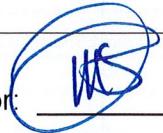




City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

| | | | |
|---------------------------------|--|---|----------------|
| Agenda Date: | February 28, 2019 | Application ID: | SP 2018-04 |
| Project: | Chevron Gas Station #358 Improvements | Project Number: | PRJ 2018-05 |
| Project Planner: | Joseph Yaciuk, Planning Administrator | | |
| Owner: | Sunshine Gasoline Distributors, Inc. | Agent: | Maximo Alvarez |
| Location: | 1501 S. Flamingo Road. | | |
| Existing Zoning: | B-3 (General Business) | Existing Land Use: | Commercial |
| Reference Applications: | MSC 2006-11, SP 95-69 | | |
| Applicant Request: | Expansion of existing gas station to adjacent vacant parcel. Updates to existing gas station facility. | | |
| Staff Recommendation: | Approval | | |
| Final: | <input checked="" type="checkbox"/> Planning & Zoning Board | <input type="checkbox"/> City Commission | |
| Reviewed for the Agenda: | Director:  | Planning Administrator:  | |

Project Description / Background

Property owner Sunshine Gasoline Distributors, Inc. submitted a site plan amendment application for modifications to the existing gas station located at 1501 Flamingo Road. The applicant proposes the following work to the site as a result of this application:

- To expand the existing gas station to the vacant parcel to the south by adding 12 new fuel positions and associated fuel canopies.
- Demolition of the existing car wash tunnel and constructing a new car wash on the southern portion of the property.
- Relocation of existing underground gas tanks on site.
- The installation of new LED canopy and parking lot lighting throughout the site.
- Installation of a new canopy connecting the existing c-store to the existing gas station canopy.
- New colors and façade work to building and fuel canopies reflective of Chevron branding.
- The addition of a new right-in only driveway off Flamingo Road.
- Associated parking, vehicle stacking, landscaping, signage and traffic circulation are also included as part of the update.

The Planning and Zoning Board approved the development of a gas station on a 1.166 acre portion of this site in August of 1995. The 1995 approval included the existing c-store, car wash, and 12 fuel position canopy on the property. In August 2006, the Planning and Zoning Board approved a re-image of the site to reflect the current Chevron branding.

BUILDINGS / STRUCTURES:

The following structures will be located on the site as a result of this application:

| Building / Structure Type | Area (SF) | Structure Height | Notes |
|---|-----------|------------------|----------|
| C-Store | 2,538 | 16' | Existing |
| Car Wash | 760 | 15' | Proposed |
| North Canopy | 3,157 | 20' | Existing |
| Canopy Connecting North canopy to C-Store | 1,895 | 20' | Proposed |
| South Canopy | 3,157 | 20' | Proposed |
| Canopy Connecting North canopy to C-Store | 1,875 | 20' | Proposed |
| Total | 13,382 | | |

The following building / fascia colors are proposed for the structures on site as reflected on the architectural plans:

Fuel / C-store Canopies

- Main Body / Trim – Chevron White / Chevron Blue
- Columns – Refresh Silver

C-Store / Car Wash

- Main Body – Chevron Off White
- Accent – Stone Gray

Trash Enclosure

- Main Body – Stone Gray
- Gate – Refresh Silver

ACCESS:

The applicant is proposing a new access to the site via a right-in-only turn lane from Flamingo road near the southwest corner of the property. To accommodate the proposed entry point, off-street improvements will include the extension of the existing right hand turn lane south entering Flamingo Marketplace. Installation of the right hand turn into the site and related turn lane improvements will require permit approval through the Florida Department of Transportation (FDOT).

The two existing ingress/egress points along the north end to the site will remain. The width of the ingress/egress on the northwest corner of the property will be reduced to enhance the safety for those entering and leaving the site.

PARKING:

The applicant proposes 11 parking spaces on site which meets Code requirements. Parking will be provided on each side of the c-store as depicted within the site plan. Applicant has opted to utilize bollards at the head of parking spaces in lieu of wheel stops. ADA paths will be installed connecting the c-store to the existing sidewalk off Flamingo Road.

SIGNAGE:

The following attached signs are proposed as a result of this application:

| Sign | Area (SF) | Location |
|------------------|------------------|-------------------------------|
| Chevron Logo | 2.25 | West Side of Northern Canopy |
| Chevron Logo | 2.25 | West Side of Southern Canopy |
| Chevron Wordmark | 12.3 | North Side of Southern Canopy |
| Chevron Wordmark | 12.3 | North Side of Northern Canopy |
| Total | 29.1 | |

LANDSCAPING:

Proposed landscape for this property will include the following:

Installation of 27 trees, 5 palms, and 991 shrubs is proposed on the property. Primary species of trees include Silver Buttonwood and Mahogany. Primary species of palms is Alexander Palm and Pongam. Primary species of shrubs include Downey Jasmine and Red Tip Cocoplum.

OTHER SITE FEATURES:

The site will be illuminated by a series of full cut off LED fixtures (4,000K) mounted atop 14 foot high white steel poles. Under canopy lighting will also be LED type and recessed into the canopy as required by Code.

Underground fuel tanks will also be relocated to the east of the C-store.

Enclosed:

Site Plan Application
Memo from Planning Division (2/20/19)
Memo from Fire Prevention Bureau (2/20/19)
Memo from Environmental Services (2/4/19)
Memo from Landscape Planner (1/3/19)
Memo from Zoning Administrator (1/24/19)
Memo from Zoning Administrator (12/14/18)
Memo from Fire Prevention Bureau (12/13/18)
Memo from Landscape Planner (12/11/18)
Memo from Zoning Administrator (10/10/18)
Memo from Planning Division (10/2/18)
Memo from Environmental Services (10/2/18)
Email from SBDD (10/2/18)
Memo from Landscape Planner (10/1/18)
Memo from Fire Prevention Bureau (5/8/18)
Memo from Planning Division (5/7/18)
Memo from Planning Division (3/20/18)
Memo from Environmental Services (3/19/18)
Memo from SBDD (3/16/18)
Memo from Fire Prevention Bureau (3/13/18)
Site Plan
Subject Site Aerial Photo

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: February 20, 2019
To: SP 2018-04 file
From: Joe Yaciuk, Planning Administrator
Re: Chevron Gas

Items that do not conform to the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

All of my comments have been addressed.

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY** Prevention Captain Daniel Almaguer
(954) 499-9560

PROJECT NAME: Sunshine Gasoline Distributors SGD – Facility
REFERENCE #: SP 2018- 04
DATE REVIEWED: 02/20/2019

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNs REGARDING THE SITE PLAN REVIEW.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



February 4, 2019

**PROJECT: CHEVRON GAS STATION
CITY REFERENCE NUMBER: SP 2018-04/PRJ 2018-05**

**To: Joseph Yaciuk, AICP
Planning Administrator, Planning and Economic Development Department**

**From: John L. England, P.E.
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046**

RECOMMENDATION:

The Environmental Services/Engineering Division's DRC 'Comments' for the proposed project have been satisfied and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

MEMORANDUM

January 3rd, 2019

To: Joseph Yaciuk
Planning Administrator

From: Kristen Jensen
Landscape Planner

Re: (SP 2018-04) Chevron Gas Station

The City of Pembroke Pines Planning Division has conducted a landscape review for Chevron Gas Station. The following items need to be addressed prior to this project being found in compliance:

All comments have been addressed at this time.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen
Landscape Planner/Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) • kjensen@ppines.com
Please consider the environment before printing this email.

MEMORANDUM

January 24, 2019

To: Cole Williams
Planner/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: SP 2018-04 (Chevron Gas Station @ 1501 S Flamingo Rd.: PRJ 2018-05)

All of my comments regarding the above Site Plan have been satisfied.

MEMORANDUM

December 14, 2018

To: Cole Williams
Planner/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: SP 2018-04 (Chevron Gas Station @ 1501 S Flamingo Rd.: PRJ 2018-05)

The following are my remaining comments regarding the above Site Plan:

1. Provide all details, dimensions, location(s), etc. of all building signs, monument signs, etc.
Still need details of all signage on building/canopies. As new canopy has Chevron logo, additional signs are included and all details need to be provided to show additional signage still meets code.

12/14/2018 – Comment addressed that no signage is being provided. However, this comment remains as elevations of canopies show Chevron logos which are considered signage, any existing building signs need to be accounted for, monument sign on site needs to be accounted for and confirm there is not additional signage on convenience store and/or car wash building. All of these signs need to be included in master sign chart showing dimensions, square footage, etc.

12/14/2018 - New Comment: Staff has concerns with traffic circulation on site, especially going into car wash heading south along east property line as this is in conflict with traffic heading north along this side. Propose alternatives to correct this situation.

Please contact me with any questions.

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY** Prevention Captain Daniel Almaguer
(954) 499-9560

PROJECT NAME: Sunshine Gasoline Distributors SGD – Facility
REFERENCE #: SP 2018- 04
DATE REVIEWED: 12/13/2018

ITEMS WHICH DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS:

All submittals for Site Plan Approval must first be stamped by our Planning Department and delivered by planning per their procedures.

Note: The comments below have not been addressed:

- 1. Please submit full sized (24" X 36") "scaled" drawing to (20, 30, or 40 engineering scale) depicting the required fire access road dimensions and radii into and out of the entire site (including the mall areas). Also, you must provide a "shaded" fire truck access route on a separate sheet.**
- b) Depict on the plan fire access traveling in a north bound direction (**into the Right in Drive as shown on Sheet C-2.0**) from S. Flamingo Rd. and turning east into the plaza (see attached file, depicted in red). Note, the fire access plan must depict our Fire Department Vehicle **Entering and Exiting** through the site.**
- d) Note, that all fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout. *COPP Engineering department verification is required. COPP CO 154.35 (3)***
- 4. Provide information on underground fuel tanks and if they are going to be replaced. Also advise if additional underground tanks will be added including size, type of fuel and amount (This information will need to be submitted at the permitting stage.).**

MEMORANDUM

December 11th, 2018

To: Joseph Yaciuk
Planning Administrator

From: Kristen Jensen
Landscape Planner

Re: (SP 2018-04) Chevron Gas Station

The City of Pembroke Pines Planning Division has conducted a landscape review for Chevron Gas Station. The following items need to be addressed prior to this project being found in compliance:

1. In reviewing the landscape plan, I noticed that some of the trees appear to be planted in close proximity to a paved surface. As per landscape ordinance 153.03(M)(4) "All trees shall be planned to ensure that there is adequate root and canopy space at maturity. Trees planted within ten feet of a paved surface or form of infrastructure (determined to have an invasive root system) shall require an approved root barrier system."
2. Irrigation must be repaired/installed properly to ensure that all new and existing landscape material is properly being irrigated. A "wet-check" shall be done at time of final inspection to ensure all irrigation heads are working properly etc.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen
Landscape Planner/Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) • kjensen@ppines.com
Please consider the environment before printing this email.

MEMORANDUM

October 10, 2018

To: Cole Williams
Planner/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: SP 2018-04 (Chevron Gas Station @ 1501 S Flamingo Rd.: PRJ 2018-05)

The following are my remaining comments regarding the above Site Plan:

1. ~~Plans show existing underground tanks as remaining. Confirm they meet all current environmental standards/regulations and if there will be any new tanks added with the addition of 6 new pumps. Note: Any new tanks must meet current City Code for size.~~
2. ~~Is there any consideration of a hand car wash being added? If so, provide all details with this submittal.~~
3. ~~Parking space dimensions are a minimum 9' x 19' paved.~~
4. ~~Landscape islands at the end of parking spaces must be a minimum 10' wide from inside of curb to inside of curb.~~
5. ~~City Code requires tire stops, or "D" type curbing, at the end of parking spaces. Proposed bollards will require a variance request.~~
Code amended and bollards now allowed.
6. ~~Provide width of landscape buffer along Flamingo Road.~~
7. ~~Provide all color names, color numbers, finishes, materials, etc. on all elevations of building and canopies.~~
8. ~~Provide all details, dimensions, location(s), etc. of all building signs, monument signs, etc.~~
Still need details of all signage on building/canopies. As new canopy has Chevron logo, additional signs are included and all details need to be provided to show additional signage still meets code.
9. ~~Will there be a temporary announcing sign? If so, show location and provide elevation of sign showing all details. Note: If not provide as part of this submittal and proposed at a later date, this will need P & Z Board approval by itself.~~
10. ~~Provide letter from Waste Pro approving dumpster location and refuse plan.~~
11. ~~Provide Broward County approval that additional square footage is allowed by existing Plat Note.~~
12. ~~Maximum photometric reading is 12 foot candles in parking lot and 24 foot candles under canopies.~~

13. Provide "heat" level of fixtures to show they meet code maximum of 4,000 K's.

Not provided. Provide details/notes on plans showing maximum of 4,000K.

14. Provide light detail/cut sheet for fixtures under canopy to show they are recessed with full cut off fixtures.

Acknowledged in response letter, however, add note(s) on plans stating this.

Please contact me with any questions.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: October 2, 2018
To: SP 2018-04 file
From: Cole Williams, Planner / Zoning Technician
Re: Chevron Gas

Items that do not conform to the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. ~~Provide notice per Code requirements. Include HOA notice if applicable.~~
2. ~~Include a detailed scope of work letter. Include all color changes, canopy changes, sign additions, ground signs, new lighting, etc...~~
3. ~~Provide gross floor area and gross covered area for site. Check site data. Some data in tables appears to be missing or doesn't meet Code requirements. Provide size of canopy that connects C-store to gas pump canopy.~~
4. ~~Verify that plat note is consistent with proposal. Contact Thuy Turner at Broward County to confirm this item. If a plat note change is necessary then apply for one. Two issues to review:~~
 - Plat note restriction on plat allows for proposed development
 - Plat allows for the proposed drive ingress on Flamingo Road.
5. ~~Parking dimensions must be 9' x 19'. Two way drive aisles must be minimum 24' wide. Page C 2.0 still references 18 foot long parking. Parking with bollards is not allowed without variance. City is considering grade parking with bollards as part of a Code update. New Code update may not be in place for a few months. Variance for bollards no longer required. Bollards are to be places 0.75 feet from the front of a 9 feet by 19 feet parking space and 5 feet apart from each other. Bollards are to be filled with reflectorized safety paint or having approved bollard covers/sleeves. Update bollard specifications to be in compliance with Code requirements. See attached code section 155.248~~
6. ~~Review access drives with engineering. One of the northern entries may need to close subject to City Commission~~
7. ~~Provide colors of dumpster walls / gates. Gates must be metal. Provide a letter from WASTEPRO approving the dumpster areas. Also have WASTEPRO state that the number of dumpsters will sufficiently service the building. Have WASTEPRO commit to pick up times on the letter. Include number of pickups per week. Include colors of dumpster walls / gates on the plans.~~
8. Any proposed propane storage, detail areas, vacuum locations? If so, please provide with details. No storage, detail or vacuum areas appear to be provided.

Upon site review there are existing propane storage and vacuum units. Clarify if these will remain in place. Provide new location if moved.

9. Provide setbacks of all new structures. Provide distances between structures also. Provide setback from property line.
10. Provide building finish floor elevation. Verify finish floor elevations are acceptable to City Engineer.
11. Will there be any rooftop equipment? If so provide locations and screening details per Code.
12. Label colors of all building, car wash and canopy elevations (include trim, window frames, medallions, etc.) on architectural elevations / signs / vertical features. **Provide colors and elevations for car wash**
13. Provide color elevations by plan. **Include car wash elevation**
14. Provide all color chips / material samples to be used on site. Place on a color / material board and submit. **Provide physical paint chip and material board.**
15. Show all details of temporary (project) signs (if applicable). Temporary signs must be consistent with the City of Pembroke Pines Code of ordinances. Provide sign schedule on a detail page. Indicate where these signs will go on site. Provide setbacks for such signage. No Signage Shown
16. Verify all terminal landscape islands are at minimum 11 feet wide (10 feet of that space green area).
17. Please provide details of any proposed signs, color changes, or canopy improvements to the existing structures. Provide sign types. Provide sign matrix with area of each sign. Signs must meet Code requirements. **Provide details of all wall and canopy signage. Will the existing monument sign remain? Plans show a new sign proposed on the south end of the parcel. Only one monument sign is permitted by code. Please clarify. All new signs must meet Code requirements.**
18. Do you plan on lighting the canopy exterior or features on canopy exterior? If so please identify how this item is being illuminated. Illuminated features may be considered signage. **Provide details of canopy signage and the illumination.**
19. Photometrics exceed Code. Please review Section 116 of the Code of ordinances.
20. All new under canopy lights must be recessed. Staff requests that the applicant consider recessing existing lighting for consistency purposes. **Note on plans that existing as well as new canopy lighting will be recessed.**
21. Provide elevations for Car Wash. Provide stacking for car wash in compliance with Code of Ordinances. Please declare whether car wash is automatic or not. Provide details of any menu sign. For purposes of this review, it is presumed that the carwash is automatic. **Note on plans the carwash is automatic. Provide details of menu sign. Stacking provided is in the opposing drive lane, which is a concern to staff. Please revise.**
22. Provide size of underground gas tanks. Tanks must meet minimum size requirements or apply for a variance. It appears all tanks are existing. Please verify. **Clarify if new tanks will be need to accommodate the addition of pumps**
23. Will the monument sign replace the existing sign or will existing sign be reused? New monument must meet Code requirements. **Plans show a new sign**

28. Resubmit 13 sets of full sets of plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any inconsistencies in plans or new information provided may result in additional comments and possible project delays.
 29. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
-

Recommendations:

Reference Ordinance – Gas Station Signs

155.324 (4) Gasoline service stations.

(a) Gasoline service stations may be permitted one double-faced gasoline price sign not to exceed 24 square feet in area that is an integral part of the identification ground sign. Height of the letters not to exceed one foot. This sign may be internally illuminated.

(b) Gasoline service stations may be permitted a non-illuminated double-faced price sign not to exceed 24 square feet, displaying the price for fuel. Height of the letters shall not exceed one foot. The sign shall be prominently displayed, and visible during daytime hours from passing vehicles. If the service station is located on a corner lot, it shall be permitted two non-illuminated price signs. Signs shall be fabricated out of at least 12-gauge metal. Signs built or constructed as A-frame signs are not acceptable to the city.

(c) A combination of the signs permitted in divisions(C)(4)(a) and (C)(4)(b) above shall not be permitted.

(d) All price signs for gasoline products at gasoline service stations shall display separately and specifically, with equal prominence, the full-service price and the self-service price, in numbers or letters of equal size and on equally sized backgrounds with the same color

combination and with equal illumination, if any. The number of signs for self service and full service shall be equal.

(5) Theaters, playhouses, and other culturally oriented establishments shall be permitted an additional sign to those detailed in divisions (C)(1) and (C)(2) above, to display changeable copy not to exceed 50 square feet in sign area. Multiple theaters shall be permitted additional sign area, not to exceed 25 square feet per additional screen with a maximum of 175 square feet of total signage, if the theater contains eight or more screens.

(6) One nameplate or identification sign shall be permitted in the front and the rear of the building, with letters not in excess of three inches in height, and the sign area not in excess of three square feet.

(7) An hours of business sign shall be permitted on door or adjacent window with letters not in excess of two inches in height and total area not in excess of two square feet.

Lighting – Section 116

§ 116.01 PURPOSE AND INTENT.

The purpose and intent of this chapter is to ensure that exterior (outdoor) lighting positively enhances the visual impact of a building or project on surrounding properties and uses. To that end, exterior lighting at a building or project should be designed, operated, and installed in a consistent and coordinated fashion to provide safe, convenient and efficient lighting for customers, pedestrians and vehicles, and to avoid the creation of hot spots, glare, obtrusive light, light pollution, light trespass, and visual nuisance. Also, exterior lighting should accentuate key architectural elements of the building or project, and highlight or otherwise emphasize landscape features.

(Ord. 1513, passed 4-20-05)

§ 116.02 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

Fixture. The assembly that houses the lamp or lamps, and may include all or some of the following parts: reflector (mirror), refractor (lens), ballast, housing, and other attachment parts.

Footcandle (F.C.). A measure of light noted as a unit of illuminance amounting to one lumen per square foot.

Full Cutoff Fixture. A lighting fixture manufactured and installed so that all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire (excepting only incidental reflections from supporting brackets or arms) is projected below the horizontal as determined by photometric test or certified by the manufacturer. Any structural part of the light fixture providing this shielding must be permanently affixed.

GLARE. Intense and somewhat blinding light, or the sensation produced by a brightness within the visual field that is sufficiently greater than the intensity of light to which human eyes are accustomed or adapted, thereby causing annoyance, discomfort, visual impairment, or loss or reduction of visibility.

HOT SPOT. An area of very high illumination above normal footcandle levels, typically found in an area underneath a luminaire, making normal f.c. levels appear relatively dark.

ILLUMINANCE. The quantity of light arriving at a surface divided by the area of the lighted surface, measured in footcandles.

LIGHT POLLUTION. Any adverse effect of manmade light, often used to denote a brightness of the night sky, commonly known as urban sky glow.

LIGHT TRESPASS. Light falling where it is not desired, wanted or needed.

LUMEN. A quantitative unit measuring the amount of light emitted by a lamp or luminaire.

LUMINAIRE. A complete lighting unit consisting of the lamp, the fixture and other parts designed to distribute the light.

OBTRUSIVE LIGHT. Light which causes annoyance, discomfort, visual impairment, or loss or reduction of visibility.

SAG LENS, CONVEX LENS OR DROP-LENS. A clear or prismatic refracting lens that extends below the lowest opaque portion of a light fixture.

SPILL LIGHT. Light which falls outside the property where the luminaire is sited.

(Ord. 1513, passed 4-20-05)

§ 116.03 GENERAL STANDARDS.

(A) *Exterior lighting plan.* An exterior lighting plan, including a photometric plan (which covers the parcel which is the site of the building or project in question), appropriate pole, fixture, and lamp cut sheets, and descriptions of lenses and appropriate data tables, shall be submitted for site plan review. The exterior lighting plan shall be prepared by a licensed professional engineer, who shall certify that the exterior lighting plan complies with this chapter. The photometric plan shall be prepared in a scale that is easily legible. The current edition of the "IES Lighting Handbook," published by the Illumination Engineers Society, 345 East 47 Street, New York, NY 10017, is the standard to be used by the engineer as a guide for the design and testing of lighting plans. The standards contained therein shall apply unless standards developed and adopted by this section or subsequent amendments are more restrictive, in which case the more restrictive standards shall apply.

(B) *Pole lighting height standard.* All private, pole mounted, outdoor surface lot lighting shall be limited to 30 feet in height above grade.

(C) *Illumination levels.* The maximum illumination for a project shall be 12 f.c. with the minimum average illumination, at grade, to be not less than two footcandles, average maintained

over the site. The illumination level at the property line of any project shall be 0 f.c. To avoid glare or spill light from encroaching onto adjacent properties, illumination shall be installed with house side shields and reflectors, and shall be maintained in such a manner as to confine light rays to the premises of the building or project.

(D) *Installation.* The lighting installation shall not be placed in permanent use until a letter of compliance from a registered engineer or architect has been provided stating that installation has been field checked and meets the requirements of this chapter.

(E) *Nonconforming lighting.* When 50% or more of any component (e.g., luminaires, poles) of the exterior lighting system at a building or project is upgraded, changed, or replaced (not including regular maintenance), such component for the remainder of the exterior lighting shall be brought into substantial compliance with the requirements of this chapter.

(F) *Prohibited lighting.*

(1) High intensity, special purpose lighting such as aerial lasers and "searchlight" style lights.

(2) Low pressure sodium lighting.

(G) *Exceptions to general lighting requirements.* Public facilities including but not limited to parks; lighted recreation and athletic areas, courts and fields; and water and wastewater treatment facilities shall be exempted from these standards.

(Ord. 1513, passed 4-20-05)

 **§ 116.04 NON-RESIDENTIAL STANDARDS.**

(A) *Light fixtures; types.*

(1) Pole mounted light fixtures on non-residential properties shall be full cutoff fixtures, and shall be incorporated as an integral design element that complements the design of the building or project through style, material or color. Exception - non-cutoff fixtures for pedestrian scale lighting for walkways may be utilized for non-residential projects upon review and approval of the Planning and Zoning Board. Planning and Zoning Board consideration may be with restrictions and shall be within the bounds of sound zoning practice and planning and in harmony with the general purpose and intent of the chapter.

(2) Lighting of buildings shall be limited to wall washer type fixtures or up-lights, which do not produce spill light or glare. Sag lenses, convex lenses, and drop lenses shall be prohibited.

(3) Security lighting. Attached building fixtures, utilized for parking lot security purposes only, may be aimed no higher than 45 degrees above straight down.

(B) *Time controls.* Non-residential lighting shall be installed with time controls which will assure that the required illumination shall be provided at dusk and that light levels are reduced not later than one hour after the close of operations to the minimum levels needed to ensure safety and security.

(Ord. 1513, passed 4-20-05)

 **§ 116.05 OUTDOOR RETAIL LIGHTING.**

Exterior retail areas, including but not limited to car dealerships, gas stations, outdoor markets, and drive-through facilities, require lighting necessary to allow customers to comfortably review outdoor merchandise for extended times, and create safe pedestrian passage.

(A) *Canopied areas.* At a canopied area, such as those found at drive-through facilities at banks, service stations, convenience centers, and car-washes, lighting under the canopied area shall be either recessed or cut-off fixtures. The maximum, footcandle level (under such canopied area) shall be 24 f.c., with a maximum to minimum ratio of 2:1. The remainder of the site shall be subject to illumination levels required per general standards.

(B) *Car dealerships.* Car dealerships shall meet the following requirements:

(1) Display areas at dealerships for new and used products, including automobiles, trucks, recreational vehicles, motorcycles, and boats, shall have a maximum footcandle level of 24 f.c. for any row of display that is adjacent to an external road or street.

(2) The remainder of the site shall be subject to illumination levels required per general standards.

(Ord. 1513, passed 4-20-05)

 **§ 116.06 LIGHTING OF RESIDENTIAL COMMON AREAS.**

(A) Residential common areas (clubhouses, guardhouses, entry features, pool areas, private residential parks, tot lots, etc.) shall require the following light design standards.

(B) Full cutoff fixtures are required for any lamp type with an initial output of greater than or equal to 2,000 lumens.

(C) All fixture types will be allowed for any lamp types below 2,000 lumens. Shielding of fixtures is not required but recommended. Featured up lighting for landscaping, buildings, and water features may be allowed, provided light sources are completely shielded from public view.

(D) Examples of lamp types of 2,000 lumens and below are:

- (1) 100 Watt Standard Incandescent;
- (2) 15 Watt Cool White Fluorescent; and
- (3) 15 Watt Compact Fluorescent.

(Ord. 1513, passed 4-20-05)

Reference Ordinances: 155.149 GENERAL BUSINESS (B-3) DISTRICTS.

The following regulations shall apply in all B-3 Districts:

(A) Purpose of district. The B-3, General Business District, is intended to apply to arterial streets and traffic ways where business establishments, primarily not of a neighborhood or

community service type, may properly locate to serve large sections of the city and metropolitan area. These businesses generally require considerable ground area, do not cater directly to pedestrians, and need a conspicuous and accessible location convenient for motorists. ('69 Code, App. A § 35.1) (Ord. 218, passed 10-23-69)

(B) Uses permitted. No building, structure, or part thereof, shall be erected, altered, or used, or land or water used, in whole or in part, for other than one or more of the following specified uses, provided, however, that no more than one of the specified uses will be permitted on a single parcel of property except as permitted by subsection (I) "Out Parcels":

(1) Any use permitted in a B-1 or B-2 District.

(2) Automobile dealership.

(a) New or used automobile, truck, and trailer sales, and repairs providing the use is located on a minimum lot size of 10 acres.

(b) Display and storage of not more than 15 utility trailers or trucks for rental purposes providing these uses are located in the rear of the principal building, and the trucks are screened from pedestrian and vehicular traffic.

(c) All automobile dealerships must include an enclosed showroom and all repair facilities must be enclosed.

(d) No temporary signs, banners, or pennants will be allowed except as expressly approved on the site plan.

(e) No signs on or within automobiles shall be visible from any public street.

(f) Customer and employee parking areas shall be shown on the site plan. No vehicles for sale may be located within these areas.

(g) Accessory automatic car wash.

(h) Accessory manual car wash/detail.

(i) No elevated vehicle display(s) for sales of vehicles.

(j) Elevated storage of vehicles shall be located to minimize visibility from street frontages and adjacent properties.

(3) Boat sales in a fully enclosed building.

(4) Home appliance repair; hand laundry; job printing shop; locksmith; sharpening and grinding; radio, television, and phonograph repair; newspaper printing plant.

(5) Boxing or sports arena, golf driving range, miniature golf course, bowling alley, skating rink, swimming pool, drive-in theater.

(6) Tire and battery store, retail plumbing and electrical fixtures; lawnmower rental, sales, and service; ship chandlery; upholstering shop utilizing the services of not more than four persons on the premises and occupying not more than 4,000 square feet of floor space; offices of electrical and plumbing contractors, including not over 4,000 square feet of enclosed storage and shop space; with no outside or open air storage of supplies or materials; used furniture and household appliances entirely within a fully enclosed building.

(7) Accessory uses and structures.

(8) Sale of used auto parts or motorcycles, inside of a fully enclosed building. Sign painting, inside of a fully enclosed building. Glass and mirror shop, awning and canvas shop, furniture repair shop, upholstering shop.

(9) Service Stations, which may include the following ancillary uses:

(a) Convenience store

(b) Food services

- (c) Automatic car washes
- (d) Manual car wash/detailing
- (e) Automobile repair, minor
- (f) Outdoor storage for lp tank exchange service
- (g) Electric vehicle charging stations
- (h) Ice vending machines
- (i) Other uses that are approved through the city's Planning and Zoning process

Parking for Service Stations shall be according to Retail – General standards in § 155.251 of the Code of Ordinances.

(10) Car washes. All car washes shall be reviewed by the Planning & Zoning Board through the city's site plan review procedures.

(a) Self-service car wash. A structure where equipment and/or facilities are provided for the self-service application of cleaner, rinse water, waxes or polishes and other vehicle treatments to automobiles and other motor vehicles.

1. Equipment. No equipment shall be permitted except as necessary to permit self-service car-washing, drying, vacuuming directly and solely by the customer. All equipment shall be within an enclosed portion of the building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

2. Parking.

a. A minimum of three off-street storage (stacking) spaces shall be provided at both the entrance and exit of each wash bay.

b. A minimum of two off-street parking spaces shall be provided per vacuum cleaning unit, not including exiting stacking spaces.

3. Employees. No employees shall be permitted other than one person to maintain and service equipment and grounds.

4. General design standards.

a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.

b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.

c. The landscape buffering and separation requirements provided in the City Code shall apply.

(b) Accessory automatic car wash. An accessory structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes, rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.

1. Equipment. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property. All washing facilities shall also be equipped with a water recycling system.

2. Employees. No employees shall be permitted other than one attendant to maintain and service equipment and grounds who must be present during all hours of operation. This

attendant requirement shall not apply where the laundry facility is an integral and accessory part of a service station operation and attendants serve both the laundry and service station facilities.

3. **Parking.**

- a. A minimum of two off-street storage spaces shall be provided per vacuum cleaner.
- b. A minimum of eight stacking spaces shall be provided on the entrance side of the facility.
- c. A minimum of three stacking spaces shall be provided on the exit side of the facility.

4. **General design standards.**

a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.

b. The car wash facility must demonstrate architectural compatibility with the principal structure.

c. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.

d. The landscape buffering and separation requirements provided in the City Code shall apply.

(c) Attended automatic car wash. A structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes, rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.

1. **Equipment.**

a. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

b. No outside loudspeakers or radios are permitted. Radio station promotions and/or other activities utilizing loudspeakers or broadcasting equipment are prohibited.

c. No electrical or air driven hand tools, including but not limited to polishers and buffers, shall be utilized outside of the required building enclosure, unless the subject property is located at least 500 feet from any residentially zoned or used property.

d. All washing facilities shall be equipped with a water recycling system.

2. **Parking.**

a. One parking space per employee shall be provided.

b. Five parking spaces shall be provided at the exit side of the facility for final hand drying and interior cleanup and as a customer pickup area.

c. A minimum of 18 stacking spaces shall be provided on the entrance side of the facility.

3. **General design standards.**

a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.

b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.

c. The landscape buffering and separation requirements provided in the City Code shall apply.

(d) An applicant who proposes to locate electrical or air-driven hand tools or vacuuming facilities outside the building but within 500 feet from any residentially zoned or used property shall apply for Planning and Zoning Board consideration. The applicant must demonstrate and prove with substantial and competent evidence that such equipment shall not exceed the ambient noise levels as provided in the Pembroke Pines noise abatement chapter.

(e) Manual car wash/detailing. Permitted only as an accessory use to Service Stations, automobile dealerships and golf courses.

1. General design standards.

a. Manual car wash/ detailing shall be conducted under a permanently installed canopy aesthetically compatible with the primary structure.

b. The operation of such manual car wash shall not create any standing water and shall not drain directly into drainage system.

c. Required parking and site circulation for existing use(s) shall be maintained.

d. Sign(s) for car washes are restricted to car wash canopies only and are counted as part of the total allowed building signage of 36 square feet.

2. Parking. Two parking spaces are required per work station for storage, stacking, pick-up, or drop-off.

(11) Mini-warehouse as a zoning exception granted only after a public hearing before the City Commission. A zoning exception under this subdivision may be granted if the proposed facility meets the following criteria:

(a) The facility is included within an existing or proposed shopping center that exceeds 250,000 square feet of gross building area;

(b) The gross floor area of the proposed mini-warehouse does not exceed more than 15% of the gross building area of the shopping center where the facility is located;

(c) The mini-warehouse bays do not have direct access to the exterior of the building in which it is located, but have access only to interior hallways. No direct access between retail areas and a mini-warehouse shall be permitted.

(d) The mini-warehouse shall comply with all other applicable requirements of this code, including, but not limited to, site plan and off-street parking requirements.

(12) Tattoo parlor, subject to § 155.310.

(13) Storage of rental vehicles. Outside accessory storage of rental vehicles may be permitted as described below:

(a) Site plan. A site plan, or site plan amendment, describing with particularity the specific storage areas for rental vehicles for each proposed and/or existing use, must be submitted to the Planning and Zoning Board for review and approval in accordance with § 155.395 of this code. All parking for the storage of rental vehicles shall be in excess of required parking for the center. The Planning and Zoning Board must determine that the location for the storage of vehicles does not interfere or impede with the use of the parking lot for the customers, employees or owners of the other businesses in the center.

(b) Type of vehicles. Stored rental vehicles may not have more than two axles. Only vehicles that may be driven with a non-commercial driver's license issued by the Florida Department of Motor Vehicles may be stored on-site. Rental and storage of construction and heavy equipment shall not be permitted.

(c) Restrictions. No vehicles with advertising, other signage, or greater than 5,000 pounds may be parked in the front. Any such vehicles must be parked in the rear of the building and screened from adjacent residential development.

(14) Home improvement centers.

(15) Outdoor sale and display of utility trailers and barbeques accessory to home improvement centers subject to Planning and Zoning Board site plan approval.

(16) Wholesale sales, but only as an accessory use to those permitted uses enumerated in § 155.145(B)(1) or § 155.146(B)(3).

(17) Pet hotels, subject to the following limitations:

(a) **PET HOTELS** shall be limited to mean any place of business where dogs or cats are kept for boarding, and shall only be permitted as an accessory use for businesses whose principal operations include the sale of pets and pet supplies, and whose store is at least 15,000 square feet.

(b) Adequate soundproofing in any area where animals are boarded. Sleeping quarters shall be limited to 15% of the total square footage of the business.

(c) No exterior cages.

(d) Shall contain an approved air-handling system for disinfection and odor control.

(e) Shall contain adequate waste control facilities, such as a flush system or equal.

('69 Code, App. A § 35.2) (Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80; Am. Ord. 814, passed 12-10-86; Am. Ord. 1065, passed 3-2-94; Am. Ord. 1127, passed 8-2-95; Am. Ord. 1188, passed 10-16-96; Am. Ord. 1256, passed 4-15-98; Am. Ord. 1272, passed 8-5-98; Am. Ord. 1302, passed 5-5-99; Am. Ord. 1376, passed 8-1-01; Am. Ord. 1425, passed 9-18-02; Am. Ord. 1492, passed 9-1-04; Am. Ord. 1645, passed 6-3-09; Am. Ord. 1664, passed 6-16-10; Am. Ord. 1840, passed 2-3-16)

(C) Uses prohibited. The permissible uses enumerated in division (B) above shall not be construed to include, either as a principal or accessory use, any of the following, which are listed for emphasis:

(1) Open air sale or display of machinery, farm implements, or construction equipment.

(2) Manufacturing, except as accessory to a permitted use.

(3) Wholesale, warehouse, or storage uses, except as provided in subdivision (B)(11) or (B)(15) above.

(4) Pawn shop.

(5) Flea market.

(6) Any use first permitted in a less restricted district.

('69 Code, App. A § 35.3) (Ord. 1188, passed 10-16-96; Am. Ord. 1320, passed 12-15-99; Am. Ord. 1492, passed 9-1-04)

(D) Limitation on uses. All products produced incidental to a permitted use shall be sold at retail on the premises. All activities of permitted uses, including sale, display, preparation, and storage, shall be conducted entirely within a completely enclosed building; however, 1) drive-in type retail stores may conduct sales through open doors or windows; 2) accessory garden centers may store and conduct sales within a screened area as approved by the Planning and Zoning Board; 3) building materials may be stored within a screened area as approved by the Planning and Zoning Board.

('69 Code, App. A § 35.4) (Ord. 218, passed 10-23-69; Am. Ord. 797, passed 8-6-86; Am. Ord. 1425, passed 9-18-02)

(E) Height. No building or structure shall be erected or altered to a height exceeding 100 feet; nor shall any building abutting within 100 feet from single family zoning districts exceed two stories or 35 feet.

('69 Code, App. A § 35.5) (Ord. 218, passed 10-23-69; Am. Ord. 306, passed 12-18-72)

(F) Plot size. Plots shall have not less than 150 feet of frontage on the primary traffic artery, and not less than 100 feet in depth, nor less than 15,000 square feet in area. ('69 Code, App. A § 35.6)

(G) Yards.

(1) Front or side. Every plot shall have a front or street side yard of not less than 30 feet in depth. For buildings exceeding 35 feet in height, front yards or street side yards must be increased one foot for every two feet in height in excess of 35 feet.

(2) Side yards. Every plot shall have a side yard not less than ten feet in width, which shall be totally landscaped. For buildings exceeding 35 feet in height, side yards must be increased one foot for every five feet in height in excess of 35 feet.

(3) Rear yards. Every plot shall have a rear yard not less than 15 feet in depth.

(4) Front and street side yards. The first fifteen feet of all front and street side yards adjacent to the property line shall be fully landscaped with sod, ground shrubbery, and trees, except where crossed by permitted access driveways or walkways. The balance of the required yards may be used for parking.

(5) Alleys. Where a plot abuts a dedicated alley, one-half of the width of that alley may be considered part of the plot for the purpose of computing the depth of the minimum yards.

(6) All plots abutting a residential district or use shall have yards in accordance with § 155.056.

('69 Code, App. A § 35.7)

(Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80)

(H) Minimum floor area. The minimum floor area of a dwelling unit shall be 325 square feet. The minimum floor area of a rental sleeping room in a hotel, lodging house, tourist home, or similar use shall be 150 square feet. ('69 Code, App. A § 35.8) (Ord. 218, passed 10-23-69)

§ 155.274 STATIONS OFFERING SELF-SERVICE FACILITIES; REQUIRED SIGN.

Gasoline stations conducting business within the city, which offer self-service facilities at reduced prices, shall prominently display signs notifying holders of exemption entitlement parking permits of their right to gasoline service from the self-service facility. These signs shall indicate that an attendant will be provided upon request for service. These signs shall be affixed to each and every gasoline pump in the gasoline station and shall be written in letters not less than two inches in height.

(4) Gasoline service stations.

(a) Gasoline service station structures and canopies. Gasoline service stations may be permitted a maximum of 36 square feet of signage to be distributed on structure and canopies with letter height not to exceed 36 inches in height.

(b) Monument signs. Each gasoline service station may be permitted one double-faced monument sign not to exceed 36 square feet in size. Monument sign displays must include price

price, in numbers or letters of equal size and on equally sized backgrounds with the same color combination and with equal illumination, if any. The number of signs for self-service and full-service shall be equal.

Section 155.248 PARKING SPACE DIMENSIONS.

(A) Each parking space required and provided pursuant to the provisions of this subchapter, except parking spaces required for single-family and two-family dwelling units as provided in § 155.251(A), shall be no less than 16 feet in width and 20 feet in length for 90-degree angle parking. Other angle parking shall be scaled accordingly but shall contain a minimum of ten feet in width.

(B) Standard parking spaces must adhere to one of the following consistent with the City's engineering standards which may be amended from time to time (as maintained by the City Engineer):

(1) 9 feet by 19 feet, including a wheel stop which is placed 3 feet from the curb or edge of pavement ;or;

(2) 9 feet by 16 feet and a 3 foot overhang, using a curb. These parking spaces have a "D" curb and no wheel stops. Any pervious area(s) existing adjacent or perpendicular to any parking space does not count towards the aforementioned landscape requirements area, or;

(3) 9 feet by 19 feet including bollards in the sidewalk/parking area may be employed on a limited basis for security reasons, or other public safety consideration. Bollards are placed 0.75 feet from the front of a 9 feet by 19 feet parking space and 5 feet apart from each other. Bollard shall be 6" diameter galvanized steel pipe filled with reflectorized safety paint or having approved bollard covers/sleeves.

(4) 9 feet by 25 feet rectangle for each parallel parking space.

(C) Each parking space shall be directly accessible from a street or alley, or from an adequate aisle or driveway leading to a street or alley. Access aisles and driveways shall be of sufficient size to permit convenient maneuvering of cars, and each space shall be accessible without driving over or through any other parking space.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



October 2, 2018

**CHEVRON GAS STATION – (1501 South Flamingo Road)
SP 2018-04/PRJ 2018-05**

**To: William Cole, Planner/Zoning Technician
Planning and Economic Development Department**

**From: John L. England, P.E., Assistant City Engineer
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046**

COMMENTS/RECOMMENDATIONS:

1. As the ‘Pedestrian Crossing’ on the west side of the building is considered a “Mid-Block” type crossing, the Crosswalk must be ‘Special Emphasis’ and 10’ in width. In addition, the Pedestrian Crossing (W11-2) Sign on each side of the Crosswalk must also have a W16-7p (Downward Pointing Arrow) Plaque and the Pedestrian Crossing Signage must be installed on the “far side” of the crossing for both vehicular approaches to the crossing. The aforementioned signage requirements are the minimum requirements for this ‘Pedestrian Crossing’ to be MTUCD compliant. Reflect this additional information on both the Site Plan and Site Signage, Pavement Marking & Striping Plan.
2. All Sidewalk Curb Ramps 5' outside and beyond the building envelope shall be per FDOT ‘Design Standards’, Index No. 304. Denote the Sidewalk Curb Ramp on each side of the ‘Pedestrian Crossing’ on the west side of the building as “Per FDOT Index No. 304, CR-E” type. Reflect this additional information on both the Site Plan and Site Signage, Pavement Marking & Striping Plan.
3. Provide a 10’ minimum clear terminal landscape island at the east end of the parking located on the north side of the building, as required per code.
4. Provide a copy of the City Commission approved Variance allowing for the parking spaces to be flush with the sidewalk along the front of the spaces without the typically required Wheel Stops. Otherwise depict the required Wheel Stop for each proposed parking space

on both the Site Plan and Site Signage, Pavement Marking & Striping Plan. In addition on the Site Plan Details sheet, amend the proposed 'Bollard Space Details' to reflect the typically required Wheel Stop and add a Wheel Stop detail to the sheet.

5. The following 'Notes' where noted in the previous 'Responses' to 'Comments' as having been added to both the Site Plan and the Site Signage, Pavement Marking & Striping Plan. The 'Notes' where not added to the aforementioned plans, please add the 'Notes' below as previously indicated in the 'Responses'.

