



**PEMBROKE GARDENS RESIDENTIAL**  
PEMBROKE PINES, FL

SITE PLAN SUBMITTAL MAY 9, 2025



LOCATION MAP

**PROJECT TEAM**

**CLIENT:**  
**FEDERAL REALTY**  
7930 JONES BRANCH DR. #350  
MCLEAN, VA 22102  
PH: 703.776.9671

**ARCHITECT:**  
**ARCADIS PROFESSIONAL SERVICES (USA) INC.**  
7000 N. FEDERAL HIGHWAY  
BOCA RATON, FL 33487  
PH: 561.393.6555

**LEGAL TEAM:**  
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BOCA RATON, FL 33432  
PH: 561.405.3349

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MIAMI, FL 33131  
PH: 786-681-0800

**LANDSCAPE:**  
**EDSA**  
1512 East Broward Boulevard, Suite 110  
Fort Lauderdale, Florida 33301  
PH: 954-524-3330

**TRAFFIC ENGINEER:**  
**TRAF TECH ENGINEERING**  
8400 N. University Drive, Suite 309  
Tamarac, Florida 33321  
PH: (954) 582-0988

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1	Revision 1	2024/05/06

City of Pembroke Pines  
Received  
JUL 30 2025  
SP2024-0007  
Planning & Economic Development

SEAL  
  
*Samuel Rodriquez*

**ARCADIS**  
7000 N Federal Hwy - 2nd Floor  
Boca Raton FL 33487 USA  
tel 248 936 8000  
www.arcadis.com

**PROJECT**  
**Pembroke Gardens Residential**  
Pembroke Pines, Florida

**PROJECT NO:**  
232172

**DRAWN BY:**  
Author

**CHECKED BY:**  
Checker

**PROJECT MGR:**  
Designer

**APPROVED BY:**  
Approver

**SHEET TITLE**  
**COVER SHEET**

**SHEET NUMBER**  
**CS.01**

**ISSUE**  
**1**



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PROJECT  
**Pembroke Gardens Residential**  
Pembroke Pines, Florida

PROJECT NO: 232172	
DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Designer	APPROVED BY: Approver

SHEET TITLE  
**CONTEXT PLAN**

SHEET NUMBER <b>AS1.01</b>	ISSUE <b>1</b>
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COMMERCIAL • INDUSTRIAL

**Lane Barrier Option**

Control vehicle entry

**Octagonal Lighted Signal Arm Option**

Highly visible for maximum safety and safety with signals and camera

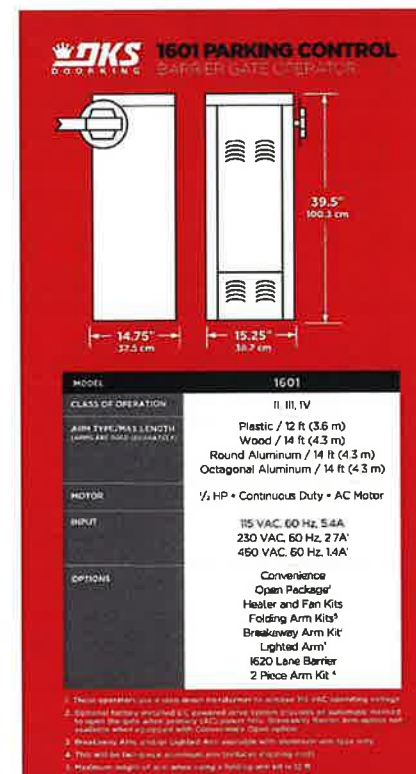
**Pedestrian Protection System Available**

It's open & clear when you're out

**Breakaway Arm Option**

Prevents vandalism and

ACCESS CONTROL **SOLUTIONS**



## TECHNICAL FEATURES

### MECHANICAL

Primary Reduction is provided by a 60:1 Worm Gear Reduction System mounting in a compact unit. Arm angles 30° in approximately 25 seconds. GTO Gear-driven Belt Hoisting. Rat-Secure Mechanical Reverse Holdback. 360° or Right-Hand Mount. 360° peak back rotation before the motor changes direction. This provides for smooth operation, where wear occurs at the entire gear-back, and increases the lifespan of the operator.

### GATE TRACKER™

Reporting out on provide operator data to a DMS (EIS, ISS, ISS7 or ISS8) across control panel (requires 2358 expansion board)

### OPTIONS

Aluminum Octagonal Lighted Barrier Arm: Octagonal arm LEDs are RED when the arm is down and turn to GREEN when the arm is raised full up.

Breakaway Hardware Kit: Allows arm to swing out of its line in the event that a vehicle fails to stop at a Reddened Arm. This is normally used on temporary temporary installations. See page 36 for Aluminum Arm Kits and Reddened Arm Kits with Convenience Open Option.

LED Lane Barrier: Adds Lane Barrier and Reddened Arm Kits and provides a turntable barrier arm giving drivers passenger vehicles and light duty trucks an opportunity to correct their position. (No. 203 road rated)

2-Piece Aluminum Arm: A 2-Piece Aluminum Arm. The two piece Aluminum Arm 5'x16" is 7'11" (203 mm) long but to reduce shipping cost. Two-piece design does not exceed light kit.

### ELECTRICAL

Magnetic Electronic Limit Controls

Auto-Drive (Inter-1-2-3 seconds)

R.A.N.S. Memory Access (Intermittent System) Incompatible with a Single Stop Gate Operator

Up Input: Hammer Button

Down Memory Option

Inter-Lock: 1-2-3-4

Port for plug-in Reverse (Flow) Detector

Programming Switches

Run-A-Power On/Off Switch

NIS (Non-Intrusion Protection System): The system reverses Barrier Arm if power is detected, and the alarm reverses Barrier Arm if unauthorized vehicle enters. Requires DKS 5100 or Detector and Inter-beam.

### MISCELLANEOUS

Environmental: IP66 to IP69F (-12°C to 62°C)

Thermally Controlled Holdback (Not recommended for colder environments)

NIS (Non-Intrusion Protection System): The system reverses Barrier Arm if power is detected, and the alarm reverses Barrier Arm if unauthorized vehicle enters. Requires DKS 5100 or Detector and Inter-beam.

Arm length is 12' (7 yd.)

**DoorKing, Inc.**



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Product specifications may  
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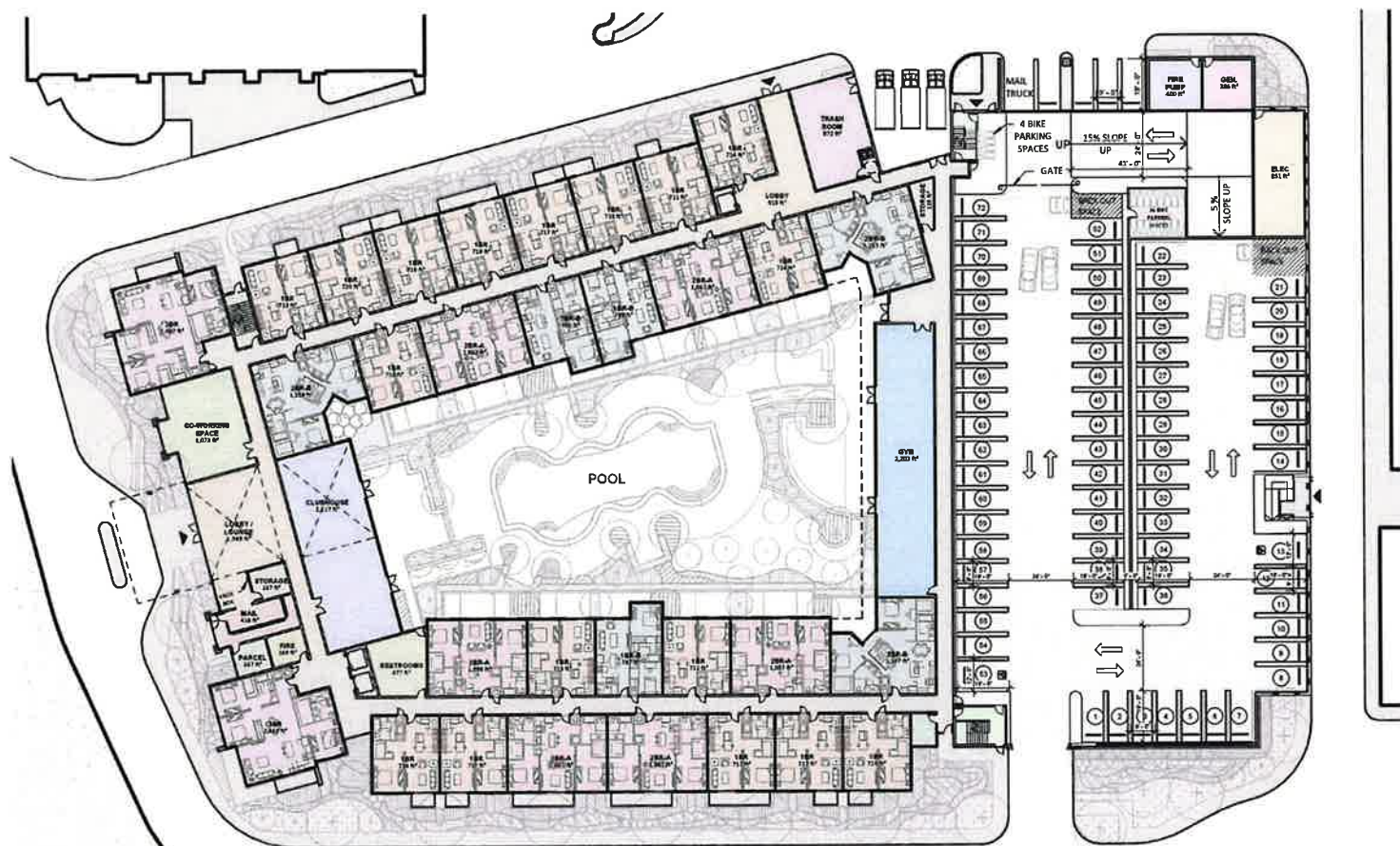
PROJECT MGR:  
Designer

APPROVED BY  
APPROVER

SHEET TITLE	<b>SITE DETAILS</b>
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SHEET NUMBER  
**AS1.05**

ISSUE  
1



1 LEVEL 1 - A  
A1.01 Scale: 1" = 30'-0"



2 LEVEL 2 - A  
A1.01 Scale: 1" = 30'-0"

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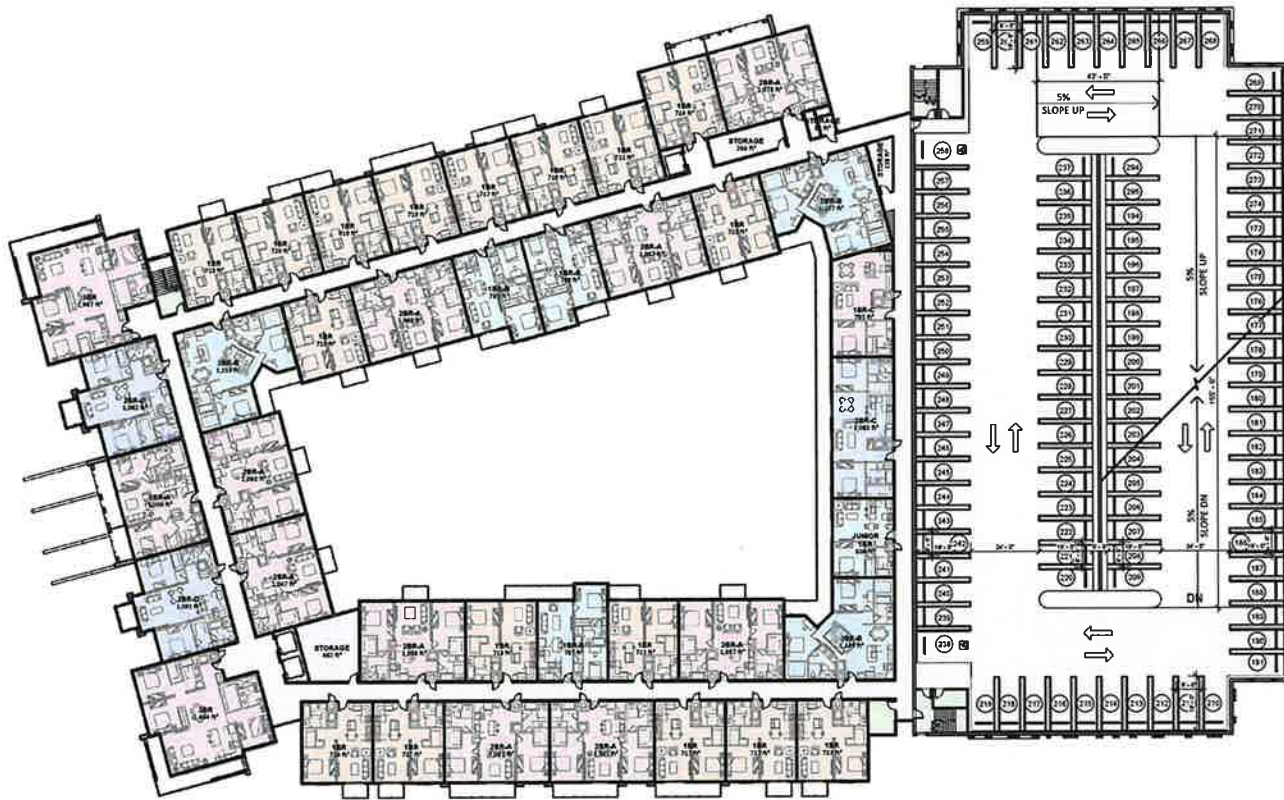
LEVEL 1 & LEVEL 2  
FLOOR PLANS

SHEET NUMBER

A1.01

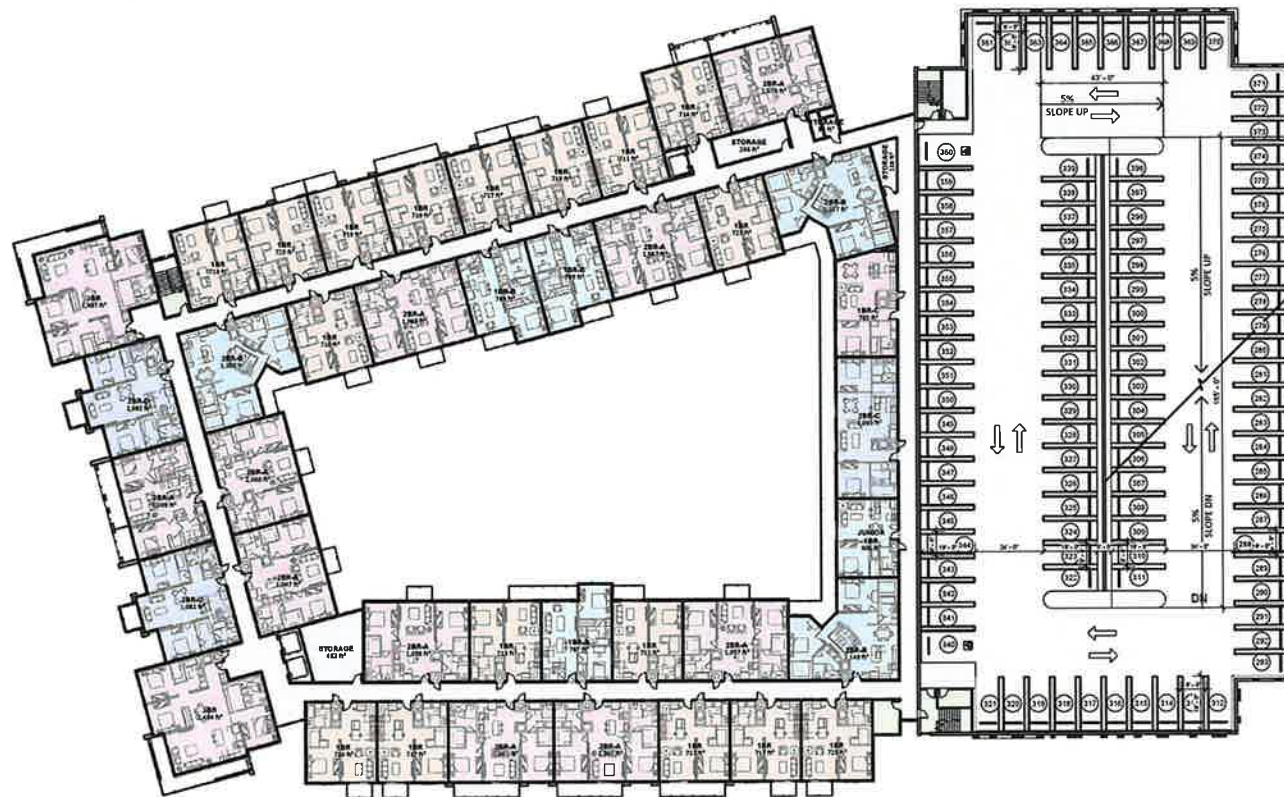
ISSUE

1



PARKING STALLS LEGEND		
COLOR	TYPE	DIMENSIONS
Blue	ADA	12' X 19'
Light Blue	STANDARD (1)	9' X 19'
Yellow	STANDARD (2)	8'-6" X 19'

1 LEVEL 3 - A  
A1.02 Scale: 1" = 30'-0"



2 LEVEL 4 - A  
A1.02 Scale: 1" = 30'-0"

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STATE OF FLORIDA

CAROL EUGENIE REYES

REGISTERED ARCHITECT

APR 1993

*[Signature]*

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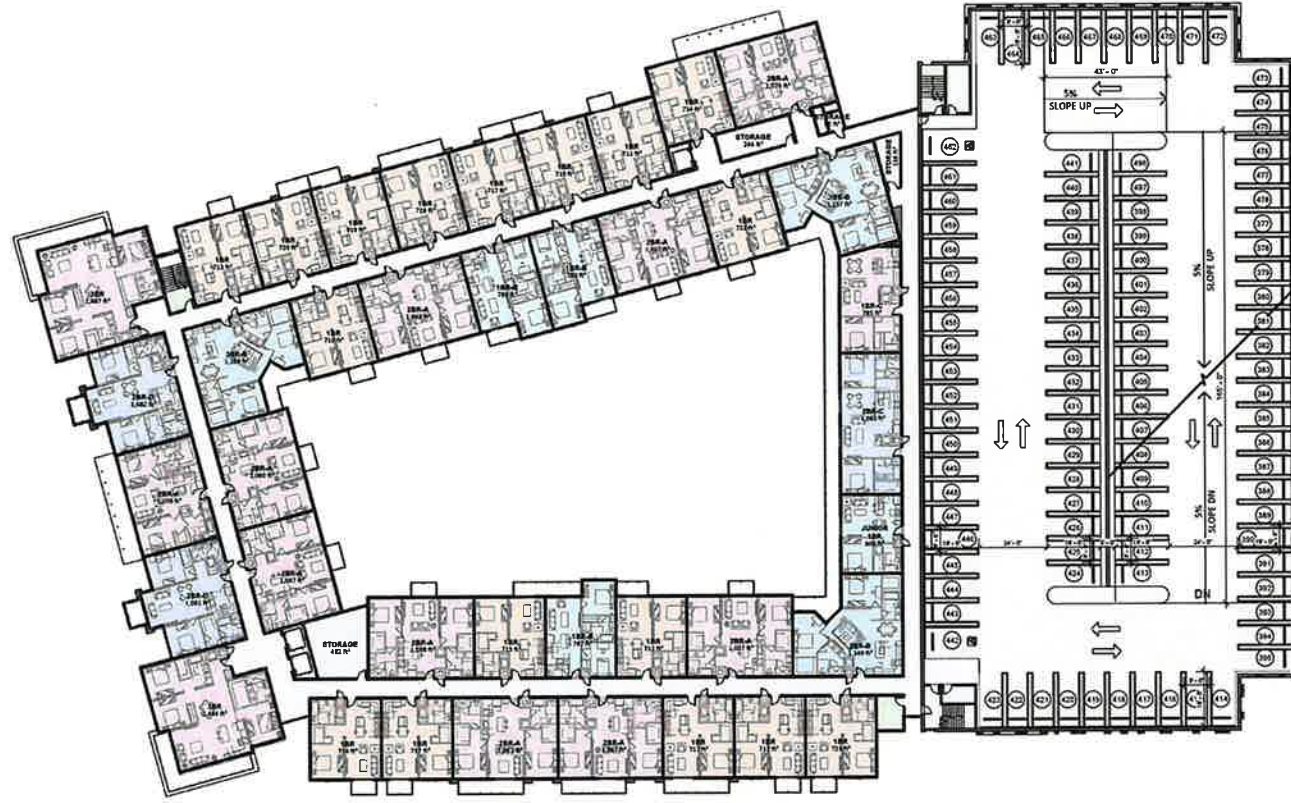
LEVEL 3 & LEVEL 4  
FLOOR PLANS

SHEET NUMBER

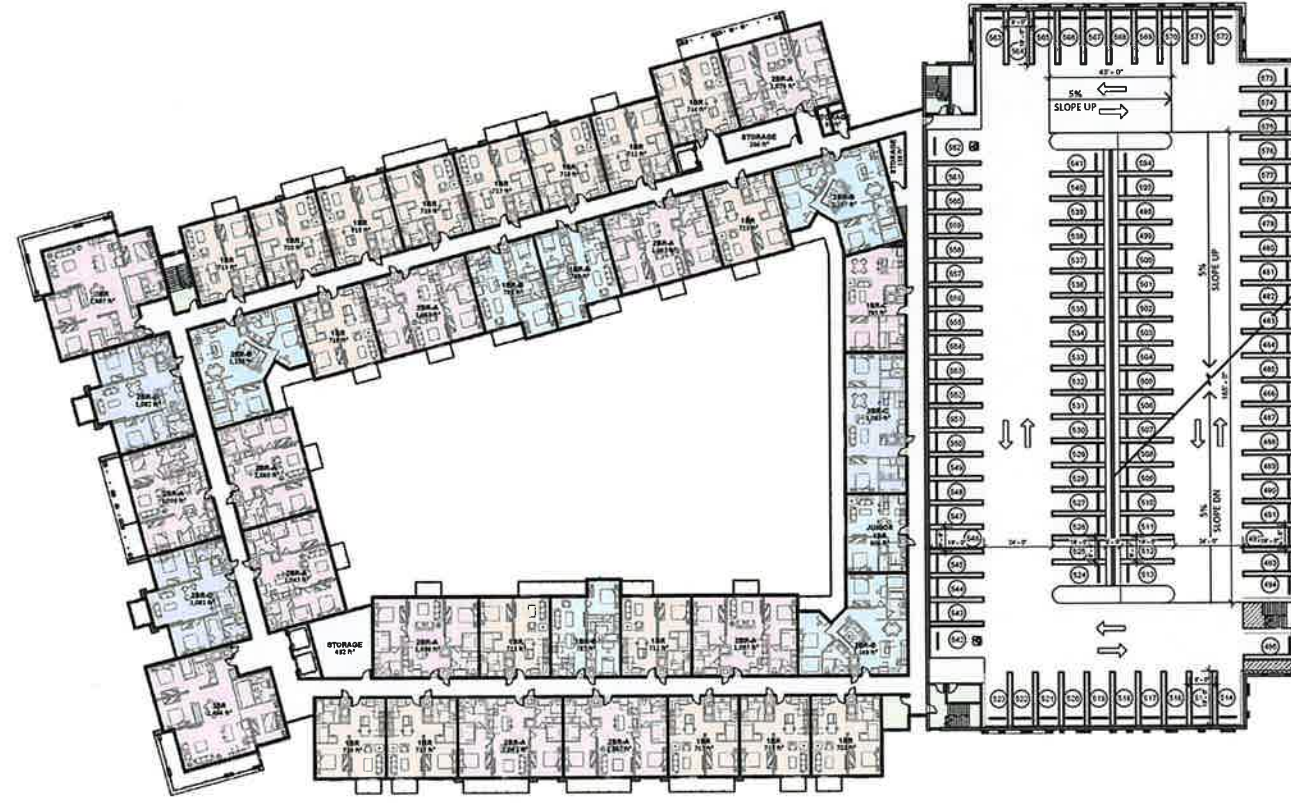
A1.02

ISSUE

1



1 LEVEL 5 - A  
A1.03 Scale: 1" = 30'-0"



2 LEVEL 6 - A  
A1.03 Scale: 1" = 30'-0"

PARKING STALLS LEGEND		
COLOR	TYPE	DIMENSIONS
Blue	ADA	12' X 19'
Light Blue	STANDARD (1)	9' X 19'
Yellow	STANDARD (2)	8'-6" X 19'

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LEVEL 5 & LEVEL 6  
FLOOR PLANS

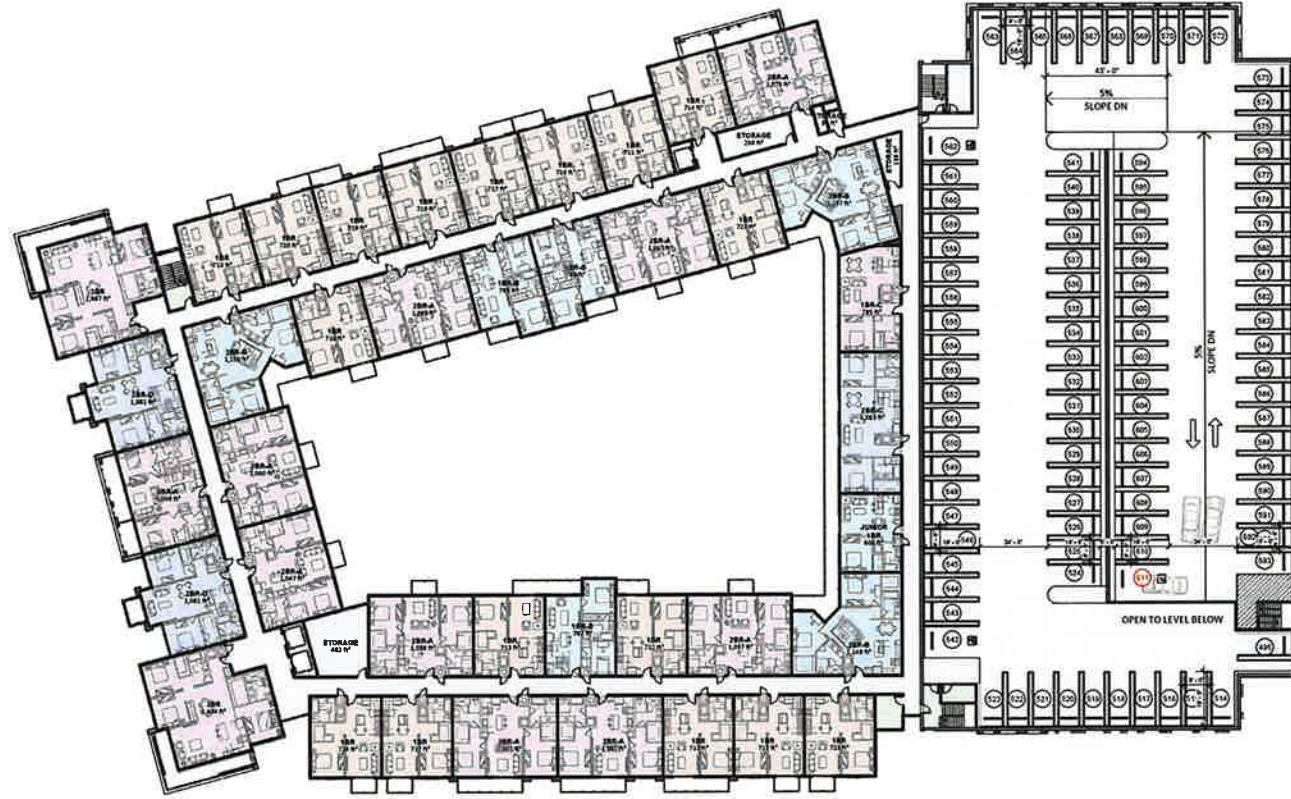
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A1.03

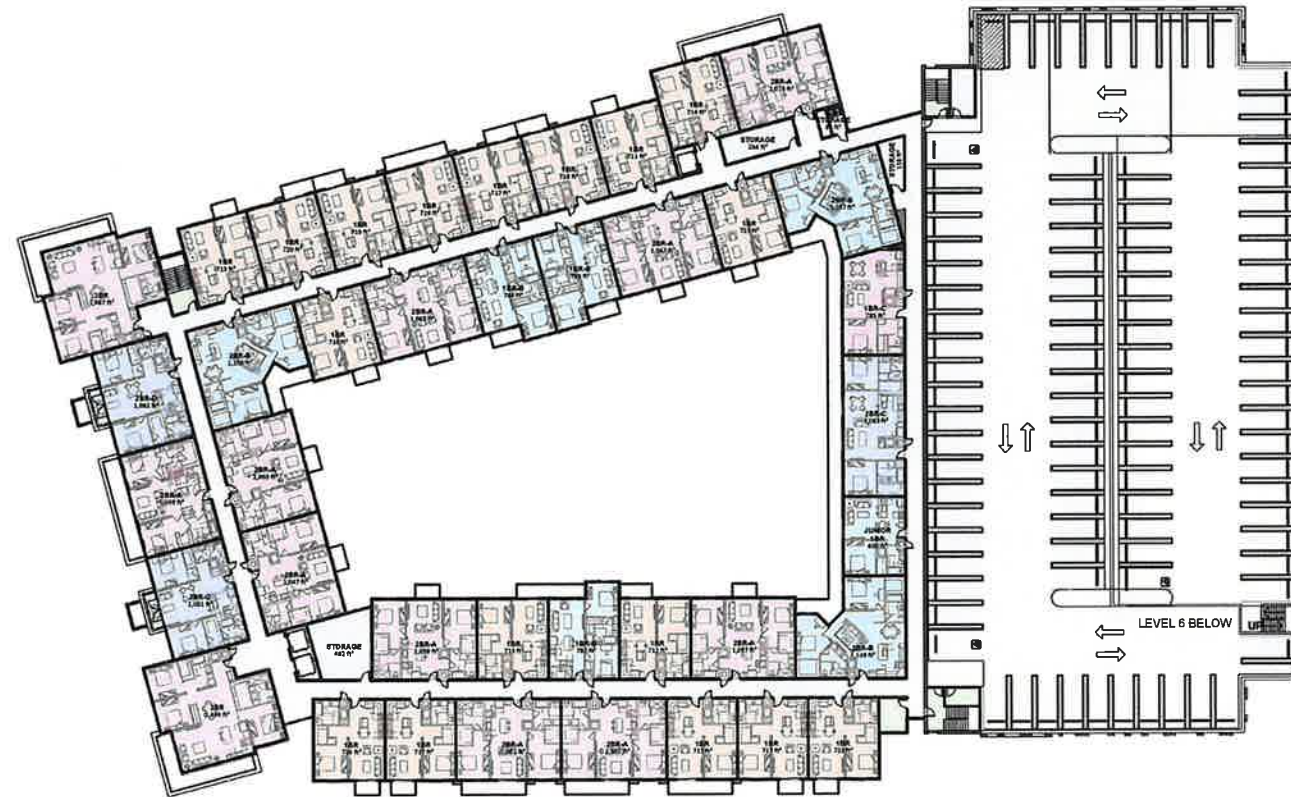
ISSUE

1

7/24/2025 8:48:21 AM



1 LEVEL 7 - A  
A1.04 Scale: 1" = 30'-0"



2 LEVEL 8 - A  
A1.04 Scale: 1" = 30'-0"

PARKING STALLS LEGEND		
COLOR	TYPE	DIMENSIONS
Blue	ADA	12' X 19'
Purple	STANDARD (1)	9' X 19'
Yellow	STANDARD (2)	8'-6" X 19'

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Pembroke Pines, Florida

PROJECT NO.

