

PEMBROKE PINES, FL

PROJECT TEAM

FEDERAL REALTY

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DRAWING INDEX

ARCHITECTURAL

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City of Pembroke Pines Received

JUL 3 0 2025

Planning & Economic Development

SITE PLAN SUBMITTAL MAY 9, 2025



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Pembroke Gardens Residential Pembroke Pines, Florida

PROJECT NO: 232172	
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COVER SHEET

1

SHEET NUMBER CS.01

LOCATION MAP

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SHEET TITLE CON	TEXT PLAN

AS1.01

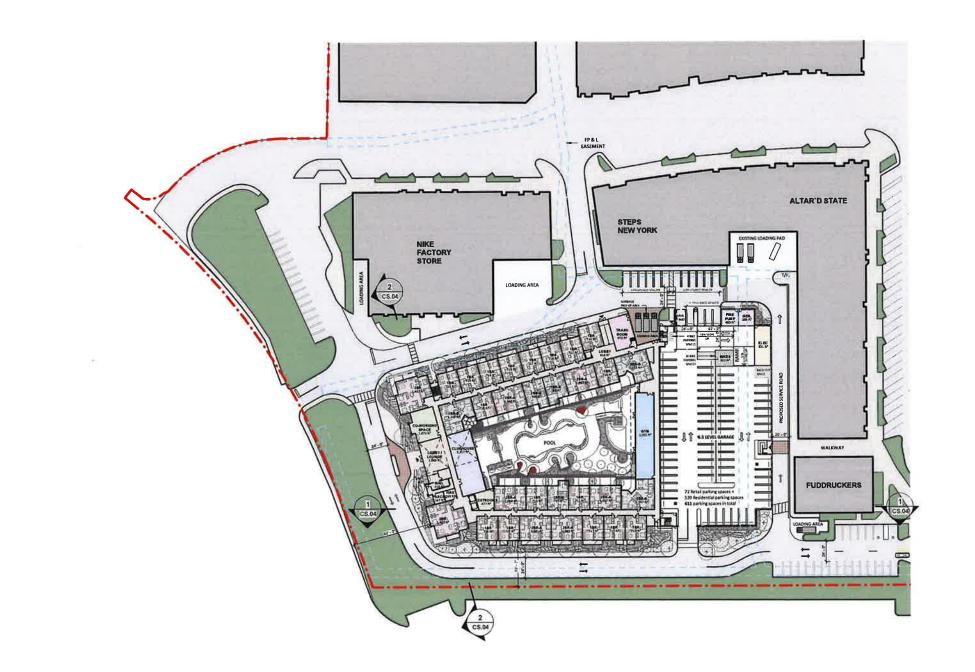
			UNIT	BREAKDOW	/N - RESIDENTIA	AL BUILDING				
LEVEL		UNIT TYPE								
	JUNIOR 1BR 580 SF	1 BR 715 SF	18R - B 790 SF	1BR - C 710 SF	2 BEDROOM - A 1,040 SF	2 BEDROOM - B	2 BEDROOM - C 1,180 SF	2 BEDROOM - D 1,100 SF	3 BEDROOM 1,465 SF	TOTAL
GROUND FLOOR		17	3		6	2			2	30
LEVEL 2	18	17	3	1	8	3	1	2	2	38
LEVEL 3	1	17	3	1	10	3	1	2	2	40
LEVEL 4	1	17	3	1	10	3	1	2	2	40
LEVELS		17	3	1	10	3	1	2	2	40
LEVEL 6	1	17	1		10	3	1	2	2	40
LEVEL 7	1	17	â	9	10	3	1	2	2	40
LEVEL 8	- 1	17	3	1	10	3	1	2	2	40
TOTAL	- 7	136	24	7	74	23	7	14	16	308
	2%	44%	876	2%	24%	7%	2%	SN	5N	100%
RATIO		51	N.		1	35	×		5%	

	PARKING DAT	A TABLE		
	REQUIRE	D		
USE	REQUIREMENT	SPACES PER TYPE		
RESIDENTIAL	1.75 SPACES PER UNIT	308 UNITS x 1.75 SPACES / UNIT = 539 SPACES		
	PROPOSI	ED		
LAND USE	STANDARD (9' x 19')	STANDARS (8.5' x 19')	ADA (12' x 19')	TOTAL PARKING
RETAIL	86	0	2	88
RESIDENTIAL	107	421	11	539
TOTAL PROPOSED PARKING	193	421	13	627
LAND USE	PARKING RATIO	CALCULATION		
RESIDENTIAL	1.75 SPACES PER UNIT	539 SPACES / 308 = 1.75		3 =



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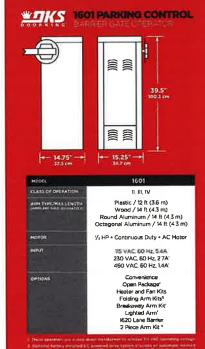
ARCHITECTURAL

SITE PLAN

AS1.02









MECHANICAL

Pernay Raduction is provided by a 601 Werr Geer Reduction
System runding in a continuation of brain

Arm indiants 50° in approximately 23 securida
(op) Generolate Share Houring

Fast Securida Houring House Houring

Later On Royal House Houring

Later On Royal Houring

Later On Royal Houring

Fast Securida Houring

Later On Royal Houring

Later On Royal

GATE TRACKER™

Reporting output provides operator data to a DKS 1833, 1835, 1837 or 1838 access control system (requires 2,358 expension brains)

LOT I FUTES

ALUMINISM Obtagonal Lighted Barrier Artic Octogonal arm is

LEDs are RED when the arm is down and turn to GREEN when
the arm robites full us.

Breakmany Redomer REA Allows arm to saving out of the
many in the event that a reside lies to become a powered Arm.
The eyears have prest to presy wiscomer to the arm bod

Concernings Open potion.

Interpolate Control Control Control

Registric Electronic Limit Control

Auto-Control Act 21 seconds

Auto-Control Act 21 seconds

Auto-Control Act 21 seconds

Auto-Control Act 21 seconds

Auto-Control Control

Auto-Control

A

Programming Switches
Built-in Power On/OH Switch
DNS Pedestrian Protection System: The system reverses
Barriar Arm II await Inonzed vehicle editer, Requires DNS
Barriar Arm II await Inonzed vehicle editer, Requires DNS
9411 Loop Diseaster and a privice bear.

MISCELLANEOUS
Environmentat: 10°F to 140°F (-12°C to 62°C)
Thermostatically Controlled Heater Kir recommiscider environments 1601 shipping weight approximately (40-160 lb (63-72 kg) Arm Kit. 15 lb (7 kg)







5 PRIVACY FENCE AS1.05 Scale: 1/2" = 1'-0"





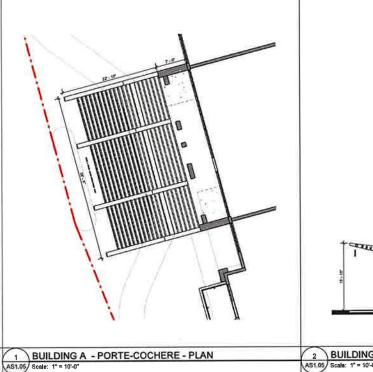
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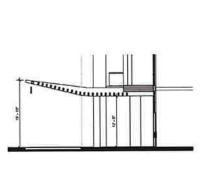
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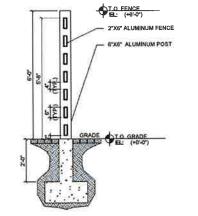
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֡	DESCRIP HOW





2 BUILDING A - SECTION AS1.05 Scale: 1" = 10'-0"





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SHEET TITLE

SITE DETAILS

AS1.05

1



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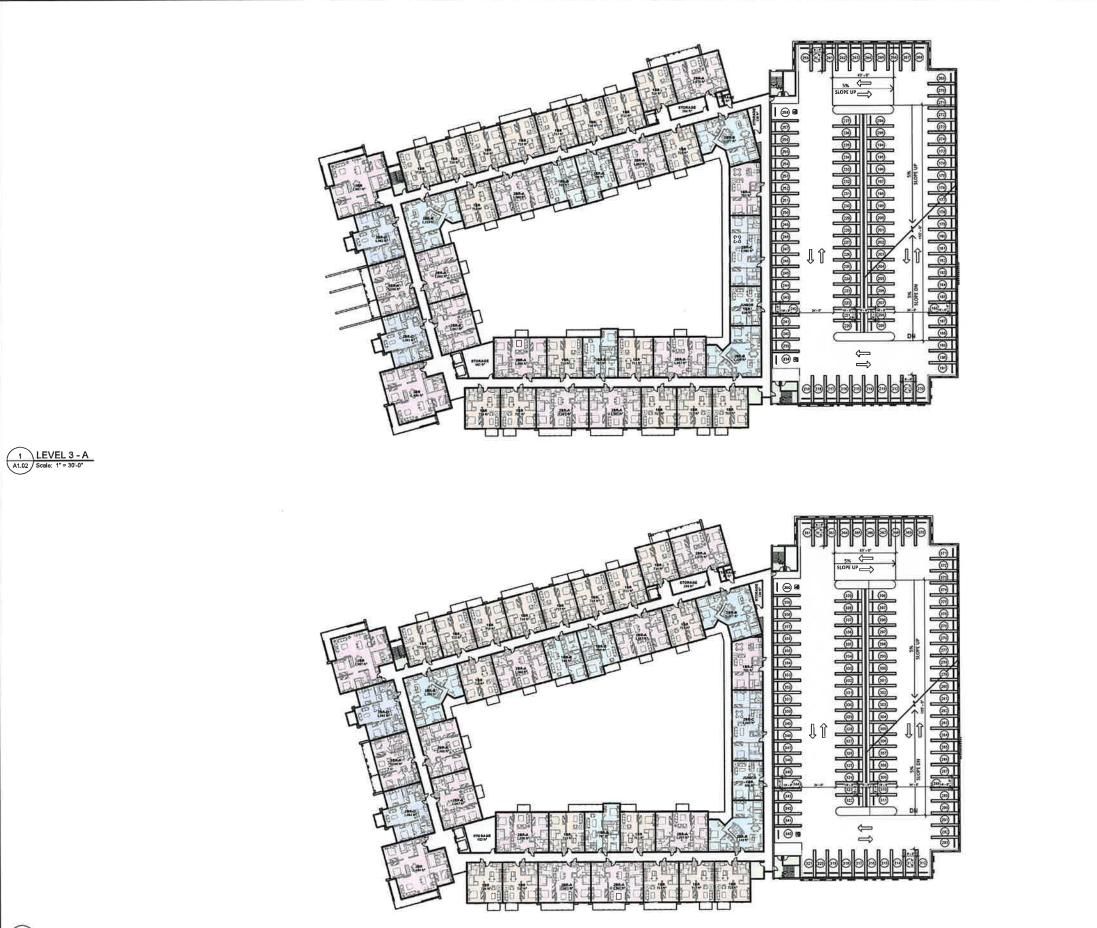
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PROJECT MGR:	APPROVED BY:
Designer	Approver

LEVEL 1 & LEVEL 2 FLOOR PLANS

SHEET NUMBER A1.01

ISSUE 1

2 LEVEL 2 - A A1.01 Scale: 1" = 30'-0"



PARKING STALLS LEGEND COLOR TYPE **DIMENSIONS**

ADA 12' X 19' STANDARD (1) 9' X 19'

STANDARD (2) 8'- 6" X 19'

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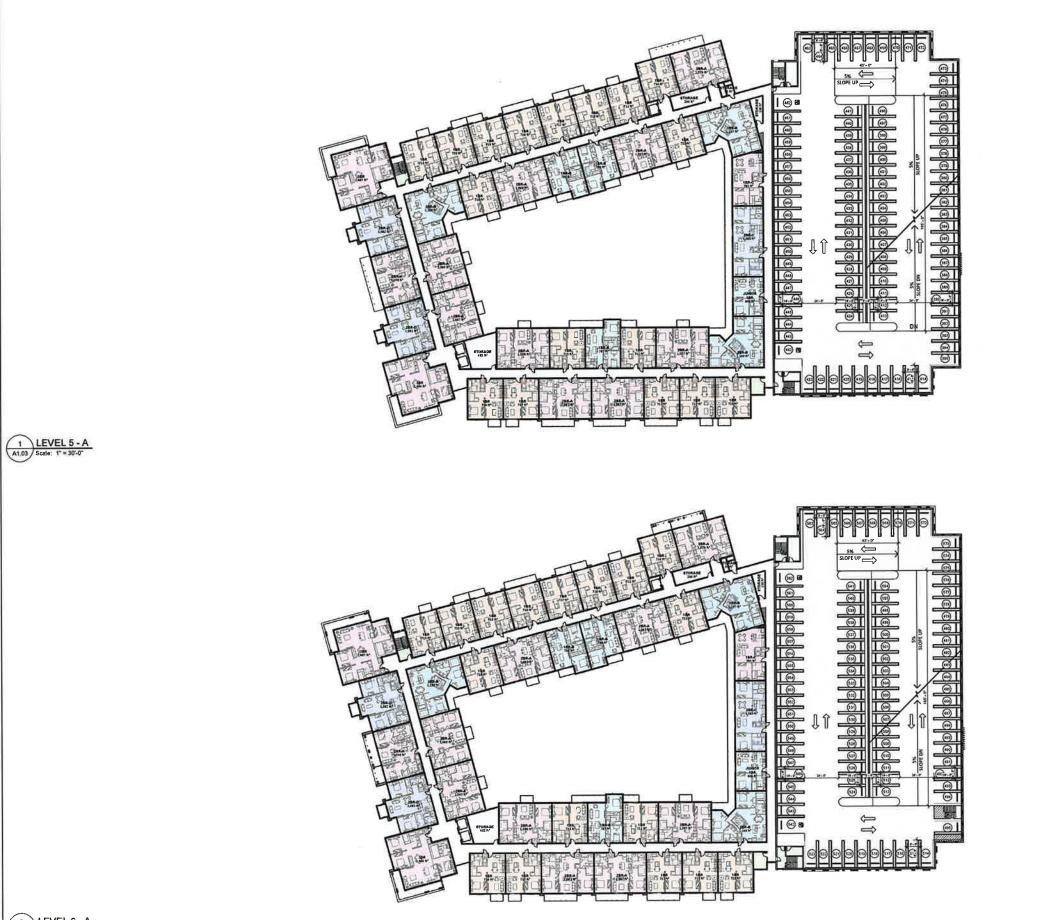
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LEVEL 3 & LEVEL 4 FLOOR PLANS

ISSUE 1

SHEET NUMBER A1.02

2 LEVEL 4 - A Scale: 1" = 30'-0"



PARKING STALLS LEGEND

COLOR TYPE DIMENSIONS ADA 12' X 19' STANDARD (1) 9' X 19'

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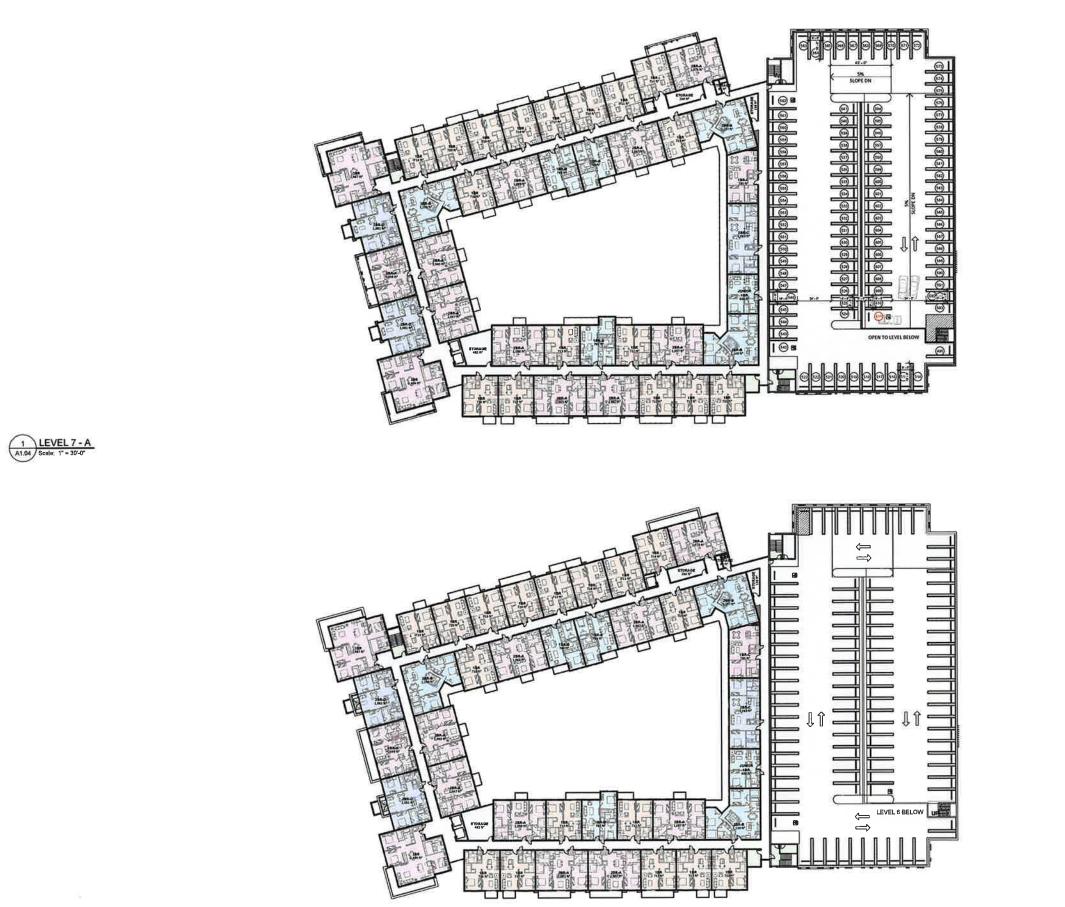
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PROJECT MGR: Designer	APPROVED BY:

LEVEL 5 & LEVEL 6
FLOOR PLANS

ISSUE 1

SHEET NUMBER A1.03

2 LEVEL 6 - A A1.03 Scale: 1" = 30'-0"



PARKING STALLS LEGEND DIMENSIONS

COLOR TYPE 12' X 19' STANDARD (1) 9' X 19' STANDARD (2) 8'- 6" X 19'

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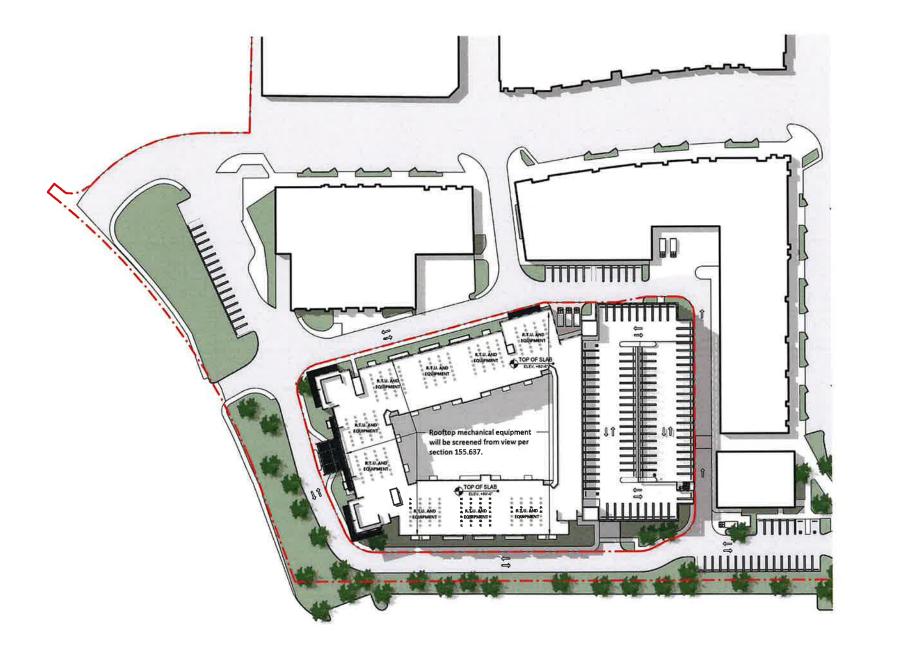
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LEVEL 7 & LEVEL 8 FLOOR PLANS

ISSUE

SHEET NUMBER A1.04

2 LEVEL 8 - A A1.04 Scale: 1" = 30'-0"



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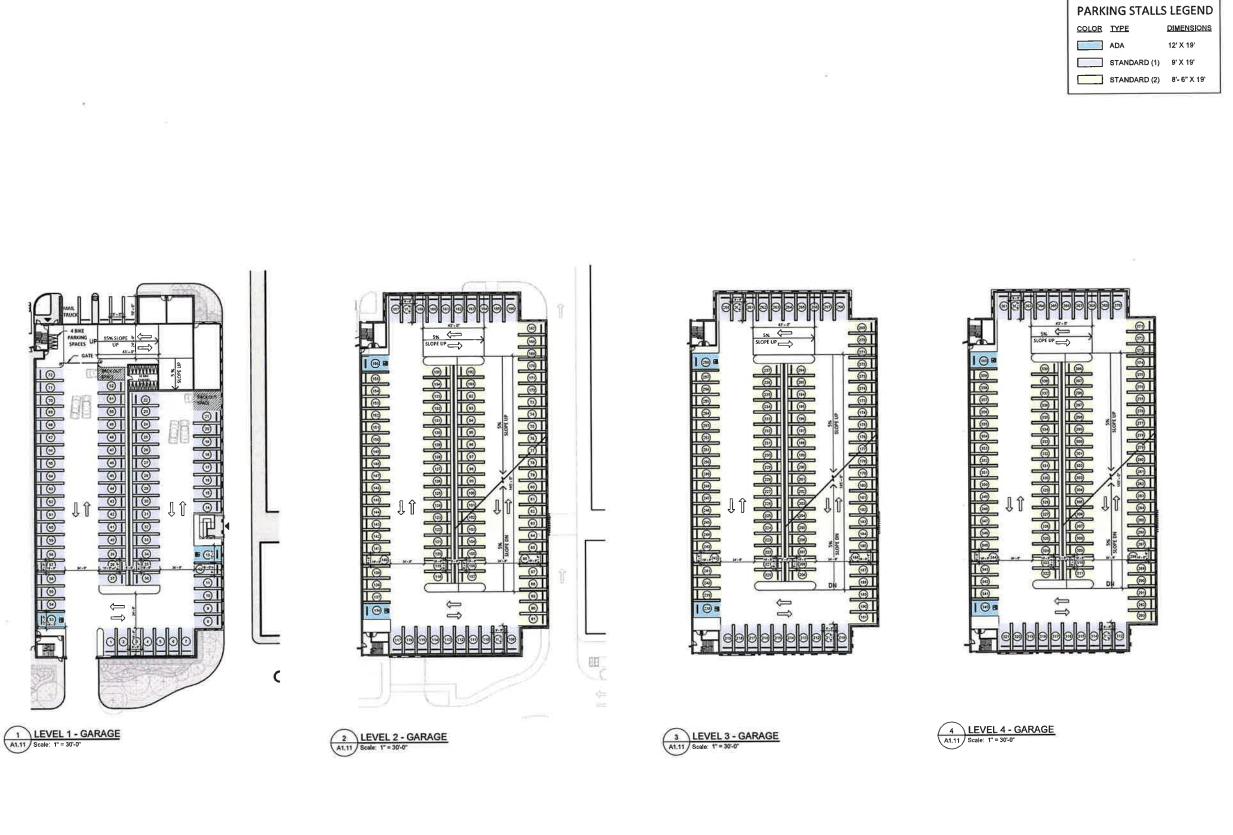
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SHEET TITLE ROOF DECK PLAN



SHEET NUMBER
A1.10 ISSUE 1





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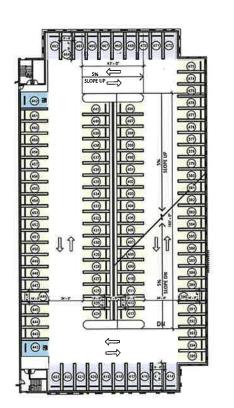
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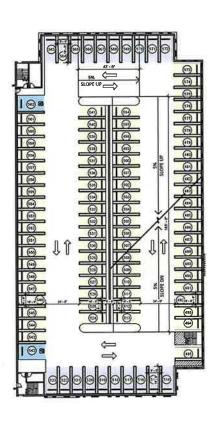
PARKING GARAGE L1-L4

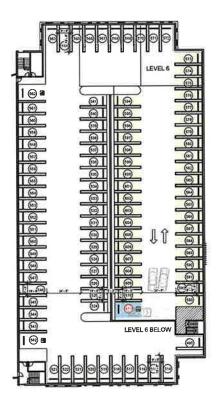
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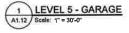
A1.11

SHEET NUMBER











3 LEVEL 7 - GARAGE A1.12 Scale: 1" = 30'-0"

PARKING STALLS LEGEND

COLOR TYPE ADA

12' X 19' STANDARD (1) 9' X 19'

DIMENSIONS

STANDARD (2) 8'- 6" X 19'

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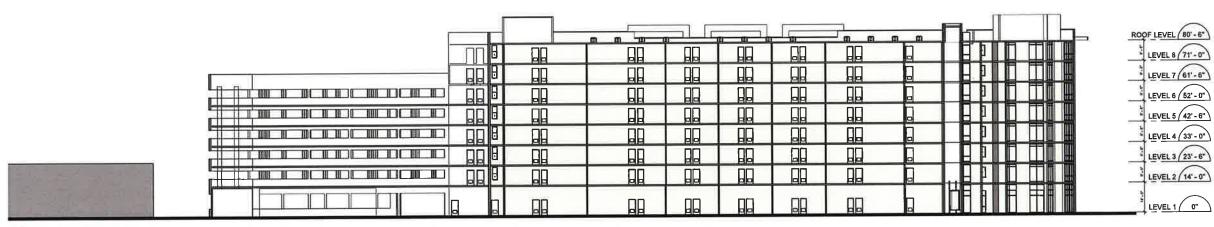
SHEET TITLE
PARKING GARAGE
L5-L7

A1.12

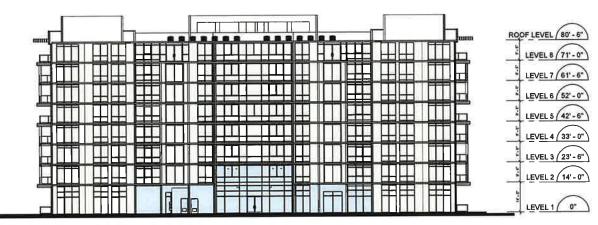
ISSUE 1



ISSU	ES	
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Building A - Section A CS.04 Scale: 1" = 20'-0"



2 Building A - Section B CS.04 Scale: 1" = 20-0"

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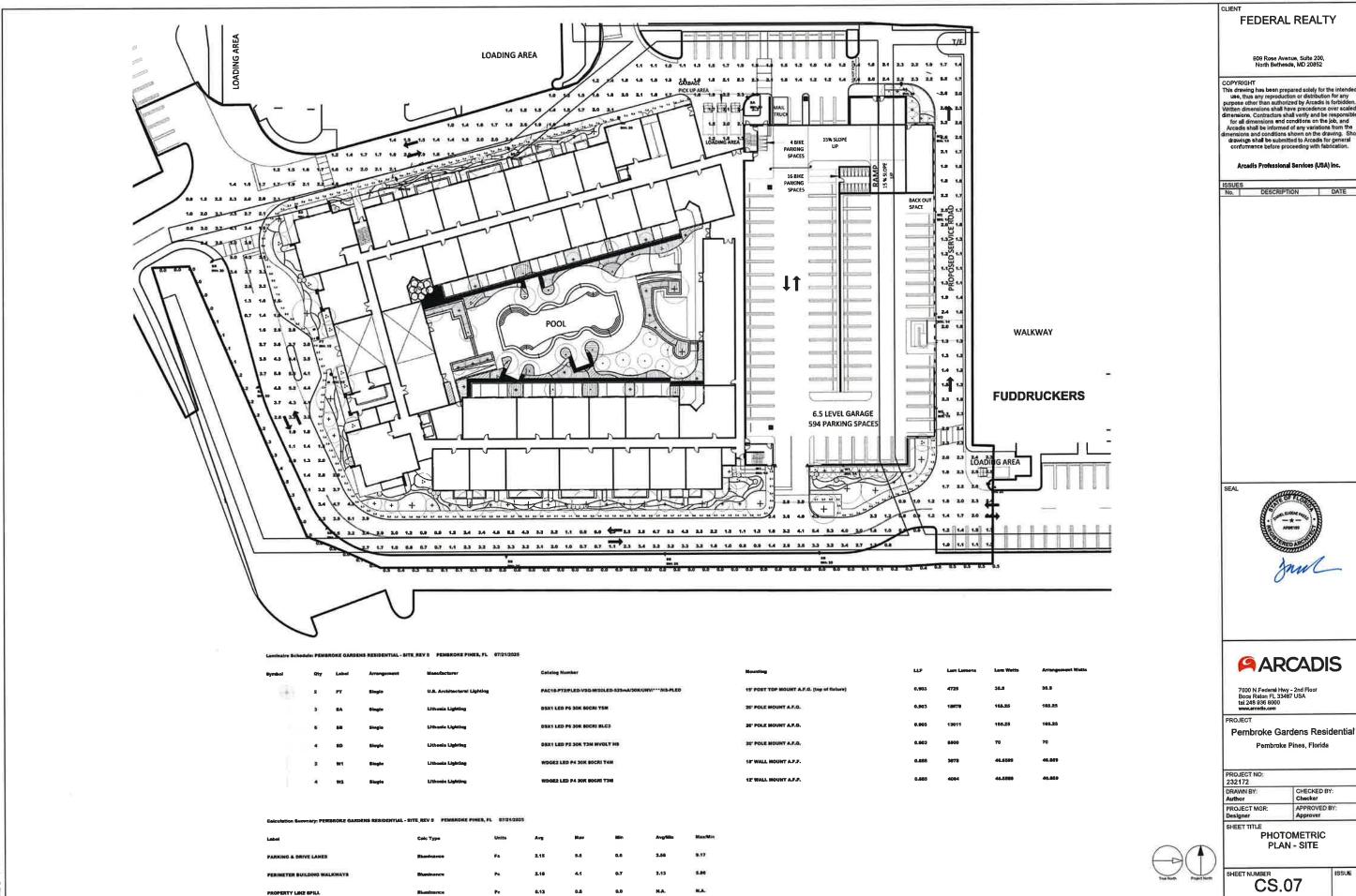
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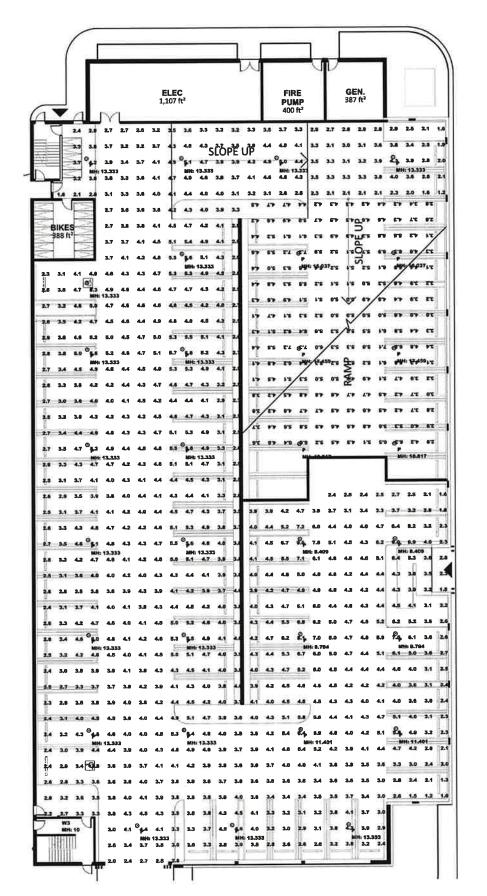
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SHEET TITLE

RESIDENTIAL **BUILDING** -SECTIONS

ISSUE SHEET NUMBER CS.04





Symbol	Qiy	Label	Arrangement	Manufacturer	Catalog Number	Mounting	Emergency	LLF	Lara Laracció	Laur Worlds
	31	•	Single	Kenali Marminsturing	MPG14-DTS-xx-5W-CP-40L-40KS-DIM1-DV	BURFACE MOUNT A.F.F.		0.855	6075	45
	1	W3	Simple	Lithonia Lighting	WDGEZ LED P1 40K BGCRI T3M	WALL MOUNT A.F.F.		0.885	1266	11.1668

Label	Caic Type	Units	Spacing L-R (FT)	Spacing T-B (FT)	Height (FT)	Avg	Mex	Miles	Avy/Min	Max/Sin
BUILDING A LEVEL 1 Floor	Hisminance	Fc	5		0	3.86	9.6	1.0	3.98	9.60
BARF_Floor_1	tilaminance	Fo		8		4.84	7.3	2.8	1.73	2.61

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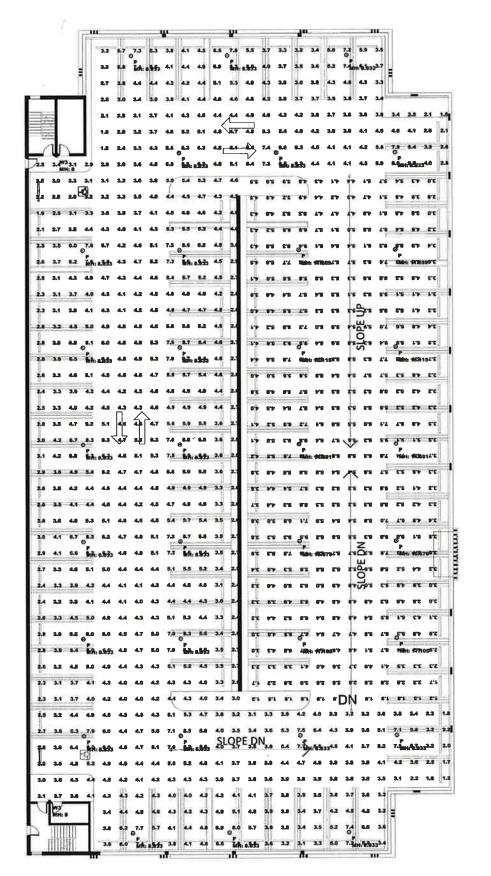
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PROJECT NO: 232172

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SHEET TITLE
PHOTOMETRIC -GARAGE L1 (TYPICAL)



Symbol	Qty	Label	Arrangement	Manufacturer	Cotalog Humber	Mounting Emergency		LUF .	Lun Lunets	Lean Wetts
	33	•	Single	Keenil Manufacturing	HPG14-DTS-EX-SW-CP-40L-40KB-DIM1-6V	SURFACE MOUNT A.F.F.		0.856	6075	45
	2	wa	Single	Litherds Lighting	WDGEZ LED F1 40K SOCRI T3M	WALL MOUNT A.F.F.		0.885	1260	11,1050

Label	Calc Type	Units	Specing L-R (FT)	Spacing Y-B (PT)	Halgist (FT)	Ave	Max	CG n	Avgilla	Manager 1
BUILDING A LEVEL 2 TO 8 Floor	Musicanos	Fo			8	4.47	4.0	1.2	2.73	7.42
RAMP_Floor	tiliusinance	Fc	6		•	6.13	9.6	1.2	4.28	8.00

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PHOTOMETRIC -**GARAGE L2-L6** (TYPICAL)



Label	Calo Type	Units	Specing L-IZ (FT)	Specing T-B (FT)	Height (FT)	Avg	Man	tities .	Avyllin	مثلاسانا
LEVEL 7 RAMP_Floor	Charlesnoe	Fa		•	•	3.07	8.1	1,4	2.10	3.84
LEVEL 7_Floor	Charlmance	Fo	•	•	0	2.50	4.7	1.2	2.16	3.92
LEVIL 4, Floor	Buninmor	Fo		•	•	3.31	6.3	1.0	3.31	0.30

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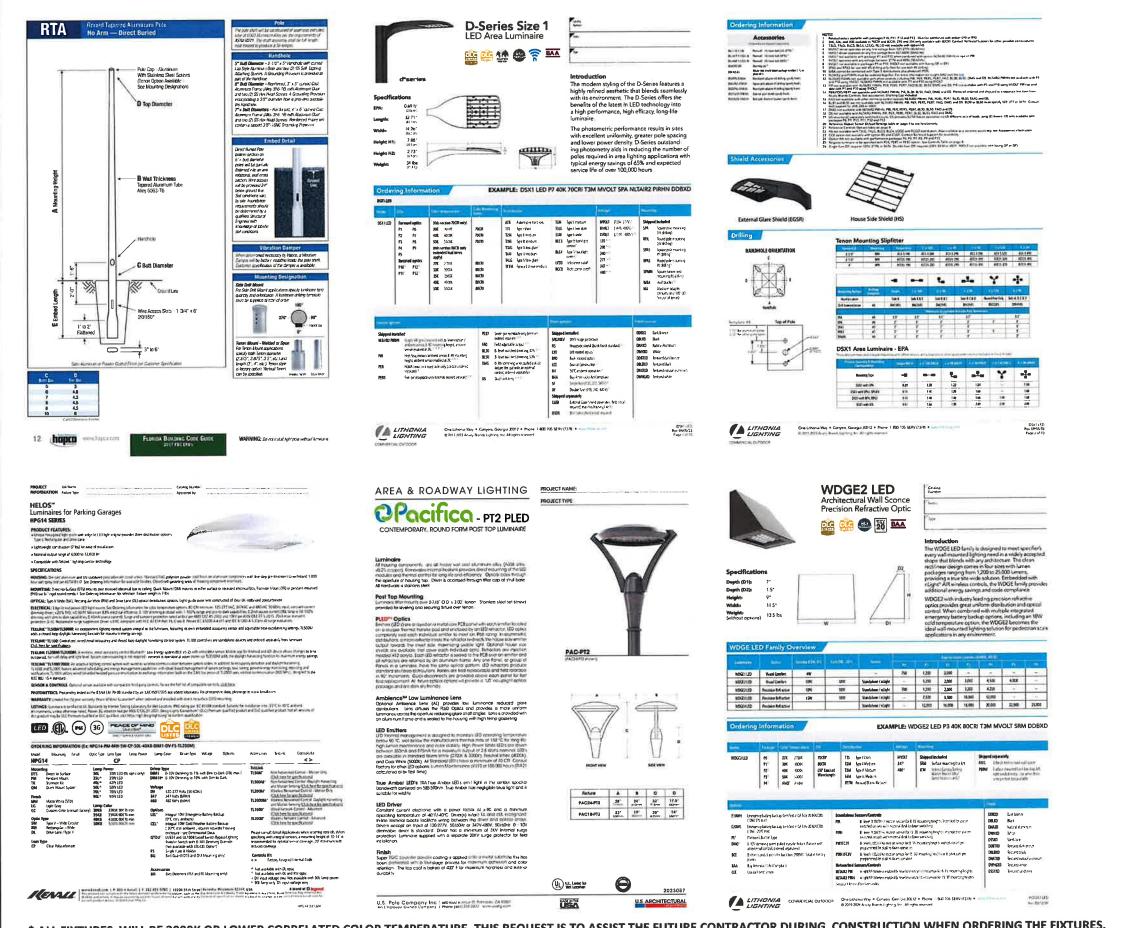
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SHEET TITLE
PHOTOMETRIC -GARAGE L7 (TYPICAL)





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Arcadis Professional Services (USA) Inc.