- *ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MTUCD) STANDARDS.*
- *ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR 'STANDARD PAINT'.*
- *ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH 'STOP BARS' ARE TO HAVE YELLOW/YELLOW RPM's AT 40' O.C.*
- *REFLECTIVE PAVEMENT MARKERS (RPM's) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS ADHESIVE PER FDOT'S 'APPROVED PRODUCTS LIST' (APL). PLACEMENT OF RPM's SHALL BE IN ACCORDNACE WITH FDOT INDEX NO. 17352.*
- *PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) 'DESIGN STANDARDS', INDEX NOS. 17346 AND 17355 AND LATEST CITY STANDARD DETAIL R-32, 'ACCESSIBLE PARKING SPACE DETAILS'.*
- *WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.*
- *ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.*
- *ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT 'DESIGN STANDARDS', INDEX NO. 304.*
- *ALL PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MTUCD STANDARDS. 'MID-BLOCK' TYPE PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN/ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN/ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT INDEX NO. 17346.*
- *ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, 'ACCESSIBILITY'.*
- *ALL ACCESSIBLE PARKING SPACES AND ACCESSIBLE PARKING AISLES SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS FOR SLOPING.*

6. The ‘Fire Truck Autoturn Plan’ and ‘Fire Truck Access Route/Path Plan must be accepted by the Fire Prevention Bureau prior to Engineering DRC sign-off.
7. Provide a ‘Typical Pavement Section/Specification, Asphalt Pavement Connection/Tie-In Detail, Type ‘D’ Curb Detail, Concrete Apron Detail, etc on the _____ on the Cross Section Details sheet, as applicable to the proposed site construction/improvements.
8. Reflect the existing water main and proposed sewer service line on the Grading and Drainage Plan as a “Ghost Layer” to identify the crossings with the proposed Storm Drainage piping system. Provide “Crossing Data” for each of the crossings conforming to the City’s current utility separation standards as per City Standard Detail G-4, ‘Utility Crossing Requirements’. Reflect the same (final) ‘Crossing Data” on the Utility Plan – Water and Sanitary.
9. The ‘Responses’ to the Traffic Engineering ‘Comments’ will be reviewed and discussed with the City’s Traffic Engineering Consultant to determine if all traffic related issues/concerns have been adequately satisfied for DRC purposes. Any additional or not yet satisfied Traffic Engineering ‘Comments’ applicable to the proposed project will be forthcoming in the near future by way of a separate ‘Traffic Engineering DRC Comments Memo’.

Yaciuk, Joseph

From: Kevin Hart <kevin@sbdd.org>
Sent: Tuesday, October 02, 2018 11:50 AM
To: Yaciuk, Joseph
Cc: russ.morris@mdmservices.com; Pam Walsh
Subject: RE: Chevron Gas Station - SP 2018-04

Joe,
Please be advised that the applicant has addressed SBDD's DRC comments on the site plan for this project.
A Paving & Drainage Permit will be required from SBDD and all District criteria will need to be met.
Thanks.

Kevin Hart, P.E., CFM
District Director
South Broward Drainage District
6591 Southwest 160th Avenue
Southwest Ranches, FL 33331
954-680-3337 (office)
e-mail: kevin@sbdd.org

From: Kevin Hart [mailto:kevin@sbdd.org]
Sent: Friday, March 16, 2018 11:21 AM
To: Yaciuk, Joseph <jyaciuk@ppines.com>
Cc: russ.morris@mdmservices.com; Pam Walsh <pam@sbdd.org>
Subject: Chevron Gas Station - SP 2018-04

Joe,
Please find attached SBDD's DRC comments on the site plan for this project.
Feel free to contact me with any questions.
Thanks.

--
Kevin Hart, P.E., CFM
District Director
South Broward Drainage District
6591 SW 160th Avenue
Southwest Ranches, FL 33331
954-680-3337 Ext 206
kevin@sbdd.org

MEMORANDUM

October 1st, 2018

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner

Re: (SP 2018-04) Sunshine Gasoline Distributors

The City of Pembroke Pines Planning Division has conducted a landscape review City Center Phase II Commercial. The following items need to be addressed prior to this project being found in compliance:

1. As per site visit dated 10.02.18 the landscape plan provided by MDM Engineering, Environmental Construction date 09.19.17 is not accurate. There are trees and plant material labeled on the landscape plan as existing that is currently not on site. Please provide an updated landscape and disposition plan.
2. As per site visit, the perimeter hedge on the west and south of the property are missing plant material. Add plant material where missing.
3. As per landscape ordinance 153.33 (A) "The property owner shall install one and one-half replacement canopy trees of equivalent canopy area for every one non-specimen canopy tree permitted to be removed. City officials shall round up to the nearest whole number to calculate the required amount of replacement canopy trees. Existing site vegetation may be taken into consideration by city staff when determining replacement." Please make sure to take the landscape ordinance into consideration when revising the landscape plan.
4. Irrigation must be repaired/installed properly to ensure that all new and existing landscape material is properly being irrigated. A "wet-check" shall be done at time of final inspection to ensure all irrigation heads are working properly etc.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Please consider the environment before printing this email.

Kristen Jensen
Landscape Planner/ Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) • kjensen@ppines.com
Please consider the environment before printing this email.

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY** Prevention Captain Daniel Almaguer
(954) 499-9560

PROJECT NAME: Chevron Gas Station #358
REFERENCE #: SP 2018- 04
DATE REVIEWED: 05/08/2018

ITEMS WHICH DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS:

All submittals for Site Plan Approval must first be stamped by our Planning Department and delivered by planning per their procedures.

Note: Previous Comments Must Still be Addressed

- 1.** Submit **full sized "scaled"** drawing to **(20, 30, or 40 engineering scale)** depicting the required fire access road dimensions and radii **into** and **out** of the site. Also, you must **provide** a "shaded" fire truck access route on a separate sheet.

- 2. NOTE: In every case, at least two fire hydrants shall be within 400 feet of the entrance of any building** and be spaced 500 feet apart throughout. *Measurements taken as the fire truck travels.* COPP CO 93.25 (C)(G)

- 3.** Please add **ALL** of the following **Fire Notes (a thru z)** on a separate "Fire Plan" sheet.
 - a) Access to Building.** A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building. **NFPA 1-18.2.3.2.1**

 - b) Fire department access roads** shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (450 ft. for sprinklered buildings) from fire department access roads as measured by an approved route around the exterior of the building or facility. **NFPA 1-18.2.3.2.2** and **NFPA 1-18.2.3.2.2.1**

 - c) Dimensions.** Fire department access roads for fire department use only shall have an unobstructed width of not less than 20ft.

 - d) Turning Radius.** Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout. *COPP Engineering department verification is required.* **COPP CO 154.35 (3)**

 - e) "All centerline turning radii must be a minimum 50 feet."**

 - f) Dead Ends.** Dead end streets shall be prohibited, except where appropriate as stubs to permit

future street extension into adjoining un-subdivided tracts, or when designed as cul-de-sacs.
COPP CO 154.32 (K)

g) Dead-end fire department access roads in excess of **150 ft** in length shall be provided with approved provisions for the fire apparatus to turn around.

NFPA 1 -18.2.3.4.4

h) Grade. The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. **NFPA 1-18.2.3.4.6.2**

i) Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each of the fire lane. **NFPA 1-18.2.3.4.6.3**

j) Fire Hydrant Spacing and Installation. The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. **NFPA 1-18.5.1**

k) Fire hydrants and connection to other approved water supplies shall be accessible to the fire department. (Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions). **NFPA 1-18.5.2**

l) A 15 ft. clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. **NFPA 1-18.5.3**

m) Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.5**

n) Marking of Hydrants. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.7**

o) Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than **500 feet apart** as measured along street or alleys. **COPP CO 93.25 (C) (Once proper scale is provided the fire hydrant spacing will be verified)**

NOTE: Where new hydrants are required to meet spacing, hydrants shall be placed at the entrances to access roads and entrances to the complex. *Measurements taken as the fire truck travels. Engineering department verification required.*

p) Fire hydrants 4 1/2 inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant. **COPP CO 93.25 (E) – Fire Hydrant Detail to be provided on submittal.**

q) No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street.

COPP CO 93.25 (F)

In every case, at least two fire hydrants shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. *Measurements taken as the fire truck travels.*

COPP CO 93.25 (C) (G)

Buildings with standpipes/sprinklers require a fire hydrant within 100 feet of each

of fire department apparatus accessibility or on the street side of building. **NFPA 14-6.4.5.1(2010) (add this comment to your plans)**

t) NOTE: Fire department connections shall also be shown on same side of the street as the fire hydrant. **SHOW ALL FIRE DEPARTMENT CONNECTIONS (FDC's) LOCATIONS**

u) Each fire department connection to sprinkler systems shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic materials with red and white letters , having raised or engraved letters at least 1 in. in height on plate of fitted reading service sign that shall be attached to the exterior of the building adjacent to the connection or on the connection, secured with substantial and corrosion resistant fasteners— for example, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE as applicable. **NFPA 14-6.4.5.2.1 (2010)**

v) The fire department connection should be located not less than 18" or more than 4' above grade. Pembroke Pines Fire Department requires FDC to be installed at 3' above grade. **NFPA 14-6.4.6 (2010)**

w) Point of Service. Show and label point of service on water Civil plans, the tie in where the water is being used exclusively for the sprinkler/standpipe system.

x) A Florida Certified Sprinkler Contractor shall pull permits and begin work from the point of service. **FAC 69A-46.040 (2)**

y) Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA 1-18.2.3.4.2**

z) Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

4. Please show on the fire department access page the vertical clearance of the "pass through" at 13'- 6"

Vertical clearance. Fire department access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in. NFPA1-18.2.3.4.1.2** (Permanent, weatherproof signage) where applicable. (Applicable areas are truck access routes.)

5. Two-Way Radio Communication Enhancement Systems. NFPA 1 - 11.10, 2012 edition.

In all new and existing buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. NFPA 1 -11.10.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: May 7, 2018
To: SP 2018-04 file
From: Joseph Yaciuk, Planning Administrator
Re: Chevron Gas

Items that do not conform to the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide notice per Code requirements. Include HOA notice if applicable.
2. Include a detailed scope of work letter. Include all color changes, canopy changes, sign additions, ground signs, new lighting, etc...
3. Provide gross floor area and gross covered area for site. Check site data. Some data in tables appears to be missing or doesn't meet Code requirements.
4. Verify that plat note is consistent with proposal. Contact Thuy Turner at Broward County to confirm this item. If a plat note change is necessary then apply for one. Two issues to review:
 - Plat note restriction on plat allows for proposed development
 - Plat allows for the proposed drive ingress on Flamingo Road.
5. Parking dimensions must be 9' x 19'. Two way drive aisles must be minimum 24' wide. Page C 2.0 still references 18 foot long parking. Parking with bollards is not allowed without variance. City is considering grade parking with bollards as part of a Code update. New Coe update may not be in place for a few months.
6. Review access drives with engineering. One of the northern entries may need to close subject to City Commission
7. Provide colors of dumpster walls / gates. Gates must be metal. Provide a letter from WASTEPRO approving the dumpster areas. Also have WASTEPRO state that the number of dumpsters will sufficiently service the building. Have WASTEPRO commit to pick up times on the letter. Include number of pickups per week.
8. Any proposed propane storage, detail areas, vacuum locations? If so, please provide with details. No storage, detail or vacuum areas appear to be provided.
9. Provide setbacks of all new structures. Provide distances between structures also. Provide setback from property line.
10. Provide building finish floor elevation. Verify finish floor elevations are acceptable to City Engineer.
11. Will there be any rooftop equipment? If so provide locations and screening details per Code.

12. Label colors of all building, car wash and canopy elevations (include trim, window frames, medallions, etc.) on architectural elevations / signs / vertical features.
 13. Provide color elevations by plan.
 14. Provide all color chips / material samples to be used on site. Place on a color / material board and submit.
 15. Show all details of temporary (project) signs (if applicable). Temporary signs must be consistent with the City of Pembroke Pines Code of ordinances. Provide sign schedule on a detail page. Indicate where these signs will go on site. Provide setbacks for such signage. No Signage Shown
 16. ~~Verify all terminal landscape islands are at minimum 11 feet wide (10 feet of that space green area).~~
 17. Please provide details of any proposed signs, color changes, or canopy improvements to the existing structures. Provide sign types. Provide sign matrix with area of each sign. Signs must meet Code requirements.
 18. Do you plan on lighting the canopy exterior or features on canopy exterior? If so please identify how this item is being illuminated. Illuminated features may be considered signage.
 19. ~~Photometrics exceed Code. Please review Section 116 of the Code of ordinances.~~
 20. All new under canopy lights must be recessed. Staff requests that the applicant consider recessing existing lighting for consistency purposes.
 21. Provide elevations for Car Wash. Provide stacking for car wash in compliance with Code of Ordinances. Please declare whether car wash is automatic or not. Provide details of any menu sign. For purposes of this review, it is presumed that the carwash is automatic.
 22. Provide size of underground gas tanks. Tanks must meet minimum size requirements or apply for a variance. It appears all tanks are existing. Please verify.
 23. Will the monument sign replace the existing sign or will existing sign be reused? New monument must meet Code requirements.
 24. Provide new pump detail graphics.
 25. Provide all paint chips / color swatches for proposal.
 26. Provide four sided building elevation pages. Label all colors and treatments for all buildings and canopies on site.
 27. Resubmit 13 sets of full sets of plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any inconsistencies in plans or new information provided may result in additional comments and possible project delays.
 28. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
-

Recommendations:

Reference Ordinance – Gas Station Signs

155.324 (4) Gasoline service stations.

(a) Gasoline service stations may be permitted one double-faced gasoline price sign not to exceed 24 square feet in area that is an integral part of the identification ground sign. Height of the letters not to exceed one foot. This sign may be internally illuminated.

(b) Gasoline service stations may be permitted a non-illuminated double-faced price sign not to exceed 24 square feet, displaying the price for fuel. Height of the letters shall not exceed one foot. The sign shall be prominently displayed, and visible during daytime hours from passing vehicles. If the service station is located on a corner lot, it shall be permitted two non-illuminated price signs. Signs shall be fabricated out of at least 12-gauge metal. Signs built or constructed as A-frame signs are not acceptable to the city.

(c) A combination of the signs permitted in divisions (C)(4)(a) and (C)(4)(b) above shall not be permitted.

(d) All price signs for gasoline products at gasoline service stations shall display separately and specifically, with equal prominence, the full-service price and the self-service price, in numbers or letters of equal size and on equally sized backgrounds with the same color combination and with equal illumination, if any. The number of signs for self service and full service shall be equal.

(5) Theaters, playhouses, and other culturally oriented establishments shall be permitted an additional sign to those detailed in divisions (C)(1) and (C)(2) above, to display changeable copy not to exceed 50 square feet in sign area. Multiple theaters shall be permitted additional sign area, not to exceed 25 square feet per additional screen with a maximum of 175 square feet of total signage, if the theater contains eight or more screens.

(6) One nameplate or identification sign shall be permitted in the front and the rear of the building, with letters not in excess of three inches in height, and the sign area not in excess of three square feet.

(7) An hours of business sign shall be permitted on door or adjacent window with letters not in excess of two inches in height and total area not in excess of two square feet.

Lighting – Section 116

§ 116.01 PURPOSE AND INTENT.

The purpose and intent of this chapter is to ensure that exterior (outdoor) lighting positively enhances the visual impact of a building or project on surrounding properties and uses. To that end, exterior lighting at a building or project should be designed, operated, and installed in a

consistent and coordinated fashion to provide safe, convenient and efficient lighting for customers, pedestrians and vehicles, and to avoid the creation of hot spots, glare, obtrusive light, light pollution, light trespass, and visual nuisance. Also, exterior lighting should accentuate key architectural elements of the building or project, and highlight or otherwise emphasize landscape features.

(Ord. 1513, passed 4-20-05)

W § 116.02 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

FIXTURE. The assembly that houses the lamp or lamps, and may include all or some of the following parts: reflector (mirror), refractor (lens), ballast, housing, and other attachment parts.

FOOTCANDLE (F.C.). A measure of light noted as a unit of illuminance amounting to one lumen per square foot.

FULL CUTOFF FIXTURE. A lighting fixture manufactured and installed so that all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire (excepting only incidental reflections from supporting brackets or arms) is projected below the horizontal as determined by photometric test or certified by the manufacturer. Any structural part of the light fixture providing this shielding must be permanently affixed.

GLARE. Intense and somewhat blinding light, or the sensation produced by a brightness within the visual field that is sufficiently greater than the intensity of light to which human eyes are accustomed or adapted, thereby causing annoyance, discomfort, visual impairment, or loss or reduction of visibility.

HOT SPOT. An area of very high illumination above normal footcandle levels, typically found in an area underneath a luminaire, making normal f.c. levels appear relatively dark.

ILLUMINANCE. The quantity of light arriving at a surface divided by the area of the lighted surface, measured in footcandles.

LIGHT POLLUTION. Any adverse effect of manmade light, often used to denote a brightness of the night sky, commonly known as urban sky glow.

LIGHT TRESPASS. Light falling where it is not desired, wanted or needed.

LUMEN. A quantitative unit measuring the amount of light emitted by a lamp or luminaire.

LUMINAIRE. A complete lighting unit consisting of the lamp, the fixture and other parts designed to distribute the light.

OBTRUSIVE LIGHT. Light which causes annoyance, discomfort, visual impairment, or loss or reduction of visibility.

SAG LENS, CONVEX LENS OR DROP-LENS. A clear or prismatic refracting lens that extends below the lowest opaque portion of a light fixture.

SPILL LIGHT. Light which falls outside the property where the luminaire is sited.

(Ord. 1513, passed 4-20-05)

 **§ 116.03 GENERAL STANDARDS.**

(A) *Exterior lighting plan.* An exterior lighting plan, including a photometric plan (which covers the parcel which is the site of the building or project in question), appropriate pole, fixture, and lamp cut sheets, and descriptions of lenses and appropriate data tables, shall be submitted for site plan review. The exterior lighting plan shall be prepared by a licensed professional engineer, who shall certify that the exterior lighting plan complies with this chapter. The photometric plan shall be prepared in a scale that is easily legible. The current edition of the "IES Lighting Handbook," published by the Illumination Engineers Society, 345 East 47 Street, New York, NY 10017, is the standard to be used by the engineer as a guide for the design and testing of lighting plans. The standards contained therein shall apply unless standards developed and adopted by this section or subsequent amendments are more restrictive, in which case the more restrictive standards shall apply.

(B) *Pole lighting height standard.* All private, pole mounted, outdoor surface lot lighting shall be limited to 30 feet in height above grade.

(C) *Illumination levels.* The maximum illumination for a project shall be 12 f.c. with the minimum average illumination, at grade, to be not less than two footcandles, average maintained over the site. The illumination level at the property line of any project shall be 0 f.c. To avoid glare or spill light from encroaching onto adjacent properties, illumination shall be installed with house side shields and reflectors, and shall be maintained in such a manner as to confine light rays to the premises of the building or project.

(D) *Installation.* The lighting installation shall not be placed in permanent use until a letter of compliance from a registered engineer or architect has been provided stating that installation has been field checked and meets the requirements of this chapter.

(E) *Nonconforming lighting.* When 50% or more of any component (e.g., luminaires, poles) of the exterior lighting system at a building or project is upgraded, changed, or replaced (not including regular maintenance), such component for the remainder of the exterior lighting shall be brought into substantial compliance with the requirements of this chapter.

(F) *Prohibited lighting.*

(1) High intensity, special purpose lighting such as aerial lasers and "searchlight" style lights.

(2) Low pressure sodium lighting.

(G) *Exceptions to general lighting requirements.* Public facilities including but not limited to parks; lighted recreation and athletic areas, courts and fields; and water and wastewater treatment facilities shall be exempted from these standards.

(Ord. 1513, passed 4-20-05)

 **§ 116.04 NON-RESIDENTIAL STANDARDS.**

(A) *Light fixtures; types.*

(1) Pole mounted light fixtures on non-residential properties shall be full cutoff fixtures, and shall be incorporated as an integral design element that complements the design of the building or project through style, material or color. Exception - non-cutoff fixtures for pedestrian scale lighting for walkways may be utilized for non-residential projects upon review and approval of the Planning and Zoning Board. Planning and Zoning Board consideration may be with restrictions and shall be within the bounds of sound zoning practice and planning and in harmony with the general purpose and intent of the chapter.

(2) Lighting of buildings shall be limited to wall washer type fixtures or up-lights, which do not produce spill light or glare. Sag lenses, convex lenses, and drop lenses shall be prohibited.

(3) Security lighting. Attached building fixtures, utilized for parking lot security purposes only, may be aimed no higher than 45 degrees above straight down.

(B) *Time controls.* Non-residential lighting shall be installed with time controls which will assure that the required illumination shall be provided at dusk and that light levels are reduced not later than one hour after the close of operations to the minimum levels needed to ensure safety and security.

(Ord. 1513, passed 4-20-05)

 **§ 116.05 OUTDOOR RETAIL LIGHTING.**

Exterior retail areas, including but not limited to car dealerships, gas stations, outdoor markets, and drive-through facilities, require lighting necessary to allow customers to comfortably review outdoor merchandise for extended times, and create safe pedestrian passage.

(A) *Canopied areas.* At a canopied area, such as those found at drive-through facilities at banks, service stations, convenience centers, and car-washes, lighting under the canopied area shall be either recessed or cut-off fixtures. The maximum, footcandle level (under such canopied area) shall be 24 f.c., with a maximum to minimum ratio of 2:1. The remainder of the site shall be subject to illumination levels required per general standards.

(B) *Car dealerships.* Car dealerships shall meet the following requirements:

(1) Display areas at dealerships for new and used products, including automobiles, trucks, recreational vehicles, motorcycles, and boats, shall have a maximum footcandle level of 24 f.c. for any row of display that is adjacent to an external road or street.

(2) The remainder of the site shall be subject to illumination levels required per general standards.

(Ord. 1513, passed 4-20-05)

 **§ 116.06 LIGHTING OF RESIDENTIAL COMMON AREAS.**

(A) Residential common areas (clubhouses, guardhouses, entry features, pool areas, private residential parks, tot lots, etc.) shall require the following light design standards.

(B) Full cutoff fixtures are required for any lamp type with an initial output of greater than or equal to 2,000 lumens.

(C) All fixture types will be allowed for any lamp types below 2,000 lumens. Shielding of fixtures is not required but recommended. Featured up lighting for landscaping, buildings, and water features may be allowed, provided light sources are completely shielded from public view.

(D) Examples of lamp types of 2,000 lumens and below are:

- (1) 100 Watt Standard Incandescent;
- (2) 15 Watt Cool White Fluorescent; and
- (3) 15 Watt Compact Fluorescent.

(Ord. 1513, passed 4-20-05)

Reference Ordinances: 155.149 GENERAL BUSINESS (B-3) DISTRICTS.

The following regulations shall apply in all B-3 Districts:

(A) Purpose of district. The B-3, General Business District, is intended to apply to arterial streets and traffic ways where business establishments, primarily not of a neighborhood or community service type, may properly locate to serve large sections of the city and metropolitan area. These businesses generally require considerable ground area, do not cater directly to pedestrians, and need a conspicuous and accessible location convenient for motorists. ('69 Code, App. A § 35.1) (Ord. 218, passed 10-23-69)

(B) Uses permitted. No building, structure, or part thereof, shall be erected, altered, or used, or land or water used, in whole or in part, for other than one or more of the following specified uses, provided, however, that no more than one of the specified uses will be permitted on a single parcel of property except as permitted by subsection (I) "Out Parcels":

- (1) Any use permitted in a B-1 or B-2 District.
- (2) Automobile dealership.

(a) New or used automobile, truck, and trailer sales, and repairs providing the use is located on a minimum lot size of 10 acres.

(b) Display and storage of not more than 15 utility trailers or trucks for rental purposes providing these uses are located in the rear of the principal building, and the trucks are screened from pedestrian and vehicular traffic.

(c) All automobile dealerships must include an enclosed showroom and all repair facilities must be enclosed.

(d) No temporary signs, banners, or pennants will be allowed except as expressly approved on the site plan.

(e) No signs on or within automobiles shall be visible from any public street.

(f) Customer and employee parking areas shall be shown on the site plan. No vehicles for sale may be located within these areas.

(g) Accessory automatic car wash.

(h) Accessory manual car wash/detail.

(i) No elevated vehicle display(s) for sales of vehicles.

(j) Elevated storage of vehicles shall be located to minimize visibility from street frontages and adjacent properties.

(3) Boat sales in a fully enclosed building.

(4) Home appliance repair; hand laundry; job printing shop; locksmith; sharpening and grinding; radio, television, and phonograph repair; newspaper printing plant.

(5) Boxing or sports arena, golf driving range, miniature golf course, bowling alley, skating rink, swimming pool, drive-in theater.

(6) Tire and battery store, retail plumbing and electrical fixtures; lawnmower rental, sales, and service; ship chandlery; upholstering shop utilizing the services of not more than four persons on the premises and occupying not more than 4,000 square feet of floor space; offices of electrical and plumbing contractors, including not over 4,000 square feet of enclosed storage and shop space; with no outside or open air storage of supplies or materials; used furniture and household appliances entirely within a fully enclosed building.

(7) Accessory uses and structures.

(8) Sale of used auto parts or motorcycles, inside of a fully enclosed building. Sign painting, inside of a fully enclosed building. Glass and mirror shop, awning and canvas shop, furniture repair shop, upholstering shop.

(9) Service Stations, which may include the following ancillary uses:

(a) Convenience store

(b) Food services

(c) Automatic car washes

(d) Manual car wash/detailing

(e) Automobile repair, minor

(f) Outdoor storage for lp tank exchange service

(g) Electric vehicle charging stations

(h) Ice vending machines

(i) Other uses that are approved through the city's Planning and Zoning process

Parking for Service Stations shall be according to Retail – General standards in § 155.251 of the Code of Ordinances.

(10) Car washes. All car washes shall be reviewed by the Planning & Zoning Board through the city's site plan review procedures.

(a) Self-service car wash. A structure where equipment and/or facilities are provided for the self-service application of cleaner, rinse water, waxes or polishes and other vehicle treatments to automobiles and other motor vehicles.

1. Equipment. No equipment shall be permitted except as necessary to permit self-service car-washing, drying, vacuuming directly and solely by the customer. All equipment shall be within an enclosed portion of the building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

2. Parking.

- a. A minimum of three off-street storage (stacking) spaces shall be provided at both the entrance and exit of each wash bay.
- b. A minimum of two off-street parking spaces shall be provided per vacuum cleaning unit, not including exiting stacking spaces.
- 3. Employees. No employees shall be permitted other than one person to maintain and service equipment and grounds.
- 4. General design standards.
 - a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.
 - b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.
 - c. The landscape buffering and separation requirements provided in the City Code shall apply.
- (b) Accessory automatic car wash. An accessory structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes, rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.
 - 1. Equipment. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property. All washing facilities shall also be equipped with a water recycling system.
 - 2. Employees. No employees shall be permitted other than one attendant to maintain and service equipment and grounds who must be present during all hours of operation. This attendant requirement shall not apply where the laundry facility is an integral and accessory part of a service station operation and attendants serve both the laundry and service station facilities.
 - 3. Parking.
 - a. A minimum of two off-street storage spaces shall be provided per vacuum cleaner.
 - b. A minimum of eight stacking spaces shall be provided on the entrance side of the facility.
 - c. A minimum of three stacking spaces shall be provided on the exit side of the facility.
 - 4. General design standards.
 - a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.
 - b. The car wash facility must demonstrate architectural compatibility with the principal structure.
 - c. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.
 - d. The landscape buffering and separation requirements provided in the City Code shall apply.
 - (c) Attended automatic car wash. A structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes,

rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.

1. Equipment.

a. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

b. No outside loudspeakers or radios are permitted. Radio station promotions and/or other activities utilizing loudspeakers or broadcasting equipment are prohibited.

c. No electrical or air driven hand tools, including but not limited to polishers and buffers, shall be utilized outside of the required building enclosure, unless the subject property is located at least 500 feet from any residentially zoned or used property.

d. All washing facilities shall be equipped with a water recycling system.

2. Parking.

a. One parking space per employee shall be provided.

b. Five parking spaces shall be provided at the exit side of the facility for final hand drying and interior cleanup and as a customer pickup area.

c. A minimum of 18 stacking spaces shall be provided on the entrance side of the facility.

3. General design standards.

a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.

b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.

c. The landscape buffering and separation requirements provided in the City Code shall apply.

(d) An applicant who proposes to locate electrical or air-driven hand tools or vacuuming facilities outside the building but within 500 feet from any residentially zoned or used property shall apply for Planning and Zoning Board consideration. The applicant must demonstrate and prove with substantial and competent evidence that such equipment shall not exceed the ambient noise levels as provided in the Pembroke Pines noise abatement chapter.

(e) Manual car wash/detailing. Permitted only as an accessory use to Service Stations, automobile dealerships and golf courses.

1. General design standards.

a. Manual car wash/ detailing shall be conducted under a permanently installed canopy aesthetically compatible with the primary structure.

b. The operation of such manual car wash shall not create any standing water and shall not drain directly into drainage system.

c. Required parking and site circulation for existing use(s) shall be maintained.

d. Sign(s) for car washes are restricted to car wash canopies only and are counted as part of the total allowed building signage of 36 square feet.

2. Parking. Two parking spaces are required per work station for storage, stacking, pick-up, or drop-off.

(11) Mini-warehouse as a zoning exception granted only after a public hearing before the City Commission. A zoning exception under this subdivision may be granted if the proposed facility meets the following criteria:

- (a) The facility is included within an existing or proposed shopping center that exceeds 250,000 square feet of gross building area;
- (b) The gross floor area of the proposed mini-warehouse does not exceed more than 15% of the gross building area of the shopping center where the facility is located;
- (c) The mini-warehouse bays do not have direct access to the exterior of the building in which it is located, but have access only to interior hallways. No direct access between retail areas and a mini-warehouse shall be permitted.
- (d) The mini-warehouse shall comply with all other applicable requirements of this code, including, but not limited to, site plan and off-street parking requirements.

(12) Tattoo parlor, subject to § 155.310.

(13) Storage of rental vehicles. Outside accessory storage of rental vehicles may be permitted as described below:

(a) Site plan. A site plan, or site plan amendment, describing with particularity the specific storage areas for rental vehicles for each proposed and/or existing use, must be submitted to the Planning and Zoning Board for review and approval in accordance with § 155.395 of this code. All parking for the storage of rental vehicles shall be in excess of required parking for the center. The Planning and Zoning Board must determine that the location for the storage of vehicles does not interfere or impede with the use of the parking lot for the customers, employees or owners of the other businesses in the center.

(b) Type of vehicles. Stored rental vehicles may not have more than two axles. Only vehicles that may be driven with a non-commercial driver's license issued by the Florida Department of Motor Vehicles may be stored on-site. Rental and storage of construction and heavy equipment shall not be permitted.

(c) Restrictions. No vehicles with advertising, other signage, or greater than 5,000 pounds may be parked in the front. Any such vehicles must be parked in the rear of the building and screened from adjacent residential development.

(14) Home improvement centers.

(15) Outdoor sale and display of utility trailers and barbeques accessory to home improvement centers subject to Planning and Zoning Board site plan approval.

(16) Wholesale sales, but only as an accessory use to those permitted uses enumerated in § 155.145(B)(1) or § 155.146(B)(3).

(17) Pet hotels, subject to the following limitations:

(a) **PET HOTELS** shall be limited to mean any place of business where dogs or cats are kept for boarding, and shall only be permitted as an accessory use for businesses whose principal operations include the sale of pets and pet supplies, and whose store is at least 15,000 square feet.

(b) Adequate soundproofing in any area where animals are boarded. Sleeping quarters shall be limited to 15% of the total square footage of the business.

(c) No exterior cages.

(d) Shall contain an approved air-handling system for disinfection and odor control.

(e) Shall contain adequate waste control facilities, such as a flush system or equal.

('69 Code, App. A § 35.2) (Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80; Am. Ord. 814, passed 12-10-86; Am. Ord. 1065, passed 3-2-94; Am. Ord. 1127, passed 8-2-95; Am. Ord.

1188, passed 10-16-96; Am. Ord. 1256, passed 4-15-98; Am. Ord. 1272, passed 8-5-98; Am. Ord. 1302, passed 5-5-99; Am. Ord. 1376, passed 8-1-01; Am. Ord. 1425, passed 9-18-02; Am. Ord. 1492, passed 9-1-04; Am. Ord. 1645, passed 6-3-09; Am. Ord. 1664, passed 6-16-10; Am. Ord. 1840, passed 2-3-16)

(C) Uses prohibited. The permissible uses enumerated in division (B) above shall not be construed to include, either as a principal or accessory use, any of the following, which are listed for emphasis:

- (1) Open air sale or display of machinery, farm implements, or construction equipment.
- (2) Manufacturing, except as accessory to a permitted use.
- (3) Wholesale, warehouse, or storage uses, except as provided in subdivision (B)(11) or (B)(15) above.
- (4) Pawn shop.
- (5) Flea market.
- (6) Any use first permitted in a less restricted district.

('69 Code, App. A § 35.3) (Ord. 1188, passed 10-16-96; Am. Ord. 1320, passed 12-15-99; Am. Ord. 1492, passed 9-1-04)

(D) Limitation on uses. All products produced incidental to a permitted use shall be sold at retail on the premises. All activities of permitted uses, including sale, display, preparation, and storage, shall be conducted entirely within a completely enclosed building; however, 1) drive-in type retail stores may conduct sales through open doors or windows; 2) accessory garden centers may store and conduct sales within a screened area as approved by the Planning and Zoning Board; 3) building materials may be stored within a screened area as approved by the Planning and Zoning Board.

('69 Code, App. A § 35.4) (Ord. 218, passed 10-23-69; Am. Ord. 797, passed 8-6-86; Am. Ord. 1425, passed 9-18-02)

(E) Height. No building or structure shall be erected or altered to a height exceeding 100 feet; nor shall any building abutting within 100 feet from single family zoning districts exceed two stories or 35 feet.

('69 Code, App. A § 35.5) (Ord. 218, passed 10-23-69; Am. Ord. 306, passed 12-18-72)

(F) Plot size. Plots shall have not less than 150 feet of frontage on the primary traffic artery, and not less than 100 feet in depth, nor less than 15,000 square feet in area. ('69 Code, App. A § 35.6)

(G) Yards.

(1) Front or side. Every plot shall have a front or street side yard of not less than 30 feet in depth. For buildings exceeding 35 feet in height, front yards or street side yards must be increased one foot for every two feet in height in excess of 35 feet.

(2) Side yards. Every plot shall have a side yard not less than ten feet in width, which shall be totally landscaped. For buildings exceeding 35 feet in height, side yards must be increased one foot for every five feet in height in excess of 35 feet.

(3) Rear yards. Every plot shall have a rear yard not less than 15 feet in depth.

(4) Front and street side yards. The first fifteen feet of all front and street side yards adjacent to the property line shall be fully landscaped with sod, ground shrubbery, and trees, except where crossed by permitted access driveways or walkways. The balance of the required yards may be used for parking.

(5) Alleys. Where a plot abuts a dedicated alley, one-half of the width of that alley may be considered part of the plot for the purpose of computing the depth of the minimum yards.

(6) All plots abutting a residential district or use shall have yards in accordance with § 155.056.

('69 Code, App. A § 35.7)

(Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80)

(H) Minimum floor area. The minimum floor area of a dwelling unit shall be 325 square feet. The minimum floor area of a rental sleeping room in a hotel, lodging house, tourist home, or similar use shall be 150 square feet. ('69 Code, App. A § 35.8) (Ord. 218, passed 10-23-69)

§ 155.274 STATIONS OFFERING SELF-SERVICE FACILITIES; REQUIRED SIGN.

Gasoline stations conducting business within the city, which offer self-service facilities at reduced prices, shall prominently display signs notifying holders of exemption entitlement parking permits of their right to gasoline service from the self-service facility. These signs shall indicate that an attendant will be provided upon request for service. These signs shall be affixed to each and every gasoline pump in the gasoline station and shall be written in letters not less than two inches in height.

(4) Gasoline service stations.

(a) Gasoline service station structures and canopies. Gasoline service stations may be permitted a maximum of 36 square feet of signage to be distributed on structure and canopies with letter height not to exceed 36 inches in height.

(b) Monument signs. Each gasoline service station may be permitted one double-faced monument sign not to exceed 36 square feet in size. Monument sign displays must include price panels. The monument sign may be internally illuminated, and shall not exceed seven and one-half feet in height.

1. Price panels are required to be not less than 18 square feet, and not more than 24 square feet.

2. All price panels for gasoline products at service stations shall display the highest price if there is a difference between the cash and credit prices.

(c) All price signs for gasoline products at gasoline service stations shall display separately and specifically, with equal prominence, the full-service price and the self-service price, in numbers or letters of equal size and on equally sized backgrounds with the same color combination and with equal illumination, if any. The number of signs for self-service and full-service shall be equal.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: March 20, 2018
To: SP 2018-04 file
From: Joseph Yaciuk, Planning Administrator
Re: Chevron Gas

Items that do not conform to the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide notice per Code requirements. Include HOA notice if applicable.
2. Include a detailed scope of work letter. Include all color changes, canopy changes, sign additions, ground signs, new lighting, etc...
3. Provide gross floor area and gross covered area for site.
4. Verify that plat note is consistent with proposal. Contact Thuy Turner at Broward County to confirm this item. If a plat note change is necessary then apply for one. Two issues to review:
 - Plat note restriction on plat allows for proposed development
 - Plat allows for the proposed drive ingress on Flamingo Road.
5. Parking dimensions must be 9' x 19'. Two way drive aisles must be minimum 24' wide.
6. Review access drives with engineering. One of the northern entries may need to close subject to City Commission
7. Provide colors of dumpster walls / gates. Gates must be metal. Provide a letter from WASTEPRO approving the dumpster areas. Also have WASTEPRO state that the number of dumpsters will sufficiently service the building. Have WASTEPRO commit to pick up times on the letter. Include number of pickups per week.
8. Any proposed propane storage, detail areas, vacuum locations? If so, please provide with details.
9. Provide setbacks of all new structures. Provide distances between structures also.
10. Provide building finish floor elevation. Verify finish floor elevations are acceptable to City Engineer.
11. Will there be any rooftop equipment? If so provide locations and screening details per Code.
12. Label colors of all building, car wash and canopy elevations (include trim, window frames, medallions, etc.) on architectural elevations / signs / vertical features.
13. Provide color elevations by plan.

14. Provide all color chips / material samples to be used on site. Place on a color / material board and submit.
 15. Show all details of temporary (project) signs (if applicable). Temporary signs must be consistent with the City of Pembroke Pines Code of ordinances. Provide sign schedule on a detail page. Indicate where these signs will go on site. Provide setbacks for such signage.
 16. Verify all terminal landscape islands are at minimum 11 feet wide (10 feet of that space green area).
 17. Please provide details of any proposed signs, color changes, or canopy improvements to the existing structures. Provide sign types. Provide sign matrix with area of each sign. Signs must meet Code requirements.
 18. Do you plan on lighting the canopy exterior or features on canopy exterior? If so please identify how this item is being illuminated. Illuminated features may be considered signage.
 19. Photometrics exceed Code. Please review Section 116 of the Code of ordinances.
 20. All new under canopy lights must be recessed. Staff requests that the applicant consider recessing existing lighting for consistency purposes.
 21. Provide elevations for Car Wash. Provide stacking for car wash in compliance with Code of Ordinances. Please declare whether car wash is automatic or not. Provide details of any menu sign. For purposes of this review, it is presumed that the carwash is automatic.
 22. Provide size of underground gas tanks. Tanks must meet minimum size requirements or apply for a variance.
 23. Will the monument sign replace the existing sign or will existing sign be reused? New monument must meet Code requirements.
 24. Provide new pump detail graphics.
 25. Provide all paint chips / color swatches for proposal.
 26. Provide four sided building elevation pages. Label all colors and treatments for all buildings and canopies on site.
 27. Resubmit 13 sets of full sets of plans answering all DRC comments. All changes made on these plans must be consistent on all pages of the resubmittal. Any inconsistencies in plans or new information provided may result in additional comments and possible project delays.
 28. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). **The DRC will not review your resubmittal if you fail to provide this response.**
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Recommendations:

Reference Ordinance – Gas Station Signs

155.324 (4) Gasoline service stations.

(a) Gasoline service stations may be permitted one double-faced gasoline price sign not to exceed 24 square feet in area that is an integral part of the identification ground sign. Height of the letters not to exceed one foot. This sign may be internally illuminated.

(b) Gasoline service stations may be permitted a non-illuminated double-faced price sign not to exceed 24 square feet, displaying the price for fuel. Height of the letters shall not exceed one foot. The sign shall be prominently displayed, and visible during daytime hours from passing vehicles. If the service station is located on a corner lot, it shall be permitted two non-illuminated price signs. Signs shall be fabricated out of at least 12-gauge metal. Signs built or constructed as A-frame signs are not acceptable to the city.

(c) A combination of the signs permitted in divisions (C)(4)(a) and (C)(4)(b) above shall not be permitted.

(d) All price signs for gasoline products at gasoline service stations shall display separately and specifically, with equal prominence, the full-service price and the self-service price, in numbers or letters of equal size and on equally sized backgrounds with the same color combination and with equal illumination, if any. The number of signs for self service and full service shall be equal.

(5) Theaters, playhouses, and other culturally oriented establishments shall be permitted an additional sign to those detailed in divisions (C)(1) and (C)(2) above, to display changeable copy not to exceed 50 square feet in sign area. Multiple theaters shall be permitted additional sign area, not to exceed 25 square feet per additional screen with a maximum of 175 square feet of total signage, if the theater contains eight or more screens.

(6) One nameplate or identification sign shall be permitted in the front and the rear of the building, with letters not in excess of three inches in height, and the sign area not in excess of three square feet.

(7) An hours of business sign shall be permitted on door or adjacent window with letters not in excess of two inches in height and total area not in excess of two square feet.

Lighting – Section 116

§ 116.01 PURPOSE AND INTENT.

The purpose and intent of this chapter is to ensure that exterior (outdoor) lighting positively enhances the visual impact of a building or project on surrounding properties and uses. To that end, exterior lighting at a building or project should be designed, operated, and installed in a consistent and coordinated fashion to provide safe, convenient and efficient lighting for customers, pedestrians and vehicles, and to avoid the creation of hot spots, glare, obtrusive light, light pollution, light trespass, and visual nuisance. Also, exterior lighting should accentuate key

architectural elements of the building or project, and highlight or otherwise emphasize landscape features.

(Ord. 1513, passed 4-20-05)

§ 116.02 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

FIXTURE. The assembly that houses the lamp or lamps, and may include all or some of the following parts: reflector (mirror), refractor (lens), ballast, housing, and other attachment parts.

FOOTCANDLE (F.C.). A measure of light noted as a unit of illuminance amounting to one lumen per square foot.

FULL CUTOFF FIXTURE. A lighting fixture manufactured and installed so that all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire (excepting only incidental reflections from supporting brackets or arms) is projected below the horizontal as determined by photometric test or certified by the manufacturer. Any structural part of the light fixture providing this shielding must be permanently affixed.

GLARE. Intense and somewhat blinding light, or the sensation produced by a brightness within the visual field that is sufficiently greater than the intensity of light to which human eyes are accustomed or adapted, thereby causing annoyance, discomfort, visual impairment, or loss or reduction of visibility.

HOT SPOT. An area of very high illumination above normal footcandle levels, typically found in an area underneath a luminaire, making normal f.c. levels appear relatively dark.

ILLUMINANCE. The quantity of light arriving at a surface divided by the area of the lighted surface, measured in footcandles.

LIGHT POLLUTION. Any adverse effect of manmade light, often used to denote a brightness of the night sky, commonly known as urban sky glow.

LIGHT TRESPASS. Light falling where it is not desired, wanted or needed.

LUMEN. A quantitative unit measuring the amount of light emitted by a lamp or luminaire.

LUMINAIRE. A complete lighting unit consisting of the lamp, the fixture and other parts designed to distribute the light.

OBTRUSIVE LIGHT. Light which causes annoyance, discomfort, visual impairment, or loss or reduction of visibility.

SAG LENS, CONVEX LENS OR DROP-LENS. A clear or prismatic refracting lens that extends below the lowest opaque portion of a light fixture.

SPILL LIGHT. Light which falls outside the property where the luminaire is sited.

(Ord. 1513, passed 4-20-05)

§ 116.03 GENERAL STANDARDS.