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PROJECT MGR:

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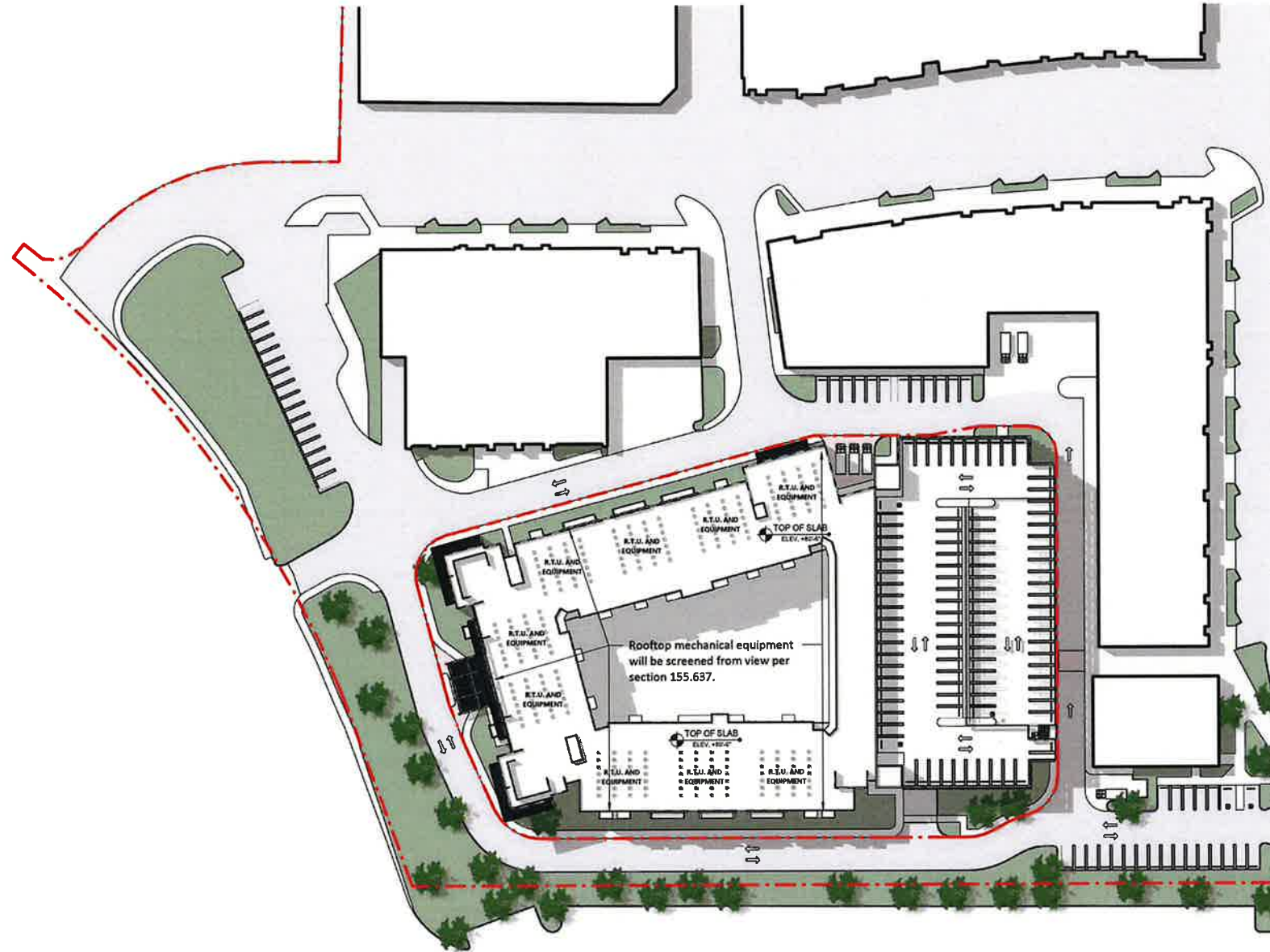
LEVEL 7 & LEVEL 8  
FLOOR PLANS



SHEET NUMBER

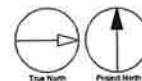
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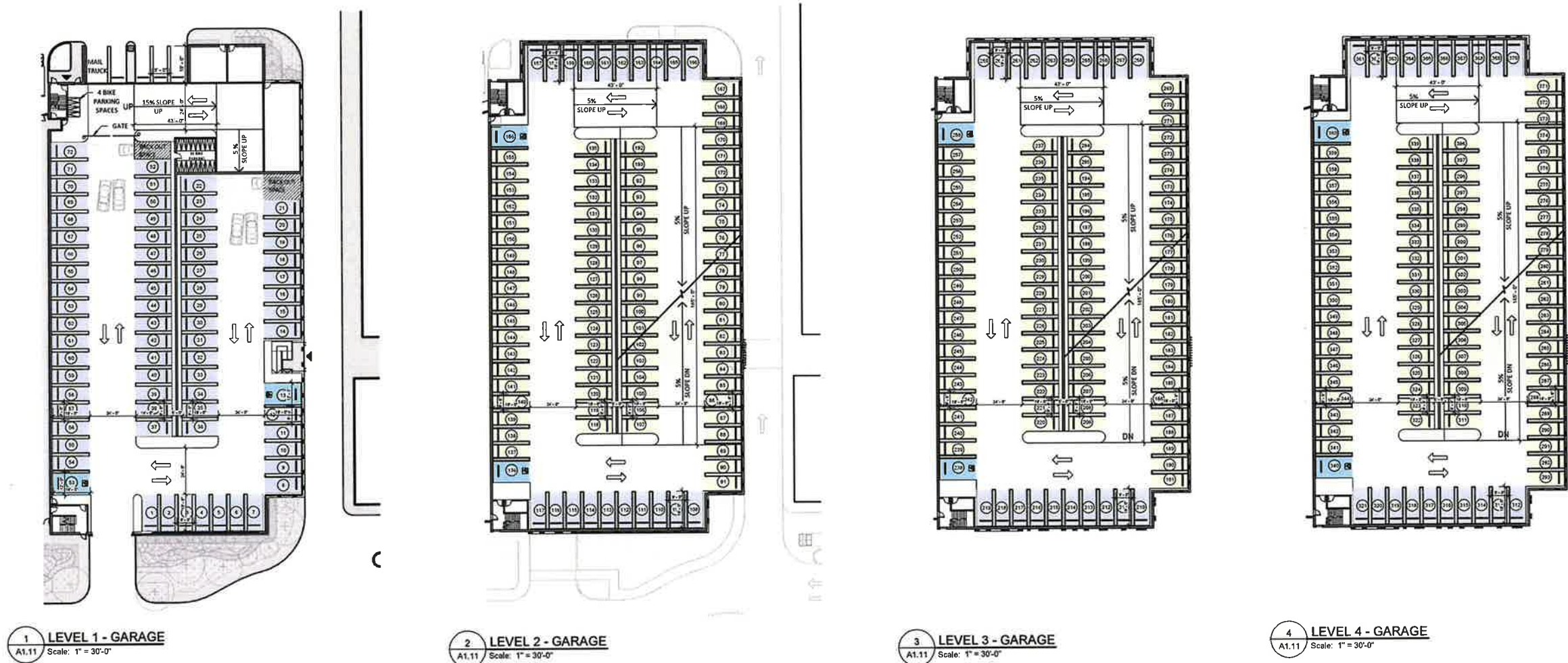
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 <i>James Eugene Price</i>		
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PROJECT Pembroke Gardens Residential Pembroke Pines, Florida		
PROJECT NO: 232172		
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PROJECT MGR: Designer	APPROVED BY: Approver	
SHEET TITLE ROOF DECK PLAN		
SHEET NUMBER A1.10	ISSUE 1	





PARKING STALLS LEGEND		
COLOR	TYPE	DIMENSIONS
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue; border:1px solid black;"></span>	ADA	12' X 19'
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue; border:1px solid black;"></span>	STANDARD (1)	9' X 19'
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue; border:1px solid black;"></span>	STANDARD (2)	8'-6" X 19'

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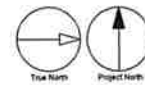
PARKING GARAGE  
L1-L4

SHEET NUMBER

A1.11

ISSUE

1



PARKING STALLS LEGEND		
COLOR	TYPE	DIMENSIONS
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue; border:1px solid black;"></span>	ADA	12' X 19'
<span style="display:inline-block; width:15px; height:10px; background-color:lightyellow; border:1px solid black;"></span>	STANDARD (1)	9' X 19'
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	STANDARD (2)	8'- 6" X 19'

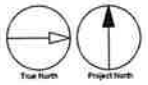
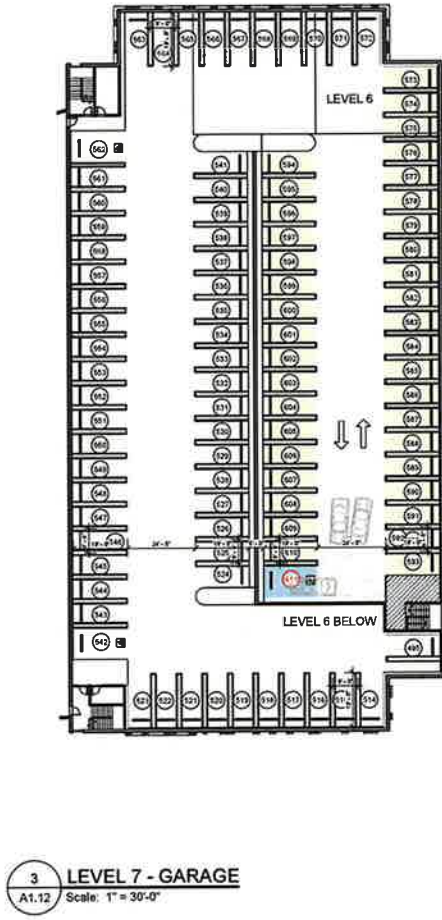
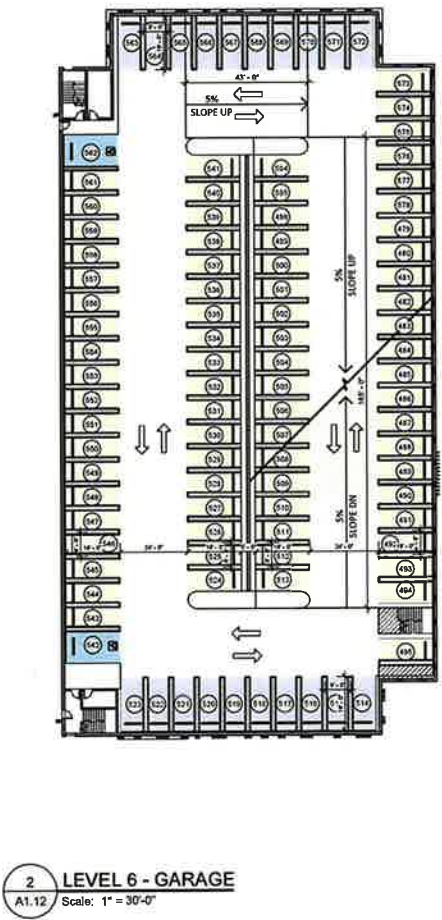
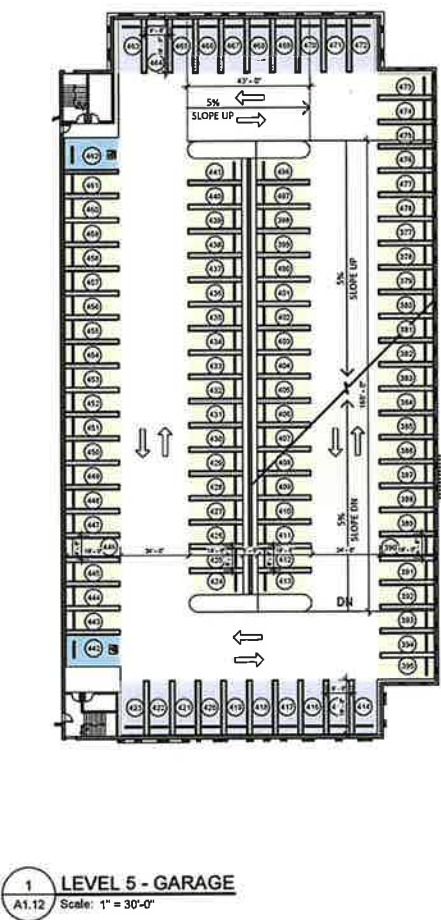
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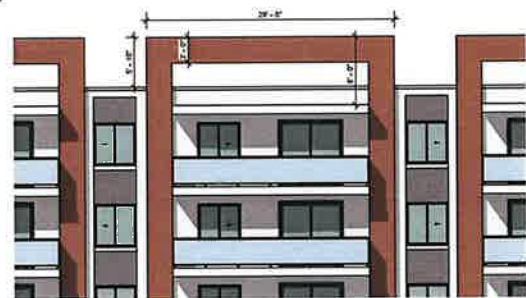
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PROJECT MGR: Designer	APPROVED BY: Approver

SHEET TITLE  
**PARKING GARAGE**  
L5-L7

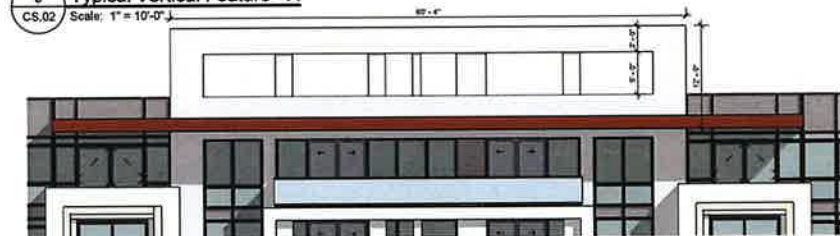
SHEET NUMBER <b>A1.12</b>	ISSUE <b>1</b>
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3 East Elevation  
CS.02 Scale: 1" = 20'-0"



5 Typical Vertical Feature - A  
CS.02 Scale: 1" = 10'-0"



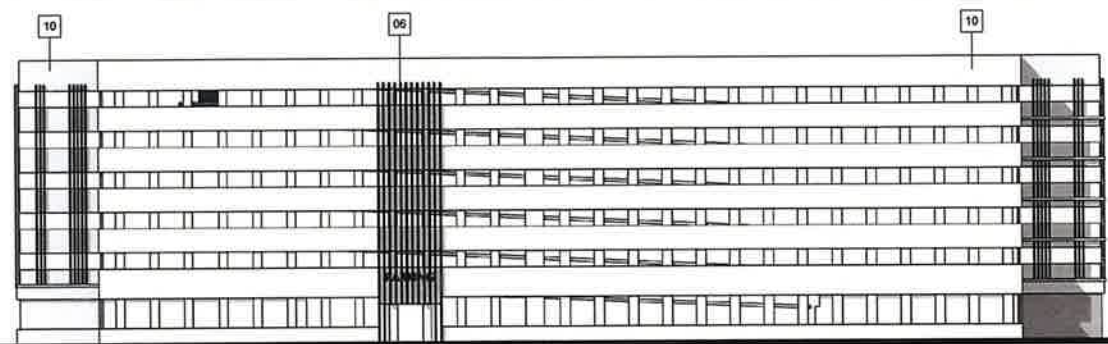
6 Typical Vertical Feature - B  
CS.02 Scale: 1" = 10'-0"



2 South Elevation  
CS.02 Scale: 1" = 20'-0"



1 West Elevation  
CS.02 Scale: 1" = 20'-0"



4 North Elevation  
CS.02 Scale: 1" = 20'-0"

#### ELEVATION LEGEND

01	ARCHITECTURAL FEATURES
02	RAILINGS (BLACK ALUM. METAL FRAME)
03	SMOOTH PAINTED STUCCO (BROWN)
04	SMOOTH PAINTED STUCCO (WHITE)
05	SMOOTH PAINTED STUCCO (DARK GREY)
06	DECORATIVE SCREEN
07	WOOD ACCENT PANELS EYEBROW
08	IMPACT RES. ALUM. SLIDING DOOR (BLACK FRAME)
09	PRECAST CONCRETE PAINTED

#### COLOR LEGEND

PRIMARY COLOR	SHERWIN WILLIAMS - IBIS WHITE - SW 7000 OR EQUAL
ACCENT COLOR	SHERWIN WILLIAMS - HOMBURG GRAY - SW 7622 OR EQUAL
ACCENT COLOR	SHERWIN WILLIAMS - UMBER RUST - SW 9100 OR EQUAL
WOOD ELEMENTS	FUNDERMAX - AKRO TERRA OR EQUAL

SW 7000  
Ibis White

SW 7622  
Homburg Gray

SW 9100  
Umber Rust

DECORATIVE SCREEN / CANOPY -  
WOODN - JF18041 - 10-CAFFE  
BOGOTA BRUSHED



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ZP  
PROJECT MGR:  
Designer  
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APPROVED BY:  
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SHEET TITLE  
**RESIDENTIAL BUILDING -  
ELEVATIONS**

SHEET NUMBER  
**CS.02**  
ISSUE  
**1**

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909 Rose Avenue, Suite 200,  
North Bethesda, MD 20852

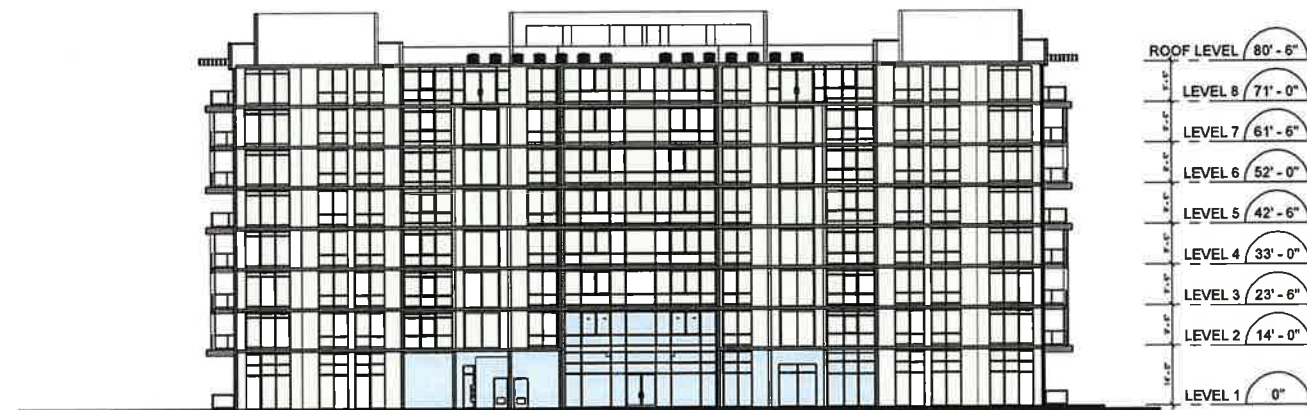
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**Arcadis Professional Services (USA) Inc.**

ISSUES		
No.	DESCRIPTION	DATE
1	Revision 1	2024/05/08



1 Building A - Section A  
CS.04 Scale: 1" = 20'-0"



2 Building A - Section B  
CS.04 Scale: 1" = 20'-0"

SEAL



Jan



7000 N Federal Hwy - 2nd Floor  
Boca Raton FL 33487 USA  
tel 248 936 8000  
[www.arcadia.com](http://www.arcadia.com)

**PROJECT**  
**Pembroke Gardens Residential**  
**Pembroke Pines, Florida**

PROJECT NO:  
232172

**DRAWN BY:**  
Author

**CHECKED BY:**  
**Checker**

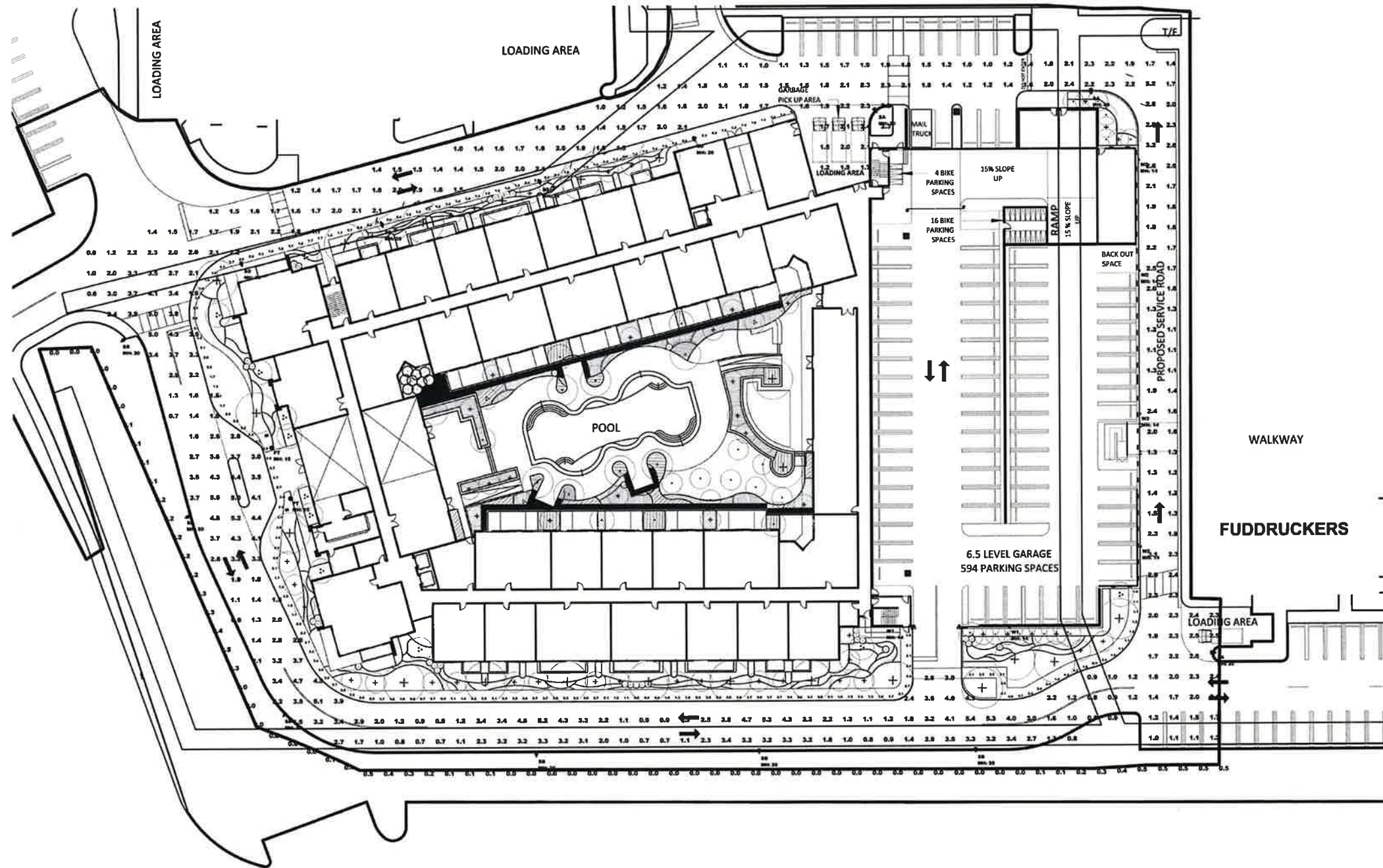
PROJECT MGR:  
Designer

APPROVED BY:  
Approver

**SHEET TITLE**  
**RESIDENTIAL  
BUILDING -  
SECTIONS**

SHEET NUMBER  
**CS.04**

ISSUE  
1



Luminaire Schedule: PEMBROKE GARDENS RESIDENTIAL - SITE REV 5 PEMBROKE PINES, FL 07/21/2025

Symbol	Qty	Label	Arrangement	Manufacturer	Catalog Number	Mounting	LLF	Lum Luminaires	Lum Watts	Arrangement Watts
	2	PF	Single	U.S. Architectural Lighting	PAC18-P72P/LED-V30-W20LED-525mA/30K/UNV***HIS-FLD	15' POST TOP MOUNT A.F.O. (top of fixture)	0.903	4725	35.5	35.5
	3	BA	Single	Lithonia Lighting	DSX1 LED P6 30K 80CRI T5M	20' POLE MOUNT A.F.O.	0.903	18078	165.25	165.25
	6	BB	Single	Lithonia Lighting	DSX1 LED P6 30K 80CRI BLC2	20' POLE MOUNT A.F.O.	0.903	13011	165.25	165.25
	4	BD	Single	Lithonia Lighting	DSX1 LED P2 30K T3M HVOLT H9	20' POLE MOUNT A.F.O.	0.903	6900	70	70
	2	W1	Single	Lithonia Lighting	WDQ2 LED P4 30K 80CRI T4M	12' WALL MOUNT A.F.P.	0.885	3878	46.888	46.889
	4	W2	Single	Lithonia Lighting	WDQ2 LED P4 30K 80CRI T3M	12' WALL MOUNT A.F.P.	0.885	4064	46.888	46.889

Calculation Summary: PEMBROKE GARDENS RESIDENTIAL - SITE REV 5 PEMBROKE PINES, FL 07/21/2025

Label	Calc Type	Units	Avg	Max	Min	Avg/Mlx	Max/Min
PARKING & DRIVE LANES	Illuminance	Fc	2.15	3.5	0.6	3.58	9.17
PERIMETER BUILDING WALKWAYS	Illuminance	Fc	2.19	4.1	0.7	3.13	5.86
PROPERTY LINE SPILL	Illuminance	Fc	0.13	0.5	0.0	N.A.	N.A.

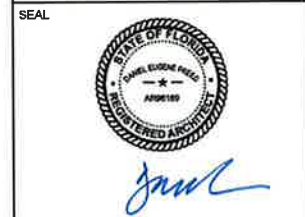
CLIENT  
FEDERAL REALTY

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North Bethesda, MD 20852

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Arcadis Professional Services (USA) Inc.

**ISSUES**  
No. DESCRIPTION DATE



**ARCADIS**

7000 N Federal Hwy - 2nd Floor  
Boca Raton FL 33487 USA  
tel 248 936 8000  
www.arcadis.com

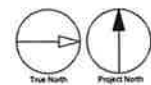
**PROJECT**  
Pembroke Gardens Residential  
Pembroke Pines, Florida

**PROJECT NO:**  
232172

<b>DRAWN BY:</b> Author	<b>CHECKED BY:</b> Checker
<b>PROJECT MGR:</b> Designer	<b>APPROVED BY:</b> Approver

**SHEET TITLE**  
PHOTOMETRIC  
PLAN - SITE

<b>SHEET NUMBER</b> CS.07	<b>ISSUE</b>
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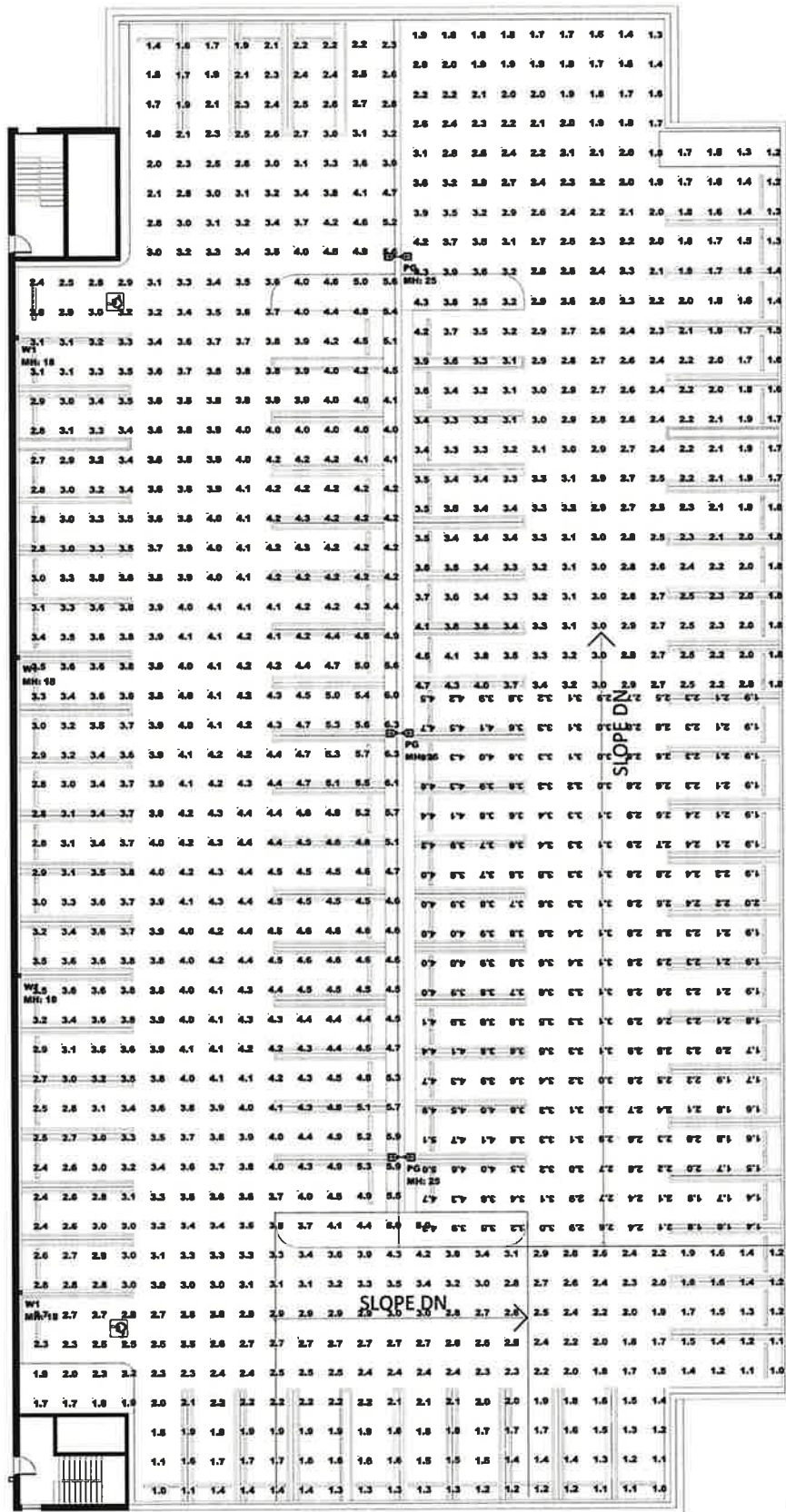




SCALE CHECK	Autodesk's Docs//AUP-00148500-FeaReady PwrGards Res"14/5/00_FeaReady PwrGards Res_v02.rvt
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17/2/2025 8:49:05 AM



Luminaire Schedule: PEMBROKE GARDENS RESIDENTIAL - PG LEVEL 7 & 8 PEMBROKE PINES, FL 03/21/2024

Scenes: NORMAL

Symbol	Qty	Label	Arrangement	Manufacturer	Catalog Number	Mounting	Emergency	LLF	Lum Lumen	Lum Watts
	3	PG	Back-Back	Lithonia Lighting	DSX1 LED P8 30K TSW MVOLT	20' POLE MOUNT A.F.A. (on 8' wall)		0.803	23217	297
	4	W1	Single	Lithonia Lighting	WDOE2 LED P4 30K 60CRI T4M	18' WALL MOUNT A.F.F.		0.855	3678	46.8889

Calculation Summary: PEMBROKE GARDENS RESIDENTIAL - PG LEVEL 7 & 8 PEMBROKE PINES, FL 03/21/2024

Scenes: NORMAL

Label	Calc Type	Units	Spacing L-R (FT)	Spacing T-B (FT)	Height (FT)	Avg	Max	Min	Avg/Min	Max/Min
LEVEL 7 RAMP_Floor	Workplane	Fc	8	8	0	3.07	5.1	1.4	2.19	3.64
LEVEL 7_Floor	Workplane	Fc	8	8	0	2.58	4.7	1.3	2.15	3.62
LEVEL 8_Floor	Workplane	Fc	8	8	0	3.31	6.3	1.9	3.31	6.30

CLIENT  
FEDERAL REALTY

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North Bethesda, MD 20852

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Arcadis Professional Services (USA) Inc.