ISSUES
No. | DESCRIPTION | DATE

ARCADIS

7000 N Federal Hwy - 2nd Floor Boca Raton FL 33487 USA tel 248 935 8000 www.arcadls.com

Pembroke Gardens Residential Pembroke Pines, Florida

PROJECT NO: 232172 DRAWN BY: CHECKED BY PROJECT MGR APPROVED BY: Approver Designer

SHEET TITLE

PHOTOMETRIC -**CUT SHEETS**

SHEET NUMBER CS.11

* ALL FIXTURES WILL BE 3000K OR LOWER CORRELATED COLOR TEMPERATURE. THIS REQUEST IS TO ASSIST THE FUTURE CONTRACTOR DURING CONSTRUCTION WHEN ORDERING THE FIXTURES.

LAND DEVELOPMENT PLAN

FR PEMBROKE GARDENS, LLC.

PROPOSED

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

LOCATION OF SITE 527 SW 145TH TERRACE, PEMBROKE PINE, FL 33027

REFERENCES AND CONTACTS

REFERENCES

BOUNDARY & TOPOGRAPHIC
SURVEY:
SOURCE
S

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLDIR DOCE NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, OF OTHERS.



OWNER

FR PEMBROKE GARDENS LLC

CHICAGO DEFERRED EXCHANGE CO

99 ROSE AVE #200

PREPARED BY



CONTACT: AARON KOSH
AKOSH@BOHLERENG.COM

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REVIEW AND APPROVAL ADOCUMENT UNLESS DIDICATED OTHERWISE				
PROJECT No:	FLC230067.01-0			
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LAND DEVELOPMENT PLANS

> FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDEN RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER/

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 581-0800



SHEET TITLE:

COVER SHEET

C-101

ORG. DATE - 2/13/2025

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DEMOLITION NOTES

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GRADING NOTES (Rev. 1/2023)

THE QUELTIAL HOTTS MUST BE INCLUDED AS PART OF THE ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT
DOCUMENTS. THE COMPANAL KOTES ARE REFERENCED HEREN. AND THE CONTRACTOR MUST REFER TO THEM AND TALLY
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ACCESSIBILITY DESIGN GUIDELINES

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- S.C. 105 (1)	R ENTIRE PLAN SET	NRGS Ø	CONSERVATION SERVICE DIAMETER OPERATIONS AND MAINTENANCE	GIANDAK	D DRAWING FOR ENTIRE PLAN SET	
000	NUMBER	OC	OPERATIONS AND MAINTENANCE ON CENTER	LIMIT OF WORK		-Lon
	SLOPE EXPRESSED IN	OCS	OUTLET CONTROL STRUCTURE	DMIT OF DISTURE	ANCE	-100
	PLUS OR MINUS	ogs	OIL AND GRIT SEPARATOR	DWIT OF DISTURE	P-811-5	100
•	DEGRÉE	PAIPOA	POINT OF ANALYSIS	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
D	DIAMETER AMERICAN ASSOCIATION OF	PATPOA	POINT OF CURVATURE		ONSITE PROPERTY LINE / R.O.W. LINE	
AASHTO	STATE HIGHWAY AND TRANSPORTATION OFFICIALS	PCCR	POINT OF CURVATURE, CURS		NEIGRBORING	
AC	ACRE / ACRES	PERF	RETURN PERFORATED		PROPERTY LINE / INTERIOR PARCEL LINE	
AD	AREA DRAIN ACCESSIBLE / AMERICANS WITH	PG	PROPOSED GRADE		EASEMENT LINE	
AGA	DISABILITIES ACT	POG	POINT OF INTERSECTION POINT OF GRADE		SETBACK	
APPROX	APPROXIMATE	pp	POLYPROPYLENE PIPE		LINE	
ARCH	ARCHITECTURAL	PROP	PROPOSED POINT OF TANGENCY			
ASPH	ASSHALT	PTCR	POINT OF TANGENCY, CURB			CURS AND GUTTER
ASSF	STORMWATER FLOWAGE	PVI	RETURN POINT OF VERTICAL			SPILL TRANSITION
	ASSOCIATION BOTTOM OF CURB	PVMT	INTERSECTION		CONCRETE CURB & GUTTER	
10.00	BASEMENT FLOOR	PVT	POINT OF VERTICAL TANGENCY			DEPRESSED CURS AND GUITER
	BIOGARDEN	RW	RADIUS / RADII R:GHT-OF-WAY / RIGHTS-OF-WAY		UTILITY POLE	•
_	BITUMINOUS	RCP	REINFORCED CONCRETE PIPE		WITH LIGHT	•
BL	BASELINE	RD	ROOF DRAIN		POLE	
BLDG	BUILDING BENCH MARK	RELO	REGULATIONS TO BE RELOCATED	741	TRAFFIC	(B)
BRL	BUILDING RESTRICTION LINE	REQ	REQUIRED		FIGHT	
BVW	SORDERING VEGETATIVE WETLAND	RET	RETENTION RETAINING WALL	9	POLE	*
ca	CATCH BASIN	RET WALL	TO BE RETURNED TO OWNER	2	TYPICAL	0
CF CI	CUBIC FEET	RETO	RAIN GARDEN	3	ACORN	0
CIT	CHANGE IN TYPE	5	SLOPE		FIGHT	
CI.	CENTER LINE	SAN	SANITARY SEWER SOIL EROSION AND SEGMENT		TYPICAL	
CND	CORRUGATED METAL PIPE CLEAN OUT	SESC	CONTROL STATE HIGHWAY CAYOUT	A	PARKING	0
CONC	CONCRETE	SHLO	SANITARY MANHOLE	YAN	COUNTS	
CONN	CONNECTION	STA	STATION			
CPP	CORRUGATED PLASTIC PIPE	STM	STORM WATER / STORM SEWER SINGLE/SOLID WHITE LINE		CONTOUR	(190)
CY	CUBIC YARD	5мерр	STORMWATER POLLUTION		SPOT	(187)
DEC	DECORATIVE DEPARTMENT OF	TBA	PREVENTION PLAN TO BE ABANDONED	274 C 215 216 .	ELEVATIONS	TC 518.00 TC 518.00 Ex. C+
DET	ENVIRONMENTAL PROTECTION DETENTION	TBD	TO BE DETERMINED			
DIA	DIAMETER	TBP	TO BE PROTECTED TO BE REMOVED	55	SANITARY	(S-100)
DMH	DRAINAGE MANHOLÉ DOMESTIC	TBRR	TO BE REMOVED AND REPLACED IN KIND	1.8.1	LABEL	(3-100)
DOM	DEPARTMENT OF	TBS	TO BE SALVAGED		MROTS	A-100
DP	TRANSPORTATION DESIGN POINT	TBV	TO BE VACATED		SANITARY SEWER	
DWL	DASHED WHITE LINE	TC	TOP OF CURB		LATERAL	251
DYL.	DOUBLE YELLOW LINE EXISTING GRADE	10	TRENCH DRAIN		WATERLINE	
ELEC	ELECTRIC CANCEL	TELE	TELECOMMUNICATIONS /	i	UNDERGROUND ELECTRIC LINE	e
ELEV	ELEVATION	TPF TR	TREE PROTECTION FENCE		UNDERGROUND	
EP / EQP	EDGE OF PAVEMENT	TRANS	TRANSITION		GAS LINE	700
ES/EOS	EDGE OF SHOULDER	TYP	TYPICAL		OVERHEAD WIRE	
EW	END WALL EXISTING	UG	UNDERGROUND UTILITY POLE		UNDERGROUND TELEPHONE LINE	r
FEMA	FEDERAL EMERGENCY	USGS	UNITED STATES GEOLOGICAL		UNDERGROUND	
FES	MANAGEMENT AGENCY FLARED END SECTION	VERT	VERTICAL VERTICAL		CABLELINE	- 8
FF	FINISH / FIRST FLOOR	VIF	VERIFY IN FIELD		SEWER	
FFE	FINISH / FIRST FLOOR ELEVATION FINISH GRADE	W.	WATER LINE		SANITARY SEWER MAIN	
FH	FIRE HYDRANT	WM	WATER METER		HYDRANT	1000
FM	FORCE MAIN	wan	WATER QUALITY UNIT YARD DRAIN	(0)	HYDRONI	
FO G	FIBER OPTIC GRADE	YD	AND STREET, ST	(5)	SANITARY MANHOLE	S
GC	GENERAL CONTRACTOR			0	STORM	0
GEO	GEOTECH/GEOTECHNICAL GARAGE FLOOR ELEVATION			30	MANGIOLE	1,51
GF/GFE	(AT DOOR)			640	WATER METER	ø ^{WM}
GFA	GROSS FLOOR AREA GRADE HIGH (WALL)			52	WATER	▶4
GL	GRADE LOW (WALL)			P	GAS	De.
GRT	GRATE GREASE TRAP			ū	VALVE	□ _{GV}
GV	GATE VALVE			2	GAS METER	G
HDPE	HIGH DENSITY POLYETHYLENE				TYPICAL END	
HOR	HIGH POINT			The life	SECTION HEADWALL OR	
HW	HEADWALL			34	ENDWALL OR	\sim
ICS	INLET CONTROL STRUCTURE			(9)	GRATE	(0)
INT	INTERSECTION			67 %	CURB	
INV	INVERT				PALET	677.5
LOC	LINEAR FOOT LIMIT OF CLEARING			0	CLEAN	°C/O
ron	LIMIT OF DISTURBANCE			2	ELECTRIC MANHOLE	*
LOS	LINE OF SIGHT	-		· (7)	TELEPHONE	**
LD	LOWPOINT				MANHOLE	W.
LS	LANDSCAPE LANDSCAPE AREA			<u>[#</u>	ELECTRIC	E
MAX	MAXIMUM NEA			72	ELECTRIC PEDESTAL	野
ME	MATCH EXISTING]			reusal nu	1 100
MEP	MECHANICAL, ELECTRICAL, AND PLUMBING					
MH	MANHOLE	-		0	MONITORING WELL	0
MJ	MECHANICAL JOINT	1			TEST	67
MUTCO	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES				PIT	7.8
NOAA	NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION			•	BENCHMARK	•
	1	41			BORNG	*

REVISIONS

DATES

Sunshine business days before digging to have buried facilities located and markets

NOT APPROVED FOR CONSTRUCTION

THE GRAPHING IS INTROCED FOR MUNICIPAL ARDON RESTR BEINGW AND APPROVAL. IT IS NOT INTROCED AS A CONSTRU-DECOMENT UNLESS INDICATED COTTO WINE. PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD LD.:

LAND DEVELOPMENT

PLANS FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

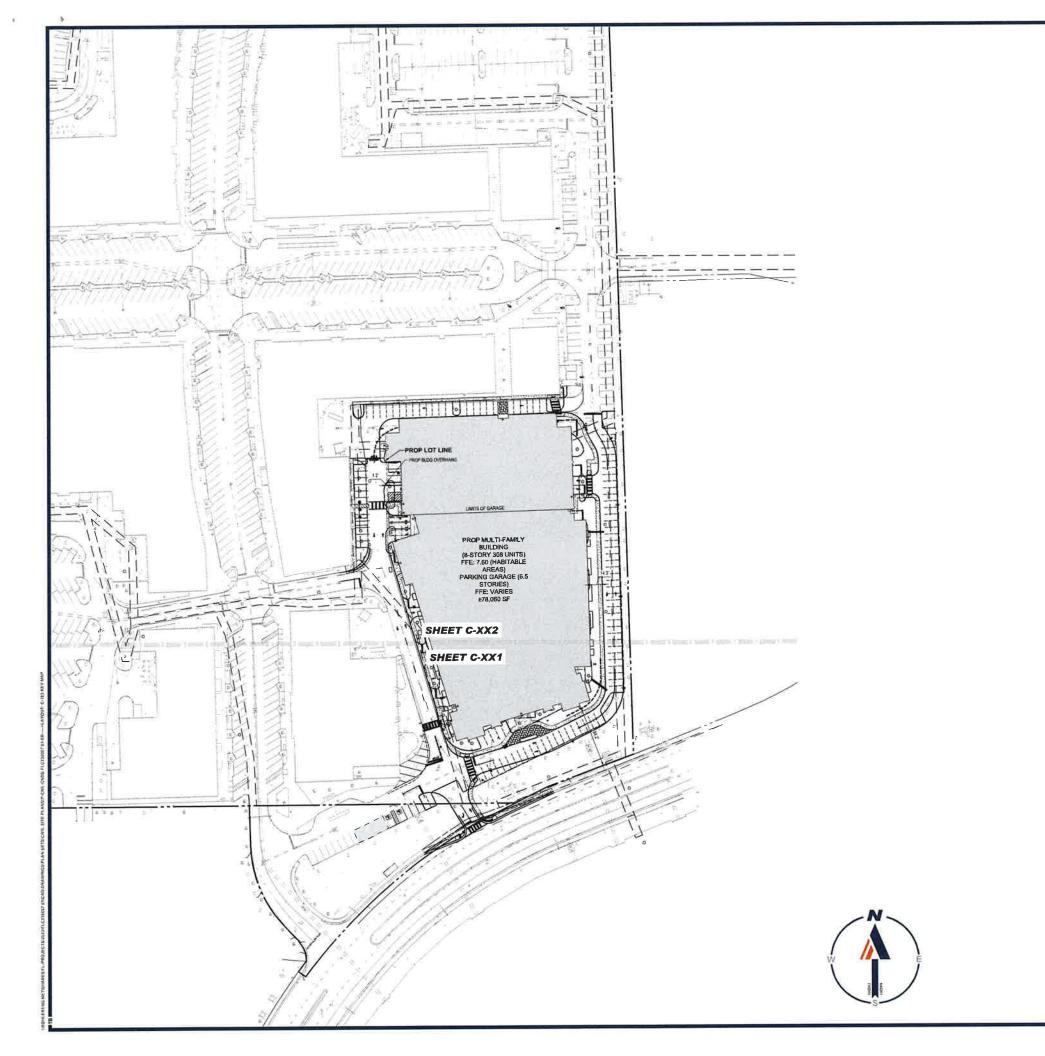
BOHLER / 1 SE 3rd AVENUE **SUITE 2700**

MIAMI FLORIDA 33131 Phone: (786) 651-0500 BENJAMIA



GENERAL NOTES AND LEGEND

C-102





REV DATE COMMENT DECASE	REVISIONS								
	REV DATE	COMMENT	D406381						

Sunshine

business days before digging to have business days before digging to have busined facilities located and marked Crieck positive response codes before you dig!

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PROJECT No: DRAWN BY: CHECKED BY: DATE: CAD LD:

03/20/20 P-CIVL-CNI

PROJECT:

LAND DEVELOPMENT PLANS

____ FOR _

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER /

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800

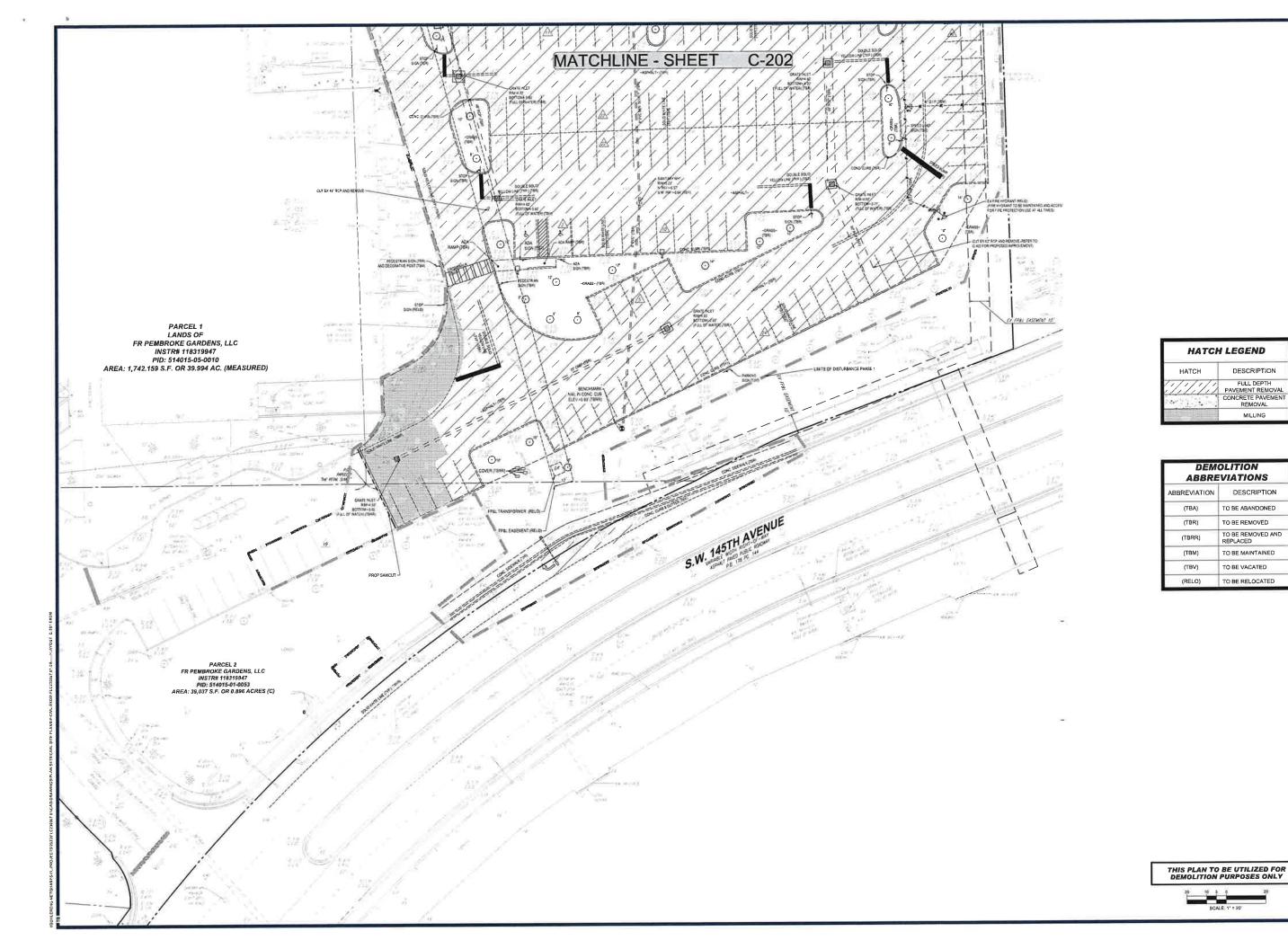


SHEET TIT

KEY MAP

C-103







REVISIONS

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NOT APPROVED FOR CONSTRUCTION

DESCRIPTION

FULL DEPTH
PAVEMENT REMOVAL
CONCRETE PAVEMENT
REMOVAL MILLING

DESCRIPTION

TO BE ABANDONED

TO BE REMOVED

TO BE REMOVED AND REPLACED

TO BE MAINTAINED

TO BE RELOCATED

TO BE VACATED

LAND DEVELOPMENT PLANS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

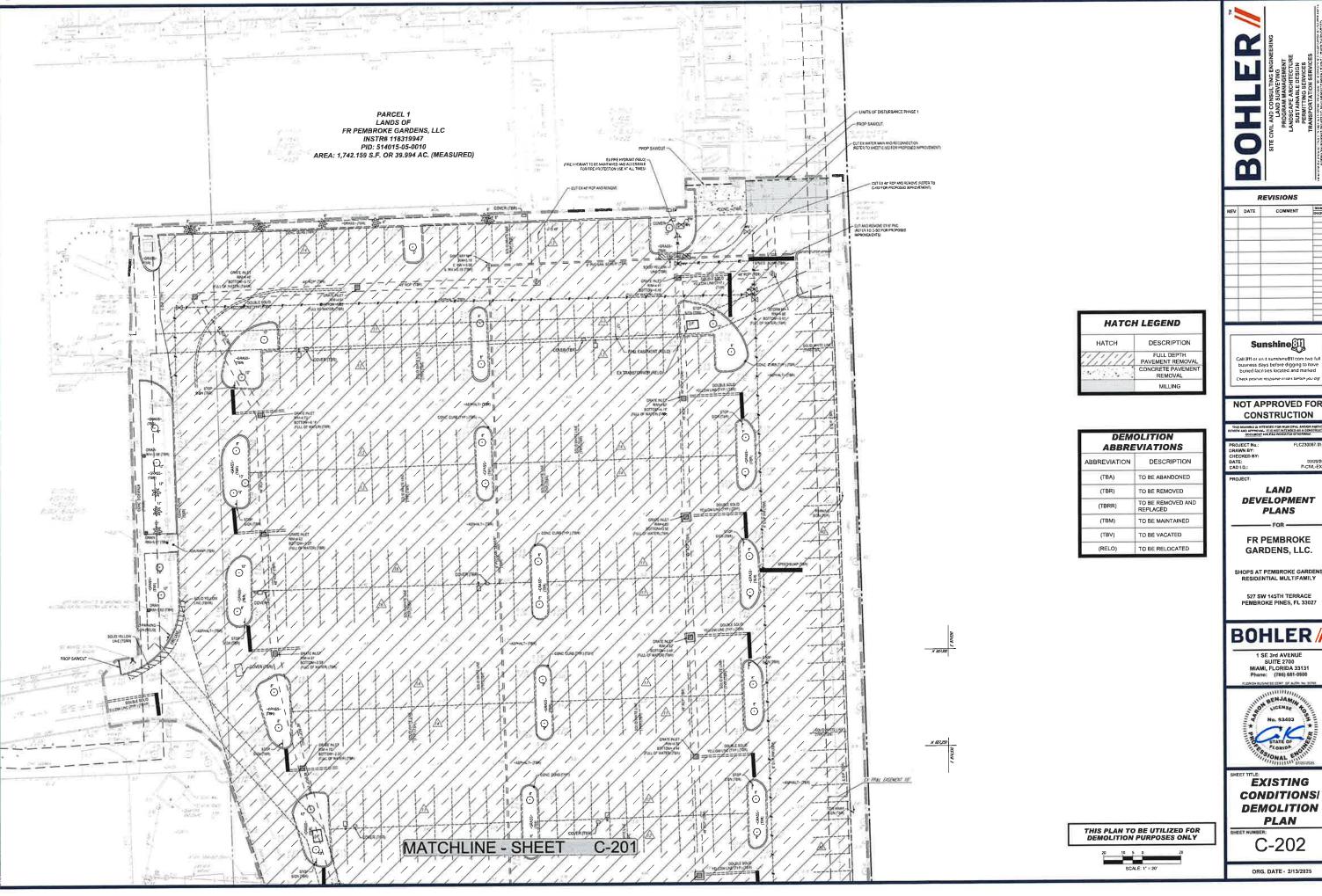
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EXISTING **CONDITIONS DEMOLITION** PLAN

C-201





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REV	DATE	COMMENT	DECKED BY
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NOT APPROVED FOR CONSTRUCTION

LAND

PLANS

GARDENS, LLC.

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

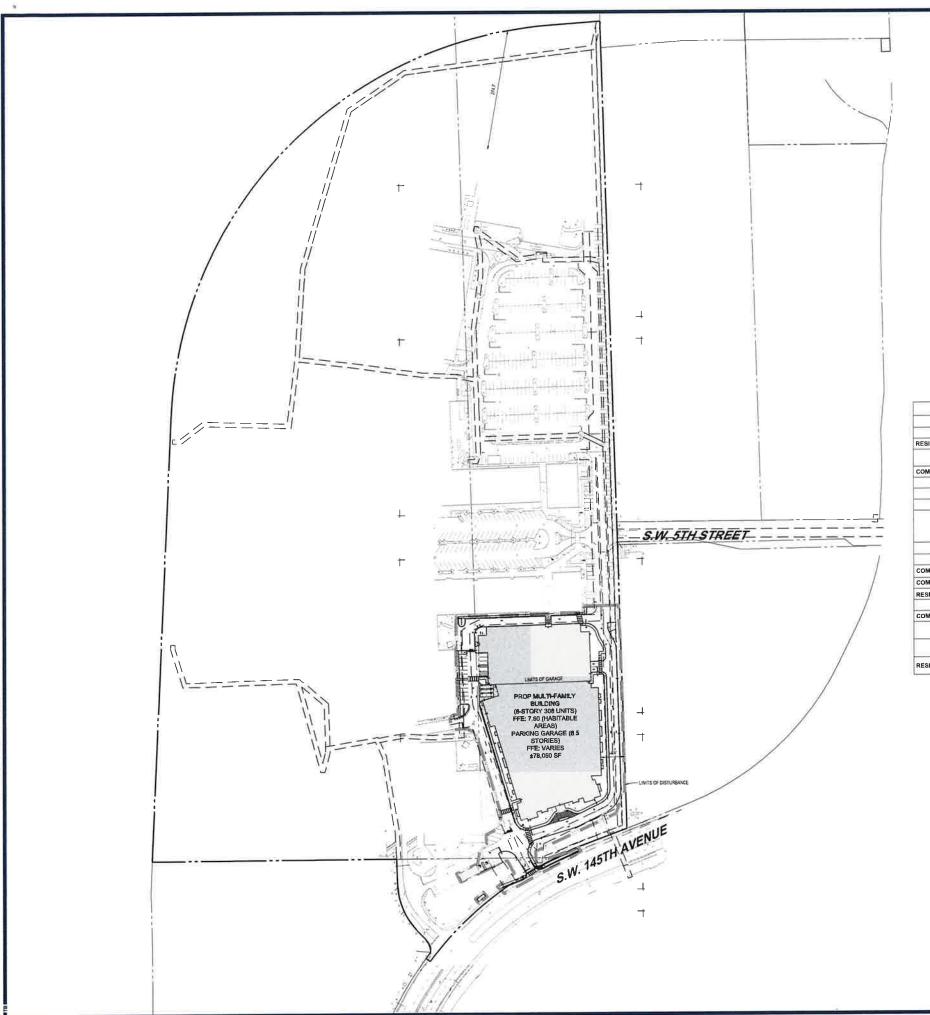
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1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



EXISTING **CONDITIONS DEMOLITION** PLAN

C-202



	\$	SITE DATA T	ABLE		
PROJECT LOCATION	527 SOUTHWEST 145T	H TERRACE, PEMBROKE	PINES, FL, 33027		
LEGAL DESCRIPTION	PARCEL 1 514015-05-0 PARCEL 2 514015-01-0		PORTION OF SE TOWNSHIP 51S		
EXISTING ZONING	PLANNED COMMERCIA	L DISTRICT (PCD)			
PROPOSED ZONING	MIXED-USED DEVELOR	MENT (MXD)			
EXISTING USE	COMMERCIAL				
PROPOSED USE	MIXED-USED				
	PARCEL 1			1,742,402 SF	40,000 ACRES
SITE AREA	PARCEL 2			39,037 SF	0.896 ACRES
	TOTAL SITE AREA			1,781,439 SF	40 896 ACRES
	EXISTING	COMME	RCIAL	389,313 SF	
BUILDING AREA		RESIDENTIAL		45,658 SF	
	PROPOSED	PARKING (SARAGE	32,402 SF	
		TOTAL PR	OPOSED	78,0	60 SF
		OTAL BUILDING AREA		467,	173 SF
DEVELOPMENT REGULATION	CODE SECTION	REQUIRED		PRO	POSED
LOT SIZE	MXD	25 ACRES GROSS		40 896 ACRES	
FAR	мхр	0 25 0 25 X 1,781,439 SF = 4	0 25 0 25 X 1,781,439 SF = 445,350 SF		IAL AREA / 1,781,439 : D 26
MAXIMUM HEIGHT	MXD	100 FT OR 8 STORIES		100 FT TO FLAT RODF	
		FRONT (SW 145TH AVE)	60 FEET	92.4	FEET
		SIDE	20 FEET	54.41	FEET
SETBACKS		REAR SETBACK (PINES BLVD)	20 FEET	274 7	0 FEET
	MXD	STREET SIDE SETBACK	N/A		i/A
MINIMUM UNIT SIZE	MXD	580	SF	58	o SF
MAXIMUM DENSITY	MXD	PER F	LUM	14 62 UN	ITS/ACRES
MAXIMUM BUILDING	MXD	32 0	0%	26	24%
COVERAGE		570,06	0 SF	467	373 SF
	MXD	20 0	0%	22	00%
MINIMUM OPEN SPACE		356,28	6 SF	391,	917 SF

			330,200 31		
		PARKING DAT	A TABLE		
		REQUIRE	D		
USE	UNIT	REQUIREMENT		SPACES PER TYPE	
RESIDENTIAL	308	1,75 SPACES PER UNIT	308 UNITS X 1.75 SPACES / UNIT = 539 SPACES		= 539 SPACES
		ADA SPACES: 501-1000 2% OF TOTAL SPACE	0.02 X 5	39 SPACES = 11 SPA	CES ADA
COMMERCIAL					
BUILDING AREA	389,313 SF	4.25 SPACES PER 1,000 SF	389,313 SF X 4.2	25 SPACES /1,000 SF	= 1,655 SPACES
OUTDOOR DINING AREA	23,000 SF	4.25 SPACES PER 1,000 SF	23,000 SF X 4	25 SPACES /1,000 S	F = 98 SPACES
TOTAL PARKING	412,313 SF	4.25 SPACES PER 1,000 SF	412,313 SF X 4.25 SPACES /1,000 SF = 1,753 SPACES		
		ADA SPACES: 1001 AND OVER 20 PLUS 1 FOR EACH 100 OR A FRACTION THEREOF, OVER 1000	20 SPAC	ES + 18 SPACES = 3	B SPACES
		PROPOSE	:D		
LAND USE		STANDARD (9' x 19')	STANDARD (8.5' x 19')	ADA (12' x 19')	TOTAL PARKING
COMMERCIAL (INSIDE GARAGE)		70	0	2	72
COMMERCIAL (OUTSIDE GARAGE)		1695	0	60	1755
RESIDENTIAL		107	421	11	539
LAND USE		PARKING RATIO	CALCULATION		
COMMERCIAL					
BUILDING AREA		4.25 SPACES PER 1,000 SF	(1,655 SPACES / 389,313 SF) X 1,000 SF = 4.25		X 1,000 SF
OUTDOOR DINING AREA		4.25 SPACES PER 1,000 SF	(98 SPACES / 23,000 SF) X 1,000 SF = 4,25		1,000 SF
RESIDENTIAL		1,75 SPACES PER UNIT	539 SPACES / 308 UNITS = 1.75		TS

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
LAND SURVEYING
LAND SURVEYING
LAND SCARAM AND CERRIT
LAND SCARAM CERRIT
SUSTAINABLE DESIGN
FEMENTING SERVICES
TRANSPORTATION SERVICES

REV DATE	COMMENT	\$41431 \$41431
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Sunshine

Call 811 or visit sunshine811 com two full business days before digging to have buned facilities located and marked Check positive response codes before you dig!