(A) *Exterior lighting plan.* An exterior lighting plan, including a photometric plan (which covers the parcel which is the site of the building or project in question), appropriate pole, fixture, and lamp cut sheets, and descriptions of lenses and appropriate data tables, shall be submitted for site plan review. The exterior lighting plan shall be prepared by a licensed professional engineer, who shall certify that the exterior lighting plan complies with this chapter. The photometric plan shall be prepared in a scale that is easily legible. The current edition of the "IES Lighting Handbook," published by the Illumination Engineers Society, 345 East 47 Street, New York, NY 10017, is the standard to be used by the engineer as a guide for the design and testing of lighting plans. The standards contained therein shall apply unless standards developed and adopted by this section or subsequent amendments are more restrictive, in which case the more restrictive standards shall apply.

(B) *Pole lighting height standard.* All private, pole mounted, outdoor surface lot lighting shall be limited to 30 feet in height above grade.

(C) *Illumination levels.* The maximum illumination for a project shall be 12 f.c. with the minimum average illumination, at grade, to be not less than two footcandles, average maintained over the site. The illumination level at the property line of any project shall be 0 f.c. To avoid glare or spill light from encroaching onto adjacent properties, illumination shall be installed with house side shields and reflectors, and shall be maintained in such a manner as to confine light rays to the premises of the building or project.

(D) *Installation.* The lighting installation shall not be placed in permanent use until a letter of compliance from a registered engineer or architect has been provided stating that installation has been field checked and meets the requirements of this chapter.

(E) *Nonconforming lighting.* When 50% or more of any component (e.g., luminaires, poles) of the exterior lighting system at a building or project is upgraded, changed, or replaced (not including regular maintenance), such component for the remainder of the exterior lighting shall be brought into substantial compliance with the requirements of this chapter.

(F) *Prohibited lighting.*

(1) High intensity, special purpose lighting such as aerial lasers and "searchlight" style lights.

(2) Low pressure sodium lighting.

(G) *Exceptions to general lighting requirements.* Public facilities including but not limited to parks; lighted recreation and athletic areas, courts and fields; and water and wastewater treatment facilities shall be exempted from these standards.

(Ord. 1513, passed 4-20-05)

§ 116.04 NON-RESIDENTIAL STANDARDS.

(A) *Light fixtures; types.*

(1) Pole mounted light fixtures on non-residential properties shall be full cutoff fixtures, and shall be incorporated as an integral design element that complements the design of the building or project through style, material or color. Exception - non-cutoff fixtures for pedestrian scale lighting for walkways may be utilized for non-residential projects upon review and approval of the Planning and Zoning Board. Planning and Zoning Board consideration may be with restrictions and shall be within the bounds of sound zoning practice and planning and in harmony with the general purpose and intent of the chapter.

(2) Lighting of buildings shall be limited to wall washer type fixtures or up-lights, which do not produce spill light or glare. Sag lenses, convex lenses, and drop lenses shall be prohibited.

(3) Security lighting. Attached building fixtures, utilized for parking lot security purposes only, may be aimed no higher than 45 degrees above straight down.

(B) *Time controls.* Non-residential lighting shall be installed with time controls which will assure that the required illumination shall be provided at dusk and that light levels are reduced not later than one hour after the close of operations to the minimum levels needed to ensure safety and security.

(Ord. 1513, passed 4-20-05)

§ 116.05 OUTDOOR RETAIL LIGHTING.

Exterior retail areas, including but not limited to car dealerships, gas stations, outdoor markets, and drive-through facilities, require lighting necessary to allow customers to comfortably review outdoor merchandise for extended times, and create safe pedestrian passage.

(A) *Canopied areas.* At a canopied area, such as those found at drive-through facilities at banks, service stations, convenience centers, and car-washes, lighting under the canopied area shall be either recessed or cut-off fixtures. The maximum, footcandle level (under such canopied area) shall be 24 f.c., with a maximum to minimum ratio of 2:1. The remainder of the site shall be subject to illumination levels required per general standards.

(B) *Car dealerships.* Car dealerships shall meet the following requirements:

(1) Display areas at dealerships for new and used products, including automobiles, trucks, recreational vehicles, motorcycles, and boats, shall have a maximum footcandle level of 24 f.c. for any row of display that is adjacent to an external road or street.

(2) The remainder of the site shall be subject to illumination levels required per general standards.

(Ord. 1513, passed 4-20-05)

W **§ 116.06 LIGHTING OF RESIDENTIAL COMMON AREAS.**

(A) Residential common areas (clubhouses, guardhouses, entry features, pool areas, private residential parks, tot lots, etc.) shall require the following light design standards.

(B) Full cutoff fixtures are required for any lamp type with an initial output of greater than or equal to 2,000 lumens.

(C) All fixture types will be allowed for any lamp types below 2,000 lumens. Shielding of fixtures is not required but recommended. Featured up lighting for landscaping, buildings, and water features may be allowed, provided light sources are completely shielded from public view.

(D) Examples of lamp types of 2,000 lumens and below are:

- (1) 100 Watt Standard Incandescent;
- (2) 15 Watt Cool White Fluorescent; and
- (3) 15 Watt Compact Fluorescent.

(Ord. 1513, passed 4-20-05)

Reference Ordinances: 155.149 GENERAL BUSINESS (B-3) DISTRICTS.

The following regulations shall apply in all B-3 Districts:

(A) Purpose of district. The B-3, General Business District, is intended to apply to arterial streets and traffic ways where business establishments, primarily not of a neighborhood or community service type, may properly locate to serve large sections of the city and metropolitan area. These businesses generally require considerable ground area, do not cater directly to pedestrians, and need a conspicuous and accessible location convenient for motorists. ('69 Code, App. A § 35.1) (Ord. 218, passed 10-23-69)

(B) Uses permitted. No building, structure, or part thereof, shall be erected, altered, or used, or land or water used, in whole or in part, for other than one or more of the following specified uses, provided, however, that no more than one of the specified uses will be permitted on a single parcel of property except as permitted by subsection (I) "Out Parcels":

(1) Any use permitted in a B-1 or B-2 District.

(2) Automobile dealership.

(a) New or used automobile, truck, and trailer sales, and repairs providing the use is located on a minimum lot size of 10 acres.

(b) Display and storage of not more than 15 utility trailers or trucks for rental purposes providing these uses are located in the rear of the principal building, and the trucks are screened from pedestrian and vehicular traffic.

(c) All automobile dealerships must include an enclosed showroom and all repair facilities must be enclosed.

(d) No temporary signs, banners, or pennants will be allowed except as expressly approved on the site plan.

(e) No signs on or within automobiles shall be visible from any public street.

(f) Customer and employee parking areas shall be shown on the site plan. No vehicles for sale may be located within these areas.

(g) Accessory automatic car wash.

(h) Accessory manual car wash/detail.

(i) No elevated vehicle display(s) for sales of vehicles.

(j) Elevated storage of vehicles shall be located to minimize visibility from street frontages and adjacent properties.

(3) Boat sales in a fully enclosed building.

(4) Home appliance repair; hand laundry; job printing shop; locksmith; sharpening and grinding; radio, television, and phonograph repair; newspaper printing plant.

(5) Boxing or sports arena, golf driving range, miniature golf course, bowling alley, skating rink, swimming pool, drive-in theater.

(6) Tire and battery store, retail plumbing and electrical fixtures; lawnmower rental, sales, and service; ship chandlery; upholstering shop utilizing the services of not more than four persons on the premises and occupying not more than 4,000 square feet of floor space; offices of electrical and plumbing contractors, including not over 4,000 square feet of enclosed storage and shop space; with no outside or open air storage of supplies or materials; used furniture and household appliances entirely within a fully enclosed building.

(7) Accessory uses and structures.

(8) Sale of used auto parts or motorcycles, inside of a fully enclosed building. Sign painting, inside of a fully enclosed building. Glass and mirror shop, awning and canvas shop, furniture repair shop, upholstering shop.

(9) Service Stations, which may include the following ancillary uses:

(a) Convenience store

(b) Food services

(c) Automatic car washes

(d) Manual car wash/detailing

(e) Automobile repair, minor

(f) Outdoor storage for lp tank exchange service

(g) Electric vehicle charging stations

(h) Ice vending machines

(i) Other uses that are approved through the city's Planning and Zoning process

Parking for Service Stations shall be according to Retail – General standards in § 155.251 of the Code of Ordinances.

(10) Car washes. All car washes shall be reviewed by the Planning & Zoning Board through the city's site plan review procedures.

(a) Self-service car wash. A structure where equipment and/or facilities are provided for the self-service application of cleaner, rinse water, waxes or polishes and other vehicle treatments to automobiles and other motor vehicles.

1. Equipment. No equipment shall be permitted except as necessary to permit self-service car-washing, drying, vacuuming directly and solely by the customer. All equipment shall be within an enclosed portion of the building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

2. Parking.

- a. A minimum of three off-street storage (stacking) spaces shall be provided at both the entrance and exit of each wash bay.
 - b. A minimum of two off-street parking spaces shall be provided per vacuum cleaning unit, not including exiting stacking spaces.
 - 3. Employees. No employees shall be permitted other than one person to maintain and service equipment and grounds.
 - 4. General design standards.
 - a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.
 - b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.
 - c. The landscape buffering and separation requirements provided in the City Code shall apply.
- (b) Accessory automatic car wash. An accessory structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes, rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.
- 1. Equipment. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property. All washing facilities shall also be equipped with a water recycling system.
 - 2. Employees. No employees shall be permitted other than one attendant to maintain and service equipment and grounds who must be present during all hours of operation. This attendant requirement shall not apply where the laundry facility is an integral and accessory part of a service station operation and attendants serve both the laundry and service station facilities.
 - 3. Parking.
 - a. A minimum of two off-street storage spaces shall be provided per vacuum cleaner.
 - b. A minimum of eight stacking spaces shall be provided on the entrance side of the facility.
 - c. A minimum of three stacking spaces shall be provided on the exit side of the facility.
 - 4. General design standards.
 - a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.
 - b. The car wash facility must demonstrate architectural compatibility with the principal structure.
 - c. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.
 - d. The landscape buffering and separation requirements provided in the City Code shall apply.
- (c) Attended automatic car wash. A structure containing facilities for washing automobiles, using production line, automated or semi-automated application of cleaner, brushes,

rinse water, steam-cleaning and heat for drying, whether or not employing a chain or other type of conveyor.

1. Equipment.

a. All washing facilities shall be within an enclosed building except that vacuuming facilities may be outside the building where the subject property is located at least 500 feet from any residentially zoned or used property.

b. No outside loudspeakers or radios are permitted. Radio station promotions and/or other activities utilizing loudspeakers or broadcasting equipment are prohibited.

c. No electrical or air driven hand tools, including but not limited to polishers and buffers, shall be utilized outside of the required building enclosure, unless the subject property is located at least 500 feet from any residentially zoned or used property.

d. All washing facilities shall be equipped with a water recycling system.

2. Parking.

a. One parking space per employee shall be provided.

b. Five parking spaces shall be provided at the exit side of the facility for final hand drying and interior cleanup and as a customer pickup area.

c. A minimum of 18 stacking spaces shall be provided on the entrance side of the facility.

3. General design standards.

a. No tunnel entrance or exit of a car wash operation shall face an adjacent residentially used or zoned property, not including those across an intervening right-of-way or street.

b. Foundation planting, a minimum of seven feet wide shall be provided adjacent to the non-vehicular access sides of the building which are in the public view.

c. The landscape buffering and separation requirements provided in the City Code shall apply.

(d) An applicant who proposes to locate electrical or air-driven hand tools or vacuuming facilities outside the building but within 500 feet from any residentially zoned or used property shall apply for Planning and Zoning Board consideration. The applicant must demonstrate and prove with substantial and competent evidence that such equipment shall not exceed the ambient noise levels as provided in the Pembroke Pines noise abatement chapter.

(e) Manual car wash/detailing. Permitted only as an accessory use to Service Stations, automobile dealerships and golf courses.

1. General design standards.

a. Manual car wash/ detailing shall be conducted under a permanently installed canopy aesthetically compatible with the primary structure.

b. The operation of such manual car wash shall not create any standing water and shall not drain directly into drainage system.

c. Required parking and site circulation for existing use(s) shall be maintained.

d. Sign(s) for car washes are restricted to car wash canopies only and are counted as part of the total allowed building signage of 36 square feet.

2. Parking. Two parking spaces are required per work station for storage, stacking, pick-up, or drop-off.

(11) Mini-warehouse as a zoning exception granted only after a public hearing before the City Commission. A zoning exception under this subdivision may be granted if the proposed facility meets the following criteria:

- (a) The facility is included within an existing or proposed shopping center that exceeds 250,000 square feet of gross building area;
- (b) The gross floor area of the proposed mini-warehouse does not exceed more than 15% of the gross building area of the shopping center where the facility is located;
- (c) The mini-warehouse bays do not have direct access to the exterior of the building in which it is located, but have access only to interior hallways. No direct access between retail areas and a mini-warehouse shall be permitted.
- (d) The mini-warehouse shall comply with all other applicable requirements of this code, including, but not limited to, site plan and off-street parking requirements.

(12) Tattoo parlor, subject to § 155.310.

(13) Storage of rental vehicles. Outside accessory storage of rental vehicles may be permitted as described below:

(a) Site plan. A site plan, or site plan amendment, describing with particularity the specific storage areas for rental vehicles for each proposed and/or existing use, must be submitted to the Planning and Zoning Board for review and approval in accordance with § 155.395 of this code. All parking for the storage of rental vehicles shall be in excess of required parking for the center. The Planning and Zoning Board must determine that the location for the storage of vehicles does not interfere or impede with the use of the parking lot for the customers, employees or owners of the other businesses in the center.

(b) Type of vehicles. Stored rental vehicles may not have more than two axles. Only vehicles that may be driven with a non-commercial driver's license issued by the Florida Department of Motor Vehicles may be stored on-site. Rental and storage of construction and heavy equipment shall not be permitted.

(c) Restrictions. No vehicles with advertising, other signage, or greater than 5,000 pounds may be parked in the front. Any such vehicles must be parked in the rear of the building and screened from adjacent residential development.

(14) Home improvement centers.

(15) Outdoor sale and display of utility trailers and barbeques accessory to home improvement centers subject to Planning and Zoning Board site plan approval.

(16) Wholesale sales, but only as an accessory use to those permitted uses enumerated in § 155.145(B)(1) or § 155.146(B)(3).

(17) Pet hotels, subject to the following limitations:

(a) **PET HOTELS** shall be limited to mean any place of business where dogs or cats are kept for boarding, and shall only be permitted as an accessory use for businesses whose principal operations include the sale of pets and pet supplies, and whose store is at least 15,000 square feet.

(b) Adequate soundproofing in any area where animals are boarded. Sleeping quarters shall be limited to 15% of the total square footage of the business.

(c) No exterior cages.

(d) Shall contain an approved air-handling system for disinfection and odor control.

(e) Shall contain adequate waste control facilities, such as a flush system or equal.

('69 Code, App. A § 35.2) (Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80; Am. Ord. 814, passed 12-10-86; Am. Ord. 1065, passed 3-2-94; Am. Ord. 1127, passed 8-2-95; Am. Ord.

1188, passed 10-16-96; Am. Ord. 1256, passed 4-15-98; Am. Ord. 1272, passed 8-5-98; Am. Ord. 1302, passed 5-5-99; Am. Ord. 1376, passed 8-1-01; Am. Ord. 1425, passed 9-18-02; Am. Ord. 1492, passed 9-1-04; Am. Ord. 1645, passed 6-3-09; Am. Ord. 1664, passed 6-16-10; Am. Ord. 1840, passed 2-3-16)

(C) Uses prohibited. The permissible uses enumerated in division (B) above shall not be construed to include, either as a principal or accessory use, any of the following, which are listed for emphasis:

- (1) Open air sale or display of machinery, farm implements, or construction equipment.
- (2) Manufacturing, except as accessory to a permitted use.
- (3) Wholesale, warehouse, or storage uses, except as provided in subdivision (B)(11) or (B)(15) above.
- (4) Pawn shop.
- (5) Flea market.
- (6) Any use first permitted in a less restricted district.

('69 Code, App. A § 35.3) (Ord. 1188, passed 10-16-96; Am. Ord. 1320, passed 12-15-99; Am. Ord. 1492, passed 9-1-04)

(D) Limitation on uses. All products produced incidental to a permitted use shall be sold at retail on the premises. All activities of permitted uses, including sale, display, preparation, and storage, shall be conducted entirely within a completely enclosed building; however, 1) drive-in type retail stores may conduct sales through open doors or windows; 2) accessory garden centers may store and conduct sales within a screened area as approved by the Planning and Zoning Board; 3) building materials may be stored within a screened area as approved by the Planning and Zoning Board.

('69 Code, App. A § 35.4) (Ord. 218, passed 10-23-69; Am. Ord. 797, passed 8-6-86; Am. Ord. 1425, passed 9-18-02)

(E) Height. No building or structure shall be erected or altered to a height exceeding 100 feet; nor shall any building abutting within 100 feet from single family zoning districts exceed two stories or 35 feet.

('69 Code, App. A § 35.5) (Ord. 218, passed 10-23-69; Am. Ord. 306, passed 12-18-72)

(F) Plot size. Plots shall have not less than 150 feet of frontage on the primary traffic artery, and not less than 100 feet in depth, nor less than 15,000 square feet in area. ('69 Code, App. A § 35.6)

(G) Yards.

(1) Front or side. Every plot shall have a front or street side yard of not less than 30 feet in depth. For buildings exceeding 35 feet in height, front yards or street side yards must be increased one foot for every two feet in height in excess of 35 feet.

(2) Side yards. Every plot shall have a side yard not less than ten feet in width, which shall be totally landscaped. For buildings exceeding 35 feet in height, side yards must be increased one foot for every five feet in height in excess of 35 feet.

(3) Rear yards. Every plot shall have a rear yard not less than 15 feet in depth.

(4) Front and street side yards. The first fifteen feet of all front and street side yards adjacent to the property line shall be fully landscaped with sod, ground shrubbery, and trees, except where crossed by permitted access driveways or walkways. The balance of the required yards may be used for parking.

(5) Alleys. Where a plot abuts a dedicated alley, one-half of the width of that alley may be considered part of the plot for the purpose of computing the depth of the minimum yards.

(6) All plots abutting a residential district or use shall have yards in accordance with § 155.056.

('69 Code, App. A § 35.7)

(Ord. 218, passed 10-23-69; Am. Ord. 548, passed 11-5-80)

(H) Minimum floor area. The minimum floor area of a dwelling unit shall be 325 square feet. The minimum floor area of a rental sleeping room in a hotel, lodging house, tourist home, or similar use shall be 150 square feet. ('69 Code, App. A § 35.8) (Ord. 218, passed 10-23-69)

§ 155.274 STATIONS OFFERING SELF-SERVICE FACILITIES; REQUIRED SIGN.

Gasoline stations conducting business within the city, which offer self-service facilities at reduced prices, shall prominently display signs notifying holders of exemption entitlement parking permits of their right to gasoline service from the self-service facility. These signs shall indicate that an attendant will be provided upon request for service. These signs shall be affixed to each and every gasoline pump in the gasoline station and shall be written in letters not less than two inches in height.

(4) Gasoline service stations.

(a) Gasoline service station structures and canopies. Gasoline service stations may be permitted a maximum of 36 square feet of signage to be distributed on structure and canopies with letter height not to exceed 36 inches in height.

(b) Monument signs. Each gasoline service station may be permitted one double-faced monument sign not to exceed 36 square feet in size. Monument sign displays must include price panels. The monument sign may be internally illuminated, and shall not exceed seven and one-half feet in height.

1. Price panels are required to be not less than 18 square feet, and not more than 24 square feet.

2. All price panels for gasoline products at service stations shall display the highest price if there is a difference between the cash and credit prices.

(c) All price signs for gasoline products at gasoline service stations shall display separately and specifically, with equal prominence, the full-service price and the self-service price, in numbers or letters of equal size and on equally sized backgrounds with the same color combination and with equal illumination, if any. The number of signs for self-service and full-service shall be equal.

CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
Environmental Services/Engineering Division

DRC REVIEW FORM



March 19, 2018

CHEVRON GAS STATION – (1501 South Flamingo Road)
SP 2018-04/PRJ 2018-05

To: Joseph Yaciuk, Planning Coordinator
Planning and Economic Development Department

From: John L. England, P.E., Assistant City Engineer
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046

COMMENTS/RECOMMENDATIONS:

1. Provide a MTUCD compliant ‘Pedestrian Crossing’ on the west side of the building. All appropriate pavement markings and signage must be provided for this “mid-block” considered crossing, including applicable signage for each approach.
2. Designate the proposed Concrete Sidewalks on both the east and west side of the ‘Pedestrian Crossing’ as having any applicable ‘Curb Ramp’ per FDOT Index 304 with the appropriate ‘CR Type’ or as having a ‘Maximum Slope Of Not To Exceed 1:20 For ADA Compliance’.
3. Provide City Code compliant Standard and Accessible Parking Spaces. Typical Code compliant Standard and Accessible Parking Spaces are 9’x19’ and 12’x19’, respectively, with a 3’ Clear Overhang from the front of the either the Code required ‘Wheel Stop’ or face of ‘Type D Curb’. The proposed ‘6” Concrete Filled Bollards’ cannot be within the required 3’ Clear Overhang area, thus reducing the Code required clear space length. The proposed ‘Bollards’ can be located within the proposed ‘Concrete Sidewalk’ limits, as long as the minimum clear sidewalk width as required per ADA standards for ‘Accessible Routes’ and per applicable City and FBC requirements are being met/provided. Accordingly, revise the current ‘Typical Parking And Bumper Post Detail’ on the Site Plan to address the aforementioned City Code parking requirements and the attached latest revised City Standard Detail R-32, ‘Accessible Parking Space Details’ as applicable to the final proposed parking space design.

**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE IN
LETTER FORMAT ACCOMPANIED WITH THE PLANS.**

Note that it will be necessary to process for a Variance to provide the proposed parking spaces flush with the proposed Concrete Sidewalk at the front of the spaces, as the City Code requires either “*Continuous Concrete Curbing or Individual Six Foot Long Wheel Stops Shall Be Installed For Each Space*”.

4. Provide a separate Pavement Markings and Signage Plan for the onsite improvements area in the DRC plans set. All proposed ‘Vehicular Traffic’ related pavement markings and signage must be shown and designated/labelled on both plans.
 5. Provide the following ‘Notes’ on the both the Site Plan and the required separate Pavement Markings and Signage Plan to be added to the plans set:
 - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MTUCD) STANDARDS.
 - ALL PAVEMENT MARKINGS SHALL BE 6" THERMOPLASTIC MATERIAL MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" REFLECTORIZED PAINT MEETING THE BCTED STANDARDS.
 - ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, RAMPS AND ACCESSIBLE ROUTES MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, ‘ACCESSIBILITY’.
 - PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) ‘DESIGN STANDARDS’, INDEX NOS. 17346 AND 17355.
 - ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT ‘DESIGN STANDARDS’, INDEX NO. 304.
 - WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE AND THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST MARKING.
 6. The Broward County Traffic Engineering Division (BCTED) ‘Pavement Markings and Signs Details’ sheet must be included in the DRC plans set.
 7. Per City Code and Environmental Public Services/Engineering Division Standards, all pavement markings and signage must be per BCTED and MTUCD standards. Accordingly, replace the current ‘Stop Sign’, ‘Do Not Enter Sign’ and ‘Accessible
- ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE IN
LETTER FORMAT ACCOMPANIED WITH THE PLANS.**

Parking Sign' details with the typical applicable BCTED Details. (Refer to the attached BCTED 'Stop Sign Assembly' Detail and 'Ground Mounted Sign' Details for replacement use).

8. It is recommended that bollards be designed in accordance with the applicable impact protection as defined by ASTM F3016/F3016M-14.
9. Note that both Florida Department of Transportation (FDOT) and Broward County Highway Construction and Engineering Division (BCHCED) approvals/permits are required for the proposed roadway modifications within Flamingo Road.
10. Provide the City Fire required 'Typical 20' Wide Shaded Fire Access Route' throughout the proposed project site with the 38' inside, 50' centerline and 62' outside radii depicted and noted along the route. Recommend providing on a separate plan sheet for clarification and City Fire review use. Recommend revising the drawing name for Sheet C-2.7 to 'Fire Truck Autoturn Plan', which will allow for the added plan (Sheet C-2.8) to be named 'Fire Truck Access/Route/Path Plan'.
11. Proposed 'Grading and Drainage System' design must meet the requirement of the South Broward Drainage District and the any applicable underlying South Florida Water Management District Permit' conditions/requirements. A separate DRC submittal is required to be made to the SBDD for DRC approval/sign-off, which is a condition of City Engineering DRC sign-off of the proposed project for presentation for Planning and Zoning Board for their consideration. Provide the SBDD's 'Standard Details Sheet' in the DRC plans set.
12. Provide appropriate Paving and Grading Details. Specifications and Sections applicable to the proposed paving and curbing related onsite improvements for DRC review purposes.
13. Provide a second Fire Hydrant to meet the City Fire requirements should a second existing Fire Hydrant not be within 400' of the building entrance.
14. Proposed 'Utility Plan-Water and Sewer' seems to indicate a 'New 8" WM' running east to west on the south side of the building. City records indicate that this water main actually exists. Correct plan to indicate that the water main is existing.
15. Description for the new 'Water Service' should note "New 2" Water Service w/2' Water Meter/Box (By City) & Backflow Preventer", instead of the current noted "8x8x2 Tee" description.
16. Separation of utilities must comply with the City's current standards per City Standard Detail G-4, 'Utility Crossing Requirements' unless otherwise approved by the City Engineer for a specific problematic crossing. Revise the Utility Plan to reflect the City's utility separation requirements by replacing the current "Separation Statement" with the attached City Standard Detail G-4.
17. For the proposed Car Wash, provide a 'Stacking Report/Information' for the AM and PM Peak Hours based upon "historic" and/or projected data for review by the City's traffic engineering consultant. The report/information should include the applicable aerial/existing conditions sketches/diagrams depicting the extent of the

ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE IN LETTER FORMAT ACCOMPANIED WITH THE PLANS.

- maximum anticipated vehicular stacking for the proposed Car Wash per the report findings
18. Reflect the existing/proposed water and sewer system mains/service lines on the landscape plan with any applicable easements for clarification and DRC review purposes.
 19. Additional Traffic Engineering 'Comments' applicable to the proposed project will be forthcoming in the near future by way of an updated 'Engineering DRC Comments Memo' based upon receipt of comments from the City's Traffic Engineering Consultant.

**ALL RE-SUBMITTALS MUST HAVE AN ITEMIZED RESPONSE IN
LETTER FORMAT ACCOMPANIED WITH THE PLANS.**

**DRC REVIEW COMMENTS
CITY OF PEMBROKE PINES**

**AGENCY: SOUTH BROWARD DRAINAGE DISTRICT
CONTACT: KEVIN HART, P.E. (954)680-3337**

PROJECT NAME: Chevron Gas Station – SP 2018-04

DATE: 3/16/2018

**THE SITE PLAN FOR THE ABOVE-REFERENCED PROJECT HAS BEEN
REVIEWED BY THE DISTRICT AND THE FOLLOWING COMMENTS MUST
BE MET ADDRESSED/SATISFIED/NOTED:**

1. A Paving and Drainage Permit will be required from SBDD.
2. Provide drainage calculations for the site to include:
 - Land Use breakdown.
 - Stage-Storage calculations.
 - Water quality calculations
 - Pretreatment calculations.
 - Basin storage calculations.
 - Flood routing calculations for the 10-year, 3-day and 100-year, 3-day storm events.
 - Pre/Post storage and discharge calculations.
 - Pipe sizing calculations.
3. Provide a copy of the master SFWMD permit for this property.
4. A 20-foot Drainage Easement will be required over the outfall pipe for the site. Please label on the Paving & Drainage Plan, and provide a sketch & legal description for the easement.
5. Indicate the vertical datum on the engineering plans and provide a conversion between NGVD 29 and NAVD 88 on the plans.
6. Provide a detail for the Control Structure and Pollution Retardant Basin (PRB) for the site.
7. Provide additional information (grading and flow patterns) to demonstrate that the new turn lane off of Flamingo Road will not impact existing drainage patterns.
8. Provide cross-sections across all property lines.
9. Include SBDD's current detail sheet on the SBDD permit set.
10. Indicate how the roof drainage is being handled.

11. All drainage structures will need to meet SBDD criteria for sumps and clearances.
12. All drainage inlets in grass areas will require a 12" concrete apron.
13. The property owner shall be required to enter into an Indemnification & Maintenance Agreement for the property.
14. Portions of the existing drainage system (downstream) may require cleaning upon completion of construction. To be determined in the field by SBDD.
15. Additional comments may be forthcoming upon review of the final P&D Plans.

(REGARDLESS OF APPLICABLE COMMENTS, THE PETITIONER IS NOT EXEMPT FROM MEETING ALL STORMWATER MANAGEMENT REGULATIONS, STANDARDS AND PROCEDURES AS OUTLINED IN THE SBDD DESIGN CRITERIA MANUAL DATED March 26, 2015.)

(ALL STANDARD COMMENTS WILL BE GIVEN TO THE PETITIONER ON A SEPARATE HANDOUT. THE PETITIONER WILL ONLY BE REQUIRED TO RESPOND TO THE COMMENTS RAISED ON THE DRC REVIEW FORM.)

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY** Prevention Captain Daniel Almaguer
(954) 499-9560

PROJECT NAME: Chevron Gas Station #358
REFERENCE #: SP 2018- 04
DATE REVIEWED: 03/13/2018

ITEMS WHICH DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS:

All submittals for Site Plan Approval must first be stamped by our Planning Department and delivered by planning per their procedures.

- 1.** Submit **full sized "scaled"** drawing to **(20, 30, or 40 engineering scale)** depicting the required fire access road dimensions and radii **into** and **out** of the site. Also, you must **provide** a **"shaded"** **fire truck access route on a separate sheet.**

- 2. NOTE: In every case, at least two fire hydrants shall be within 400 feet of the entrance of any building** and be spaced 500 feet apart throughout. *Measurements taken as the fire truck travels.* COPP CO 93.25 (C)(G)

- 3.** Please add **ALL** of the following **Fire Notes (a thru z)** on a separate "Fire Plan" sheet.
 - a) Access to Building.** A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building. **NFPA 1-18.2.3.2.1**

 - b)** Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (450 ft. for sprinklered buildings) from fire department access roads as measured by an approved route around the exterior of the building or facility. **NFPA 1-18.2.3.2.2** and **NFPA 1-18.2.3.2.2.1**

 - c) Dimensions.** Fire department access roads for fire department use only shall have an unobstructed width of not less than 20ft.

 - d) Turning Radius.** Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout. *COPP Engineering department verification is required.* **COPP CO 154.35 (3)**

 - e)** *"All centerline turning radii must be a minimum 50 feet."*

 - f) Dead Ends.** Dead end streets shall be prohibited, except where appropriate as stubs to permit future street extension into adjoining un-subdivided tracts, or when designed as cul-de-sacs.

COPP CO 154.32 (K)

g) Dead-end fire department access roads in excess of **150 ft** in length shall be provided with approved provisions for the fire apparatus to turn around.

NFPA 1 -18.2.3.4.4

h) Grade. The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. **NFPA 1-18.2.3.4.6.2**

i) Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each of the fire lane. **NFPA 1-18.2.3.4.6.3**

j) Fire Hydrant Spacing and Installation. The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. **NFPA 1-18.5.1**

k) Fire hydrants and connection to other approved water supplies shall be accessible to the fire department. (Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions). **NFPA 1-18.5.2**

l) A 15 ft. clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. **NFPA 1-18.5.3**

m) Where required by the AHJ, fire hydrants subject to vehicular damage shall be protected unless located within a public right of way. **NFPA-1:18.5.5**

n) Marking of Hydrants. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by the AHJ. **NFPA-1:18.5.7**

o) Fire hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight – inch looped water line in city rights-of-way or easements and shall not be spaced not further than **500 feet apart** as measured along street or alleys. **COPP CO 93.25 (C) (Once proper scale is provided the fire hydrant spacing will be verified)**

NOTE: Where new hydrants are required to meet spacing, hydrants shall be placed at the entrances to access roads and entrances to the complex. *Measurements taken as the fire truck travels. Engineering department verification required.*

p) Fire hydrants 4 1/2 inch streamer cap shall face the nearest roadway, shall be between 24 inches and 30 inches above ground, and require a blue reflector in center of roadway in front of the hydrant. **COPP CO 93.25 (E) – Fire Hydrant Detail to be provided on submittal.**

q) No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street.

COPP CO 93.25 (F)

In every case, at least two fire hydrants shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. *Measurements taken as the fire truck travels.*

COPP CO 93.25 (C) (G)

Buildings with standpipes/sprinklers require a fire hydrant within 100 feet of each standpipe/sprinkler Fire Department connection. **COPP CO 93.25 (D) and**

NFPA 14-6.4.5.4 (2010)

r) Location of Fire Department Connections. Fire department connections should be located and arranged so that hose lines can be readily and conveniently attach without interference from nearby objects, including buildings, fences posts, or other department connections. **NFPA 14-6.4.5.1.1 (2010)**

s) Fire department connections shall be visible and recognizable from the street of nearest point of fire department apparatus accessibility or on the street side of building. NFPA 14-6.4.5.1(2010) (add this comment to your plans)

t) NOTE: Fire department connections shall also be shown on same side of the street as the fire hydrant. **SHOW ALL FIRE DEPARTMENT CONNECTIONS (FDC's) LOCATIONS**

u) Each fire department connection to sprinkler systems shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic materials with red and white letters , having raised or engraved letters at least 1 in. in height on plate of fitted reading service sign that shall be attached to the exterior of the building adjacent to the connection or on the connection, secured with substantial and corrosion resistant fasteners– for example, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE as applicable. NFPA 14-6.4.5.2.1 (2010)

v) The fire department connection should be located not less than 18" or more than 4' above grade. Pembroke Pines Fire Department requires FDC to be installed at 3' above grade. NFPA 14-6.4.6 (2010)

w) Point of Service. Show and label point of service on water Civil plans, the tie in where the water is being used exclusively for the sprinkler/standpipe system.

x) A Florida Certified Sprinkler Contractor shall pull permits and begin work from the point of service. FAC 69A-46.040 (2)

y) Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighting a minimum of 32 tons) and shall be provided with an all-weather driving surface. **NFPA 1-18.2.3.4.2**

z) Note: Roads during Construction.

Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

4. Please show on the fire department access page the vertical clearance of the "pass through" at 13'- 6"

Vertical clearance. Fire department access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in. NFPA1-18.2.3.4.1.2** (Permanent, weatherproof signage) where applicable. (Applicable areas are truck access routes.)

5. Two-Way Radio Communication Enhancement Systems. NFPA 1 - 11.10, 2012 edition.

In all new and existing buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. NFPA 1 -11.10.

MEMORANDUM

February 1, 2018

To: Joe Yaciuk
Planning Administrator

From: Dean A. Piper
Zoning Administrator

Re: SP 2018-04 (Chevron Gas Station @ 1501 S Flamingo Rd.: PRJ 2018-05)

The following are my comments regarding the above Site Plan:

1. Plans show existing underground tanks as remaining. Confirm they meet all current environmental standards/regulations and if there will be any new tanks added with the addition of 6 new pumps. Note: Any new tanks must meet current City Code for size.
2. Is there any consideration of a hand car wash being added? If so, provide all details with this submittal.
3. Parking space dimensions are a minimum 9' x 19' paved.
4. Landscape islands at the end of parking spaces must be a minimum 10' wide from inside of curb to inside of curb.
5. City Code requires tire stops, or "D" type curbing, at the end of parking spaces. Proposed bollards will require a variance request.
6. Provide width of landscape buffer along Flamingo Road.
7. Provide all color names, color numbers, finishes, materials, etc. on all elevations of building and canopies.
8. Provide all details, dimensions, location(s), etc. of all building signs, monument signs, etc.
9. Will there be a temporary announcing sign? If so, show location and provide elevation of sign showing all details. Note: If not provide as part of this submittal and proposed at a later date, this will need P & Z Board approval by itself.
10. Provide letter from Waste Pro approving dumpster location and refuse plan.
11. Provide Broward County approval that additional square footage is allowed by existing Plat Note.
12. Maximum photometric reading is 12 foot candles in parking lot and 24 foot candles under canopies.
13. Provide "heat" level of fixtures to show they meet code maximum of 4,000 K's.
14. Provide light detail/cut sheet for fixtures under canopy to show they are recessed with full cut off fixtures.

Please contact me with any questions.

SUBJECT SITE AERIAL PHOTO

Chevron Gas Station #358



CHEVRON GAS STATION #358 IMPROVEMENTS FOR SUNSHINE GASOLINE DISTRIBUTORS, INC.

1501 S. FLAMINGO ROAD, PEMBROKE PINES, FLORIDA

OWNER :

SUNSHINE GASOLINE DISTRIBUTORS
1650 N.W. 87th AVENUE
DORAL, FLORIDA 33172

ENGINEER:

MDM SERVICES, INC.
LIC. No. EB 4857
3251 S.W. 13th DRIVE, SUITE "D"
DEERFIELD BEACH, FL 33442
(954) 427-3076

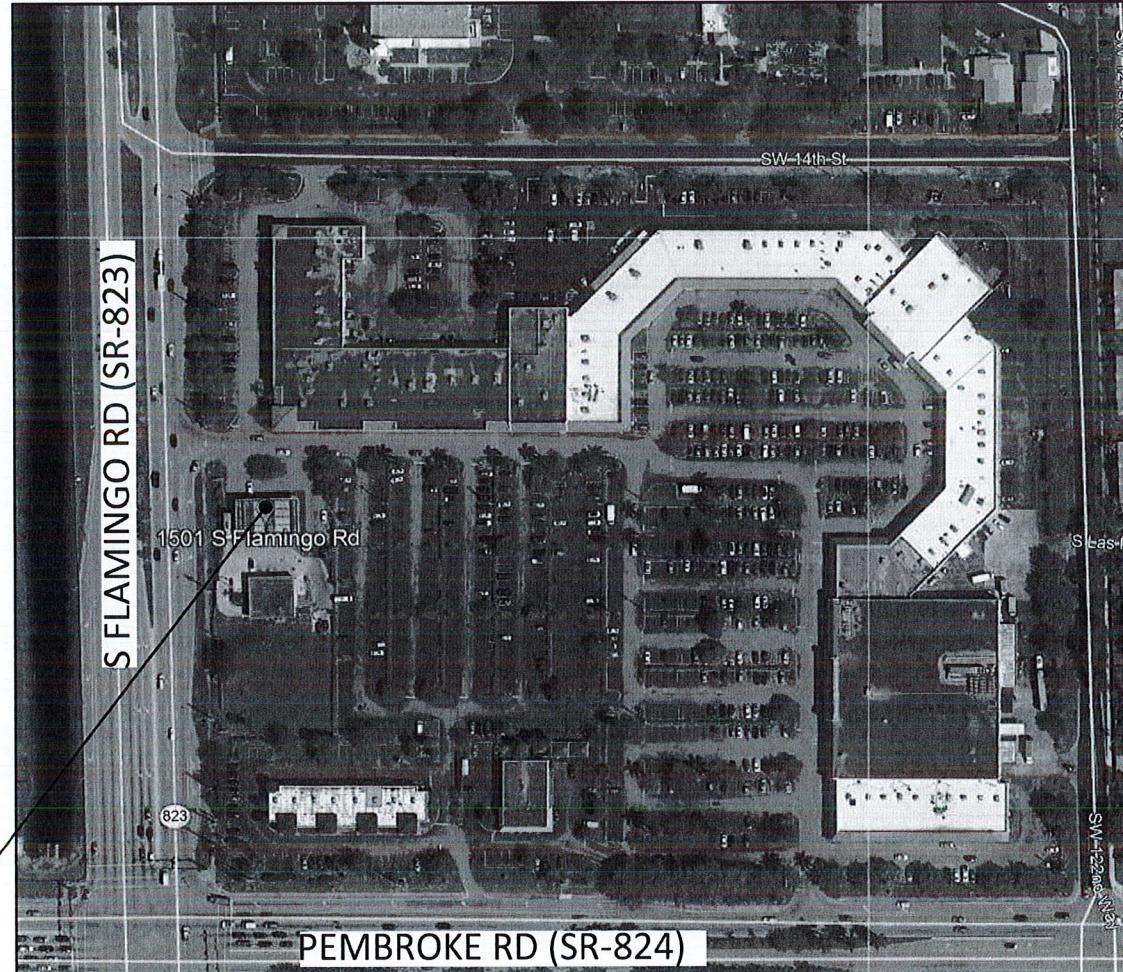
SURVEYOR:

BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC.
641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
(772) 334-0868

FDOT GENERAL NOTES

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT DESIGN MANUAL AND ARE GOVERNED BY THE LATEST EDITION OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT DESIGN STANDARDS.

SITE



City of Pembroke Pines
Received

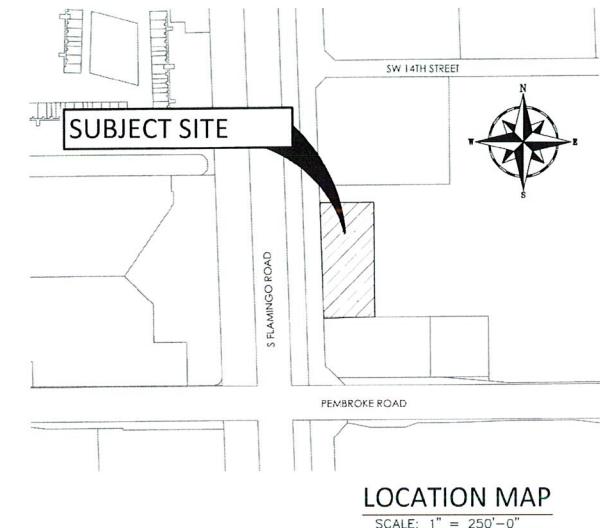
FEB 20 2019

Planning & Economic Development



SHORT LEGAL DESCRIPTION

PEMBROKE LAKES SOUTH 119-1 B POR TR C-2 DESC AS: COMM AT
W 1/4 COR SEC 24, E 200, N 247.08 TO POB N 330.90, E 158.05, S
330.78, E 149.99 TO POB.