ISSUES		
No.	DESCRIPTION	DATE

SEAL

*Daniel Eugene Hines*

**ARCADIS**

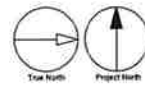
7000 N Federal Hwy - 2nd Floor  
Boca Raton FL 33487 USA  
tel 248 936 6000  
www.arcadis.com

PROJECT  
Pembroke Gardens Residential  
Pembroke Pines, Florida

PROJECT NO: 232172	
DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Designer	APPROVED BY: Approver

SHEET TITLE  
PHOTOMETRIC -  
GARAGE L7  
(TYPICAL)

SHEET NUMBER CS.10	ISSUE
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Autodesk DocuList-001 16900-FullQuality/Pembroke Pines 1498189\_FullQuality/Pembroke Pines 03/21/24





1

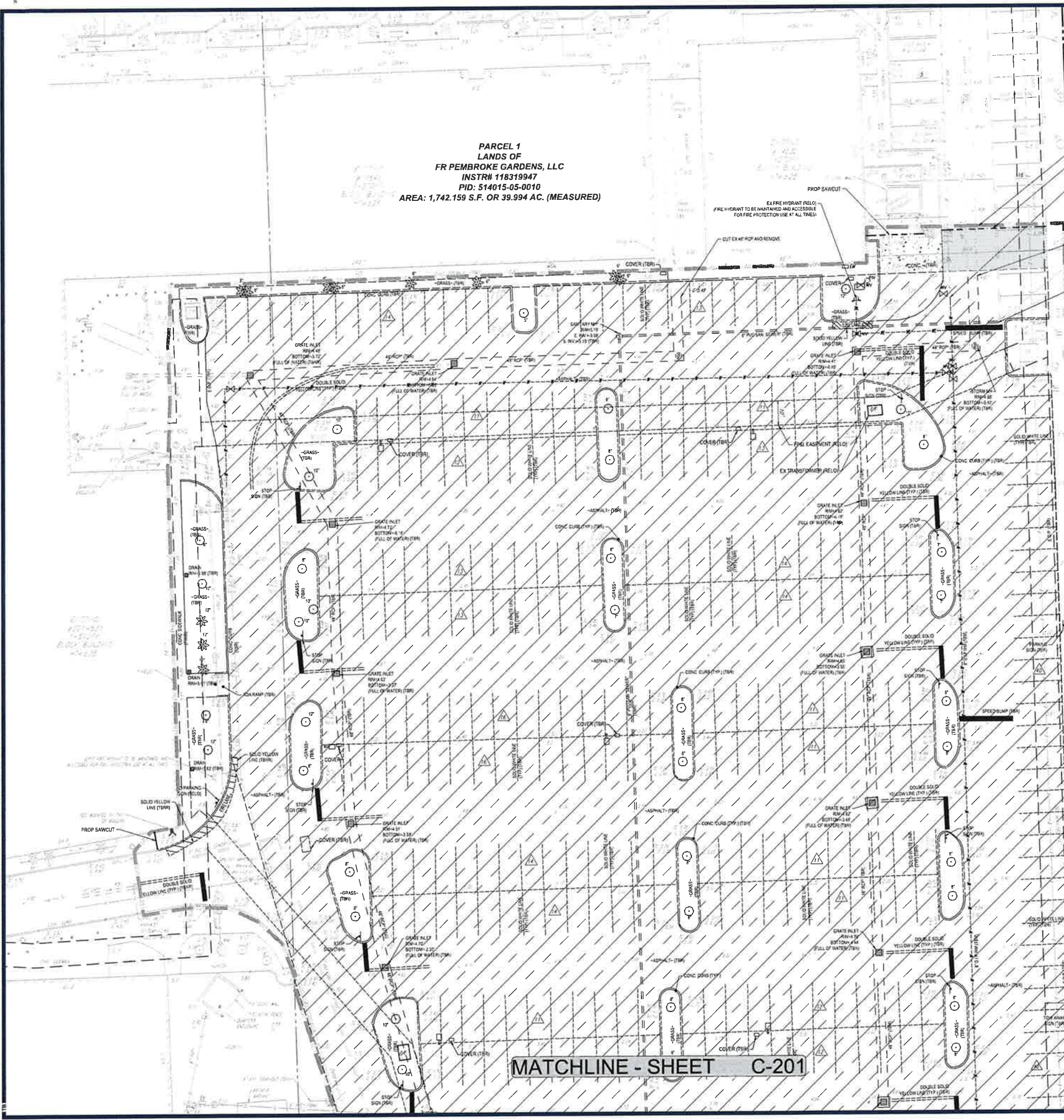
[illegible][illegible]





BOHLER ENGINEERING, LLC PROJECT NO. 2412121818 SITE PLAN FOR C-202, 2024 FL 33027, 1450 SW 145TH AVE, MIAMI, FL 33187, 1450 SW 145TH AVE, MIAMI, FL 33187, 1450 SW 145TH AVE, MIAMI, FL 33187

PARCEL 1  
LANDS OF  
FR PEMBROKE GARDENS, LLC  
INSTR# 118319947  
PID: 514015-05-0010  
AREA: 1,742.159 S.F. OR 39.994 AC. (MEASURED)



LIMITS OF DISTURBANCE PHASE 1  
PROPOSED SAWCUT  
CUT EX 4" RCP AND REMOVE (REFER TO C-201 FOR PROPOSED IMPROVEMENTS)  
CUT EX 4" RCP AND REMOVE (REFER TO C-201 FOR PROPOSED IMPROVEMENTS)  
CUT EX 4" RCP AND REMOVE (REFER TO C-201 FOR PROPOSED IMPROVEMENTS)

HATCH LEGEND	
HATCH	DESCRIPTION
	FULL DEPTH PAVEMENT REMOVAL
	CONCRETE PAVEMENT REMOVAL
	MILLING

DEMOLITION ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBRR)	TO BE REMOVED AND REPLACED
(TBM)	TO BE MAINTAINED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

20 10 5 0 20  
SCALE: 1" = 20'

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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PROJECT NO.: FLC230067-01-10  
DRAWN BY: TB  
CHECKED BY: AK  
DATE: 03/20/2024  
CAD ID: P-CIVL-EXDM

**LAND DEVELOPMENT PLANS**  
FOR  
**FR PEMBROKE GARDENS, LLC.**  
SHOPS AT PEMBROKE GARDENS  
RESIDENTIAL MULTIFAMILY  
527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027

**BOHLER //**  
1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0900  
FLORIDA BUSINESS COURT OF AUTHORITY No. 24758

**ARON BENJAMIN KOSH**  
LICENSE  
No. 93403  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
07/25/2025

SHEET TITLE:  
**EXISTING CONDITIONS/ DEMOLITION PLAN**  
SHEET NUMBER:  
**C-202**  
ORG. DATE: 2/13/2025



PROP BUILDING  
MULTI-FAMILY RESIDENTIAL  
(8-STORY 308 UNITS)  
FFE: 7.60 (HABITABLE AREAS)  
PARKING GARAGE (6.5 STORIES)  
FFE: VARIES  
±78,060 SF

PARCEL 2  
FR PEMBROKE GARDENS, LLC  
INSTR# 118319947  
PID: 514015-01-0053  
AREA: 39,037 S.F. OR 0.896 ACRES (C)

1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS
2. BLUE MARKINGS SHALL BE SHADE 15/80 PER FEDERAL STANDARD 559
3. SLOPES NO GREATER THAN 1/48 (2.08%) SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE
4. ALL RAMP, SIDEWALK CURB RAMP AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT
5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS
6. HOWEVER WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING
7. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE SIXTH EDITION FOR "ACCESSIBILITY"
8. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/CESMA STANDARDS

1. ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION" SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS
2. ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FOOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLCTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR STANDARD PAINT.
3. ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH "STOP BARS" ARE TO HAVE YELLOW/WHITE RPPMS AT 20 °C
4. REFLECTIVE PAVEMENT MARKINGS (RPPMS) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EITHER AN AUTOMATIC OR MANUALLY APPLIED PROCEDURE PROVIDED THE LIST (A) PLACEMENT OF RPPMS SHALL BE IN ACCORDANCE WITH FOOT "STANDARD PAVES" INDEX NO. 706-001. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKINGS AT THE CENTER OF THE NEAREST STREET/LANE:
  - A. BLUE (FIRE HYDRANTS)
  - B. WHITE (WATER MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
  - C. ORANGE (SEWER MAIN/HOLES IN ADJACENT GREEN/LANDSCAPE AREAS)
  - D. GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
  - E. RED (FDC - FIRE DEPARTMENT CONNECTIONS)
5. PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS PAVES INDEX NOS. 711-000 AND 711-001 AND LANE AND PARKING SPACE DETAIL R-32, ACCESSIBLE PARKING SPACE DETAILS.

[illegible]

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PROJECT No :	FLC230057.01-0
DRAWN BY:	T
CHECKED BY:	A
DATE:	03/20/202
CAD ID :	P-CIVL-SIT

PROJECT

## LAND DEVELOPMENT PLANS

FR PEMBROKE  
GARDENS, LLC.

### SHOPS AT PEMBROKE GARDENS

527 SW 145TH TERRACE  
PEMBROKE PINES, FL 3302

**1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0800**



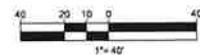
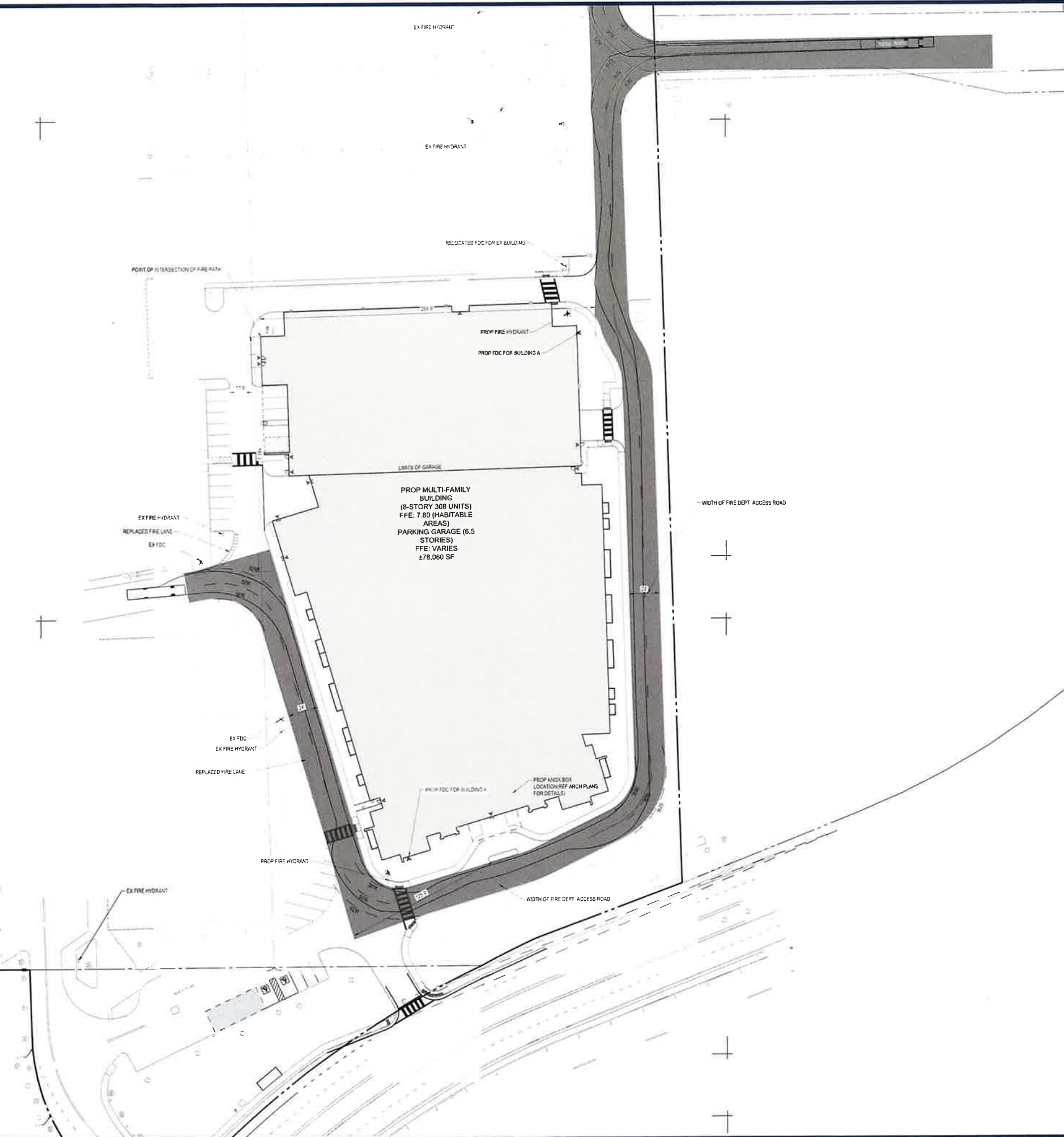
## SITE PLAN

SHEET NUMBER:

C-302

ORG. DATE - 2/13/2025





**CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES**

## REVISIONS

[illegible]

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PROJECT No.:	FLC230067.01-0B
DRAWN BY:	TB
CHECKED BY:	AK
DATE:	03/20/2024
CAD I.D.:	P-CIVL-FPRT

PROJECT:

## LAND DEVELOPMENT PLANS

FOR

**FR PEMBROKE  
GARDENS, LLC.**

### SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027

**1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0800**



**SHEET TITLE:**

***FIRE  
APPARATUS  
ACCESS  
PLAN***

SHEET NUMBER

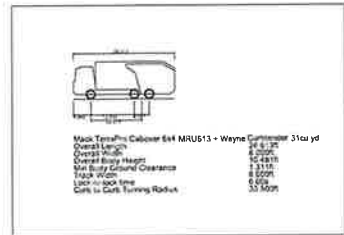
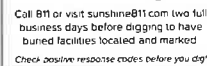
**C-304**

ORG. DATE - 2/13/2025







[illegible]

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PROJECT No: FLC230067-01-  
DRAWN BY:  
CHECKED BY:  
DATE: 03/20/20  
CAD ID: P-CIVL-TR

PROJECT

## LAND DEVELOPMENT PLANS

\_\_\_\_\_ FOR

FR PEMBROKE  
GARDENS, LLC.

### SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027



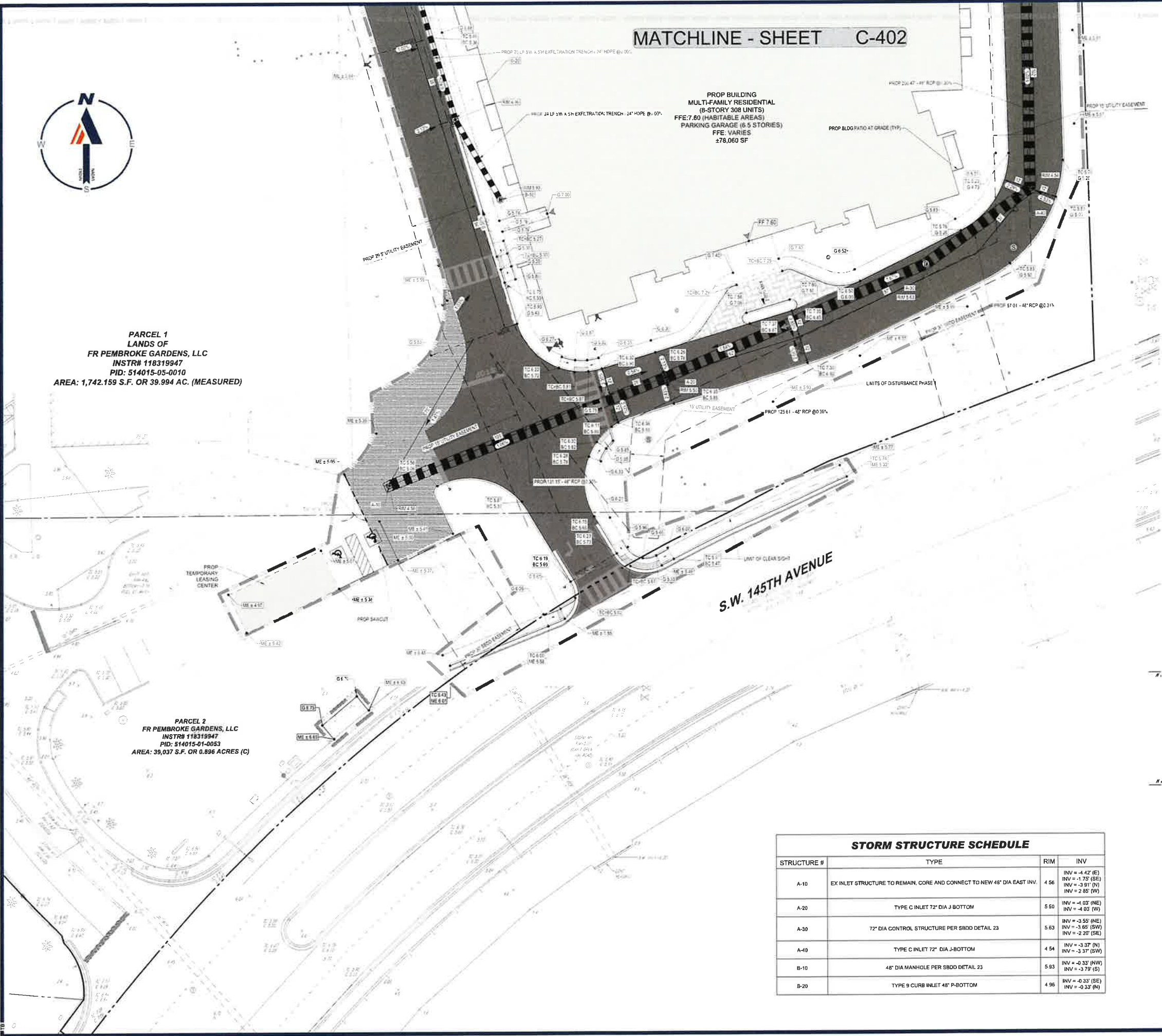
SHEET TITLE:

### WASTE TRUCK TURN PLAN

SHEET NUMBER:

**C-308**

ORG. DATE - 2/13/2025



MATCHLINE - SHEET C-402

PROP BUILDING  
MULTI-FAMILY RESIDENTIAL  
(6-STORY 308 UNITS)  
PARKING GARAGE (6.5 STORIES)  
FFE: VARIES  
±78,060 SF

PARCEL 1  
LANDS OF  
FR PEMBROKE GARDENS, LLC  
INSTR# 118319947  
PID: 514015-05-0010  
AREA: 1,742.159 S.F. OR 39.994 AC. (MEASURED)

PARCEL 2  
FR PEMBROKE GARDENS, LLC  
INSTR# 118319947  
PID: 514015-01-0053  
AREA: 39,037 S.F. OR 0.896 ACRES (C)

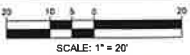
**DATUM NOTE:**  
ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. "AH267" WITH A PUBLISHED ELEVATION OF 35.70 FEET.

**FEMA NOTE:**  
THE PROPERTY IS LOCATED IN FLOOD ZONE AE WITH BASE FLOOD ELEVATION OF 6.6 FEET PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, BROWARD COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 540 OF 751", COMMUNITY-PANEL NUMBER 12011C0540J, WITH A MAP EFFECTIVE DATE OF JULY 31, 2024.

LEGEND	
PROPOSED	
STANDARD DUTY CONCRETE	
HEAVY DUTY CONCRETE	
STANDARD DUTY ASPHALT	
MILLING AND OVERLAY	

STORM STRUCTURE SCHEDULE			
STRUCTURE #	TYPE	RIM	INV
A-10	EX INLET STRUCTURE TO REMAIN, CORE AND CONNECT TO NEW 48" DIA EAST INV.	4.56	INV = -4.42' (E) INV = -1.75' (SE) INV = -3.91' (N) INV = 2.85' (W)
A-20	TYPE C INLET 72" DIA J-BOTTOM	5.50	INV = -4.03' (NE) INV = -4.03' (W)
A-30	72" DIA CONTROL STRUCTURE PER SBDD DETAIL 23	5.63	INV = -3.55' (NE) INV = -3.65' (SW) INV = -2.20' (SE)
A-40	TYPE C INLET 72" DIA J-BOTTOM	4.54	INV = -3.37' (N) INV = -3.37' (SW)
B-10	48" DIA MANHOLE PER SBDD DETAIL 23	5.93	INV = -0.33' (NW) INV = -3.79' (S)
B-20	TYPE 9 CURB INLET 48" P-BOTTOM	4.96	INV = -0.33' (SE) INV = -0.33' (N)

THIS PLAN TO BE UTILIZED FOR  
PAVING, GRADING AND DRAINAGE  
PURPOSES ONLY



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS		
REV	DATE	COMMENT

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PROJECT No.: FLC230067.01-08  
DRAWN BY: TB  
CHECKED BY: AK  
DATE: 03/20/2024  
CAD ID: P-CIVL-GRDR

PROJECT:  
**LAND DEVELOPMENT PLANS**  
FOR

**FR PEMBROKE GARDENS, LLC.**

SHOPS AT PEMBROKE GARDENS  
RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027

**BOHLER**  
1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0800

**AARON BENJAMIN KOSH**  
LICENSE  
No. 93403  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
07/25/2025

SHEET TITLE:  
**PAVING, GRADING AND DRAINAGE PLAN**

SHEET NUMBER:  
**C-401**

ORG. DATE - 2/13/2025



PARCEL 1  
LANDS OF  
FR PEMBROKE GARDENS, LLC  
INSTR# 118319947  
PID: 514015-05-0010  
AREA: 1,742.159 S.F. OR 39.994 AC. (MEASURED)

#### DATUM NOTE:

ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. "AH2207" WITH A PUBLISHED ELEVATION OF 35.70 FEET

#### FEMA NOTE:

THE PROPERTY IS LOCATED IN FLOOD ZONE AE WITH BASE FLOOD ELEVATION OF 6.6 FEET PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, BROWARD COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 540 OF 751", COMMUNITY-PANEL NUMBER 12011C0540J, WITH A MAP EFFECTIVE DATE OF JULY 31, 2024

#### STORM STRUCTURE SCHEDULE

STRUCTURE #	TYPE	RIM	INV
A-50	TYPE C INLET 72" DIA J-BOTTOM	4.96	INV = -2.77 (N) INV = -2.77 (S)
A-60	TYPE C INLET 72" DIA J-BOTTOM	5.00	INV = -2.31 (S) INV = -2.47 (NW)
A-70	72" DIA MANHOLE PER SBDD DETAIL 23	5.23	INV = -2.31 (N) INV = -2.31 (SE)
A-80	84" DIA MANHOLE PER SBDD DETAIL 23	5.55	INV = -2.09 (W) INV = -2.14 (S) INV = -1.88 (N)
A-81	TYPE 9 CURB INLET 48" P-BOTTOM	5.51	INV = -1.84 (E) INV = -1.84 (W)
A-82	84" DIA MANHOLE PER SBDD DETAIL 23	5.93	INV = -1.72 (E) INV = -1.72 (N)
B-30	TYPE 9 CURB INLET 48" P-BOTTOM	4.80	INV = -0.33 (S) INV = -0.33 (N)
B-40	TYPE C INLET 48" P-BOTTOM	5.30	INV = -0.33 (S) INV = -0.33 (N)
B-50	TYPE C INLET 48" P-BOTTOM	4.93	INV = -0.33 (S) INV = -1.33 (W)

#### LEGEND

##### PROPOSED

STANDARD DUTY CONCRETE	
HEAVY DUTY CONCRETE	
STANDARD DUTY ASPHALT	
MILLING AND OVERLAY	



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

#### NOT APPROVED FOR CONSTRUCTION

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PROJECT No.: FLC230067 01-08  
DRAWN BY: TB  
CHECKED BY: AK  
DATE: 03/29/2024  
CAD ID: P-CIVL-GRDR

#### LAND DEVELOPMENT PLANS

FOR

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS  
RESIDENTIAL MULTIFAMILY  
527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027

#### BOHLER //

1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0800



SHEET TITLE:

#### PAVING, GRADING AND DRAINAGE PLAN

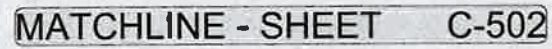
SHEET NUMBER:  
C-402

ORG. DATE - 2/13/2025































MATCHLINE - SHEET C-401

THIS PLAN TO BE UTILIZED FOR PAVING, GRADING AND DRAINAGE PURPOSES ONLY

SCALE 1" = 20'



ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. "AH2267" WITH A PUBLISHED ELEVATION OF 8.20 FEET.

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	GRATE INLET	
	CURB INLET	
	CLEAN OUT	

[illegible]

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Check positive response codes before you dig!