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
EVIEW AND APPROVAL, IT IS NOT IN THIS OF ALL A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE

PROJECT No: DRAWN BY: CHECKED BY: DATE: CAD I D.:

IOJECT:

LAND DEVELOPMENT PLANS

FOR —

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

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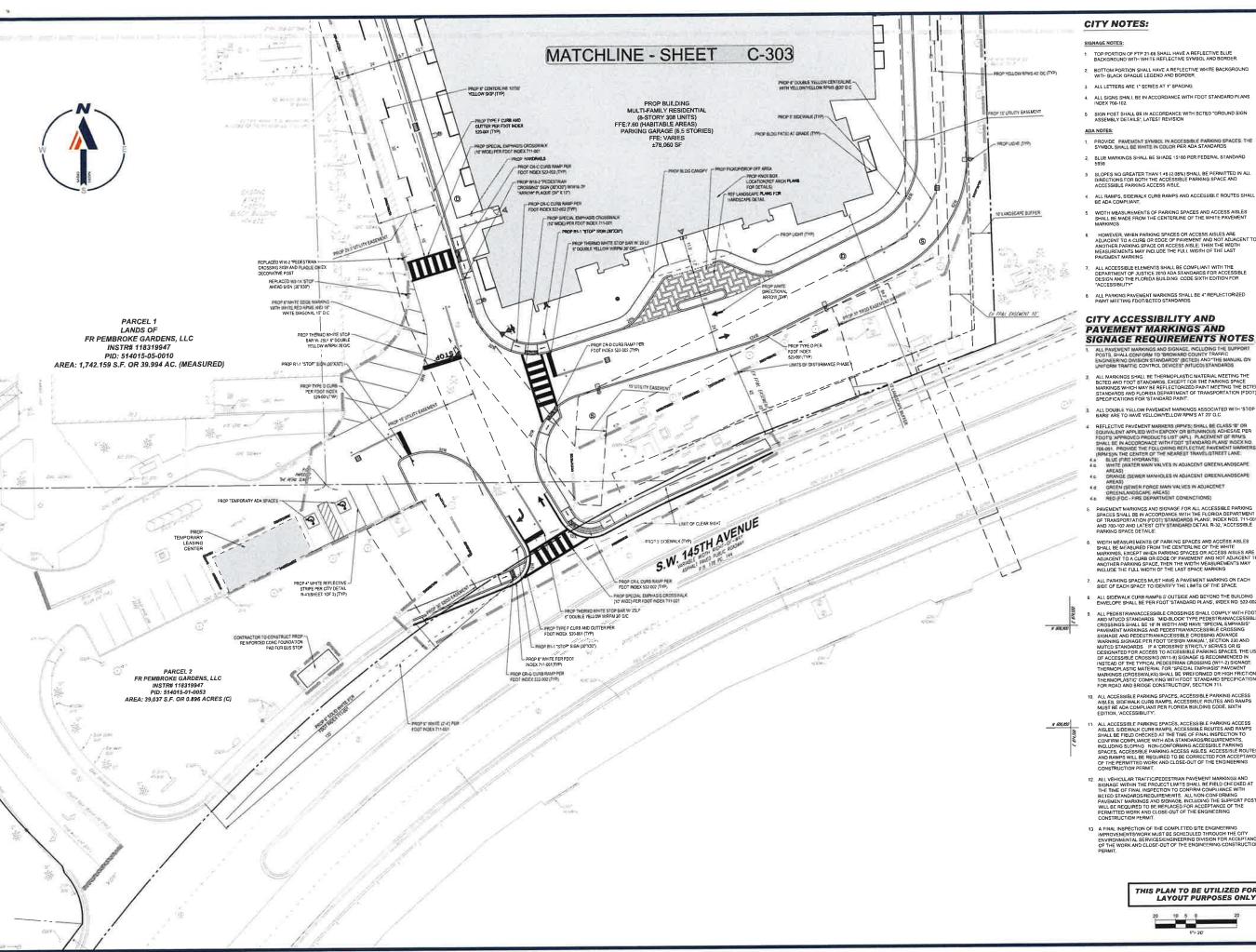
SHEET TITLE

OVERALL SITE PLAN

C-301

ORG. DATE - 2/13/2025

THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY



- 1 TOP PORTION OF FTP 21-05 SHALL HAVE A REFLECTIVE SLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER

- 4 ALL SIGNS SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
- 5 SIGN POST SHALL BE IN ACCORDANCE WITH BCTED "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION
- PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS
- 3 SLOPES NO GREATER THAN 1.48 (2.08%) SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE,
- 4 ALL RAMPS, SIDEWALK CURB RAMPS AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS
- HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAYEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE: THEN THE WIOTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAYEMENT MARKING
- 7 ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE SIXTH EDITION FOR "ACCESSIBILITY"

CITY ACCESSIBILITY AND **PAVEMENT MARKINGS AND** SIGNAGE REQUIREMENTS NOTES

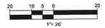
- ALL PAVEMENT MARKINGS AND DIGNAGE. INCLIDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENCINEERING DIVISION STANDARDS" (SCEED) AND "THE MANUAL ON UNITORM TRAFFIC CONTROL DEVICES" (MTUCO) STANDARDS
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BOTED AND FOOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKING SWHICH MAY BE RELECTORIZED PAINT MEETING THE BOTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDDT) SPECIFICATIONS FOR "STANDARD PAINT."
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH 'STOP BARS' ARE TO HAVE YELLOW/YELLOW RPM'S AT 20' O.C.

- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION FROD 15-TAMOARDS PLANS, NIDEX NOS. 711-001 AND 700-102 AND LATEST CITY STANDARD DETAIL R-32, 'ACCESSIBLE PARKING SPACE DETAILS.'
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARRINGS, EXCET THEM PARKING SPACES OR ACCESS ASILES ARE ADJACENT TO A CURB OR EDGE OF PAYMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING

- ENVELOPE SHALL BE PER FDOT STANDARD PLANS, INDEX NO. 522-002

 ALL PEDESTRIANIACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MITUDE STANDARDS MID-BLOCK TYPE PEDESTRIAWACCESSIBLE CROSSINGS SHALL BE 10 IN WIDTH AND MANE SPECIES ENVERNET MARRINGS AND PEDESSIBLE CROSSING ADVANCE PROMOTION OF THE PEDESSIBLE CROSSING ADVANCE WASHING SIGNAGE PER FDOT DESIGN MANUAL; SECTION 230 AND MITTED STANDARDS. IF A CROSSING STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING WITH 19, SIGNAGE IS RECOMMENDED IN INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING WITH 2,9 SIGNAGE THEMPORT MARRINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION MARRINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION FERNINGS FOR CROSSMALKS) SHALL BE "PREFORMED OR HIGH FRICTION FERNINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION FERNINGS FOR CROSSMALKS) SHALL BE "PREFORMED OR HIGH FRICTION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 71.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS ASLES, SIDEWALK UDB RAMPS, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FIRM LINSPECTION TO CONFIRM COMPLIANCE WITH ADD STANDARDS/RECURREMENTS, INCLUDING SLOPING NON-CONFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS ASLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORNECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION FERMIT.
- 12. ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFINC COMPLIANCE WITH BICTED STANDARDSREGUIREMENTS, ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSS-OUT OF THE CONTINEERING.
- 13 A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/SENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION DEBUT.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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Sunshine

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LAND **DEVELOPMENT PLANS**

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

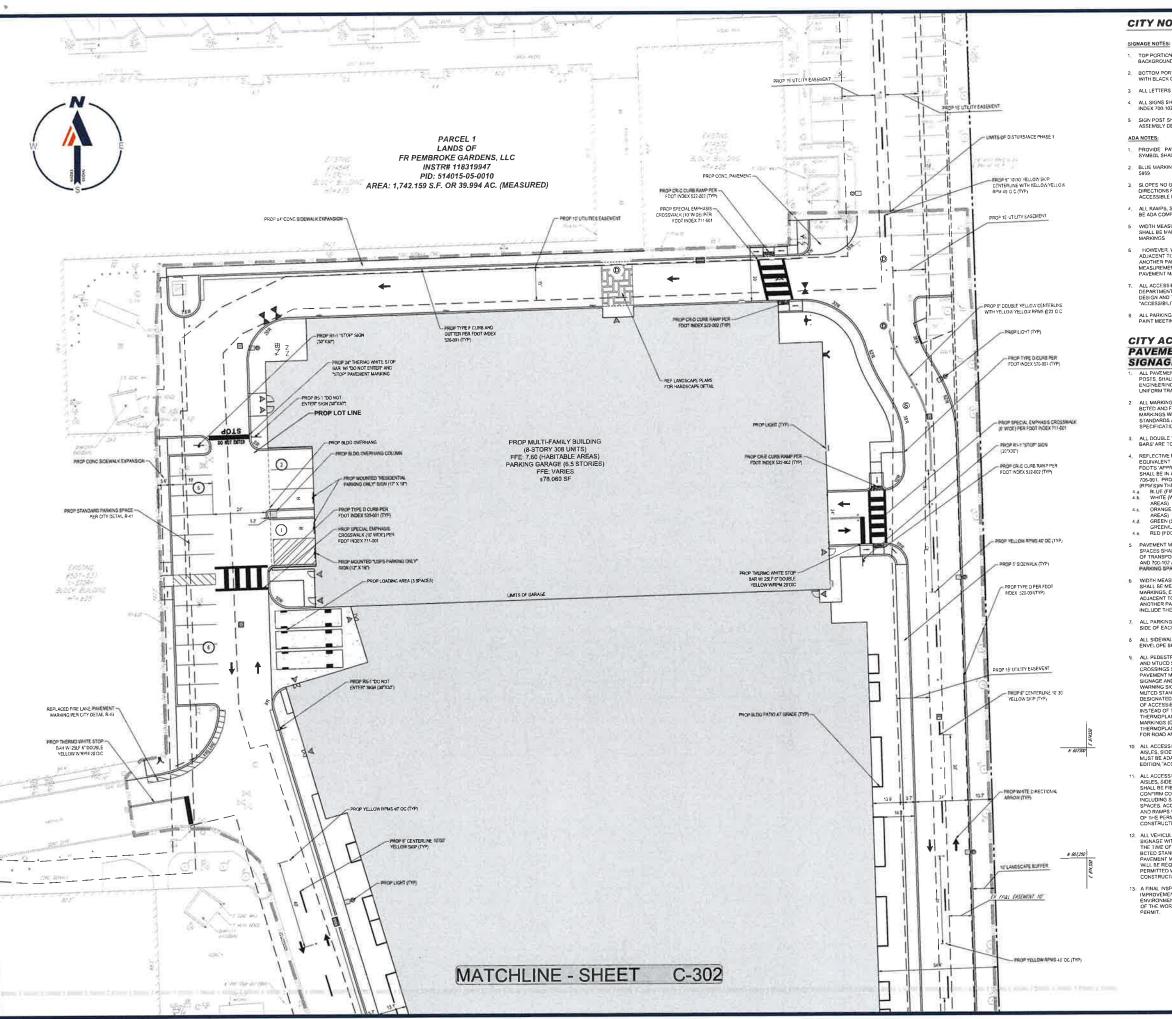
BOHLER

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



SITE **PLAN**

C-302



CITY NOTES:

- 1. TOP PORTION OF FTP 21:05 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER
- 2 BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER
- 3 ALL LETTERS ARE 1" SERIES AT 1" SPACING
- 4 ALL SIGNS SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700:102
- 5 SIGN POST SHALL BE IN ACCORDANCE WITH BCTED "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION

ADA NOTES:

- 1 PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDAROS
- 2 BLUE MARKINGS SHALL BE SHADE 15180 PER FEDERAL STANDARD 5959.
- 3 SLOPES NO GREATER THAN 1.48 (2.08%) SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
- ALL RAMPS, SIDEWALK CURB RAMPS AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
- HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAYEMENT MARKING.
- 7. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE SIXTH EDITION FOR "ACCESSIBILITY"
- 8 ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS

CITY ACCESSIBILITY AND **PAVEMENT MARKINGS AND** SIGNAGE REQUIREMENTS NOTES

- 2 ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BOTED AND FOOT STANDARDS, EXCEPT FOR THE ARRING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE GOTED STANDARDS AND LORIGID SEPARTMENT OF TRANSPORTATION (FOOT) SPECIFICATIONS FOR STANDARD PAINT.
- 3 ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH STOP BARS' ARE TO HAVE YELLOW/YELLOW RPM'S AT 20' O.C.
- BARS'ARE TO HAVE YELL OWNELLOW REMAS AT 20 G C

 REFLECTIVE PAVEMENT MARKERS (RPM'S) SHALL BE CLASS' B' OR EQUIVALENT APPLIED WITH EXPONY OR BITUMINOUS ADHESIVE PER FOOTS 'APPROVED PRODUCTS ISIS' PAT). PLACEMENT MAS SHALL BE CLASS' B' OR PRODUCT HE STORY FAVE BY AND SHORE NO PRODUCT HE FOOT THE PAVEMENT MARKERS (PPM S)IN THE CENTER OF THE NEAREST TRAVELISTREET LANE:

 4. R. LUE (FIRE HYDABANY)

 4. WHITE (WATER NAIN VALVES IN ADJACENT GREEN/LANDSCAPE ARAES)

 4. CRANGE (SEWER MANHOLES IN ADJACENT GREEN/LANDSCAPE ARAES)

 4. GREEN (SEWER MANHOLES IN ADJACENT GREEN/LANDSCAPE ARAES)

 4. GREEN (SEWER MANHOLES IN ADJACENT GREEN/LANDSCAPE GREEN/LANDSCAPE ARAES)

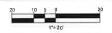
 4. RED (FIDE STANDSCAPE ARAES)

 4. RED (FIDE STANDSCAPE ARAES)

- 5 PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FORING DEPARTMENT OF TRANSPORTATION, FIGURE STANDARD SEARCH, SINGEN AND 71-100 AND 700-102 AND LATEST CITY STANDARD DETAIL R-32, ACCESSIBLE PARKING SPACE DETAILS.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAYEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING
- 7 ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- 8 ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FOOT 'STANDARD PLANS', INDEX NO. \$22-002
- ENVELOPE, SHALL BE PER FOUT IS MADDARD PLANS, INDEX NOT SCANDER

 ALL PERSTRAMIACCESSIBLE CROSSINGS STALL COMEN, YMITH FROT
 AND MITUDO STANDARDS. MUDBLOOK TYPE PEORET STRANDACCESSIBLE
 PROSPECTION OF THE PROPERTY OF THE PROP
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADD COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY,"
- 11. ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS
 ASSLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS
 SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO
 CONFIRM COMPLIANCE WITH ADA STANDARDSREGUIREMTS,
 INCLUDING SLOPING NON-CONFORMING ACCESSIBLE PARKING
 SPACES, ACCESSIBLE PARKING ACCESS ALIES, ACCESSIBLE ROUTES
 AND RAMPS WILL BE RECUIRED TO BE CORRECTED FOR ACCEPTANCE
 OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING
 CONSTRUCTION PERMIT.
- 12. ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFINENC COMPLIANCE WITH BCIED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE INCLUDING THE SUPPORT POSTS. WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- 13. A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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Sunshine

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LAND DEVELOPMENT PLANS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

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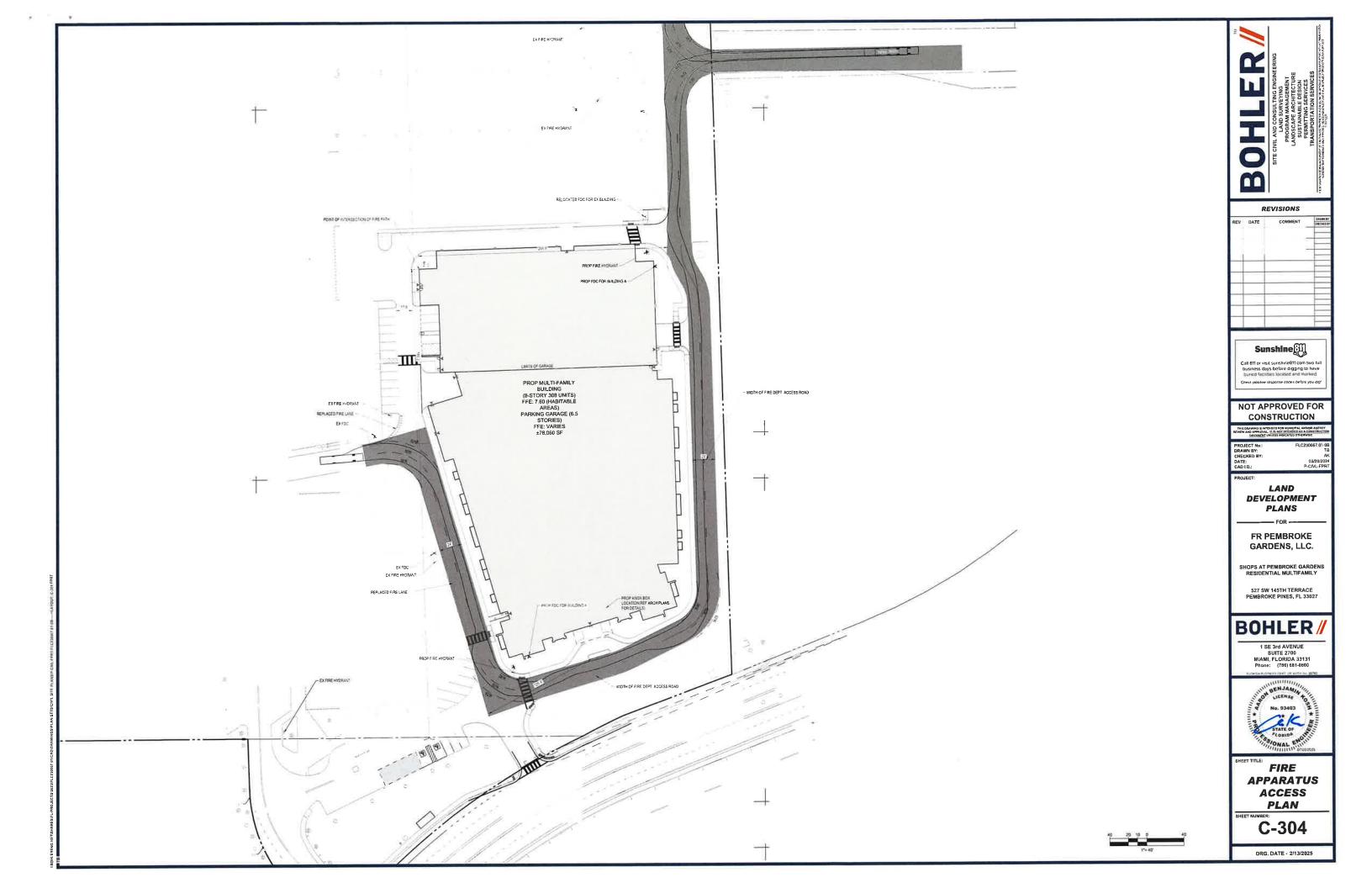
1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



SITE **PLAN**

C-303

ORG: DATE = 2/13/2025



FIRE PLANS NOTES:

- FIRE CODES IN EFFECT FLORIDA FIRE PREVENTION CODE (FFPC) 8TH EDITION, EFFECTIVE DECEMBER 31, 2023 WITH
- 2019 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREN)
 NOTICE REQUIRED FOR STRUCTURES WITH LIGHT-FRAME
 TRUSS-TYPE CONSTRUCTION FOR NEW AND EMSTING
 STRUCTURES, EFFECTIVE 12-13-03 DECLARE:
 FUNCTURES, 194E TO BE CONSTRUCTION FOR STRUCTURES, 194E TO BE CONSTRUCTURES, 194E TO BE CONSTRUCTION AND PUBLISHED FOR STRUCTURES, 194E TO BE CONSTRUCTION AND SITE PLANS ADDRESSING TYPE OF CONSTRUCTION AND PLACARD TO BE POSITED FACE SPAGE 0081
 ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS WITHIN THE CITY SHALL BE NUMBERED WITH STREET ADDRESS, FRONT A REAR AND/OR SIDE DOORS, WITH THE NUMBERS
 BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMBERS WITHIN THE BUILDINGS WITHIN THE STREET ADDRESS, PROMIT A GRAEN ADJOIN SIDE CONTRAST WITH THEIR
 BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS COPP
- CO 52.10

 NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE
 WHERE THEY CAN BE SEEN AND READ FROM THE STREET.
 COPP CO 52.10 (D)
- STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER / SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED GROUND SIGN ASSEMBLY DETAILS:
- EXISTING AIRPORT TRAFFIC CONTROL TOWERS, AN EMERGENCY COMMAND CENTER SHALL BE PROVIDED IN A LOCATION APPROVED BY THE FIRE DEPARTMENT WHERE THE FLOOR OF AN OCCUPIABLE STORY IS GREATER THAN 75 FT (23 M) ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, NFPA101-11,3,4,8,1
- 41. THE EMERGENCY COMMAND CENTER SHALL BE PERMITTED TO BE LOCATED IN THE AIRPORT TRAFFIC CONTROL TOWER OR AN ADJACENT CONTROL OWER OR AN ADJACENT CONTROL OWER OR AN ADJACENT CONTROL OWER OR AND ADJACENT CONTROL OWER BUILDING WHERE BUILDING FUNCTIONS ARE INTERCEPENDENT. HERADI-111.3.48.2

 42. THE EMERGENCY COMMAND CENTER SHALL CONTAIN THE FOLLOWING
- (1) FIRE DEPARTMENT TWO-WAY TELEPHONE COMMUNICATION VICE PANELS AND CONTROLS
 FIRE DETECTION AND FIRE ALARM SYSTEM CONTROL UNIT
- AND ANNUNCIATOR
 (3) ELEVATOR FLOOR LOCATION AND OPERATION
- (a) ELEVATOR FLOOR LOCATION AND OPERATION ANNUNCIATOR FIRE RECALL SWITCH IN ACCORDANCE WITH ANNUNCIATOR FIRE RECALL SWITCH IN ACCORDANCE WITH ASWEAL, 71 (AS BA44, SAFETY CODE FOR ELEVATORS AND ESCALA OF A SAME AND ANNUNCIATORS FOR SYSTEMS SUPPORTING SWICE PROFO FOR COSUMES (6) SPRINKLER VALVE AND WATERFLOW ANNUNCIATORS (7) EMPRESIONY GENERATORS STATUS INDICATIONS AND STATUS INDICATORS (8) SCHEMATIC BUILDING PLANS INDICATIONS A TYPICAL FLOOR PLAN AND DETAILING THE BUILDING CORE, MEANS OF EGRESS, FIRE PROFICETION SYSTEMS, FIRE-FIGHTING EQUIPMENT, AND SMOKE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS TATUS FAILURS THE PROFILE OF THE
- WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS

 (9) FIRE PUMP STATUS INDICATORS

 (10) TELEPHONE FOR FIRE DEPARTMENT USE WITH CONTROLLED ACCESS TO THE PUBLIC TELEPHONE SYSTEM

 (11) AN APPROVED BUILDING INFORMATION CARD THAT CONTAINS, BUT THE FOLLOWING INFORMATION AND CONTROL TO THE FOLLOWING INFORMATION FOR THE PUBLIC OF THE FOLLOWING INFORMATION FOR THE SUILDING INFORMATION THAT INCLUDES PROPERTY NAME, ADDRESS, THE NUMBER OF FIGORS IN THE BUILDING FORCE AND BELOW GRADE, USE AND OCCUPANCY CLASSIFICATION (FOR MIXED USES, IDENTIFY THE DIFFERENT TYPES OF OCCUPANCIES ON EACH FLOOR), AND ESTIMATED BUILDING FORCE AND CONTACT INFORMATION THAT INCLUDES A LIST OF THE BUILDINGS EMPREGENCY CONTACTS

 (6) BUILDING MANAGER, BUILDING EMPRICANCY CONTACTS

 (6) BUILDING MANAGER, BUILDING EMPRICANCE, ETC.) AND THEIR RESPECTIVE WORK PHONE NUMBERS, CELL PHONE NUMBERS, CALL PHONE NUMBERS, AND ESMAL ADDRESSES
- RESPECTIVE WORK PHONE NUMBERS, CELL PHONE NUMBERS, AND EMAIL ADDRESSES

 AND EMAIL ADDRESSES

 OF THE OFFICE OF STREET OF THE STREET OF THE OFFICE OF STREET OF THE OFFICE OF STREET OF STRE
- (d) EXT STAR INFORMATION THAT INCLUDES COMERCE OF CALL

 EXTENDED TO THE CONTROL OF THE CONTROL OF CALL

 EXCENSION SERVICES AND EXTENDED THAT THAT ALLOWS SERVICES THAT ARE PRESSURIZED. EXT STAIRS IN
 CHARGES, EXIT STARS THAT ARE PRESSURIZED. EXIT STAIRS IN
 FROUNDED WITH EMERGENCY LIGHTING, EACH EXIT STAIRS THAT

 ALLOWS REENTRY, AND EXIT STAIRS PROVIDING ROOF ACCESS

 (e) LELEVATOR MADE EXIT STAIRS PROVIDING ROOF ACCESS

 ELEVATOR BANKS, ELEVATOR BANK DISEASANDE, ELEVATOR CALL

 LOCATION OF ELEVATOR MACHINE ROOMS, LOCATION OF SYLV

 LOBBY, AND LOCATION OF FREIGHT ELEVATOR BANKS

 (f) BUILDING SERVICES AND SYSTEM INFORMATION THAT

 INCLUDES THE LOCATION OF MECHANICAL ROOMS, LOCATION OF

 ALL FILE CILL TANKS, LOCATION OF EIGRERENCY GENERATOR,

 (g) FRIER PROTECTION SYSTEM INFORMATION THAT INCLUDES

 LOCATIONS OF STANDIPIES, LOCATION OF FIRE PLUP ROOM,

 LOCATION OF FIRE DEPARTMENT CONNECTIONS, FLOORS

 LOCATIONS OF FIRE DEPARTMENT CONNECTIONS, FLOORS,
- WET, PREACTION)
 (h) HAZARDOUS MATERIAL INFORMATION THAT INCLUDES

- HAZARDOUS MATERIAL

 (12) WORKTABLE
 NFPA1D1-11.34.8.3

 5 COMPLANCE WITH THE CODE REVIEW AND APPROVAL BY
 THE ANJ SHALL NOT RELIEVE THE APPLICANT FROM THE
 RESPONSIBILITY OF COMPLIANCE WITH THIS CODE
 NFPA:1:144
- FIRE APPARATUS ACCESS PLANS PLANS FOR FIRE APPARATUS ACCESS ROADS SHALL BE SUBMITTED TO THE APJ FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION NFPA-1:18,1.3.1
- 7 FIRE HYDRANT SYSTEMS PLANS AND SPECIFICATIONS FOR FIRE HYDRANT SYSTEMS SHALL BE SUBMITTED TO THE AHJ FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION NFPA-1:18,13.2
- DODSSOOD ASSEMBLY, WHEN USED FOR THE FIRE SERVICE PROVIDER ACCESS AS REFERRED TO IN THIS CODE OR THE FIFE, EXCEPT IN CHAPTERS WHERE OTHER CONFIGURATIONS ARE SPECIFICALLY PERMITTED. SHALL MEAN A SIDE HANGED, SWINGING TYPE GENESE EXTERIOR DOORDOOR ASSEMBLY THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE OF THE OWNELING UNIT OR BUILDING.
- 9 REQUIRED ACCESS, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTION OR RELOCATED NFPA-118.2.1.1
- 10 FIRE DEPARTMENT ACCESS ROADS SHALL CONSIST OF ROADWAY, FIRE LANES, PARKING LOT LANES, OR A COMBINATION THEREOF, NFPA-1:16,2,3,1,2
- 11. WHEN FIRE APPARATUS ACCESS ROADS CANNOT BE INSTALLED DUE TO LOCATION ON PROPERTY. TORRORAPHY. WATERWAYS, NONNEGOTIABLE GRADES, OR OTHER SIMILAR CONDITIONS, THE AHJ SHALL BE AUTHORIZED TO REQUIRE ADDITIONAL FIRE PROTE
- 12. FIRE LANES SHALL BE PROVIDED FOR ALL BUILDINGS WHICH ARE A SETBACK OF MORE THAN 150 FROM A PUBLIC ROADWAY, OR WHICH EXCEED 31' IN HEIGHT AND ARE SETBACK OVER 50' FROM A PUBLIC ROAD FIRE LANES SHALL BE AT LEAST 20 FEET IN WIDTH WITH ROAD EDGE CLOSEST TO THE BUILDING AT LEAST TEN FEET FROM THE BUILDING AT LEAST TEN FEET FROM THE BUILDING.
- 13. ACCESS TO BUILDING A FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT. OF A SINGLE EXTENDOR DOOR THAT CAN BE OPERED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTENIOR OF THE BUILDING NPA1-118_21_X1 FOR THE PURPOSES OF THIS SECTION. A SINGLE EXTERIOR DOOR SHALL BE IN COMPULANCE WITH BELCA.FT.01_Z1JJ.
- 14. WHERE A ONE-OR-FAMILY DWELLING, OR TOWNHOUSE, IS PROTECTED WITH AN APPROVED AUTOMATIC SPRINKER SYSTEM THAT IS INSTALLED IN ACCORDANCE WITH NFPA 130 OR NFPA 13R, AS APPLICABLE, THE DISTANCE IN 18 2-12.1 SHALL BE PERMITTED TO BE INCREASED TO 150FT. NFPA-118-2-3-2.1.1
- WHEN REQUIRED BY THE AHJ ROADS(S) OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE PROVIDING ACCESS TO MAIN EN HOWCE DIDDR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 1-18.2.3.4.1.1 AND NFPA 1-18.2.3.4.1.2. NFPA-1:18.2.3.2.1.2
- 16 FIRE APPRATUS ACCESS ROADS SHALL BE PROVIDED SUCH HAT MAY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTEROR WALL OF THE REST STORY OF THE BUILDING IS LOCATED NOT MOBE THAN 150 FT. (450 FT. FOR SPRINKLERED BUILDINGS) FROM FIRE APPRATUS ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OR THE BUILDING OR FACILITY, NFPA-1:18-2.3.2.2 AND NFPA-1:18.2.3.2.2.1
- 17. MULTIPLE ACCESS ROADS. MORE THAN ONE FIRE APPARATUS ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE MAI THAT ACCESS BY A SINGLE ROAD COLLD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATE CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS IMPA-118.25
- 18 DIMENSIONS FIRE APPARATUS ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNDSSTRUCTED WIDTH OF NOT LESS THAN 20FT. NFPA-1:18.2.3.5.1.1
- NOTE: THE MINIMUM 20FT, WIDTH REQUIRED BY NFFA-1:18.2.3.5.1.1 ALLOWS FOR TWO-WAY VEHICULAR TRAFFIC AND FOR ONE FIRE APPARATUS TO PASS WHILE ANOTHER IS WORKING AT A FIRE HYDRANT OR CONDUCTING AERIAL OPERATIONS.
- DRIVING LANES DRIVING LANES SHALL HAVE A MINIMUM CLEAR WIDTH OF 24 FEET FOR TWO-WAY TRAFFIC, 15 FEET FOR ONE-WAY TRAFFIC COPP CO 154 35 (5)
- 16 TURNING RADIUS FIRE ACCESS ROADS SHALL BE A MINIMUM IDENTING RAQUES PIER ALCESS NOVAS STAKEL DE AMMINION CENTERLINE TURNING RADIUS OF 50°, SHOW MIN 32 INSIDE RADIUS AND MIN 82° OUTSIDE RADIUS THROUGHOUT AREA SHOW A SHADED TRUCK ROUTE INCLIDING ENTERING AND LEAVING THE SITE WITH THE ABOVE TURNING RADIUS NUMERALS ON PLANS SHOWN THROUGHOUT. COPPENSINEERING DEPARTMENT VERIFICATION IS REQUIRED
- a. NOTE: "ALL CENTERLINE TURNING RADII MUST BE A MINIMUM

- 50 FEET COPP CO 154.35 (3)
- NOTE: A SEPARATE SHEET MUST BE PROVIDED WHEN THE PLANS ARE SUBMITTED DEMONSTRATING THE FIRE APPARATUS ABILITY TO MANEUVER THROUGHOUT THE FIRE ACCESS ROAD USING THE FIRE APPARATUS SPECIFICATIONS PROVIDED.
- 17. OBSTRUCTIONS AND CONTROL OF FIRE DEPARTMENT ACCESS ROADS. THE REQUIRED WIDTH OF A FIRE APPARATUS ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES, NPPA-1:18, 2,5,1,1
- 18. FACILITIES AND STRUCTURES SHALL BE MAINTAINED IN A
- 19 VERTICAL CLEARANCE. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13FT, 6IN. NFPA-1:18.2.3.5.1,2
- 20 THERE SHALL BE A 14' MINIMUM WIDTH AT LEVEL 6' TO 8' FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE 21 MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.5 SHALL BE MAINTAINED AT ALL TIMES NFPA 1-18.2.4.1,2
- 22. SURFACE, FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHTING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. NPPA-112 2.3.2.
- a NOTE: ROADS DURING CONSTRUCTION
- 23 HARD COMPACTED SURFACE SUPPORTING 32 TONS SHALL BE PROVIDED ON ROADS FOR FIRE APPARATUS TO ACCESS BUILDINGS UNDER CONSTRUCTION
- 24 DEAD ENDS. DEAD END STREETS SHALL BE PROHIBITED, EXCEPT WHERE APPROPRIATE AS STUBS TO PERMIT FUTURE STREET EXTENSION INTO ADJOINING UN-SUBDIVIDED TRACTS OR WHEN DESIGNED AS CUL-DE-SACS COPP CO 154.32 (K)
- 25 DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FT IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE FIRE APPARATUS TO TURN AROUND, NFPA-118 2.3.5.4
- a NOTE: ACCEPTABLE TURNAROUNDS CAN INCLUDE A CUL-DE-SAC, AT-TURN, OR A Y-TURN, CLUDE-SAC, AT-TURN, OR A Y-TURN, CLUDE-SACS SUCU-B-SACS PERMANENTLY DESIGNED AS SUCH, SHALL NOT EXCEED 400' IN LENGTH EXCEPT ON PINEGR ISLANDS CUL-DE-SACS SHALL BE PROVIDED AT THE CLUSED FROM COLUMN COLU
- 26 GRADE THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT AND SHALL BE SUBJECT TO APPROVAL BY THE API NPT-1122 3.55.62
- 27. FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT BEYOND EACH EDGE OF THE FIRE APPARATUS ACCESS ROAD NFPA-1:162-3-3-3.3 28 TRAFFIC CALMING DEVICES THE DESIGN AND USE OF
- NOTE: THE AHJ WILL NOT APPROVE SUCCESSIVE TRAFFIC CALMING DEVICES SUCH AS RUMBLE STRIPS OR SPEED HUMPS THAT CAUSE A DELAY IN RESPONSE TIME AND OR ALTER PATIENT CARE
- 29 MARKING OF FIRE APPARATUS ACCESS ROAD WHERE ROUNED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED TO IDEED FOR APPARATUS ACCESS ROADS OR TO POR
- 30 FIRE LANE MARKING. THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBGODIANTE APPOINTED BY HISH TO THE FIRE CHIEF OR A SUBGODIANTE APPOINTED BY HISH TO THE PROPERTY THIS DUTY SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES COMP CO SALT.
- 31. FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING, OR MARKING OF CURBS AND ROADWAY BETYMEEN EACH FIRE LANE; SIGN(S) SHALL BE PROVIDED, SEE FIRE LANE DETAIL.
- 32 FIRE LANE SIGN(S) SHALL BE 18" BY 24" AND SHALL BE PINE LANE. SIGNIS) SHALL BE 18' BY AT AND SHALL BE MARKED WITH REGESTADING SIGNIS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING, SUCH SIGNS SHALL BE IZ IN BY 18 IN WITH WHITE BACKGROUND AND RED LETTERS AND SHALL BE AMAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO BE THE BOTTOM PART OF THE SIGNIS SHALL BE WITHIN SIGNIF OF THE TRAFFOR THE SIGNIS SHALL BE WITHIN SIGNIF OF THE TRAFFOR THE SIGNIS SHALL BE OFFICE APART. NFPA-1:18 2.3.6.3

- 33 A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SMALL BE MADE AVAILABLE AS SOON AS SIGNIFICANT COMBUSTIBLES MATERIAL ACCUMULATES. NPPA-1:16.3.3.1.1
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. NFPA-1:16.5.3.1.3
- 35 WATER SUPPLIES AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HERBAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 16.4 RFPA-116.3.1
- 36 FIRE FLOW CALCULATIONS FOR MANUAL FIRE SUPPRESSION PURPOSES ARE REQUIRED TO BE PROVIDED IN ACCORDANCE WITH NFPA-1:18 4.