LOCATION MAP

SCALE: 1" = 250'-0"

COVER SHEET

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

DRAWING LIST:

SITE & CIVIL:

| | |
|--------|--|
| CV | COVER SHEET |
| SV-1 | SURVEY |
| C-1.0 | DEMOLITION SITE PLAN |
| C-1.1 | EROSION CONTROL |
| C-1.2 | EROSION CONTROL DETAILS & NOTES |
| C-2.0 | SITE PLAN |
| C-2.1 | SITE PLAN DETAILS |
| C-2.2 | RT. TURN LANE - DEMO |
| C-2.3 | RT. TURN LANE PLAN |
| C-2.4 | RT. TURN LANE MOT |
| C-2.5 | FUEL DELIVERY PLAN |
| C-2.6 | REFUSE COLLECTION PLAN |
| C-2.7 | FIRE TRUCK ACCESS / ROUTE / PATH PLAN |
| C-2.8 | FIRE PLAN DETAILS |
| C-2.9 | FIRE PLAN DETAILS |
| C-2.10 | COMMERCIAL DELIVERY PLAN |
| C-3.0 | GRADING & DRAINAGE PLAN |
| C-3.1 | DRAINAGE DETAILS |
| C-3.2 | CROSS SECTION DETAIL |
| C-3.3 | DRAINAGE AREA MAP |
| C-4.0 | UTILITY PLAN |
| C-5.0 | SITE SIGNAGE, PAVEMENT MARKING & STRIPING |
| C-5.1 | SIGNAGE, PAVEMENT MARKING, STRIPING & TURNLANE DETAILS |
| C-5.2 | SIGNAGE, PAVEMENT MARKING & STRIPING DETAILS |
| C-5.3 | SIGNAGE, PAVEMENT MARKING & STRIPING DETAILS |
| PH-1.0 | PHOTOMETRIC PLAN |
| PH-2.0 | LIGHTING PLAN DETAILS |
| TE-1.0 | TRASH ENCLOSURE & DETAILS |
| L-1.0 | LANDSCAPE PLAN |
| L-2.0 | TREE DISPOSITION |
| L-3.0 | SPECIFICATIONS SHEET |
| L-4.0 | IRRIGATION PLAN |

BUILDING

| | |
|--------|---|
| A-1.0 | FLOOR PLAN |
| A-2.0 | EXTERIOR BUILDING ELEVATIONS |
| A-2.01 | EXTERIOR BUILDING ELEVATIONS |
| A-2.02 | EXTERIOR BUILDING ELEVATIONS (BOARD ATTACHED) |
| A-2.2 | EXTERIOR BUILDING ELEVATIONS |

MDM
engineering environmental construction

3251 SW 13th DRIVE, SUITE "D", DEERFIELD BEACH, FL 33442
LIC. NO. EB 4857

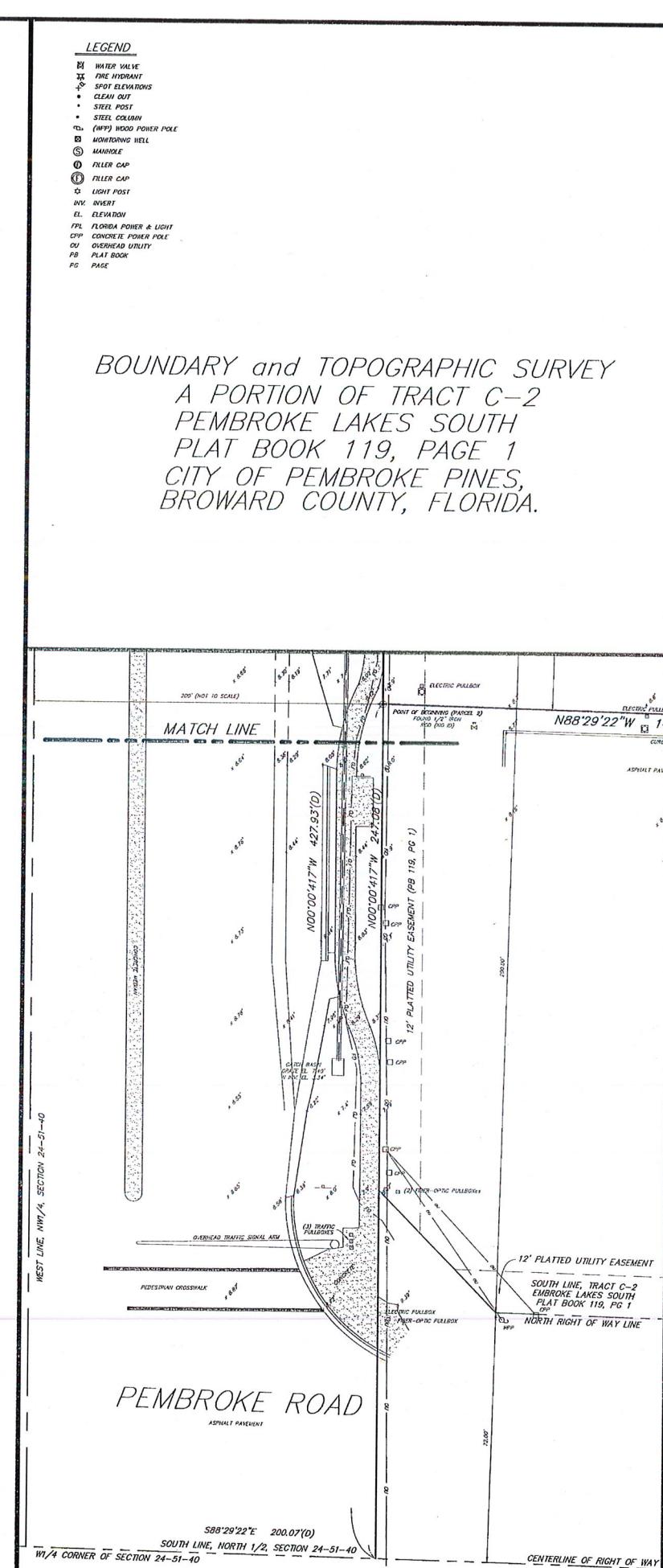
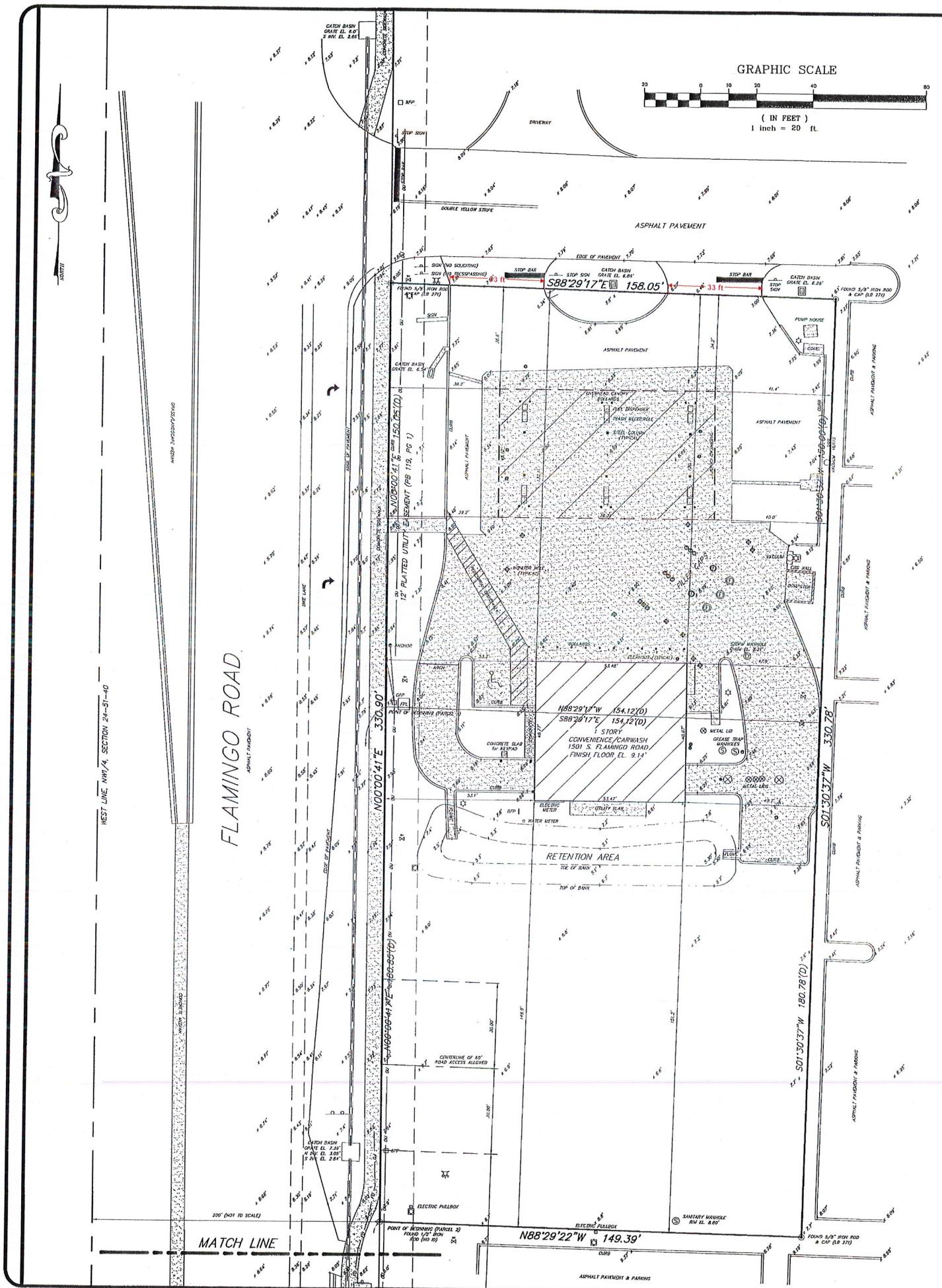
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6/34 00 02 23 C1 D1 08 CFCs

RICHARD R. MORRIS
FL REG # 34748

JOB # 15039

DWG # CV

SHEET NUMBER



LEGAL DESCRIPTION:

PARCEL 1
A PORTION OF TRACT C-2, PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 119, AT PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY,
FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE WEST 1/4 CORNER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 40 EAST
AS SHOWN ON SAID PLAT OF PEMBROKE LAKES SOUTH; THENCE RUN SOUTH 88°29'22" EAST ON
PEMBROKE ROAD ALONG THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 24 FOR 200.07
FEET; THENCE RUN NORTH 00°00'41" EAST ALONG A LINE 200.00 FEET EASTERLY OF AND
PARALLEL WITH THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 24 FOR 427.93 FEET
TO THE POINT OF BEGINNING OF THE PARCEL OF LAND THEREINAFTER DESCRIBED; THENCE
CONTINUE NORTH 00°00'41" EAST ALONG THE LAST DESCRIBED COURSE FOR 150.05 FEET;
THENCE RUN SOUTH 88°29'17" EAST FOR 158.05 FEET; THENCE RUN SOUTH 01°30'43" WEST
FOR 150.00 FEET; THENCE RUN NORTH 88°29'17" WEST, FOR 154.12 FEET TO THE POINT OF
BEGINNING, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

PARCEL 2
A PORTION OF TRACT C-2, PEMBROKE LAKES SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 119, AT PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE WEST 1/4 CORNER OF SECTION 24, TOWNSHIP 51 SOUTH, RANGE 40 EAST AS SHOWN ON SAID PLAT OF PEMBROKE LAKES SOUTH; THENCE RUN SOUTH 88°29'22" EAST ON PEMBROKE ROAD ALONG THE SOUTH LINE OF THE NORTH 1/2 OF SAID SECTION 24 FOR 200.07 FEET; THENCE RUN NORTH 00°00'41" EAST ALONG A LINE 200.00 FEET EASTERLY OF AND PARALLEL WITH THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 24 FOR 247.08 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND THEREINAFTER DESCRIBED; THENCE CONTINUE NORTH 00°00'41" EAST ALONG THE LAST DESCRIBED COURSE FOR 180.05 FEET; THENCE RUN SOUTH 88°29'17" EAST FOR 154.12 FEET; THENCE RUN SOUTH 01°30'38" WEST FOR 180.78 FEET; THENCE RUN NORTH 88°29'22" WEST, FOR 149.39 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

BOUNDARY and TOPOGRAPHIC SURVEY
A PORTION OF TRACT C-2
PEMBROKE LAKES SOUTH
PLAT BOOK 119, PAGE 1
CITY OF PEMBROKE PINES,
BROWARD COUNTY, FLORIDA.

- SURVEYOR'S NOTES:**

 1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
 2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
 3. LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF N.00°00'41"E. ALONG THE EAST RIGHT OF WAY LINE OF FLAMINGO ROAD.
 5. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 6. LEGAL DESCRIPTION FURNISHED BY CLIENT.
 7. SITE AREA: 50848.72 SQUARE FEET OR 1.17 ACRES MORE OR LESS.
 8. THIS SITE LIES IN FLOOD ZONE 'X' AS SCALED AND INTERPOLATED FROM FEMA MAP PANEL NO. 12011C-0710-H, DATED: AUGUST 18, 2014.
 9. LIMITS OF JURISDICTIONAL WETLANDS, DITCHES, DRAINAGE WAYS, WATER FLOWS, AND/OR BODIES OF WATER, IF ANY, ARE NOT DETERMINED BY THIS SURVEY. CLIENT IS ADVISED TO CONTACT APPROPRIATE GOVERNING AGENCIES FOR POSSIBLE LIMITS OF JURISDICTION.
 10. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 11. BEARINGS, ANGLES AND DISTANCES SHOWN HEREON ARE BASED ON PLAT, UNLESS OTHERWISE SHOWN.
 12. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, IS NOT ADDRESSED BY THIS SURVEY.

SURVEYOR'S CERTIFICATION:

SURVEYOR'S CERTIFICATION: SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

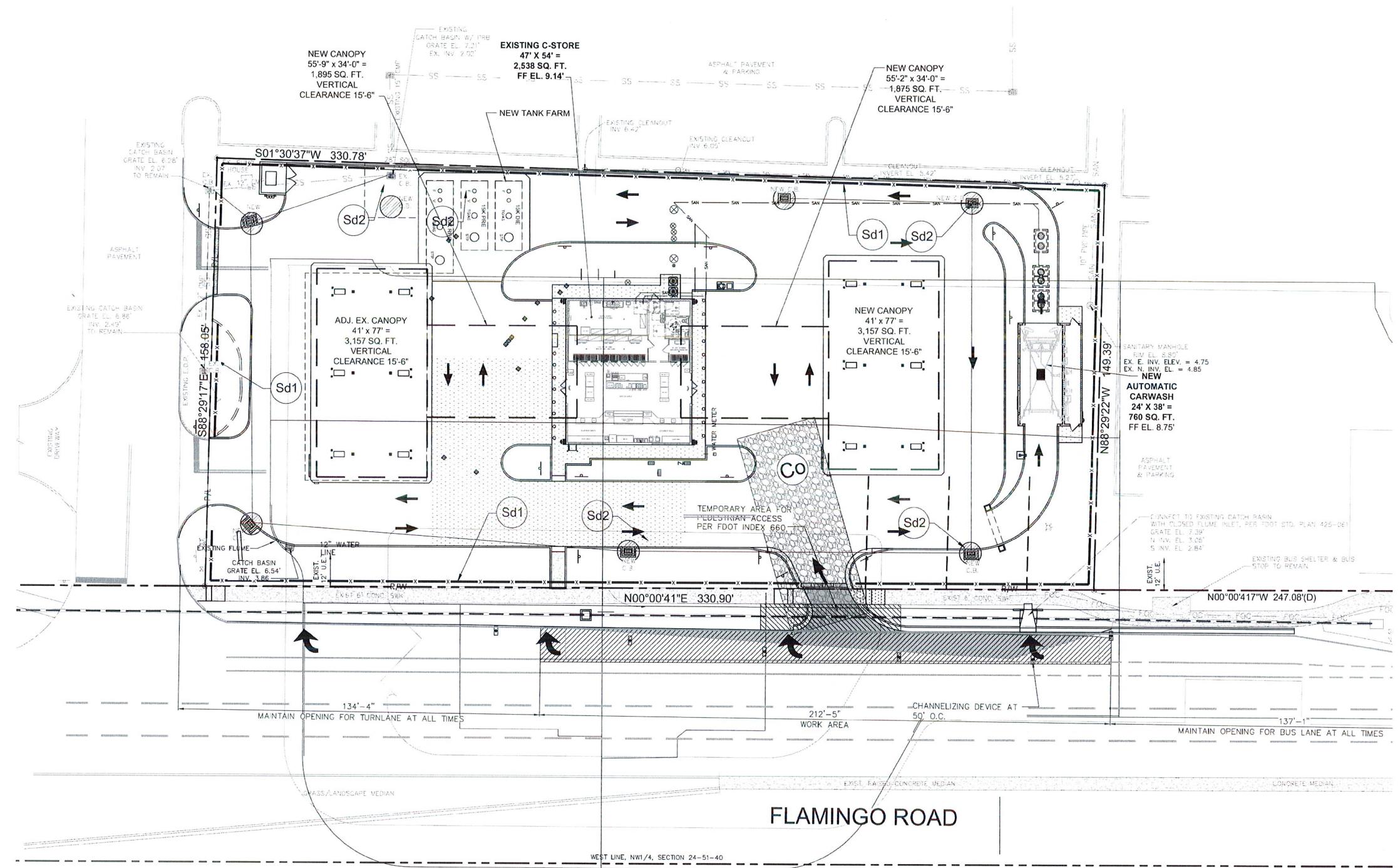
ROBERT BLOOMSTER JR.
PROFESSIONAL LAND SURVEYOR

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.

641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0868

SUNSHINE GASOLINE DISTRIBUTORS, INC.
501 SOUTH FLAMINGO ROAD
BROWARD COUNTY, FLORIDA

| | |
|---------------------------------|--------------|
| SHEET 1 OF 1 | |
| DRAWN BY: | DPK |
| SCALE: | 1" = 20' |
| FIELD WORK COMPLETED: 4/28/2016 | |
| FIELD BOOK: SKETCH | |
| JOB NO. 12179 | |
| REVISIONS | |
| DATE: | DESCRIPTION: |
| | |



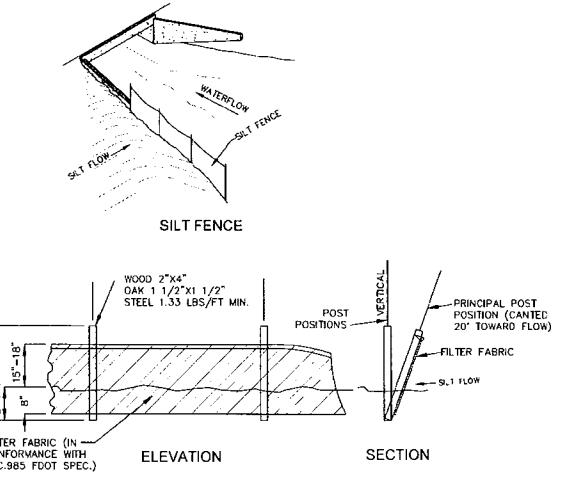
FOR EROSION DETAIL AND NOTES
REFER TO SHEET C-1.2

EROSION CONTROL PLAN

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

RICHARD R. MORRIS
FL REG # 34748
JOB # 15039
DWG # C-1.1
SHEET NUMBER

| ACTIVITY | PROJECTED START MONTH: JAN/FEB 2017 | | | | | | | | | | | | |
|---|-------------------------------------|---|---|---|---|---|---|---|---|----|----|----|----|
| | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 |
| 1 INSTALL INITIAL/PERIMETER SEDIMENT CONTROLS | | | | | | | | | | | | | |
| 2 CLEARING & GRUBBING | | | | | | | | | | | | | |
| 3 GRADING | | | | | | | | | | | | | |
| 4 STORM DRAINAGE INSTALLATION | | | | | | | | | | | | | |
| 5 INSTALL SEDIMENT TRAPS ¹ | | | | | | | | | | | | | |
| 6 INSTALL UNDERGROUND STORAGE TANKS | | | | | | | | | | | | | |
| 7 UTILITY INSTALLATION | | | | | | | | | | | | | |
| 8 BLDG/CANOPY CONSTRUCTION | | | | | | | | | | | | | |
| 9 PAVING | | | | | | | | | | | | | |
| 10 GRASSING (TEMPORARY & PERMANENT) | | | | | | | | | | | | | |
| 11 FINAL LANDSCAPING | | | | | | | | | | | | | |
| 12 EROSION CONTROL MAINTENANCE | | | | | | | | | | | | | |
| 13 CLEAN UP/DISPOSITION OF EROSION CONTROL | | | | | | | | | | | | | |
| 14 FINAL INSPECTIONS & C.O. | | | | | | | | | | | | | |



PRODUCT SPECIFIC PRACTICES:

Petroleum Based Products - Containers for products such as fuels, lubricants and oils will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from state water, natural drains and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and state regulations.

Points/Finishes/Solvents - All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.

Concrete Truck Washing - No concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water on-site.

Fertilizers/Herbicides - These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the Manual for Erosion and Sediment Control in Florida. Any storage of these materials will be under roof in sealed containers.

Building Materials - No building or construction materials will be buried or disposed of on-site. All such material will be disposed of in a proper waste disposal procedures.

Solid Waste Materials - All waste materials will be collected and stored in a securely lined metal dumpster. The dumpster will meet all solid waste management regulations. All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied once per week or more often, if necessary, and trash will be hauled as required by local regulations. No construction waste will be buried onsite.

All personnel will be instructed on proper procedures for waste disposal. A notice stating these practices will be posted at the jobsite and the Contractor will be responsible for seeing that these procedures are followed.

Hazardous Wastes - All hazardous waste materials will be disposed of in a manner specified by local, state, and/or federal regulations and by the manufacturer of such products. The job site superintendent, who will also be responsible for seeing that these practices are followed, will instruct site personnel in these practices. Material Safety Data Sheets (MSDS) for each substance with hazardous properties that is used on the job site will be obtained from the supplier for the proper handling and containment of such products that result from these products. An MSDS will be posted in the immediate area where such product is stored and/or used and another copy of each MSDS will be maintained in the ESCP file at the job site construction trailer office. Each employee who must handle a substance with hazardous properties will be instructed on the use of MSDS sheets and the specific information in the applicable MSDS for the product he/she is using, particularly regarding spill control techniques.

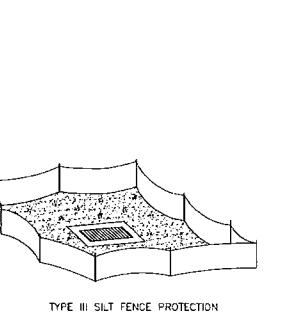
The contractor will implement the Spill Prevention Control and Counter-measures (SPCC) Plan found within this ESCP and will train all personnel in the proper cleanup and handling of spilled materials. No spilled hazardous materials or hazardous waste will be disposed of in contact with storm water discharges. If such occurs, the contractor will contact the appropriate state and/or federal regulators in compliance with state and federal regulations are taken to dispose of such contaminated storm water. It shall be the responsibility of the job site superintendent to properly train all personnel in the use of the SPCC plan.

Sanitary Waste - A minimum of one portable sanitary unit will be provided for every ten (10) workers on the site. All sanitary waste will be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

All sanitary waste units will be located in an area where the likelihood of the unit contributing to storm water discharge is negligible. Additional containment BMP's must be implemented, such as gravel bags or specially designed plastic skid containers around the base, to prevent wastes from contributing to storm water discharges. The location of sanitary units must be identified on the Erosion Control Plan. Grading phase, Sheet C3.0, by the contractor once the locations have been determined.

SILT FENCE

Sd1 NO SCALE

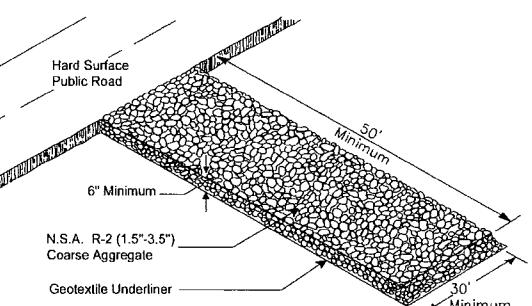


NOTE:
DO NOT DEPLOY IN ANY MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBID BARRIERS USED AT PERMANENT BODIES OF WATER.

EROSION & SEDIMENT CONTROL

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

NO SCALE



CRUSHED STONE CONSTRUCTION EXIT

Co NO SCALE

EROSION CONTROL LEGEND

| CODE | PRACTICE | SYMBOL |
|------|---------------------------------------|--------|
| Co | CONSTRUCTION EXIT | |
| Sd1 | SEDIMENT BARRIER SILT FENCE | |
| Sd2 | INLET SEDIMENT TRAP (OPT. SILT SAVER) | |

EROSION CONTROL DETAILS & NOTES

SUNSHINE GASOLINE DISTRIBUTORS
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

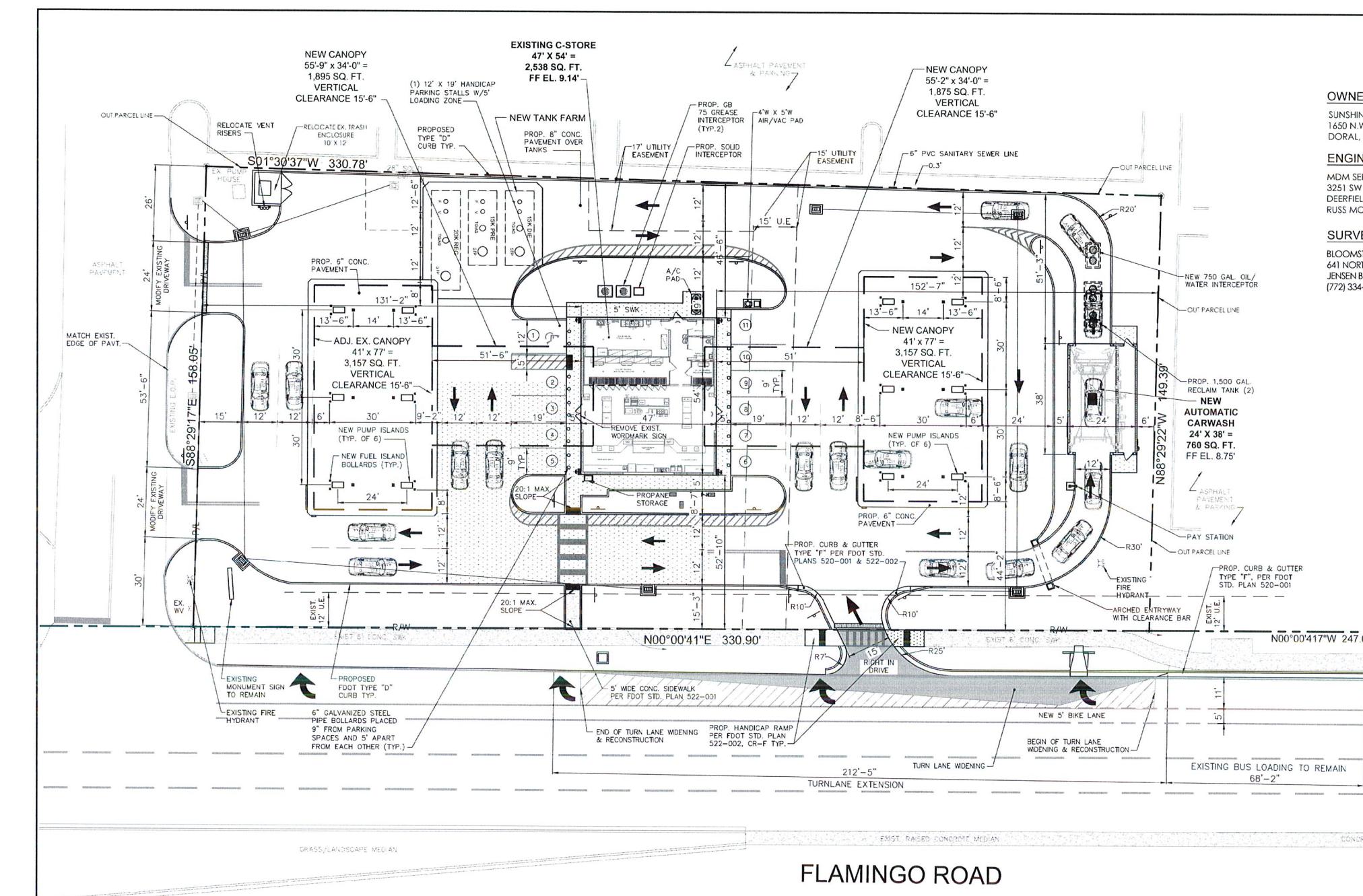
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| SUBMITTED | DATE: 02-12-18 | REVISION: |
| DRAWN BY: | PROPOSED GRADES BY: | |
| CHECKED BY: | | |
| APPROVED BY: | | |

M&M
Engineering • Environmental • Construction
2051 SW 30th Drive, Suite 200, Deerfield Beach, FL 33425
(855) 427-3076
E-mail: info@mmgroup.com

| | |
|--------------------|-------------------------------------|
| PLANS PREPARED BY: | RICHARD R. MORRIS FL REG # 34748 |
| JOB #: | 15039 |
| DWG #: | C-1.2 |
| SHEET NUMBER: | |

EROSION CONTROL DETAILS

NO SCALE



 N SITE PLAN
SCALE: 1" = 20' 0"

SCALE: 1" = 20'

LEGEND:

PROJECT DESCRIPTION

- 1 - MODIFY EXISTING DRIVEWAYS, FUEL ISLANDS (SIX), REPLACE AND ADD ONE NEW 41' X 77' FUEL ISLAND CANOPIES WITH COVERED WALKWAY TO CONVENIENCE STORE. COLORS WILL REMAIN THE SAME, SEE COLOR BOARD.
 - 2 - ADD NEW ROLLOVER 24' X 38' SELF-SERVICE AUTOMATIC CAR WASH AT SOUTH OUT PARCEL LINE.
 - 3 - RE-MODEL EXISTING STORE AND CARWASH TO 47' X 54' CONVENIENCE STORE ONLY.
 - 4 - SITE IMPROVEMENTS ASSOCIATED WITH THE ABOVE (PAVING, LANDSCAPING, DRAINAGE, W & S SERVICES, FUEL PIPING, AIR & VAC., LIGHTING, SIGNING, PARKING & ACCESSIBILITY)

SIGNING NOTES:

SEE SIGNAGE, PAVEMENT MARKING AND STRIPING PLAN
(SHEET NO. C-50) FOR MORE INFO.

LANDSCAPING NOT

- 1 – ALL TREES SHALL BE PLANNED TO ENSURE THAT THERE IS ADEQUATE ROOT AND CANOPY SPACE AT Maturity. TREES PLANTED WITHIN TEN FEET OF A PAVED SURFACE OR FORM OF INFRASTRUCTURE (DETERMINED TO HAVE AN INVASIVE ROOT SYSTEM) SHALL REQUIRE AND APPROVED ROOT BARRIER SYSTEM. SEE PLANTING PLAN, SHEET L-1.0 FOR FURTHER INFORMATION
- 2 – IRRIGATION MUST BE REPAIRED/INSTALLED PROPERLY TO ENSURE THAT ALL NEW AND EXISTING LANDSCAPE MATERIAL IS PROPERLY BEING IRRIGATED. A "WET-CHECK" SHALL BE DONE AT TIME OF FINAL INSPECTION TO ENSURE ALL IRRIGATION HEADS ARE WORKING PROPERLY ETC. SEE PLANTING PLAN, SHEET L-2.0 FOR FURTHER DETAILS AND SPECIFICATIONS.

RAVEMENT & MARKING NOTES:

ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO
"BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS"
(BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"

ALL PAVEMENT MARKINGS SHALL BE 6" THERMOPLASTIC MATERIAL MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" REFLECTORIZED PAINT MEETING THE (MTUCD) STANDARDS.

ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, RAMPS AND ACCESSIBLE ROUTES MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, 'ACCESSIBILITY'. PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS; PLAN NOS. 711-001 AND 700-102.

ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FOOT DESIGN STANDARDS; PLAN NO. 522-002.

WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE AND THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST MARKING.

SUBJECT SITE

OWNER:
SUNSHINE GASOLINE DISTRIBUTORS
1650 N.W. 87th AVENUE
DORAL, FLORIDA 33172

ENGINEER:
MDM SERVICES, INC.
3251 SW 13TH DRIVE, SUITE "D"
DEERFIELD BEACH, FLORIDA 33442
RUSS MORRIS, (954) 427-3076

SURVEYOR:
BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC.
641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
(772) 334-0868

SUBJECT SITE

SW 14TH STREET

S FLAMINGO ROAD

PEMBROKE ROAD

N

LOCATION MAP

SCALE: 1" = 250'-0"

SITE DI AN

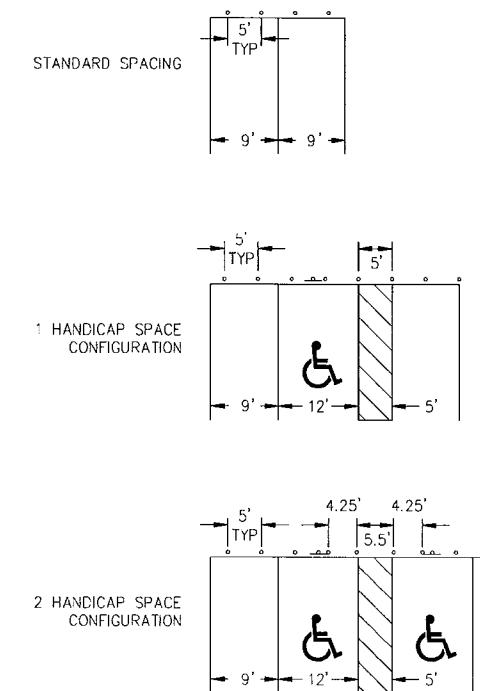
SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD
PEMBROKE PINES, FL 33027

The logo for M D M engineering environmental • construction. It features a large, bold, black 'M' and 'D' stacked vertically, with a smaller 'M' to the right. To the right of the 'M's is a vertical line, followed by the company name in a smaller, sans-serif font: 'engineering environmental • construction'. Below this, in a smaller font, is '151 SW 15TH DRIVE, SUITE 100 - ODELLWOOD BEACH, FL 33442' and '1-800-742-3878'. At the bottom right is the text 'IBI GROUPS'.

ANS PREPARED BY:

Engineering • en
51 SW 13th DRIVE, S
EB #1004

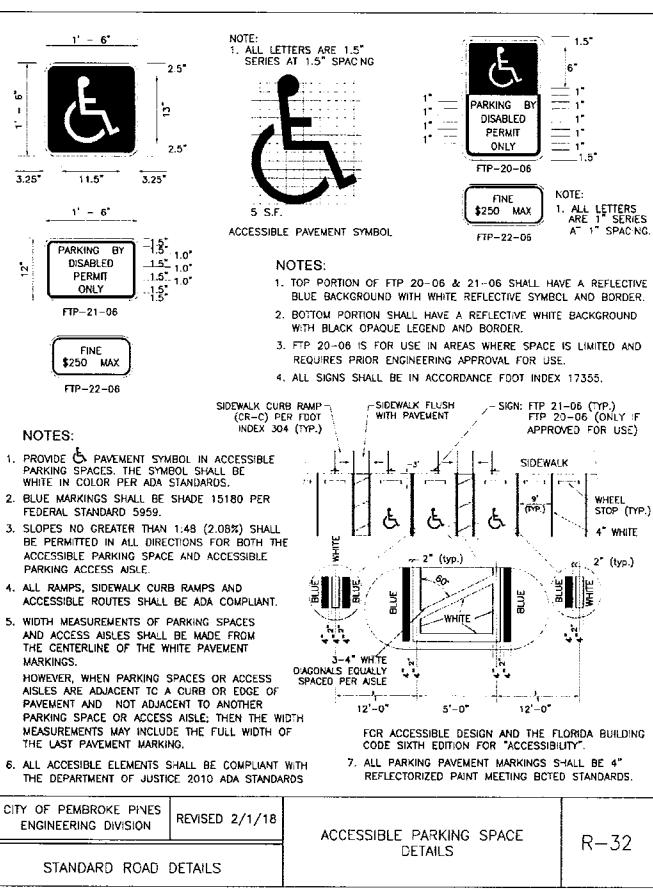
JOB # 15039
DWG # C-2.0
SHEET NUMBER



NOTE: ALL DIMENSIONS MEASURED TO CENTER OF BOLLARD. BOLLARD SPACING IS 5' UNLESS OTHERWISE NOTED.

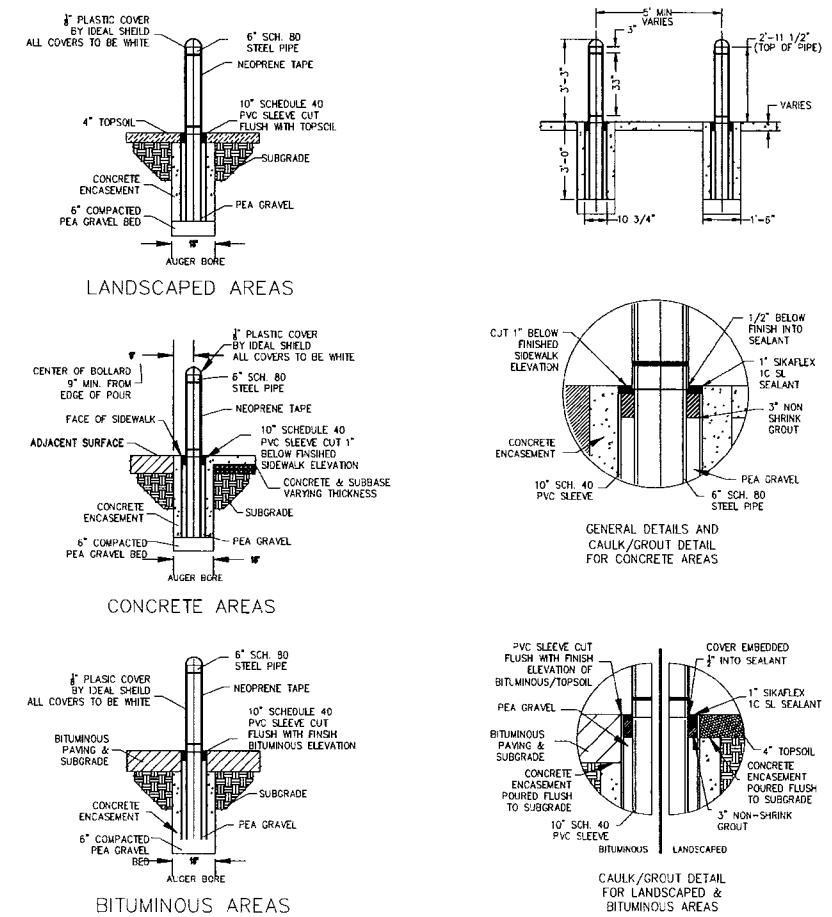
BOLLARD SPACING DETAIL

NTS



EXPANSION JOINT DETAIL

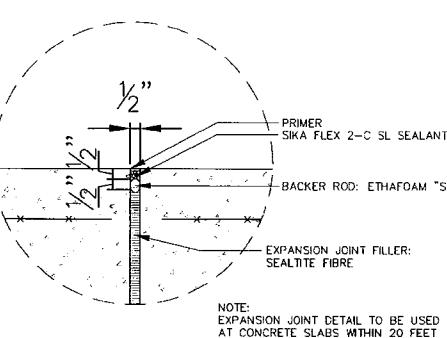
NTS



BOLLARD DETAIL

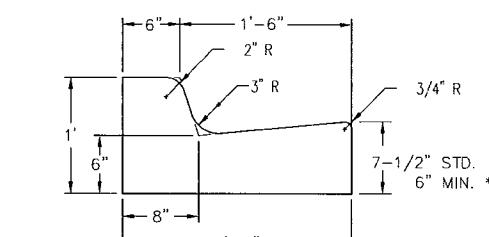
* TO BE USED AT ALL LOCATIONS EXCEPT ADJACENT TO BUILDING

NTS



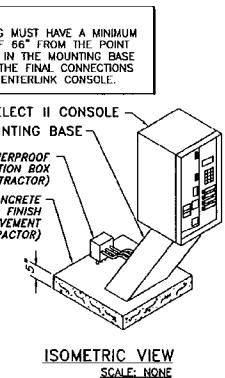
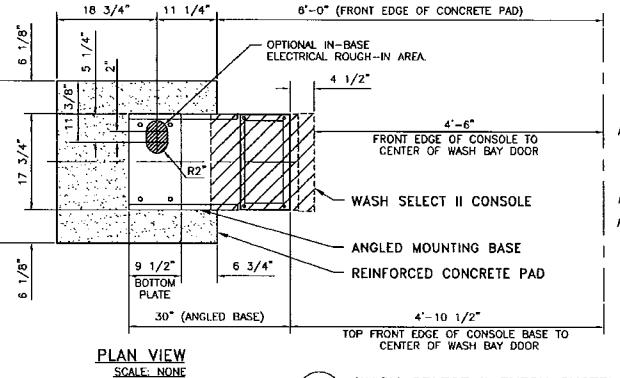
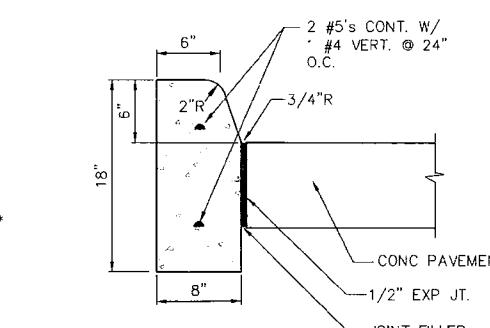
F.D.O.T. TYPE "F" CURB AND GUTTER

NTS



F.D.O.T. TYPE "D" CURB

NTS



SITE PLAN DETAILS

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| | | | |
|--------------|----------|---------------------|----------|
| SCALE: | AS NOTED | DATE: | 02/12/18 |
| DRAWN BY: | EM | PROPOSED GRADES BY: | |
| CHECKED BY: | | S.S. #: | |
| APPROVED BY: | | | |

Do Not Scale-Draw Dimensions Only
Subject to Change by Engineer and/or Architect
Submittal of Drawing to the City of Pembroke Pines
or the County of Broward, Florida, or any other
entity, shall not be construed as a waiver of
any provision of the applicable Building Code.