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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION  
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT:

\_\_\_\_\_ FOR \_\_\_\_\_

### SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

BOHLER //

FEDERAL BUREAU OF INVESTIGATION OF THE FBI



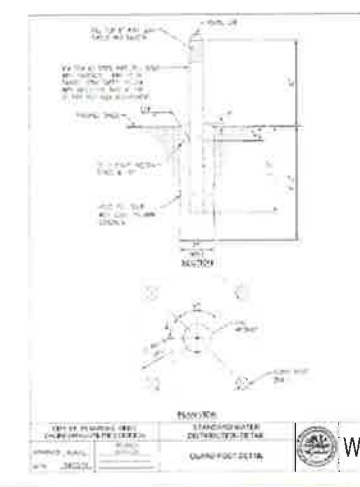
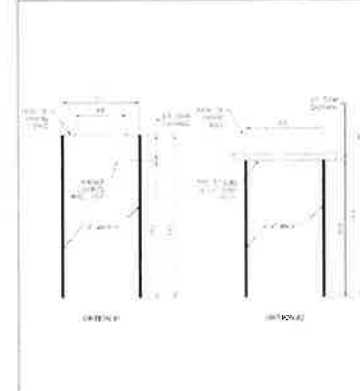
**SHEET NUMBER:** 0501

C-501

ORG. DATE - 2/13/2025

BOHLERENG NETSHARES\FL-PROJECTS\2023\FLC230067 01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP CNL-UTIL-FLC230067 01 0B --&gt;LAYOUT: C 501 UTIL







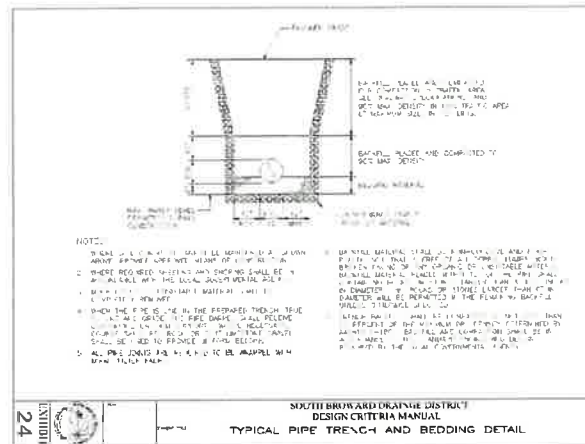
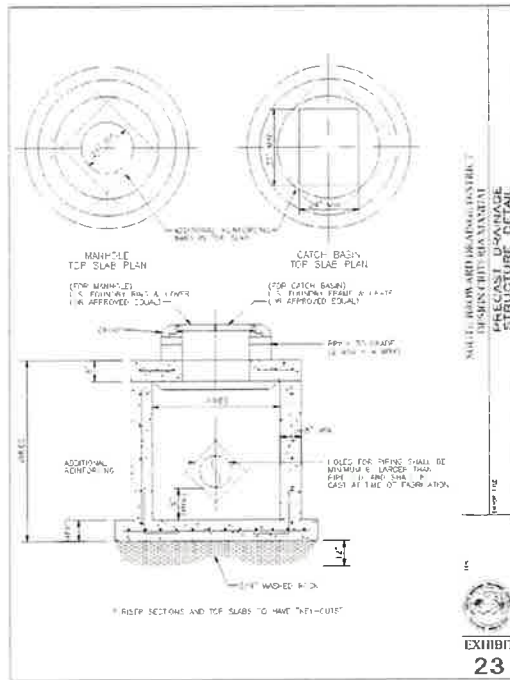
BOHLERENG NETZSHARES IFL-PROJECTS 2023 IFLC230067 01CAD I DRAWINGS I PLAN SET I CIVIL SITE PLAN I CIVIL-CH09 I FL230067 01-08--> LAYOUT: C-003 980D DETL

THE FOLLOWING COURSE MATES ARE REQUIRED BY THE ACADEMIC DEPARTMENT  
COUNCIL (COUNCIL). THEY ARE NOT MEANT TO BE ALL INCLUSIVE. IT IS THE STUDENT'S  
RESPONSIBILITY TO ASK ANY "WHAT IF NOT" BEFORE THE COURSE AND THE  
COUNCIL IS AN ACADEMIC REQUIREMENT OF THE

- [illegible]

GENERAL NOTES

GENERAL NOTES



**BOHLER** 

**SITE CIVIL AND CONSULTING ENGINEERING  
AND SURVEYING  
PROCEDES AND MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES**

[illegible]

**Sunshine811**  
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*Check positive response codes before you dig!*

**NOT APPROVED FOR  
CONSTRUCTION**

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PROJECT No.:	FLC230067.01-0B
DRAWN BY:	TB
CHECKED BY:	AK
DATE:	03/20/2024
CAD ID.:	P-CIVL-CNDS

**PROJECT:**

**LAND  
DEVELOPMENT  
PLANS**

**FOR**

**FR PEMBROKE  
GARDENS, LLC.**

**SHOPS AT PEMBROKE GARDENS  
RESIDENTIAL MULTIFAMILY**

**527 SW 145TH TERRACE  
PEMBROKE PINES, FL 33027**

**BOHLER //**  
1 SE 3rd AVENUE  
SUITE 2700  
MIAMI, FLORIDA 33131  
Phone: (786) 681-0800



**SHEET TITLE:**

***SBDD  
DETAILS***

---

**SHEET NUMBER:**

**C-903**

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**ORG. DATE - 2/13/2025**

		SUBMITTALS		SITE PLAN SUBMITTAL - FEBRUARY 14, 2025		SITE PLAN SUBMITTAL - APRIL 7, 2025		SITE PLAN SUBMITTAL - JUNE 6, 2025									
GENERAL INFORMATION																	
L0-0-01	SHEET INDEX																
L0-0-02	GENERAL NOTES																
L0-1-01	OVERALL SITE PLAN - CONTEXT																
L0-1-02	OVERALL SITE PLAN																
L0-1-02	KEY PLAN																
TREE DISOSITION																	
L1-0-01	DEMOLITION NOTES																
L1-1-01	TREE DISPOSITION PLAN																
L1-1-02	TREE DISPOSITION PLAN																
L1-5-01	TREE DISPOSITION SCHEDULE																
HARDSCAPE PLAN																	
L3-1-01	HARDSCAPE PLAN																
L3-1-02	HARDSCAPE PLAN																
L3-2-01	HARDSCAPE ENLARGMENT																
L3-4-01	HARDSCAPE DETAILS																
L3-4-02	HARDSCAPE DETAILS																
L3-4-03	HARDSCAPE DETAILS																
L3-5-01	HARDSCAPE SCHEDULE																
LANDSCAPE PLAN																	
L5-0-01	PLANTING NOTES																
L5-1-01	TREE PLAN																
L5-1-02	TREE PLAN																
L6-1-01	SHRUB PLAN																
L6-1-02	SHRUB PLAN																
L6-4-01	PLANTING DETAILS																
L6-5-01	PLANTING SCHEDULE																

1. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED TO EDSA AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. EDSA AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS, OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
3. DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
4. ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
5. ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
8. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
9. ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
10. EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED BY BARRICADES ERECTED PRIOR TO COMMENCEMENT OF ANY SITE DEMOLITION, CLEARING, OR GRADING. SEE DEMOLITIONS/SITE CLEARING NOTES FOR ADDITIONAL REQUIREMENTS.
11. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

1. PRIOR TO THE COMMENCEMENT OF HARDSCAPE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHER CONTRACTORS WORKING ON THIS PROJECT IN RELATION TO THE WORK RESPONSIBILITIES DEPICTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IN WRITING OF ANY POTENTIAL DEVIATIONS WITHIN 48 HRS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF HARDSCAPE CONSTRUCTION.
2. THE CONTRACTOR SHALL SURVEY, LAYOUT AND STAKE THE LOCATION OF ALL FOOTINGS, PIERS, WALLS, COLUMNS AND PAVEMENT FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR FIELD MOCKUPS FOR ALL ITEMS LISTED ON THE FINISH SCHEDULE UNLESS SPECIFICALLY NOTED OTHERWISE. MOCKUPS SHALL BE SET UP IN A SECURED LOCATION ON THE SITE FOR REFERENCE AS DIRECTED BY THE OWNERS REPRESENTATIVE. MOCKUPS WILL REMAIN ON SITE UNTIL THE COMPLETION OF HARDSCAPE CONSTRUCTION.
4. ANY REFERENCE IN THE HARDSCAPE CONSTRUCTION DOCUMENTS TO BRANDED PRODUCTS, PROCEDURES OR PATENTED PROCESSES ARE ASSUMED TO CARRY AN IMPLIED STATEMENT OF "OR APPROVED EQUAL" UNLESS SPECIFICALLY NOTED OTHERWISE WITH "NO SUBSTITUTIONS PERMITTED"
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK.
6. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
7. THE CONTRACTOR SHALL EMPLOY AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND/OR GOVERNING AUTHORITIES, A TESTING LABORATORY APPROVED BY THE OWNERS REPRESENTATIVE TO CONDUCT ALL TESTS NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS AND CODES.
8. WRITTEN DIMENSIONS, COORDINATES AND/OR ELECTRONIC FILES PREVAIL OVER SCALED DIMENSIONS. DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
9. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
10. REFER TO CIVIL PLANS FOR OVERALL SITE LAYOUT/DIMENSIONS.
11. HARDSCAPE DIMENSIONS ARE FROM THE FACE AND/OR CENTERLINE OF THE OBJECT AT 90 DEGREE ANGLES UNLESS NOTED OTHERWISE. ALL RADII AND CURVES ARE TO HAVE SMOOTH AND CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OF BENDS.
12. PAVER DIMENSIONS ARE NOMINAL. VERIFY ACTUAL PAVER DIMENSIONS PRIOR TO LAYOUT OF PAVER FIELDS.
13. ALL REFERENCES TO "GRAY CONCRETE" SHALL MEAN NATURAL CONCRETE WITH NO COLOR ADDITIVE.
14. INFORMATION ON STRUCTURAL REINFORCEMENT, ANCHORS, FASTENERS, FOUNDATIONS OR OTHER STRUCTURAL ELEMENTS SHOWN ON THE HARDSCAPE DOCUMENTS RELATED TO WALLS, SLABS, STRUCTURES AND ALL CAST IN PLACE CONCRETE IS SHOWN FOR MATERIAL RELATIONSHIPS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
15. CROSS SLOPE ON HARDSCAPE PAVEMENT SHALL NOT EXCEED 2%. RUNNING SLOPE SHALL NOT EXCEED 5% UNLESS NOTED OTHERWISE. SEE LANDSCAPE GRADING FOR ADDITIONAL REQUIREMENTS.
16. SITE FURNISHINGS SHALL BE INSTALLED AS DETAILED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANCHORING DETAILS WITH THE ITEM'S MANUFACTURER PRIOR TO PURCHASE/INSTALLATION.
17. HARDSCAPE ON-STRUCTURE: SITE HARDSCAPE ELEMENTS FOR ALL PODIUM, ROOF LEVEL AND BUILDING RELATED SURFACES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP AND STRUCTURAL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION FOR ALL

ANCHORS, REINFORCING, WATERPROOFING, DRAINAGE FIXTURES, MATERIAL ATTACHMENTS, SETTING METHODS AND SLAB PENETRATIONS FOR PAVING, IRRIGATION, DRAINAGE AND ELECTRICAL FIXTURES.

18. WATER FEATURES: SITE HARDSCAPE ELEMENTS SHOWN FOR FOUNTAINS, POOLS, SPA WATERFALLS AND OTHER WATER FEATURES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND FOUNTAIN/POOL ENGINEERS FOR ACTUAL CONSTRUCTION DOCUMENTATION.

19. LIGHT FIXTURES: LIGHT FIXTURES ARE SHOWN FOR MATERIAL RELATIONSHIP AND ORIENTATION WITH HARDSCAPE/LANDSCAPE ELEMENTS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ELECTRICAL ENGINEER FOR ACTUAL CONSTRUCTION DOCUMENTATION.

1. LANDSCAPE GRADES ARE COMPLEMENTARY. REFER TO THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ROUGH GRADING OF THE SITE, FINISH GRADES FOR ALL VEHICULAR PAVEMENT, BUILDINGS, DRAINAGE AND UTILITY STRUCTURES.
2. PRIOR TO INITIATING LANDSCAPE GRADING THE CONTRACTOR SHALL INSPECT THE SITE TO CONFIRM THAT ROUGH GRADING AND DRAINAGE STRUCTURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CIVIL ENGINEERING CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT IN WRITING TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO RESOLVE ANY DISCREPANCIES.
3. NUMEROUS UNDERGROUND UTILITIES, CONDUITS, SLEEVES AND UTILITY STRUCTURES ABOVE AND BELOW GRADE HAVE BEEN PREVIOUSLY INSTALLED. THE CONTRACTOR SHALL CONDUCT FINE GRADING TO AVOID DAMAGE TO THESE ELEMENTS.
4. ALL PEDESTRIAN PAVEMENT AND LANDSCAPE AREAS SHALL BE GRADED TO POSITIVELY DRAIN AWAY FROM VERTICAL ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS AND COLUMNS TOWARD AND INTO DRAINAGE STRUCTURES. LANDSCAPE AREAS SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF WATER HOLDING DEPRESSIONS.
5. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE NOTED. MAKE ALLOWANCES FOR PAVEMENT THICKNESS AND THE DEPTH OF PREPARED PLANTING SOIL WHERE APPLICABLE.
6. THE CONTRACTOR SHALL NOT SUBSTANTIALLY VARY FINE GRADING FROM THE GRADING PLAN WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE MAY ADJUST FINE GRADING SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
7. PROTECT SITE FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES AND PAVING FROM DAMAGE BY GRADING EQUIPMENT.
8. MATCH PROPOSED PAVEMENT GRADES WITH EXISTING CONDITIONS TO REMAIN TO PROVIDE FLUSH INTERFACES WITH ABUTTING SURFACES.
9. GRADES FOR SOD AREAS SHALL BE HELD ONE INCH (1") BELOW ADJACENT PAVEMENT GRADES TO ALLOW FOR INSTALLATION OF SOD.
10. GRADES FOR PLANTING AREAS SHALL BE HELD TWO INCHES (2") BELOW ADJACENT PAVEMENT TO ALLOW FOR THE INSTALLATION OF PREPARED PLANTING SOIL, MULCH AND PLANT MATERIAL.
11. FILL REQUIRED TO BRING THE SITE TO THE REQUIRED LINES AND FINISHED GRADES CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
12. FILL SHALL BE COMPACTED AS FOLLOWS:
  - A. UNDER PEDESTRIAN PAVEMENT: AS RECOMMENDED BY CIVIL/GEOTECHNICAL ENGINEER.
  - B. LANDSCAPE AREAS: COMPACT TOP TWELVE INCHES (12") BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 80% MAXIMUM DRY DENSITY ACCORDING TO ASTM D698.
13. CONTOURS FOR LANDSCAPE BERMS, MOUNDS AND SWALES SHALL BE SMOOTH CONTINUOUS ARCS VOID OF SURFACE IRREGULARITIES AND SHALL BLEND INTO SURROUNDING TERRAIN IN A NATURAL MANNER.
14. ALL LANDSCAPE AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN SMALL IMPERFECTIONS AND ROUND OFF AND SHARP EDGES.
15. FINE GRADE TOLERANCES FOR LANDSCAPE AREAS...PLUS OR MINUS (+/-) 0.04 FOOT (").
16. FINE GRADE TOLERANCES FOR HARDSCAPE AREAS...PLUS OR MINUS (+/-) 0.02 FOOT (").
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING GRADES AND TO REPAIR AND CLEAN UP AREAS WHERE SETTLEMENT, WASHOUTS, EROSION OR OTHER GRADE CHANGES OCCUR UNTIL FINAL ACCEPTANCE.

ARCH	ARCHITECTURE	EW	EACH WAY	REQD	REQUIRED
ADA	AMERICANS WITH DISABILITIES ACT	FG	FINISHED GRADE	REV	REVISION
		FL	FLOW LINE	S	SOUTH
BC	BOTTOM OF CURB	FOC	FACE OF CURB	SF	SQUARE FOOT
BLDG	BUILDING	FT	FOOT (FEET)	SHT	SHEET
BOC	BACK OF CURB	FTG	FOOTING	SIM	SIMILAR
BR	BOTTOM OF RAMP	FFE	FINISHED FLOOR ELEVATION	SPECS	SPECIFICATIONS
BS	BOTTOM OF STEP	GALV	GALVANIZED	SS	STAINLESS STEEL
BW	BOTTOM OF WALL	GA	GUAGE	STD	STANDARD
B&B	BALLED AND BURLAPPED	GEN	GENERAL	SY	SQUARE YARD
BFP	BACKFLOW PREVENTER	H2O	WATER	SYM	SYMMETRICAL
CAL	CALIPER	HP	HIGH POINT	TOC	TOP OF COLUMN
CB	CATCH BASIN	HT	HEIGHT	TOPO	TOPOGRAPHY
CF	CUBIC FEET	HWL	HIGH WATER LINE	TR	TOP OF RAMP
CLR	CLEARANCE	ID	INSIDE DIAMETER	TYP	TYPICAL
CM	CENTIMETER	IN	INCH	TW	TOP OF WALL
CY	CUBIC YARD	INV	INVERT ELEVATION	TS	TOP OF STEP
CIP	CAST-IN-PLACE	LF	LINEAR FEET (FOOT)	TC	TOP OF CURB
CJ	CONSTRUCTION JOINT	LP	LOW POINT	VAR	VARIES
CL	CENTER LINE	MISC	MISCELLANEOUS	VOL	VOLUME
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	W	WEST
COORD	COORDINATE	MHW	MEAN HIGH WATER	WL	WATER LEVEL
CONT	CONTINUOUS	MIN	MINIMUM	YD	YARD DRAIN
DEG	DEGREE	NWL	NATURAL WATER LINE		
DIM	DIMENSION	NIC	NOT IN CONTRACT		
DTL	DETAIL	NTS	NOT TO SCALE		
DWG	DRAWING	N	NORTH		
DEMO	DEMOLITION	OD	OUTSIDE DIAMETER		
DIA	DIAMETER	OC	ON CENTER		
DI	DRAIN INLET	PA	PLANTING AREA		
E	EAST	PL	PROPERTY LINE		
EL	ELEVATION	PT	PAINT		
ENG	ENGINEER	QTY	QUANTITY		
EXIST	EXISTING	R	RADIUS		
EJ	EXPANSION JOINT	RIM	RIM ELEVATION		
EQ	EQUAL	ROW	RIGHT-OF-WAY		
ESMT	EASEMENT	REINF	REINFORCE (D)		

### PLANT QUANTITY

DISCIPLINE: L-LANDSCAPE

WORK TYPE

SHEET TYPE

SHEET NUMBER

LX-X-XX

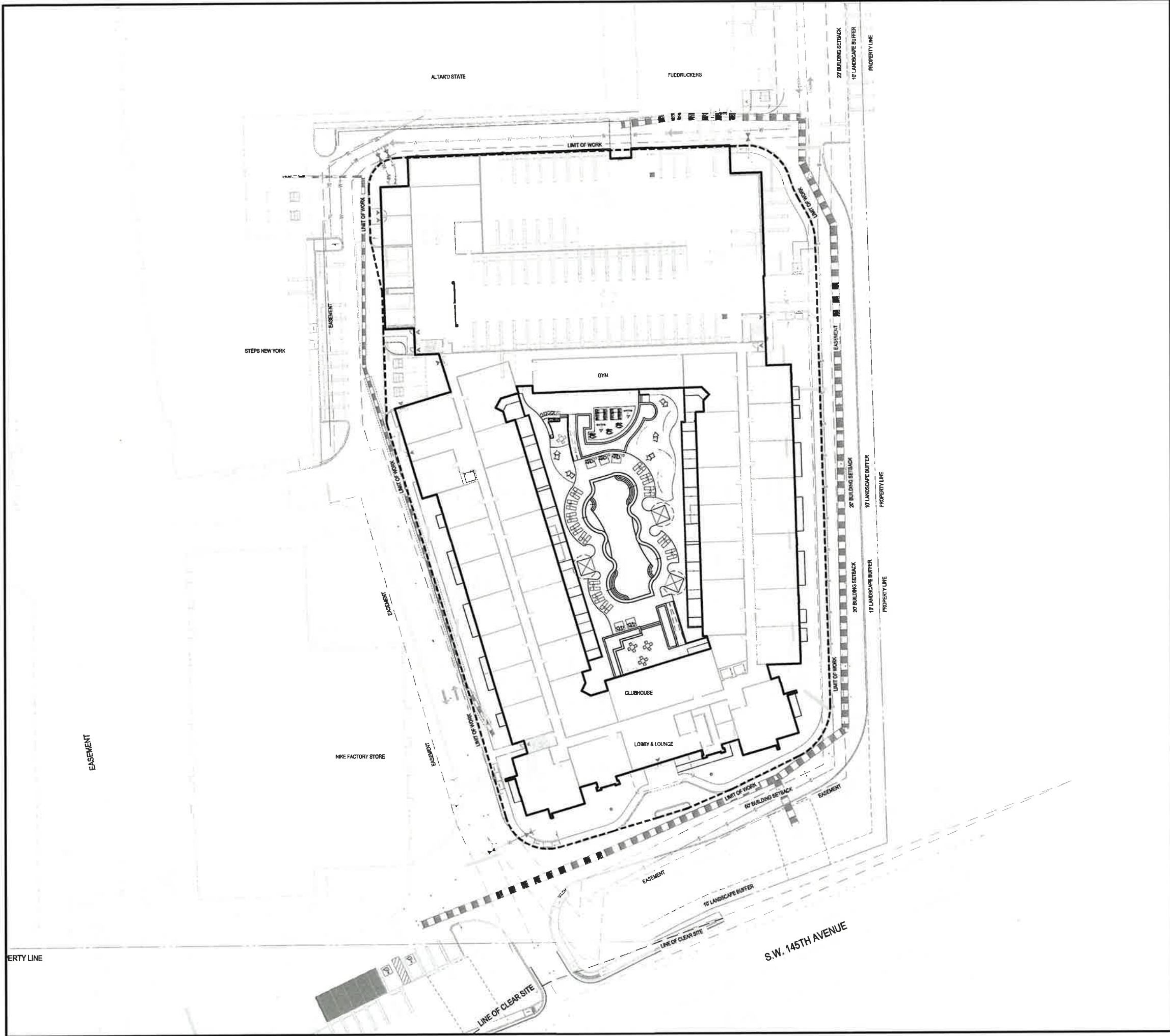
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L0-X-X GENERAL INFORMATION SERIES  
L1-X-X TREE DISPOSITION SERIES  
L3-X-X HARDSCAPE SERIES  
L3-4-X SITE DETAIL  
L3-5-X HARDSCAPE SCHEDULE  
L5-X-X TREE PLANTING SERIES  
L6-X-X SHRUB PLANTING SERIES  
L6-4-X PLANTING DETAILS  
L6-5-X PLANTING SCHEDULE

Sheet Number

L0-0-02





Project Name

PEMBROKE GARDENS

Client

FEDERAL REALTY

edsa

PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.524.3330

Consultants

ARCADIS ARCHITECTURE

701 Waterford Way  
Suite 420  
Miami, Florida, 33126

BOHLER CIVIL ENGINEER

1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

HINES, INC. IRRIGATION

600 Edwards Street  
Suite 7102  
Celebration, Florida, 34747

Key Plan

Rev	Date	Issued for

Date

JUNE 6, 2025

Designed By

MH

Drawn By

AH, DD

Approved / Checked By

AH, JS

Project Number

SE240003

Seal

Jeffrey R. Suiter

Digitally signed by Jeffrey R. Suiter  
Date: 2025.07.23 10:39:31 -04'00'

Project Phase

SITE PLAN SUBMITTAL

Sheet Title

OVERALL SITE PLAN

Sheet Number

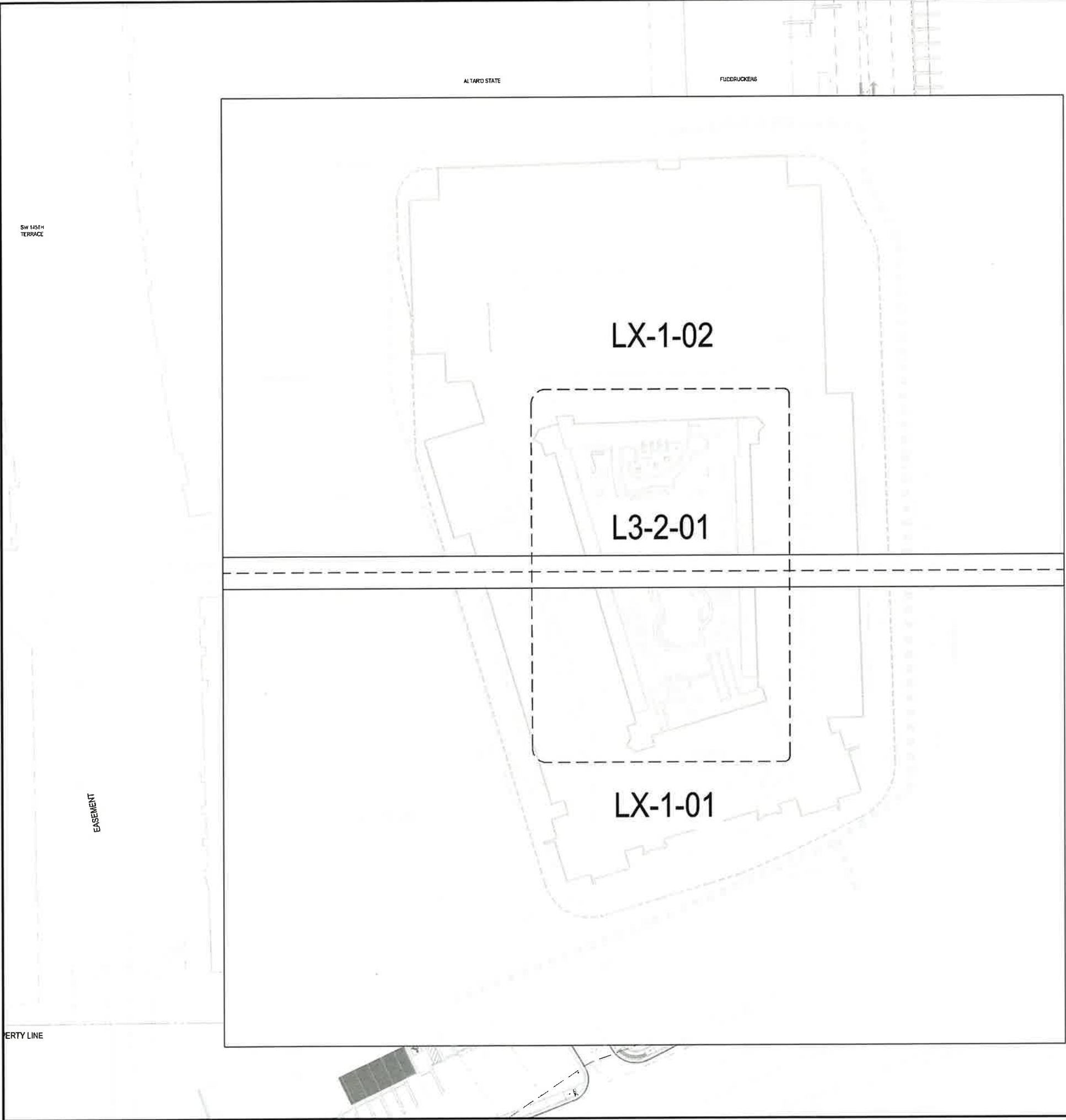
L0-1-02

SCALE: 1" = 30'-0"

0 30' 60'

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



NOTE:  
1. REFER TO GENERAL NOTES (L0-0-02) FOR SHEET NUMBERING OUTLINE.

Project Name

PEMBROKE GARDENS

Client

FEDERAL REALTY

edsa

PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
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L0-1-02

SCALE: 1" = 30'-0"  
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NORTH  
ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

**GENERAL NOTES:**

1. PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:
  - A. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND FULLY OPERATIONAL. SEE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR REQUIREMENTS AND DETAILS.
  - B. ERECT BARRICADES TO PROTECT EXISTING TREES INDICATED TO REMAIN. SEE TREE PROTECTION REQUIREMENTS FOR ADDITIONAL REQUIREMENTS AND DETAILS.
  - C. COORDINATE WITH ALL UTILITY COMPANIES THAT MAY HAVE UTILITY SERVICES ON THIS SITE TO OBTAIN ALL PERMITS AS APPLICABLE. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AS REQUIRED TO TAKE SUCH UTILITY SYSTEMS OUT OF SERVICE IF REQUIRED.
  - D. UTILITIES OUTSIDE OF HE LIMITS OF CONSTRUCTION ARE TO BE MAINTAINED AND OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.
  - E. OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIAL, FIXTURES OR EQUIPMENT FROM THE SITE PRIOR TO DEMOLITION.
  - F. ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.

1. THE CONTRACTOR SHALL PROVIDE AT LEAST 48-HOUR NOTICE TO ALL UTILITY COMPANIES PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING TO PROVIDE FIELD LOCATES OF EXISTING UTILITIES.
2. REMOVE IN THEIR ENTIRETY ALL BUILDINGS, PAVEMENTS, STRUCTURES, RUBBISH, DEBRIS, UTILITIES AND ALL OTHER APPURTENANCES WHICH ARE NECESSARY TO PERMIT THE PROPOSED CONSTRUCTION AS DESIGNATED IN THE CONSTRUCTION DOCUMENTS.
3. ALL VEGETATIVE GROWTH, TIMBER AND BRUSH SHALL BE REMOVED TO A DEPTH OF 18 INCHES BELOW NATURAL GROUND OR DESIGN GRADE WHICHEVER IS LOWER.
4. PAVEMENTS TO BE REMOVED SHALL BE SAW CUT TO ENSURE A CLEAN EDGE. CONCRETE PAVEMENT SHALL BE REMOVED TO THE NEAREST CONTROL JOINT WHERE APPLICABLE.
5. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED AND REMOVED. EXCAVATED AREAS SHALL BE BACKFILLED WITH CLEAN BUILDERS SAND AND RETURNED TO NATURAL GROUND OR DESIGN GRADE.
6. AFTER DEMOLITION / SITE CLEARING TILL DISK ALL SURFACES TO A DEPTH OF SIX INCHES (6") AND REMOVE ANY REMAINING DELETERIOUS MATERIAL GREATER THAN 1 INCH (1") IN DIAMETER.
7. SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNERS REPRESENTATIVE FOR DIRECTION ON HOW TO PROCEED.
8. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION AND/OR SITE CLEARING ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND DISPOSAL OF WASTE MATERIAL.

1. THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF EXISTING TREES/PALMS TO REMAIN WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION AND/OR SITE CLEARING.
2. ALL TREE/PALM PROTECTION SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE CARE. ALL TREE CARE ACTIVITIES INCLUDING BUT NOT LIMITED TO CROWN PRUNING, FERTILIZING AND ROOT PRUNING SHALL BE CONDUCTED BY OR PERFORMED UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL BEAR THE COST OF THE ARBORIST.
3. ERECT TREE/PALM PROTECTION BARRICADES AS DETAILED IN THE CONTRACT DOCUMENTS. ALL BARRICADES SHALL BE PLACED A MINIMUM OF TEN FEET (10') CLEAR DISTANCE FROM THE FACE OF ANY PROTECTED TREE/PALM OR AS INDICATED BY EXISTING CODE OR ORDINANCES WHICHEVER IS GREATER. BARRICADES SHALL FULLY ENCLOSE ALL TREES/PALMS TO REMAIN.
4. NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, VEHICLES, OR SOIL DEPOSITS. ANY ACTIVITY THAT INVOLVES DISTURBING SOIL WITHIN THE BARRICADES SHALL BE DONE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT COMPACT THE SOIL OR DAMAGE THE TREE/PALM ROOTS.
5. ALL TREES SUBJECT TO ENCROACHMENT INTO THE DRIP LINE DUE TO PROPOSED CONSTRUCTION SHALL BE ROOT PRUNED EIGHTEEN INCHES (18") FROM THE EDGE OF SAID CONSTRUCTION.
  - A. ROOT PRUNING SHALL CONSIST OF DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP BY SIX INCHES (6") WIDE EITHER BY HAND OR WITH A TRENCHING MACHINE DESIGNED FOR THIS PURPOSE. ALL ROOTS SHALL BE CLEAN CUT WITH NO SPLITS OR TEARS.
  - B. TRENCH SHALL BE FILLED WITH TOPSOIL (SEE LANDSCAPE NOTES) PLACED IN TWELVE INCH (12") LIFTS. EACH LIFT SHALL BE WATERED IN TO PREVENT AIR POCKETS.
6. BARRICADES SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
7. PROTECTED TREES/PALMS DEEMED UNACCEPTABLE BY THE OWNERS REPRESENTATIVE AT THE PROJECT COMPLETION DUE TO DAMAGE, LACK OF PROTECTION OR NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.

1. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK TO INTERFACE SMOOTHLY WITH OTHER WORK BEING PREFORMED ON OR ADJACENT TO THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES.
2. CONTRACTOR SHALL REFER TO THE HARDSCAPE NOTES, LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

**GENERAL NOTES:**

1. TREES/PALMS TO BE RELOCATED ARE DESIGNATED ON THE DRAWINGS OR AS IDENTIFIED BY THE OWNERS REPRESENTATIVE.
2. THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF THE EXISTING CONDITIONS WITH THE OWNERS REPRESENTATIVE AT BOTH THE CURRENT AND PROPOSED LOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT DOCUMENTING THE EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO PHOTOGRAPHS IDENTIFYING TREES/PALMS TO BE RELOCATED, POTENTIAL OBSTRUCTIONS AND IDENTIFICATION OF A PROPOSED MOVING ROUTE THAT AVOIDS AND PROTECTS OVERHEAD AND UNDERGROUND UTILITIES. THE REPORT WILL SERVE AS A REFERENCE POINT FOR MONITORING THE EXISTING CONDITIONS WHICH WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP INTACT.
3. ALL TREE/PALM RELOCATIONS SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE RELOCATIONS. ALL RELOCATION ACTIVITIES SHALL BE CONDUCTED BY OR PERFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL BEAR THE COST OF THE ARBORIST.
4. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE 24 HOURS IN ADVANCE OF EACH RELOCATION TO ALLOW FOR OBSERVATION OF THE PROCEDURES.
5. TREES/PALMS SHALL ONLY BE MOVED ONCE, WITHIN 24 HOURS OF THE PLANTS EXCAVATION. NO NURSERY OR HOLDING ARE MAY BE USED.