- WITH REPAYING A.

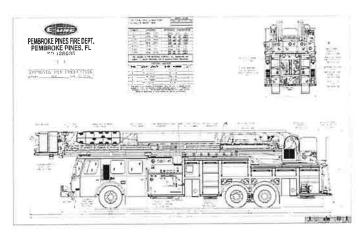
 NOTE FIRE FOW CAL CULATIONS MUST BE PROVIDED ON SEPRANTE SHETTS PRIGHT TO APPROVAL OF ENGINEERING PERMATERS SHETS PRIGHT TO APPROVAL OF ENGINEERING PERMATERS FOR FOR FOR THE SHE FLOW THE SHE WITH SESSED BY A PROFESSIONAL ENGINEER.

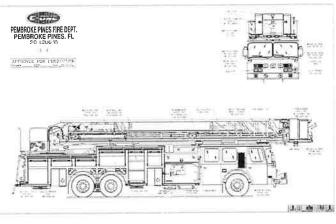
 NOTETHER FIRE FLOW TEST MUST BE WITH SESSED BY A PROFESSIONAL ENGINEER.

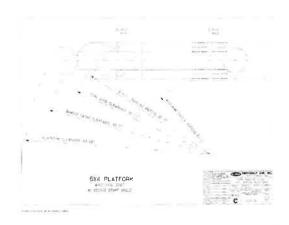
 NOTETHER FIRE FLOW TEST MUST BE WITH SESSED BY A PROMOTE OF PRICE MORE FIRE FOR ANY TO SHE WITH SESSED BY A SHE SHE WITH SHE WITH SESSED BY A SHE SHE WITH SESSED BY A SHE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. MPPA-1:18.51

 NOTE: FIRE HYDRANTS AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE ACCESSIBLE TO THE FIRE COLORADIO.
- FIRE DEPARTMENT.
 FIRE HYDRANTS AND CONNECTION TO APPROVED WATER FIRE HYDRANTS AND CONNECTION TO APPROVED WATER SUPPLIES MUST BE INSTALLED AND MAINTAINED IN A MANNER THAT ALLOWS THE FIRE DEPARTMENT TO ACCESS THE WATER SUPPLY POINT WITHOUT BEING DELAYED BY FENCES, SIGNS, AND OTHER OBSTRUCTIONS NFPA-1:18,512
- 37 FIRE HYDRANTS SHALL BE LOCATED NOT MORE THAN 12 FT FROM THE FIRE APPARATUS ACCESS ROAD NFPA-1:18.5,1,6
- 38 WHERE REQUIRED BY THE AHJ, FIRE HYDRANTS SUBJECT TO VEHICULAR DAMAGE SHALL BE PROTECTED UNLESS LOCATED WITHIN A PUBLIC RIGHT OF WAY, NFPA-1:18.5.8
- 39 MARKING OF HYDRANTS FIRE HYDRANTS SHALL BE MARKED WITH AN APPROVED REFLECTOR AFFIXED TO OR PROXIMATE TO THE FIRE HYDRANT WHERE REQUIRED BY THE AHJ NFPA-1158-50-1 40 FIRE HYDRAM'S IN ZONING CLASSIFICATIONS WITH LOWER RESIDENTIAL ZONING THAM R-3 SHALL BE INSTALLED ON A MINNAM OF A SHACH LOPED WATER LINE IN CITY RICHTS OF-MAY OR EASEMENTS WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING AS MEASURED ALONG STREETS OR ALEYS. COPP CO 93 22 (A)
- FIRE HYDRANTS IN ZONING CLASSIFICATIONS R-3 AND ALL FIRE HYDRANIS IN ZONING EXASSIFICATIONS AS AND ALL RESIDENTIAL CLASSIFICATIONS WITH GREATER DENSITY THAN R-3 SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR RESENEUR AND METHIN 200 EEFF OF THE ENTRANCE OF A
- 42. FIRE HYDRANTS IN ALL COMMERCIALLY AND BUSINESS ZONED AREAS SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT. INCH LOOPED WATER LINE IN CITY RIGHTS, OF WAY OR EASEMENTS AND SHALL NOT BE SPACED NOT FURTHER THAN 500 FEET APART AS MEASURED ALONG STREET OR ALLEYS COPP CO 32.35 (C).
- 43 FIRE HYDRANTS 4 ½, INCH STREAMER CAP SHALL FACE THE NEAREST ROADWAY, SHALL BE BETWEEN 24 INCHES AND 30 INCHES ADD 30 AND PEGUIRE A BLUE REFLECTOR IN CENTER OF ROADWAY IN FRONT OF THE HYDRANT, COPP CO 93.23 (6) NOTE: FIRE HYDRANT DETAIL TO BE PROVIDED ON SUBMITTAL.
- 44. NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND LOCATED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. COPP CO 93.25 (F)
- 45 IN EVERY CASE, AT LEAST TWO FIRE HYDRANTS SHALL BE WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE WITHIN 400 FEET OF THE ENTRACE OF ANY VILLORS
 BUILDING, AND BE SPACED 500 FEET APART THROUGHOUT
 MEASUREMENTS TAKEN AS THE FIRE TRUCK TRAVELS COP!
 CO 93 25 (G) ENGINEERING DEPARTMENT VERIFICATION
 REQUIRED.
- 46 FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT FROM THE NEAREST FIRE HYDRANT
- 47. LOCATION OF FIRE DEPARTMENT CONNECTIONS FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED AND ARRANGED SO THAT HOSE LINES CAN BE ATTACHED TO THE INLETS WITHOUT INTERFERENCE FROM NEARBY OBJECTS,

- INCLUDING BUILDINGS, FENCES, POSTS, LANDSCAPING, NFPA-14:6 4.5 1.1 (2019 ED.)
- 48 FIRE DEPARTMENT CONNECTIONS SHALL BE VISIBLE AND RECOGNIZABLE FROM THE STREET OF NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY OR ON THE STREET SIDE OF BUILDING NFPA-418-4,5-1 (2019 ED.)
- 50 EACH FIRE DEPARTMENT CONNECTION SHALL BE DESIGNED BALT HEADER AN INSTANCE OF THE ATTEMPT OF WARTHER STREET AND THE ALL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS, HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1 IN IN HEGIST ON PLATE OF FITTED READING SERVICE SIGN THAT SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACEN TO THE CONNECTION OR ON THE CONNECTION SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTERIERS - FOR EXAMPLE, UTOSPKR, OPEN SPRINKLER, AND STANDPIPE AS PPLICABLE NFPA-14:6 4 5.2 (2019 ED.)
- 51. THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18 IN. NOR MORE THAN 48 IN. ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE NFPA-14-6-4.8 (2019 ED.)
- 52 PEMBROKE PINES FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED AT 3 FT. ABOVE GRADE
- 53 POINT OF SERVICE THE POINT OF SERVICE FOR THE FIRE USE MUST BE SHOWN AND LABELED ON THE WATER GAIN, SHETS (THIS IS THE TIE IN WARRE THE WATER IS BEING USED EXCLUSIVELY FOR THE SPRINKLER/STANDPIPE SYSTEM).
- 54 ANY UNDERGROUND WORK COMMENCING AT THE POINT OF SERVICE SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS SPECIFIED IN FSS 633.102
- 55 BACKFLOW PREVENTION VALVES, MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FORWARD FLOW TESTS AT SYSTEM AT A MINIMUM FLOW RAT OF THE SYSTEM DEMAND INCLUDING HOSE ALLOWANCE VHERE APPLICABLE NFPA-13:16.14.5.1 (2019 ED.)
- 56. THE FULL FLOW TEST OF THE BACKELOW PREVENTION VALVE THE FILL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE. A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTOR LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT. WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPUSIBLED, CLOSED LOOP FLOW CAN BE ACCEPTABLE FOR STEM TO SHOW THE CANDED THE CONTROL OF THE STEED WITH A CONTROL OF THE STEED STEED WE METHOD OF 19 3 2 WITH THE INCLUSION OF FRICTION LOSS FOR THE DEVICE. NFPA-13:A 18.14.5.1 (2019 ED.)
- 57, TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS, NFPA-1:11.10
- 58 IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ NFPA-1:11.10.2
- 59 THE OWNER'S REP OR GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS.
- 60 PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITION WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRASTRUCTURE TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED. 61 AN ASSESSMENT WILL BE CONDUCTED BY THE OWNERS REP OR GC TO DETERMINE IF THE MINIMUM RADIO SIGNALS STERIGHT FOR FIRE DEPARTMENT COMMUNICATION IN THE OCCUPANCY IS IN COMPILANCE, IN ACCORDANCE WITH NFPA-1-11.013 AND NFPA-72:24.5 2.2.1 THROUGH NFPA-72:24.5 2.2.3.
- 62 RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72 AND NFPA-24.
- 63 A TEST GRID (HEAT MAP) PLAN SHALL BE PRODUCED TO ENSURE TESTING THROUGHOUT THE BUILDING
- 64 SIGNAL LEVELS SHALL BE MEASURED TO ENSURE THE SYSTEM MEETS THE CRITERIA OF NFPA 24.5.2 WITH A MINIMUM INBOUND SIGNAL STRENGTH OF 45 DBM AND A MINIMUM OUTBOUND SIGNAL ON -95 DBM AT THE DONOR SITE









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NOT APPROVED FOR CONSTRUCTION

LAND **DEVELOPMENT** PLANS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

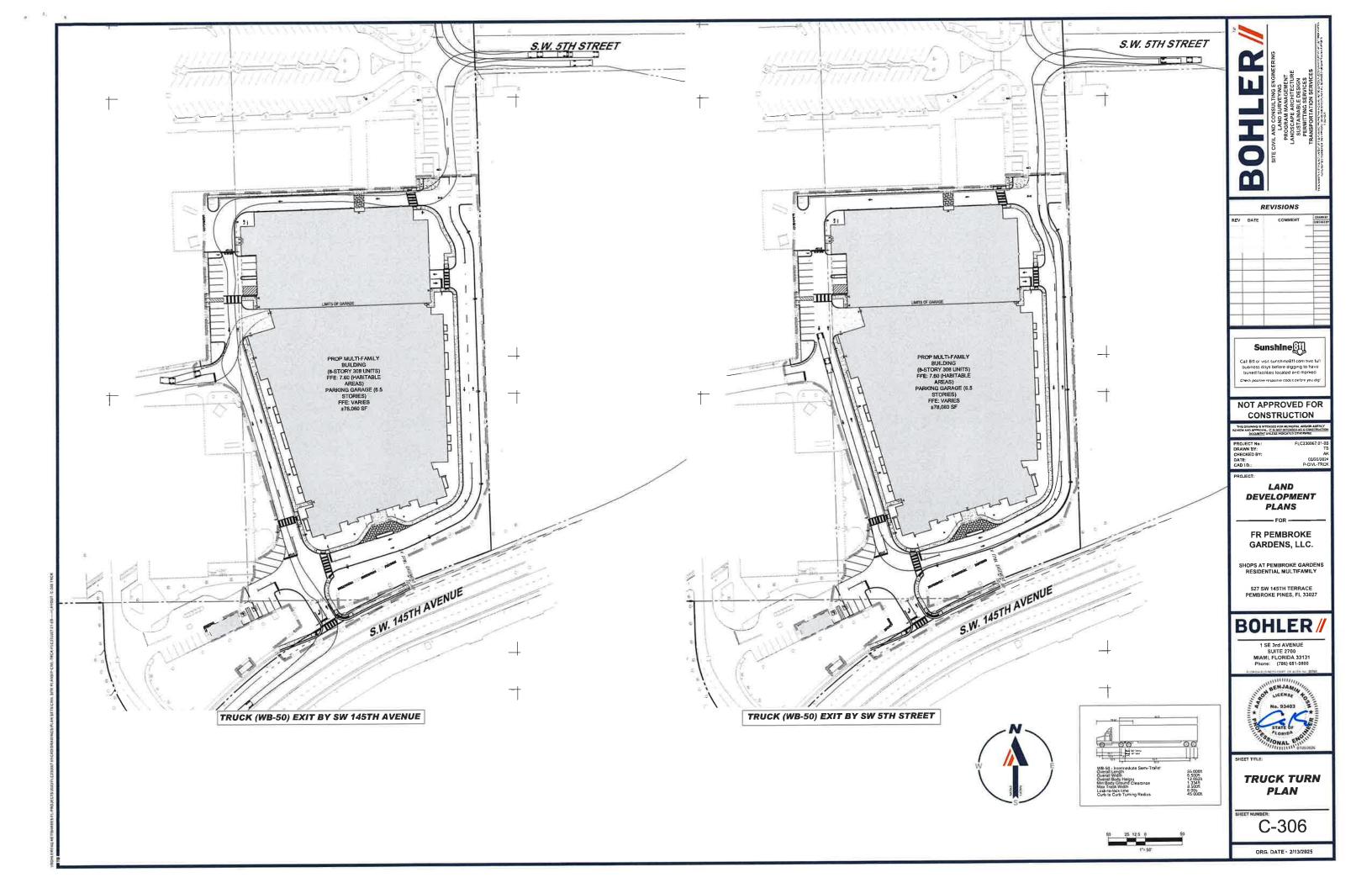
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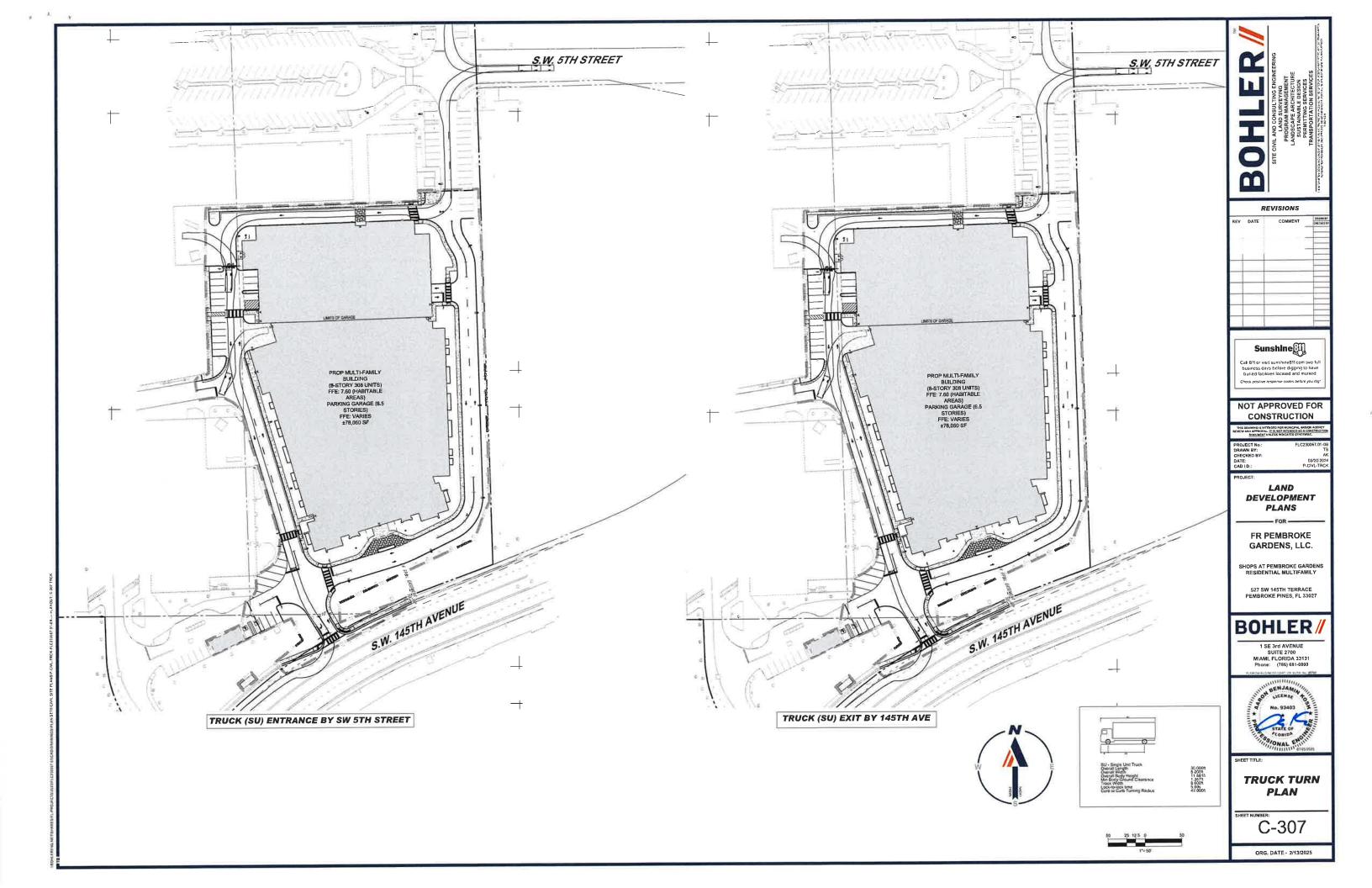
1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-080

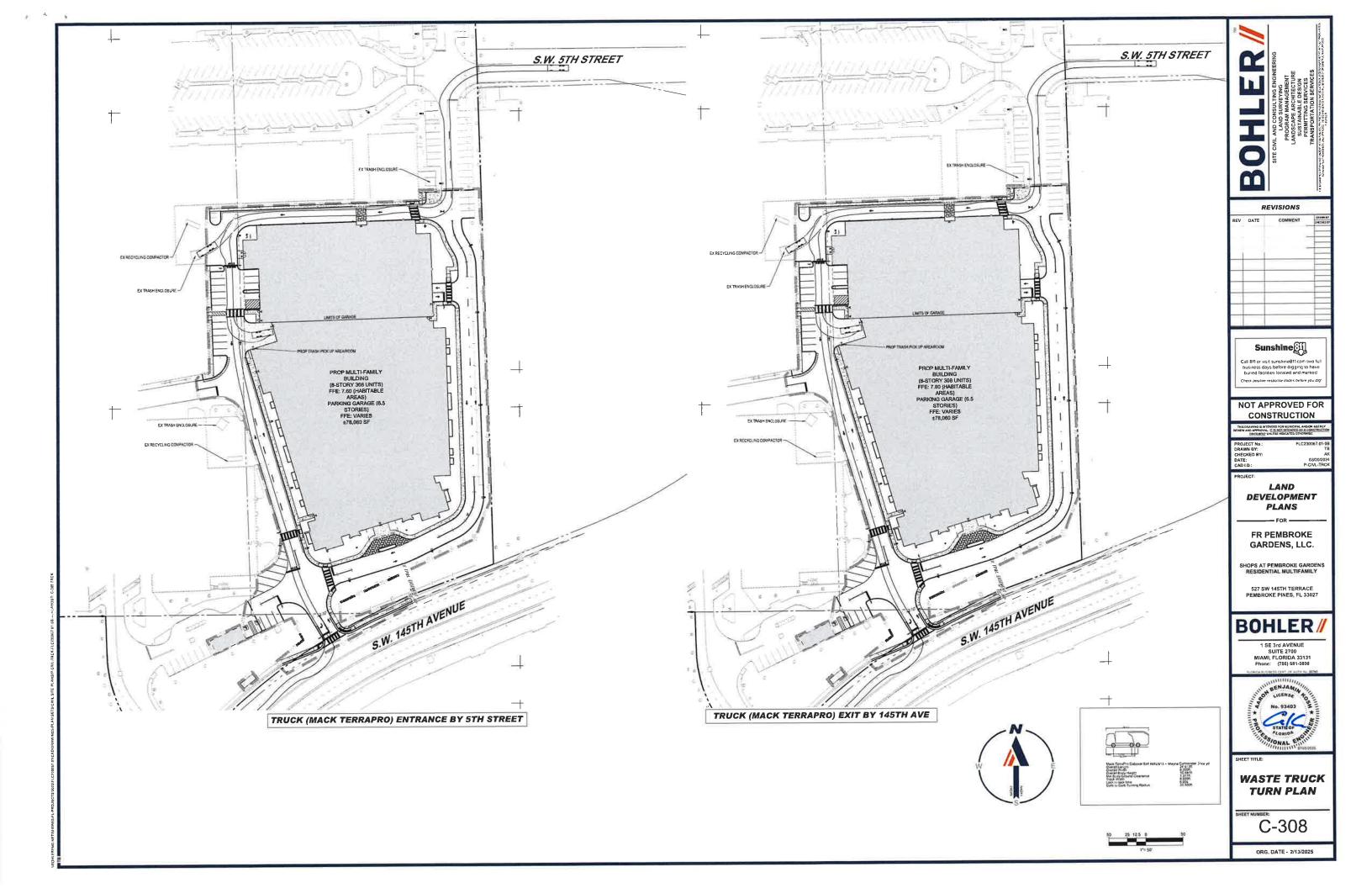


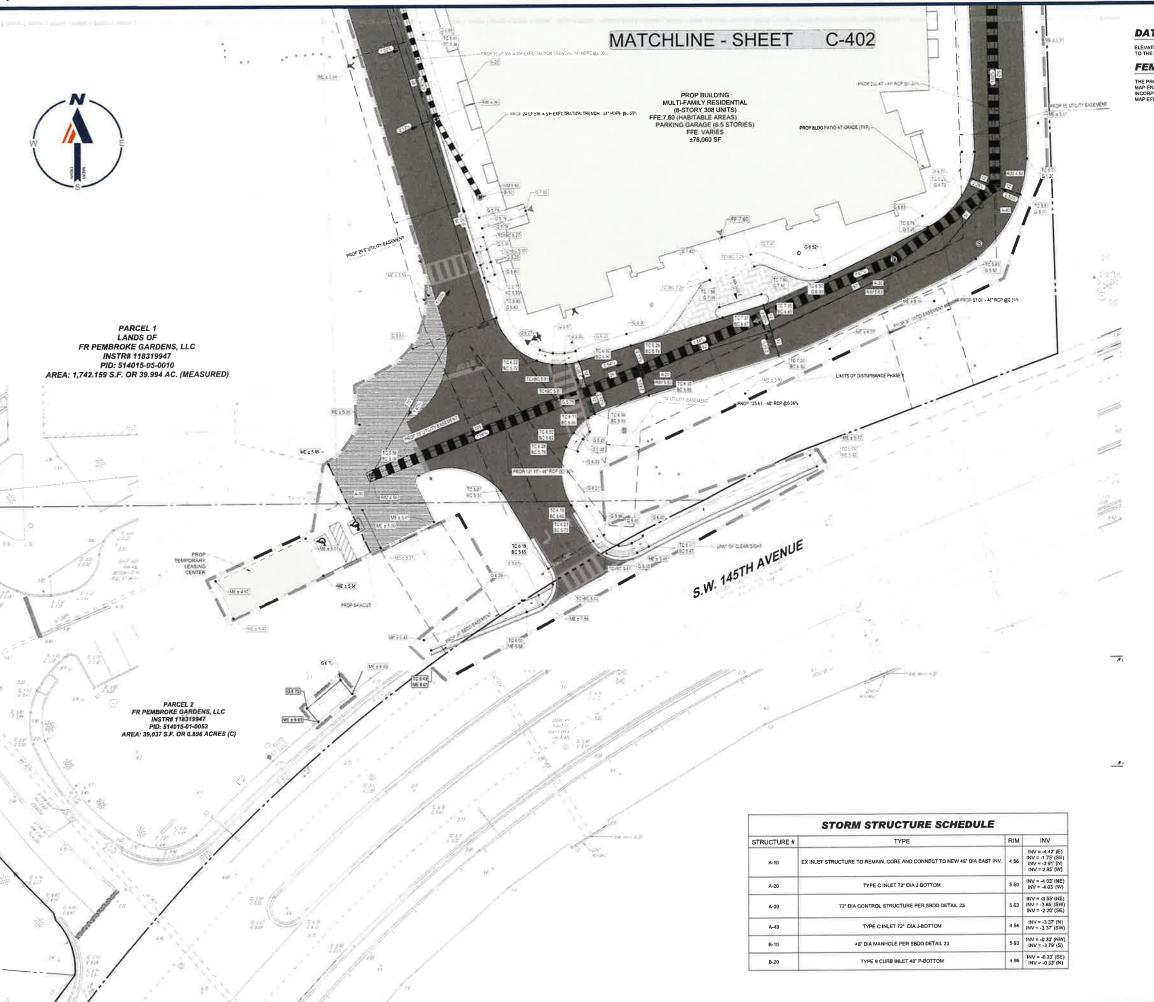
FIRE **APPARATUS** ACCESS **NOTES**

C-305









DATUM NOTE:

ELEVATIONS ARE BASED ON NAVD&B DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. "AH2267" WITH A PUBLISHED ELEVATION OF 35 70 FEET.

FEMA NOTE:

THE PROPERTY IS LOCATED IN FLOOD ZONE AE WITH BASE FLOOD ELEVATION OF 5 6 FEET PER MAP ENTITLED -FIRM, FLOOD INSURANCE RATE MAP, BROWARD COUNTY, FLORIDA AND INCORPORATED AREAS, PANEL 64 06 7 F31°, COMMUNITY-PANEL NUMBER 12011C0540,J. WITH A MAP EFFECTIVE DATE OF JULY 31, 2024.

LEGEND					
PROPO	SEC)			
STANDARD DUTY CONCRETE	15.	7	-	_	1
HEAVY DUTY CONCRETE	17			8	7.
BYANDARD DUTY ASPINALT					
MILLING AND OVERLAY					

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINANCE LE DESIGN
PERMITTING SERVICES
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Sunshine Call 811 or visit sunshine811 com two full business days before digging to have buried facilities located and marked

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CONSTRUCTION

THE DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
LEVEW AND APPROVAL. IT IS NOT INTENDED THE PROVINCE.

OCCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No :	FLC230067.0
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CADID:	P-CIVL-G

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LAND DEVELOPMENT PLANS

PLANS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER/

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800

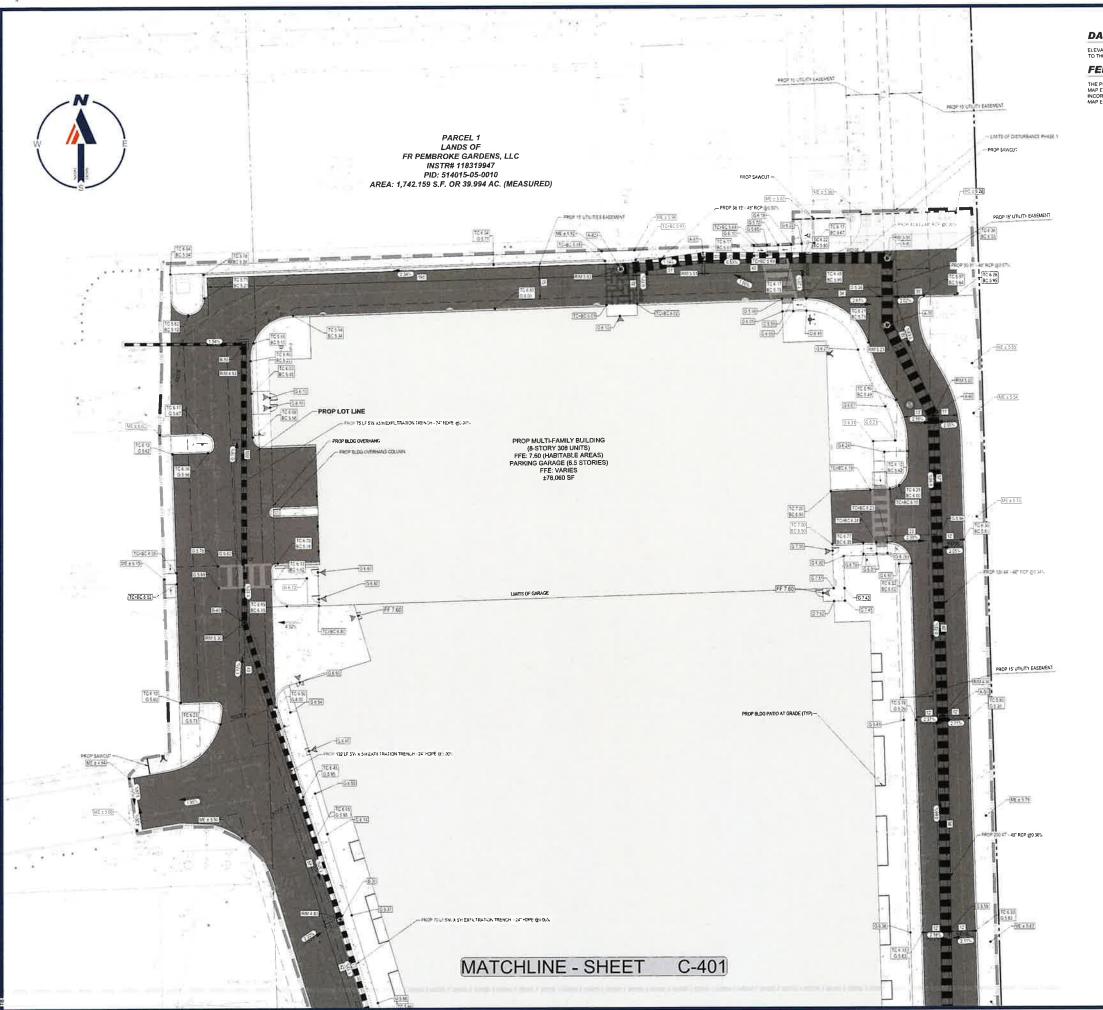


SHEET TITLE:

THIS PLAN TO BE UTILIZED FOR PAVING, GRADING AND DRAINAGE PURPOSES ONLY

PAVING, GRADING AND DRAINAGE PLAN

C-401



DATUM NOTE:

ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO "AM2267" WITH A PUBLISHED ELEVATION OF 35 70 FEET

FEMA NOTE:

THE PROPERTY IS LOCATED IN FLOOD ZONE AE WITH BASE FLOOD ELEVATION OF 6.6 FEET PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP BROWARD COUNTY" FLORIDA AND INCORPORATED AREAS PANEL 540 OF 751", COMMUNITY-PANEL NUMBER 12011C0540J WITH A MAP EFFECTIVE DATE OF JULY 31 2024

STORM STRUCTURE SCHEDULE					
STRUCTURE#	TYPE	RIM	INV		
A-50	TYPE C INLET 72" DIA J BOTTOM	4 96	INV = -277 (N) INV = -277 (S)		
A-60	TYPE C INLET 72° DIA J BOTTOM	5 00	INV = -2 31 (S) INV = -2 47 (NW)		
A-70	72° DIA MANHOLE PER SBDD DETAIL 23	5 23	NV = -2.37 (N) NV = -2.37 (SE)		
A-80	84° DIA MANHOLE PER SBDD DETAIL 23	5 55	INV = -2 09' (W) INV = -2 14' (S) INV = -1 68' (N)		
A-81	TYPE 9 CURB INLET 48" P BOTTOM	5 51	BW = -1.84"(E) BW = -1.84"(W)		
A-82	84" DIA MANHOLE PER SBDD DETAIL 23	5 93	INV = -1 72 (E) INV = -1 72 (N)		
B-30	TYPE 9 CURB INLET 48" P. BOTTOM	# 80	INV = -0 33 (S) INV = -0 33 (N)		
B-40	TYPE C INLET 48" P-BOTTOM	5 30	INV = -0 33 (S) INV = -0 33 (N)		
B-50	TYPE C INLET 48 P-BOTTOM	4 93	INV = -0.33" (S) INV = 1.33" (W)		

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Sunshine

business days before digging to have buried facilities located and marked

NOT APPROVED FOR CONSTRUCTION

LAND DEVELOPMENT

PLANS

FR PEMBROKE

GARDENS, LLC. SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE

BOHLER

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800

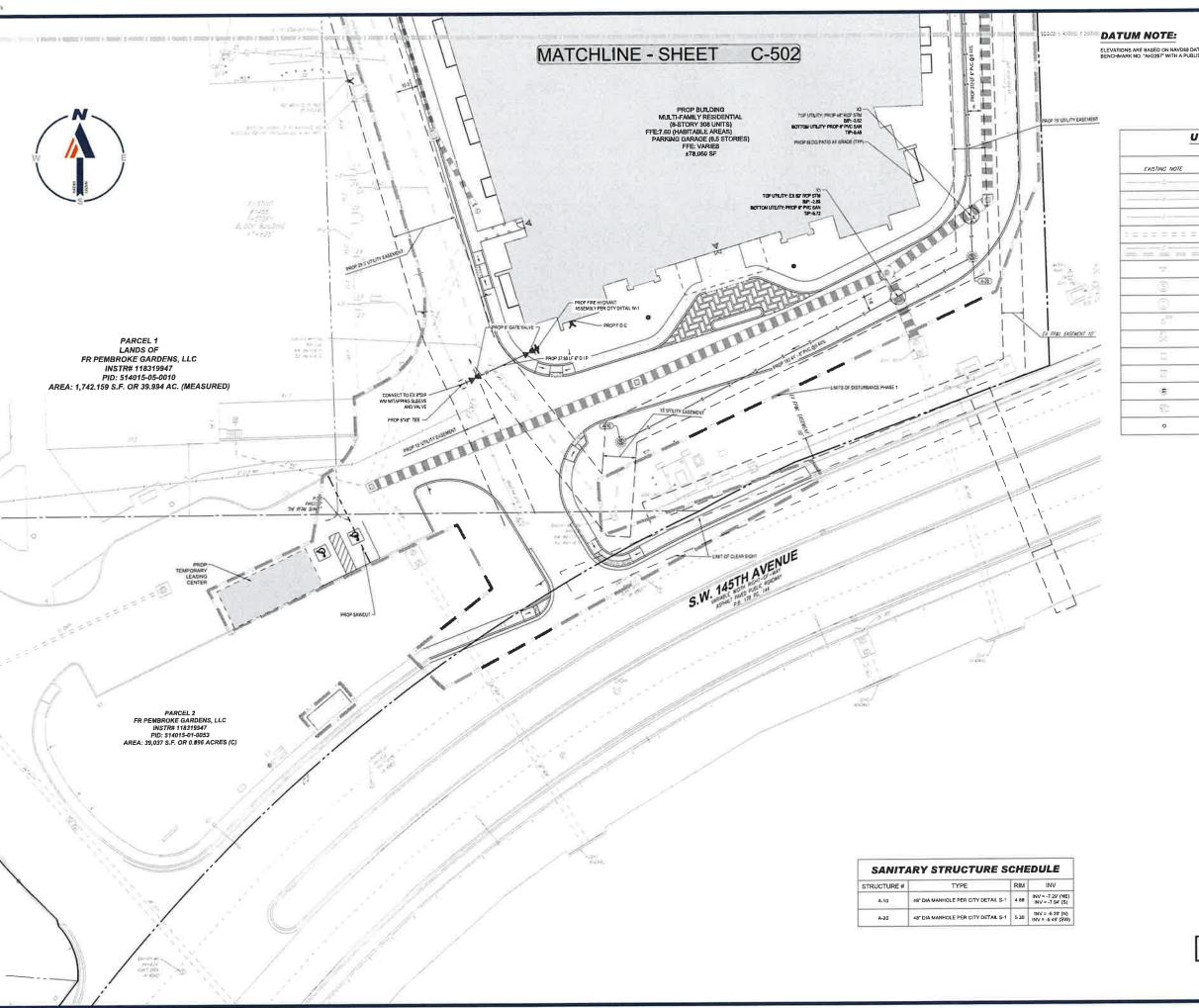


PAVING, **GRADING AND** DRAINAGE PLAN

C-402

ORG. DATE - 2/13/2025

THIS PLAN TO BE UTILIZED FOR PAVING, GRADING AND DRAINAGE PURPOSES ONLY



ELEVATIONS ARE BASED ON NAVDB8 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. "AH2267" WITH A PUBLISHED ELEVATION OF 8 20 FEET,

