumbago scandens NATIVE PLUMBAGO					YES	YES

TREES							
SYMBOL	NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE	COMMENTS
⊙	Lagerstrœmia indica (LI) CRAPE MYRTLE	4	2" CAL.	10' HT.	NO	YES	MIN OF 40-50% OF CLEAR TRUNK IS REQUIRED
PALMS							
SYMBOL	NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE	COMMENTS
⊙	Livistona decipiens (LD) RIBBON PALM	5	6-8"	10' HT MIN.	YES	NO	10' SPREAD MIN.
⊙	Roystonea regia (RR) ROYAL PALM	1	BR.	16' HT MIN.	YES	YES	10' SPREAD MIN.
SHRUBS							
SYMBOL	NAME	QTY.	SIZE	HEIGHT	DROUGHT TOLERANT	NATIVE	COMMENTS
⊙	Myrica carthra (MC) WAX MYRTLE	3	5 GAL.	24" HT.	YES	NO	
⊙	Carma integrifolia (ZI) COONIE	16	3 GAL.	24" O.C.	YES	YES	
⊙	Cordyline allucosa (CF) TIL PLANT	21	3 GAL.	24" O.C.	MEDIUM	NO	
⊙	Muhlenbergia capillans 'Pink Cloud' (MC) 10 PINK CLOUD MUHLY	10	5 GAL.	30" O.C.	YES	YES	
⊙	Viburnum obovatum (VO) WALTER'S VIBURNUM	6	3 GAL.	24" O.C.	YES	NO	
⊙	Trachelospermum asiaticum (TA) ASIATIC JASMINE- TO REMAIN IN PLACE	25	1 GAL.	4" O.C.	MEDIUM	YES	

NOTE: Per city code, all shrubs shall have at least a 3 gallon container size and be 2 feet in height at the time of planting.

SURFACE MATERIALS

SYMBOL	DESCRIPTION
⊙	SHREDDED HARDWOOD MULCH (BY LOCAL SUPPLIER) 2" - 4" DEPTH- MATCH EXISTING
⊙	EXISTING SOO TO REMAIN

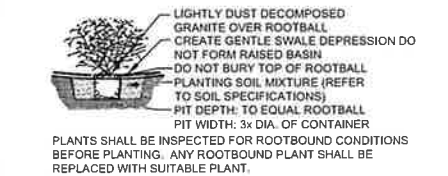


NOTES:

- PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.
- MULCH IS REQUIRED TO BE PLACED IN A MANNER THAT WILL KEEP MULCH AWAY FROM THE TREE TRUNK/ROOT FLARE A MIN. OF 6" DIA. THE MULCH BOWL MUST BE A MIN. OF 24" IN DIAMETER, (36" BETTER)

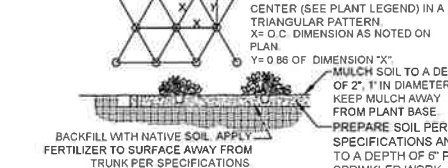
TREE PLANTING (AT-GRADE)