MDW

engineering environmental

3201 SW 13th Drive, Suite 100, Deerfield Beach, FL 33422

800.472.3276

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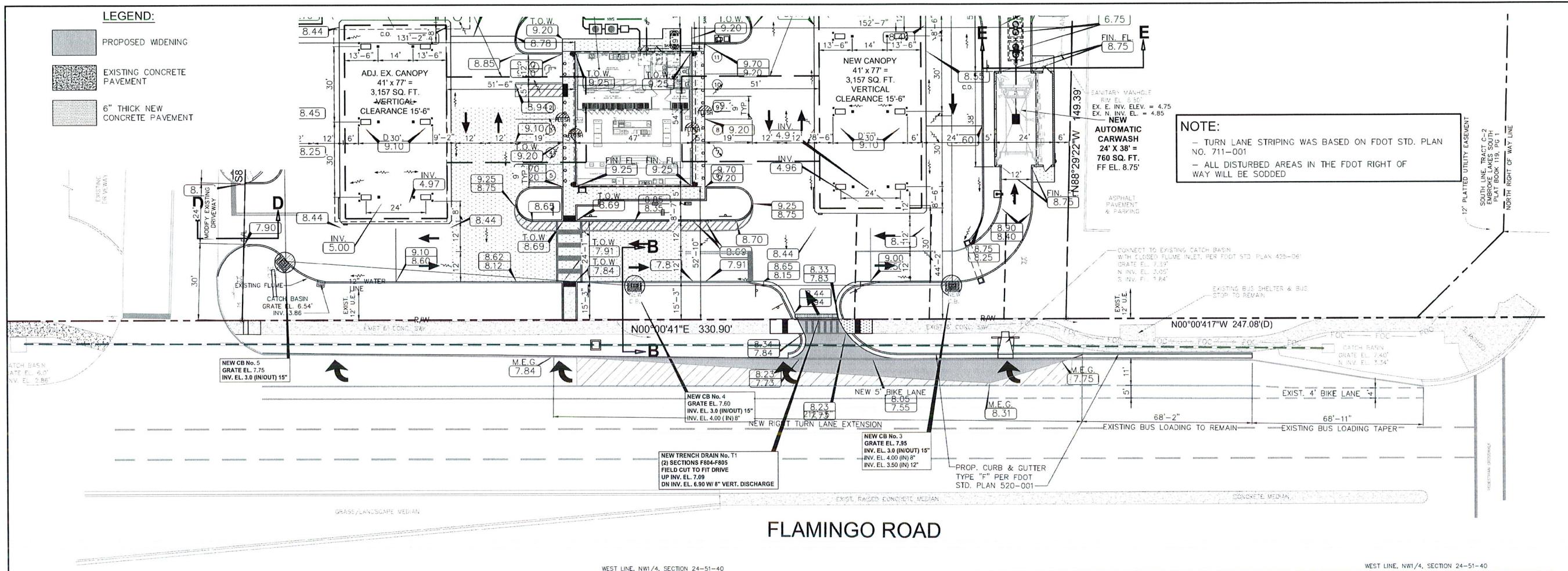
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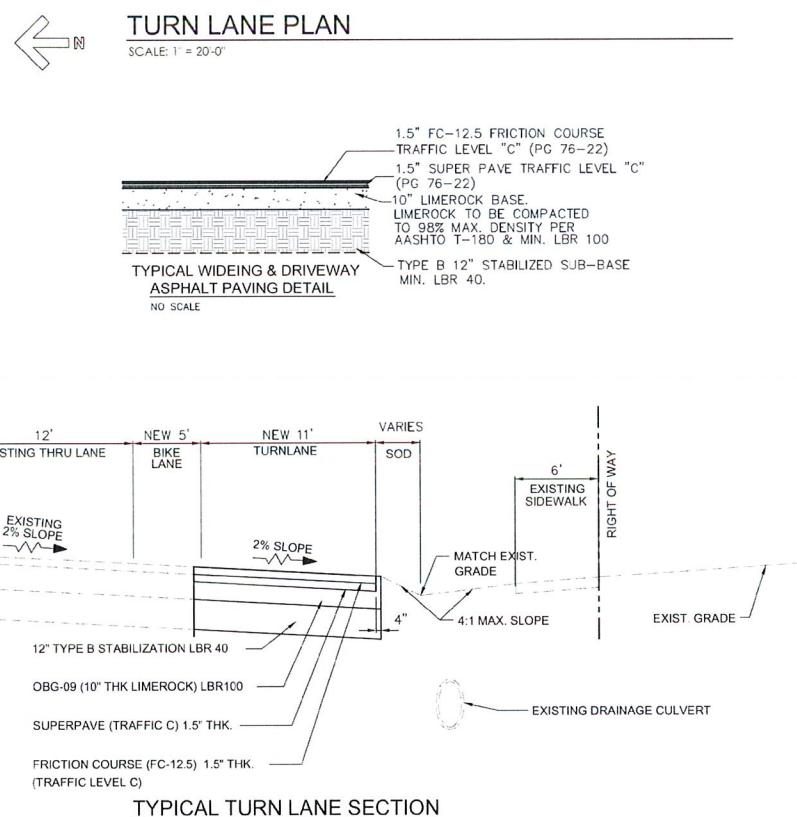
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FLAMINGO ROAD



TYPICAL TURN LANE SECTION

1

PLANS PREPARED BY
MIDVM

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3251 SW 13th DRIVE, SUITE "D", DEERFIELD BEACH, FL 33442
EB #904857 (954) 427-3076

SERIAL #1121C696F396FFBA
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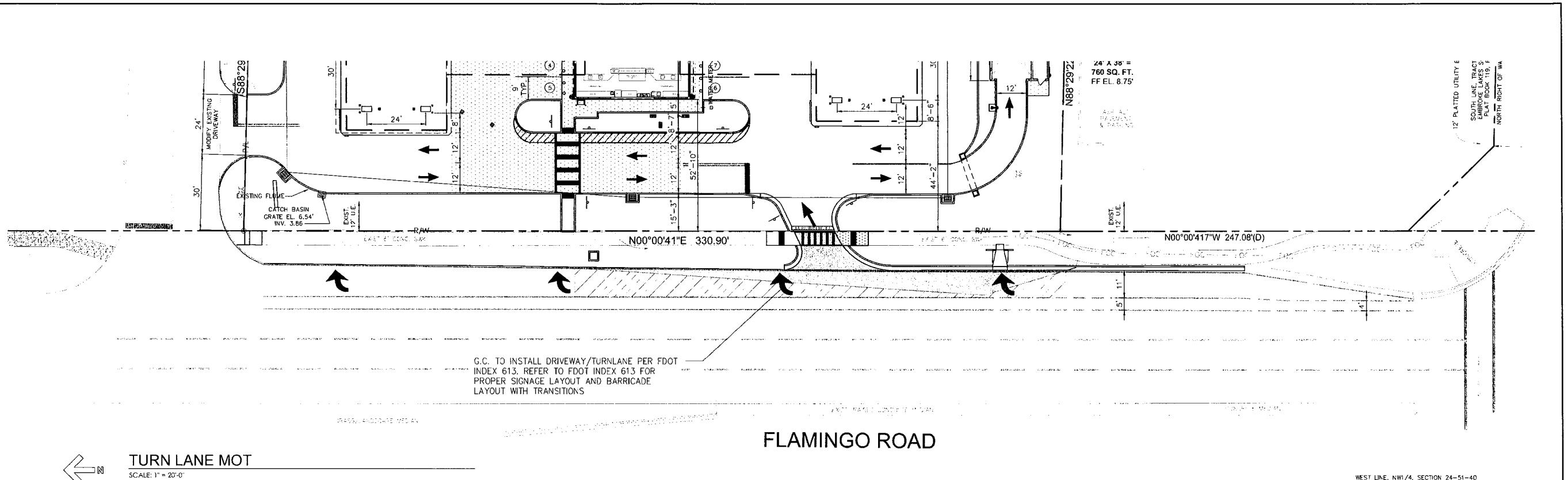
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RICHARD R. MORRIS
FL REG # 34748

JOB # 15039

DWG # C-2.3

SHEET NUMBER



TURN LANE MOT

SCALE: 1" = 20'-0"

WEST LINE, NW1/4, SECTION 24-51-40

FLAMINGO ROAD

LEGEND:

- TEMPORARY PEDESTRIAN ACCESS
- WORK AREA
- CHANNELIZING DEVICE

MOT NOTES

THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND EASILY ACCESSIBLE PAVED OR UNPAVED PATHWAY FOR PEDESTRIAN TRAFFIC THROUGH THE WORK ZONE FOR THE DURATION OF THE CONSTRUCTION PROJECT. IF THE PATHWAY LIES ALONG A DESIGNED SCHOOL-WALKING ROUTE THEN THE CONTRACTOR MUST PROVIDE ADEQUATE SUPERVISION AND/OR GUIDANCE TO THE SCHOOL AGED STUDENTS AS THEY TRAVERSE THROUGH THE WORK ZONE.

SIGN AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES* AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS* INDEXES 600 THROUGH 670 (LATEST EDITIONS).

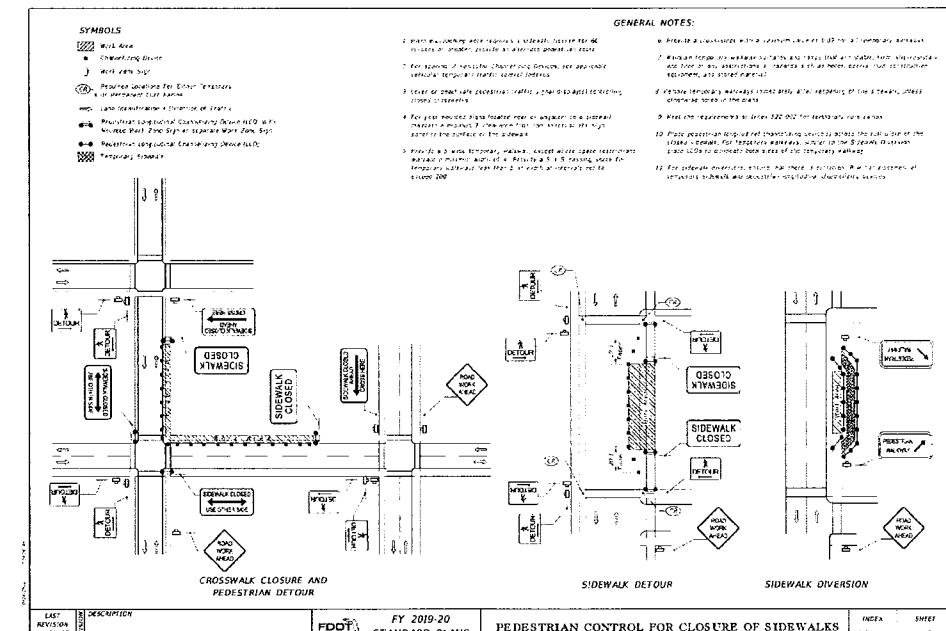
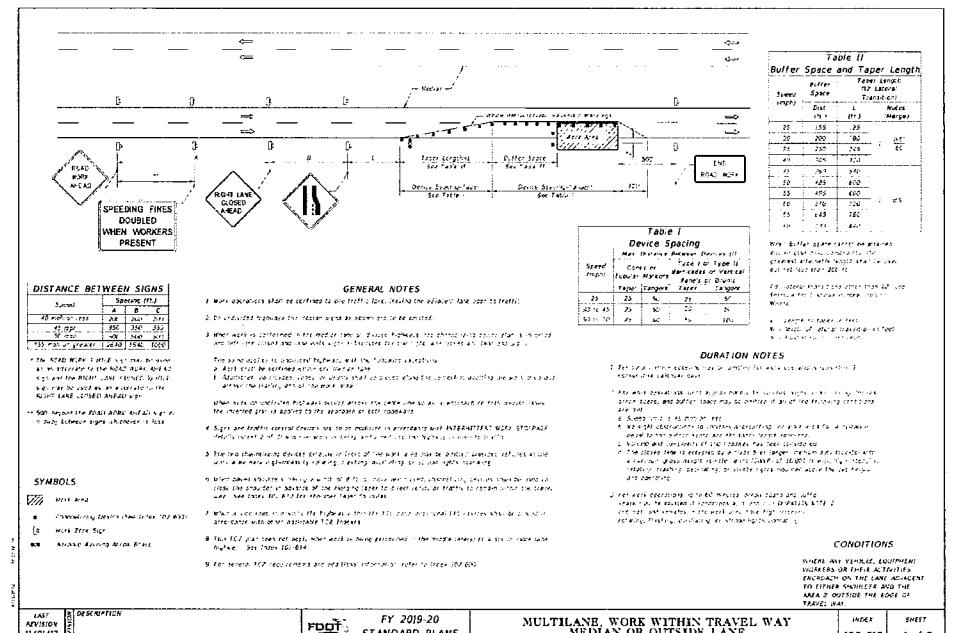
NO LANE CLOSURES ARE ALLOWED BETWEEN 6:00 A.M. - 9:00 A.M. AND 4:00 P.M. - 7:00 P.M. THE FDOT RESERVES THE RIGHT TO REQUIRE DIFFERENT HOURS OF LANE CLOSURE. ALL LANE CLOSURES MUST BE APPROVED BY THE DEPARTMENT AT LEAST TWO WEEKS PRIOR TO THE LANE CLOSURE IN ACCORDANCE WITH THE DISTRICT LANE CLOSURE POLICY.

G.C. TO UTILIZE MAINTENANCE OF TRAFFIC SIGNAGE & BARRICADES IN ACCORDANCE TO FDOT LATEST INDEX #600, 613, & 660.

ALL MAINTENANCE OF TRAFFIC WITHIN FDOT RIGHT OF WAY MUST CONFORM TO THE MOST CURRENT VERSION OF FDOT DESIGN STANDARD INDEX 600 SERIES.

PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS MUST CONFORM TO THE MOST CURRENT VERSION OF FDOT DESIGN STANDARD INDEX NO. 650.

THE FDOT IS NOT RESPONSIBLE FOR DESIGN AND/OR PLAN ERRORS. ALL CONSTRUCTION IN FDOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.



SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| DATE: AS NOTED | DATE: 02-12-18 | REVISION: BY: |
|----------------|---------------------|---------------|
| DRAWN BY: BM | PROPOSED GRADES BY: | S.S. # |
| CHECKED BY: | | |

APPROVED BY:
Do Not Scale-Draw Dimensions Only
To the best of my knowledge, these plans and specifications
are correct and accurate and are suitable for the proposed
construction. I warrant that they will not be used for
any other purpose than the proposed construction.

PLANS PREPARED BY:
MDW
Engineering • Environmental • Construction
2025 SW 1st Drive, Suite 200, Deerfield Beach, FL 33442
(305) 427-0376
EBS PRO 0057

2025 SW 1st Drive, Suite 200, Deerfield Beach, FL 33442
(305) 427-0376

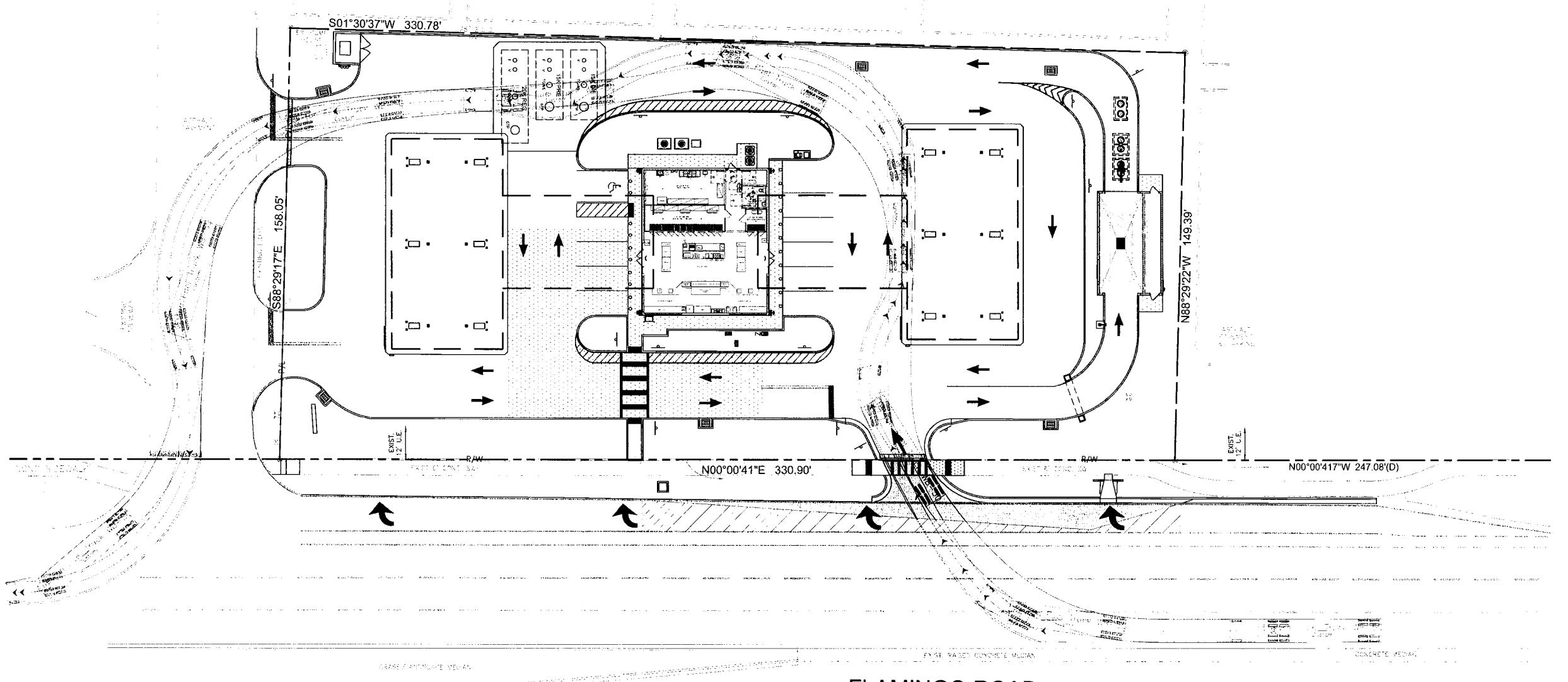
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2/24/18 C-76-1574

RICHARD R. MORRIS
FL REG # 34748

JOB # 15039

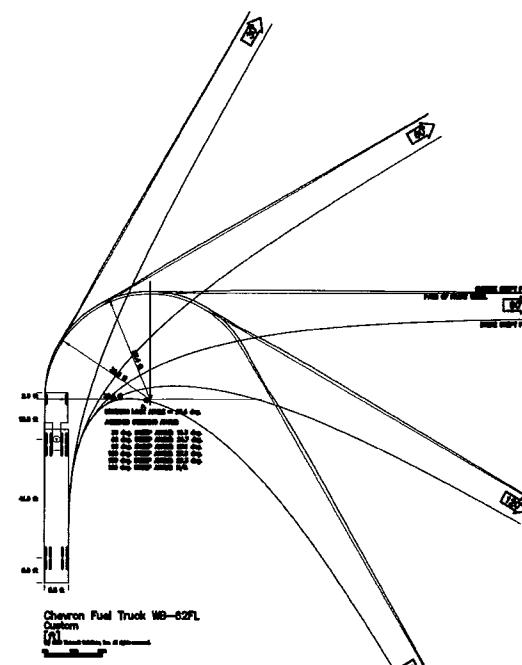
DWG # C-2.4

SHEET NUMBER



FUEL DELIVERY PLAN

SCALE: 1" = 20'-0"



Chevron Fuel Truck WB-62FL
feet

| | | | | | |
|-------------------|---|------|--------------------|---|------|
| Tractor Width | : | 8.00 | Trailer Width | : | 8.50 |
| Tractor Track | : | 8.00 | Trailer Track | : | 8.50 |
| Lock to Lock Time | : | 6.0 | Articulating Angle | : | 70.0 |
| Steering Angle | : | 28.4 | | | |

FUEL DELIVERY PLAN
SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD
PEMBROKE PINES, FL 33027

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| SCALE: | AS NOTED | DATE: | 02-12-18 | REVISION: | |
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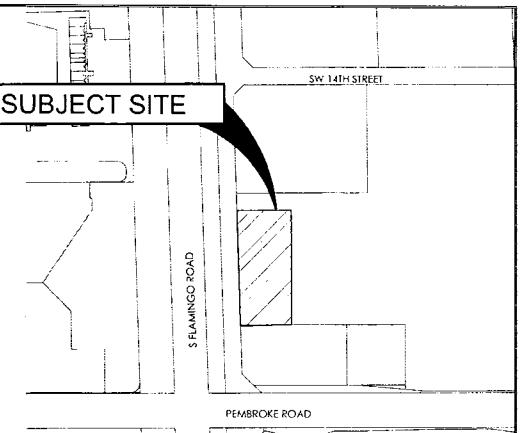
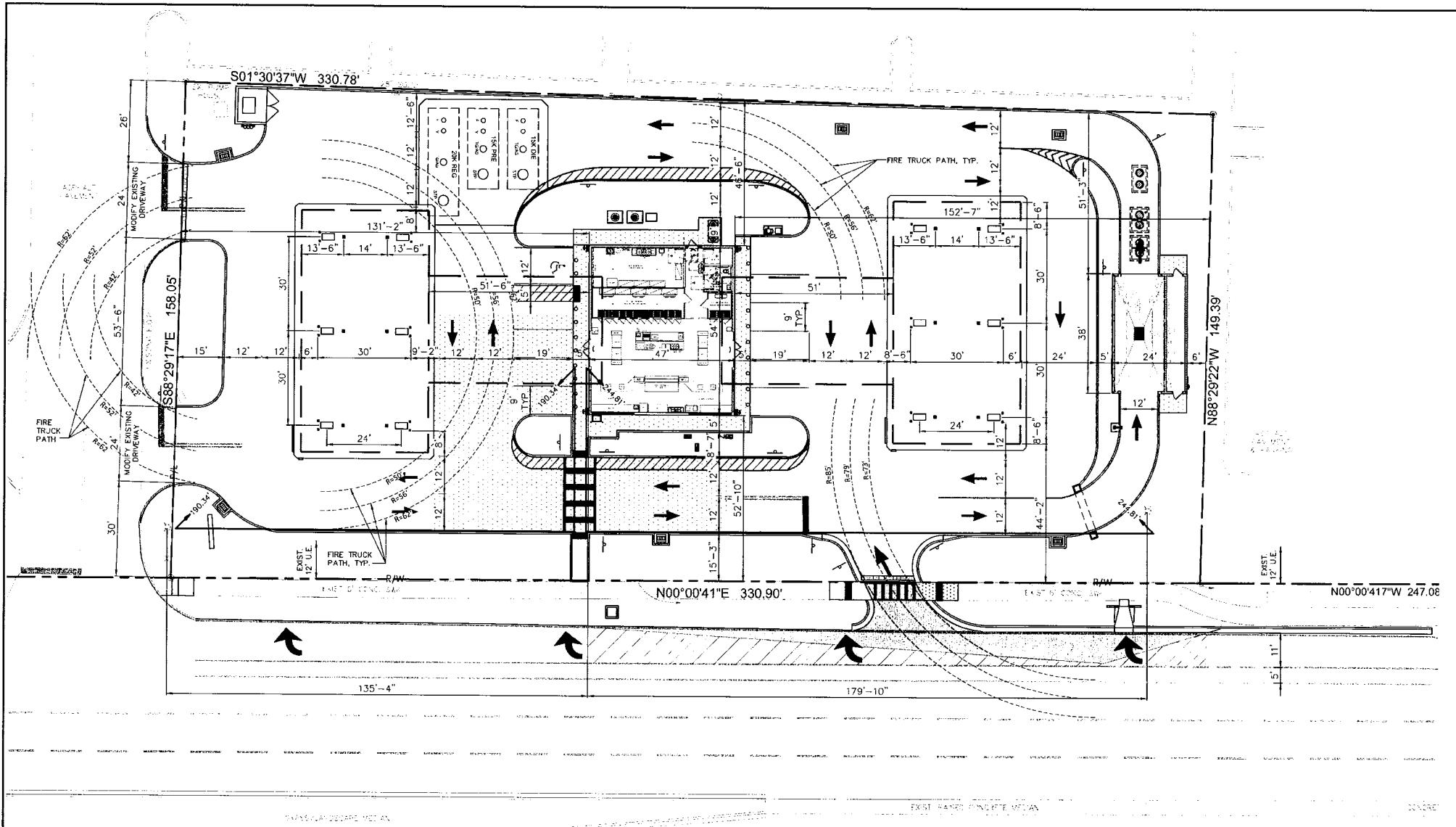
APPROVED BY:
Do Not Scale—Use Dimensions Only
To the nearest 1/8". Sunshine Gasoline Distributors, Inc. and its contractors
assume no responsibility for any errors or omissions in the preparation of these plans.
No warranty is expressed or implied.

MDM
Engineering • Environmental • Construction
3201 SW 13th DRIVE, SUITE 100, DIBERFIELD BEACH, FL 33442
(843) 427-3976
E-Mail: mdm@mdmenv.com

PLANS PREPARED BY:
RICHARD R. MORRIS
FL REG # 34748
JOB # 15039
DWG # C-2.5
SHEET NUMBER

SERIAL # 411171 C-2.5/TC RA
02/10/05 BC/TC CD 02/05/05

3201 SW 13th DRIVE, SUITE 100, DIBERFIELD BEACH, FL 33442
(843) 427-3976



LOCATION MAP

SCALE: 1" = 250'-0"

OWNER:
SUNSHINE GASOLINE DISTRIBUTORS
1650 N.W. 87th AVENUE
DORAL, FLORIDA 33172

ENGINEER:
MDM SERVICES, INC.
3251 SW 13TH DRIVE, SUITE 'D'
DEERFIELD BEACH, FLORIDA 33442
RUSS MORRIS, (954) 427-3076

SURVEYOR:
BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC.
641 NORTHEAST SPENCER STREET
JENSEN BEACH, FLORIDA 34957
(772) 334-0868

LEGEND:
 PROPOSED ROAD WIDENING
 CONCRETE PAVEMENT
 ASPHALT PAVEMENT

FLAMINGO ROAD

NOTES:

- A. ACCESS TO BUILDING. A FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT. OF A SINGLE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING. NFPA 1-18.2.3.2.1
 - B. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT. (450 FT. FOR SPRINKLERED BUILDINGS) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. NFPA 1-18.2.3.2.2 AND NFPA 1-18.2.3.2.2.1
 - C. DIMENSIONS. FIRE DEPARTMENT ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT.
 - D. TURNING RADIUS. FIRE ACCESS ROADS SHALL BE A MINIMUM CENTERLINE TURNING RADIUS OF 50'. SHOW MIN. 38' INSIDE RADIUS AND MIN 62' OUTSIDE RADIUS THROUGHOUT AREA. SHOW A SHADED TRUCK ROUTE INCLUDING ENTERING AND LEAVING THE SITE WITH THE ABOVE TURNING RADIUS NUMERALS ON PLANS SHOWN THROUGHOUT. COPP ENGINEERING DEPARTMENT VERIFICATION IS REQUIRED. COPP CO 154.35 (3)
 - E. "ALL CENTERLINE TURNING RADII MUST BE A MINIMUM 50 FEET."
 - F. DEAD ENDS, DEAD END STREETS SHALL BE PROHIBITED, EXCEPT WHERE APPROPRIATE AS STUBS TO PERMIT FUTURE STREET EXTENSION INTO ADJOINING UN-SUBDIVIDED TRACTS, OR WHEN DESIGNED AS CUL-DE-SACS. COPP CO 154.32 (K)
 - G. DEAD END FIRE DEPARTMENT ACCESS ROADS IN EXCESS OF 150 FT IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE FIRE APPARATUS TO TURN AROUND. NFPA 1-18.2.3.4.4
 - H. GRADE. THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHI. NFPA 1-18.2.3.4.6.2
 - I. FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT BEYOND EACH OF THE FIRE LANE. NFPA 1-18.2.3.4.6.3
 - J. FIRE HYDRANT SPACING AND INSTALLATION. THE NUMBER AND TYPE OF FIRE HYDRANT AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NFPA 1-18.5.1
 - K. FIRE HYDRANTS AND CONNECTION TO OTHER APPROVED WATER SUPPLIES SHALL BE ACCESSIBLE TO THE FIRE DEPARTMENT. (FIRE HYDRANTS AND CONNECTION TO APPROVED WATER SUPPLIES MUST BE INSTALLED AND MAINTAINED IN A MANNER THAT ALLOWS THE FIRE DEPARTMENT TO ACCESS THE WATER SUPPLY POINT WITHOUT BEING DELAYED BY FENCES, SIGNS, AND OTHER OBSTRUCTIONS). NFPA 1-18.5.2
 - L. A 15 FT. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT AS OTHERWISE REQUIRED OR APPROVED. NFPA 1-18.5.3
 - M. WHERE REQUIRED BY THE AHI, FIRE HYDRANTS SUBJECT TO VEHICULAR DAMAGE SHALL BE PROTECTED UNLESS LOCATED WITHIN A PUBLIC RIGHT OF WAY. NFPA 1-18.5.5
 - N. MARKING OF HYDRANTS. FIRE HYDRANTS SHALL BE MARKED WITH AN APPROVED REFLECTOR AFFIXED TO OR PROXIMATE TO THE FIRE HYDRANT WHERE REQUIRED BY THE AHI. NFPA 1-18.5.7
- NOTE: FIRE DEPARTMENT CONNECTIONS SHALL ALSO BE SHOWN ON SAME SIDE OF THE STREET AS THE FIRE HYDRANT. SHOW ALL FIRE DEPARTMENT CONNECTIONS (FDC'S) LOCATIONS
- U. EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNED BY A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS, HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1 IN. IN HEIGHT ON PLATE OF FITTED READING SERVICE SIGN THAT SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS - FOR EXAMPLE, AUTOSPKR, OPEN SPRINKLER AND STANDPIPE AS APPLICABLE. NFPA 14-6.4.5.2.1 (2010)
- V. THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18" OR MORE THAN 4' ABOVE GRADE. PEMBROKE PINES FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED AT 3' ABOVE GRADE. NFPA 14-6.4.6 (2010)
- W. POINT OF SERVICE. SHOW AND LABEL POINT OF SERVICE ON WATER CIVIL PLANS, THE TIE IN WHERE THE WATER IS BEING USED EXCLUSIVELY FOR THE SPRINKLER/STANDPIPE SYSTEM.
- X. A FLORIDA CERTIFIED SPRINKLER CONTRACTOR SHALL PULL PERMITS AND BEGIN WORK FROM THE POINT OF SERVICE. FAC 69A-46.040 (2)
- Y. SURFACE. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. NFPA 1-18.2.3.4.2
- Z. NOTE: ROADS DURING CONSTRUCTION. HARD COMPACTED SURFACE SUPPORTING 32 TONS SHALL BE PROVIDED ON ROADS FOR FIRE RESCUE VEHICLES TO ACCESS OF BUILDINGS UNDER CONSTRUCTION.



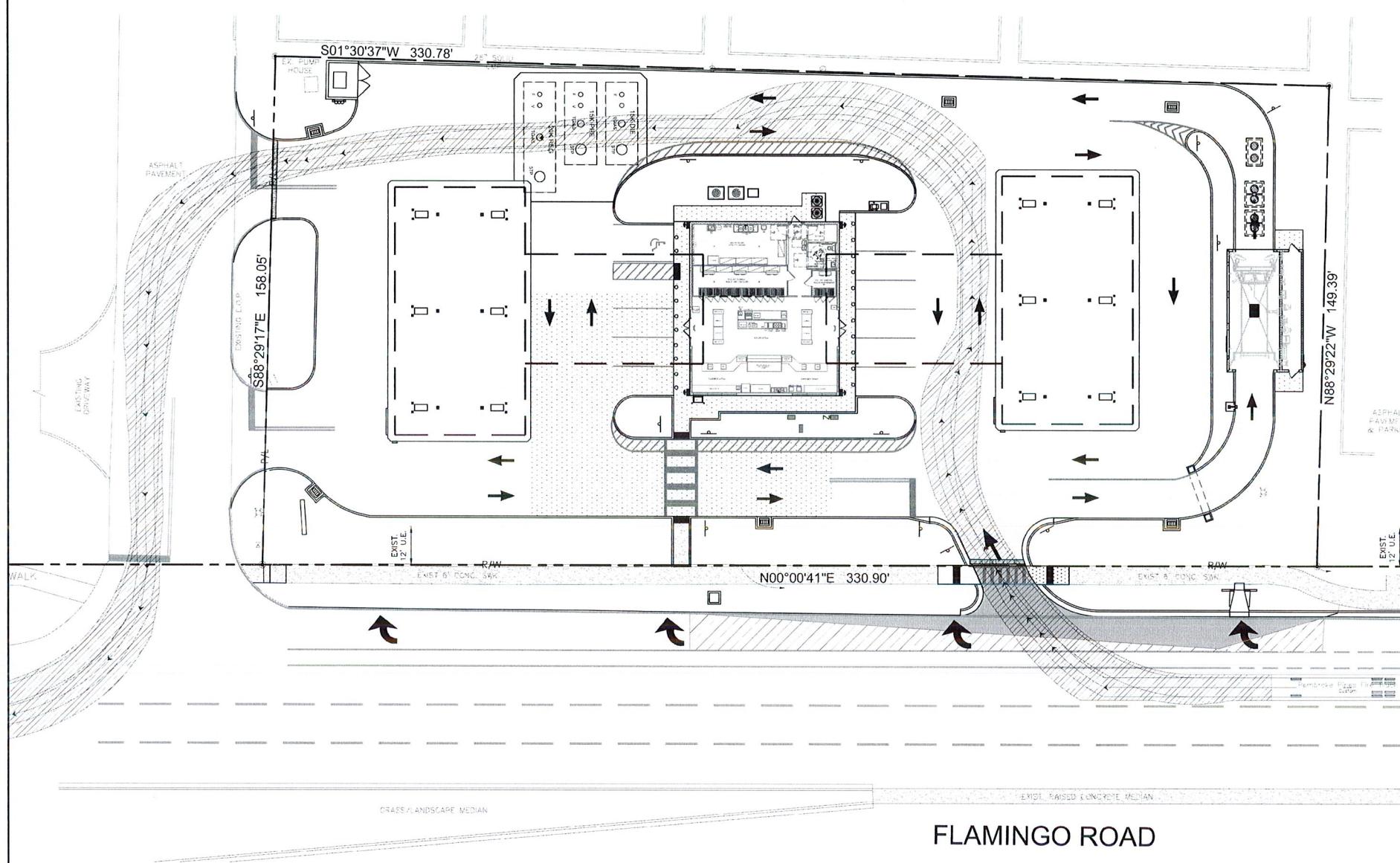
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(954) 427-3076
E: 4260857

SEPARATE 1/2" 21 CCA 63.575 BA
62.544D 24.23 CCA 63.575C

RICHARD R. MORRIS
FL REG # 34748
JOB # 15039
DWG # C-2.7
SHEET NUMBER



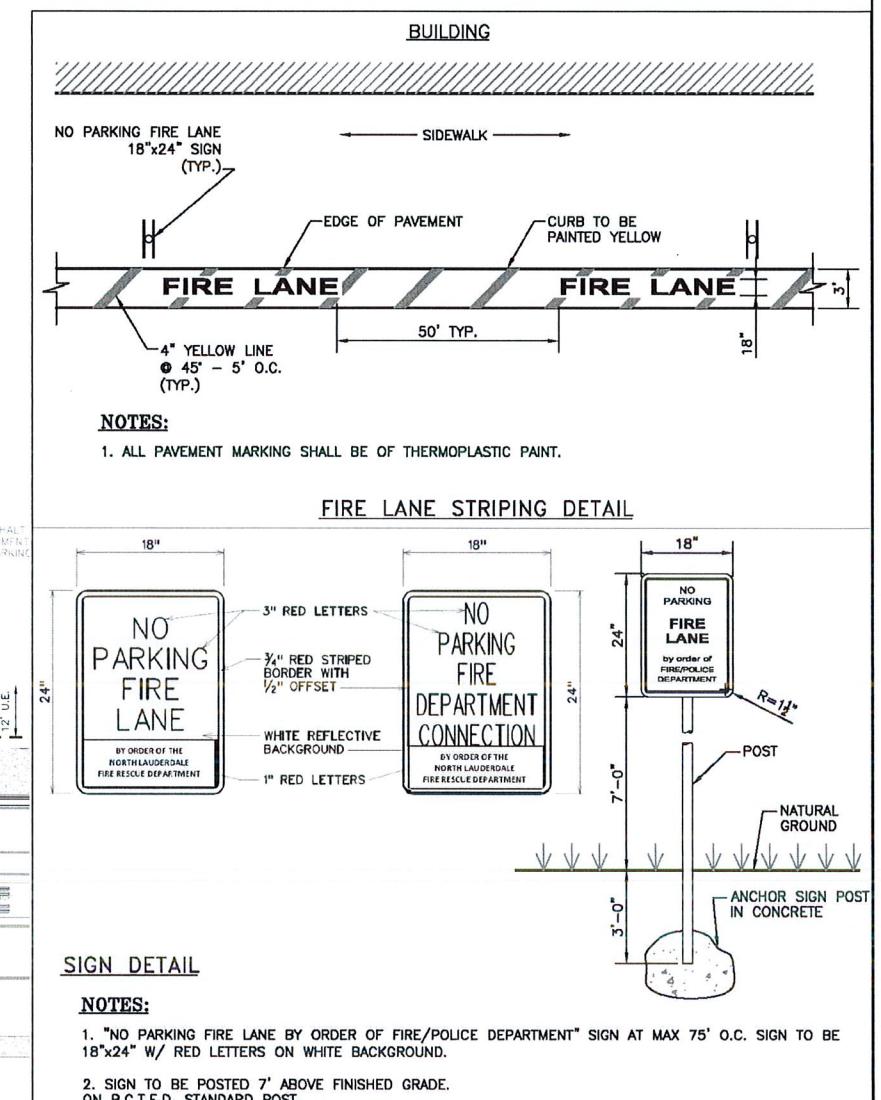
FLAMINGO ROAD

NOTES:

1. VERTICAL CLEARANCE.
FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13FT. 6IN. NFPA1-18.2.3.4.1.2 (PERMANENT WEATHERPROOF SIGNAGE) ON TRUCK ACCESS ROUTES.
 2. TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS.
IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ. NFPA 1-11.10, 2012 EDITION.
 3. FIRE HYDRANTS
IN EVERY CASE, AT LEAST TWO FIRE HYDRANTS SHALL BE WITHIN 400 FEET OF THE ENTRANCE OF ANY BUILDING AND BE SPACED 500 FEET APART THROUGHOUT. MEASUREMENTS TAKEN AS THE FIRE TRUCK TRAVELS. CPOB CO 93.25 (C)(G)
 4. THESE PLAN COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE, LATEST EDITION AND BROWARD COUNTY AMENDMENTS TO THE FLORIDA FIRE PREVENTION CODE, N.F.P.A. 101 (LIFE SAFETY CODE), LATEST EDITION, AND N.F.P.A. 1 (UNIFORM FIRE CODE), LATEST EDITION.
 5. FIRE LANE MARKINGS
ESTABLISHED FIRE LANES/ZONES SHALL BE CLEARLY MARKED BY BRIGHT YELLOW PAINT WHICH SHALL OUTLINE THE BORDER OF THE FIRE ZONE BY AN APPROXIMATE 6-INCH PAINTED BORDER THAT IS 36-INCHES FROM TOP TO BOTTOM, 24-IN. (61 CM) HIGH LETTERS CENTERED IN YELLOW "FIRE LANE NO PARKING" PAINTED ON PAVEMENT. THESE WORDS SHALL BE SURROUNDED ON ALL SIDES BY DIAGONAL YELLOW-PAINTED STRIPING WITH APPROXIMATELY 30 INCHES BETWEEN EACH DIAGONAL STRIPE. THE STRIPING SHALL ENCOMPASS THE BALANCE OF THE INTERIOR OF THE FIRE ZONE. THE FIRE CHIEF OR HIS DESIGNEE MAY FOR JUST-CAUSE WAIVE, OR UTILIZE AN ALTERNATIVE METHOD FOR THE LAST-STATED REQUIREMENT; HOWEVER, SUCH WAIVER OR ALTERNATIVE METHOD USE OF REQUIREMENTS SHALL BE IN WRITING AND SHALL STATE THE BASIS OF SUCH WAIVER, MODIFICATION OF REQUIREMENTS.
 6. REFLECTIVE MARKERS
PROVIDE ONE (1) RED DOUBLE-REFLECTIVE DEPARTMENT OF TRANSPORTATION TYPE ROAD MARKER (ROADWAY PAVEMENT MARKER (RPM)) TO BE ADHERED TO THE HARD SURFACES OF THE ROADWAY IN THE MIDDLE OF THE LANE NEAREST TO, AND DIRECTLY IN FRONT OF THE EXITING AND NEWLY INSTALLED FIRE HYDRANTS (NFPA 1 18.5.7.1). PROVIDE ONE (1) RED DOUBLE-REFLECTIVE DEPARTMENT OF TRANSPORTATION TYPE ROAD MARKER (ROADWAY PAVEMENT MARKER (RPM)) TO BE ADHERED TO THE HARD SURFACES OF THE ROADWAY IN THE MIDDLE OF THE LANE NEAREST TO, AND



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FIRE PLAN DETAILS

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| | |
|--|----------|
| DATE: | 02-24-08 |
| PROPOSED GRADES BY: | |
| S.S.# | |
| APPROVED BY: | |
| Do Not Use Underline Dimensions Only | |
| To the extent possible, dimensions and other data shall be expressed in inches. Where dimensions and other data are expressed in millimeters, the applicable Building Code, or warrant, shall be followed. | |

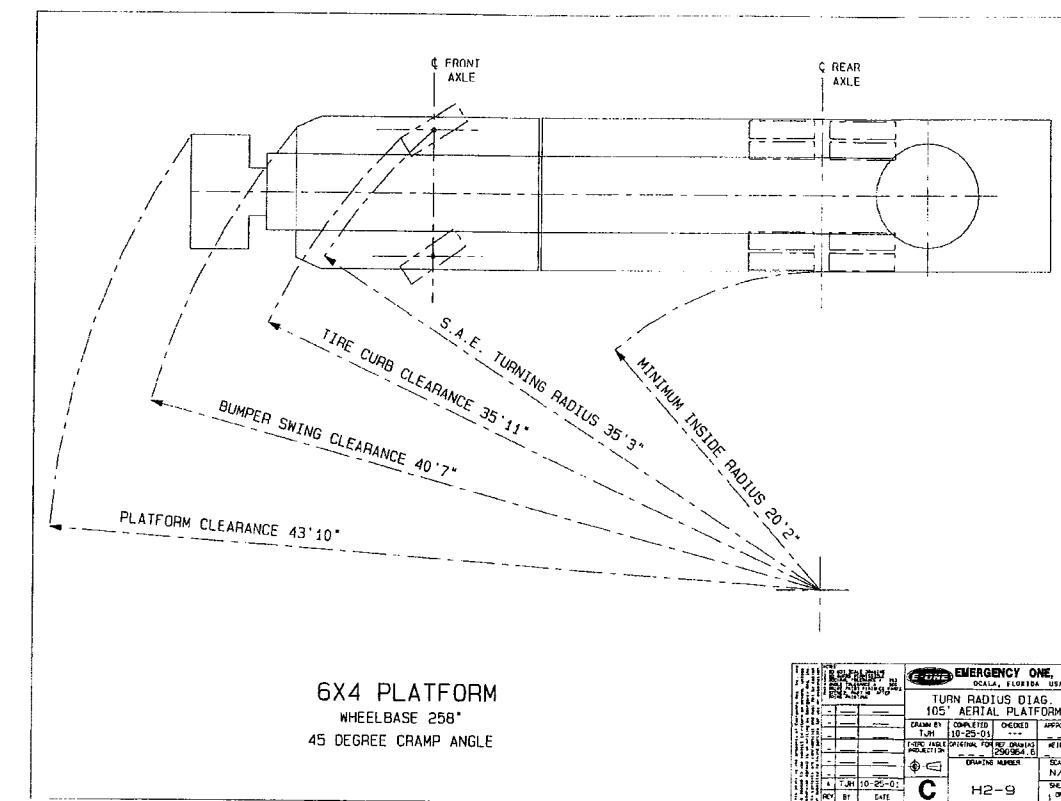
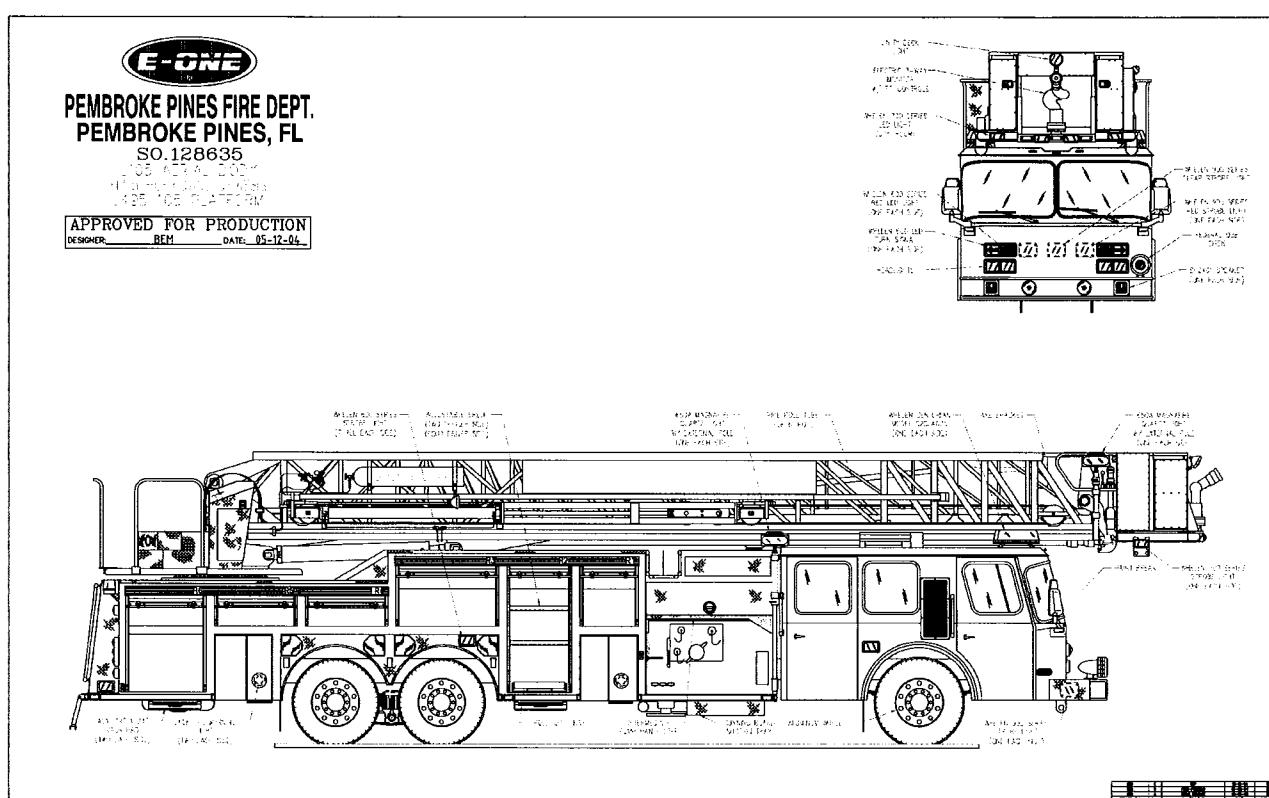
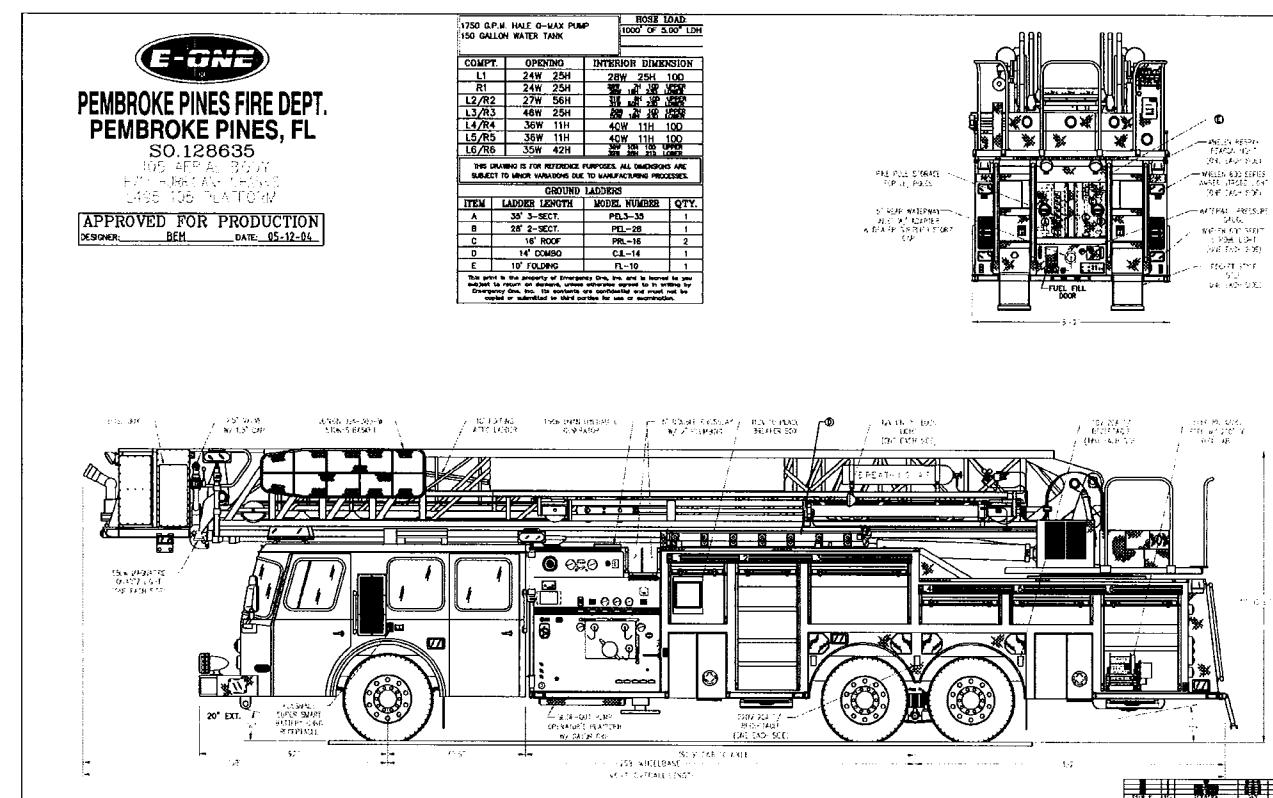
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2525 13th DRIVE, SUITE "D", DEERFIELD BEACH, FL 33442