UTILITY LEGEND

XISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	
4	SANITARY SEWER LATERAL	sı	
	UNDERGROUND WATER LINE		
_/	UNDERGROUND ELECTRIC LINE	——Е——	
====	STORM SEWÉR		
	SANITARY SEWER MAIN	——s—	
200	HYDRANT	~	
3	SANITARY MANHOLÉ	(\$)	
3	STORM MANHOLE	D	
c EV	WATER METER	8	
\$	WATER VALVE	H	
	GAS VALVE		
E	GAS METER	G	
(6)	GRATE INLET	E	
F2:	CURB INLET	200	
0	CLEAN		



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NOT APPROVED FOR CONSTRUCTION

LAND DEVELOPMENT **PLANS**

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800

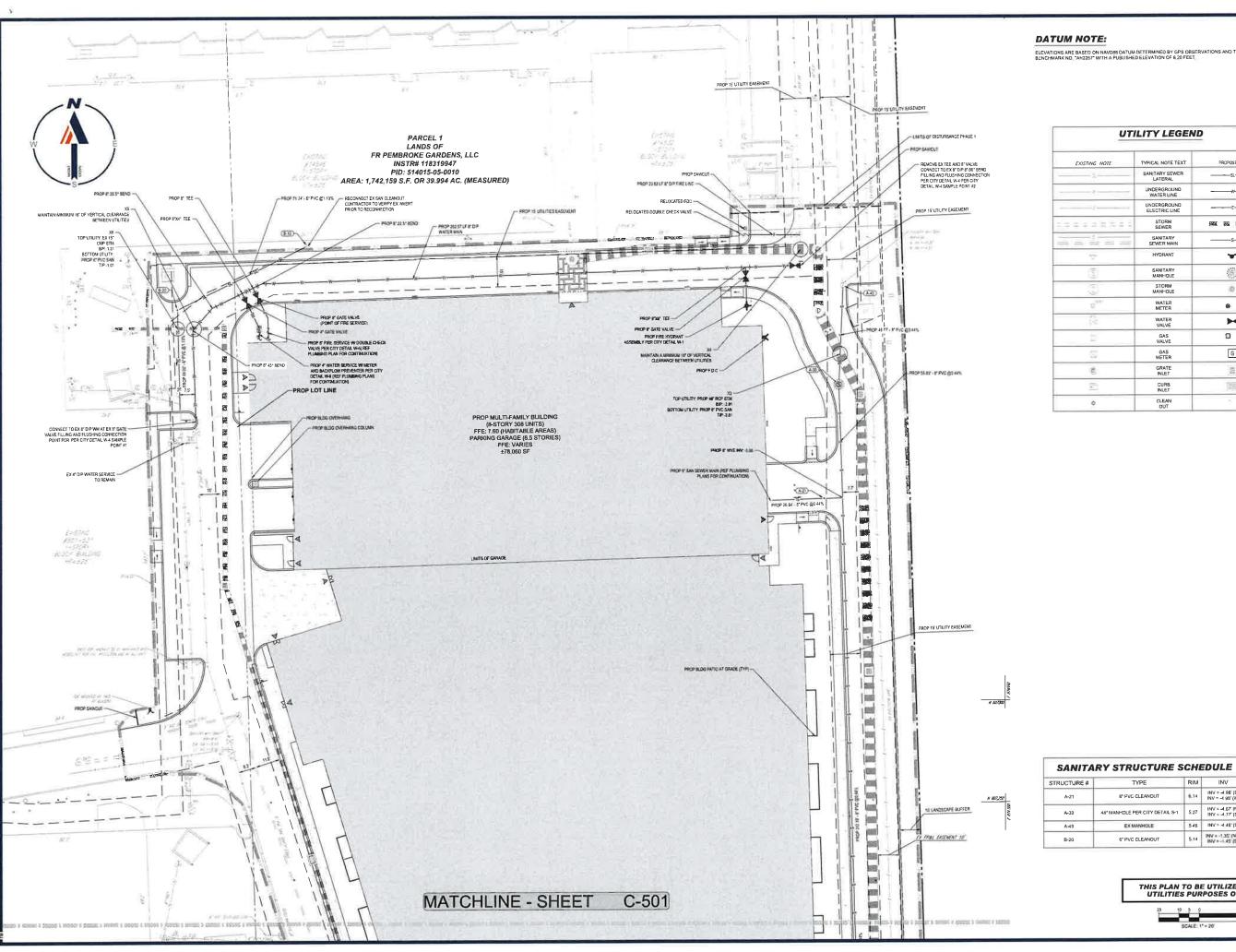


UTILITY PLAN

C-501

ORG. DATE - 2/13/2025

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY



DATUM NOTE:

ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK ND, "AH2267" WITH A PUBLISHED ELEVATION OF 6.20 FEET.

UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
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	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	——
	STORM SEWER	PART BULL PROPERTY.
	SANITARY SEWER MAIN	——-s——
- 0	HYDRANT	~
3	SANITARY MANHOLE	(9)
3	STORM MANHOLE	٥
8,000	WATER METER	8
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Sunshine

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NO APPROVAL IT IS NOT INTENDED AS A CONSTR

DOCUMENT UNLESS INDICATED OTHERWISE.

LAND DEVELOPMENT

PLANS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



UTILITY PLAN

C-502

ORG. DATE - 2/13/2025

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

14 INV = -4 98' (E)

546 INV = -446'(S)

S 14 INV = -1.35 (NE) INV = -1.45 (E)

8" PVC CLEANOUT

EXMANHOLE

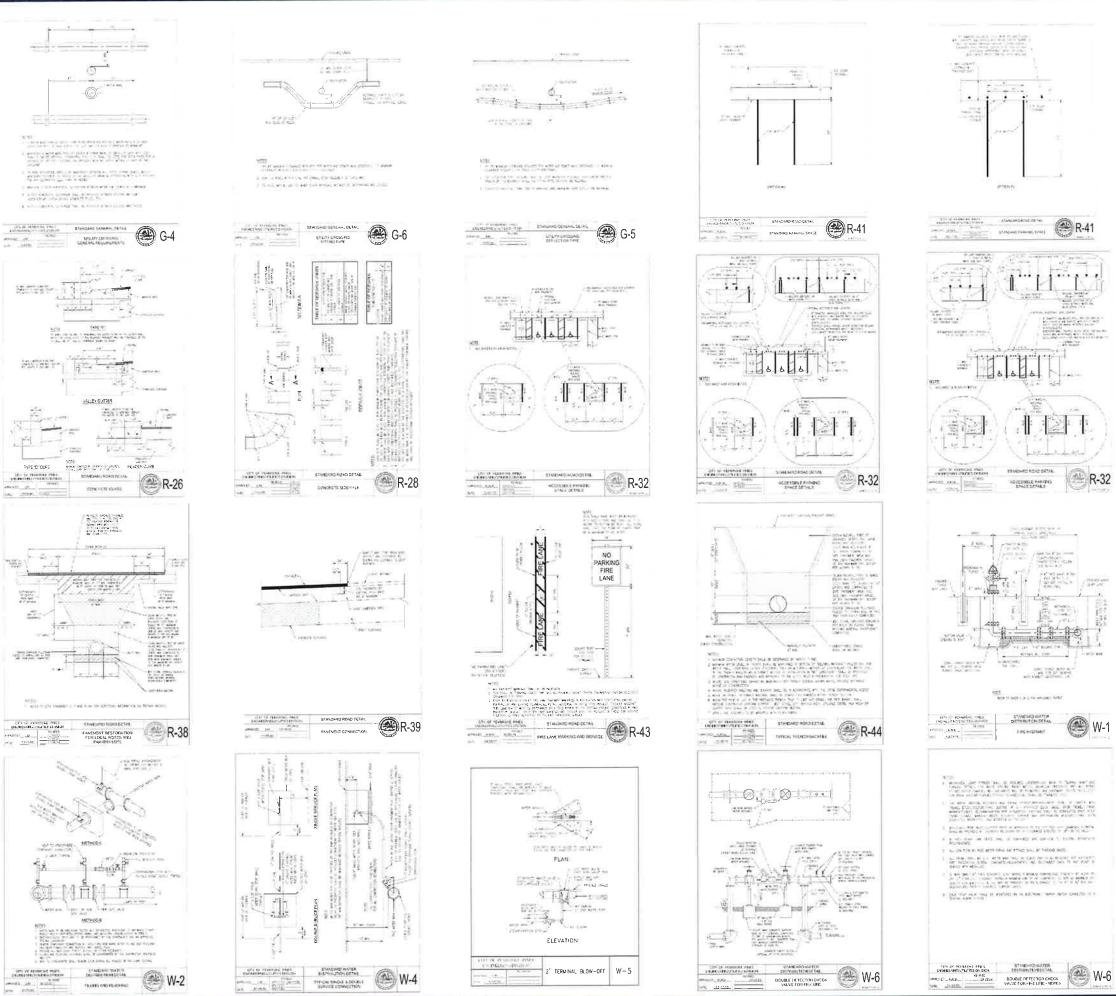
6" PVC CLEANOUT

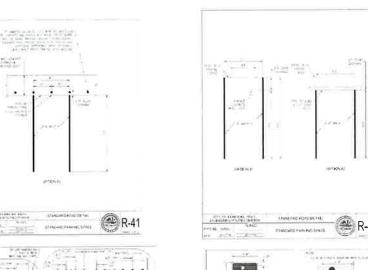
A-30

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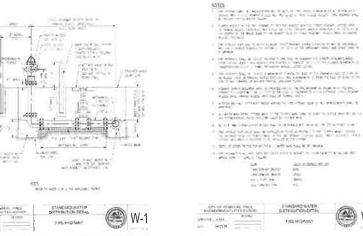
B-20

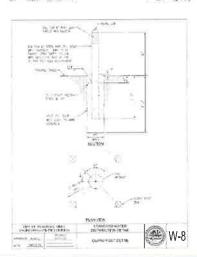
48" MANHOLE PER CITY DETAIL S-1 5 27 INV ≈ -4.67" (S) INV = -4.77" (S)













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DOCUMENT UNLESS INDICATED OTHERWISE

PROJECT NO: FLC230067.01-08
DRAWN RV: TB

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LAND DEVELOPMENT PLANS

___ FOR ____

FR PEMBROKE GARDENS, LLC.

HOPS AT PEMBROKE GARDEN RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 3302

BOHLER/

1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



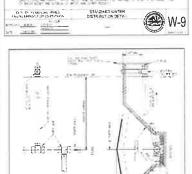
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CITY DETAILS

C-901

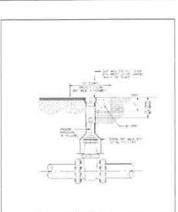


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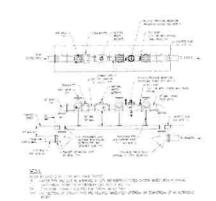


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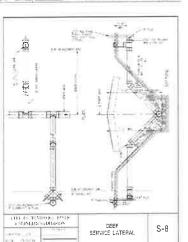


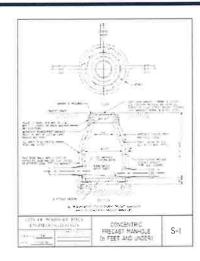


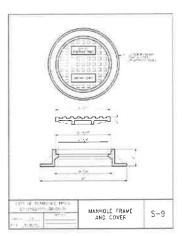
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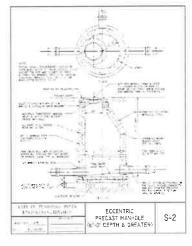


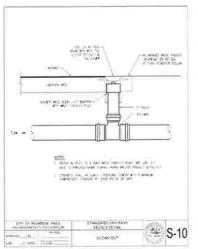


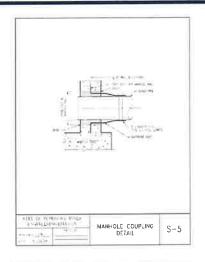


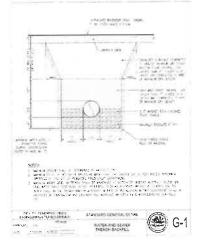


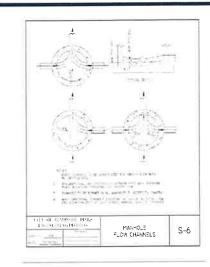
















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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGEN REVIEW AND APPROVAL IT IN WITH THE TOTAL AND/OR AGEN DOCUMENT UNLESS INDICATED OTHERWISE

LAND DEVELOPMENT PLANS

> FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

PEMBROKE PINES, FL 33027

BOHLER/

1 SE 3rd AVENUE **SUITE 2700** MIAMI, FLORIDA 33131 Phone: (786) 681-080



CITY DETAILS

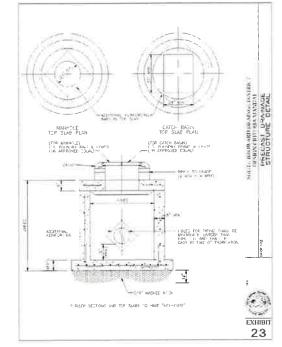
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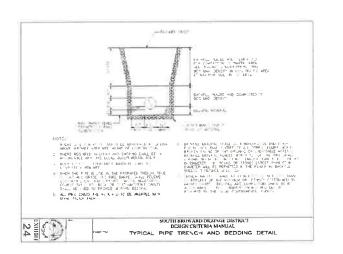
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EXHIBIT 17







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LAND DEVELOPMENT **PLANS**

03/20/2024 P-CIVL-CNDS

FR PEMBROKE GARDENS, LLC.

SHOPS AT PEMBROKE GARDENS RESIDENTIAL MULTIFAMILY

527 SW 145TH TERRACE PEMBROKE PINES, FL 33027

BOHLER/

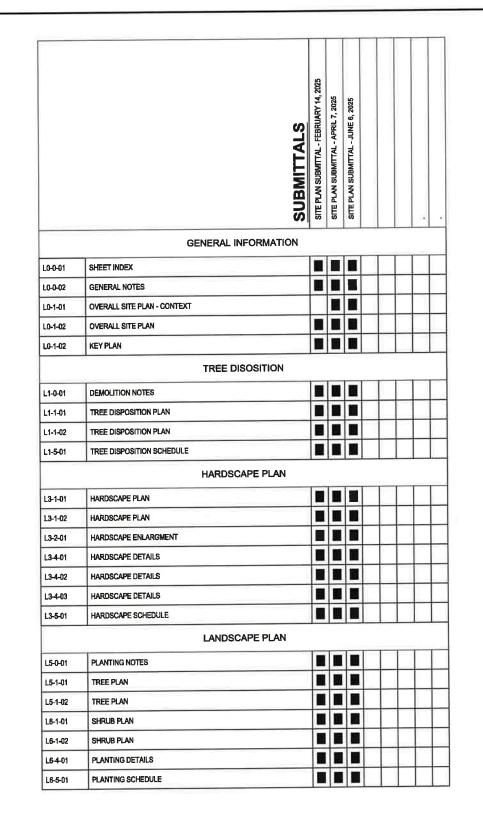
1 SE 3rd AVENUE SUITE 2700 MIAMI, FLORIDA 33131 Phone: (786) 681-0800



SBDD DETAILS

C-903

ORG. DATE - 2/13/2025



Project Name

PEMBROKE GARDENS

FEDERAL REALTY



ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Mierni, Florida, 33128

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miami, Florida, 33131

HINES, INC. IRRIGATION 600 Edwards Street Sulte 7102 Celebration, Florida, 34747

Rev Date Issued for

Date	JUNE 6, 2025
Designed By	МН
Drewn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



Jeffre Digitally signed by Jeffrey R Suiter Date: 2525,07.23
Suiter 5000

SITE PLAN SUBMITTAL

SHEET INDEX

L0-0-01

GENERAL NOTES:

- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED TO EDSA AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. EDSA AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- 2. THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS, OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
- 3. DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT
- 4. ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PREFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
- 5. ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
- 6. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
- 8. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS
- 9. ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- 10, EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED BY BARRICADES ERECTED PRIOR TO COMMENCEMENT OF ANY SITE DEMOLITION, CLEARING, OR GRADING. SEE DEMOLITION/SITE CLEARING NOTES FOR ADDITIONAL REQUIREMENTS.
- 11. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL

HARDSCAPE NOTES:

- 1. PRIOR TO THE COMMENCEMENT OF HARDSCAPE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHER CONTRACTORS WORKING ON THIS PROJECT IN RELATION TO THE WORK RESPONSIBILITIES DEPICTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IN WRITING OF ANY POTENTIAL DEVIATIONS WITHIN 48 HRS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF HARDSCAPE CONSTRUCTION
- 2. THE CONTRACTOR SHALL SURVEY, LAYOUT AND STAKE THE LOCATION OF ALL FOOTINGS, PIERS, WALLS, COLUMNS AND PAVEMENT FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM LINALITHORIZED CONSTRUCTION.
- 3. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR FIELD MOCKUPS FOR ALL ITEMS LISTED ON THE FINISH SCHEDULE UNLESS SPECIFICALLY NOTED OTHERWISE. MOCKUPS SHALL BE SET UP IN A SECURED LOCATION ON THE SITE FOR REFERENCE AS DIRECTED BY THE OWNERS REPRESENTATIVE, MOCKUPS WILL REMAIN ON SITE UNTIL THE COMPLETION OF HARDSCAPE CONSTRUCTION.
- 4. ANY REFERENCE IN THE HARDSCAPE CONSTRUCTION DOCUMENTS TO BRANDED PRODUCTS, PROCEDURES OR PATENTED PROCESSES ARE ASSUMED TO CARRY AN IMPLIED STATEMENT OF "OR APPROVED EQUAL" UNLESS SPECIFICALLY NOTED OTHERWISE WITH "NO SUBSTITUTIONS PERMITTED"
- 5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK.
- 3. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME
- THE CONTRACTOR SHALL EMPLOY AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND/OR GOVERNING AUTHORITIES, A TESTING LABORATORY APPROVED BY THE OWNERS REPRESENTATIVE TO CONDUCT ALL TESTS NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS AND CODES.
- 8. WRITTEN DIMENSIONS, COORDINATES AND/OR ELECTRONIC FILES PREVAIL OVER SCALED DIMENSIONS. DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
- 9. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- 10. REFER TO CIVIL PLANS FOR OVERALL SITE LAYOUT/DIMENSIONS.
- 11. HARDSCAPE DIMENSIONS ARE FROM THE FACE AND/OR CENTERLINE OF THE OBJECT AT 90 DEGREE ANGLES UNLESS NOTED OTHERWISE. ALL RADII AND CURVES ARE TO HAVE SMOOTH AND CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR
- 12. PAVER DIMENSIONS ARE NOMINAL. VERIFY ACTUAL PAVER DIMENSIONS PRIOR TO LAYOUT OF PAVER FIELDS.
- 13. ALL REFERENCES TO "GRAY CONCRETE" SHALL MEAN NATURAL CONCRETE WITH NO COLOR ADDITIVE.
- 14. INFORMATION ON STRUCTURAL REINFORCEMENT, ANCHORS, FASTENERS, FOUNDATIONS OR OTHER STRUCTURAL ELEMENTS SHOWN ON THE SITE HARDSCAPE DOCUMENTS RELATED TO WALLS, SLABS, STRUCTURES AND ALL CAST IN PLACE CONCRETE IS SHOWN FOR MATERIAL RELATIONSHIPS ONLY, REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL MEP, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
- 15. CROSS SLOPE ON HARDSCAPE PAVEMENT SHALL NOT EXCEED 2%. RUNNING SLOPE SHALL NOT EXCEED 5% UNLESS NOTED OTHERWISE, SEE LANDSCAPE GRADING FOR ADDITIONAL REQUIREMENTS.
- 16. SITE FURNISHINGS SHALL BE INSTALLED AS DETAILED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANCHORING DETAILS WITH THE ITEM'S MANUFACTURER PRIOR TO PURCHASE/INSTALLATION.
- 17. HARDSCAPE ON-STRUCTURE: SITE HARDSCAPE ELEMENTS FOR ALL PODIUM, ROOF LEVEL AND BUILDING RELATED SURFACES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL MEP AND STRUCTURAL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION FOR ALL

HARDSCAPE NOTES:(cont.)

ANCHORS, REINFORCING, WATERPROOFING, DRAINAGE FIXTURES, MATERIAL ATTACHMENTS, SETTING METHODS AND SLAB PENETRATIONS FOR PAVING, IRRIGATION, DRAINAGE AND ELECTRICAL FIXTURES.

- 18. WATER FEATURES: SITE HARDSCAPE ELEMENTS SHOWN FOR FOUNTAINS, POOLS, SPA WATERFALLS AND OTHER WATER FEATURES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND FOUNTAIN/POOL ENGINEERS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
- 19. LIGHT FIXTURES: LIGHT FIXTURES ARE SHOWN FOR MATERIAL RELATIONSHIP AND ORIENTATION WITH HARDSCAPE/LANDSCAPE ELEMENTS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ELECTRICAL ENGINEER FOR ACTUAL CONSTRUCTION DOCUMENTATION

LANDSCAPE GRADING NOTES:

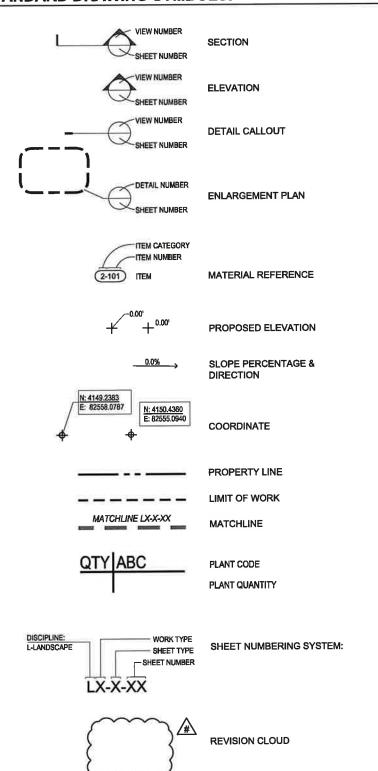
- 1. LANDSCAPE GRADES ARE COMPLEMENTARY, REFER TO THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ROUGH GRADING OF THE SITE, FINISH GRADES FOR ALL VEHICULAR PAVEMENT, BUILDINGS, DRAINAGE AND UTILITY STRUCTURES.
- PRIOR TO INITIATING LANDSCAPE GRADING THE CONTRACTOR SHALL INSPECT THE SITE TO CONFIRM THAT ROUGH GRADING AND DRAINAGE STRUCTURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CIVIL ENGINEERING CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT IN WRITING TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO RESOLVE ANY DISCREPANCIES.
- 3. NUMEROUS UNDERGROUND UTILITIES, CONDUITS, SLEEVES AND UTILITY STRUCTURES ABOVE AND BELOW GRADE HAVE BEEN PREVIOUSLY INSTALLED. THE CONTRACTOR SHALL CONDUCT FINE GRADING TO AVOID DAMAGE TO THESE ELEMENTS
- 4. ALL PEDESTRIAN PAVEMENT AND LANDSCAPE AREAS SHALL BE GRADED TO POSITIVELY DRAIN AWAY FROM VERTICAL ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS AND COLUMNS TOWARD AND INTO DRAINAGE STRUCTURES. LANDSCAPE AREAS SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF WATER HOLDING DEPRESSIONS.
- 5. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE NOTED. MAKE ALLOWANCES FOR PAVEMENT THICKNESS AND THE DEPTH OF PREPARED PLANTING SOIL WHERE APPLICABLE.
- THE CONTRACTOR SHALL NOT SUBSTANTIALLY VARY FINE GRADING FROM THE GRADING PLAN WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE MAY ADJUST FINE GRADING SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT
- PROTECT SITE FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES AND PAVING FROM DAMAGE BY GRADING EQUIPMENT.
- 8. MATCH PROPOSED PAVEMENT GRADES WITH EXISTING CONDITIONS TO REMAIN TO PROVIDE FLUSH INTERFACES WITH ABUTTING SURFACES.
- 9. GRADES FOR SOD AREAS SHALL BE HELD ONE INCH (1") BELOW ADJACENT PAVEMENT GRADES TO ALLOW FOR INSTALLATION OF
- 10. GRADES FOR PLANTING AREAS SHALL BE HELD TWO INCHES (2°) BELOW ADJACENT PAVEMENT TO ALLOW FOR THE INSTALLATION OF PREPARED PLANTING SOIL, MULCH AND PLANT MATERIAL
- 11. FILL REQUIRED TO BRING THE SITE TO THE REQUIRED LINES AND FINISHED GRADES CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER,
- 12 FILL SHALL BE COMPACTED AS FOLLOWS:

- A. UNDER PEDESTRIAN PAVEMENT: AS RECOMMENDED BY CIVIL/GEOTECHINCAL ENGINEER.
- LANDSCAPE AREAS: COMPACT TOP TWELVE INCHES (12') BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 80% MAXIMUM DRY DENSITY ACCORDING TO ASTM D696
- 13. CONTOURS FOR LANDSCAPE BERMS, MOUNDS AND SWALES SHALL BE SMOOTH CONTINUOUS ARCS VOID OF SURFACE IRREGULARITIES AND SHALL BLEND INTO SURROUNDING TERRAIN IN A NATURAL MANOR.
- 14. ALL LANDSCAPE AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN SMALL IMPERFECTIONS AND ROUND OFF AND SHARP
- 15. FINE GRADE TOLERANCES FOR LANDSCAPE AREAS...PLUS OR MINUS (+/-) 0.04 FOOT (').
- 16. FINE GRADE TOLERANCES FOR HARDSCAPE AREAS...PLUS OR MINUS (+/-) 0.02 FOOT(1).
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING GRADES AND TO REPAIR AND CLEAN UP AREAS WHERE SETTLEMENT, WASHOUTS, EROSION OR OTHER GRADE CHANGES OCCUR UNTIL FINAL ACCEPTANCE.

STANDARD ABBREVIATIONS:

45011	ADDUTEOU DE	EW	EACH WAY		REQTO	REQUIRED
ARCH ADA	ARCHITECTURE AMERICANS WITH	FG	FINISHED GRADE		REV	REVISION
ADA	DISABILITIES ACT	FL	FLOW LINE		s	SOUTH
BC	BOTTOM OF CURB	FOC	FACE OF CURB		SF	SQUARE FOOT
BLDG	BUILDING	FT	FOOT (FEET)		SHT	SHEET
BOC	BACK OF CURB	FTG	FOOTING		SIM	SIMILAR
BR	BOTTOM OF RAMP	FFE	FINISHED FLOOR ELEVATION		SPECS	SPECIFICATIONS
BS	BOTTOM OF STEP	GALV	GALVINIZED		SS	STAINLESS STEEL
BW	BOTTOM OF WALL	GALV	GUAGE		STD	STANDARD
B&B	BALLED AND BURLAPPED	GEN	GENERAL		SY	SQUARE YARD
	BACKFLOW PREVENTER	H20	WATER		SYM	SYMMETRICAL
BFP	CALIPER	HP	HIGH POINT		TOC	TOP OF COLUMN
CAL CB	CATCH BASIN	HT	HEIGHT		TOPO	TOPOGRAPHY
CF	CUBIC FEET	HWL	HIGH WATER LINE		TR	TOP OF RAMP
CLR	CLEARANCE	ID	INSIDE DIAMETER	y	TYP	TYPICAL
CM	CENTIMETER	IN	INCH		TW	TOP OF WALL
CY	CUBIC YARD	INV	INVERT ELEVATION		TS	TOP OF STEP
CIP	CAST-IN-PLACE	LF	LINEAR FEET (FOOT)		TC	TOP OF CURB
	CONSTRUCTION JOINT	LP	LOW POINT		VAR	VARIES
CJ	CENTER LINE	MISC	MISCELLANEOUS		VOL	VOLUME
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM		W	WEST
		MHW	MEAN HIGH WATER		WL	WATER LEVEL
COORD	COORDINATE	MIN	MINIMUM		YD	YARD DRAIN
CONT	CONTINUOUS	NWL	NATURAL WATER LINE		10	TAIL DIVIN
DEG	DEGREE	NIC	NOT IN CONTRACT			
DIM	DIMENSION	NTS	NOT TO SCALE	3.00		
DTL	DETAIL	N	NORTH			
DWG	DRAWING	OD	OUTSIDE DIAMETER			
DEMO	DEMOLITION	OC	ON CENTER			
DIA	DIAMETER	PA	PLANTING AREA			
DI	DRAIN INLET		PROPERTY LINE			
E	EAST	PL PT				
EL	ELEVATION	QTY	PAINT QUANTITY			
ENG	ENGINEER		RADIUS			
EXIST	EXISTING	R				
EJ	EXPANSION JOINT	RIM	RIM ELEVATION			
EQ	EQUAL	ROW	RIGHT-OF-WAY			
ESMT	EASEMENT	REINF	REINFORCE (D)			

STANDARD DRAWING SYMBOLS:



SHEET SERIES: TREE DISPOSITION PLAN, HARDSCAPE PLAN, TREE PLAN, SHRUB PLAN.

SHEET TYPE: PLAN, ENLARGEMENT, DETAILS, ETC.

SHEET NUMBER: 01, 02, ETC.