1. TREES SIX INCH (6") CALIPER OR LESS AND PALMS OTHER THAN THOSE LISTED AS SPECIMEN PALMS MAY BE RELOCATED BY MECHANICAL MACHINERY AND DO NOT REQUIRE ROOT PRUNING. (SEE MECHANICAL RELOCATION)
2. TREES/PALMS REQUIRING ROOT PRUNING SHALL HAVE THIS PERFORMED ACCORDING TO THE FOLLOWING SCHEDULE:
  - A. TREES FOURTEEN INCH (14") CALIPER AND LESS AND SPECIMEN PALMS .....3 MONTHS PRIOR TO RELOCATING.
  - B. TREES FIFTEEN INCH (15") TO TWENTY- EIGHT INCH (28") CALIPER.....6 MONTHS PRIOR TO RELOCATING.
  - C. TREES OVER TWENTY- EIGHT INCH (28") CALIPER..... 9 MONTHS PRIOR TO RELOCATING.
3. EQUIPMENT USED FOR ROOT PRUNING SHALL BE DESIGNED FOR THIS TASK AND SHALL PRODUCE CLEAN CUTS OF ROOTS WITHOUT DAMAGE TO THE RESULTING ROOT BALL.
4. TREES SHALL HAVE A MINIMUM ROOT BALL SIZE OF TEN INCHES (10") PER ONE INCH (1") OF CALIPER. ROOT BALLS ARE TO BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
5. SPECIMEN PALMS SHALL HAVE A MINIMUM ROOT BALL OF THIRTY-SIX INCHES (36") AND SHALL BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
6. ROOT BALLS FOR TREES/PALMS SHALL BE FORMED BY DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP AND SIX INCHES (6") WIDE EITHER BY HAND OR BY A TRENCHING MACHINE DESIGNED FOR THE PURPOSE.
7. IF ROOT PRUNING HAS BEEN PERFORMED OUTSIDE OF THE SCOPE OF THIS CONTRACT THE CONTRACTOR SHALL CONFIRM IN WRITING WITH THE OWNERS REPRESENTATIVE THAT ROOT PRUNING HAS BEEN ACCOMPLISHED AS DESCRIBED ABOVE.

1. TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
2. ALL ROOT BALLS SHALL BE THOROUGHLY SOAKED FOR SEVEN (7) DAYS PRIOR TO DIGGING.
3. EXCAVATE TWELVE INCHES (12") OUTSIDE OF PREVIOUS ROOT PRUNING TO A DEPTH OF FORTY-EIGHT INCHES (48").
4. ROOT BALLS SHALL BE UNDERCUT PRIOR TO LIFTING. DO NOT FORCE TREE/PALM FROM GROUND.
5. TREES/PALMS SHALL BE LIFTED AND TRANSPORTED IN SUCH A MANNER AS TO AVOID DAMAGE TO BARK, LIMBS, TRUNKS OR FRONDS. SUPPORT CHAINS, STRAPS AND/OR CABLES SHALL BE PADDED AS REQUIRED. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE DOWELING IN LIEU OF LIFTING BY STRAPS.
6. EXCAVATE NEW PLANT PIT TWENTY-FOUR INCHES (24") WIDER THAN ROOT BALL AND TO A DEPTH THAT ALLOWS NEW ROOT BALL TO BE SITUATED THREE INCHES (3") ABOVE PROPOSED GRADE.
7. ROTATE TREE/PALM PRIOR TO SETTING TO ACHIEVE BEST POSITIONING AS DIRECTED BY THE OWNERS REPRESENTATIVE.
8. BACKFILL PLANTING PIT WITH PREPARED PLANTING SOIL (SEE LANDSCAPE NOTES/SPECIFICATIONS) IN TWELVE INCH (12") LIFTS THOROUGHLY DRENCHING EACH LIFT WITH WATER TO PREVENT AIR POCKETS.
9. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
10. TREES/PALMS SHALL BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

1. TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
2. TREE SPADES SHALL BE LARGE ENOUGH TO ENCOMPASS THE FIBROUS FEEDER ROOTS OF EACH PLANT. TREE SPADES USED TO RELOCATE TREES/ NON-SPECIMEN PALMS SHALL MEET THE FOLLOWING CRITERIA:
  - A. TREES UP TO THREE INCH (3") CALIPER.....FORTY-FOUR INCH (44") SPADE
  - B. TREES THREE INCH (3") TO FIVE INCH (5") CALIPER.....SIXTY INCH (60") SPADE
  - C. TREES UP TO EIGHT INCH (8") CALIPER AND NON-SPECIMEN PALMS.....NINETY INCH (90") SPADE
3. USE SAME MACHINE TO DIG RECEIVING HOLE AND TO DIG TREE/PALM FOR TRANSPLANTING.
4. TREE SPADES SHALL HAVE A MAXIMUM TOLERANCE OF TWO INCHES (2") BETWEEN BLADES AND SHALL BE MOUNTED TO A STABLE MACHINE CAPABLE OF SUPPORTING THE WEIGHT OF ALL RELOCATED MATERIAL.
5. CENTER TREE/PALM IN THE SPADE WHEN DIGGING. CLEAN CUT ANY ROOTS PROTRUDING FROM THE DIGGING SPADE FLUSH WITH THE ROOT BALL BEFORE PLANTING.
6. AFTER PLACING TREE/PALM IN RECEIVING HOLE IMMEDIATELY FILL ALL CREVICES/VOIDS WITH PREPARED PLANTING SOIL. (SEE LANDSCAPE NOTES/SPECIFICATIONS) THOROUGHLY DRENCH WITH WATER TO PREVENT AIR POCKETS.
7. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
8. TREES/PALMS TO BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

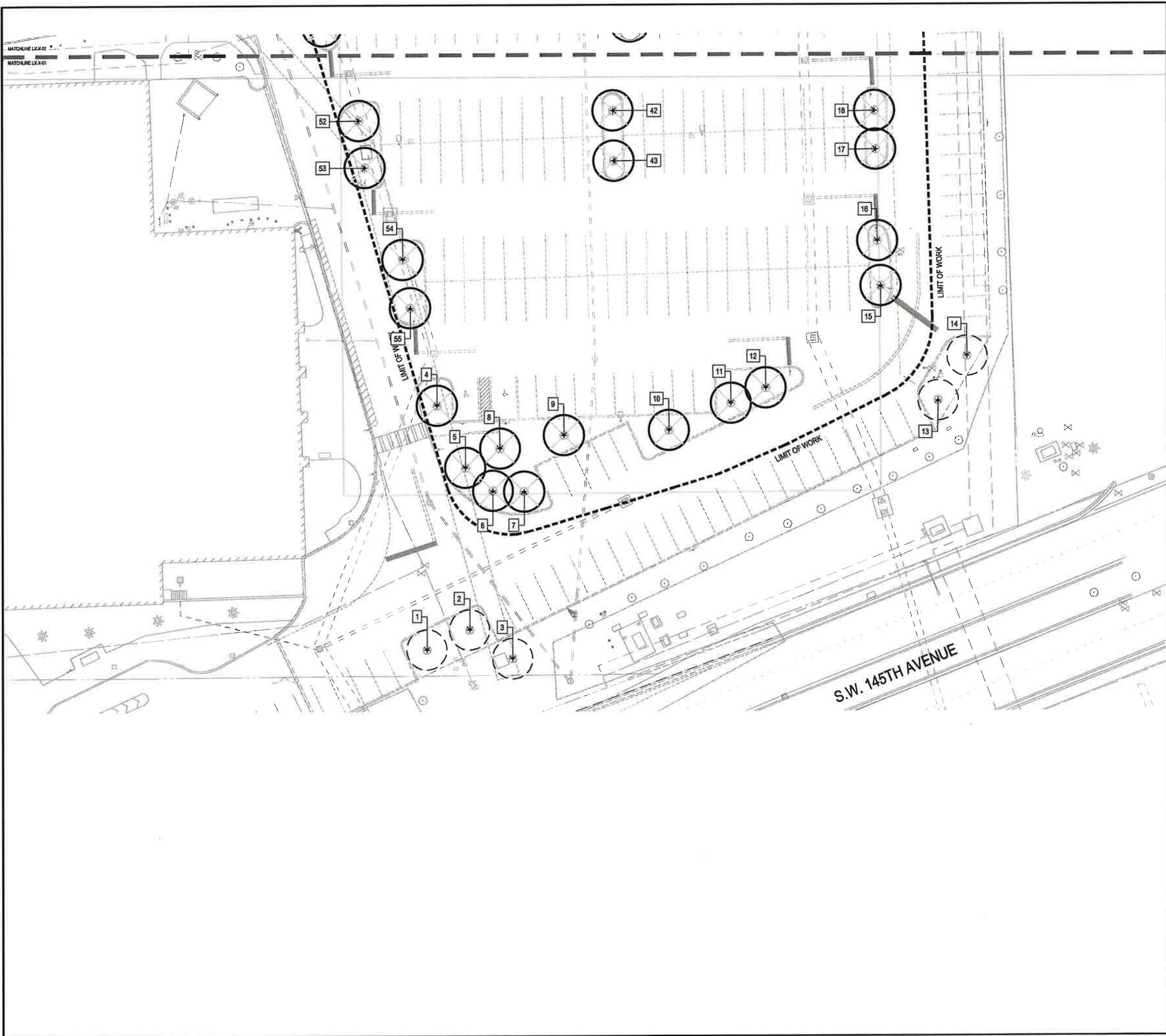
### POST PLANTING MAINTENANCE NOTES:

1. DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL TRANSPLANTED TREES/PALMS.
2. MAINTENANCE DURING THE PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, REMOVAL OF DEAD MATERIAL, REPAIRING AND/OR REPLACING STAKING, RESETTling PLANTS TO PROPER GRADES AND UPRIGHT POSITIONS AND APPLYING SUCH SPRAYS AS DIRECTED BY THE ARBORIST AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
3. ALL RELOCATED TREES/PALMS SHALL BE IRRIGATED BY HAND OR TEMPORARY AUTOMATIC IRRIGATION SYSTEM UNTIL A PERMANENT IRRIGATION SYSTEM IS OPERATIONAL.
4. IRRIGATION FOR TREES SHALL INCLUDE MIST HEADS AS DIRECTED BY ARBORIST.

1. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
2. FOR THE PURPOSE OF ACCEPTANCE, THE RELOCATED TREES/PALMS TO BE HEALTHY, VIGOROUS, UNDAMAGED AND EXHIBIT EVIDENCE OF ESTABLISHING NEW ROOTS.
3. THE MINIMUM ALLOWABLE RATE OF SURVIVAL OF ALL RELOCATED MATERIAL SHALL BE 90%. DETERMINATION OF SURVIVABILITY SHALL BE MADE BY THE OWNERS REPRESENTATIVE AT THE COMPLETION.
4. ANY TREE/PALM THAT IS DEEMED UNACCEPTABLE AS A PRODUCT OF NEGLIGENCE BY THE CONTRACTOR SHALL BE REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.
5. THE DATE OF SUBSTANTIAL COMPLETION SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS THAT ALL WORK RELATED TO THE TREE/PALM TRANSPLANTING IS COMPLETE.
6. ALL TRANSPLANTED TREES/PALMS SHALL BE WARRANTED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION FROM THE OWNERS REPRESENTATIVE. THE DATE OF SUBSTANTIAL COMPLETION MAY VARY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR OTHER PORTION OF THE PROJECT.

Sheet Number

L1-0-01



TREES / PALMS	
SYMBOL	DESCRIPTION
	PALM / TREE TO BE REMOVED
	PALM / TREE TO REMAIN
	PALM / TREE TO BE RELOCATED
	TREE ID


NOTE:  
1. REFER TO MITIGATION SCHEDULE ON SHEET L1-5-01

Project Name

PEMBROKE GARDENS

Client

FEDERAL REALTY

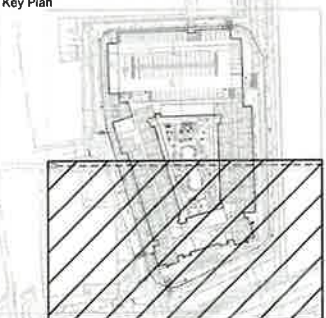
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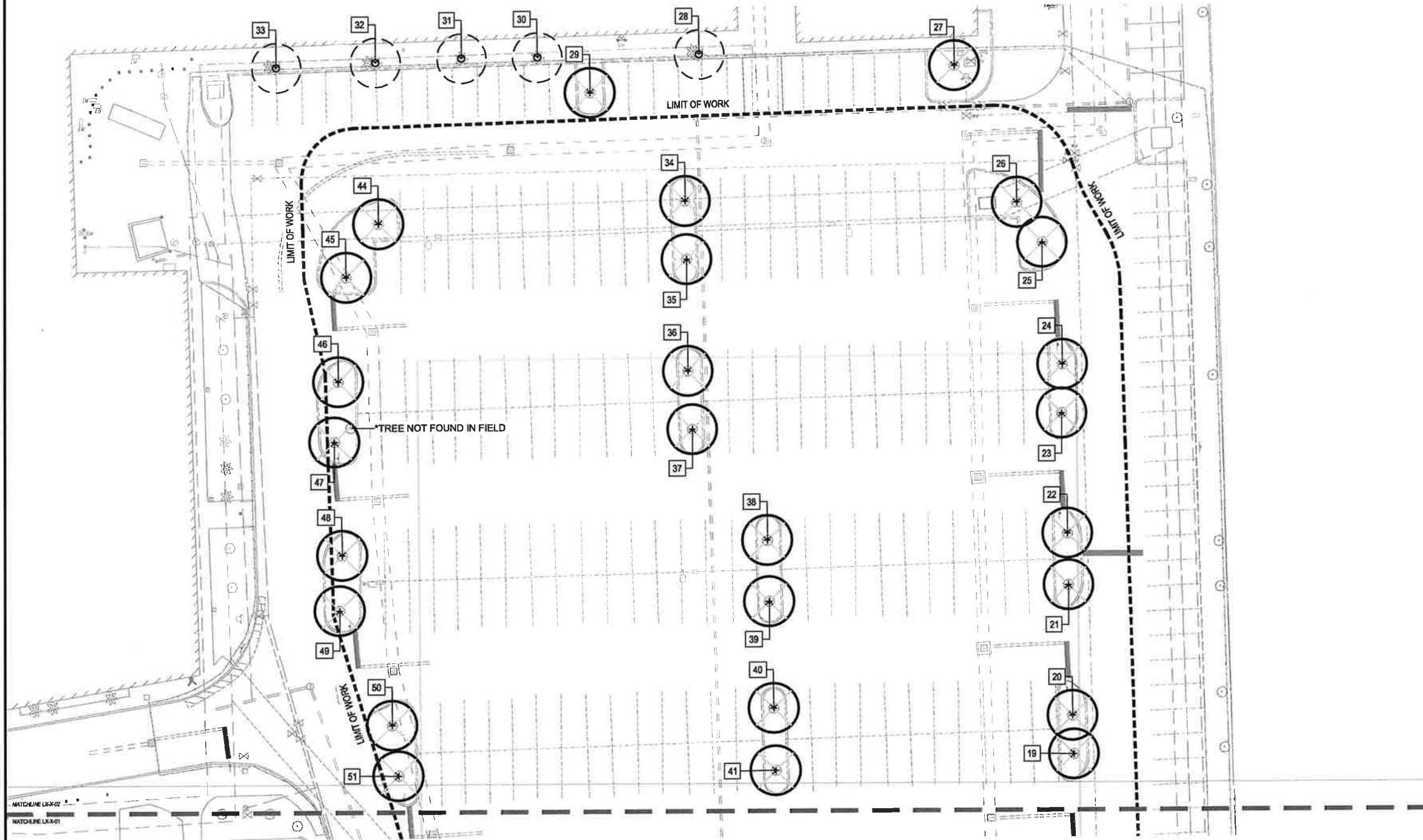
SITE PLAN SUBMITTAL

Sheet Title

TREE DISPOSITION PLAN

Sheet Number

L1-1-01



TREES / PALMS	
SYMBOL	DESCRIPTION
	PALM / TREE TO BE REMOVED
	PALM / TREE TO REMAIN
	PALM / TREE TO BE RELOCATED
	TREE ID

NOTE:  
1. REFER TO MITIGATION SCHEDULE ON SHEET L1-5-01

SCALE: 1" = 20'-0"  
0 10' 20' 40'

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

# PEMBROKE GARDENS

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## FEDERAL REALTY

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Project Phase

### SITE PLAN SUBMITTAL

Sheet Title

## TREE DISPOSITION PLAN

Sheet Number

# L1-1-02

TREE DISPOSITION TABLE										
NUMBER	TYPE	SCIENTIFIC NAME	COMMON NAME	DIAMETER (INCHES)	CANOPY (FEET)	CANOPY (SF)	CONDITION	ACTION	NOTES	ORIGIN
1	Tree	Swietenia mahagoni	West Indian Mahogany	18"	25'	80'	Good-Moderate	Remain		NATIVE
2	Tree	Swietenia mahagoni	West Indian Mahogany	16"	28'	88'	Good	Remain		NATIVE
3	Tree	Swietenia mahagoni	West Indian Mahogany	18"	40'	126'	Good	Remain		NATIVE
4	Tree	Quercus virginiana	Southern Live Oak	10"	30'	94'	Good	Remove		NATIVE
5	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	18'	57'	Good	Remove		NON-NATIVE
6	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	18'	57'	Moderate	Remove		NON-NATIVE
7	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	15'	47'	Poor	Remove		NON-NATIVE
8	Tree	Quercus virginiana	Southern Live Oak	12"	24'	75'	Good	Remove		NATIVE
9	Tree	Quercus virginiana	Southern Live Oak	12"	15'	47'	Good	Remove		NATIVE
10	Tree	Quercus virginiana	Southern Live Oak	14"	23'	72'	Good-Moderate	Remove		NATIVE
11	Tree	Quercus virginiana	Southern Live Oak	10"	24'	75'	Good	Remove		NATIVE
12	Tree	Quercus virginiana	Southern Live Oak	10"	13'	41'	Poor	Remove		NATIVE
13	Tree	Quercus virginiana	Southern Live Oak	18"	24'	75'	Good	Remain		NATIVE
14	Tree	Quercus virginiana	Southern Live Oak	14"	25'	80'	Good	Remain		NATIVE
15	Tree	Quercus virginiana	Southern Live Oak	8"	15'	47'	Poor	Remove		NATIVE
16	Tree	Quercus virginiana	Southern Live Oak	10"	13'	40'	Poor	Remove		NATIVE
17	Tree	Quercus virginiana	Southern Live Oak	8"	12'	38'	Poor	Remove		NATIVE
18	Tree	Quercus virginiana	Southern Live Oak	8"	13'	40'	Poor	Remove		NATIVE
19	Tree	Quercus virginiana	Southern Live Oak	8"	12'	38'	Poor	Remove		NATIVE
20	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Good-Moderate	Remove		NATIVE
21	Tree	Quercus virginiana	Southern Live Oak	8"	18'	57'	Poor	Remove		NATIVE
22	Tree	Quercus virginiana	Southern Live Oak	6"	13'	41'	Poor	Remove		NATIVE
23	Tree	Quercus virginiana	Southern Live Oak	7"	25'	80'	Moderate	Remove		NATIVE
24	Tree	Quercus virginiana	Southern Live Oak	7"	10'	31'	Poor	Remove		NATIVE
25	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
26	Tree	Quercus virginiana	Southern Live Oak	10"	18'	57'	Poor	Remove		NATIVE
27	Tree	Quercus virginiana	Southern Live Oak	12"	35'	110'	Good	Remove		NATIVE
28	Palm	Veitchia arecina	Montgomery Palm	6"	18'	57'	Good	Remain	Multi Trunk	NON-NATIVE
29	Tree	Quercus virginiana	Southern Live Oak	5"	14'	44'	Moderate	Remove		NATIVE
30	Palm	Veitchia arecina	Montgomery Palm	6"	9'	28'	Good	Remain	Single Trunk	NON-NATIVE
31	Palm	Veitchia arecina	Montgomery Palm	6"	9'	28'	Good	Remain	Single Trunk	NON-NATIVE
32	Palm	Veitchia arecina	Montgomery Palm	8"	16'	50'	Good	Remain	Multi Trunk	NON-NATIVE
33	Palm	Veitchia arecina	Montgomery Palm	8"	14'	44'	Good	Remain	Multi Trunk	NON-NATIVE
34	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
35	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
36	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Poor	Remove		NATIVE
37	Tree	Quercus virginiana	Southern Live Oak	7"	10'	31'	Poor	Remove		NATIVE
38	Tree	Quercus virginiana	Southern Live Oak	8"	17'	53'	Poor	Remove		NATIVE
39	Tree	Quercus virginiana	Southern Live Oak	8"	18'	57'	Poor	Remove		NATIVE
40	Tree	Quercus virginiana	Southern Live Oak	8"	24'	75'	Good	Remove		NATIVE
41	Tree	Quercus virginiana	Southern Live Oak	8"	10'	31'	Poor	Remove		NATIVE
42	Tree	Quercus virginiana	Southern Live Oak	8"	16'	50'	Moderate	Remove		NATIVE
43	Tree	Quercus virginiana	Southern Live Oak	8"	22'	70'	Moderate	Remove		NATIVE
44	Tree	Quercus virginiana	Southern Live Oak	10"	20'	63'	Good	Remove		NATIVE
45	Tree	Quercus virginiana	Southern Live Oak	10"	28'	88'	Good	Remove		NATIVE
46	Tree	Quercus virginiana	Southern Live Oak	8"	16'	50'	Poor	Remove		NATIVE
47	Tree	Quercus virginiana	Southern Live Oak	10"	16'	50'	Good-Moderate	Remove		NATIVE
48	Tree	Quercus virginiana	Southern Live Oak	12"	24'	75'	Good	Remove		NATIVE
49	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
50	Tree	Quercus virginiana	Southern Live Oak	8"	26'	82'	Good-Moderate	Remove		NATIVE
51	Tree	Quercus virginiana	Southern Live Oak	8"	21'	66'	Good-Moderate	Remove		NATIVE
52	Tree	Quercus virginiana	Southern Live Oak	10"	25'	80'	Good-Moderate	Remove		NATIVE
53	Tree	Quercus virginiana	Southern Live Oak	10"	19'	60'	Poor	Remove		NATIVE
54	Tree	Quercus virginiana	Southern Live Oak	10"	21'	66'	Good	Remove		NATIVE
55	Tree	Quercus virginiana	Southern Live Oak	8"	23'	72'	Good	Remove		NATIVE
TOTAL SF CANOPY REMOVED:										3,266
TOTAL SF CANOPY REPLACED:										1,016

Project Name

PEMBROKE  
GARDENS

Client

FEDERAL REALTY



PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.824.3330

Consultants

ARCADIS  
ARCHITECTURE  
701 Waterford Way  
Suite 420  
Miami, Florida, 33126

BOHLER  
CIVIL ENGINEER  
1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

HINES, INC.  
IRRIGATION  
600 Edwards Street  
Suite 7102  
Celebration, Florida, 34747

Key Plan

Rev	Date	Issued for

Date	JUNE 6, 2025
Designed By	MH
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



Jeffrey R.  
Suiter  
  
Digitally signed by Jeffrey R Suiter  
Date: 2025.07.23 10:42:39 -04'00'

Project Phase  
SITE PLAN SUBMITTAL

Sheet Title  
TREE MITITGATION  
SCHEDULE

Sheet Number  
L1-5-01

MATCHLINE L3-2-01  
MATCHLINE L3-2-01

NIKE FACTORY STORE

REFER TO SHEET L3-2-01

CLUBHOUSE

LOBBY & LOUNGE

S.W. 145TH AVENUE

#### HARDSCAPE LEGEND

##### PAVING / CURBS

CALL OUT	DESCRIPTION	DETAIL
PC-01	CONCRETE WALK	4/L3-4-01
PC-02	PEDESTRIAN PAVERS	5/L3-4-01
PC-03	POOL DECK	6/L3-4-01
PC-04	VEHICULAR DRIVE	7/L3-4-01
PC-05	VEHICULAR PAVERS	1/L3-4-02
PC-06	DETECTABLE WARNING PAVERS	2/L3-4-02
PC-07	ARTIFICIAL TURF	3/L3-4-02

##### WALLS / STAIRS

CALL OUT	DESCRIPTION	DETAIL
WS-01	TYPICAL RETAINING WALL	4/L3-4-02
WS-02	TYPICAL SEAT WALL	5/L3-4-02
WS-03	TYPICAL PLANTER WALL	1/L3-4-03
WS-04	TYPICAL STAIRS	2/L3-4-03

##### OTHER

CALL OUT	DESCRIPTION	DETAIL
PLT	PLANTING AREA	

Project Name

## PEMBROKE GARDENS

Client

FEDERAL REALTY



PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.324.3330

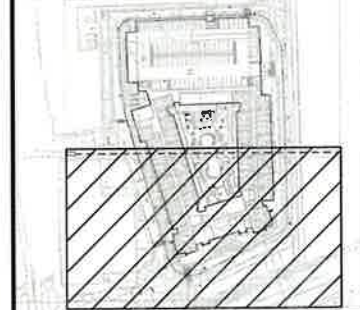
Consultants

ARCADIS  
ARCHITECTURE  
701 Waterford Way  
Suite 420  
Miami, Florida, 33126

BOHLER  
CIVIL ENGINEER  
1 SE 3rd Avenue  
Suite 2700  
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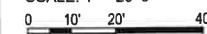
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Project Phase	SITE PLAN SUBMITTAL
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Sheet Title	HARDSCAPE PLAN
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Sheet Number	L3-1-01
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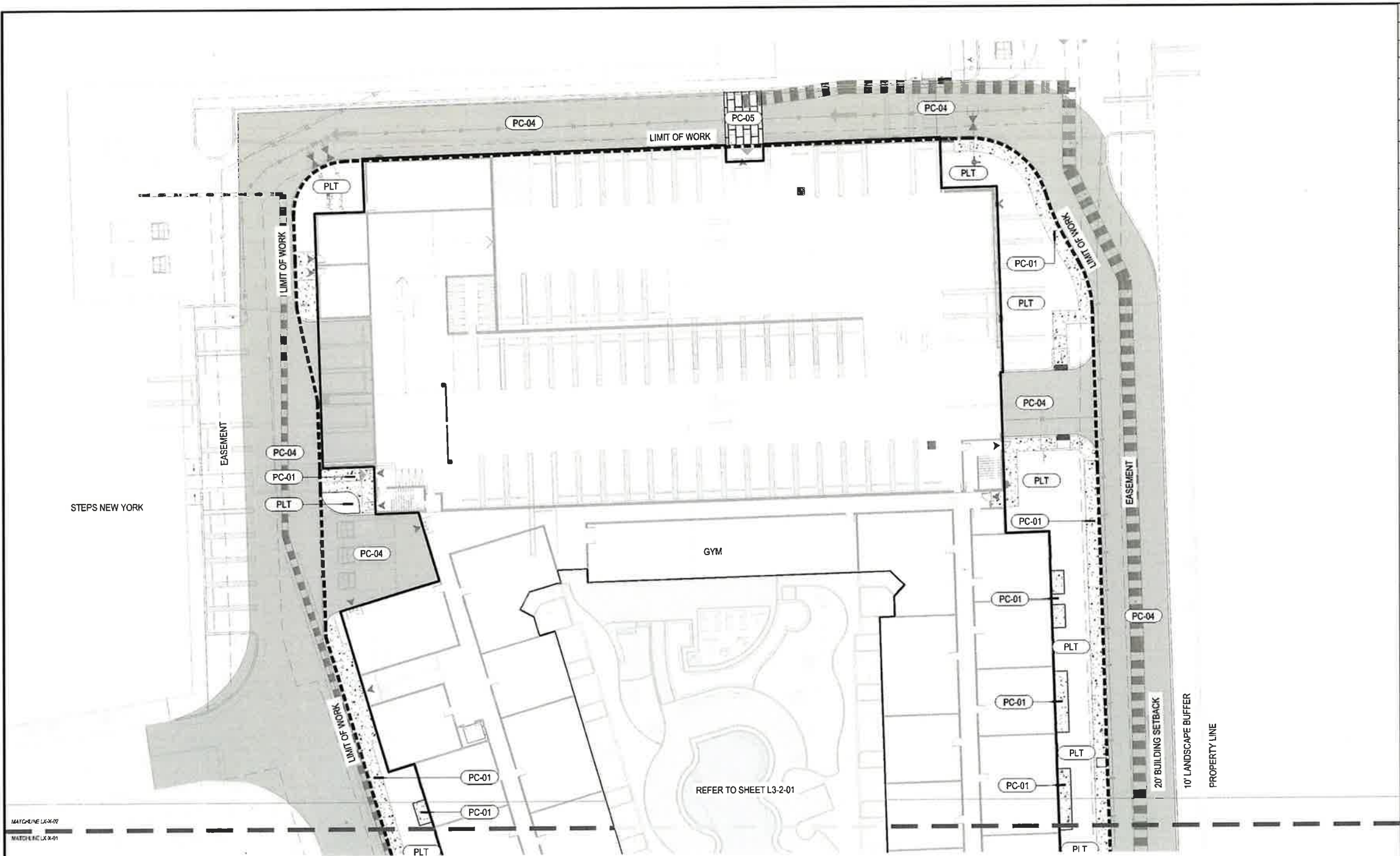
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NORTH



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



HARDSCAPE LEGEND		
PAVING / CURBS		
CALL OUT	DESCRIPTION	DETAIL
PC-01	CONCRETE WALK	4/L3-4-01
PC-02	PEDESTRIAN PAVERS	5/L3-4-01
PC-03	POOL DECK	6/L3-4-01
PC-04	VEHICULAR DRIVE	7/L3-4-01
PC-05	VEHICULAR PAVERS	1/L3-4-02
PC-06	DETECTABLE WARNING PAVERS	2/L3-4-02
PC-07	ARTIFICIAL TURF	3/L3-4-02
WALLS / STAIRS		
CALL OUT	DESCRIPTION	DETAIL
WS-01	TYPICAL RETAINING WALL	4/L3-4-02
WS-02	TYPICAL SEAT WALL	5/L3-4-02
WS-03	TYPICAL PLANTER WALL	1/L3-4-03
WS-04	TYPICAL STAIRS	2/L3-4-03
OTHER		
CALL OUT	DESCRIPTION	DETAIL
PLT	PLANTING AREA	

Rev	Date	Issued for

Date	JUNE 6, 2025
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Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