NOT TO SCALE



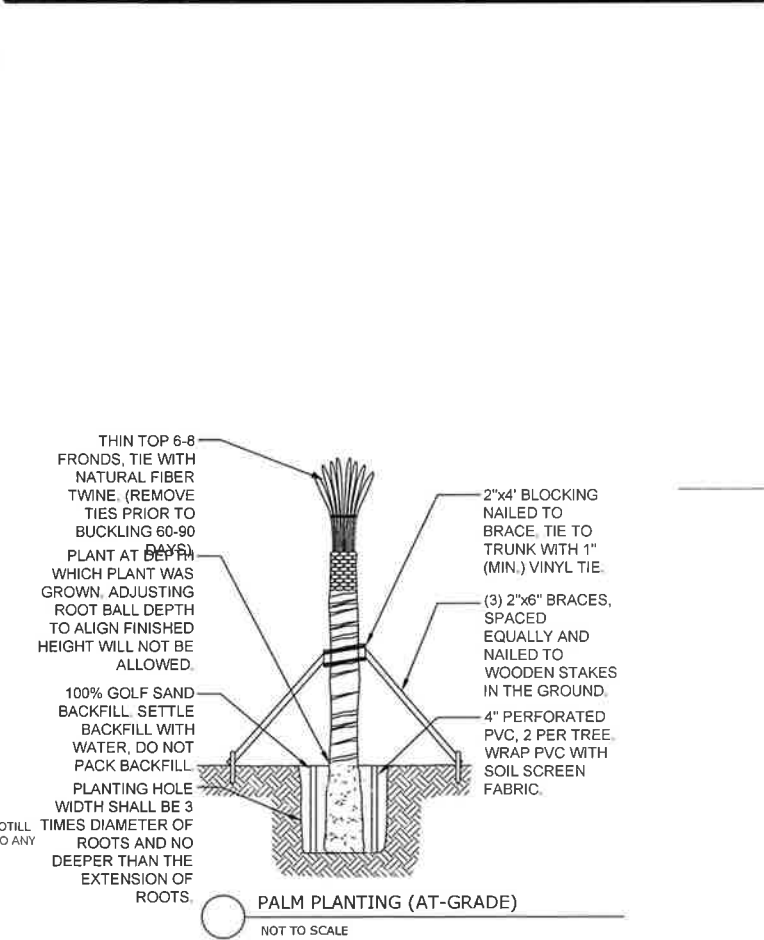
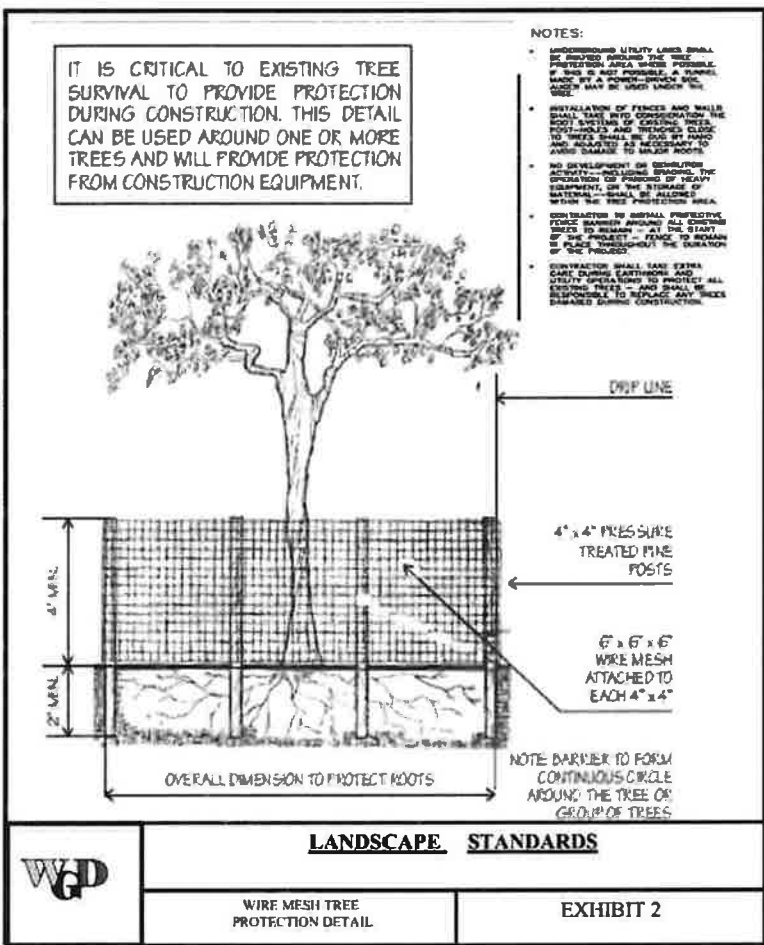
SHRUB PLANTING

NOT TO SCALE



GROUND COVER PLANTING

NOT TO SCALE

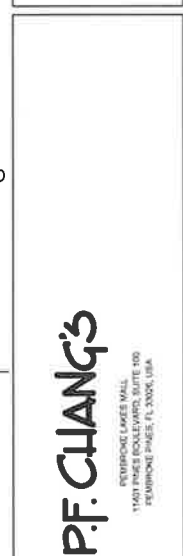


zebra

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14114 N. KIERLAND BLVD., SUITE 1000
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 | 480.912.1168



STORE NO.
9709



DATE	DESCRIPTION
01/11/2024	EXT. ALT. PERMIT SET

DATE	DESCRIPTION
01/11/2024	EXT. ALT. PERMIT SET

EXT. ALT. PERMIT SET



FIELD VERIFICATION
The Contractor shall verify all physical dimensions and locations of the project and submit a Field Verification Report to the City of Scottsdale, Arizona, for review and approval. The Field Verification Report shall be submitted to the City of Scottsdale, Arizona, for review and approval. The Field Verification Report shall be submitted to the City of Scottsdale, Arizona, for review and approval.

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DATE	PROJECT NO.
01/11/2024	20007
DRAWN	SCALE
	AS NOTED

SHEET NO.
L2.01