L0-X-X GENERAL INFORMATION SERIES 1.1-X-X TREE DISPOSITION SERIES L3-X-X HARDSCAPE SERIES L3-4-X SITE DETAIL L3-5-X HARDSCAPE SCHEDULE L5-X-X TREE PLANTING SERIES L6-X-X SHRUB PLANTING SERIES 16-4-X PLANTING DETAILS L6-5-X PLANTING SCHEDULE

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

PEMBROKE GARDENS

FEDERAL REALTY



PLANNING LANDSCAPE ARCHITECTURE

1512 E. BROWARD BOULEVARD, SUITE 11 FORT LAUDERDALE, FLORIDA 33301 USA TEL: 964,624,3330

ARCADIS ARCHITECTURE

BOHLER CIVIL ENGINEER

ml. Florida, 33131 HINES INC RRIGATION 0 Edwards Stree

ebration, Florida, 34747

Issued for Date

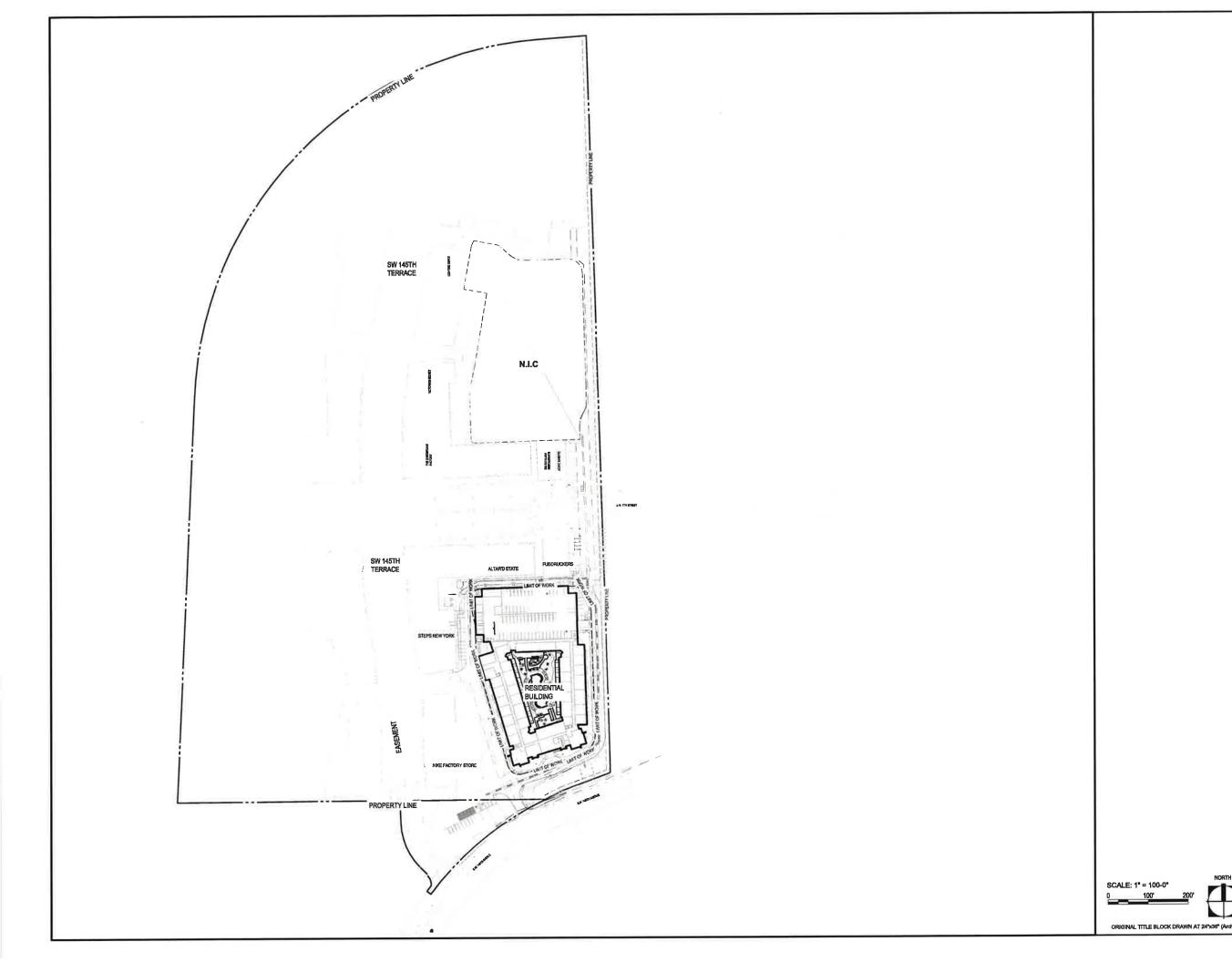
Designed By AH, DD AH, JS proved / Checked By SE240003



Jeffre Digitally signed by Jeffrey R y R

SITE PLAN SUBMITTAL

GENERAL NOTES



FEDERAL REALTY

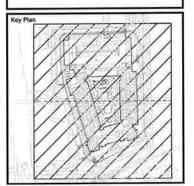


PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miarni, Florida, 33126

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Sulte 2700 Miami, Flortda, 33131

HINES, INC. (RRIGATION 600 Edwards Street Suite 7102 Celebration, Florida, 34747



Date	Issued for
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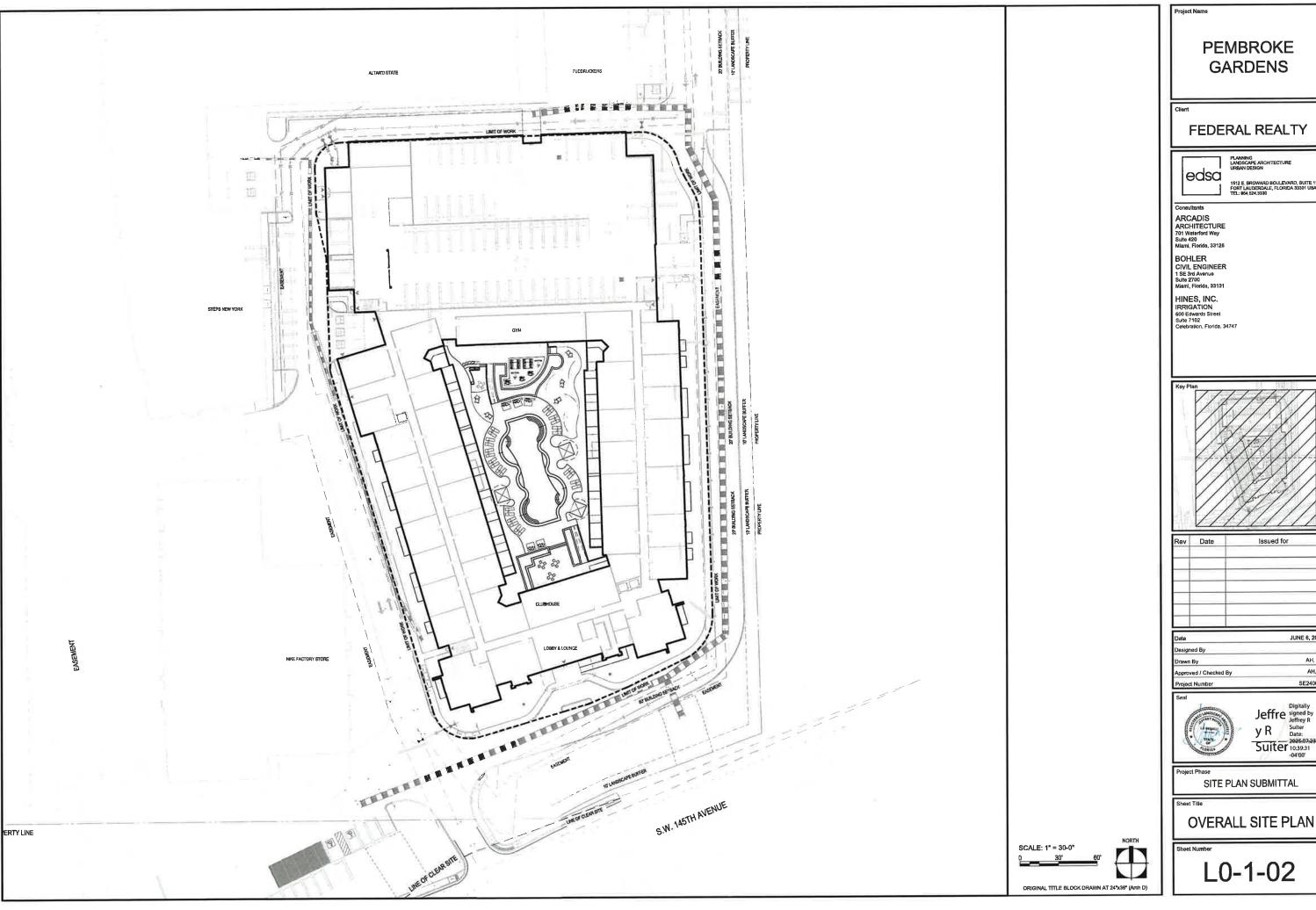
Date	JUNE 6, 2025
Designed By	МН
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



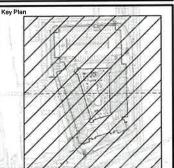
SITE PLAN SUBMITTAL

OVERALL SITE PLAN -CONTEXT

L0-1-01



FEDERAL REALTY

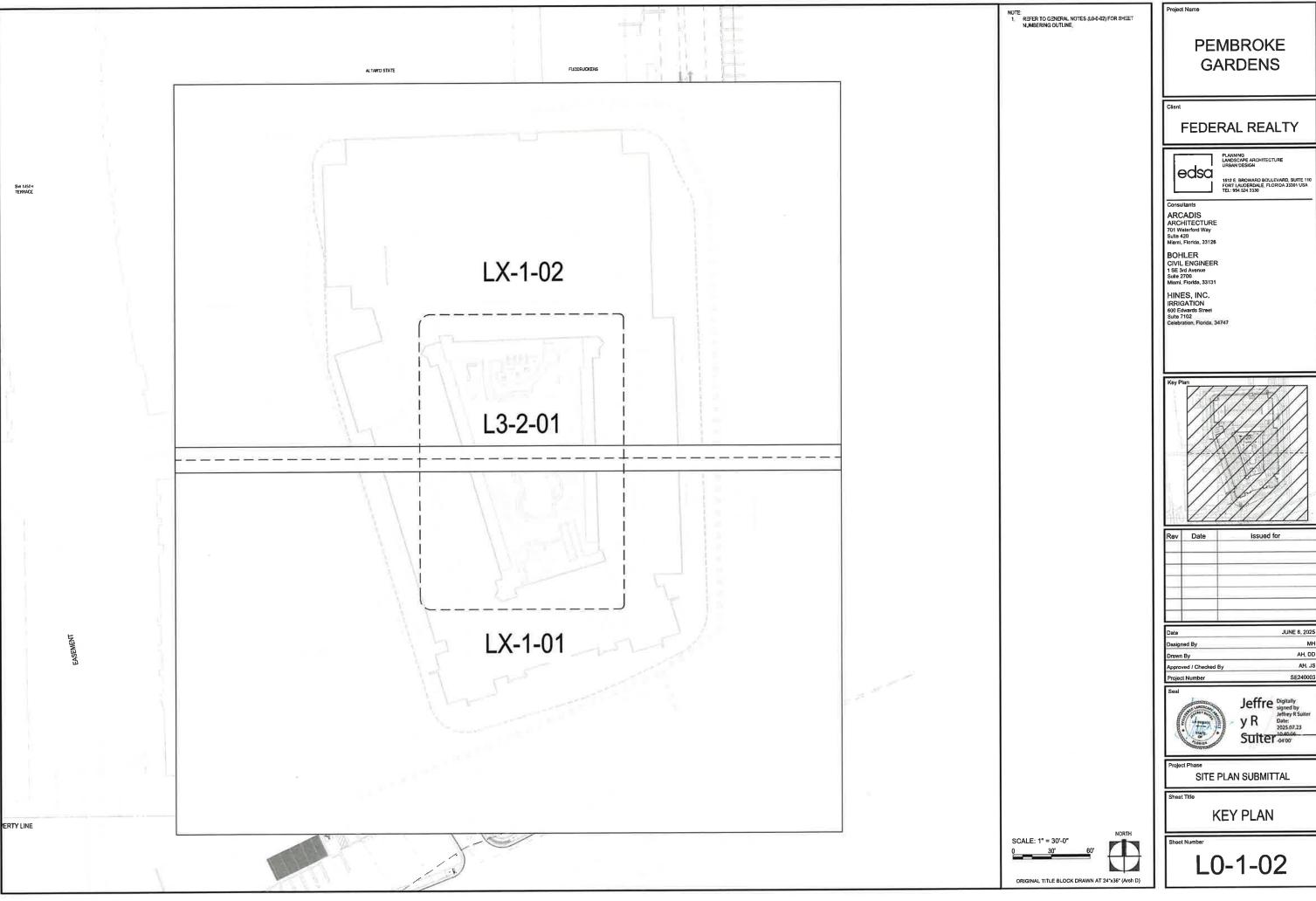


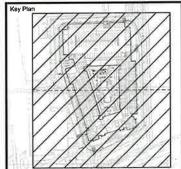
Rev	Date	Issued for
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Date	JUNE 6, 202
Designed By	M
Drawn By	AH, DI
Approved / Checked By	AH, J
Project Number	SE24000

Jeffre signed by Jeffrey R
y R
Suiter Date:
2025.07.23
Suiter 10:39:31
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L0-1-02





DEMOLITION / SITE CLEARING GENERAL NOTES:

- 1. PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:
- A. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND FULLY OPERATIONAL. SEE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR REQUIREMENTS AND DETAILS.
- B. ERECT BARRICADES TO PROTECT EXISTING TREES INDICATED TO REMAIN. SEE TREE PROTECTION REQUIREMENTS FOR ADDITIONAL REQUIREMENTS AND DETAILS.
- C. COORDINATE WITH ALL UTILITY COMPANIES THAT MAY HAVE UTILITY SERVICES ON THIS SITE TO OBTAIN ALL PERMITS AS APPLICABLE, CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AS REQUIRED T TAKE SUCH UTILITY SYSTEMS OUT OF SERVICE IF REQUIRED.
- UTILITIES OUTSIDE OF HE LIMITS OF CONSTRUCTION ARE TO BE MAINTAINED AND OPERATIONAL THROUGHOUT ALL PHASES
 OF CONSTRUCTION.
- E. OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIAL, FIXTURES OR EQUIPMENT FROM THE SITE PRIOR TO DEMOLITION.
- F. ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.

DEMOLITION / SITE CLEARING NOTES:

- THE CONTRACTOR SHALL PROVIDE AT LEAST 48-HOUR NOTICE TO ALL UTILITY COMPANIES PRIOR TO INITIATING DEMOLITION
 AND/OR SITE CLEARING TO PROVIDE FIELD LOCATES OF EXISTING UTILITIES.
- REMOVE IN THEIR ENTIRETY ALL BUILDINGS, PAVEMENTS, STRUCTURES, RUBBISH, DEBRIS, UTILITIES AND ALL OTHER APPURTENANCES WHICH ARE NECESSARY TO PERMIT THE PROPOSED CONSTRUCTION AS DESIGNATED ION THE CONSTURCTION DOCUMENTS.
- ALL VEGETATIVE GROWTH, TIMER AND BRUSH SHALL BE REMOVED TO A DEPTH OF 18 INCHES BELOW NATURAL GROUND OR DESIGN GRADE WHICHEVER IS LOWER.
- PAVEMENTS TO BE REMOVED SHALL BE SAW CUT TO ENSURE A CLEAN EDGE. CONCRETE PAVEMENT SHALL BE REMOVED TO THE NEAREST CONTROL JOINT WHERE APPLICABLE.
- NEAREST CONTINUE SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED AND REMOVED. EXCAVATED AREAS SHALL BE BACKFILLED WITH CLEAN BUILDERS SAND AND RETURNED TO NATURAL GROUND OR DESIGN GRADE.
- 8. AFTER DEMOLITION / SITE CLEARING TILL/DISK ALL SURFACES TO A DEPTH OF SIX INCHES (6") AND REMOVE ANY REMAINING DELETERIOUS MATERIAL GREATER THAN 1 INCH (1") IN DIAMETER.
- SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL
 CEASE WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNERS REPRESENTATIVE FOR DIRECTION ON HOW TO
 DEPOSED.
- 8. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION AND/OR SITE CLEARING ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND DISPOSAL OF WASTE MATERIAL

TREE/PALM PROTECTION NOTES:

- THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF EXISTING TREES/PALMS TO REMAIN WITH THE OWNERS
 REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION AND/OR SITE CLEARING.
- ALL TREE/PALM PROTECTION SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE CARE, ALL TREE CARE ACTIVITIES
 INCLUDING BUT NOT LIMITED TO CROWN PRUNING, FERTILIZING AND ROOT PRUNING SHALL BE CONDUCTED BY OR PREFORMED
 UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL B
 EAR THE COST OF THE ARBORIST.
- 3. ERECT TREE/PALM PROTECTION BARRICADES AS DETAILED IN THE CONTRACT DOCUMENTS. ALL BARRICADES SHALL BE PLACED
 A MINIMUM OF TEN FEET (10") CLEAR DISTANCE FROM THE FACE OF ANY PROTECTED TREE/PALM OR AS INDICATED BY EXISTING
 CODE OR ORDINANCES WHICHEVER IS GREATER. BARRICADES SHALL FULLY ENCLOSE ALL TREES/PALMS TO REMAIN.
- 4. NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, VEHICLES, OR SOIL DEPOSITS. ANY ACTIVITY THAT INVOLVES DISTURBING SOIL WITHIN THE BARRICADES SHALL BE DONE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT COMPACT THE SOIL OR DAMAGE THE TREE/PALM ROOTS.
- ALL TREES SUBJECT TO ENCROACHMENT INTO THE DRIP LINE DUE TO PROPOSED CONSTRUCTION SHALL BE ROOT PRUNED EIGHTEEN INCHES (18*) FROM THE EDGE OF SAID CONSTRUCTION.
- A. ROOT PRUNING SHALL CONSIST OF DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP BY SIX INCHES (6") WIDE EITHER BY HAND OR WITH A TRENCHING MACHINE DESIGNED FOR THIS PURPOSE. ALL ROOTS SHALL BE CLEAN CUT WITH NO SPLITS OR TEADS
- B. TRENCH SHALL BE FILLED WITH TOPSOIL (SEE LANDSCAPE NOTES) PLACED IN TWELVE INCH (12*) LIFTS. EACH LIFT SHALL BE WATERED IN TO PREVENT AIR POCKETS.
- 6. BARRICADES SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION OR AS DIRECTED BY THE OWNERS
- 7. PROTECTED TREES/PALMS DEEMED UNACCEPTABLE BY THE OWNERS REPRESENTATIVE AT THE PROJECT COMPLETION DUE TO DAMAGE, LACK OF PROTECTION OR NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.

PROTECT COORDINATION NOTES:

- THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK TO INTERFACE SMOOTHLY WITH OTHER WORK BEING PREFORMED ON OR ADJACENT TO THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES.
- CONTRACTOR SHALL REFER TO THE HARDSCAPE NOTES, LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS
 PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS
 FOR ADDITIONAL REQUIREMENTS.

TREE / PALM RELOCATION GENERAL NOTES:

- 1. TREES/PALMS TO BE RELOCATED ARE DESIGNATED ON THE DRAWINGS OR AS IDENTIFIED BY THE OWNERS REPRESENTATIVE.
- 2. THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF THE EXISTING CONDITIONS WITH THE OWNERS REPRESENTATIVE AT BOTH THE CURRENT AND PROPOSED LOCATIONS OF RELOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT DOCUMENTING THE EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO PHOTOGRAPHS IDENTIFYING TREES/PALMS TO BE RELOCATED, POTENTIAL OBSTRUCTIONS AND IDENTIFICATION OF A PROPOSED MOVING ROUTE THAT AVOIDS AND PROTECTS OVERHEAD AND UNDERGROUND UTILITIES. THE REPORT WILL SERVE AS A REFERENCE POINT FOR MONITORING THE EXISTING CONDITIONS WHICH WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP INTACT.
- 3. ALL TREE/PALM RELOCATIONS SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE RELOCATIONS. ALL RELOCATION ACTIVITIES SHALL BE CONDUCTED BY OR PREFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL BEAR THE COST OF THE ARBORIST.
- THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE 24 HOURS IN ADVANCE OF EACH RELOCATION TO ALLOW FOR OBSERVATION OF THE PROCEDURES.
- 5. TREES/PALMS SHALL ONLY BE MOVED ONCE, WITHIN 24 HOURS OF THE PLANTS EXCAVATION. NO NURSERY OR HOLDING ARE MAY BE USED.

PREPARATION NOTES:

- TREES SIX INCH (6") CALIPER OR LESS AND PALMS OTHER THAN THOSE LISTED AS SPECIMEN PALMS MAY BE RELOCATED BY MECHANICAL MACHINERY AND DO NOT REQUIRE ROOT PRUNING. (SEE MECHANICAL RELOCATION)
- 2. TREES/PALMS REQUIRING ROOT PRUNING SHALL HAVE THIS PREFORMED ACCORDING TO THE FOLLOWING SCHEDULE:

- 3. EQUIPMENT USED FOR ROOT PRUNING SHALL BE DESIGNED FOR THIS TASK AND SHALL PRODUCE CLEAN CUTS OF ROOTS
- WITHOUT DAMAGE TO THE RESULTING ROOT BALL.

 4. TREES SHALL HAVE A MINIMUM ROOT BALL SIZE OF TEN INCHES (10") PER ONE INCH (1") OF CALIPER. ROOT BALLS ARE TO BE
- FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.

 5. SPECIMEN PALMS SHALL HAVE A MINIMUM ROOT BALL OF THIRTY-SIX INCHES (36") AND SHALL BE FORMED SQUARE WITH EQUAL
- ROOT BALLS FOR TREES/PALMS SHALL BE FORMED BY DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP AND SIX INCHES (6")
 WIDE FITHER BY HAND OR BY A TRENCHING MACHINE DESIGNED FOR THE PURPOSE.
- IF ROOT PRUNING HAS BEEN PERFORMED OUTSIDE OF THE SCOPE OF THIS CONTRACT THE CONTRACTOR SHALL CONFIRM IN WIRTING WITH THE OWNERS REPRESENTATIVE THAT ROOT PRUNING HAS BEEN ACCOMPLISHED AS DESCRIBED ABOVE.

HAND DIGGING / RELOCATION NOTES:

- 1. TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
- 2. ALL ROOT BALLS SHALL BE THOROUGHLY SOAKED FOR SEVEN (7) DAYS PRIOR TO DIGGING.
- 3. EXCAVATE TWELVE INCHES (12") OLITSIDE OF PREVIOUS ROOT PRUNING TO A DEPTH OF FORTY-EIGHT INCHES (48").
- 4. ROOT BALLS SHALL BE UNDERCUT PRIOR TO LIFTING, DO NOT FORCE TREE/PALM FROM GROUND.
- . TREES/PALMS SHALL BE LIFTED AND TRANSPORTED IN SUCH A MANNER AS TO AVOID DAMAGE TO BARK, LIMBS, TRUNKS OR FRONDS. SUPPORT CHAINS, STRAPS AND/OR CABLES SHALL BE PADDED AS REQUIRED. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE DOWELING IN LIEU OF LIFTING BY STRAPS.
- EXCAVATE NEW PLANT PIT TWENTY-FOUR INCHES (24") WIDER THAN ROOT BALL AND TO A DEPTH THAT ALLOWS NEW ROOT BALL TO BE SITUATED THREE INCHES (3") ABOVE PROPOSED GRADE.
- 7. ROTATE TREE/PALM PRIOR TO SETTING TO ACHIEVE BEST POSITIONING AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- BACKFILL PLANTING PIT WITH PREPARED PLANTING SOIL (SEE LANDSCAPE NOTES/SPECIFICATIONS) IN TWELVE INCH (12") LIFTS THOROUGHLY DRENCHING EACH LIFT WITH WATER TO PREVENT AIR POCKETS.
- 9. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST
- 10. TREES/PALMS SHALL BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

MECHANICAL DIGGING / RELOCATION NOTES:

- TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING
- 2. TREE SPADES SHALL BE LARGE ENOUGH TO ENCOMPASS THE FIBROUS FEEDER ROOTS OF EACH PLANT. TREE SPADES USED TO RELOCATE TREES! NON-SPECIMEN PALMS SHALL MEET THE FOLLOWING CRITERIA:
- B. TREES THREE INCH (3") TO FIVE INCH (5") CALIPER.......SIXTY INCH (60") SPADE
- C. TREES UP TO EIGHT INCH (8") CALIPER AND NON-SPECIMEN PALMS............NINETY INCH (90") SPADE
- 3. USE SAME MACHINE TO DIG RECEIVING HOLE AND TO DIG TREE/PALM FOR TRANSPLANTING.
- TREE SPADES SHALL HAVE A MAXIMUM TOLERANCE OF TWO INCHES (2") BETWEEN BLADES AND SHALL BE MOUNTED TO A STABLE
 MACHINE CAPABLE OF SUPPORTING THE WEIGHT OF ALL RELOCATED MATERIAL.
- CENTER TREE/PALM IN THE SPADE WHEN DIGGING. CLEAN CUT ANY ROOTS PROTRUDING FROM THE DIGGING SPADE FLUSH WITH THE ROOT BALL BEFORE PLANTING.
- 8. AFTER PLACING TREE/PALM IN RECEIVING HOLE IMMEDIATELY FILL ALL CREVICES/VOIDS WITH PREPARED PLANTING SOIL, (SEE LANDSCAPE NOTES/SPECIFICATIONS) THOROUGHLY DRENCH WITH WATER TO PREVENT AIR POCKETS.
- 7. APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
- 8. TREES/PALMS TO BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

TREE / PALM RELOCATION POST PLANTING MAINTENANCE NOTES:

- DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN
 ALL TRANSPLANTED TREES/PALMS.
- MAINTENANCE DURING THE PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, REMOVAL
 OF DEAD MATERIAL, REPAIRING AND/OR REPLACING STAKING, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITIONS
 AND APPLYING SUCH SPRAYS AS DIRECTED BY THE ARBORIST AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF
 DAMAGING INSECTE AND DISEASE
- ALL RELOCATED TREES/PALMS SHALL BE IRRIGATED BY HAND OR TEMPORARY AUTOMATIC IRRIGATION SYSTEM UNTIL A PERMANENT IRRIGATION SYSTEM IS OPERATIONAL.
- 4. IRRIGATION FOR TREES SHALL INCLUDE MIST HEADS AS DIRECTED BY ARBORIST.

SUBSTANTIAL COMPLETION ACCEPTANCE NOTES:

- UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
- FOR THE PURPOSE OF ACCEPTANCE, THE RELOCATED TREES/PALMS TO BE HEALTHY, VIGOROUS, UNDAMAGED AND EXHIBIT EVIDENCE OF ESTABLISHING NEW ROOTS.
- 3. THE MINIMUM ALLOWABLE RATE OF SURVIVAL OF ALL RELOCATED MATERIAL SHALL BE 90%. DETERMINATION OF SURVIVABILITY SHALL BE MADE BY THE OWNERS REPRESENTATIVE AT THE COMPLETION.
- 4. ANY TREE/PALM THAT IS DEEMED UNACCEPTABLE AS A PRODUCT OF NEGLIGENCE BY THE CONTRACTOR SHALL BE REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE DATE OF SUBSTANTIAL COMPLETION SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS THAT ALL WORK RELATED TO THE TREEPALM TRANSPLANTING IS COMPLETE.
- ALL TRANSPLANTED TREES/PALMS SHALL BE WARRANTED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN
 NOTIFICATION OF SUBSTANTIAL COMPLETION FROM THE OWNERS REPRESENTATIVE. THE DATE OF SUBSTANTIAL COMPLETION
 MAY VARY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR OTHER PORTION OF THE PROJECT.

Project Name

PEMBROKE GARDENS

Client

FEDERAL REALTY



PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

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Consultants

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Rev Date Issued for

 Date
 JUNE 6, 2025

 Designed By
 MH

 Drawn By
 AH, DD

 Approved / Checked By
 AH, JS

 Prolect Number
 SE240003



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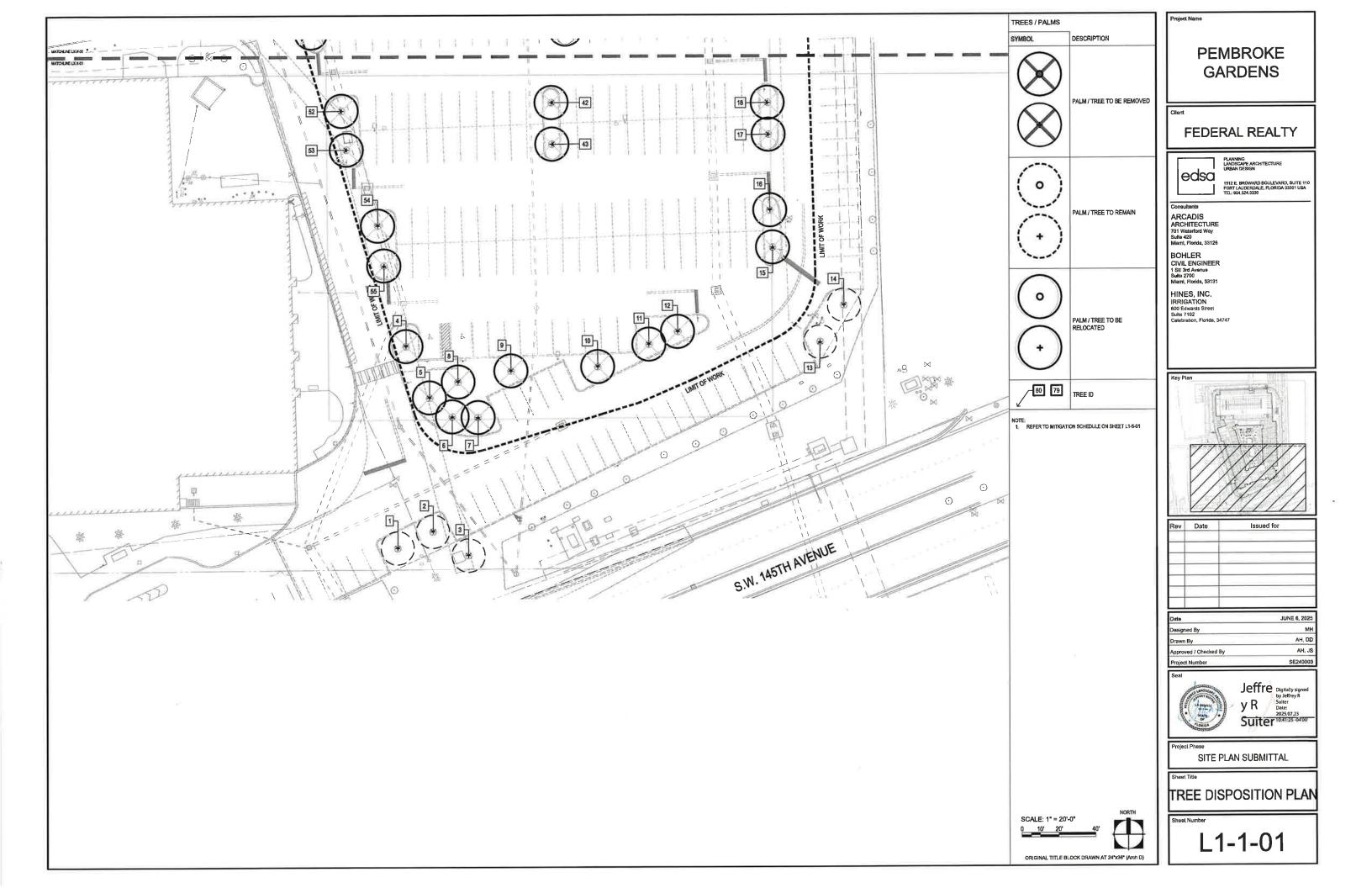
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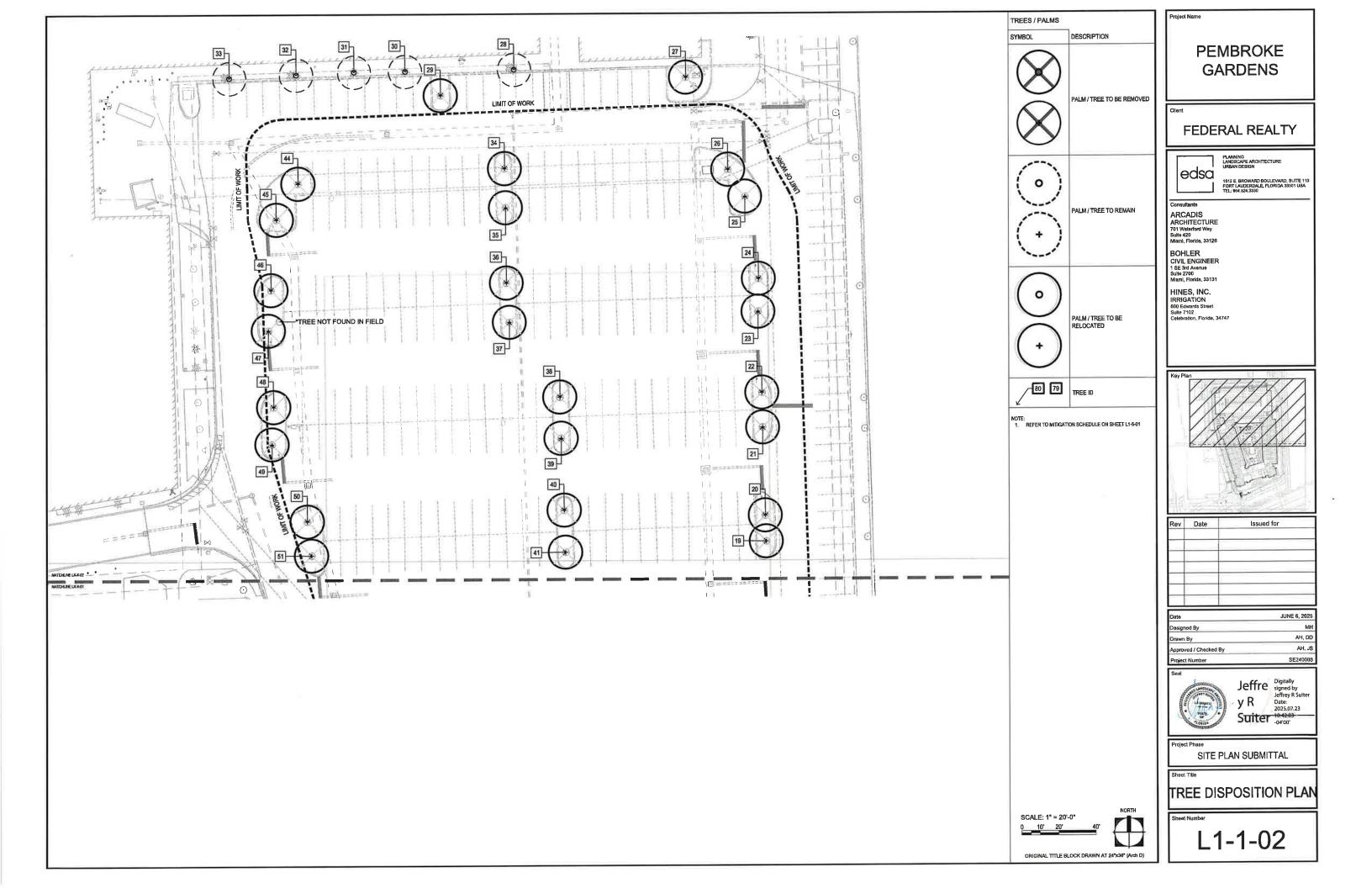
Sheet Title

DEMO NOTES

Sheet Number

L1-0-01





NUMBER	TYPE	SCIENTIFIC NAME	COMMON NAME	DIAMETER (INCHES)	OSITION TABI CANOPY (FEET)	CANOPY (SF)	CONDITION	ACTION	NOTES	ORIGIN
1	Tree	Swietenia mahagoni	West Indian Mahogany	18"	25'	80'	Good-Moderate	Remain		NATIVE
2	Tree	Swietenia mahagoni	West Indian Mahogany	16"	28'	88'	Good	Remain		NATIVE
3	Tree	Swietenia mahagoni	West Indian Mahogany	18"	40'	126'	Good	Remain		NATIVE
4	Tree	Quercus virginiana	Southern Live Oak	10"	30'	94'	Good	Remove		NATIVE
5	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	18'	57'	Good	Remove		NON-NATIVE
6	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	18'	57'	Moderate	Remove		NON-NATIVE
7	Tree	Lagerstroemia speciosa	Queen's Crepe Myrtle	8"	15'	47'	Poor	Remove		NON-NATIVE
8	Tree	Quercus virginiana	Southern Live Oak	12"	24'	75'	Good	Remove		NATIVE
9	Tree	Quercus virginiana	Southern Live Oak	12"	15'	47'	Good	Remove		NATIVE
10	Tree	Quercus virginiana	Southern Live Oak	14"	23'	72'	Good-Moderate	Remove		NATIVE
11	Tree	Quercus virginiana	Southern Live Oak	10"	24'	75'	Good	Remove		NATIVE
12	Tree	Quercus virginiana	Southern Live Oak	10"	13'	41'	Роог	Remove		NATIVE
13	Tree	Quercus virginiana	Southern Live Oak	18"	24'	75'	Good	Remain		NATIVE
14	Tree	Quercus virginiana	Southern Live Cak	14"	25'	80'	Good	Remain		NATIVE
15	Tree	Quercus virginiana	Southern Live Oak	8"	15'	47'	Poor	Remove		NATIVE
16	Tree	Quercus virginiana	Southern Live Oak	10"	13'	40'	Poor	Remove		NATIVE
17	Tree	Quercus virginiana	Southern Live Oak	8"	12'	38'	Poor	Remove		NATIVE
18	Tree	Quercus virginiana	Southern Live Oak	8"	13'	40'	Poor	Remove		NATIVE
19	Tree	Quercus virginiana	Southern Live Oak	8"	12'	38'	Poor	Remove		NATIVE
20	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Good-Moderate	Remove		NATIVE
21	Tree	Quercus virginiana	Southern Live Oak	8"	18'	57'	Poor	Remove		NATIVE
22	Tree	Quercus virginiana	Southern Live Oak	6"	13'	41'	Poor	Remove		NATIVE
23	Tree	Quercus virginiana	Southern Live Oak	7"	25'	80'	Moderate	Remove		NATIVE
24	Tree	Quercus virginiana	Southern Live Oak	7**	10'	31'	Poor	Remove		NATIVE
25	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
26	Tree	Quercus virginiana	Southern Live Oak	10"	18'	57'	Poor	Remove		NATIVE
27	Tree	Quercus virginiana	Southern Live Oak	12"	35'	110'	Good	Remove		NATIVE
28	Palm	Veitchia arecina	Montgomery Palm	6"	18'	57'	Good	Remain	Multi Trunk	NON-NATIVE
29	Tree	Quercus virginiana	Southern Live Oak	5"	14'	44'	Moderate	Remove		NATIVE
30	Palm	Veitchia arecina	Montgomery Palm	6"	9'	28'	Good	Remain	Single Trunk	NON-NATIVE
31	Palm	Veitchia arecina	Montgomery Palm	6"	9'	28'	Good	Remain	Single Trunk	NON-NATIVE
32	Palm	Veitchia arecina	Montgomery Palm	8"	16'	50'	Good	Remain	Multi Trunk	NON-NATIVE
33	Palm	Veitchia arecina	Montgomery Palm	8"	14'	44'	Good	Remain	Multi Trunk	NON-NATIVE
34	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
35	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
36	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Poor	Remove		NATIVE
37	Tree	Quercus virginiana	Southern Live Oak	7"	10'	31'	Poor	Remove		NATIVE
38	Tree	Quercus virginiana	Southern Live Oak	8"	17'	53'	Poor	Remove		NATIVE
39	Tree	Quercus virginiana	Southern Live Oak	8"	18'	57'	Poor	Remove		NATIVE
40	Tree	Quercus virginiana	Southern Live Oak	8"	24'	75'	Good	Remove		NATIVE
41	Tree	Quercus virginiana	Southern Live Oak	8"	10'	31'	Poor	Remove		NATIVE
42	Tree	Quercus virginiana	Southern Live Oak	8"	16'	50'	Moderate	Remove		NATIVE
43	Tree	Quercus virginiana	Southern Live Oak	8"	22'	70'	Moderate	Remove		NATIVE
44		Quercus virginiana	Southern Live Oak	10"	20'	63'	Good	Remove		NATIVE
45	Tree		Southern Live Oak	10"	28'	88'	Good	Remove		NATIVE
	Tree	Quercus virginiana		8"	16'	50'	Poor	Remove		NATIVE
46	Tree	Quercus virginiana	Southern Live Oak Southern Live Oak	10"	16'	50'	Good-Moderate	Remove		NATIVE
47	Tree	Quercus virginiana		12"	24'	75'	Good	Remove		NATIVE
48	Tree	Quercus virginiana	Southern Live Oak	8"	20'	63'	Moderate	Remove		NATIVE
49	Tree	Quercus virginiana	Southern Live Oak	8"	26'	82'	Good-Moderate	Remove		NATIVE
50	Tree	Quercus virginiana	Southern Live Oak			66'	Good-Moderate	Remove		NATIVE
51	Tree	Quercus virginiana	Southern Live Oak	8"	21'		Good-Moderate	Remove		NATIVE
52	Tree	Quercus virginiana	Southern Live Oak	10"	25'	80,		Remove	-	NATIVE
53	Tree	Quercus virginiana	Southern Live Oak	10"	19'	60'	Poor			NATIVE
54	Tree	Quercus virginiana	Southern Live Oak	10"	21'	66'	Good	Remove		
55	Tree	Quercus virginiana	Southern Live Oak	8" AL SF CANOPY I	23'	72'	Good	Remove		NATIVE 3,266