**Jeffrey R. Suiter**  
Digitally signed by Jeffrey R. Suiter  
Date: 2025.07.23 15:44:01 -0500

Project Phase  
SITE PLAN SUBMITTAL

Sheet Title  
HARDSCAPE PLAN

Sheet Number  
L3-1-02

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name  
**PEMBROKE GARDENS**

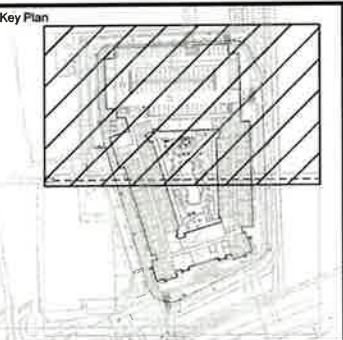
Client  
**FEDERAL REALTY**

 **edsa**  
PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954 524 3330

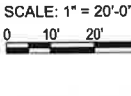
Consultants  
**ARCADIS ARCHITECTURE**  
701 Waterford Way  
Suite 420  
Miami, Florida, 33126

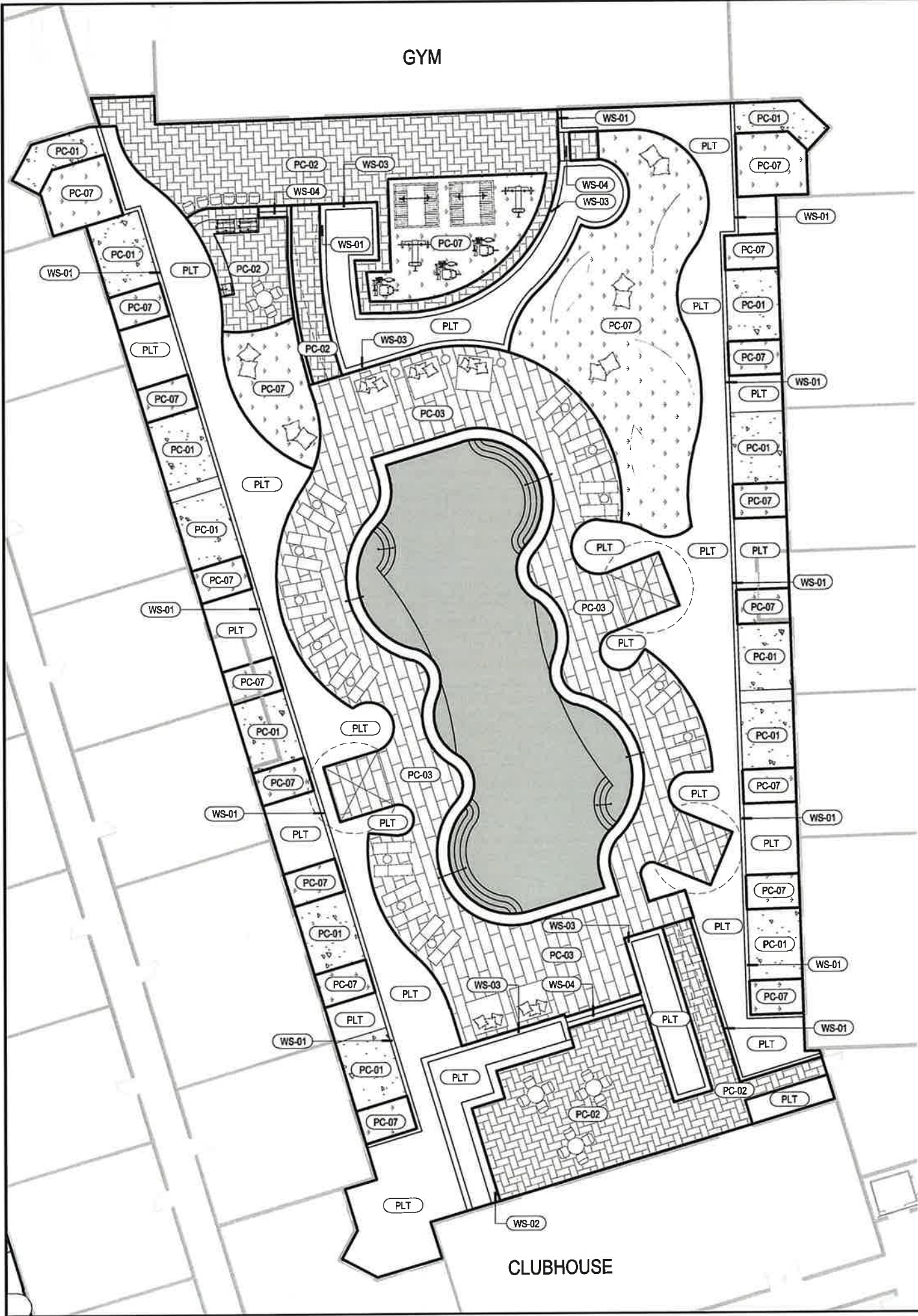
**BOHLER CIVIL ENGINEER**  
1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

**HINES, INC. IRRIGATION**  
600 Edwards Street  
Suite 7102  
Celebration, Florida, 34747



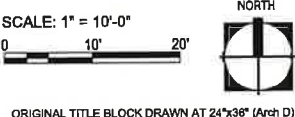
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0 10' 20' 40'

**NORTH**



HARDSCAPE LEGEND		
PAVING / CURBS		
CALL OUT	DESCRIPTION	DETAIL
PC-01	CONCRETE WALK	4/L3-4-01
PC-02	PEDESTRIAN PAVERS	5/L3-4-01
PC-03	POOL DECK	6/L3-4-01
PC-04	VEHICULAR DRIVE	7/L3-4-01
PC-05	VEHICULAR PAVERS	1/L3-4-02
PC-06	DETECTABLE WARNING PAVERS	2/L3-4-02
PC-07	ARTIFICIAL TURF	3/L3-4-02
WALLS / STAIRS		
CALL OUT	DESCRIPTION	DETAIL
WS-01	TYPICAL RETAINING WALL	4/L3-4-02
WS-02	TYPICAL SEAT WALL	5/L3-4-02
WS-03	TYPICAL PLANTER WALL	1/L3-4-03
WS-04	TYPICAL STAIRS	2/L3-4-03
OTHER		
CALL OUT	DESCRIPTION	DETAIL
PLT	PLANTING AREA	

NOTE:  
1. FURNITURE SHOWN ON PLAN FOR REFERENCE ONLY.



Project Name  
  

# PEMBROKE GARDENS

Client  
  

## FEDERAL REALTY

edsa

PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.524.9330

Consultants  
 ARCADIS  
 ARCHITECTURE  
 701 Waterford Way  
 Suite 420  
 Miami, Florida, 33126  
  
 BOHLER  
 CIVIL ENGINEER  
 1 SE 3rd Avenue  
 Suite 2700  
 Miami, Florida, 33131  
  
 HINES, INC.  
 IRRIGATION  
 800 Edwards Street  
 Suite 7102  
 Celebration, Florida, 34747

Key Plan

Rev	Date	Issued for

Date  
JUNE 6, 2025  
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MH  
 Drawn By  
AH, DD  
 Approved / Checked By  
AH, JS  
 Project Number  
SE240003

Seal  

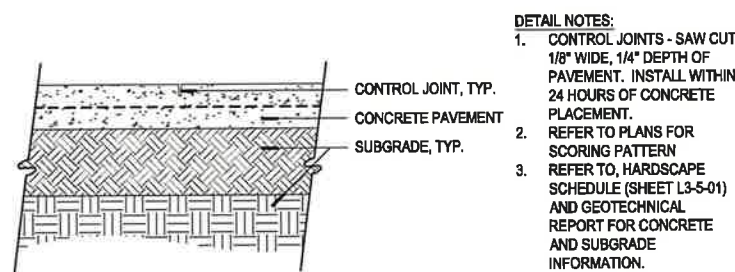
Jeffrey R. Suiter  
Date: 2025.07.23  
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Project Phase  
 SITE PLAN SUBMITTAL

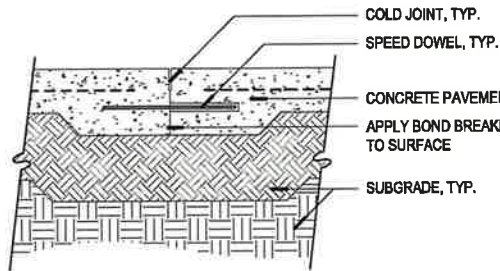
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 HARDSCAPE ENLARGEMENT

Sheet Number  

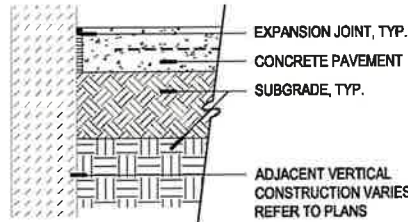
# L3-2-01



- DETAIL NOTES:
1. CONTROL JOINTS - SAW CUT 1/8" WIDE, 1/4" DEPTH OF PAVEMENT. INSTALL WITHIN 24 HOURS OF CONCRETE PLACEMENT.
  2. REFER TO PLANS FOR SCORING PATTERN
  3. REFER TO, HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND SUBGRADE INFORMATION.



- DETAIL NOTES:
1. PROVIDE COLD JOINT (CONTINUOUS).
  2. REFER TO CIVIL ENGINEERS PLANS FOR SPEED DOWEL.
  3. REFER TO PLANS FOR SCORING PATTERN.
  4. REFER TO DETAIL HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND SUBGRADE INFORMATION.



- DETAIL NOTES:
1. EXPANSION JOINTS - 3/8" POLYURETHANE JOINT SEALANT WITH BACKER ROD AND EXPANSION JOINT MATERIAL COLOR TO MATCH CONCRETE PAVING COLOR.
  2. LOCATE EXPANSION JOINTS ADJACENT TO ALL VERTICAL CONSTRUCTION (WALLS, BUILDINGS, STAIRS, CURBS, ETC.)
  3. REFER TO HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND SUBGRADE INFORMATION.

## 1 CONTROL JOINT

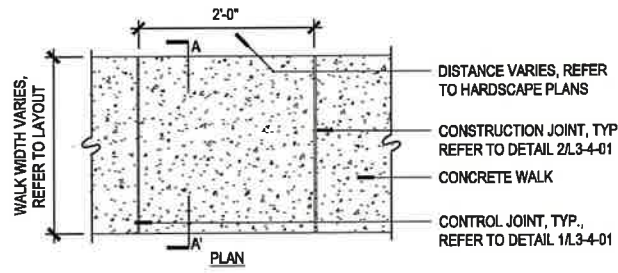
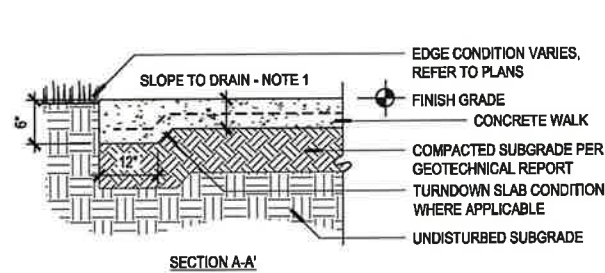
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## 2 CONSTRUCTION JOINT

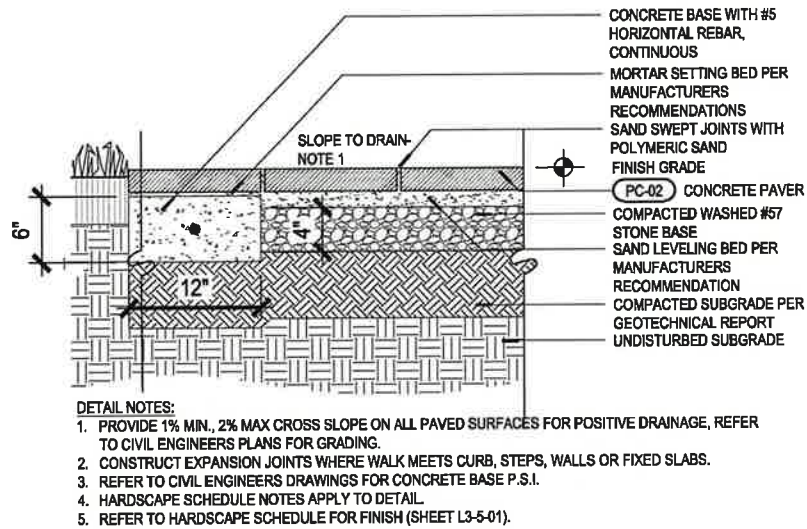
SCALE - 1-1/2" = 1'-0"

## 3 EXPANSION JOINT

SCALE - 1-1/2" = 1'-0"



- DETAIL NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING.
  2. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
  3. REFER TO CIVIL ENGINEERS DRAWINGS FOR CONCRETE WALK REINFORCEMENT AND P.S.I.
  4. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL.
  5. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).



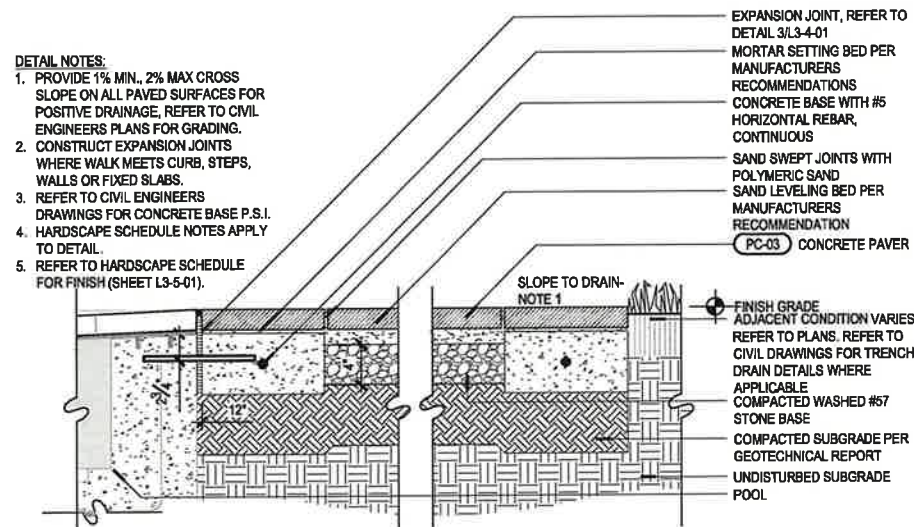
- DETAIL NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING.
  2. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURB, STEPS, WALLS OR FIXED SLABS.
  3. REFER TO CIVIL ENGINEERS DRAWINGS FOR CONCRETE BASE P.S.I.
  4. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL.
  5. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).

## 4 CONCRETE WALK - PC-01

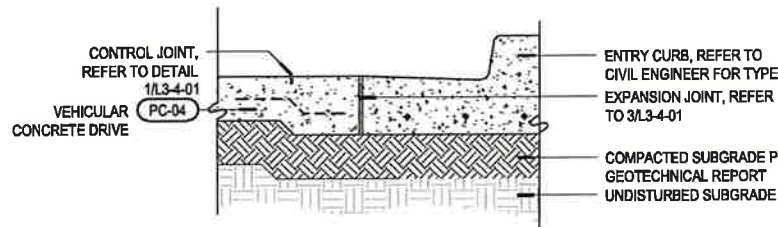
SCALE - 1" = 1'-0"

## 5 PEDESTRIAN PAVERS - PC-02

SCALE - 1-1/2" = 1'-0"



- DETAIL NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING.
  2. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURB, STEPS, WALLS OR FIXED SLABS.
  3. REFER TO CIVIL ENGINEERS DRAWINGS FOR CONCRETE BASE P.S.I.
  4. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL.
  5. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).



- DETAIL NOTES:
1. THIS DETAIL IS PROVIDED FOR DESIGN INTENT AND FINISH IDENTIFICATION ONLY, FINAL CONSTRUCTION METHODS BY ARCHITECT / STRUCTURAL ENGINEER / CIVIL ENGINEER.
  2. DRIVE THICKNESS, REINFORCEMENT, P.S.I., ETC. REFER TO ARCHITECT/STRUCTURAL ENGINEER/CIVIL ENGINEERS PLANS
  3. REFER TO MATERIALS SCHEDULE FOR COLOR AND AGGREGATE (SHEET L3-5-01).

## 6 POOL DECK - PC-03

SCALE - 1-1/2" = 1'-0"

## 7 VEHICULAR DRIVE - PC-04

SCALE - 1" = 1'-0"

Project Name

# PEMBROKE GARDENS

Client

## FEDERAL REALTY

Consultants

**ARCADIS ARCHITECTURE**  
701 Waterford Way  
Suite 420  
Miami, Florida, 33126

**BOHLER CIVIL ENGINEER**  
1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

**HINES, INC. IRRIGATION**  
600 Edwards Street  
Suite 7102  
Celebration, Florida, 34747

Planning  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

**edsa**  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.524.5330

Key Plan

Rev	Date	issued for

Date: JUNE 6, 2025

Designed By: MH

Drawn By: AH, DD

Approved / Checked By: AH, JS

Project Number: SE240003

Seal

Jeffrey R. Suiter  
Digitally signed by Jeffrey R. Suiter  
Date: 2025.07.23 10:43:24 -04'00'

Project Phase

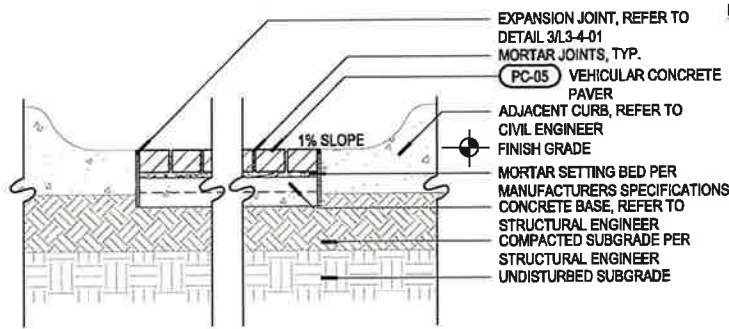
### SITE PLAN SUBMITTAL

Sheet Title

## HARDSCAPE DETAILS

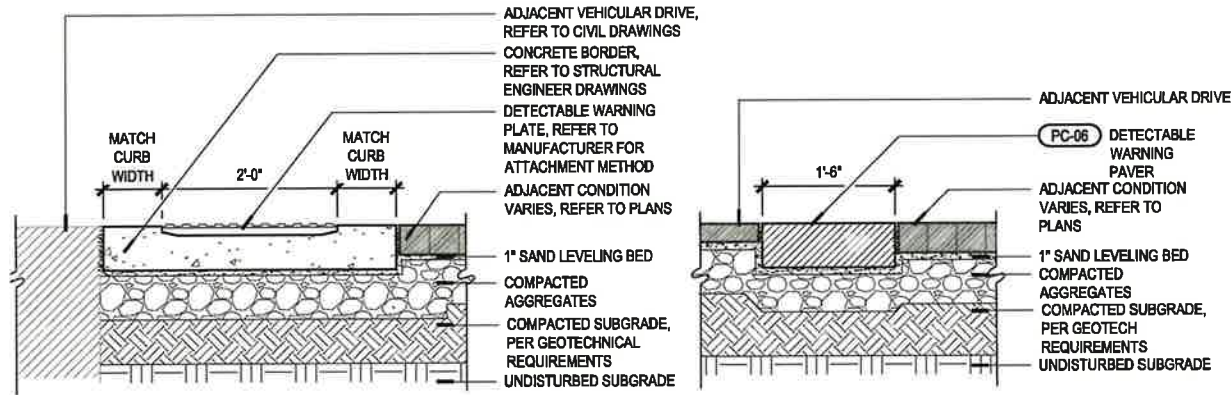
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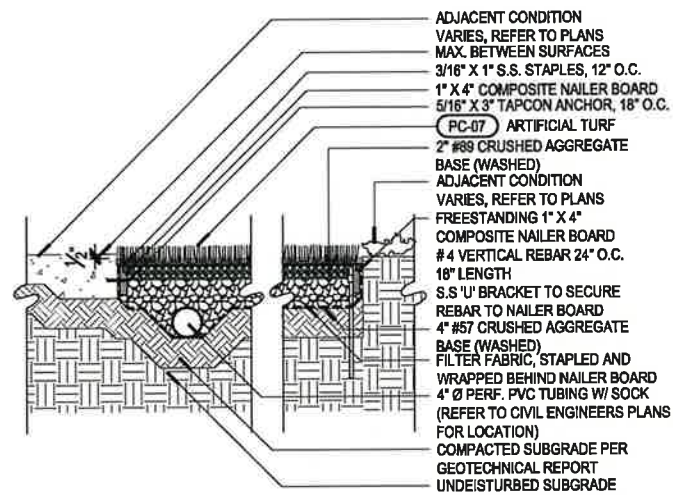


- DETAIL NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING.
  2. CONSTRUCT EXPANSION JOINTS WHERE ROAD MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
  3. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL.
  4. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).

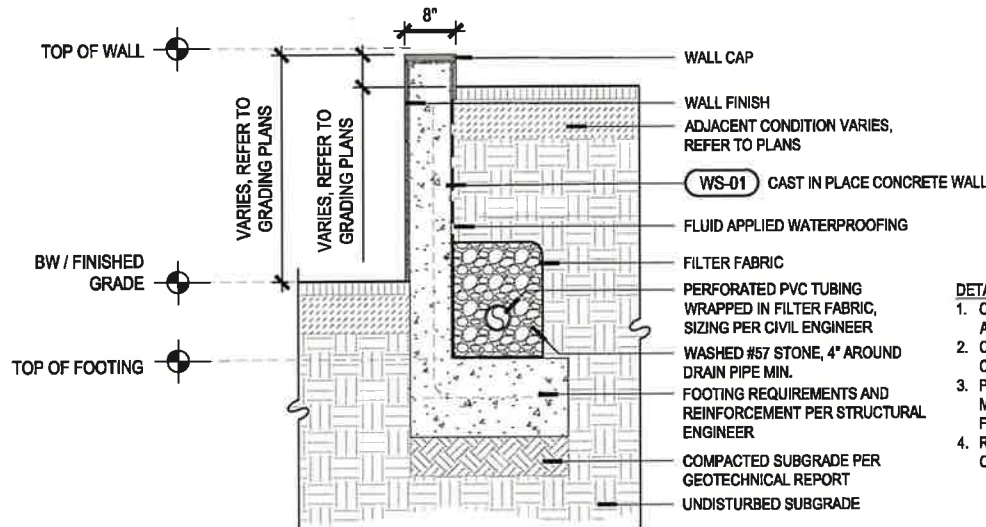
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SCALE - 1" = 1'-0"



**2 DETECTABLE WARNING PAVERS - PC-06**  
SCALE - 1" = 1'-0"

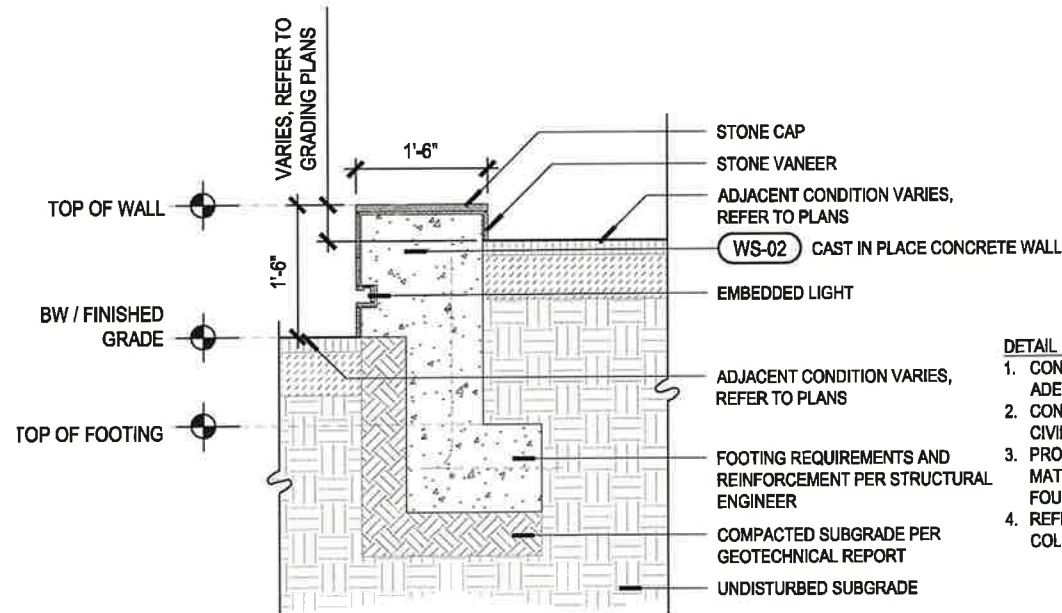


**3 ARTIFICIAL TURF - PC-07**  
SCALE - 1" = 1'-0"



- DETAIL NOTES:
1. CONTRACTOR SHALL KEEP WALL ADEQUATELY SHORED AT ALL TIMES.
  2. CONNECT ALL SUBSURFACE DRAINAGE TO CIVIL ENGINEERS DRAINAGE SYSTEM.
  3. PROVIDED 1/2" KORK-PAK EXPANSION JOINT MATERIAL AT 50' O.C., NO JOINTS IN FOUNDATIONS.
  4. REFER TO HARDSCAPE SCHEDULE FOR COLOR AND FINISH (SHEET L3-5-01).

**4 TYPICAL RETAINING WALL - WS-01**  
SCALE - 1'-0" = 1'-0"



- DETAIL NOTES:
1. CONTRACTOR SHALL KEEP WALL ADEQUATELY SHORED AT ALL TIMES.
  2. CONNECT ALL SUBSURFACE DRAINAGE TO CIVIL ENGINEERS DRAINAGE SYSTEM.
  3. PROVIDED 1/2" KORK-PAK EXPANSION JOINT MATERIAL AT 50' O.C., NO JOINTS IN FOUNDATIONS.
  4. REFER TO HARDSCAPE SCHEDULE FOR COLOR AND FINISH (SHEET L3-5-01).

**5 TYPICAL SEAT WALL - WS-02**  
SCALE - 1'-0" = 1'-0"

Project Name

# PEMBROKE GARDENS

Client

## FEDERAL REALTY

Consultants

**edsa** PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.624.3330

**ARCADIS**  
ARCHITECTURE  
701 Waterford Way  
Suite 420  
Miami, Florida, 33126

**BOHLER**  
CIVIL ENGINEER  
1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

**HINES, INC.**  
IRRIGATION  
600 Edwards Street  
Suite 7102  
Celebration, Florida, 34747

Key Plan

Rev	Date	Issued for

Date	JUNE 6, 2025
Designed By	MH
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003

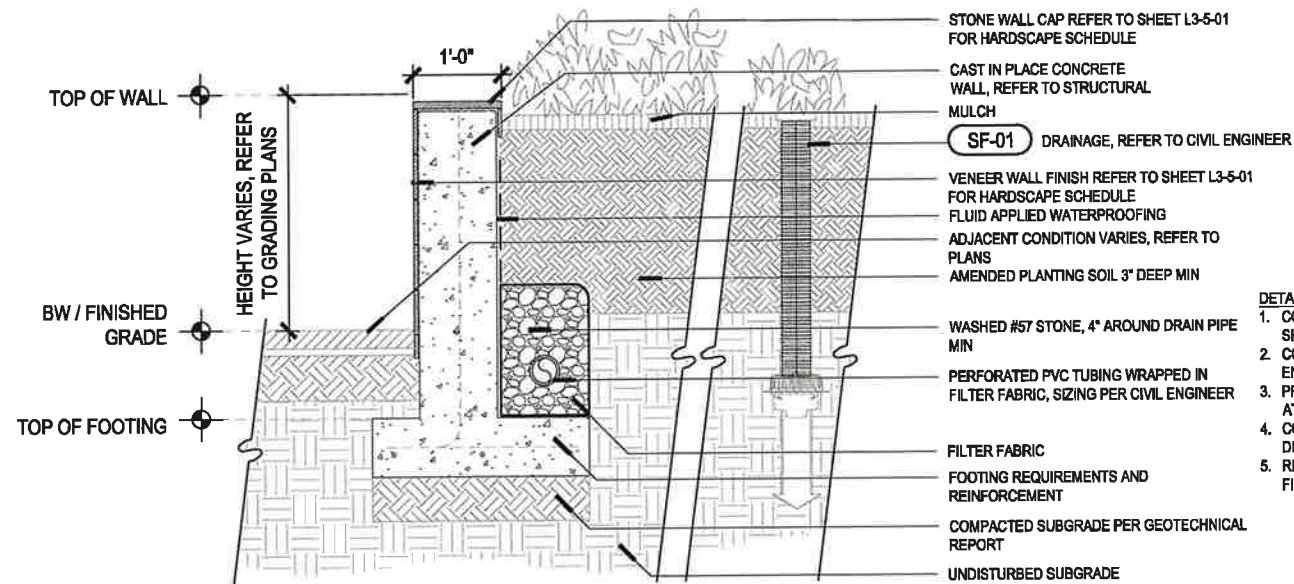
Seal

**Jeffrey R. Suiter**  
Digitally signed by Jeffrey R. Suiter  
Date: 2025.07.23 10:46:09 -04'00'

Project Phase  
**SITE PLAN SUBMITTAL**

Sheet Title  
**HARDSCAPE DETAILS**

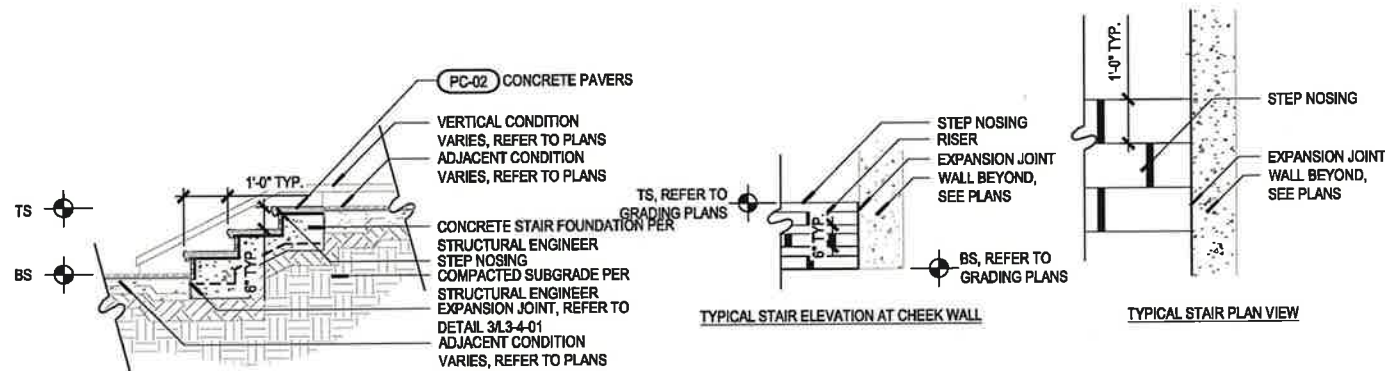
Sheet Number  
**L3-4-02**



- DETAIL NOTES:**
1. CONTRACTOR SHALL KEEP WALL ADEQUATELY SHORED AT ALL TIMES.
  2. CONNECT ALL SUBSURFACE DRAINAGE TO CIVIL ENGINEERS DRAINAGE SYSTEM.
  3. PROVIDE 1/2" KORK-PAK EXPANSION JOINT MATERIAL AT SO; O.C., NO JOINTS IN FOUNDATIONS.
  4. CONNECT ALL DRAINAGE TO CIVIL ENGINEERS DRAINAGE SYSTEM.
  5. REFER TO HARDSCAPE SCHEDULE FOR COLOR AND FINISH (SHEET L3-5-01).