EB #004857 (954) 427-3076

5

ENTRANT #1121 C6961396FFBA
734 DO B2 3E C4 D1 0B C9 C5

ARD R. MORRIS
REG # 34748
15039
C-2.8B
ET NUMBER



FIRE PLAN DETAILS

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

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|--------------|----------|--------------|----------|-----------|-----|
| SCALE: | AS NOTED | DATE: | 05-12-18 | REVISION: | BY: |
| DRAWN BY: | BM | PROPOSED BY: | | | |
| CHECKED BY: | | | | | |
| APPROVED BY: | | | | | |

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| SCALE: | AS NOTED | DATE: | 05-12-18 | REVISION: | BY: |
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| APPROVED BY: | | | | | |

MDM

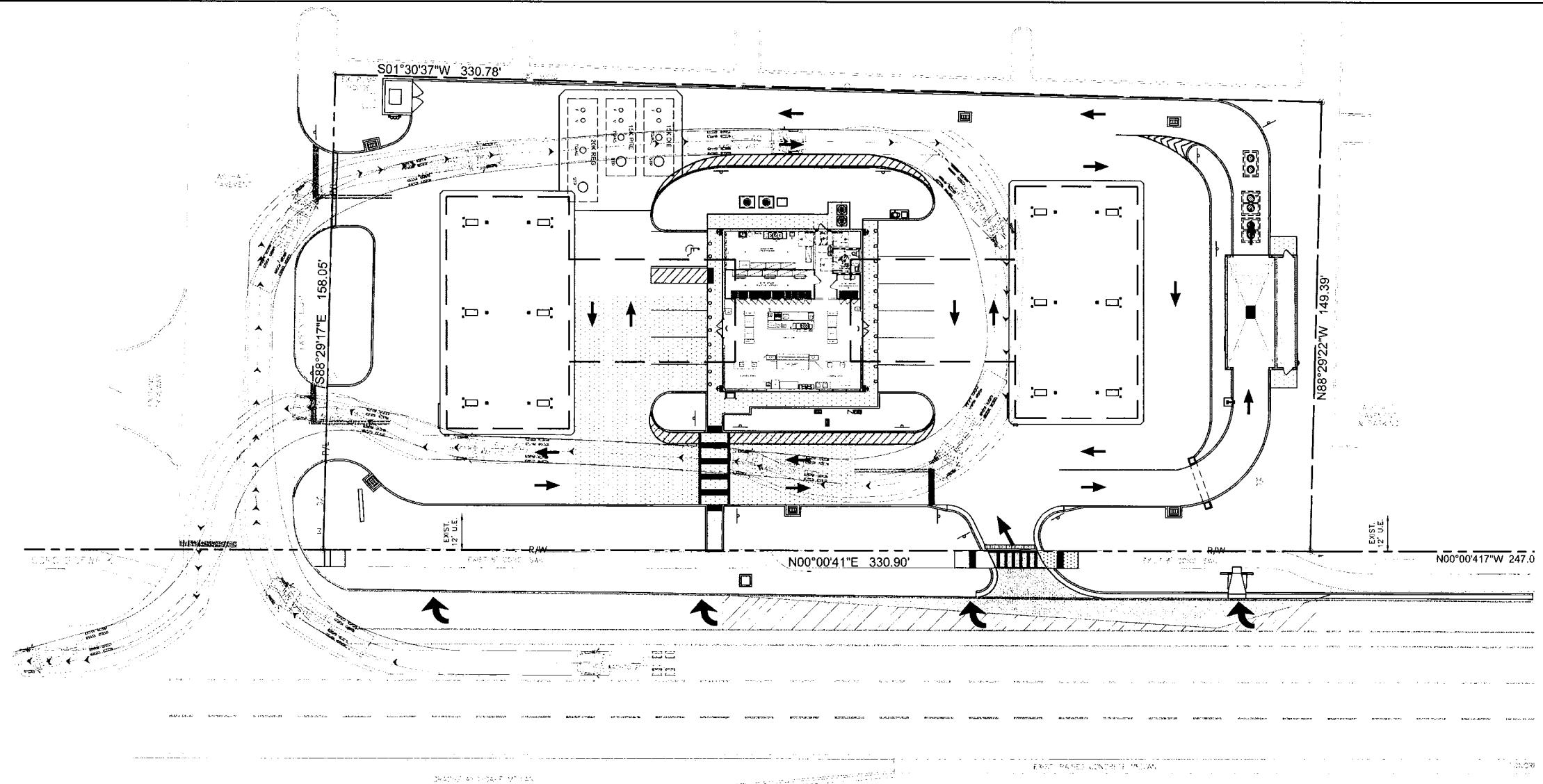
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2615 SW 13th DRIVE, SUITE 100, DEERFIELD BEACH, FL 33442
(305) 427-3076
E-Mail: MDM@MDM.EDU

PLANS PREPARED BY: **E-ONE**
DRAWN BY: **BM** CHECKED BY: **BM** APPROVED BY: **BM**
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Is the print of my own knowledge, belief and experience, and is based on the drawings and specifications
submitted by the designer. I have read and understood the terms and conditions of the contract, and
hereby declare that the work is in accordance therewith.

RICHARD R. MORRIS
FL REG #34748
JOB # 15039
DWG # C-2.9
SHEET NUMBER



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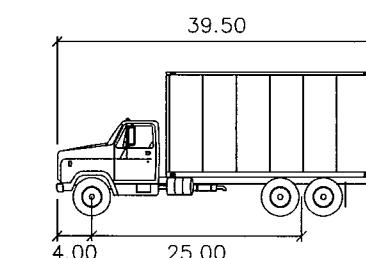
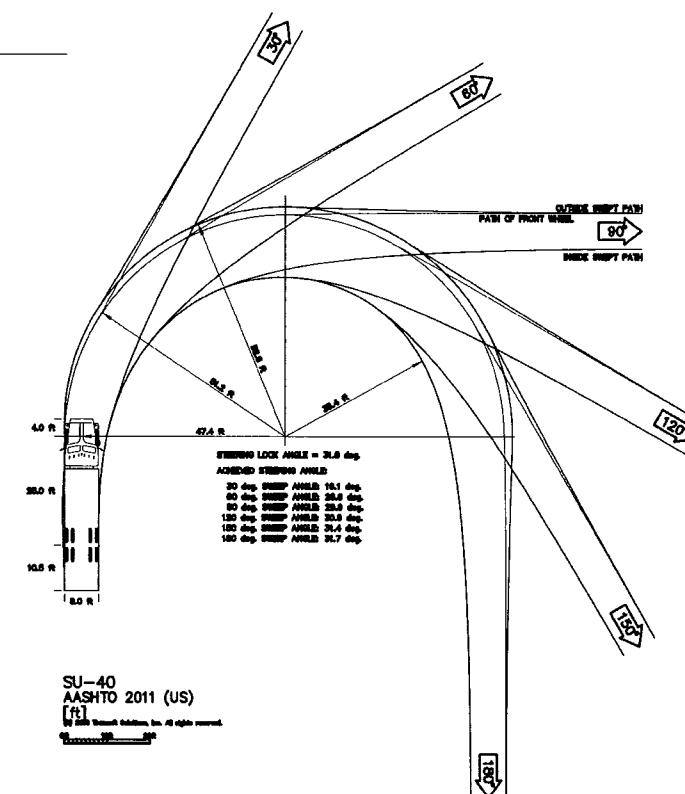


FLAMINGO ROAD



COMMERCIAL TRUCK PATH

SCALE: 1" = 20'-0"



SU-40

feet

Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 31.8

COMMERCIAL DELIVERY PLAN

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S. FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| | |
|-------------------|---------------------------|
| DATE: 02-12-18 | REVISION: 0 |
| DRAWN BY: BM | PROPOSED GRADES BY: S.S./ |
| CHECKED BY: S.S./ | APPROVED BY: S.S./ |

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|--------------------|-------------------|------------------------|
| SCALE: 1" = 20'-0" | DATE: 02-12-18 | PROPOSED GRADES BY: BM |
| DRAWN BY: BM | CHECKED BY: S.S./ | APPROVED BY: S.S./ |

Do Not Scale—Use Dimensions Only
To the right of my signature, the date, and specifications
set forth in the plans and specifications
of the project, I declare that I have carefully
checked the same and find them to be in accordance
with the plans and specifications.



PLANS PREPARED BY:

RICHARD R. MORRIS
FL. REG # 34748

201 SW 13th DRIVE, SUITE 100
DEERFIELD BEACH, FL 33442
(305) 427-3076
E-Mail: KMDM@GMAIL.COM

EEI KMDM#57

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EEI KMDM#57

201 SW 13th DRIVE, SUITE 100
DEERFIELD BEACH, FL 33442
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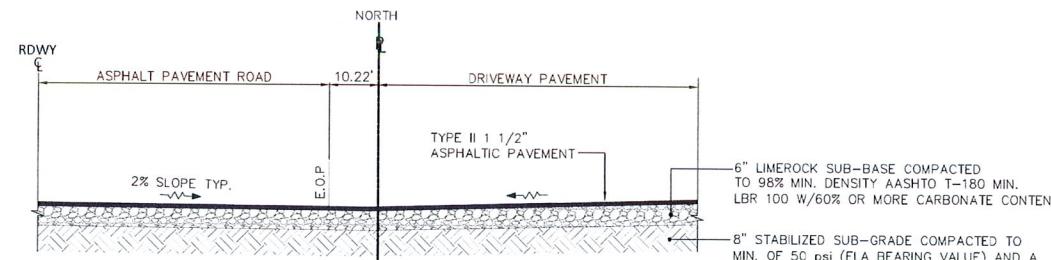
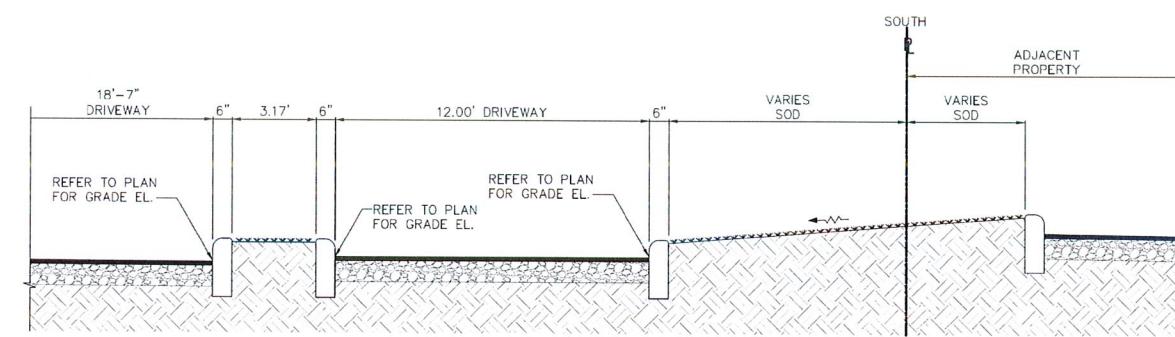
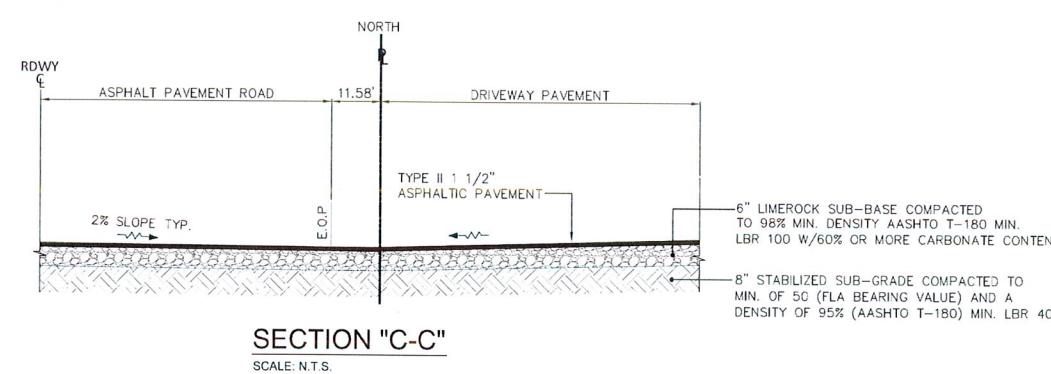
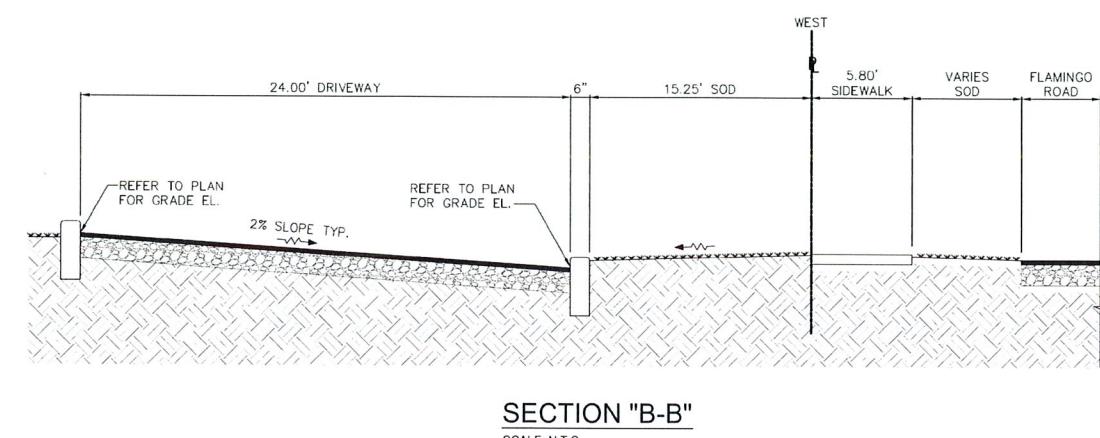
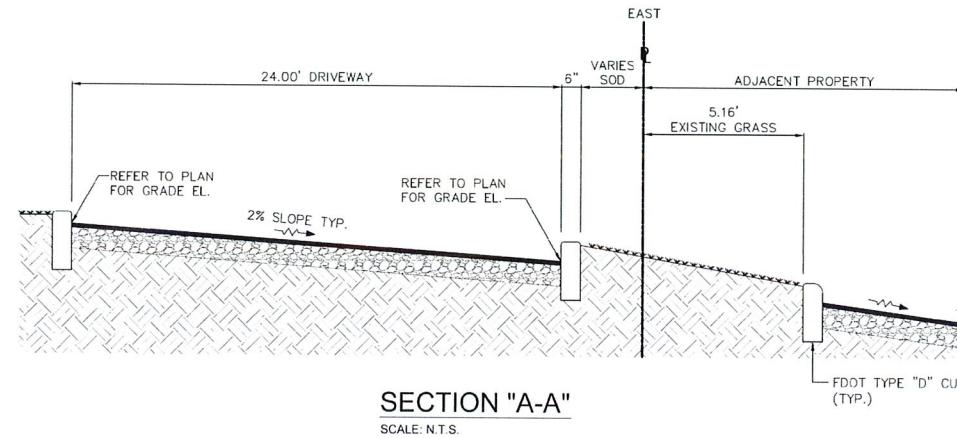
EEI KMDM#57

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EEI KMDM#57

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CROSS SECTION DETAILS

SUNSHINE GASOLINE DISTRIBUTORS
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| | | |
|-----------------|---------------------|--------------|
| SCALE: AS NOTED | DATE: 02-12-18 | REVISION: 3Y |
| DRAWN BY: BM | PROPOSED GRADES BY: | |
| S.S. # | | |
| APPROVED BY: | | |

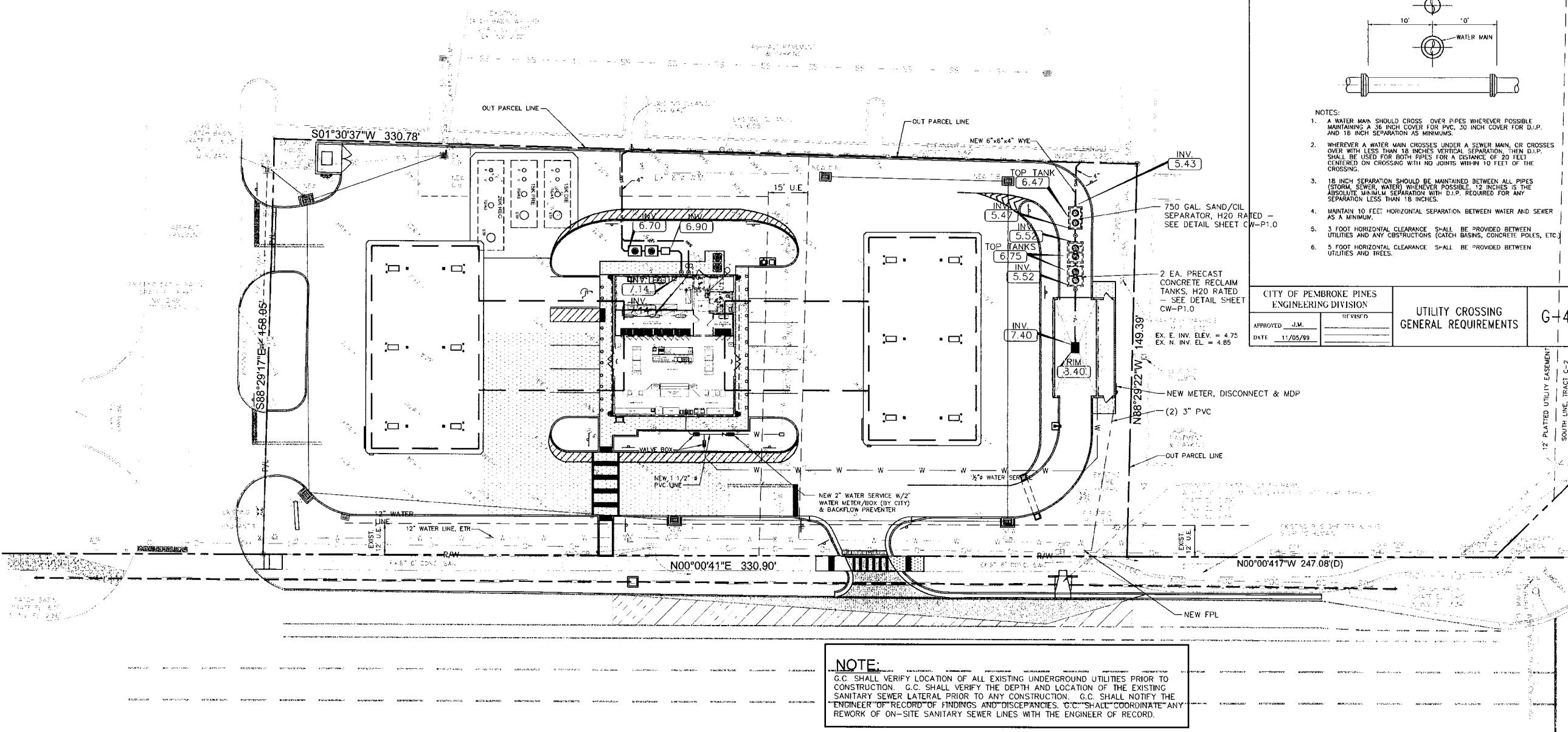
Do Not Scale—Use Dimensions Only
To the nearest 1/8". The plan and specifications
supplied by the engineer, architect or designer
of the project are the only authoritative
specifications of the proposed improvements.
No warranty
is given by the engineer, architect or designer
of the proposed improvements.

MDM
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3251 SW 13th DRIVE, SUITE 200, DUNERFIELD BEACH, FL 33442
(866) 427-3976
E840067

PLOTS PREPARED BY:

RICHARD R. MORRIS
FL REG # 34748
JOB # 15039
DWG # C-3.2
SHEET NUMBER

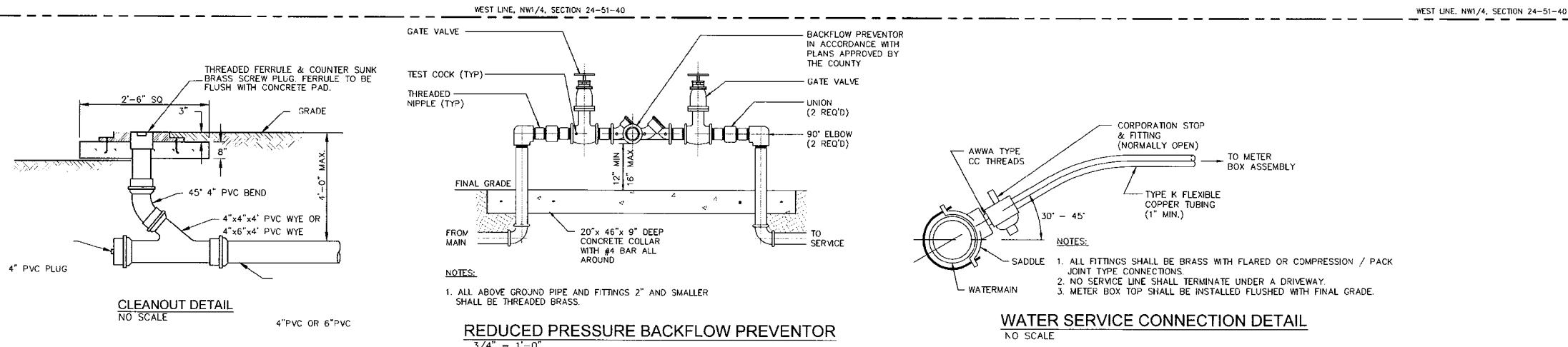
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R7 24 D0 B23E C4 D108 C9 C5



UTILITY PLAN - WATER & SEWER

SCALE: 1" = 20'-0"

FLAMINGO ROAD



RICHARD R. MORRIS
FL REG # 34748

JOB # 15039

DWG # C-4.0

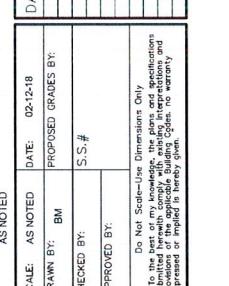
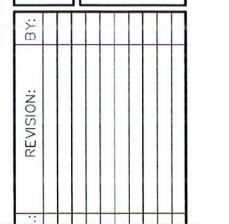
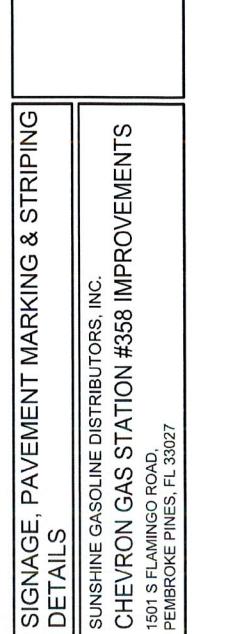
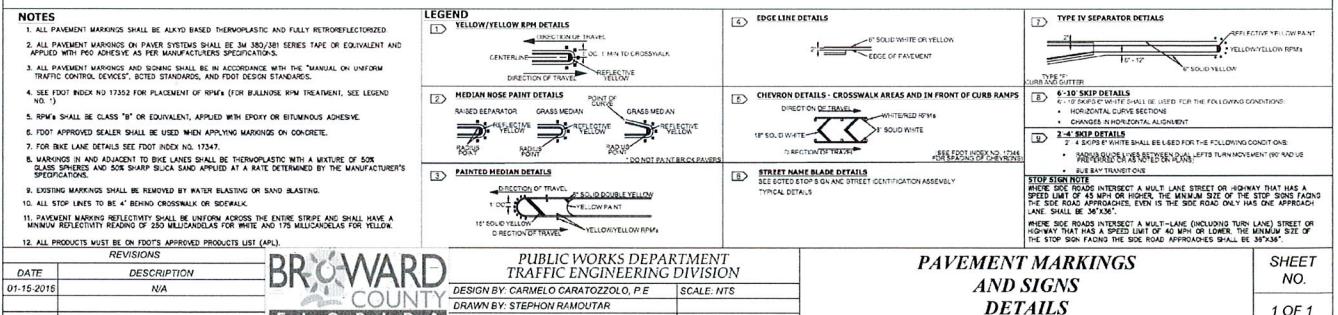
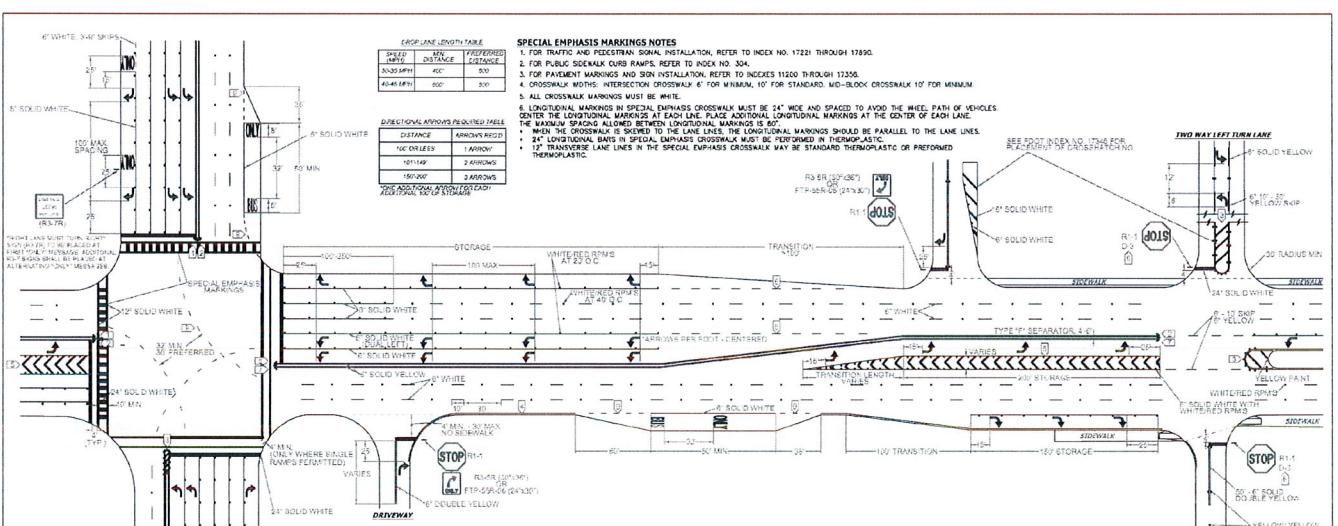
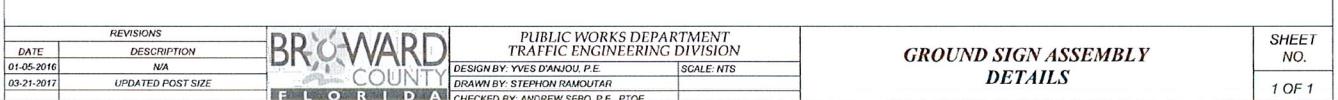
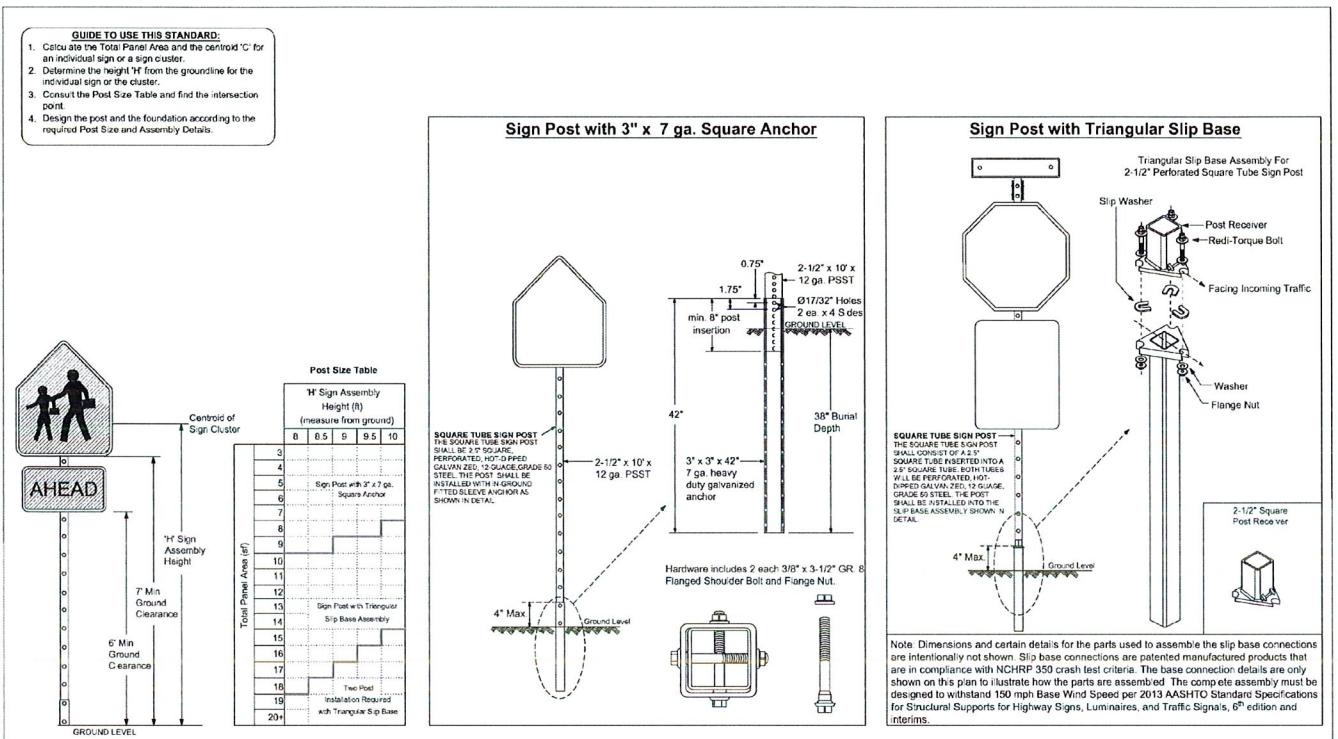
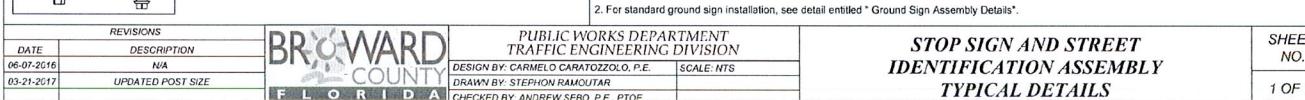
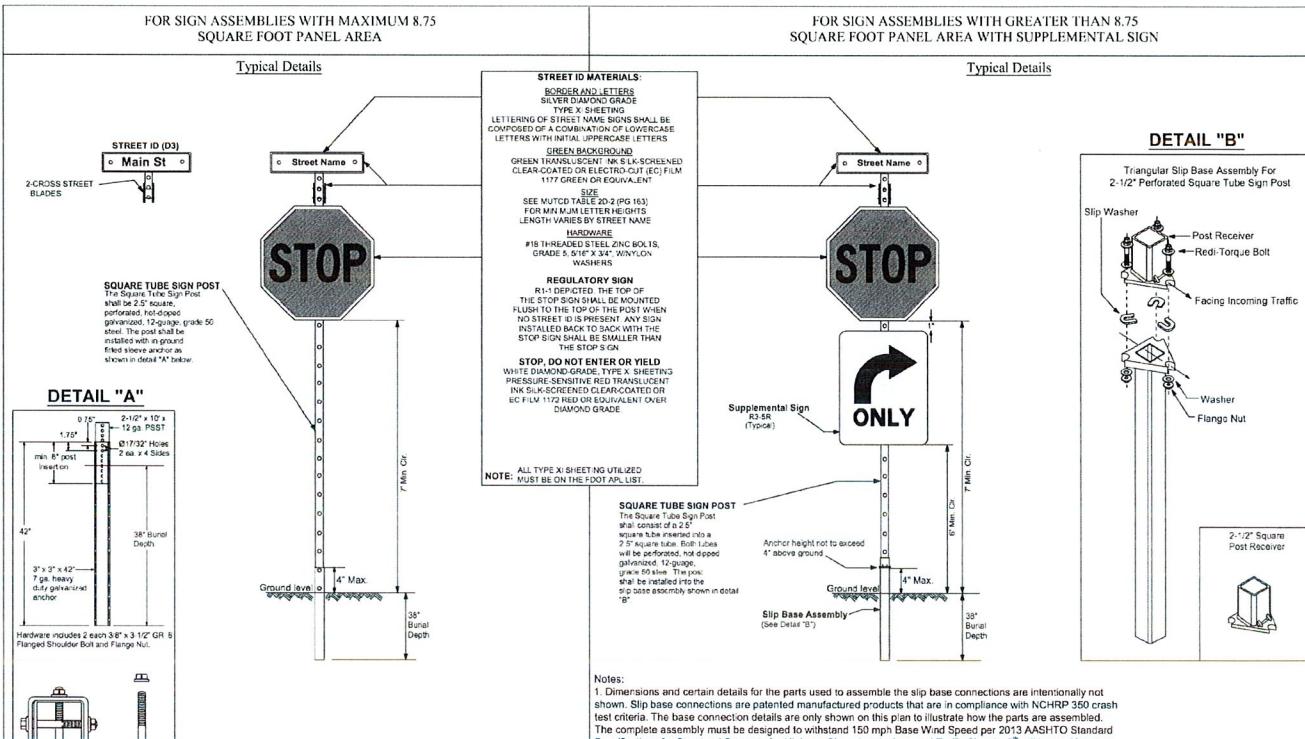
SILVER POWDER

UTILITY PLAN - WATER & SANITARY

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD
PEMBROKE PINES, FL 33127

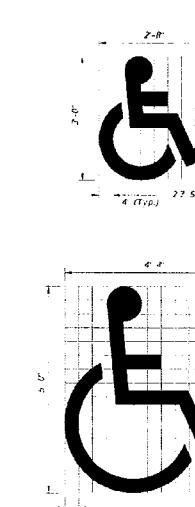
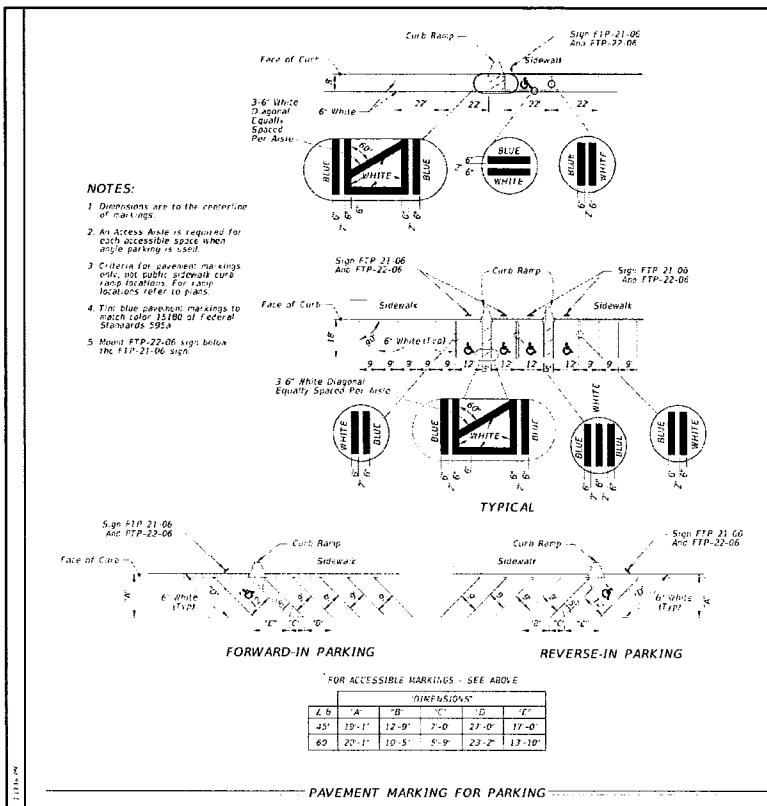
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|---------------------|----------|---|----------|
| GRADE: | AS NOTED | DATE: | 02-12-18 |
| PROPOSED GRADES BY: | | PROPOSED GRADES BY: | |
| CHECKED BY: | | S.S. # | |
| PROVED BY: | | No. Soc. Sci. - Ins. Dimensions Only To the best of my knowledge, the above and underneath printed material is correct, with nothing interpretations or additions made. I am responsible for the correctness of the above and underneath printed material. No warranty is given for the correctness of the above and underneath printed material. | |

7340D B23EC4D10B C9C5

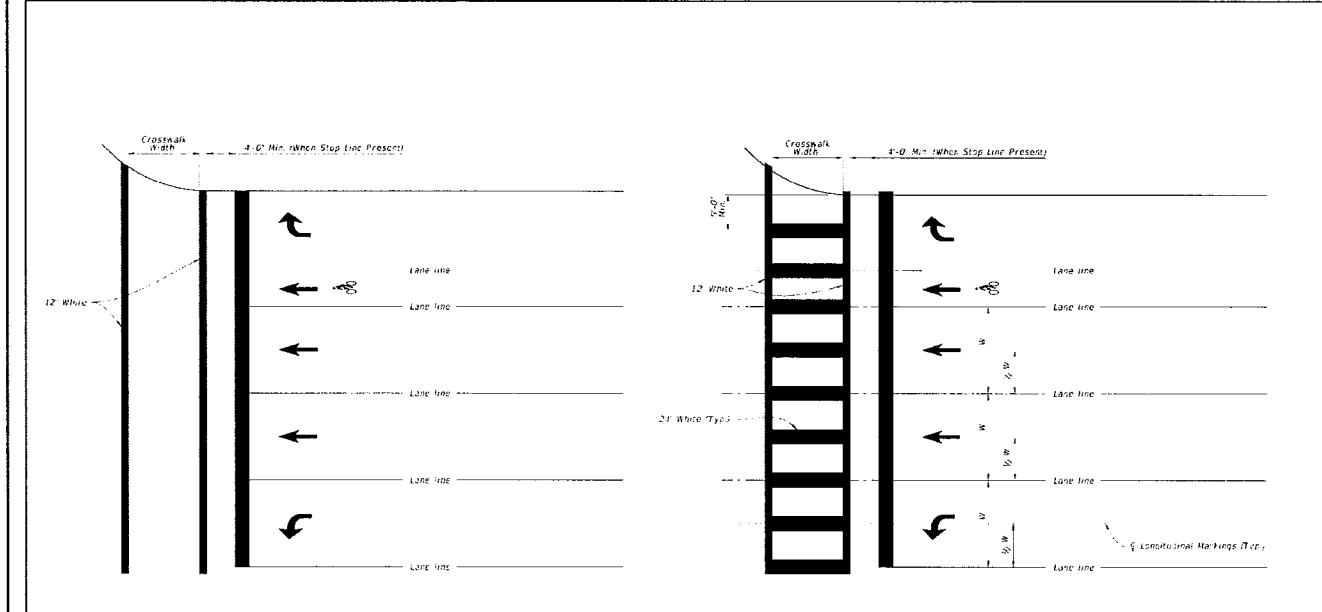


P 6
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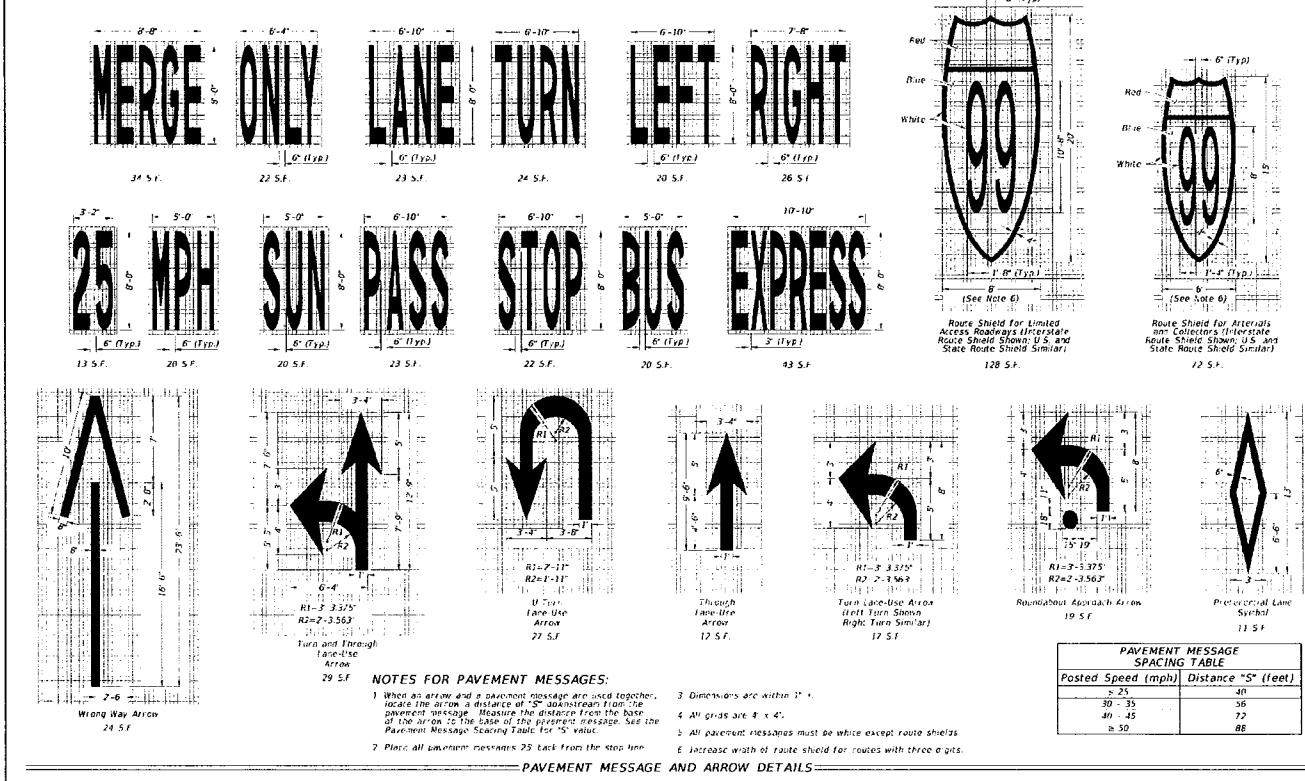
RICHARD R. MORRIS
FL REG #34748
JOB # 15039
DWG # C-5.1
SHEET NUMBER



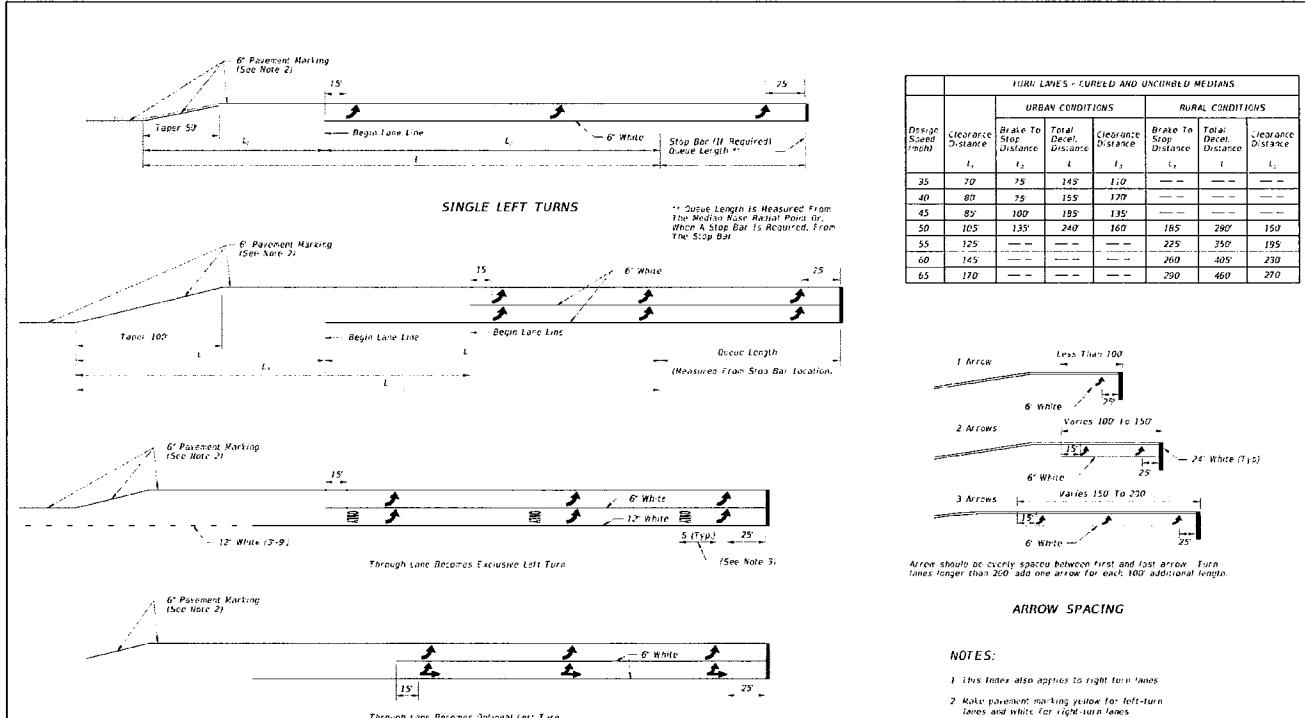
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|------------------------------|------------------------------|---|-------------------|------------------|------------------|
| LAST REVISION 11/01/18 | DESCRIPTION: REVISION | FY 2019-20 STANDARD PLANS | PAVEMENT MARKINGS | INDEX 711-001 | SHEET 12 of 1 |
|------------------------------|------------------------------|---|-------------------|------------------|------------------|



LAST REVISED: 11/01/08 EDITION: 05/001 DESCRIPTION: FY 2019-20 STANDARD PLANS PAVEMENT MARKINGS INDEX SHEET 751-201 10-14



| LAST REVISION | DESCRIPTION | FY 2019-20 STANDARD PLANS | PAVEMENT MARKINGS | INDEX | SHEET |
|---------------|-------------|--|-------------------|---------|--------|
| REVISION | | | | 711-001 | 1 of 1 |
| 11/01/18 | | FDOT | | | |



LAST
REVISION
11/01/19
DESCRIPTION: **FY 2019-20
STANDARD PLANS** PAVEMENT MARKINGS INDEX SHEET **FY 2019-20** **11/01/19**

**SIGNAGE, PAVEMENT MARKING, STRIPING
& TURNLANE DETAILS**

SUNSHINE GASOLINE DISTRIBUTORS, INC.