FEDERAL REALTY



PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miami, Florida, 33126

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miami, Florida, 33131

HINES, INC. IRRIGATION 800 Edwards Street Sufle 7102 Celebration, Florida, 34747

Rev Date Issued for

JUNE 6, 2025 Designed By AH, DD Drawn By AH, JS proved / Checked By SE240003



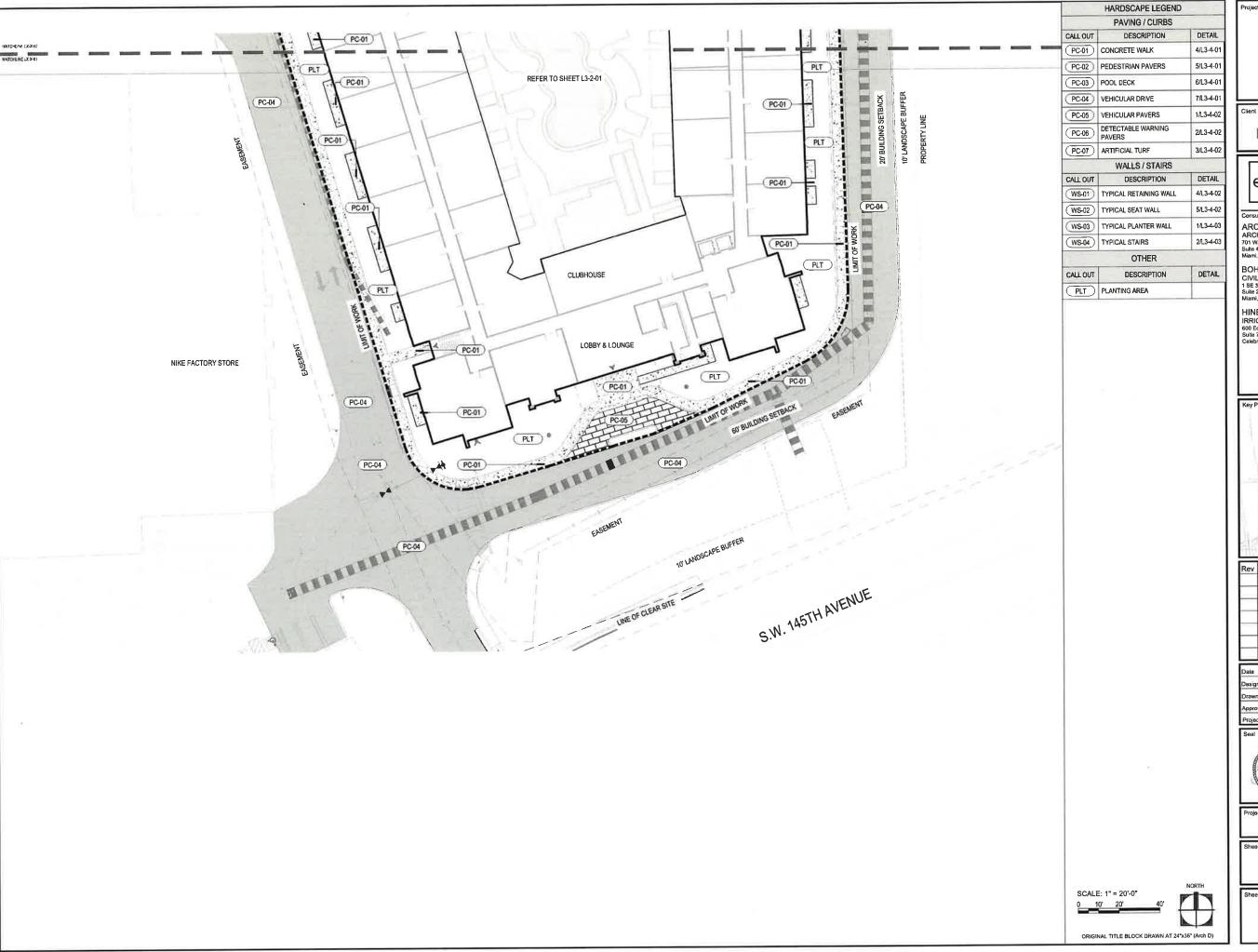
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Jeffrey RSulter Date:
004239

SITE PLAN SUBMITTAL

TREE MITITGATION **SCHEDULE**

L1-5-01



FEDERAL REALTY

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Designed By AH, DD Drawn By AH. JS roved / Checked By SE240003

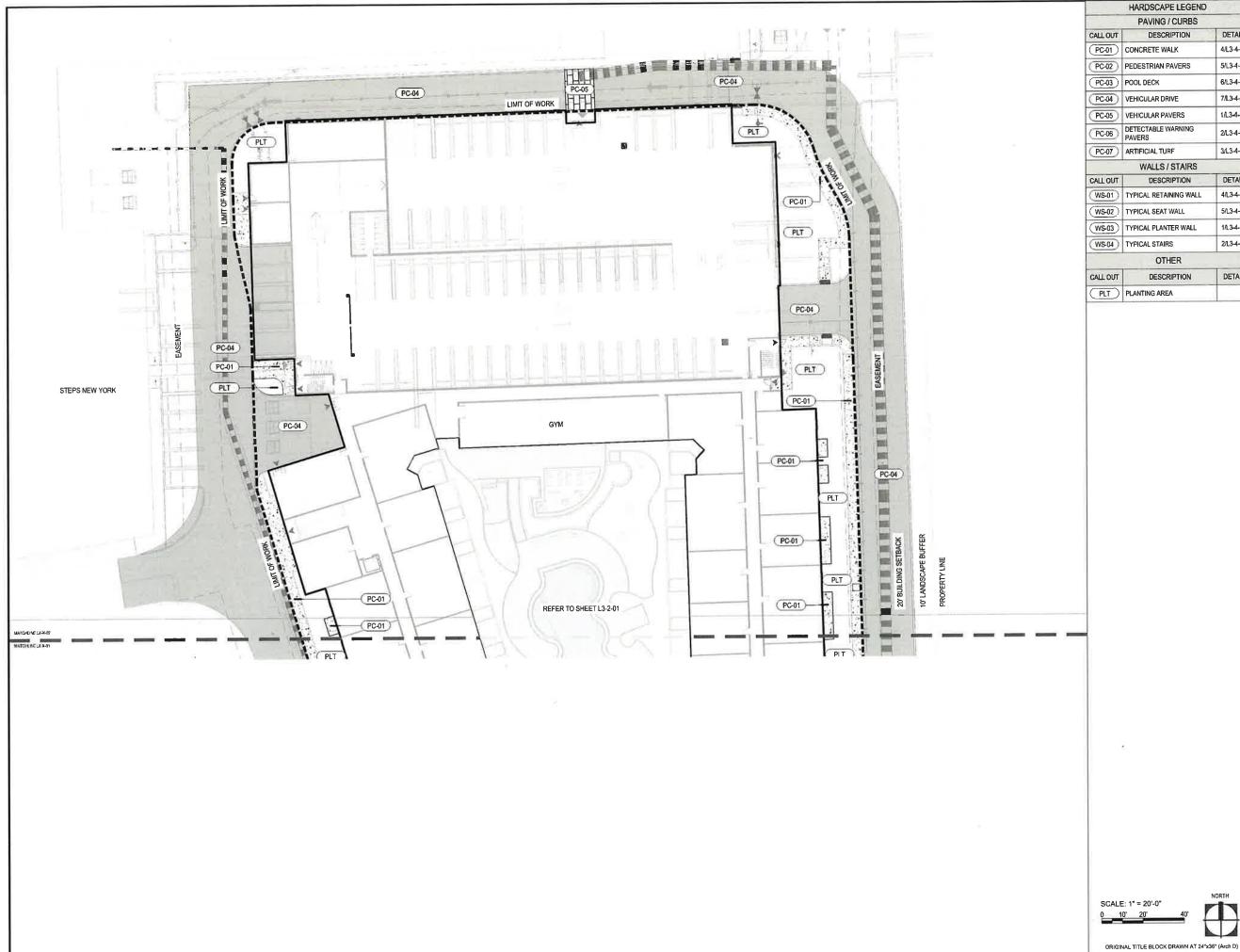


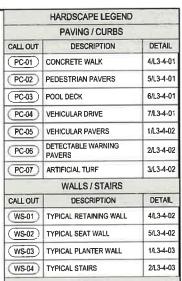
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SITE PLAN SUBMITTAL

HARDSCAPE PLAN

L3-1-01





DETAIL

DESCRIPTION PLT PLANTING AREA

PEMBROKE GARDENS

FEDERAL REALTY



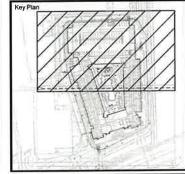
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

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Rev	Date	Issued for
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Date	JUNE 6, 2025
Designed By	MH
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003

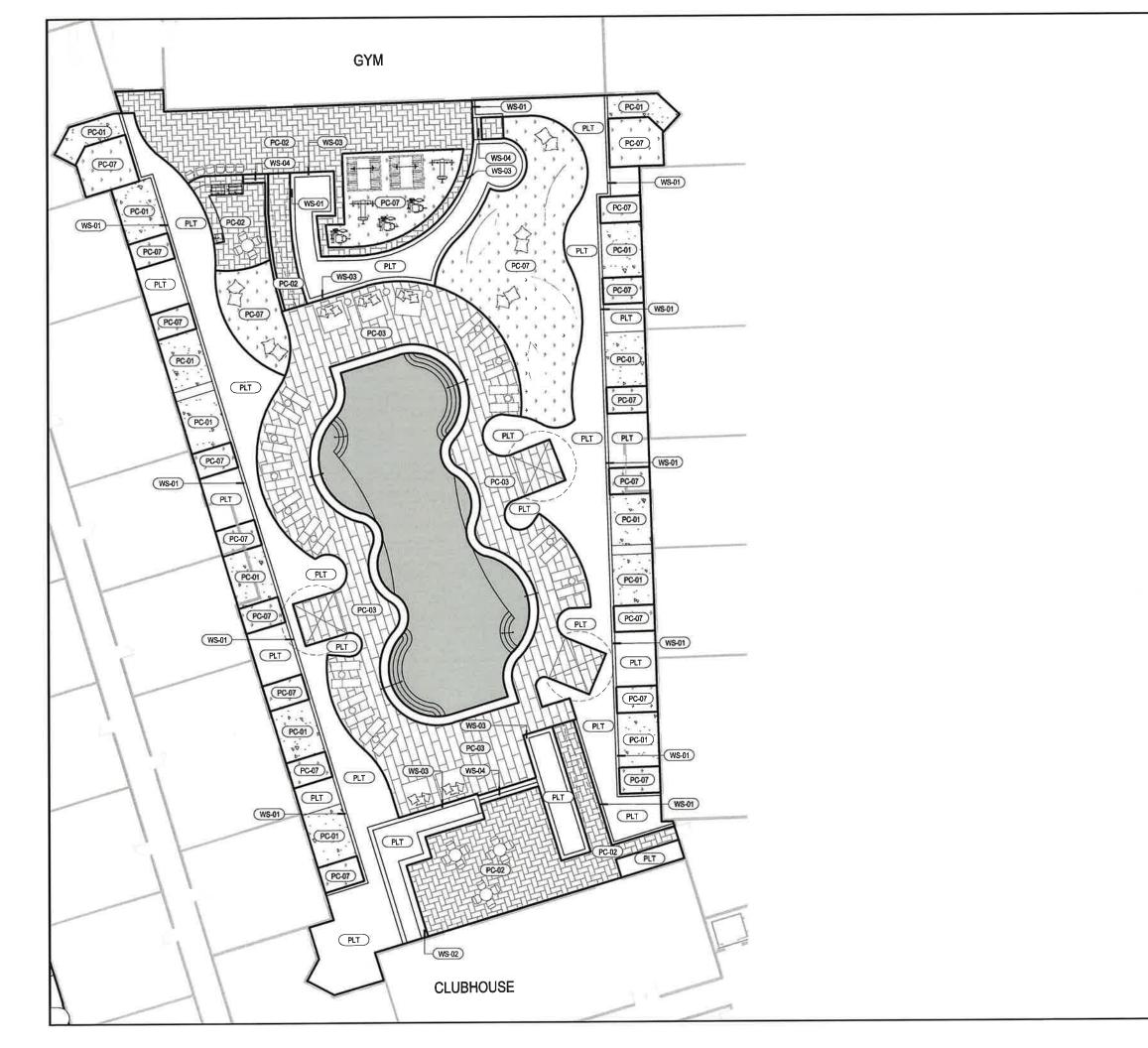


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SITE PLAN SUBMITTAL

HARDSCAPE PLAN

L3-1-02



HARDSCAPE LEGEND PAVING / CURBS CALL OUT DETAIL PC-01 CONCRETE WALK 4/L3-4-01 PC-02 PEDESTRIAN PAVERS 5/L3-4-01 PC-03 POOL DECK 6/L3-4-01 PC-04 VEHICULAR DRIVE 7/L3-4-01 PC-05 VEHICULAR PAVERS 1/L3-4-02 PC-06 DETECTABLE WARNING PAVERS 2/L3-4-02

PC-07	3/L3-4-02					
WALLS / STAIRS						
ALL OUT	DESCRIPTION	DETAIL				
WS-01)	TYPICAL RETAINING WALL	4/L3-4-02				
WS-02	TYPICAL SEAT WALL	5/L3-4-02				
W\$-03	TYPICAL PLANTER WALL	1/L3-4-03				
WS-04	TYPICAL STAIRS	2/L3-4-03				
OTHER						

OTHER					
ОЛТ	DESCRIPTION	DETAIL			
T)	PLANTING AREA				

NOTE:

1. FURNITURE SHOWN ON PLAN FOR REFERENCE ONLY.

PEMBROKE GARDENS

FEDERAL REALTY

edsa

PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miamil, Florida, 33126

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miami, Floride, 33131

HINES, INC. IRRIGATION 600 Edwarde Street Suite 7102 Celebration, Florida, 34747



Rev	Date	Issued for
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Date	JUNE 6, 2025
Designed By	MH
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



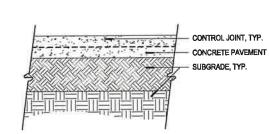
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SITE PLAN SUBMITTAL

HARDSCAPE **ENLARGEMENT**

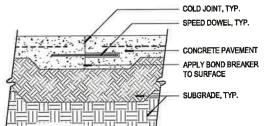
ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

L3-2-01



DETAIL NOTES:
1. CONTROL JOINTS - SAW CUT 1/8" WIDE, 1/4" DEPTH OF PAVEMENT INSTALL WITHIN 24 HOURS OF CONCRETE PLACEMENT. REFER TO PLANS FOR

SCORING PATTERN REFER TO, HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND SUBGRADE INFORMATION.

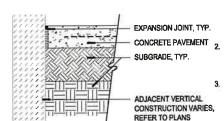


DETAIL NOTES:

1. PROVIDE COLD JOINT (CONTINUOUS).

REFER TO CIVIL ENGINEERS PLANS FOR SPEED DOWEL. REFER TO PLANS FOR SCORING PATTERN.

REFER TO DETAIL HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND



DETAIL NOTES:

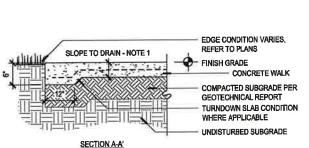
1. EXPANSION JOINTS - 3/8" POLYURETHANE JOINT SEALANT WITH BACKER ROD AND EXPANSION JOINT MATERIAL. COLOR TO MATCH CONCRETE PAVING COLOR. LOCATE EXPANSION JOINTS ADJACENT TO ALL VERTICAL CONSTRUCTION (WALLS. BUILDINGS, STAIRS, CURBS, ETC.)

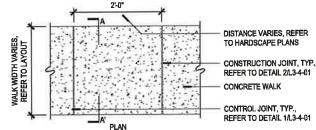
REFER TO HARDSCAPE SCHEDULE (SHEET L3-5-01) AND GEOTECHNICAL REPORT FOR CONCRETE AND SUBGRADE INFORMATION.

CONTROL JOINT SCALE - 1-1/2" = 1'=0"

CONSTRUCTION JOINT 2 SCALE - 1-1/2" = 1'=0"

EXPANSION JOINT 3 SCALE - 1-1/2" = 1'=0"

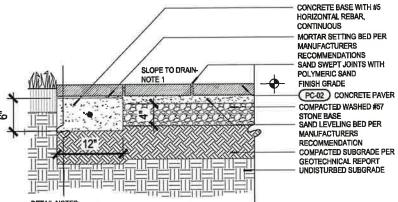




DETAIL NOTES: 1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING. 2. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS. 3. REFER TO CIVIL ENGINEERS DRAWINGS FOR CONCRETE WALK REINFORCEMENT AND P.S.I. 4. HARDSCAPE SCHEDULE NOTES APPLY TO

CONTROL JOINT, TYP.,

REFER TO DETAIL 1/L3-4-01 5. REFER TO HARDSCAPE SCHEDULE FOR



PROVIDE 1% MIN., 2% MAX CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE, REFER

TO CIVIL ENGINEERS PLANS FOR GRADING.

2. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURB, STEPS, WALLS OR FIXED SLABS.

3. REFER TO CIVIL ENGINEERS DRAWINGS FOR CONCRETE BASE P.S.I.

4. HARDSCAPE SCHEDULE NOTES APPLY TO DETAIL

PEDESTRIAN PAVERS - PC-02

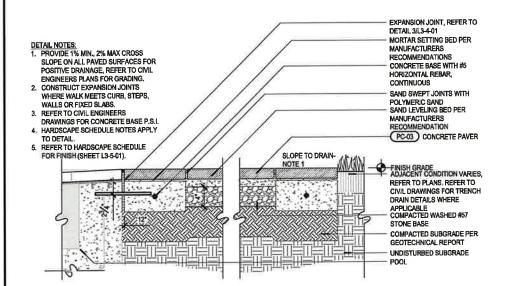
SCALE - 1-1/2" = 1'=0"

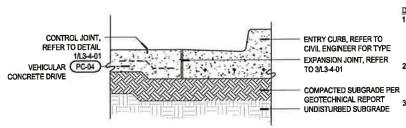
5. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).

CONCRETE WALK - PC-01 4) SCALE - 1'= 1'=0"

POOL DECK - PC-03

SCALE - 1-1/2" = 1'=0"





DETAIL NOTES:

1. THIS DETAIL IS PROVIDED FOR DESIGN INTENT AND FINISH IDENTIFICATION ONLY, FINAL CONSTRUCTION METHODS BY ARCHITECT / STRUCTURAL ENGINEER / CIVIL ENGINEER. 2. DRIVE THICKNESS, REINFORCEMENT, P.S.L. ETC. REFER TO ARCHITECT/STRUCTURAL ENGINEER/CIVIL ENGINEERS PLANS 3. REFER TO MATERIALS SCHEDULE FOR COLOR AND AGGREGATE (SHEET

VEHICULAR DRIVE - PC-04 7) SCALE - 1" = 1'=0"

PEMBROKE GARDENS

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PLANNING LANDSCAPE ARCHITECTURE URBAN DERICAL

1512 E, BROWARD BOULEVARD, SUITE 110 FORT LAUDERDALE, FLORIDA 33301 UBA TEL: 954 524 3330

ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miamil, Florida, 33126

BOHLER CIVIL ENGINEER

1 SE 3rd Avenue Suite 2700 Miami, Florida, 33131 HINES, INC. RRIGATION 00 Edwards Stree utle 7102

Rev Date	issued for

Ogte	JUNE 6, 202
Designed By	MI
Drawn By	AH, DI
Approved / Checked By	AH, J
Project Number	SE24000

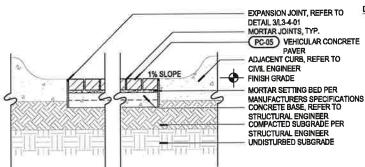


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SITE PLAN SUBMITTAL

HARDSCAPE DETAILS

L3-4-01



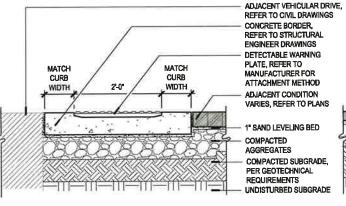
DETAIL NOTES:

1. PROVIDE 1% MIN., 2% MAX.

CROSS SLOPE ON ALL PAVED

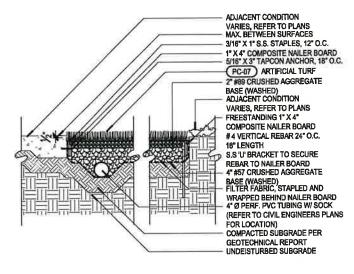
SURFACES FOR POSITIVE DRAINAGE, REFER TO CIVIL ENGINEERS PLANS FOR GRADING.

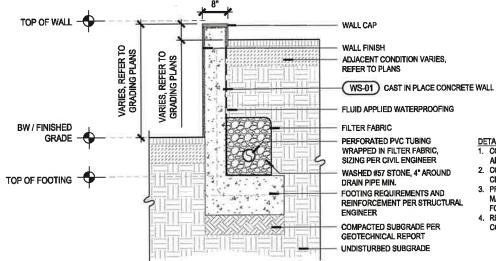
- CONSTRUCT EXPANSION
 JOINTS WHERE ROAD MEETS CURBS, STEPS, WALLS OR HARDSCAPE SCHEDULE NOTES
- APPLY TO DETAIL. REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).



VEHICULAR PAVERS - PC-05

DETECTABLE WARNING PAVERS - PC-06 SCALE - 1" = 1'=0'





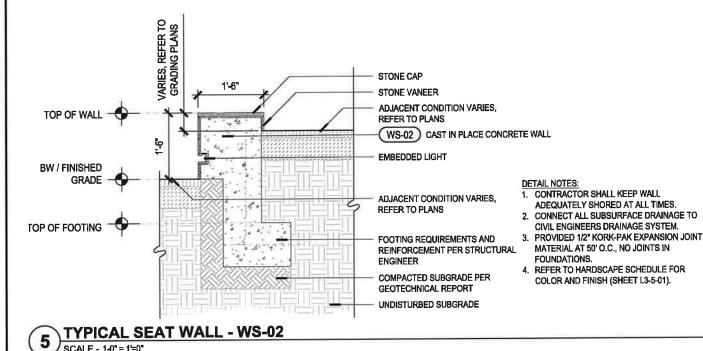
- DETAIL NOTES:

 1. CONTRACTOR SHALL KEEP WALL
 ADEQUATELY SHORED AT ALL TIMES.
- CONNECT ALL SUBSURFACE DRAINAGE TO
- CIVIL ENGINEERS DRAINAGE SYSTEM. PROVIDED 1/2" KORK-PAK EXPANSION JOINT MATERIAL AT 50' O.C., NO JOINTS IN
- REFER TO HARDSCAPE SCHEDULE FOR COLOR AND FINISH (SHEET L3-5-01)...

ARTIFICIAL TURF - PC-07 SCALE - 1" = 1'=0"

SCALE - 1-0" = 1'=0"

TYPICAL RETAINING WALL - WS-01 SCALE - 1-0" = 1'=0"



Issued for Rev Date

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ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miami, Florida, 33126

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HINES, INC. IRRIGATION

RRIGATION 300 Edwards Street Sulte 7102 Celebration, Florida, 34747

PLANNING LANDSCAPE ARCHITECTURE URBAN DERIGN

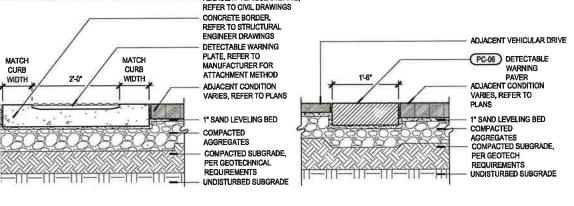
JUNE 6, 2025 Designed By AH, DD nawn By AH, JS roved / Checked By SE240003

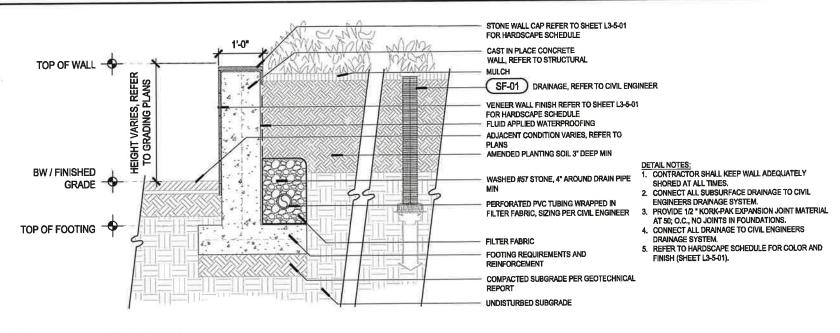
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SITE PLAN SUBMITTAL

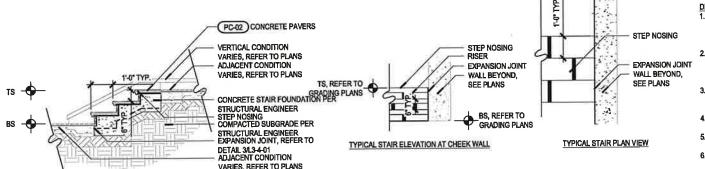
HARDSCAPE DETAILS

L3-4-02





TYPICAL PLANTER WALL - WS-03 SCALE - 3/4" = 1'=0"



TYPICAL STAIRS - WS-04 2) SCALE - 1/2" = 1'=0"

- DETAIL NOTES:

 1. REFER TO STRUCTURAL ENGINEERS PLANS FOR CONCRETE REINFORCEMENT
- ALL STAIR HORIZONTAL SURFACES TO MEET THE REQUIREMENTS OF ASTM C-1028 FOR SLIP RESISTANCE.
- LANDINGS AT TOP AND BOTTOM OF STAIRWAY NOT TO EXCEED 2%
- SLOPE STAIRS TO ACHIEVE A MIN. POSITIVE DRAINAGE OF 1%.
- HARDSCAPE SCHEDULE NOTES
- APPLY TO DETAIL
 REFER TO HARDSCAPE SCHEDULE FOR FINISH (SHEET L3-5-01).

PEMBROKE **GARDENS**

FEDERAL REALTY



ARCADIS ARCHITECTURE 701 Waterford Way Sulte 420 Miami, Florida, 33128

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miami, Florida, 33131

HINES, INC. IRRIGATION 600 Edwards Street Sufts 7102 Celebration, Florida, 34747

Rev Date

JUNE 6, 2025 Designed By AH. DD Drawn By AH, JS Approved / Checked By SE240003 Project Number



Jeffre Digitally signed by Jeffrey R Sui y R Date: 2025.07.23 Suiter -04'00'

SITE PLAN SUBMITTAL

HARDSCAPE DETAILS

L3-4-03

SYMBOL	MEN	DETAIL	DESCRIPTION	SOURCE	NOTES
PC-01	CONCRETE WALK	4/L3-4-01	MATERIAL: CAST IN PLACE CONCRETE COLOR: FINISH: T.B.D.		ALA, RESERVES RIGHT TO REQUEST MOCKUP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR DIMERSHIP APPROVAL APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURKTION.
PC-02	PEDESTRIAN PAVERS	5/1.3-4-01	MATERIAL: CONCRETE PAVER COLOR T.B.D. FINISH: T.B.D. SZE: T.B.D.		L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVIAL APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-03	POOL DECK	6/13-4-01	MATERIAL: CONCRETE PAVER COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.		L.A. RESIENVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNETSHIP APPROVIAL APPROVIDED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-04	VEHICULAR DRIVE	7/L3-4-01	MATERIAL: ASPHALT COLOR: T.B.D. FINISH: T.B.D.	BY CIVIL	-LA RESERVES RIGHT TO REQUEST NOCKUP UNTIL ADEQUATE MX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. -APPROVED MCORUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION.
PC-05	VEHICULAR PAVERS	1/L3-4-02	MATERIAL: CONCRETE PAVER COLOR: T.B.D. FINISH: T.B.D. SIZE: T.B.D.		LA REBERYES RIGHT TO BEQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNETSHIP APPROVID APPROVISED MOCKUPS TO REMAIN ON BITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-06	DETECTABLE WARNING PAVERS	2/1.3-4-02	MATERIAL: DETECTABLE WARNING PLATE COLOR: T.B.D. FINISH: T.B.D. SZE: T.B.D.	MEENAN ENTERPRISES, INC. 820.725.7000 https://groupsel.com	LL, RESERVES RIGHT TO REQUEST MODICINE PURTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR CHMERGRIP APPROVING APPROVIDED MODICIPIS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
PC-07	ARTIFICIAL TURF	3/L3-4-02	MATERIAL: LEISURE TURF 50 COLOR: T.B.D.	SOUTHWEST GREENS 591,894,1667 https://www.swgramms.com	4.L.A. RESERVES RUGHT TO REQUEST MOCK UP UNTIL ADEQUATE MX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECULATION.

WS- WALLS / STAIRS

SYMBOL	ITEM	DETAIL.	DESCRIPTION	SOURCE	NOTES
(WS-01)	TYPICAL RETAINING WALL	4/1.3-4-02	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B D. FINISH: T.B.D.		L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR DAMERSHIP APPROVAL APPROVAD MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
(WS-02)	TYPICAL SEAT WALL	5/L3-4-02	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		LA RESERVES RIGHT TO REQUEST MOCKUP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL APPROVAL APPROVAL MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
(WS-03)	TYPICAL PLANTER WALL	1/1.3-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		L.A. RESIGNEE RUGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERS HE APPROVAL APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION
(WS-04)	TYPICAL STAIRS	2/13-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		L.A. RESERVES RIGHT TO REQUEST MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. APPROVED LOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION

FS-FURNITURE

SYMBOL	men	DETAIL	DESCRIPTION	SOURCE	NOTES
FS-01	DECORATIVE DRAIN	1/L3-4-03	MATERIAL: CAST IN PLACE CONCRETE COLOR: T.B.D. FINISH: T.B.D.		-L.A. RESERVES RIGHT TO REQUEST MOCK UP LINTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVIALAPPROVED MCCAUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION.

PEMBROKE GARDENS

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PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

ARCADIS ARCHITECTURE 701 Waterford Way Sulte 420 Miami, Florida, 33126

BOHLER CIVIL ENGINEER 1 Se 3rd Avenue Suite 2700 Miami, Florida, 33131

HINES, INC. IRRIGATION 600 Edwards Street Sulte 7102 Celebration, Florida, 34747

Rev Date Issued for

AH, DD Drawn By AH, JS Approved / Checked By SE240003



Jeffre Digitally signed by Jeffrey R Sulter Date: 2025.07.23 Suiter-64'00

SITE PLAN SUBMITTAL

HARDSCAPE SCHEDULE

L3-5-01

GENERAL NOTES:

- 1. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. THE CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL PLANT MATERIAL NOT TAGGED BY THE OWNERS REPRESENTATIVE TO THE OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING DEVICE AND PERSON IN THE PHOTO FOR SCALE. NURSERY SOURCE, HEIGHT, WIDTH AND CALIPER OF PLANT MATERIAL, SHALL BE INCLUDED WITH THE PHOTOGRAPH.
- 2. THE PLANT MATERIAL QUANTITIES SHOWN IN THE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT AND COMMENCEMENT OF WORK.
- 3. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIALS THAT DO NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN AND REQUIRE THE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE SPECIFICATIONS, MAINTENANCE OF REPLACED MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
- 4. THE OWNERS REPRESENTATIVE MAY ADJUST THE LOCATIONS OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
- 5. NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
- THE INSTALLATION OF ALL PLANT MATERIALS SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR ALL COSTS RELATED TO THE TESTING OF EXISTING SOILS, PREPARED PLANTING MIXES AND AMENDMENTS.
- THE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL TO REMAIN. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN BARRICADES AS DETAILED ON THE DRAWINGS AND AS OUTLINED IN THE DEMOLITION/SITE CLEARING NOTES.
- 10. THE CONTRACTOR SHALL REFER TO THE GENERAL, FINE GRADING AND HARDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEFINIC CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
- 11. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING:
- A. AMERICAN STANDARDS FOR NURSERY STOCK, ASNI Z60.1
- B. FLORIDA GRADE NO. 1, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS LATEST
- 12. PLANTS SHALL BE SYMMETRICAL AS IS TYPICAL FOR THEIR VARIETY AND SPECIES. THEY SHALL BE FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS.
- 13. NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- 14. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. HEIGHT AND SPREAD TAKE PRECEDENCE OVER CALIPER AND CONTAINER SIZES.
- 15. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
- A. TREES.....2 YEARS
- B. SHRUBS....1 YEAR.
- C. GROUNDCOVERS....6 MONTHS.

WEEDS AND NEMATODES.

FOLLOWING REQUIREMENTS:

A. PH VALUE BETWEEN 5.5 AND 6.6.

C. NITROGEN 5% AVERAGE OF OF ORGANIC MATTER.

D. PHOSPHORUS 0.05% AVERAGE OF TOTAL SOIL CONTENT.

E. POTASSIUM 1.2% AVERAGE OF TOTAL SOIL CONTENT.

9. FERTILIZER FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

- 16. ALL CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD THE SOIL TOGETHER WHEN REMOVED FROM ITS CONTAINER. NO PLANT MATERIAL SHALL BE BOUND TO THE CONTAINER NOR HAVE CIRCULAR ROOTS.
- 17. BALLED AND BURLAPFED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN.
- 18. PLANTS GROWN IN GROW BAGS ARE PROHIBITED.