## 1 TYPICAL PLANTER WALL - WS-03

SCALE - 3/4" = 1'-0"



- DETAIL NOTES:**
1. REFER TO STRUCTURAL ENGINEERS PLANS FOR CONCRETE BASE SIZING AND REINFORCEMENT.
  2. ALL STAIR HORIZONTAL SURFACES TO MEET THE REQUIREMENTS OF ASTM C-1028 FOR SLIP RESISTANCE.
  3. LANDINGS AT TOP AND BOTTOM OF STAIRWAY NOT TO EXCEED 2% CROSS SLOPE IN ANY DIRECTION.
  4. SLOPE STAIRS TO ACHIEVE A MIN. POSITIVE DRAINAGE OF 1%.
  5. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL.
  6. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).

## 2 TYPICAL STAIRS - WS-04

SCALE - 1/2" = 1'-0"

Project Name

# PEMBROKE GARDENS

Client

FEDERAL REALTY



PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
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Consultants

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Seal	Digitally signed by Jeffrey R Suiter Date: 2025.07.23 10:46:57 -04'00'
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Project Phase  
SITE PLAN SUBMITTAL

Sheet Title  
HARDSCAPE DETAILS

Sheet Number  
L3-4-03

PC- PAVING / CURBS

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
PC-01	CONCRETE WALK	4/L3-4-01	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-02	PEDESTRIAN PAVERS	5/L3-4-01	MATERIAL: CONCRETE PAVER COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-03	POOL DECK	6/L3-4-01	MATERIAL: CONCRETE PAVER COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-04	VEHICULAR DRIVE	7/L3-4-01	MATERIAL: ASPHALT COLOR: T.B.D. FINISH: T.B.D.	BY CIVIL	-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-05	VEHICULAR PAVERS	1/L3-4-02	MATERIAL: CONCRETE PAVER COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-06	DETECTABLE WARNING PAVERS	2/L3-4-02	MATERIAL: DETECTABLE WARNING PLATE COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.	HEENAN ENTERPRISES, INC. 620.725.7000 https://www.heenan.com	-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-07	ARTIFICIAL TURF	3/L3-4-02	MATERIAL: LEISURE TURF 50 COLOR: T.B.D.	SOUTHWEST GREENS 391.804.1667 https://www.ssgreens.com	-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION

WS- WALLS / STAIRS

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
WS-01	TYPICAL RETAINING WALL	4/L3-4-02	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
WS-02	TYPICAL SEAT WALL	5/L3-4-02	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
WS-03	TYPICAL PLANTER WALL	1/L3-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
WS-04	TYPICAL STAIRS	2/L3-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION

FS-FURNITURE

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
FS-01	DECORATIVE DRAIN	1/L3-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION

Project Name

PEMBROKE  
GARDENS

Client

FEDERAL REALTY



PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
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IRRIGATION  
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Key Plan

Rev	Date	Issued for

Date	JUNE 6, 2025
Designed By	MH
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003

Seal



Jeffrey R. Sulter  
Digitally signed by Jeffrey R. Sulter  
Date: 2025.07.23 10:42:41 -0400

Project Phase  
SITE PLAN SUBMITTAL

Sheet Title  
HARDSCAPE SCHEDULE

Sheet Number  
L3-5-01

1. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL PLANT MATERIAL NOT TAGGED BY THE OWNERS REPRESENTATIVE TO THE OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING DEVICE AND PERSON IN THE PHOTO FOR SCALE. NURSERY SOURCE, HEIGHT, WIDTH AND CALIPER OF PLANT MATERIAL SHALL BE INCLUDED WITH THE PHOTOGRAPH.
2. THE PLANT MATERIAL QUANTITIES SHOWN IN THE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT AND COMMENCEMENT OF WORK.
3. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIALS THAT DO NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN AND REQUIRE THE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE SPECIFICATIONS. MAINTENANCE OF REPLACED MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
4. THE OWNERS REPRESENTATIVE MAY ADJUST THE LOCATIONS OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
5. NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
6. THE INSTALLATION OF ALL PLANT MATERIALS SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR ALL COSTS RELATED TO THE TESTING OF EXISTING SOILS, PREPARED PLANTING MIXES AND AMENDMENTS.
9. THE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL TO REMAIN. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN BARRICADES AS DETAILED ON THE DRAWINGS AND AS OUTLINED IN THE DEMOLITION/SITE CLEARING NOTES.
10. THE CONTRACTOR SHALL REFER TO THE GENERAL, FINE GRADING AND HARDCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
11. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING:
  - A. AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1.
  - B. FLORIDA GRADE NO. 1, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS LATEST ADDITION.
12. PLANTS SHALL BE SYMMETRICAL AS IS TYPICAL FOR THEIR VARIETY AND SPECIES. THEY SHALL BE FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS.
13. NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
14. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. HEIGHT AND SPREAD TAKE PRECEDENCE OVER CALIPER AND CONTAINER SIZES.
15. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
  - A. TREES.....2 YEARS.
  - B. SHRUBS.....1 YEAR.
  - C. GROUNDCOVERS....6 MONTHS.
16. ALL CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD THE SOIL TOGETHER WHEN REMOVED FROM ITS CONTAINER. NO PLANT MATERIAL SHALL BE BOUND TO THE CONTAINER NOR HAVE CIRCULAR ROOTS.
17. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN.
18. PLANTS GROWN IN GROW BAGS ARE PROHIBITED.
19. SOD SHALL BE THE SPECIES AS CALLED FOR ON THE DRAWINGS. SOD SHALL BE WELL MATTED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS AND OTHER DISEASES.
20. SOD SHALL BE MACHINE CUT TO A COMMERCIAL SIZE WITH A UNIFORM THICKNESS OF 1-1/4 TO 1-1/2 INCH THICKNESS.

1. PREPARED PLANTING MIX SHALL CONSIST OF THE FOLLOWING:
  - A. TREES/SHRUBS/GROUND COVER.....70% CLEAN BUILDERS SAND, 30% TOPSOIL/PEAT MIX
  - B. PALMS.....90% CLEAN BUILDERS SAND, 10% TOPSOIL/PEAT MIX
  - C. ANNUALS.....50% CLEAN BUILDERS SAND, 25% PEAT, 25% VERMICULITE
2. PREPARED PLANTING MIX FOR LANDSCAPE ON STRUCTURE SHALL CONSIST OF THE FOLLOWING:
  - A. 20% CLEAN BUILDERS SAND, 30% PEAT, 30% RICE ROCK, 20% PERLITE
3. THE COMPOSITION OF THE PREPARED PLANTING MIX MAY BE MODIFIED BASED ON RECOMMENDATIONS FROM THE SOIL TEST(S).
4. TOPSOIL SHALL BE NATURAL SURFACE SOIL, FERTILE, FRIABLE AGRICULTURAL SOIL FREE OF WEEDS WITH 4-6% ORGANIC MATTER, A PH OF 5.5 TO 6.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
5. EXISTING SOIL MAY BE SUBSTITUTED FOR TOPSOIL AND/OR SAND BASED ON THE RESULTS OF THE SOIL TEST(S).
6. PEAT SHALL BE ORGANIC PEAT SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE SHREDDED WITH PIECES NO LARGER THAN ONE-HALF INCH (1/2") IN DIAMETER. PEAT SHALL HAVE A PH OF 4.5 TO 6.5 AND SHALL BE STERILIZED TO MAKE IT FREE OF WEEDS AND NEMATODES.
7. COMPOSTED ORGANICS SHALL BE WOOD SHAVINGS, PINE BARK, GREEN WASTES OR CLEAN AGRICULTURAL WASTES WELL-ROTTED AND SCREENED THROUGH A ONE-HALF INCH (1/2") SCREEN.
8. COMPONENTS OF THE PREPARED PLANTING MIX SHALL BE BLENDED OUTSIDE OF THE PLANTING BEDS. THE CONTRACTOR SHALL SUBMIT A 2-GALLON SAMPLE TO A CERTIFIED SOILS TEST LABORATORY FOR ANALYSIS. BASED ON THE LABORATORY ANALYSIS THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY TO ADJUST THE PREPARED PLANTING MIX TO MEET THE FOLLOWING REQUIREMENTS:
  - A. PH VALUE BETWEEN 5.5 AND 6.6.
  - B. ORGANIC MATTER CONTENT BETWEEN 5% AND 10% OF TOTAL DRY WEIGHT.
  - C. NITROGEN 5% AVERAGE OF ORGANIC MATTER.
  - D. PHOSPHORUS 0.05% AVERAGE OF TOTAL SOIL CONTENT.
  - E. POTASSIUM 1.2% AVERAGE OF TOTAL SOIL CONTENT.
9. FERTILIZER FOR PLANT MATERIALS SHALL BE AS FOLLOWS:
  - A. PALMS.....13-3-13 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.
  - B. TREES.....8-6-6 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.

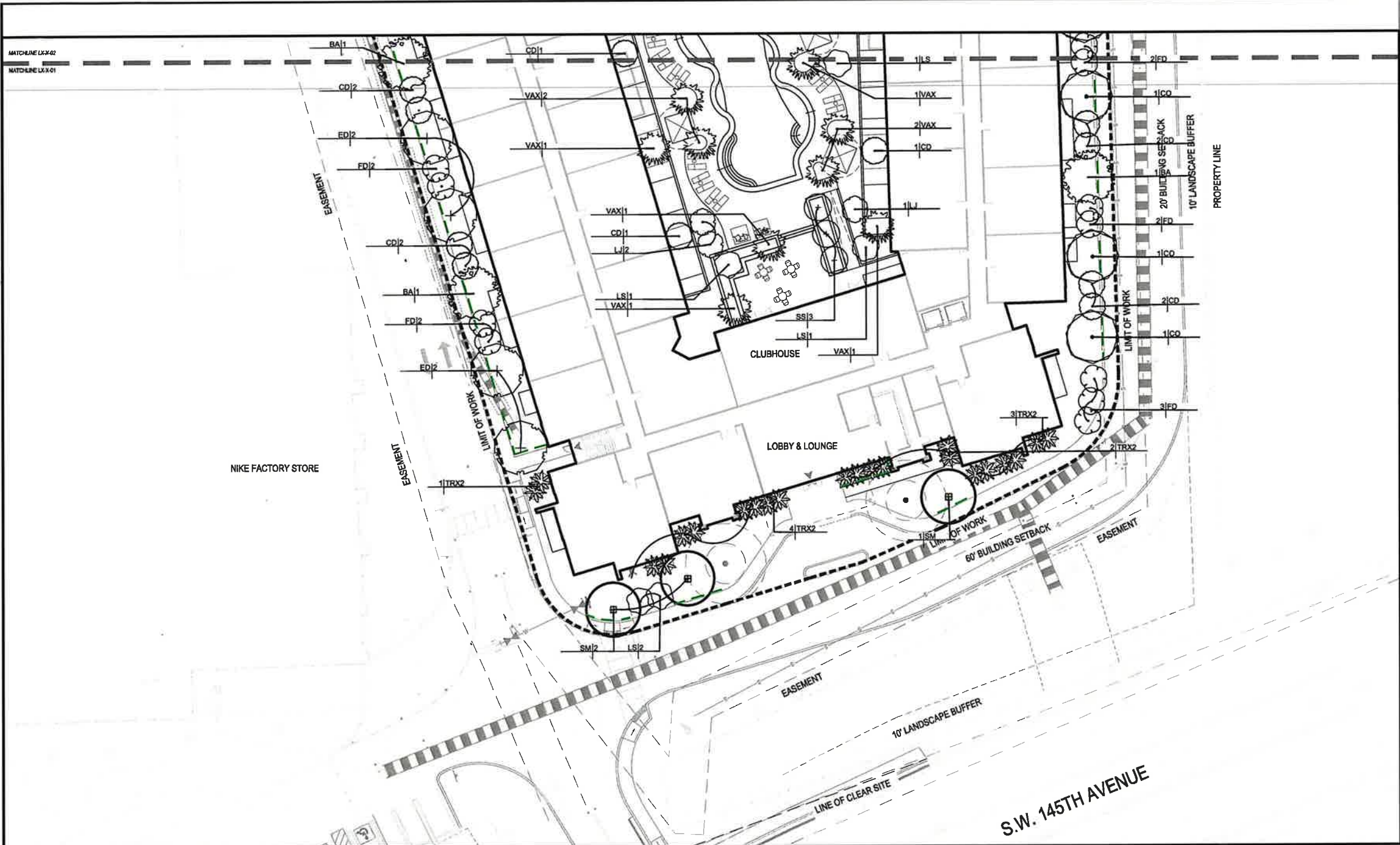
- D. SHRUBS/GROUND COVERS..... 8-10-10 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 100 SQ. FT.
- D. LAWN..... 16-4-8 PLUS MINOR ELEMENTS-SLOW RELEASE. 1LB. FERTILIZER PER 1,000 SQ. FT.
- E. ENDO AND ECTOMYCORRIZAL INOCULANTS.....DIE HARD OR OWNERS REPRESENTATIVE APPROVED EQUAL.
- F. ANTI-DESICCANT.....WILT-PRUF OR OWNERS REPRESENTATIVE APPROVED EQUAL.
10. ALL FERTILIZERS SHALL BE MANUFACTURED FROM QUALITY MATERIALS, FREE FROM IMPURITIES AND SHALL MEET RECOGNIZED STANDARDS FOR EFFECTIVENESS.
11. ALL FERTILIZERS SHALL BE FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
12. ALL FERTILIZER SHALL BE DELIVERED TO THE SITE IN CONTAINERS, EACH FULLY LABELED CONFORMING TO APPLICABLE STATE FERTILIZER LAWS AND BEARING THE GRADE AND TRADE NAME OF THE PRODUCER.
13. AFTER ROUGH GRADING HAS BEEN COMPLETED ONE SAMPLE OF EXISTING SOIL PER 5,000 SQ. FT. OF LANDSCAPE AREAS SHALL BE SUBMITTED TO A CERTIFIED SOILS TESTING LABORATORY FOR ANALYSIS AS TO THE SUITABILITY OF THE EXISTING SOIL TO MEET THE REQUIREMENT OF THE PREPARED PLANTING MIX.
14. SOIL SAMPLES SHALL BE TAKEN TO A DEPTH OF TWENTY-FOUR INCHES (24").
15. SHOULD TEST RESULTS INDICATE THAT THE EXISTING SOILS DO NOT FALL WITHIN THE REQUIREMENTS FOR PREPARED PLANTING MIX THE CONTRACTOR SHALL:
  - A. SUBMIT TO THE OWNERS REPRESENTATIVE FOR APPROVAL AN AMENDED PLANTING MIX ALONG WITH RECOMMENDATION FOR ORGANIC MATERIALS, FERTILIZERS AND/OR OTHER MATERIALS FOUND NECESSARY TO ASSURE OPTIMUM PLANT GROWTH. PROPOSED REVISIONS SHALL INCLUDE METHODOLOGY FOR INCORPORATING THE AMENDMENTS TO A DEPTH OF TWENTY-FOUR INCHES (24"). ANY RECOMMENDED REVISIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF THE AMENDED PLANTING MIX....OR
  - B. EXCAVATE LANDSCAPE BEDS CONTAINING NONCOMPLIANT EXISTING SOILS TO A DEPTH OF 24 INCHES (24") AND BACKFILL WITH PREPARED PLANTING MIX AS SPECIFIED. PREPARED PLANTING MIX SHALL BE PLACED AND COMPACTED TO 80% STANDARD PROCTOR IN TWELVE INCH (12") LIFTS.
16. EXISTING SOILS MAY BE USED IN EITHER THE PREPARED OR AMENDED PLANTING MIXES AS DETERMINED BY THE SOIL TEST RECOMMENDATIONS.
17. EXCAVATED SOIL MAY BE USED FOR ONSITE FILL IF IT COMPLIES WITH GEOTECHNICAL REQUIREMENTS.
18. SUBMITTALS:
  - A. RESULTS OF SOILS TESTS INCLUDING CONTENT/MIX ANALYSIS AND AMENDMENT RECOMMENDATIONS.
  - B. CERTIFICATION THAT PREPARED AND/OR AMENDED PLANTING MIX MEETS REQUIREMENTS.
  - C. LITERATURE AND PROPOSED APPLICATION RATES FOR SOIL AMENDMENTS, HERBICIDES AND STERILIZERS.

1. PRIOR TO THE INSTALLATION OF PLANT MATERIALS, THE CONTRACTOR SHALL CONFIRM IN WRITING TO THE OWNERS REPRESENTATIVE THAT THE FINISHED GRADES IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONFORM TO THE PROPOSED GRADES NOTED ON THE GRADING PLANS.
2. PLANTING NOT COMMENCE UNTIL IRRIGATION HAS BEEN INSTALLED AND IS OPERATIONAL. TREES MAY BE INSTALLED PRIOR TO THE INSTALLATION OF IRRIGATION PROVIDED THAT A HAND WATERING SCHEDULE IS SUBMITTED TO AND APPROVED BY THE OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL SUBMIT WEED CONTROL PRODUCTS THAT DO NOT INCLUDE GLYPHOSATE. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY. DO NOT APPLY WITHIN ROOT ZONES OF EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. CONTRACTOR SHALL CONFIRM THAT ALL ORGANICS, SOD, WEEDS, ROOTS AND DEBRIS HAVE BEEN REMOVED TO A DEPTH OF 12 INCHES FROM ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED. ALL PAVEMENT AND PAVEMENT BASE MATERIAL SHALL BE REMOVED COMPLETELY IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED.
5. ANY DEPRESSIONS OR EXCAVATIONS BELOW THE APPROVED FINISHED GRADES CREATED FOR OR BY THE REMOVAL OF SUCH OBJECTS SHALL BE REFILLED WITH CLEAN COARSE SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND.
6. THE CONTRACTOR SHALL PAINT THE OUTLINE OF EACH SHRUB AND GROUNDCOVER BED AND STAKE THE LOCATION OF ALL TREES/PALMS FOR APPROVAL OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
7. TREE/PALM PITS SHALL BE TESTED FOR VERTICAL DRAINAGE BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF MORE THAN 6 INCHES OF WATER IN 1 HOUR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR CORRECTION OF SUCH CONDITIONS BEFORE PROCEEDING WITH INSTALLATION.
8. UNIFORMLY APPLY REQUIRED AMENDMENTS TO AREAS TO RECEIVE SOD AND CULTIVATE BY MECHANICAL TILLING INTO THE TOP 6 INCHES OF SOIL.
9. AREAS TO RECEIVE SOD SHALL BE GRADED TO LEVEL OUT ALL UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM TILLAGE, FERTILIZING OR OTHER OPERATIONS. THE RESULTING SURFACE SHALL BE ROLLED WITH THE RESULTING GRADE TO BE NO HIGHER THAN THE ADJACENT PAVING OR OTHER GRADE ELEMENTS AFTER SOD HAS BEEN INSTALLED.
10. PLANTING BEDS SHALL THEN BE FINE GRADED TO A SMOOTH AND EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ELIMINATING ANY DEPRESSIONS WHICH MAY COLLECT WATER.
11. "SURFLAN" OR OWNER REPRESENTATIVE APPROVED EQUAL PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED RATE.

12. ALL PLANT PITS SHALL BE EXCAVATED TO A WIDTH AND DEPTH AS INDICATED ON THE DRAWINGS.
13. PLANT MATERIALS SHALL BE CENTERED IN THEIR PITS, FACED FOR BEST EFFECT AND SET PLUMB FOR BACKFILLING.
14. SHRUB/GROUND COVER PLANTINGS SHOWN IN MASS PLANTING BEDS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION. SEE DRAWINGS FOR TRIANGULAR SPACING DETAIL AND PLANT MATERIAL LIST FOR ON-CENTER PLANT SPACING.
15. BALLED AND BURLAPPED PLANTS SHALL HAVE THE BURLAP, STRINGS, STRAPS AND WIRE CAGES REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
16. PLACE BACKFILL IN PLANT PITS IN LAYERS NOT TO EXCEED 1/3 THE DEPTH OF THE ROOT BALL AND TAMP FIRMLY IN PLACE. PRIOR TO PLACING THE FINAL LAYER, THE PIT SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE.
17. AFTER SETTLEMENT THE CROWN OF THE ROOT BALL SHALL BE ABOVE FINISHED GRADE AS INDICATED ON THE DRAWINGS. PLANTS WITH ROOT BALLS SET BELOW INDICATED HEIGHTS WILL BE REQUIRED TO BE REMOVED AND REPLANTED.
18. TREES/PALMS SHALL BE STAKED ACCORDING TO THE DETAILS ON THE DRAWINGS.
19. MULCH AS DESIGNATED ON THE DRAWINGS SHALL BE PLACED THROUGHOUT ALL PLANTING AREAS.
20. NO MULCH SHALL BE PLACED OVER SHRUB/GROUND COVER ROOT BALLS OR WITHIN 4" OF TREE OR PALM TRUNKS.
21. SOD SHALL BE PLACED WITH STAGGERED BUTT TIGHT JOINTS. THERE SHALL BE NO VOIDS OR OVERLAPPING OF EDGES BETWEEN SOD PIECES.
22. SOD SHALL BE ROLLED IMMEDIATELY AFTER BEING PLACED. CLEAN BUILDERS' SAND SHALL BE USED TO FILL ANY RESULTING VOIDS OR UNEVENNESS IN THE SOD SURFACE. ANY AREAS REQUIRING EXCESSIVE TOP-DRESSING SHALL HAVE THE SOD REMOVED, THE AREA REGRADED AND RE-SODDED.
23. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING INSTRUCTIONS.

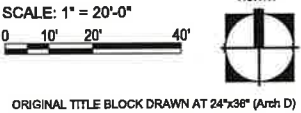
1. MAINTENANCE:
  - A. DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL.
  - B. MAINTENANCE DURING THE WORK PERIOD PRIOR TO THE SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPAIRING/TIGHTENING OF STAKES AND GUYS, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITION AND FURNISHING AND APPLYING SUCH SPRAYS AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
  - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL PLANT MATERIAL AS REQUIRED TO SUPPLEMENT IRRIGATION AND RAINFALL IN ORDER TO ENSURE PLANT MATERIAL ESTABLISHMENT.
2. SUBSTANTIAL COMPLETION ACCEPTANCE:
  - A. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
  - B. FOR THE PURPOSE OF ACCEPTANCE ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, UNDAMAGED, FREE OF WEEDS AND DISEASE, AND EXHIBITING EVIDENCE OF ESTABLISHING NEW ROOTS. PLANT MATERIAL DEEMED UNACCEPTABLE SHALL BE REMOVED AND REPLACED.
  - C. THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS IN WRITING THAT ALL WORK RELATED TO PLANTING IS COMPLETE.
3. WARRANTY:
  - A. ALL PLANT MATERIAL SHALL BE WARRANTED IN WRITING BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION . REPLACEMENT OF PLANT MATERIAL DURING THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HAVE THE SAME WARRANTY PERIOD OF ONE (1) YEAR FROM DATE OF REPLACEMENT.

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)



- NOTE:
1. ALL LANDSCAPE AREAS TO BE IRRIGATED FROM NON-POTABLE WATER SOURCE.
  2. ALL LANDSCAPE AREAS TO BE MAINTAINED TO EDGE OF PAVEMENT IN RIGHT OF WAY.
  3. ALL QUANTITIES SHOWN ON LEGEND ARE PER SHEET. REFER TO L5-5-01 FOR THE FULL PLANTING QUANTITIES.
- : ROOT BARRIER - REFER TO DETAIL 8/L6-4-01

PLANT SCHEDULE PLANTING 1									
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	ORIGIN	DBH	CANOPY	CLEAR TRUNK
MEDIUM CANOPY TREES									
	CD	10	Coccoloba diversifolia Pigeon Plum	45 gal	12'-14" HT X 5' SPR	Native	5"	10'	6' MIN
	FD	10	Filicium decipiens Japanese Fern Tree	45 gal	12'-14" HT X 5' SPR	Non-native	5"	10'	6' MIN
	LS	5	Lagerstroemia speciosa Queen's Crepe Myrtle	45 gal	12'-14" HT X 5' SPR	Non-native	2"	10'	6' MIN
	LJ	3	Uapitum japonicum Japanese Privet	FG	10'-12" HT X 6'-8" SPR	Non-native	5"	10'	6' MIN
PALMS									
	TRX2	11	Thrinax radiata Florida Thatch Palm	FG	10'-12", DOUBLE	Non-native			
	VAX	9	Veitchia arecina Montgomery Palm	FG	14'-16" OA / SINGLE	Non-native			
SMALL CANOPY TREES									
	SS	3	Senna auretiana Glossy Shower Tree	45 gal	12'-14" HT X 5' SPR	Non-native	5"	10'	6' MIN
STREET TREES									
	BA	2	Bulnesia arborea Verticordia	FG	16' HT MIN	Non-native	6"	20'	6' MIN
	CO	3	Chrysophyllum oliviforme Satinleaf	FG	16' HT MIN	Native	5"	20'	6' MIN
	ED	4	Elaeocarpus decipiens Japanese Blueberry Tree	FG	16' HT MIN	Non-native	5"	20'	6' MIN
	SM	3	Swaletaria mahagoni West Indian Mahogany	FG	16' HT MIN	Native	6"	20'	6' MIN



Project Name

# PEMBROKE GARDENS

Client

## FEDERAL REALTY

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701 Waterford Way  
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Miami, Florida, 33126

**BOHLER CIVIL ENGINEER**  
1 SE 3rd Avenue  
Suite 2700  
Miami, Florida, 33131

**HINES, INC. IRRIGATION**  
800 Edwards Street  
Suite 7102  
Celebration, Florida, 34747

Key Plan

Rev	Date	Issued for

Date: JUNE 6, 2025

Designed By: MH

Drawn By: AH, DD

Approved / Checked By: AH, JS

Project Number: SE240003

Seal:

Jeffrey R. Suiter

Digitally signed by Jeffrey R. Suiter  
Date: 2025.07.23 10:49:07 -04'00'

Project Phase

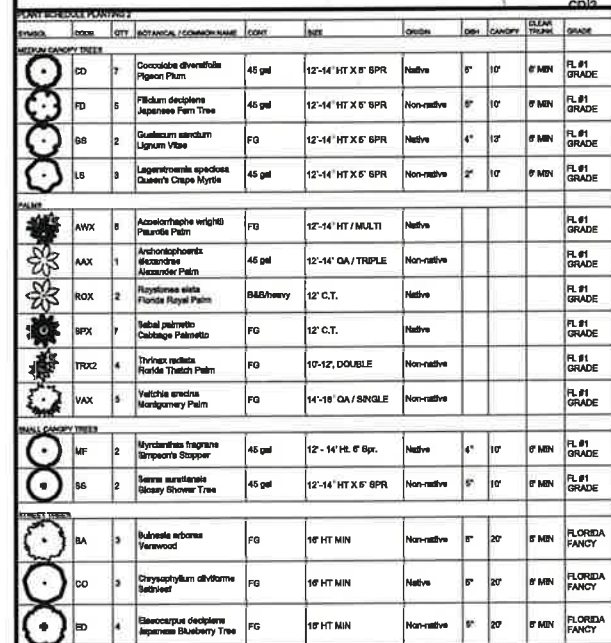
SITE PLAN SUBMITTAL

Sheet Title

# TREE PLAN

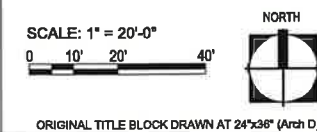
Sheet Number

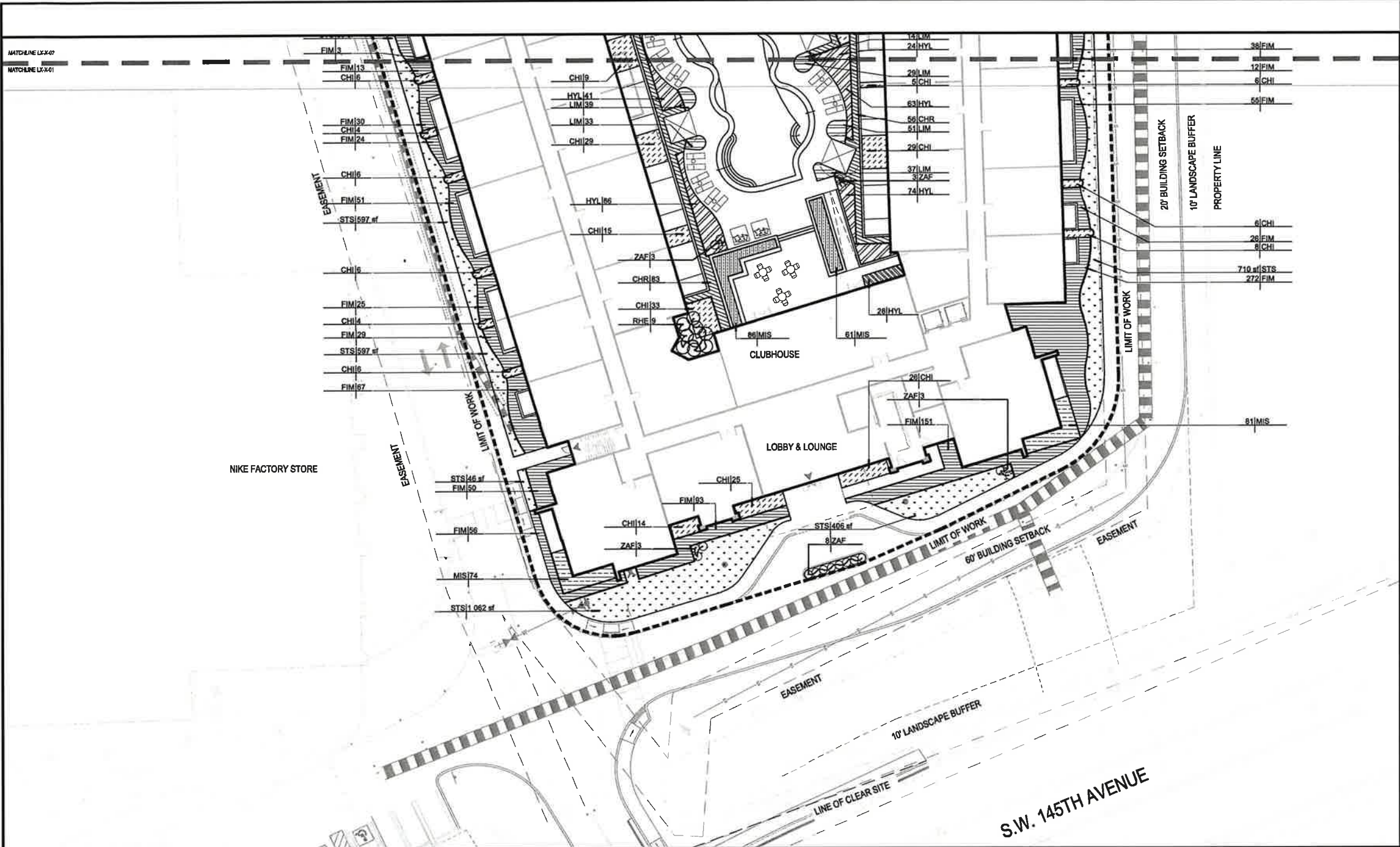
# L5-1-01



- — — : ROOT BARRIER - REFER TO  
DETAIL 8/L6-4-01

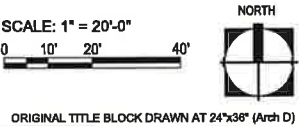
**L5-1-02**





- NOTE:
1. ALL LANDSCAPE AREAS TO BE IRRIGATED FROM NON-POTABLE WATER SOURCE.
  2. ALL LANDSCAPE AREAS TO BE MAINTAINED TO EDGE OF PAVEMENT IN RIGHT OF WAY.
  3. ALL QUANTITIES SHOWN ON LEGEND ARE PER SHEET. REFER TO L6-S-01 FOR THE FULL PLANTING QUANTITIES.
  4. AS PER FIRE CODE, FDC CONNECTIONS MAY NOT BE BLOCKED FROM VIEW AND REQUIRE CLEARANCE FROM TREES AND SHRUBS.