CHEVRON GAS STATION #358 IMPROVEMENTS

1501 S. FLAMINGO ROAD
PEMBROKE PINES, FL 33077

P

RICHARD R. MORRIS
FL. REC. # 24748

JOB # 15039

DWG # C-5.2

GENERAL NOTES:

1. **Cross Slopes and Grades:**
 - A. Sidewalks, ramp, and landing slopes (i.e. 0.02, 0.05, and 1.12) shown in this Index are maximums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - B. Landings must have cross-slopes less than or equal to 0.02 in any direction.
 - C. Maintain a single longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 15 feet in length.
 - D. Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Item 522-001. No joints are permitted within the ramp portion of the Curb Ramp.

2. **Grade Breaks:**

- Grade breaks at the top and bottom of ramps must be parallel to each other and perpendicular to the direction of the ramp slope.

3. **Curb, Curb and Gutter, and/or Sidewalk:**

- A. Refer to Index 522-001 for concrete thickness and sidewalk details.
- B. Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.

4. **Curb Ramp Alpha-Identification:**

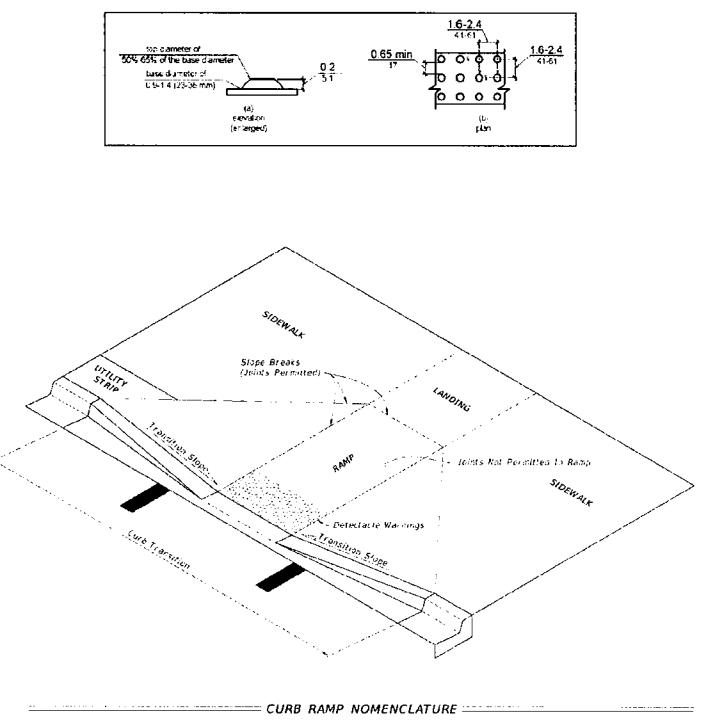
- A. Sidewalk curb, ramp, alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.
- B. Alpha-identifications CR-I and CR-J are intentionally omitted.

5. **Detachable Warnings:**

- A. Install detachable warnings in accordance with Specification 527.
- B. Place detachable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
- C. If detachable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.

6. **Detachable Warnings - Acceptance Criteria:**

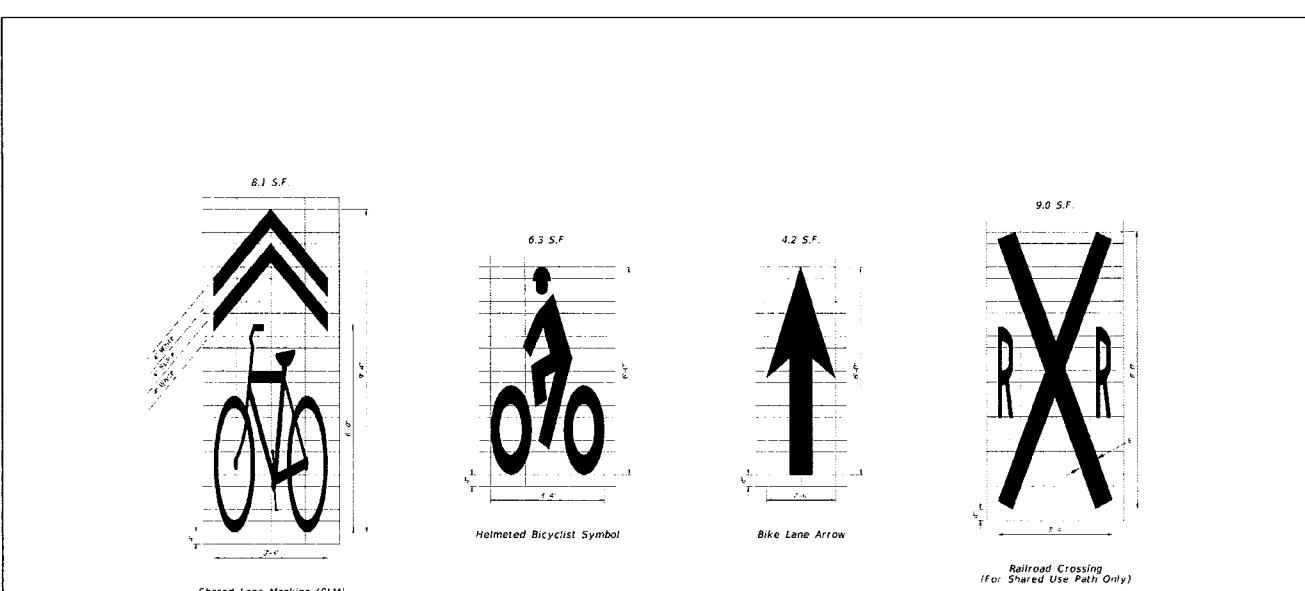
- A. Color and texture shall be complete and uniform.
- B. 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
- C. There shall be no more than 4 non-compliant domes in any one square foot.
- D. Non-compliant domes shall not be adjacent to other non-compliant domes.
- E. Surface shall not deviate more than 0.10' from a true plane.



CURB RAMP NOMENCLATURE

| LAST REVISION | DESCRIPTION | FY 2019-20 STANDARD PLANS | DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS | INDEX 522-002 | SHEET 1 of 8 |
|---------------|-------------|---------------------------|---|---------------|--------------|
| 11/01/18 | | | | | |

| LAST REVISION | DESCRIPTION | FY 2019-20 STANDARD PLANS | BICYCLE MARKINGS | INDEX 711-002 | SHEET 1 of 2 |
|---------------|-------------|---------------------------|------------------|---------------|--------------|
| 11/01/17 | | | | | |



STANDARD PAVEMENT MARKING MESSAGE LAYOUTS

SIGNAGE, PAVEMENT MARKING, STRIPING DETAILS

SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

| DATE: AS NOTED | DATE: 02-12-18 | REVISION: | BY: |
|--------------------|---------------------|-----------|-----|
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| CHECKED BY: S.S. # | | | |
| APPROVED BY: | | | |

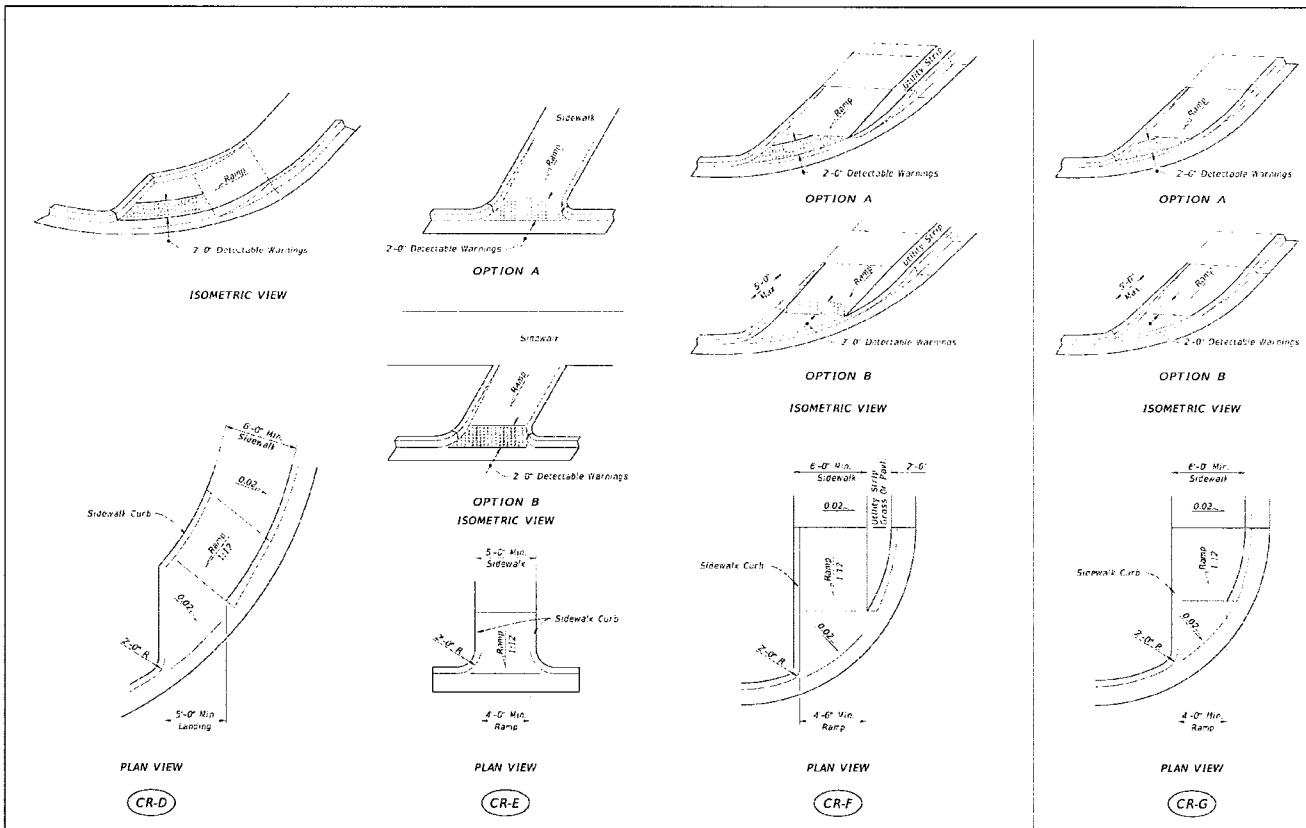
Do Not Scale-Draw Dimensions Only
To the best of my knowledge, these plans and specifications
are complete and correct. I further declare that they are
not the property of any other party, and I have no
interest in them other than my professional services
rendered.

MDM
engineering • environmental • construction
301 SW 3rd Drive, Suite 100 • DIERFIELD BEACH, FL 33442
(855)427-2076
ER 900057

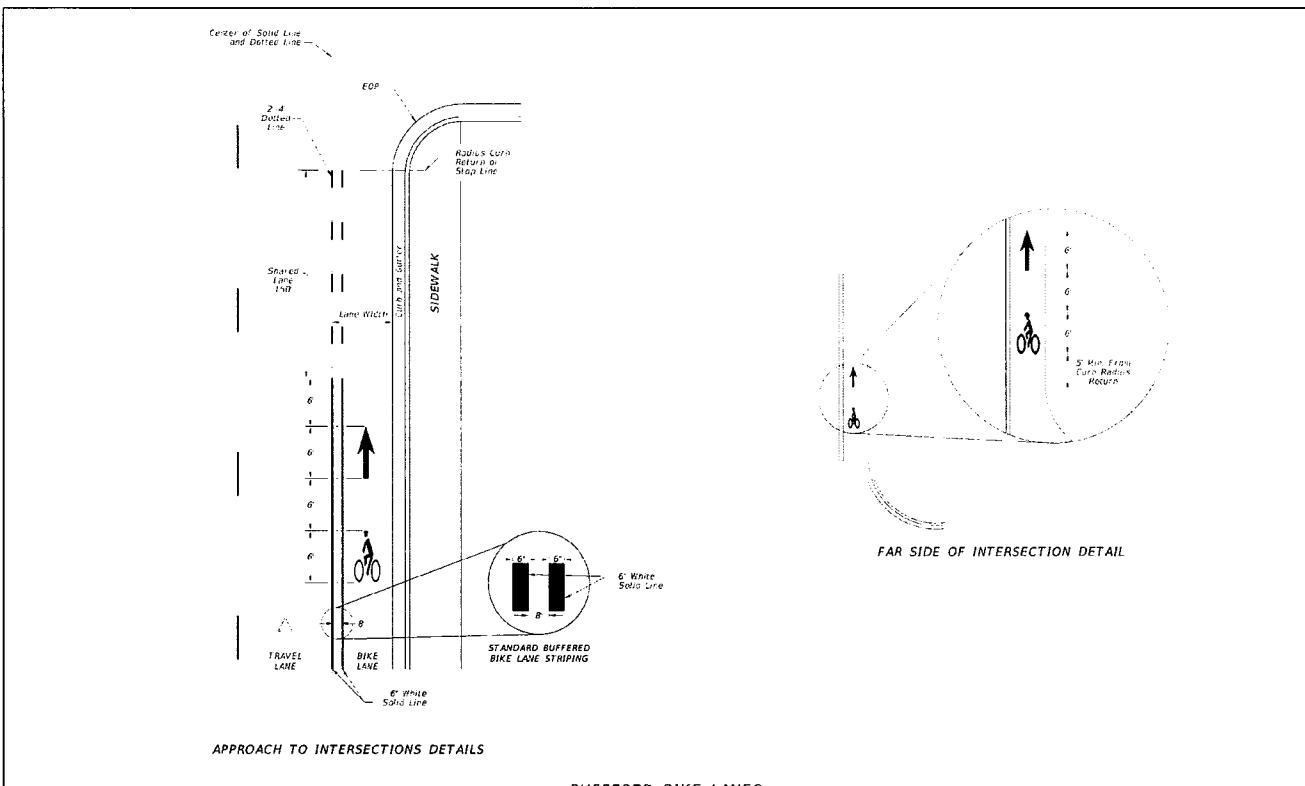
PLANS PREPARED BY

SERIAL # 11-21-C46139478A
07-3403-03-C46139478A
RICHARD R. MORRIS
FL REG # 34748

| JOB # | 15039 |
|--------------|-------|
| DWG # | C-5.3 |
| SHEET NUMBER | |

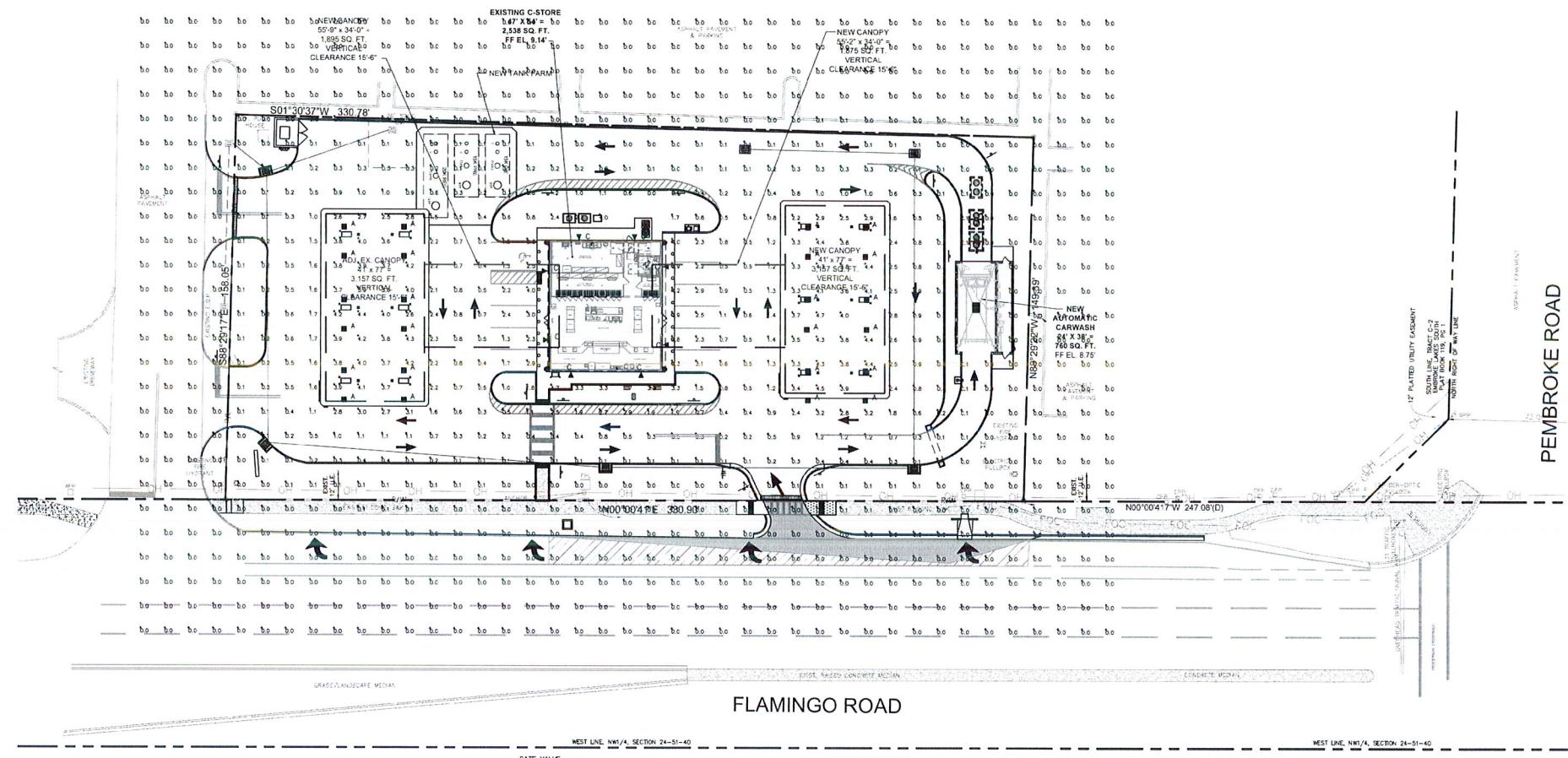


| LAST REVISION | DESCRIPTION | FY 2019-20 STANDARD PLANS | DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS | INDEX 522-002 | SHEET 4 of 8 |
|---------------|-------------|---------------------------|---|---------------|--------------|
| 11/01/18 | | | | | |

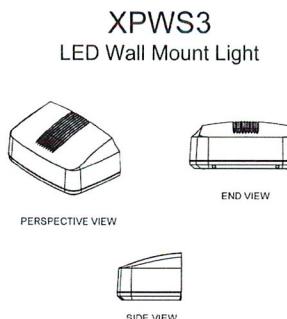
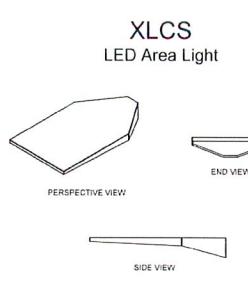


| LAST REVISION | DESCRIPTION | FY 2019-20 STANDARD PLANS | BICYCLE MARKINGS | INDEX 711-002 | SHEET 2 of 2 |
|---------------|-------------|---------------------------|------------------|---------------|--------------|
| 11/01/17 | | | | | |

SHEET NUMBER

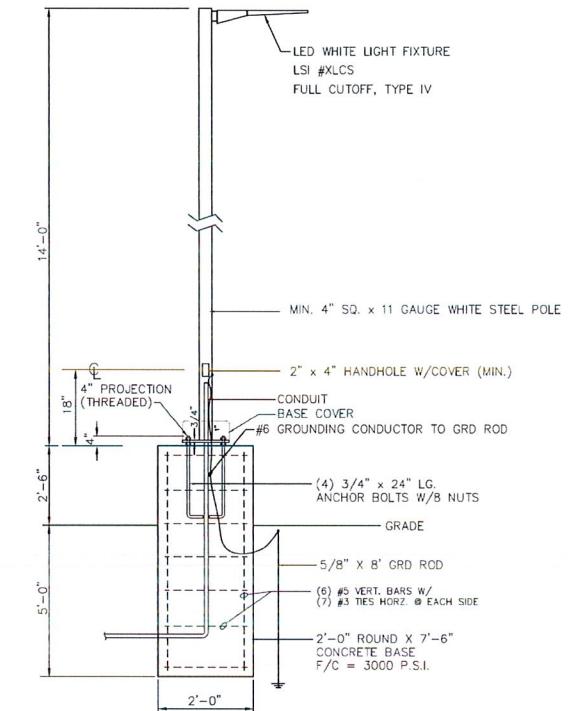


PHOTOMETRIC PLAN
SCALE: 1' = 30'-0"



FIXTURES UNDER CANOPY ARE RECESSED WITH
FULL CUT OFF

NEW AREA LIGHT SIDE VIEW
SCALE: N.T.S.



PHOTOMETRIC PLAN
SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS
1501 S. FLAMINGO ROAD
PEMBROKE PINES, FL 33027

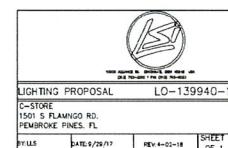
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|------------|-----------|-----|
| | | |

| SCALE: AS NOTED | DATE: 02-12-18 |
|--------------------|---------------------|
| DRAWN BY: BM | PROPOSED GRADES BY: |
| CHECKED BY: S.S. # | |
| APPROVED BY: | |

Do Not Scale Drawing Dimensions Only
Submit Threaded Conduit, Rebar, Poles and Anchors
To the Best Threaded Conduit, Rebar, Poles and Anchors
Expressed in feet and inches. No warranty
is implied for any dimensions or values expressed
or implied in this drawing. The engineer or
architect is responsible for the final design.

| Luminaire Schedule | | | | | | |
|--------------------|-----|-------|---|-------|------------------|------------|
| Symbol | Qty | Label | Description | LLF | Arr. Lum. Lumens | Arr. Watts |
| ■ | 24 | A | CRUS-SC-LED-VLW-40 MTD @ 15' DIMMED 80% | 0.200 | 8575 | 60.9 |
| △ | 8 | C | XPWS3-FT-LED-28-350-NW-UE MTD @ 10' | 1.000 | 2919 | 34 |

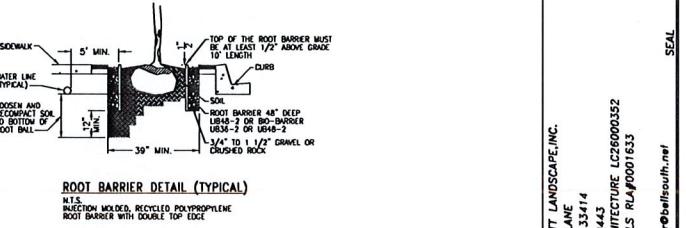
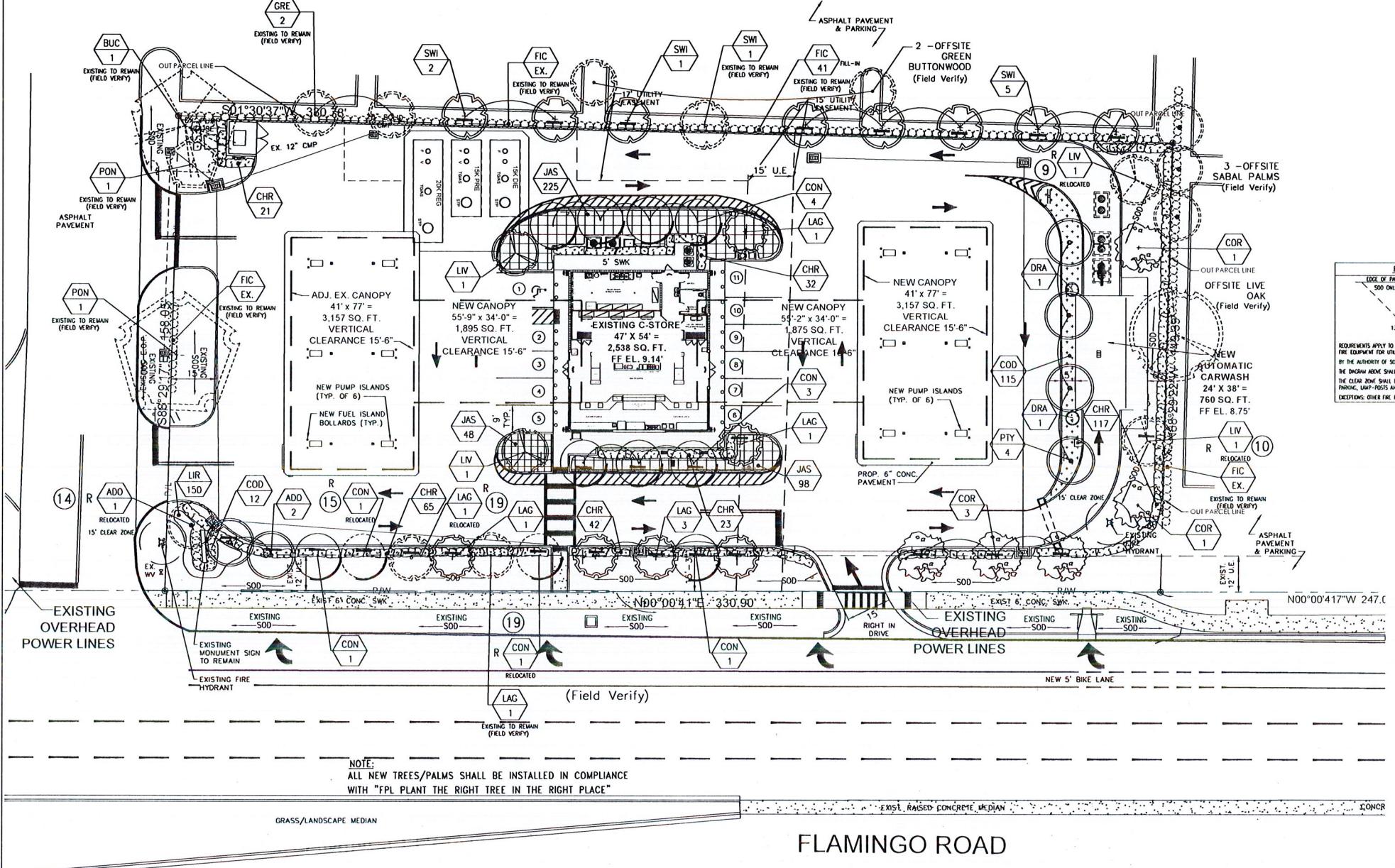
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|--------------------------|-------------|-------|------|-----|-----|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min |
| ALL CALC POINTS AT GRADE | Illuminance | Fc | 0.51 | 5.3 | 0.0 | N.A. |
| CANOPY 1 | Illuminance | Fc | 3.62 | 4.4 | 2.5 | 1.45 |
| CANOPY 2 | Illuminance | Fc | 3.46 | 4.7 | 2.2 | 1.57 |
| INSIDE CURB | Illuminance | Fc | 0.64 | 4.0 | 0.0 | N.A. |



MDM
engineering • environmental • construction
3051 SW 13th Drive, Suite 100 • Doral, FL 33142
(305) 427-5076

| |
|--------------|
| JOB # 15039 |
| DWG # PH-1.0 |
| SHEET NUMBER |
| SHEET 1 OF 1 |

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



ROOT BARRIER DETAIL (TYPICAL)

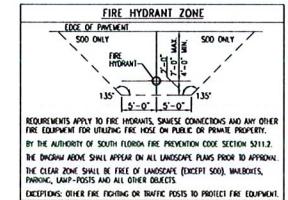
MTS
INJECTION MOLDED, RECYCLED POLYPROPYLENE
ROOT BARRIER WITH DOUBLE TOP EDGE

NOTE: A ROOT BARRIER SHALL BE INSTALLED IN SITUATIONS WHERE A TREE OR PALM IS PLANTED WITHIN 4' OF A PAVED SURFACE, CURBS, STORM SEWER OR INFRASTRUCTURE. MINIMUM ROOT BARRIER REQUIREMENTS:

- 1) PANEL 0.055 THICK POLYPROPYLENE
- 2) ZIPPER JOIN SYSTEM
- 3) ROUNDED EDGES
- 4) 24" DEPTH

NOTE: BIO BARRIERS SHALL BE INSTALLED WHERE TREES ARE IN THE VICINITY OF UNDERGROUND LINES. FIELD VERIFY AS REQUIRED.

■ = ROOT BARRIER/SUPPLY & INSTALL AS SHOWN (TYPICAL) SEE DETAIL



FIRE HYDRANT ZONE

EDGE OF PAVEMENT
SOIL ONLY

15' CLEAR ZONE
15'-0" x 15'-0"

REQUIREMENTS APPLY TO FIRE HYDRANTS, SNAKE CONCESSIONS AND ANY OTHER FIRE EQUIPMENT FOR USE IN FIRE HOSE ON PUBLIC OR PRIVATE PROPERTY.

BY THE AUTHORITY OF SOUTH FLORIDA FIRE PREVENTION CODE SECTION 5712.

THE DRAWING ABOVE SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOIL, WALKS, PLANTERS, BOLLARDS AND ALL OTHER OBJECTS).

EXCEPTIONS: GATE FURNITURE OR BARRIER POSTS TO PROTECT FIRE EQUIPMENT.

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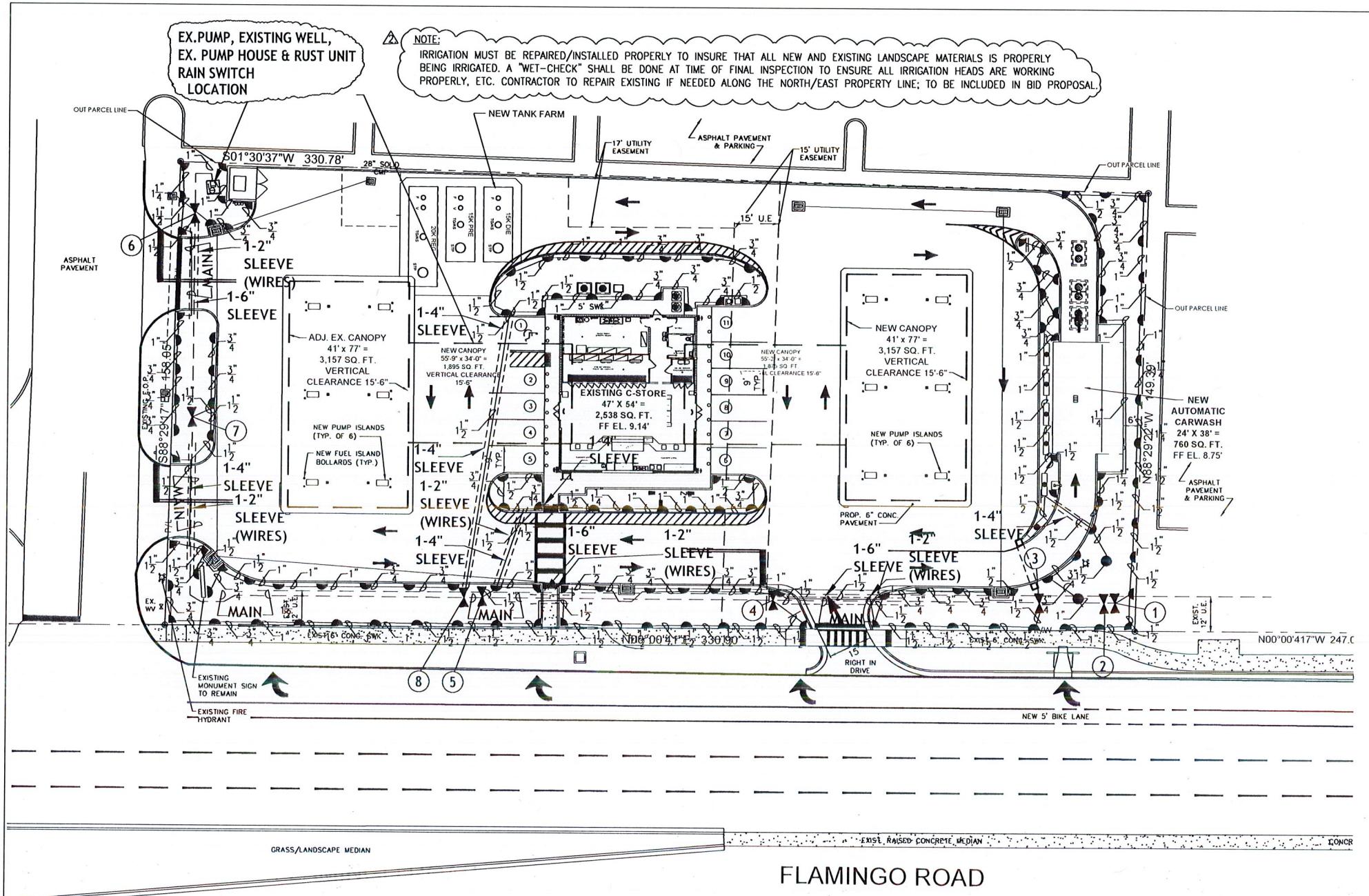
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IRRIGATION PLAN

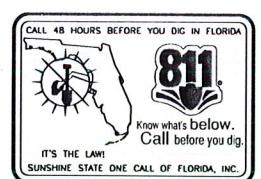
SCALE: 1" = 20'-0"

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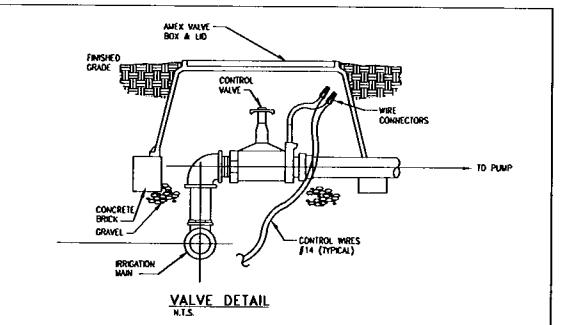
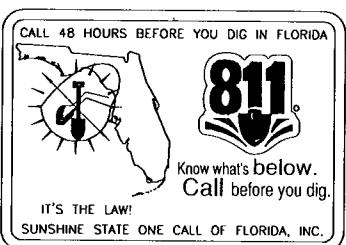
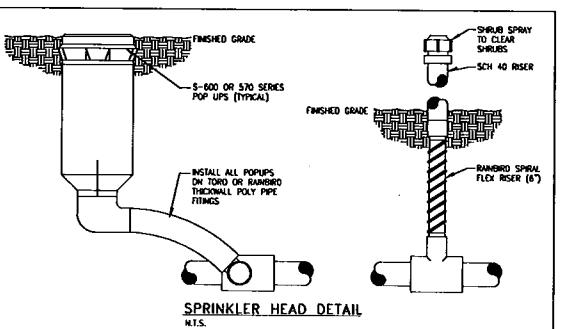
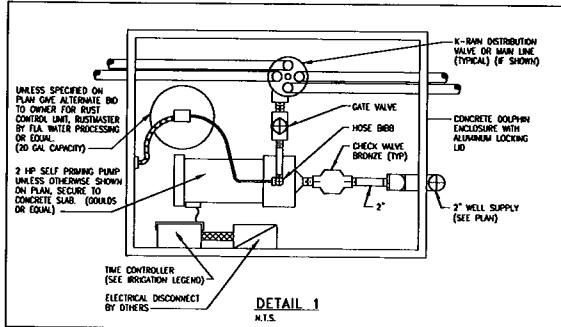
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- (PURPLE CODED PIPE, HEADS, VALVES ETC. SHALL BE INSTALLED FOR FUTURE USE OF RECLAIMED WATER FOR IDENTIFYING RECLAIM WATER COMPONENTS.)
- GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK UP AS REQUIRED.
- CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F)", INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
- HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.

| IRRIGATION LEGEND | | | |
|-------------------|--|---------|------|
| SYMBOL | MODEL NUMBER | AREA | GPM |
| □ | CENTER STRIP - 4' CST | 4'x30' | 1.20 |
| ■ | HALF - 15' H | 15' RAD | 2.00 |
| ■ | QUARTER - 15' Q | 15' RAD | 1.00 |
| ● | END STRIP - 4' EST | 4'x15' | 0.60 |
| ▲ | TORO SERIES S600 GEAR DRIVEN ROTARY SPRINKLER | 42' RAD | 2.5 |
| □ | SIDE STRIP - 4' SST | 4'x30' | 1.45 |
| ● | FULL - 15' F | 15' RAD | 4.00 |
| □ | 2 HP STARITE SELF PRIMING PUMP, MODEL #DS2MG, DELIVERING 55 GPM @ 35 PSI OR EQUIVALENT 220 VOLT (OR EQUAL) W/ PUMP START (EXISTING-FIELD VERIFY) | | |
| ◀ | TORO SERIES LOW VOLTAGE CONTROL VALVES 1 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED | | |
| — | 2" SCH. 40 PVC MAIN LINE AS SHOWN | | |
| — | RAIN BIRD ESP 12 STATION TIME CONTROLLER RAIN SWITCH READY 220/24 VOLT | | |
| — | TORO RAIN SWITCH MODEL # 850-74 (EXISTING - FIELD VERIFY) | | |
| ⊕ | 2" CASED IN WELL EXISTING-FIELD VERIFY (WATER USE PERMIT BY OTHERS) | | |
| — | RUST CONTROL DEVICE-SEE DETAIL ON SPECIFICATIONS SHEET (EXISTING-FIELD VERIFY) | | |

| SEE DETAIL #1 ON SPECIFICATION SHEET | | | | | | | | | | | | |
|--------------------------------------|-------|-------|-------|-------|-------|-------|-------|-------|---|----|----|----|
| ZONE | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 |
| HEADS | 19 | 24 | 17 | 18 | 15 | 13 | 16 | 16 | - | - | - | - |
| G. P. M. | 37.00 | 39.20 | 29.00 | 30.00 | 26.00 | 19.00 | 28.00 | 27.00 | - | - | - | - |



| | | | | | | | | | | | | | |
|---|-----------------------------------|---|----------------|-------------|-------------------------|-----------------------------------|---|---------------------------|-------|---|----------------------------|----------|----------|
| RICHARD BARTLETT LANDSCAPE, INC. 14417 STRIP LANE WELLINGTON, FL 33414 LANDSCAPE ARCHITECTURE LC26002532 MICHAEL E. RAWLS RA#P0011333 EMAIL: phomemaker@bellsouth.net | | | | | | | | | | | | | |
| SEAL | | | | | | | | | | | | | |
| IRRIGATION PLAN | | | | | | | | | | | | | |
| SUNSHINE GASOLINE DISTRIBUTORS, INC. CHEVRON GAS STATION #358 IMPROVEMENTS 1501 S FLAMINGO ROAD PEMBROKE PINES, FL 33027 | | | | | | | | | | | | | |
| <table border="1"> <tr> <td>SCALE: AS NOTED</td> <td>DATE: 02-12-18</td> <td>REVISION: 1</td> </tr> <tr> <td>DRAWN BY: RICK BARTLETT</td> <td>PROPOSED GRADES BY: RICK BARTLETT</td> <td>REVISED SITE PLAN/UPDATED CITY COMMISSION APPROVED SITE</td> </tr> <tr> <td>CHECKED BY: RICK BARTLETT</td> <td>SS #:</td> <td>REMOVED SITE PLAN/UPDATED APPROVED SITE</td> </tr> <tr> <td>APPROVED BY: RICK BARTLETT</td> <td>RRB/AMER</td> <td>RRB/AMER</td> </tr> </table> <p>Do Not Use Dimensions Only To the best of my knowledge, the above dimensions and specifications are correct. I further declare that the above dimensions and specifications are correct and that the dimensions and specifications expressed are to the best of my knowledge, the true and accurate dimensions and specifications of the property or object or feature shown or described.</p> | | SCALE: AS NOTED | DATE: 02-12-18 | REVISION: 1 | DRAWN BY: RICK BARTLETT | PROPOSED GRADES BY: RICK BARTLETT | REVISED SITE PLAN/UPDATED CITY COMMISSION APPROVED SITE | CHECKED BY: RICK BARTLETT | SS #: | REMOVED SITE PLAN/UPDATED APPROVED SITE | APPROVED BY: RICK BARTLETT | RRB/AMER | RRB/AMER |
| SCALE: AS NOTED | DATE: 02-12-18 | REVISION: 1 | | | | | | | | | | | |
| DRAWN BY: RICK BARTLETT | PROPOSED GRADES BY: RICK BARTLETT | REVISED SITE PLAN/UPDATED CITY COMMISSION APPROVED SITE | | | | | | | | | | | |
| CHECKED BY: RICK BARTLETT | SS #: | REMOVED SITE PLAN/UPDATED APPROVED SITE | | | | | | | | | | | |
| APPROVED BY: RICK BARTLETT | RRB/AMER | RRB/AMER | | | | | | | | | | | |
| MDM | | | | | | | | | | | | | |
| engineering • environmental • construction 205 SW 3rd DRIVE, SUITE "D" DERYFIELD, FL 33342 EB #042557 RICHARD R. MORRIS FL REG # 34748 RBL #17-09-2092 JOB # 15039 | | | | | | | | | | | | | |
| DWG # L-2 | | | | | | | | | | | | | |
| SHEET NUMBER L-2 OF 4 | | | | | | | | | | | | | |



IRRIGATION SPECIFICATIONS

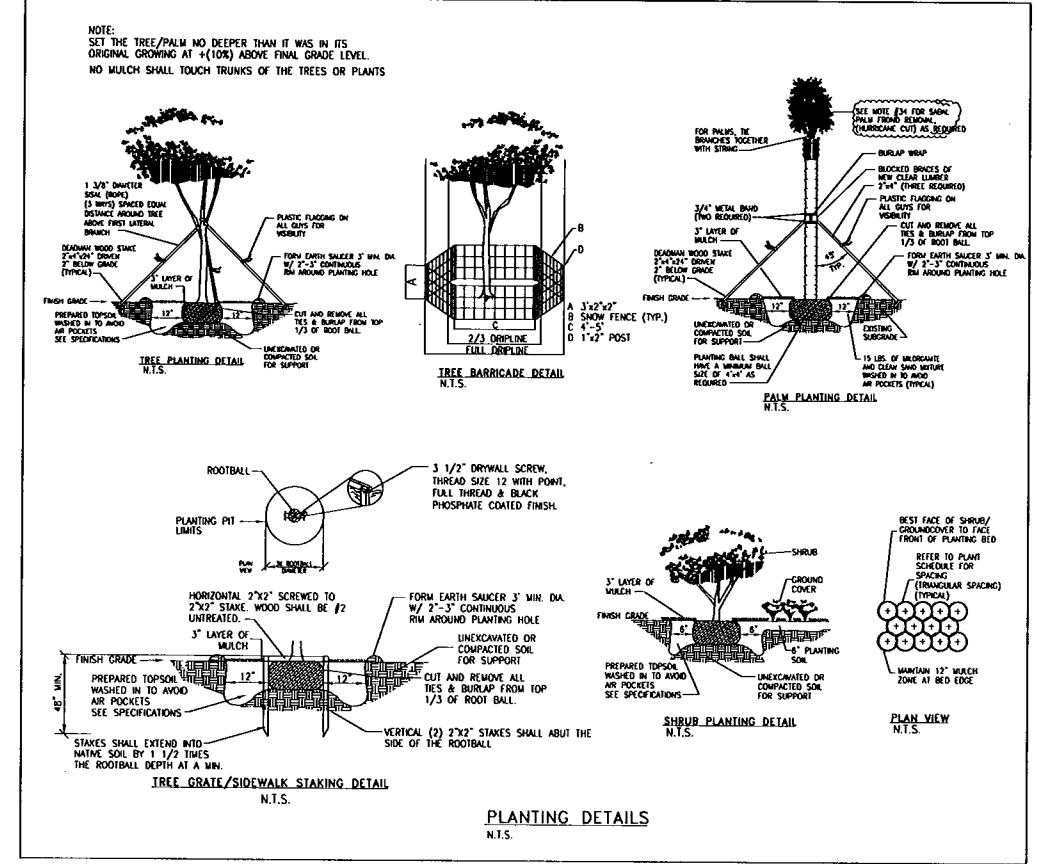
- HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS ON PAVEMENT PRIOR TO INSTALLATION & SHALL BE PAINTED FLAT BLACK; IF APPROVED.
 - ALL MAINS AND SLEEVES MUST BE PVC SCH 40 AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
 - ALL LATERALS MUST BE PVC SCH 160 AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
 - PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL AS BE FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-A-1:

| PIPE SIZE (INCHES) | DEPTH OF COVER (INCHES) |
|--------------------|-------------------------|
| 1/2 - 2 1/2 | 18"-24" |
| 3 | 24"-30" |
| 6 AND LARGER | 30"-36" |
 - CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO CONFORM WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
 - IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
 - IRRIGATION CONTRACTOR TO PROVIDE 35 PSI AT ALL HEADS.
 - HEADS TO BE INSTALLED IN PLANTERS SHOULD BE LOCATED ON RISERS.
 - IRRIGATION CONTRACTOR TO FURNISH CONTROLLER TIME CLOCK TO BE LOCATED IN MECHANICAL ROOM OR APPROVED LOCATION.
 - BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP.
 - ALL WORK MUST BE DONE AS PER LOCAL CODES.
 - SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED, AND INSURED LANDSCAPE IRRIGATOR.
 - SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
 - IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND LOCATING OF SAME. SLEEVED UNDER PAVEMENT AND WALLS, EXPOSED ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED. ONE EXTRA WIRE SHALL BE RUN WITH EACH ZONE VALVE. IF X-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
 - ALL IRRIGATION LINE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES AS REQUIRED.
 - IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLACEMENT OF LINES WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
 - ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (UNLESS OTHERWISE SHOWN). RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN THE SYSTEM. A RAIN SENSORS OR OTHER RUST FREE WATER SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 7:00 PM TO 7:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.