PLANT SCHEDULE MATCH 1								
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	ORIGIN	SPACING
SHRUBS								
	RHE	9	Rhapis excelsa Lady Palm	7 gal	4' HT. / MULTI	SEE PLAN	Non-Native	60" o.c.
	ZAF	20	Zamia floridana Coontie	7 gal	30" O.A.	SEE PLAN	Native	36" o.c.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	ORIGIN	SPACING
SHRUB AREAS								
	CHI	259	Chrysobalanus icaco 'Horizontalis' Horizontal Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native	24" o.c.
	CHR	183	Chrysobalanus icaco 'Red Tip' Red Tip Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native	24" o.c.
	FIM	954	Ficus microcarpa 'Green Island' Green Island Ficus	3 gal	24" HT X 12" SPR	21" O.C.	Non-Native	21" o.c.
	HYL	316	Hymenocallis latifolia Spider Lily	3 gal	15" O.A.	18" O.C.	Native	18" o.c.
	LIM	203	Liriope muscari 'Big Blue' Big Blue Liriope	1 gal	10" O.A.	12" O.C.	Non-Native	12" o.c.
	MIS	302	Microsorium scolopendrum Wart Fern	1 gal	15" O.A.	18" O.C.	Non-Native	18" o.c.
	STS	2 821 sf	Stenotaphrum secundatum 'Palmetto' St. Augustine Sod	N/A	Certified Sod			



Project Name

# PEMBROKE GARDENS

Client

## FEDERAL REALTY

Consultants

**ARCADIS ARCHITECTURE**  
701 Waterford Way  
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Miami, Florida, 33126

**BOHLER CIVIL ENGINEER**  
1 SE 3rd Avenue  
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Project Phase

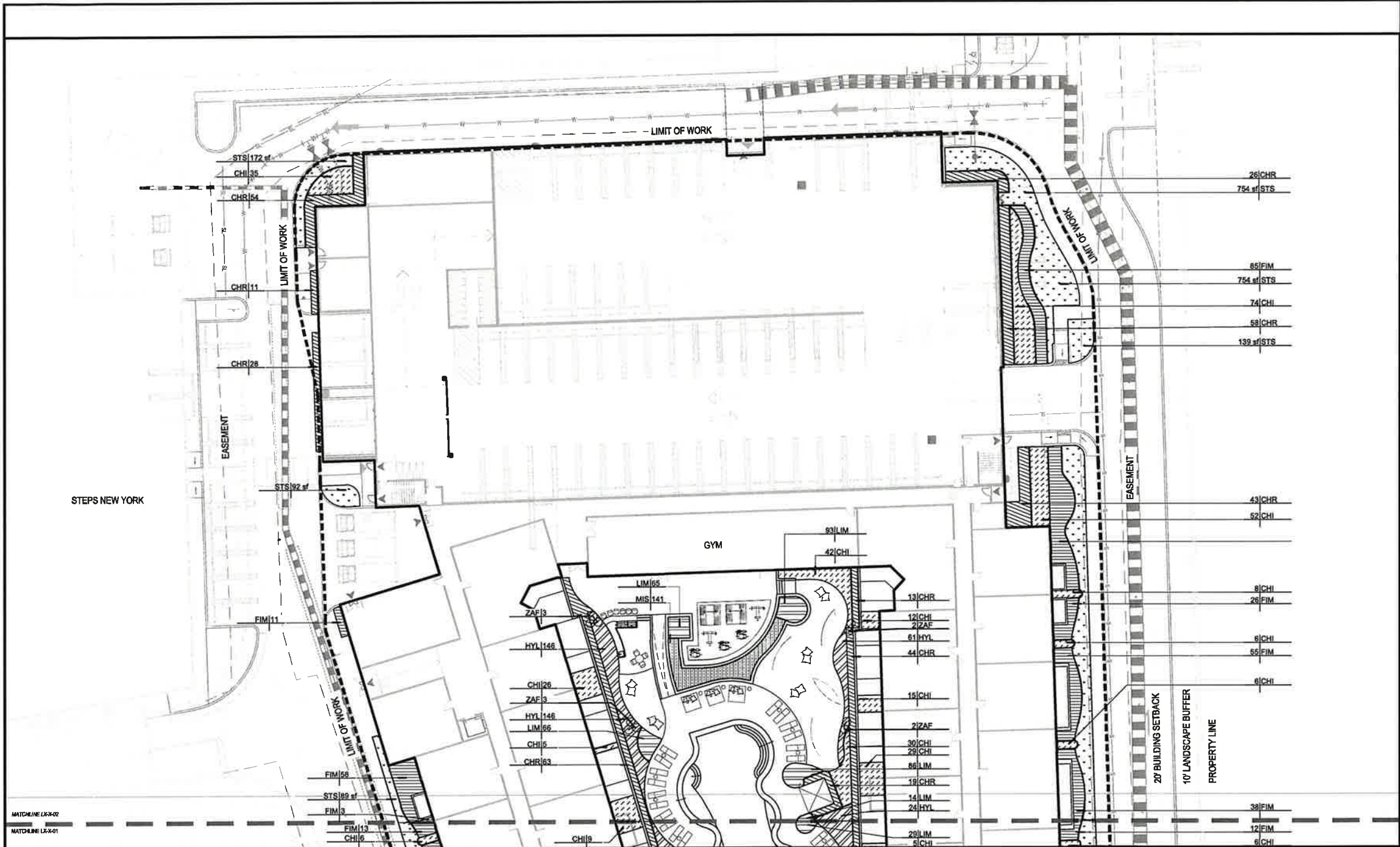
SITE PLAN SUBMITTAL

Sheet Title

# SHRUB PLAN

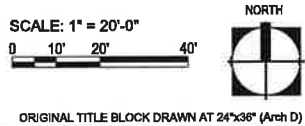
Sheet Number

# L6-1-01



PLANT SCHEDULE MATCH 2								
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	ORIGIN	SPACING
SHRUBS								
	ZAF	10	Zamia floridana Coontie	7 gal	30" O.A.	SEE PLAN	Native	36" o.c.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	ORIGIN	SPACING
SHRUB AREAS								
	CHI	362	Chrysobalanus icaco 'Horizontalis' Horizontal Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native	24" o.c.
	CHR	359	Chrysobalanus icaco 'Red Tip' Red Tip Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native	24" o.c.
	FIM	395	Ficus microcarpa 'Green Island' Green Island Ficus	3 gal	24" HT X 12" SPR	21" O.C.	Non-Native	21" o.c.
	HYL	231	Hymenocallis latifolia Spider Lily	3 gal	15" O.A.	18" O.C.	Native	18" o.c.
	LIM	324	Liriope muscari 'Big Blue' Big Blue Liriope	1 gal	10" O.A.	12" O.C.	Non-Native	12" o.c.
	MIS	141	Microsorium scolopendrum Wart Fern	1 gal	15" O.A.	18" O.C.	Non-Native	18" o.c.
	STS	1 985 sf	Stenotaphrum secundatum 'Palmetto' St. Augustine Sod	N/A	Certified Sod			

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  2. ALL LANDSCAPE AREAS TO BE MAINTAINED TO EDGE OF PAVEMENT IN RIGHT OF WAY.
  3. ALL QUANTITIES SHOWN ON LEGEND ARE PER SHEET. REFER TO L6-5-01 FOR THE FULL PLANTING QUANTITIES.
  4. AS PER FIRE CODE, FDC CONNECTIONS MAY NOT BE BLOCKED FROM VIEW AND REQUIRE CLEARANCE FROM TREES AND SHRUBS.



Project Name

PEMBROKE GARDENS

Client

FEDERAL REALTY

edsa

PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.624.3330

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Project Phase

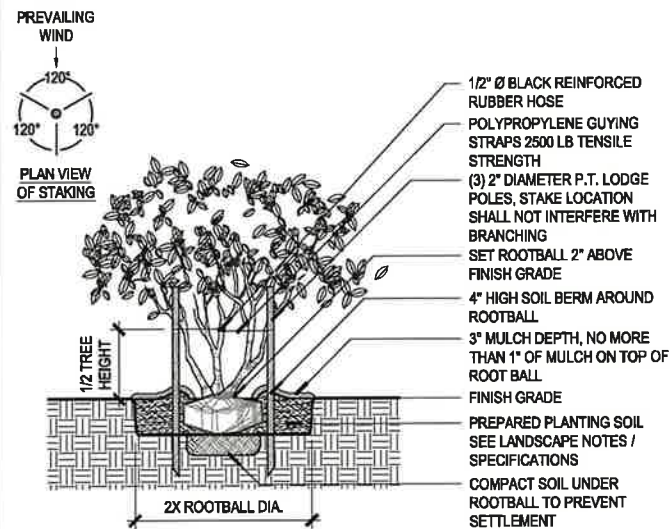
SITE PLAN SUBMITTAL

Sheet Title

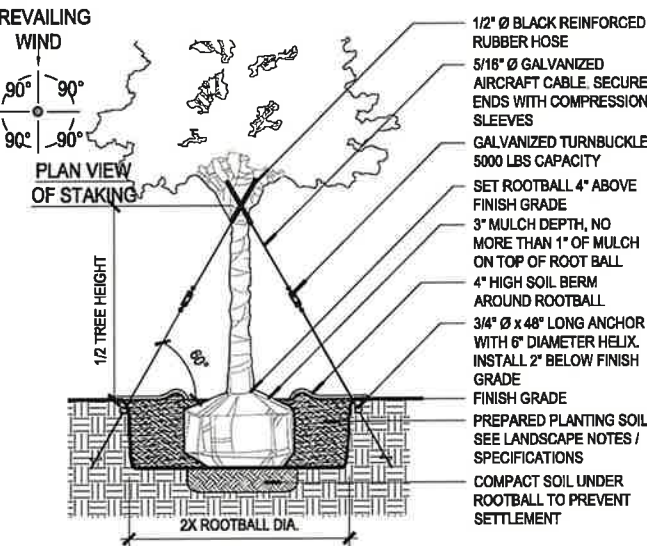
SHRUB PLAN

Sheet Number

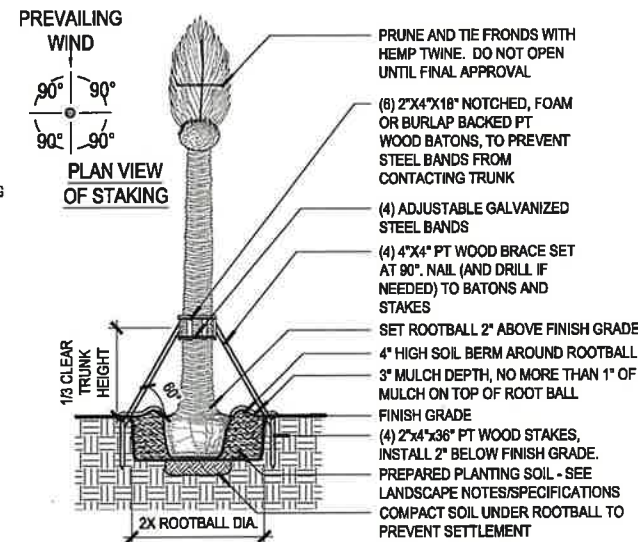
L6-1-02



- NOTE:**
- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).
  - ALL TREES TO BE SET PLUMB IN PLANTING PIT.
  - REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING MATERIALS.



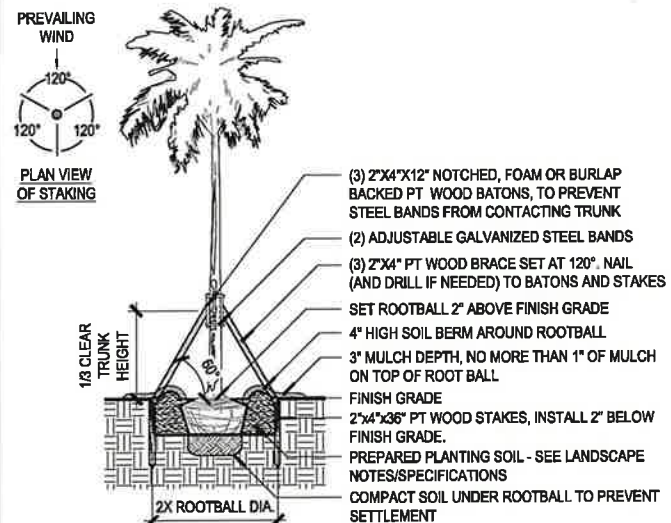
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  - ALL TREES TO BE SET PLUMB IN PLANTING PIT.
  - REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING MATERIALS.



- NOTE:**
- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).
  - ALL TREES TO BE SET PLUMB IN PLANTING PIT.
  - REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING MATERIALS.
  - ALL WOOD BRACING MEMBERS SHALL BE STAINED PRIOR TO INSTALLATION. STAIN COLOR TO BE SELECTED BY OWNER OR OWNERS REPRESENTATIVE.

## 1 TREE STAKING: MULTI-STEM TREE

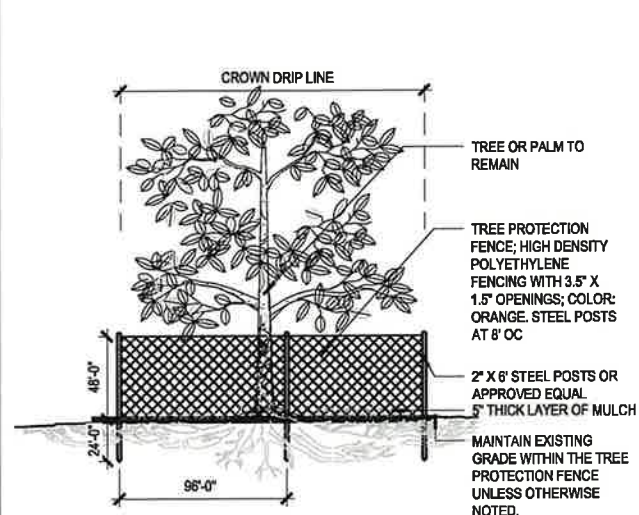
SCALE - NTS



- NOTE:**
- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).
  - ALL TREES TO BE SET PLUMB IN PLANTING PIT.
  - REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING MATERIALS.
  - ALL WOOD BRACING MEMBERS SHALL BE STAINED PRIOR TO INSTALLATION. STAIN COLOR TO BE SELECTED BY OWNER OR OWNERS REPRESENTATIVE.

## 4 SMALL PALM ON GRADE

SCALE - NTS



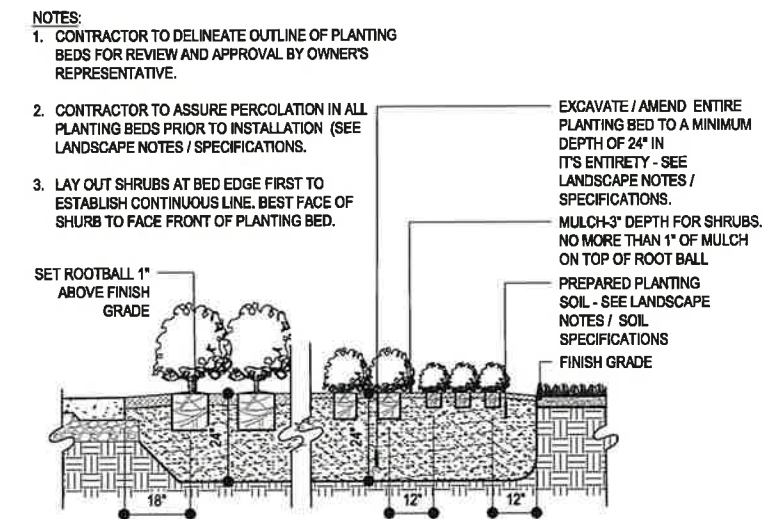
- NOTE:**
- NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO: CONSTRUCTION MATERIALS, MACHINERY, CHEMICALS, VEHICLES OR SOIL DEPOSITS.
  - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING
  - BARRIERS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHOULD NOT BE REMOVED WITHOUT AUTHORIZATION

## 7 TREE PROTECTION

SCALE - NTS

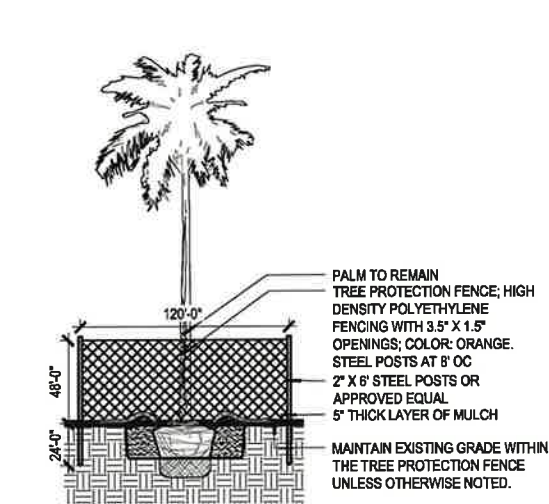
## 2 LARGE TREE ON GRADE

SCALE - NTS



## 5 SHRUB/GROUND COVER PLANTING

SCALE - NTS

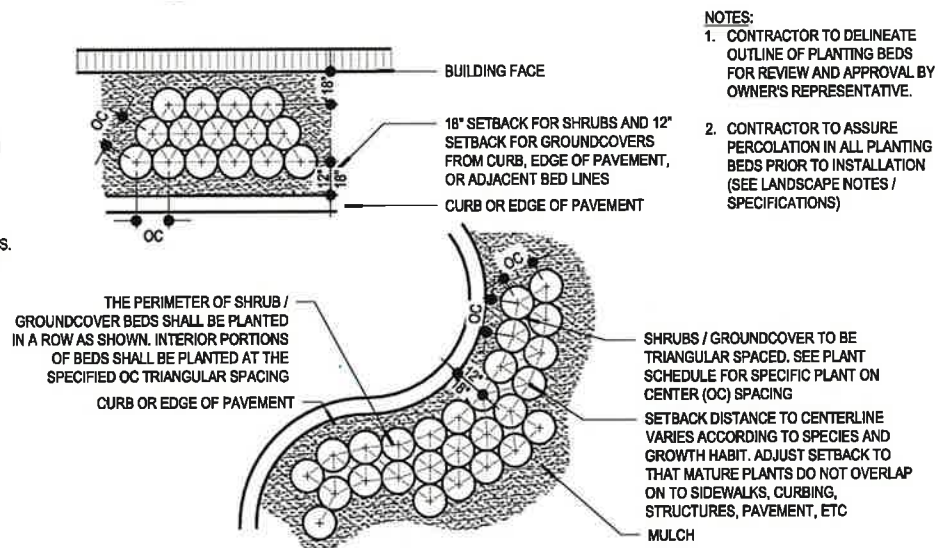


## 7 PALM PROTECTION

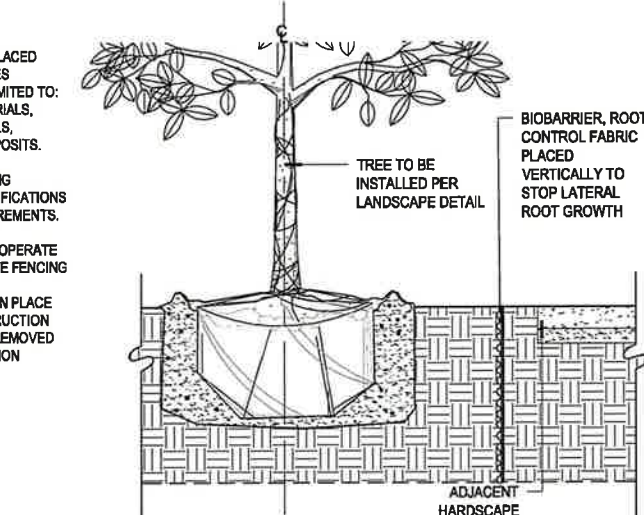
SCALE - NTS

## 6 SHRUB/GROUND COVER SPACING

SCALE - NTS



- NOTES:**
- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
  - CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)
- SHRUBS / GROUND COVER TO BE TRIANGULAR SPACED. SEE PLANT SCHEDULE FOR SPECIFIC PLANT ON CENTER (OC) SPACING
- SETBACK DISTANCE TO CENTERLINE VARIES ACCORDING TO SPECIES AND GROWTH HABIT. ADJUST SETBACK TO THAT MATURE PLANTS DO NOT OVERLAP ON TO SIDEWALKS, CURBING, STRUCTURES, PAVEMENT, ETC MULCH



- NOTE:**
- CONTRACTOR TO SUBMIT ROOT BARRIER PRODUCT SHOP DRAWINGS FOR CITY AND ENGINEER/LANDSCAPE ARCHITECT REVIEW.
  - CONTRACTOR TO MAINTAIN EXTREME CAUTION WHEN WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
  - CONTRACTOR IS RESPONSIBLE TO SOFT DIG UTILITIES TO LOCATE ACCURATE UTILITY DEPTH AND LIMIT RISK OF DAMAGE TO EXISTING UTILITY LINES.
  - FOR ANY UTILITY BARRIER METHOD, INSTALL BARRIER AS CLOSE TO UTILITY AS FEASIBLE.
  - WHEN ADJACENT TO PAVEMENT, INSTALL ROOT BARRIER AS CLOSE TO PAVEMENT EDGE AS FEASIBLE.

## 8 ROOT BARRIER

SCALE - NTS

## PEMBROKE GARDENS

Client

FEDERAL REALTY

**edsa** PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN  
1512 E. BROWARD BOULEVARD, SUITE 110  
FORT LAUDERDALE, FLORIDA 33301 USA  
TEL: 954.624.3330

Consultants

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Date: 2025.07.23 10:52:07 -04'00'

Project Phase  
SITE PLAN SUBMITTAL

Sheet Title  
PLANTING DETAILS

Sheet Number  
L6-4-01

TREE SCHEDULE										
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE	ORIGIN	DBH	CANOPY	CLEAR TRUNK	GRADE
MEDIUM CANOPY TREES										
	FD	15	Japanese Fern Tree / Filicium decipiens	45 gal	12'-14' HT X 5' SPR	Non-native	5"	10'	6' MIN	FL #1 GRADE
	LJ	3	Japanese Privet / Ligustrum japonicum	FG	10'-12' HT X 6'-8' SPR, STANDARDS	Non-native	5"	10'	5' MIN	FL #1 GRADE
	GS	2	Lignum Vitae / Guaiacum sanctum	FG	12'-14' HT X 5' SPR	Native	4"	13'	6' MIN	FL #1 GRADE
	CD	17	Pigeon Plum / Coccoloba diversifolia	45 gal	12'-14' HT X 5' SPR	Native	5"	10'	6' MIN	FL #1 GRADE
	LS	8	Queen's Crape Myrtle / Lagerstroemia speciosa	45 gal	12'-14' HT X 5' SPR	Non-native	2"	10'	6' MIN	FL #1 GRADE
PALMS										
	AAX	1	Alexander Palm / Archontophoenix alexandrae	45 gal	12'-14' OA / TRIPLE	Non-native				FL #1 GRADE
	SPX	7	Cabbage Palmetto / Sabal palmetto	FG	12' C.T.	Native				FL #1 GRADE
	ROX	2	Florida Royal Palm / Roystonea elata	B&B/heavy	12' C.T.	Native				FL #1 GRADE
	TRX2	15	Florida Thatch Palm / Thrinax radiata	FG	10'-12', DOUBLE	Non-native				FL #1 GRADE
	VAX	14	Montgomery Palm / Veitchia arecina	FG	14'-16' OA / SINGLE	Non-native				FL #1 GRADE
	AWX	8	Paurotis Palm / Acoelomphale wrightii	FG	12'-14' HT / MULTI	Native				FL #1 GRADE
SMALL CANOPY TREES										
	SS	5	Glossy Shower Tree / Senna surattensis	45 gal	12'-14' HT X 5' SPR	Non-native	5"	10'	6' MIN	FL #1 GRADE
	MF	2	Simpson's Stopper / Myrcianthes fragrans	45 gal	12' - 14' Ht. 6' Spr.	Native	4"	10'	6' MIN	FL #1 GRADE
STREET TREES										
	ED	8	Japanese Blueberry Tree / Elaeocarpus decipiens	FG	16' HT MIN, STANDARDS	Non-native	5"	20'	8' NURSERY TRAINED CLEAR TRUNK	FLORIDA FANCY
	CO	6	Satinleaf / Chrysophyllum oliviforme	FG	16' HT MIN	Native	5"	20'	8' MIN	FLORIDA FANCY
	BA	5	Verawood / Bulnesia arborea	FG	16' HT MIN	Non-native	6"	20'	8' MIN	FLORIDA FANCY
	SM	3	West Indian Mahogany / Swietenia mahagoni	FG	16' HT MIN	Native	6"	20'	8' MIN	FLORIDA FANCY

TREES:  
-ONE CANOPY PER 4 UNITS - AS PER MIXD SEC. 4 (B) 1 (a):

UNIT NUMBERS	TREES REQUIRED
308	77










TREES REQUIRED: 77  
TOTAL NUMBER OF TREES PROVIDED: 77

ALL STREET TREES MEET SIZE REQUIREMENTS PER SEC 4 (B) - 1 (a)  
STREET TREES ARE PLACED 30' ON CENTER PER SEC 4 (B) -1 (a)  
\*Street trees are defined as trees placed 30'on center, which meet the criteria of 16' in height, 8' of clear trunk, 3-4" caliper and adhere to Florida Fancy nursery standards."

ALL OTHER TREES MEET TREE PLANTING REQUIREMENT PER SEC 4 (B) -1 (c)

\*Tree planting requirements:  
a.Minimum of 20% of required trees meet 14-18' HL with 3" diameter at breast height  
b.Minimum of 20% of required trees meet 12-14' HL with 2" diameter at breast height  
c.Trees in excess of five shall have no more than 20% of a single species"

- A. 24 TREES MEET 14-16' (27%)  
B. 83 TREES MEET 12-14' (72%)  
C. NO SINGLE TREE SPECIES EXCEEDS 20% (17) OF TOTAL COUNT

SHRUB SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	ORIGIN
SHRUBS								
	RHE	9	Rhaps excelsa	Lady Palm	7 gal	4' HT. / MULTI	SEE PLAN	Non-Native
	ZAF	30	Zamia floridana	Coontie	7 gal	30" O.A.	SEE PLAN	Native
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	ORIGIN
SHRUB AREAS								
	CHI	599	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native
	CHR	498	Chrysobalanus icaco 'Red Tip'	Red Tip Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native
	FIM	1 349	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	24" HT X 12" SPR	21" O.C.	Non-Native
	HYL	523	Hymenocallis latifolia	Splder Lily	3 gal	15" O.A.	18" O.C.	Native
	LIM	513	Liriope muscari 'Big Blue'	Big Blue Liriope	1 gal	10" O.A.	12" O.C.	Non-Native
	MIS	443	Microsorium scolopendrium	Wart Fern	1 gal	15" O.A.	18" O.C.	Non-Native
	STS	4 806 sf	Stenotaphrum secundatum 'Palmetto'	St. Augustine Sod	N/A	Certified Sod		

NATIVE % COUNT		
	NATIVE	NON NATIVE
TREES	68%	34%
SHRUBS	45%	55%

SPECIES COUNTING TOWARDS SHRUB COUNT PER DEFINITION IN SEC 4 (B) - 1 (d):

HORIZONTAL COCOPLUM, RED TIP COCOPLUM, GREEN ISLAND FICUS.

UNIT NUMBERS	SHRUBS REQUIRED	TOTAL SHRUBS REQUIRED
FIRST FLOOR: 30 UNITS	25 PER UNIT	750
SECOND AND THIRD FLOORS: 78 UNITS	5 PER UNIT	360

ALL SHRUBS MEET SIZE REQUIREMENTS PER SEC 4 (B) -1 (d):  
\*Shrubs and hedges shall be installed using a minimum of 6 inches in depth of new topsoil. Shrubs shall be installed with a minimum 24 inches in height and 12 inches in spread, unless otherwise directed, immediately upon planting. Shrubs shall be installed in a manner that prevents both intrusion and touching building surfaces from branches by the end of one year's growth. Layering of shrub rows shall be done in accordance with the tallest mature shrubs placed in the back and progressively shorter mature shrubs placed progressively in the front section."

SHRUB PLANTING FOR MULTI-FAMILY RESIDENTIAL MINIMUMS MET.

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

## PEMBROKE GARDENS

Client

FEDERAL REALTY



PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
1512 E. BROWARD BOULEVARD, SUITE 110  
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	Jeffrey R. Suiter

Project Phase

SITE PLAN SUBMITTAL

Sheet Title

PLANTING SCHEDULE

Sheet Number

L6-5-01