IRRIGATION LEGEND

| Irrigation Equipment | | Area | GPM |
|---|--|---------|------|
| TORO SPRY NOZZLES 570 W/ 6" SPRINKLER BODY | | - | - |
| FULL - 15' F | | 15' RAD | 4.00 |
| 220° - 15' 220° | | 15' RAD | 3.00 |
| HALF - 15' H | | 15' RAD | 2.00 |
| QUARTER - 15' Q | | 15' RAD | 1.00 |
| SIDE STRIP - 4' SST | | 4'x30' | 1.45 |
| SIDE STRIP - 9' SST | | 9'x18' | 1.20 |
| CENTER STRIP - 4' CST | | 4'x30' | 1.20 |
| END STRIP - 4' EST | | 4'x15' | 0.60 |
| TORO SERIES 5800 GEAR DRIVEN ROTARY SPRINKLER | | 43' RAD | 2.77 |
| TORO MODEL NO. 304-00-03 STREAM ROTOR SPRINKLER | | 28' RAD | 1.36 |
| TORO MODEL NO. 308-00-03 STREAM ROTOR SPRINKLER | | 28' RAD | 2.72 |
| TORO MODEL NO. 311-00-03 STREAM ROTOR SPRINKLER | | 28' RAD | 3.39 |
| CASED IN WELL (SIZE AS SHOWN - SEE IRRIGATION PLAN) | | | |
| MANIFOLD TO PVC SCH. 40 (SIZE AS SHOWN) | | | |
| TORO SERIES 252 LOW VOLTAGE AUTOMATIC VALVE (SIZE AS SHOWN) | | | |
| RUST CONTROL DEVICE (IF SHOWN) | | | |
| TIMER CONTROL AS SHOWN | | | |
| TORO RAIN SENSOR DEVICE MODEL # 850-74 | | | |

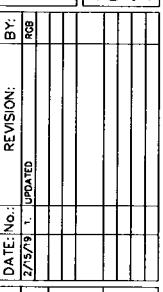
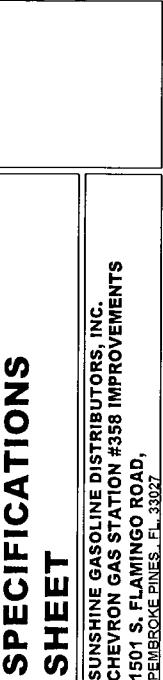
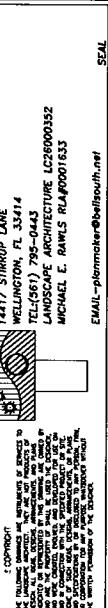
LANDSCAPE & IRRIGATION SPECIFICATIONS



LANDSCAPE SPECIFICATIONS

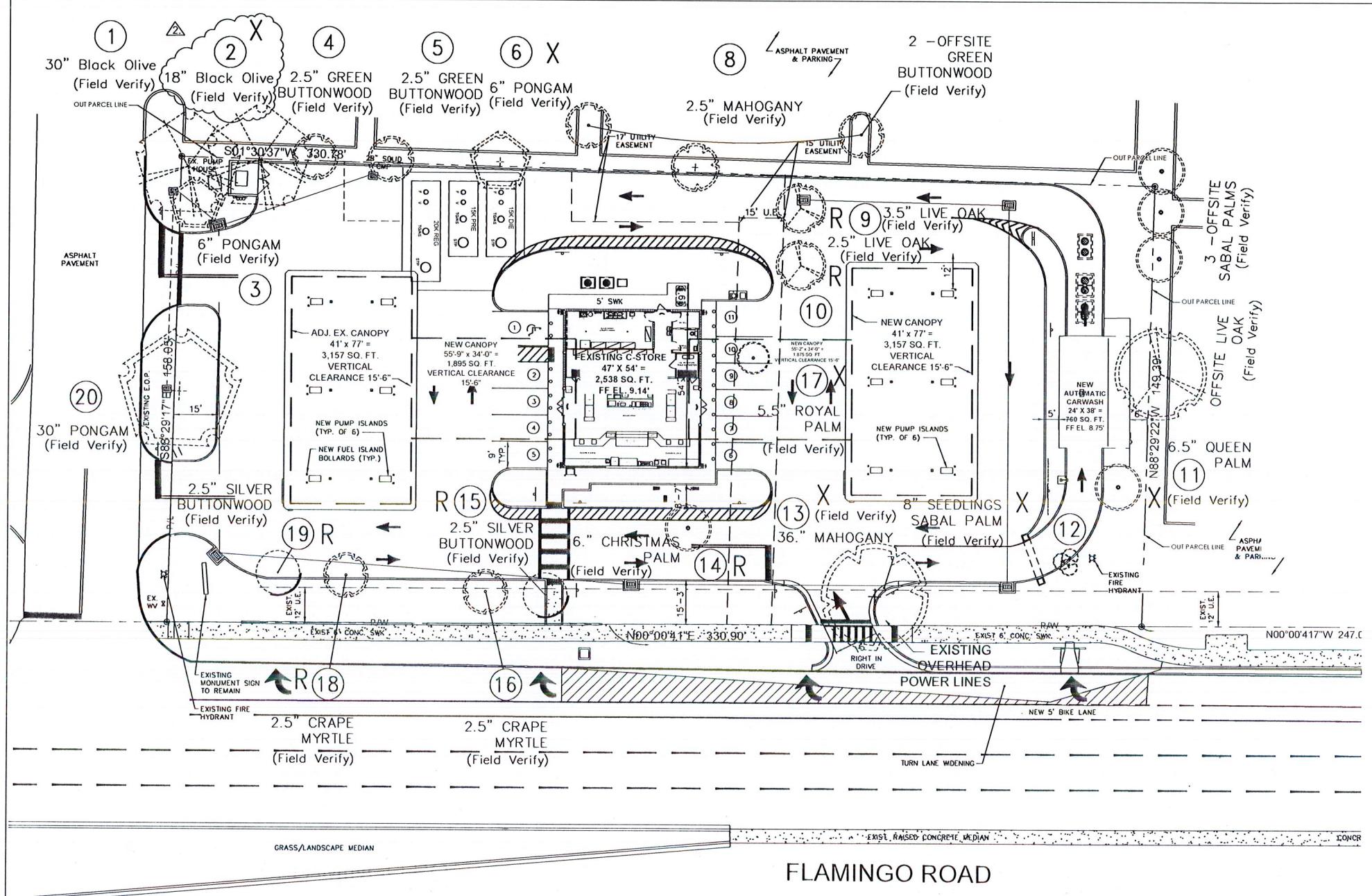
- LANDSCAPE SPECIFICATIONS**

 - CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES, IN CASE THEY OCCUR, THE PLAN WILL TAKE PRIORITY OVER THE PLANT LIST.
 - EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY, COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
 - THE LANDSCAPE PLANTS SHALL NOT BE UTILIZED FOR STAKING, LAYING OUT LOCATIONS OR ANY SITE STRUCTURE OR FEATURE INCLUDING BUT NOT LIMITED TO BUILDINGS, SIGNS, SIDEWALKS, EASEMENTS, UTILITIES OR ROADWAYS.
 - ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS, CURRENT EDITION RESPECTIVELY.
 - ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
 - ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
 - ALL SOIL TO BE ST. AUGUSTINE FLORALOID SOLID, UNLESS OTHERWISE NOTED.
 - ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH / FLORALINCH, & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
 - ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
 - ALL TREES FIELD GROWN (LIRIO CAN TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
 - LANDSCAPE TO FURNISH ALL MATERIALS AND LABOR INCLUDING PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMITS, ETC., NECESSARY FOR COMPLETION OF ALL LANDSCAPE REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE BY OTHERS.
 - LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
 - OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
 - LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
 - PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
 - ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
 - PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
 - OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
 - LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
 - THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXCEPT THOSE SPECIFICALLY LISTED IN THE PLANS. IT IS THE LANDSCAPER'S RESPONSIBILITY TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
 - METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
 - PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR LEAF); L (LAWN); P (PLANT IN LAWN); F (FOLIAGE); H (HEIGHT); S (SEASON'S GROWTH); SPR (INDICATES SPRING); H/H (INDICATES HEIGHT); MIN (INDICATES MINIMUM).
 - SUBSTITUTION: PLANT SUBSTITUTION REQUESTS FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT. FOR CONSIDERATION AND APPROVAL, IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
 - THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, ETC. OR ON ANY "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROCESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
 - SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH OR SLIGHTLY HIGHER (+1") THAN THE FINISHED GRADE.
 - DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
 - COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, AND POTASH IN EQUAL PERCENTAGES OR AVERAGE PLANT FOOD BY WEIGHT OR "MOLORGANIC". NITROGEN SHALL NOT EXCEED 6% OF THE ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
 - INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MOLORGANIC" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MOLORGANIC" IN A CIRCLE AROUND THE PLANT BASE, DIA. 1 1/2" TO 2' DEP. ON THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER. AFTER WATERING, APPLY "MOLORGANIC" FERTILIZER AT THE FOLLOWING RATE:
 - 5 LBS. OR 1/4 CUB. / PALMS
 - 3 LBS. OR 8 1/2 CUB. / 12"-16" MATERIAL
 - 2 LBS. OR 5 1/2 CUB. / 8"-12" MATERIAL
 - 0.69 LBS. OR 2 1/2 CUB. / 6"-8" MATERIAL
 - 0.35 LBS. OR 1 1/2 CUB. / 4"-6" MATERIAL
 - 0.10 LBS. OR 1/4 CUB. / 1 GAL. MATERIAL - FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 - SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM, OR APPROVED EQUAL, PER 100 LBS. PER 100 FT. CUB. CONTAINER, 1 LB. PER 1 GAL. CONTAINER) AND GROWTH REGULATORS. THE STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. (14'-14'-14').
 - FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN (10% PER PHOSPHOROUS AND 10% POTASSIUM) SHALL BE USED AND TAKEN AT THE FOLLOWING RATE: 1/2 PER 1 GAL. PLANT, 2 PER 10 GAL. PLANT AND 10 PER FT. OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURER'S RECOMMENDATION.
 - SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL, AS PACKAGED IN 3 OZ. HANDY POUCHES, SHALL BE APPLIED AT A CONCENTRATION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS:
 - 1 PAC PER TREE - 36" BALL SIZE
 - 2 PACS PER TREE - OVER 36" BALL SIZE
 - 1 PAC PER 20 GAL. CONTAINER
 - 0.5 PACS PER 7-10 GAL. CONTAINER
 - 0.25 PACS PER 3 GAL. CONTAINER
 - 0.125 PACS PER 1 GAL. CONTAINER - LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
 - PLANTING SOIL: PLANTING SOIL SHALL BE COMPOSED OF 50% SAND AND 50% DEDDUCED PLANT MATERIAL. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DEDIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRAGILE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
 - WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER.
 - PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNING TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO LEAVE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH, WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
 - SITE PREPARATION: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (GRADE) ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BLINDS, DEPRESSIONS, STACKS, STONES, AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER.
 - MANUFACTURED PLANT MATERIALS SHALL BEGUN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITIONS AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATIONS TO PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM THE PLANTING SHALL BE REPAIRED.
 - CONTRACTOR TO REMOVE ALL REMAINING FRONDS ON NEWLY PLANTED SABAL PALMS WITH THE EXCEPTION OF THE CENTER BUD TO INSURE BETTER SURVIVABILITY AND LESS WATER STRESS PROBLEMS OF THE PALM, THUS GIVING HIGHER SURVIVOR RATE OF THE PALM. (NOTE: OTHER PALM SPECIES TIE BRANCHES TOGETHER WITH BODGEBANDS AND TIE TO A TIGHT BUNDLE AROUND BUD FOR PROTECTION AS REQUIRED).
 - ALL APPLICABLE FEDERAL, STATE, AND LOCAL PERMITS SHALL BE ATTAINED PRIOR TO ANY REMOVAL, RELOCATION, OR INSTALLATION OF PLANT MATERIALS INDICATED WITHIN THE PLANS OR PLAN DOCUMENTS.
 - A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND CYCLIST TRAFFIC AT LEVEL



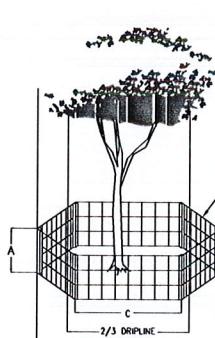
RBL#17-09-2092
OB # 15039

WG / L-3



TREE DISPOSITION PLAN

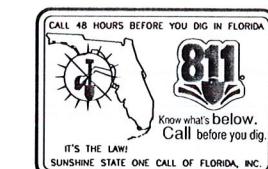
SCALE: 1" = 20'-0"



TREE BARRICADE DETAIL

TREE BARRICADE NOTES:

- ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION, IF REQUIRED SEE PLAN.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS MATERIAL SUCH AS LEAVES, OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES W/ TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE. TRANSPANT TREES W/ 60" TREE SPADE, AND / OR TREE CRANE. TRANSPANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPANTING.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE. HOSE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A TEMPORARY HOLDING AREA SHALL BE USED ON SITE DURING CONSTRUCTION OR UNTIL TREES CAN BE PROPERLY RELOCATED, COORDINATE WITH LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER, FLORIDA HOLLY AND ALL EXOTIC NUISANCE MATERIAL ON SITE AS REQUIRED.
- CONTRACTOR SHALL FIELD ADJUST NEW TREE LOCATIONS TO BE 15' MINIMUM FROM LIGHT STANDARDS.
- ALL TREES TO HAVE AT LEAST 5' CLEAR TRUNK AND SHALL HAVE 36" DIA. MULCH BED.



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

X= TO BE REMOVED * SEE SHEET L-1 FOR MITIGATION (SEE NOTE BELOW)
R= TO BE RELOCATED * SEE SHEET L-1 FOR LOCATIONS

| TREE DISPOSITION LIMITS CHART | | | | | | | | | |
|-------------------------------|--------|--------|--------|----------|-----------------------|--------------------------|--------------|---------------|--------------------------------|
| No. | D. (") | H. (") | S. (") | CAL. (") | SCIENTIFIC NAME | COMMON NAME | CANOPY | CONDITION | DISPOSITION |
| 1 | 12 | 35 | 35 | 18 | bucida buceras | BLACK OLIVE | 1,225 SQ.FT. | GOOD | TO REMAIN |
| 2 | 12 | 34 | 32 | 18 | bucida buceras | BLACK OLIVE | 1,024 SQ.FT. | GOOD | TO REMAIN |
| 3 | 3 | 16 | 15 | 6 | pongamia pinnata | PONGAM | 225 SQ.FT. | GOOD | TO REMAIN |
| 4 | 2 | 12 | 12 | 2.5 | conocarpus erectus | GREEN BUTTONWOOD | 225 SQ.FT. | GOOD | TO REMAIN |
| 5 | 2 | 12 | 12 | 2.5 | conocarpus erectus | GREEN BUTTONWOOD | 144 SQ.FT. | GOOD | TO REMAIN |
| 6 | 3 | 14 | 12 | 6 | pongamia pinnata | PONGAM | 144 SQ.FT. | POOR | TO BE REMOVED |
| 7 | -- | -- | -- | -- | | | -- | -- | -- |
| 8 | 2 | 12 | 10 | 3.0 | swietenia mahogoni | MAHOGANY | 100 SQ.FT. | GOOD | TO REMAIN |
| 9 | 2 | 14 | 10 | 3.5 | quercus virginiana | LIVE OAK | 100 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 10 | 2 | 14 | 10 | 2.5 | quercus virginiana | LIVE OAK | 100 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 11 | 2 | 22 | 12 | 7 | syagrus romanzoffiana | QUEEN PALM | 144 SQ.FT. | POOR/DECAY | TO BE REMOVED |
| 12 | 2 | 5 | 14 | 8 | sabal palmetto | SABAL PALM (3-SEEDLINGS) | 196 SQ.FT. | POOR | TO BE REMOVED |
| 13 | 12 | 38 | 45 | 36 | swietenia mahogoni | MAHOGANY | 1,024 SQ.FT. | FAIR/PL LINES | TO BE REMOVED |
| 14 | 2 | 16 | 12 | 5.5 | odoniodia merrillii | CHRISTMAS PALM | 2,025 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 15 | 2 | 12 | 10 | 2.5 | conocarpus seceris | SILVER BUTTONWOOD | 100 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 16 | 2 | 12 | 10 | 2.5 | logerstroemia indica | CRAPE MYRTLE | 100 SQ.FT. | GOOD | TO REMAIN |
| 17 | 2 | 12 | 10 | 2.5 | conocarpus seceris | SILVER BUTTONWOOD | 100 SQ.FT. | GOOD | TO REMAIN |
| 18 | 2 | 12 | 10 | 2.5 | logerstroemia indica | CRAPE MYRTLE | 100 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 19 | 2 | 12 | 10 | 2.5 | conocarpus seceris | SILVER BUTTONWOOD | 100 SQ.FT. | GOOD | TO BE RELOCATED(SEE SHEET L-1) |
| 20 | 9 | 28 | 38 | 22 | pongamia pinnata | PONGAM | 1,444 SQ.FT. | GOOD | TO REMAIN |

TOTAL CANOPY TO BE REMOVED= 2,532 SQ.FT.

*TOTAL CANOPY REQUIRED MITIGATION = 2,532 SQ.FT. 9 TREES (300 SQ.FT.)=ROUNDED UP TO THE NEAREST WHOLE NUMBER=9 TREES (300 SQ.FT.)=2,700 PROVIDED

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14417 STRIPPE LANE
WELLINGTON, FL 33414
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MICHAEL E. RAWLS RA#0001633
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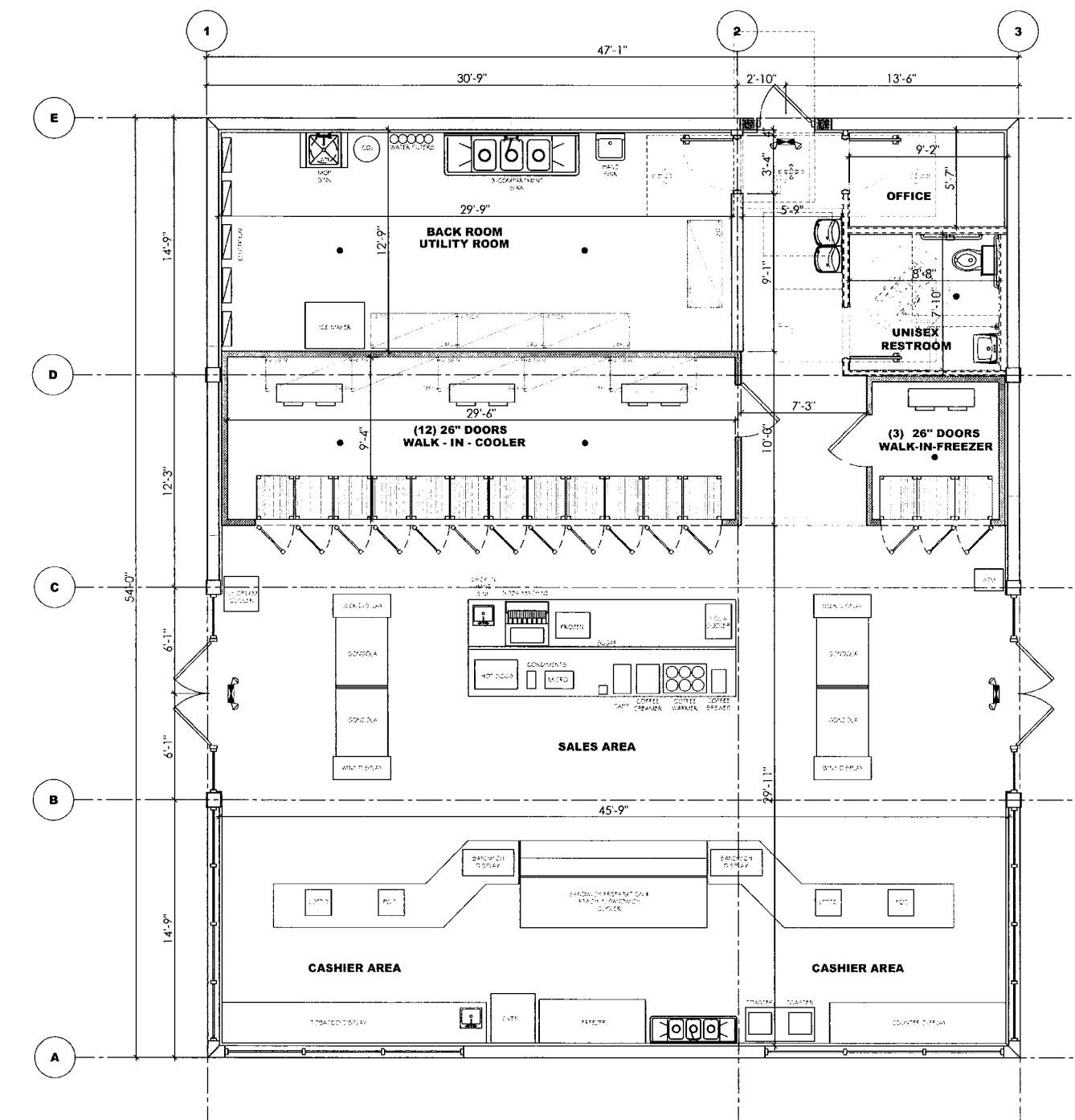
SUNSHINE GASOLINE DISTRIBUTORS, INC.
CHEVRON GAS STATION #358 IMPROVEMENTS

TREE DISPOSITION PLAN
DATE: 11/01/18 REVISION: 1
DRAWN BY: RICK BARTLETT CHECKED BY: RGB/MER
UPDATED REVISED SITE
2/15/19 2: RGB/MER

SCALE: AS NOTED DATE: 03-12-18 PROPOSED GRADES BY: RICK BARTLETT
DRAWN BY: RICK BARTLETT CHECKED BY: RGB/MER
S.S. #
APPROVED BY: RGB/MER
R.G./MER
Do Not Scale Use Dimensions Only
Soil Test Results and Site Specific Information
provided by the General Contractor
and Landscape Contractor shall be used
in the preparation of the proposed
grades. The General Contractor
and Landscape Contractor shall be
responsible for any damage to
existing structures or property
caused by the proposed grades.

MDM
engineering • environmental • construction
325 SW 12th Drive Suite D • Dania Beach, FL 33004
(954) 421-3976
SERIAL # 12 C 12/12/18
DWG # L-4
JOB # 15039

PLANS PREPARED BY:
RICHARD R. MORRIS
FL REG # 34748
DWG # L-4
JOB # 15039
DWG # L-4
SHEET NUMBER
L-4 OF 4



FLOOR PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"

RICHARD R. MORRIS
FL REC # 34348

OB # 15039

WG # A-1.0

REFERENCES

SUNSHINE GASOLINE DISTRIBUTORS, INC.
1501 S FLAMINGO ROAD.
PEMBROKE PINES, FL 33027

ENVIRONMENTAL • CONSTRUCTION
3251 SW 136 DRIVE, SUITE 100, DEERFIELD BEACH, FL 33442
(954) 427-7037
EB AD4587

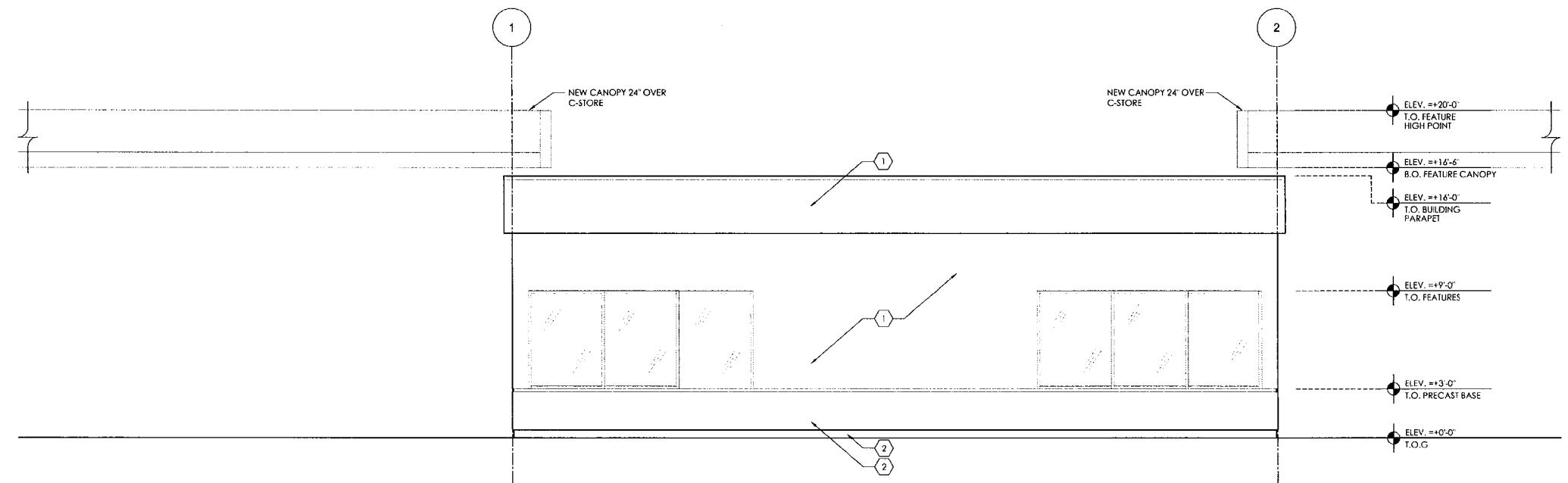
SERIAL #1121 C6 98 F3 98 FE 8A 87
34 0D B2 3E C4 01 0B C8 C5

R. MORRIS
34348

039

-1.0

1000



01 WEST ELEVATION
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

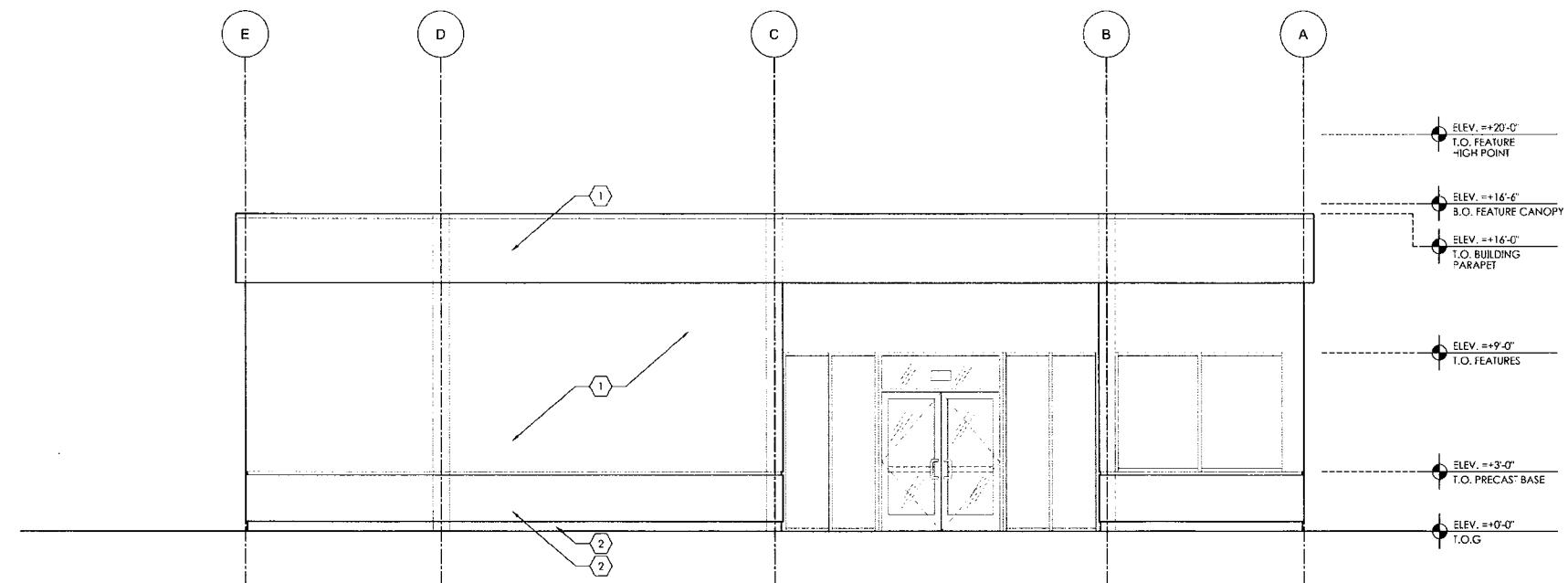
FINISH LEGEND

PPG COLORS

◇ CHEVRON OFF WHITE

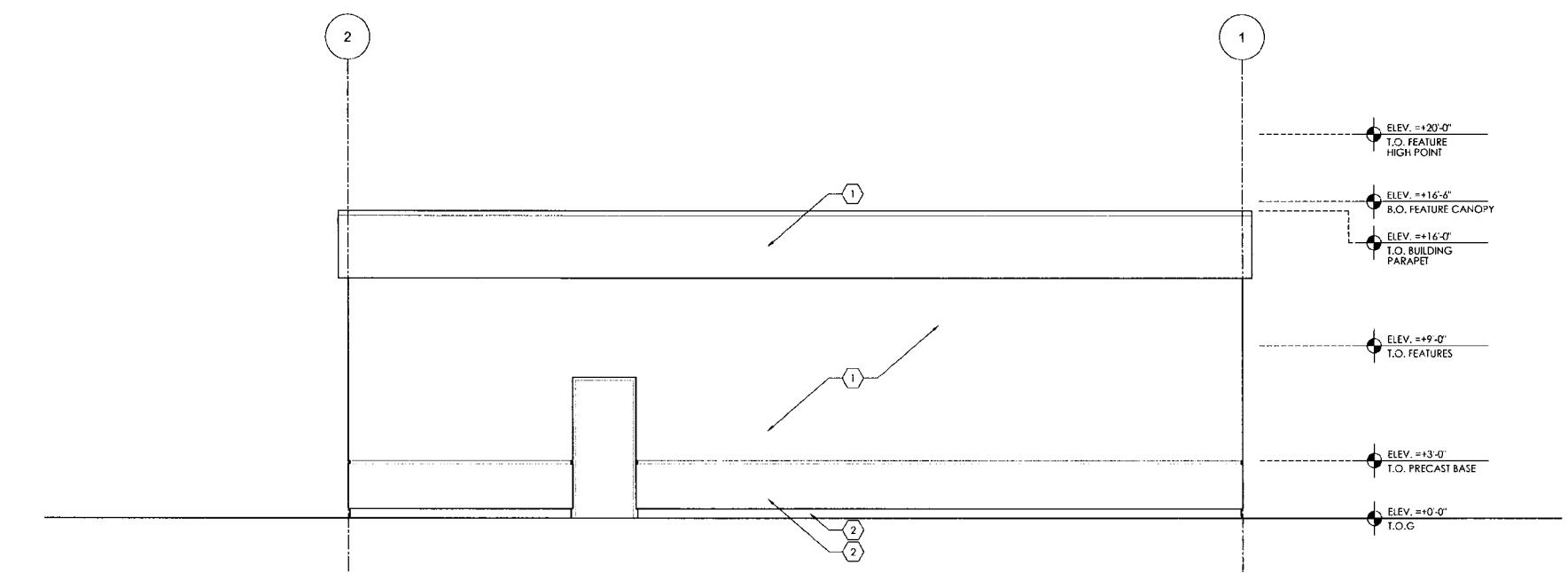
◇ STONE GRAY

WALL FINISH
SMOOTH CEMENT PLASTER (LIGHTLY TEXTURED)



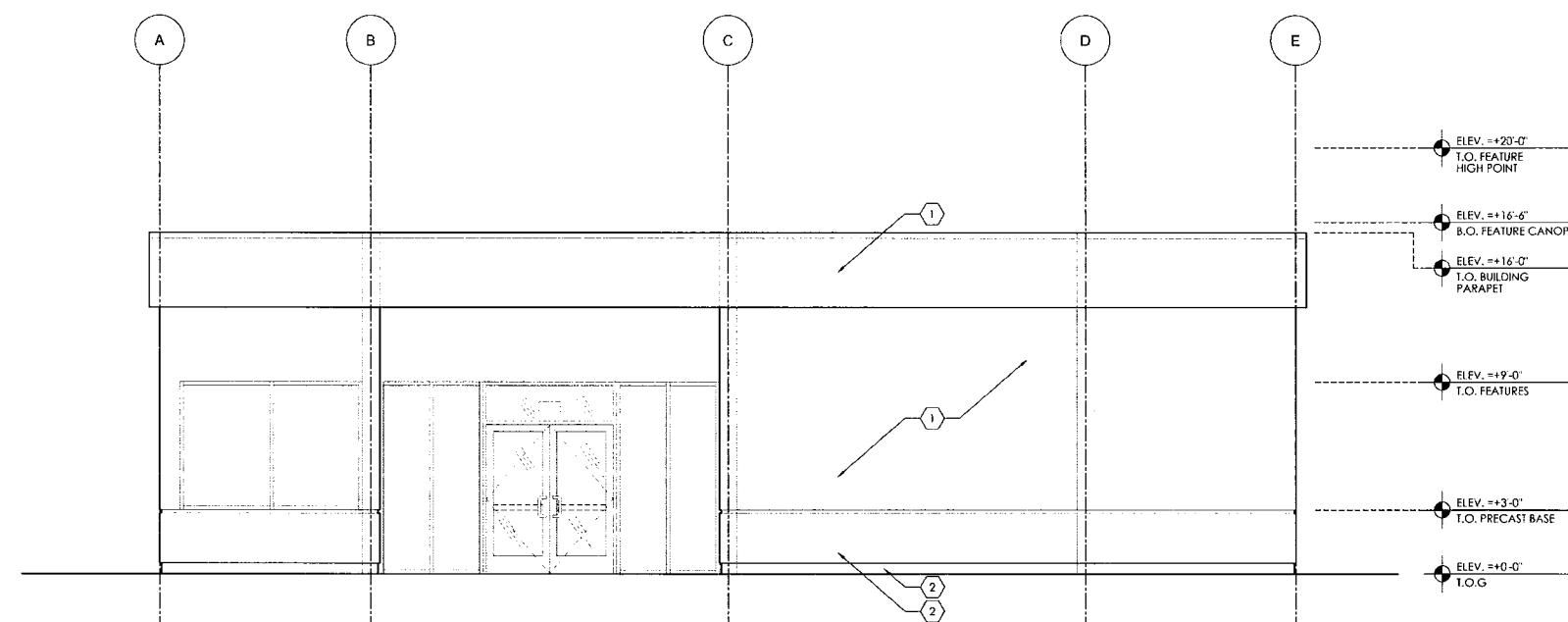
02 NORTH ELEVATION
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"



03 EAST ELEVATION
SCALE: 1/4"=1'-0"

| FINISH LEGEND | |
|---|--|
| PPG COLORS | |
|  CHEVRON OFF WHITE | |
|  STONE GRAY | |
| WALL FINISH | |
| SMOOTH CEMENT PLASTER (LIGHTLY TEXTURED) | |

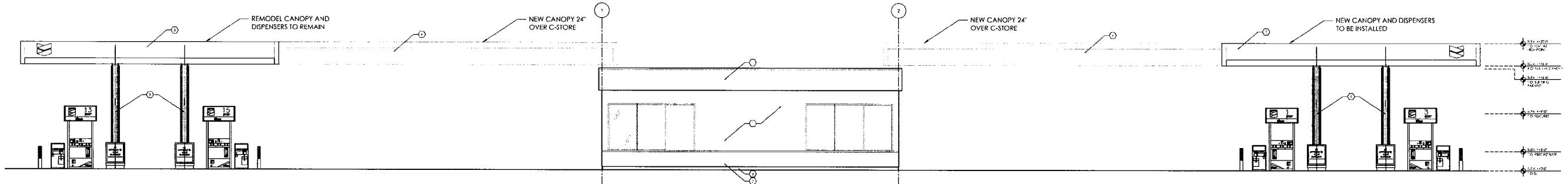


04 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

| | | | |
|--|--|--|---------------|
| MDM | | EXTERIOR BLDG ELEVATIONS | |
| SUNSHINE GASOLINE DISTRIBUTORS | | 1501 S FLAMINGO ROAD, PEMBROKE PINES, FL 33027 | |
| PLANS PREPARED BY | DATE: 08-08-17 DRAWN BY: BM PROPOSED GRADES BY: S.S.# | DATE: No. | REVISION: 31: |
| CHECKED BY: APPROVED BY: | | Do Not Scale-Use Dimensions Only For Informational Purposes Only Subject to Change Without Notice and Improvement of Design and Construction Subsequent to Issuance of Permit and Approval of Building Plans No Warranty is Implied in any way | |
| Engineering • Environmental • Construction | | 3231 SW 135TH DRIVE, SUITE 200, DUNEDIN, FL 34647 (800) 427-3205 / (813) 582-5655 | |
| SERIAL #: M21C05171055BA17 3400 B21E50D BB GSC5 | | RICHARD R. MORRIS FL REG # 34748 | |
| JOB # 15039 | | DWG # A-2.01 | |
| SHEET NUMBER | | | |

| FINISH LEGEND | |
|--|-------------------|
| PPG COLORS | |
| | CHEVRON OFF WHITE |
| | STONE GRAY |
| | CHEVRON WHITE |
| | CHEVRON BLUE |
| | REFRESH SILVER |
| WALL FINISH | |
| SMOOTH CEMENT PLASTER (LIGHTLY TEXTURED) | |



05 NORTH ELEVATION - CANOPY ELEVATIONS
SCALE: 1/8"=1'-0"

EXTERIOR BLDG ELEVATIONS

SUNSHINE GASOLINE DISTRIBUTORS, INC.

1501 S FLAMINGO ROAD,
PEMBROKE PINES, FL 33027

DATE: No.: REVISION: BY:

PROPOSED GRADES BY:

S.S. #

APPROVED BY:

MIDM
engineering • environmental • construction
3201 SW 36th Drive, Suite 100 • DIERFIELD BEACH, FL 33442
(407) 477-3016
E-mail: info@midm.com

PLANS PREPARED BY

RICHARD R. MORRIS
FL REG # 34748

JOB # 15039

DWG # A-2.2

SHEET NUMBER

SERIAL # 11212085-01-15-B67
MIDM-2012-0101-B67
11/12/2018

Do Not Scale-Use Dimensions Only
to the best of my knowledge, the plans and specifications
provided are for the specific building, open, no warranty
or guarantee is given for the plans or the specific building.

11/12/2018
E-mail: info@midm.com