PREPARED PLANTING MIX SHALL CONSIST OF THE FOLLOWING:

A. 20% CLEAN BUILDERS SAND, 30% PEAT, 30% RICE ROCK, 20% PERLITE.

WELL-ROTTED AND SCREENED THROUGH A ONE-HALF INCH (1/2") SCREEN

B. ORGANIC MATTER CONTENT BETWEEN 5% AND 10% OF TOTAL DRY WEIGHT.

19. SOD SHALL BE THE SPECIES AS CALLED FOR ON THE DRAWINGS, SOD SHALL BE WELL MATTED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS AND OTHER DISEASES.

......90% CLEAN BUILDERS SAND, 10% TOPSOIL/PEAT MIX.

3. THE COMPOSITION OF THE PREPARED PLANTING MIX MAY BE MODIFIED BASED ON RECOMMENDATIONS FROM THE SOIL TEST(S).

5. EXISTING SOIL MAY BE SUBSTITUTED FOR TOPSOIL AND/OR SAND BASED ON THE RESULTS OF THE SOIL TEST(S).

4. TOPSOIL SHALL BE NATURAL SURFACE SOIL, FERTILE, FRIABLE AGRICULTURAL SOIL FREE OF WEEDS WITH 4-6% ORGANIC

6 PEAT SHALL BE ORGANIC PEAT SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE SHREDDED WITH PIECES NO LARGER

THAN ONE-HALF INCH (1/2") IN DIAMETER. PEAT SHALL HAVE A PH OF 4.5 TO 6.5 AND SHALL BE STERILIZED TO MAKE IT FREE OF

7. COMPOSTED ORGANICS SHALL BE WOOD SHAVINGS, PINE BARK, GREEN WASTES OR CLEAN AGRICULTURAL WASTES,

8. COMPONENTS OF THE PREPARED PLANTING MIX SHALL BE BLENDED OUTSIDE OF THE PLANTING BEDS. THE CONTRACTOR SHALL

SUBMIT A 2-GALLON SAMPLE TO A CERTIFIED SOILS TEST LABORATORY FOR ANALYSIS. BASED ON THE LABORATORY ANALYSIS

THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY TO ADJUST THE PREPARED PLANTING MIX TO MEET THE

20. SOD SHALL BE MACHINE CUT TO A COMMERCIAL SIZE WITH A UNIFORM THICKNESS OF 1-1/4 TO 1-1/2 INCH THICKNESS.

SOIL PREPARATION AND SOIL MIX NOTES:

A. TREES/SHRUBS/GROUNDCOVER......70% CLEAN BUILDERS SAND, 30% TOPSOIL/PEAT MIX.

2. PREPARED PLANTING MIX FOR LANDSCAPE ON STRUCTURE SHALL CONSIST OF THE FOLLOWING:

MATTER, A PH OF 5.5 TO 6.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.

C. ANNUALS 50% CLEAN BUILDERS SAND, 25% PEAT, 25% VERMICULITE.

SOIL PREPARATION AND SOIL MIX NOTES: (cont.)

- D. LAWNS 16-4-8 PLUS MINOR ELEMENTS-SLOW RELEASE. 1LB. FERTILIZER PER 1,000 SQ. FT.
- E. ENDO AND ECTOMYCORRIZAL INOCULANTS......DIE HARD OR OWNERS REPRESENTATIVE APPROVED EQUAL.
- F. ANTI-DESICCANT......WILT-PRUF OR OWNERS REPRESENTATIVE APPROVED EQUAL.
- 10. ALL FERTILIZERS SHALL BE MANUFACTURED FROM QUALITY MATERIALS, FREE FROM IMPURITIES AND SHALL MEET RECOGNIZED STANDARDS FOR EFFECTIVENESS.
- 11. ALL FERTILIZERS SHALL BE FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
- 12. ALL FERTILIZER SHALL BE DELIVERED TO THE SITE IN CONTAINERS, EACH FULLY LABELED CONFORMING TO APPLICABLE STATE FERTILIZER LAWS AND BEARING THE GRADE AND TRADE NAME OF THE PRODUCER.
- 13. AFTER ROUGH GRADING HAS BEEN COMPLETED ONE SAMPLE OF EXISTING SOIL PER 5,000 SQ. FT. OF LANDSCAPE AREAS SHALL
 BE SUBMITTED TO A CERTIFIED SOILS TESTING LABORATORY FOR ANALYSIS AS TO THE SUITABILITY OF THE EXISTING SOIL TO
 MEET THE REQUIREMENT OF THE PREPARED PLANTING MIX.
- 14. SOIL SAMPLES SHALL BE TAKEN TO A DEPTH OF TWENTY-FOUR INCHES (24").
- 16, SHOULD TEST RESULTS INDICATE THAT THE EXISTING SOILS DO NOT FALL WITHIN THE REQUIREMENS FOR PREPARED PLANTING MIX THE CONTRACTOR SHALL:
- A. SUBMIT TO THE OWNERS REPRESENTATIVE FOR APPROVAL AN AMENDED PLANTING MIX ALONG WITH RECOMMENDATION FOR ORGANIC MATERIALS, FERTILIZERS AND/OR OTHER MATERIALS FOUND NECESSARY TO ASSURE OPTIMUM PLANT GROWTH. PROPOSED REVISIONS SHALL INCLIDE METHODOLOGY FOR INCORPORATING THE AMENDMENTS TO A DEPTH OF TWENTY-FOUR INCHES (24*). ANY RECOMMENDED REVISIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF THE AMENDED PLANTING MIX....OR
- B. EXCAVATE LANDSCAPE BEDS CONTAINING NONCOMPLIANT EXISTING SOILS TO A DEPTH OF 24 INCHES (24") AND BACKFILL WITH PREPARED PLANTING MIX AS SPECIFIED. PREPARED PLANTING MIX SHALL BE PLACED AND COMPACTED TO 80% STANDARD PROCTOR IN TWELVE INCH (12") LIFTS.
- 16. EXISTING SOILS MAY BE USED IN EITHER THE PREPARED OR AMENDED PLANTING MIXES AS DETERMINED BY THE SOIL TEST
- 17. EXCAVATED SOIL MAY BE USED FOR ONSITE FILL IF IT COMPLIES WITH GEOTECHNICAL REQUIREMENTS.
- 40 CHIDMITTALO
- A. RESULTS OF SOILS TESTS INCLUDING CONTENT/MIX ANALYSIS AND AMENDMENT RECOMMENDATIONS.
- B. CERTIFICATION THAT PREPARED AND/OR AMENDED PLANTING MIX MEETS REQUIREMENTS.
- C. LITERATURE AND PROPOSED APPLICATION RATES FOR SOIL AMENDMENTS, HERBICIDES AND STERILIZERS.

PLANTING NOTES: (cont.)

- 12, ALL PLANT PITS SHALL BE EXCAVATED TO A WIDTH AND DEPTH AS INDICATED ON THE DRAWINGS,
- 13. PLANT MATERIALS SHALL BE CENTERED IN THEIR PITS, FACED FOR BEST EFFECT AND SET PLUMB FOR BACKFILLING.
- 14. SHRUB/GROUNDCOVER PLANTINGS SHOWN IN MASS PLANTING BEDS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION, SEE DRAWINGS FOR TRIANGULAR SPACING DETAIL AND PLANT MATERIAL LIST FOR ON-CENTER PLANT SPACING.
- 15. BALLED AND BURLAPPED PLANTS SHALL HAVE THE BURLAP, STRINGS, STRAPS AND WIRE CAGES REMOVED FROM THE TOP 1/3
 OF THE ROOT BALL
- 16. PLACE BACKFILL IN PLANT PITS IN LAYERS NOT TO EXCEED 1/3 THE DEPTH OF THE ROOT BALL AND TAMP FIRMLY IN PLACE. PRIOR TO PLACING THE FINAL LAYER, THE PIT SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE.
- 17. AFTER SETTLEMENT THE CROWN OF THE ROOT BALL SHALL BE ABOVE FINISHED GRADE AS INDICATED ON THE DRAWINGS. PLANTS WITH ROOT BALLS SET BELOW INDICATED HEIGHTS WILL BE REQUIRED TO BE REMOVED AND REPLANTED.
- 18. TREES/PALMS SHALL BE STAKED ACCORDING TO THE DETAILS ON THE DRAWINGS
- 19. MULCH AS DESIGNATED ON THE DRAWINGS SHALL BE PLACED THROUGHOUT ALL PLANTING AREAS.
- 20, NO MULCH SHALL BE PLACED OVER SHRUB/GROUNDCOVER ROOT BALLS OR WITHIN 4" OF TREE OR PALM TRUNKS.
- 21. SOD SHALL BE PLACED WITH STAGGERED BUTT TIGHT JOINTS. THERE SHALL BE NO VOIDS OR OVERLAPPING OF EDGES BETWEEN SOD PIECES.
- 22. SOD SHALL BE ROLLED IMMEDIATELY AFTER BEING PLACED, CLEAN BUILDERS' SAND SHALL BE USED TO FILL ANY RESULTING VOIDS OR UNEVENNESS IN THE SOD SURFACE. ANY AREAS REQUIRING EXCESSIVE TOP-DRESSING SHALL HAVE THE SOD REMOVED, THE AREA REGRADED AND RE-SODDED.
- 23. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING INSTRUCTIONS.

PEMBROKE GARDENS

Clien

FEDERAL REALTY



PLANNING LANDSCAPE ARCHITECTU URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE FORT LAUDERDALE, FLORIDA 33301 U

Consultants

ARCADIS
ARCHITECTURE
701 Waterford Way

Suite 420 Miami, Florida, 33126 BOHLER CIVIL ENGINEER

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HINES, INC.
IRRIGATION

Rev Date Issued for

 Date
 JUNE 8, 2025

 Designed By
 MH

 Drawn By
 AH, DC

 Approved / Checked By
 AH, JE

 Project Number
 SE240003



Jeffre Digitally signed by Jeffrey R Suit 2025.07.23
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roject Phase

SITE PLAN SUBMITTAL

Sheet Title

PLANTING NOTES

Shoot Number

L5-0-01

PLANTING NOTES:

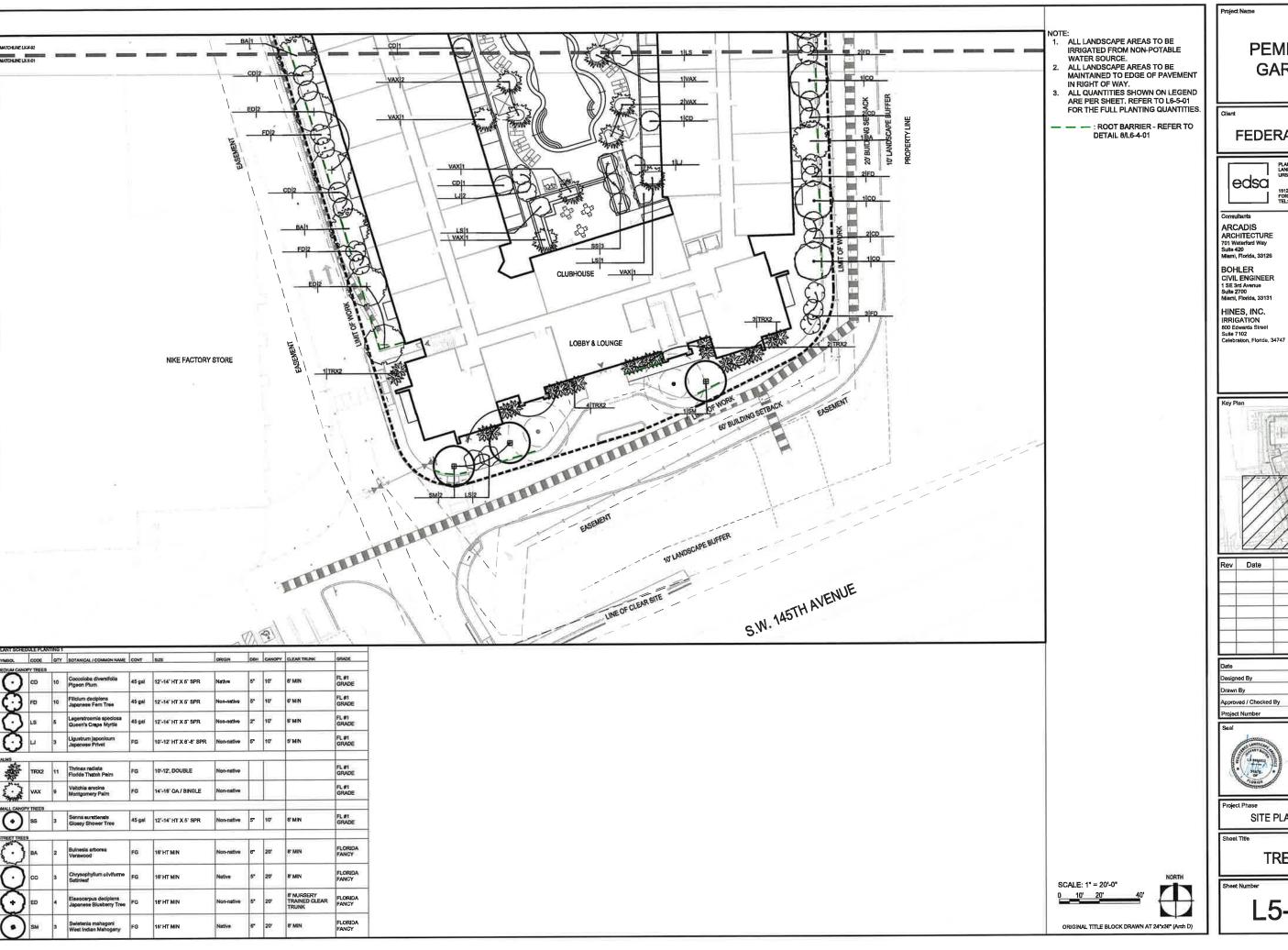
- PRIOR TO THE INSTALLATION OF PLANT MATERIALS, THE CONTRACTOR SHALL CONFIRM IN WRITING TO THE OWNERS
 REPRESENTATIVE THAT THE FINISHED GRADES IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONFORM TO
 THE PROPOSED GRADES NOTED ON THE GRADING PLANS.
- PLANTING SHALL NOT COMMENCE UNTIL IRRIGATION HAS BEEN INSTALLED AND IS OPERATIONAL. TREES MAY BE INSTALLED
 PRIOR TO THE INSTALLATION OF IRRIGATION PROVIDED THAT A HAND WATERING SCHEDULE IS SUBMITTED TO AND APPROVED
 BY THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL SUBMIT WEED CONTROL PRODUCTS THAT DO NOT INCLUDE GLYPHOSATE. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY. DO NOT APPLY WITHIN ROOT ZONES OF EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO ENSURE TOTAL WEED FRADICATION PRIOR TO INSTALLATION OF PLANT MATERIAL.
- 4. CONTRACTOR SHALL CONFIRM THAT ALL ORGANICS, SOD, WEEDS, ROOTS AND DEBRIS HAVE BEEN REMOVED TO A DEPTH OF 12 INCHES FROM ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED. ALL PAVEMENT AND PAVEMENT BASE MATERIAL SHALL BE REMOVED COMPLETELY IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED.
- 5. ANY DEPRESSIONS OR EXCAVATIONS BELOW THE APPROVED FINISHED GRADES CREATED FOR OR BY THE REMOVAL OF SUCH OBJECTS SHALL BE REFILLED WITH CLEAN COARSE SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING
- THE CONTRACTOR SHALL PAINT THE OUTLINE OF EACH SHRUB AND GROUNDCOVER BED AND STAKE THE LOCATION OF ALL TREES/PALMS FOR APPROVAL OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- 7. TREE/PALM PITS SHALL BE TESTED FOR VERTICAL DRAINAGE BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF MORE THAN 6 INCHES OF WATER IN 1 HOUR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR CORRECTION OF SUCH CONDITIONS BEFORE PROCEEDING WITH INSTALLATION.
- 8, UNIFORMLY APPLY REQUIRED AMENDMENTS TO AREAS TO RECEIVE SOD AND CULTIVATE BY MECHANICAL TILLING INTO THE TOP 6 INCHES OF SOIL.
- 9. AREAS TO RECEIVE SOD SHALL BE GRADED TO LEVEL OUT ALL UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM TILLAGE, FERTILIZING OR OTHER OPERATIONS. THE RESULTING SURFACE SHALL BE ROLLED WITH THE RESULTING GRADE TO BE NO HIGHER THAN THE ADJACENT PAVING OR OTHER GRADE ELEMENTS AFTER SOD HAS BEEN INSTALLED.
- 10. PLANTING BEDS SHALL THEN BE FINE GRADED TO A SMOOTH AND EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ELIMINATING ANY DEPRESSIONS WHICH MAY COLLECT WATER.
- 11. "SURFLAN" OR OWNER REPRESENTATIVE APPROVED EQUAL PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDED RATE.

POST PLANTING NOTES:

. MAINTENANCE:

- A DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL.
- B. MAINTENANCE DURING THE WORK PERIOD PRIOR TO THE SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPARING/TIGHTENING OF STAKES AND GUYS, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITION AND FURNISHING AND APPLYING SUCH SPRAYS AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
- C, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL PLANT MATERIAL AS REQUIRED TO SUPPLEMENT IRRIGATION AND RAINFALL IN ORDER TO ENSURE PLANT MATERIAL ESTABLISHMENT.
- 2. SUBSTANTIAL COMPLETION ACCEPTANCE:
- A. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
- B. FOR THE PURPOSE OF ACCEPTANCE ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, UNDAMAGED, FREE OF WEEDS AND DISEASE, AND EXHIBITING EVIDENCE OF ESTABLISHING NEW ROOTS. PLANT MATERIAL DEEMED UNACCEPTABLE SHALL BE DEMONYO
- C. THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS IN WRITING THAT ALL WORK RELATED TO PLANTING IS COMPLETE.
- WARRANTY:
- A. ALL PLANT MATERIAL SHALL BE WARRANTED IN WRITING BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION. REPLACEMENT OF PLANT MATERIAL DURING THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HAVE THE SAME WARRANTY PERIOD OF ONE (1) YEAR FROM DATE OF REPLACEMENT.

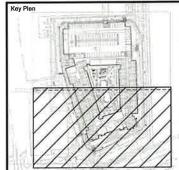
ORIGINAL TITLE BLOCK DRAWN AT 24"x85" (Arch D'



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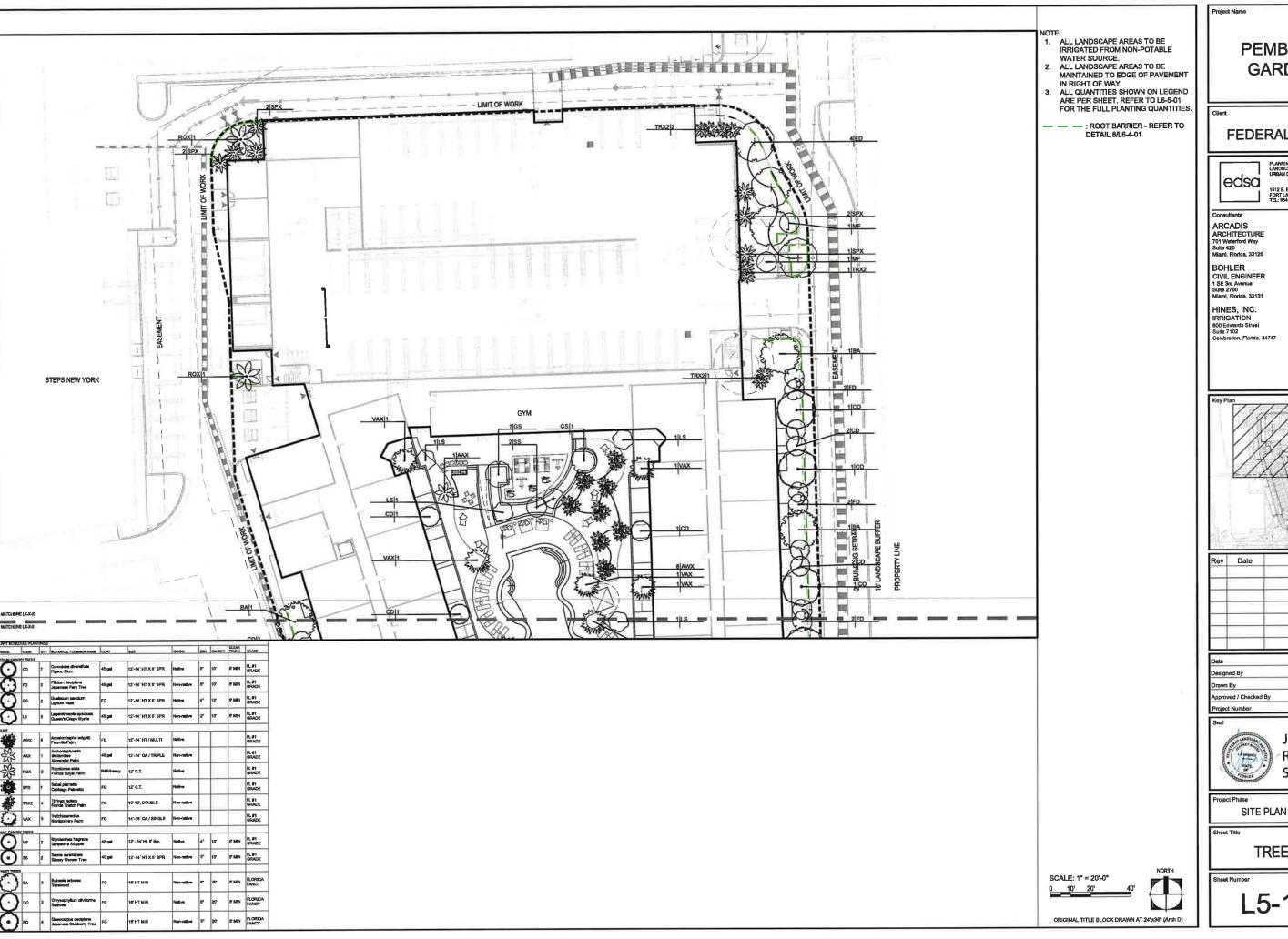
Date	JUNE 6, 202	
Designed By	N	
Drawn By	AH, Di	
Approved / Checked By	AH, J	
Project Number	SE24000	

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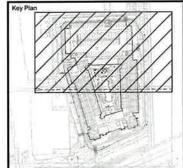
TREE PLAN

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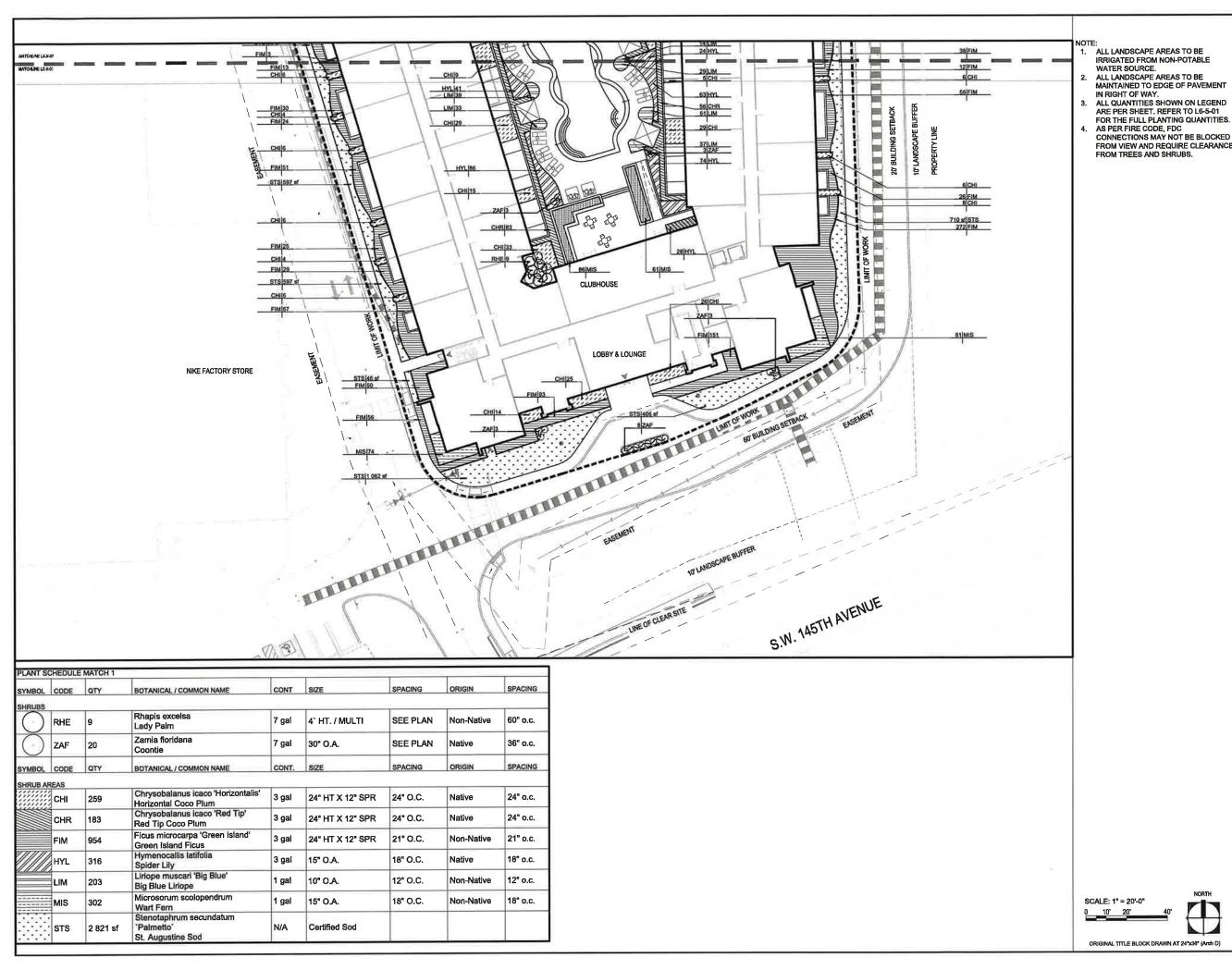
Date	JUNE 6, 202
Designed By	М
Drawn By	AH, D
Approved / Checked By	AH, J
Project Number	SE24000

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TREE PLAN

L5-1-02



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PEMBROKE GARDENS

Client

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Consultants

ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Miami, Florida, 33126

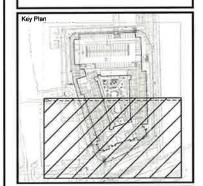
Mlami, Florida, 33126

BOHLER

CIVIL ENGINEER
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Mlami, Florida, 33131

HINES, INC. IRRIGATION 600 Edwards Street Sulte 7102 Celebration, Florida, 34747



Date	Issued for
	Date

Oeta	JUNE 6, 2025
Designed By	мн
Drawn By	AH, DD
Approved / Checked By	AH, JS
Project Number	SE240003



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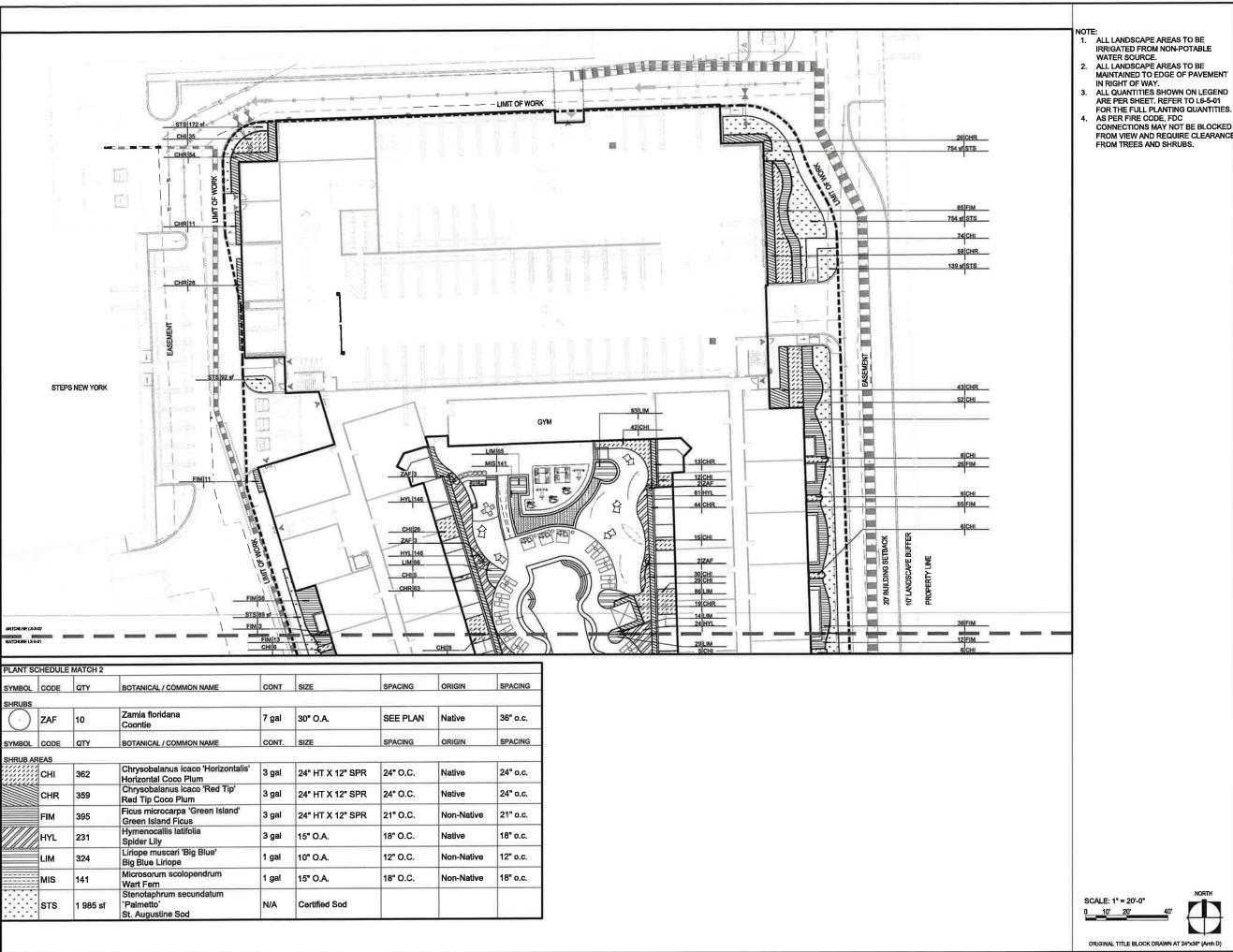
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Sheet Title

SHRUB PLAN

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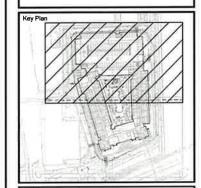
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN

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HINES, INC. IRRIGATION 600 Edwards Street Suite 7102 Celebration, Florida, 34747



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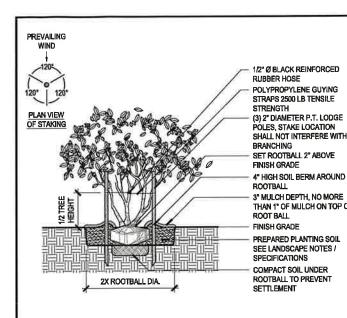


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SITE PLAN SUBMITTAL

SHRUB PLAN

L6-1-02



SCALE - NTS

PLAN VIEW OF STAKING

TREE STAKING: MULTI-STEM TREE

(3) 2"X4"X12" NOTCHED, FOAM OR BURLAP

BACKED PT WOOD BATONS, TO PREVENT

STEEL BANDS FROM CONTACTING TRUNK

(2) ADJUSTABLE GALVANIZED STEEL BANDS

(3) 2"X4" PT WOOD BRACE SET AT 120°. NAIL

SET ROOTBALL 2" ABOVE FINISH GRADE

4" HIGH SOIL BERM AROUND ROOTBALL

ON TOP OF ROOT BALL

NOTES/SPECIFICATIONS

FINISH GRADE

FINISH GRADE.

SETTLEMENT

2X ROOTBALL DIA

96'-0"

SCALE - NTS

TREE PROTECTION

SCALE - NTS

SMALL PALM ON GRADE

(AND DRILL IF NEEDED) TO BATONS AND STAKES

3" MULCH DEPTH, NO MORE THAN 1" OF MULCH

2"x4"x36" PT WOOD STAKES, INSTALL 2" BELOW

PREPARED PLANTING SOIL - SEE LANDSCAPE

COMPACT SOIL UNDER ROOTBALL TO PREVENT

GRADE WITHIN THE TREE PROTECTION FENCE

UNLESS OTHERWISE

NOTE:

CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO NSTALLATION.

- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).

- ALL TREES TO BE SET PLUMB 3" MULCH DEPTH, NO MORE - ALL TREES TO BE THAN 1" OF MULCH ON TOP OF IN PLANTING PIT.

> REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING

NOTE:

INSTALLATION.

- CONTRACTOR TO STAKE LOCATION OF TREES FOR

APPROVAL BY OWNER'S

REPRESENTATIVE PRIOR TO

- CONTRACTOR TO ASSURE

PERCOLATION IN ALL PLANTING

PITS PRIOR TO INSTALLATION

- ALL TREES TO BE SET PLUMB

- REMOVE BURLAP FROM TOP

COMPLETELY REMOVE ANY SYNTHETIC WRAPPING

- ALL WOOD BRACING MEMBERS

TO BE SELECTED BY OWNER OR

SHALL BE STAINED PRIOR TO INSTALLATION. STAIN COLOR

(SEE LANDSCAPE NOTES /

SPECIFICATIONS).

IN PLANTING PIT.

1/3 OF ROOTBALL.



SLEEVES 5000 LBS CAPACITY

GALVANIZED TURNBUCKLE SET ROOTBALL 4" ABOVE FINISH GRADE 3" MULCH DEPTH, NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL 4" HIGH SOIL BERM AROUND ROOTBALL

3/4° Ø v 48° LONG ANCHOR WITH 6" DIAMETER HELIX. INSTALL 2" BELOW FINISH GRADE FINISH GRADE PREPARED PLANTING SOIL SEE LANDSCAPE NOTES /

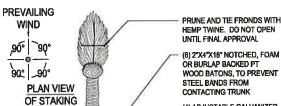
NOTE: CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S EPRESENTATIVE PRIOR TO

INSTALLATION.

- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).

- ALL TREES TO BE SET PLUME IN PLANTING PIT.

- REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING MATERIALS.



ROYAL PALM ON GRADE

WOOD BATONS, TO PREVENT (4) ADJUSTABLE GALVANIZED STEEL BANDS

MULCH ON TOP OF ROOT BALL FINISH GRADE (4) 2"x4"x36" PT WOOD STAKES, INSTALL 2" BELOW FINISH GRADE. PREPARED PLANTING SOIL - SEE LANDSCAPE NOTES/SPECIFICATIONS

COMPACT SOIL UNDER ROOTBALL TO

PREVENT SETTLEMENT

- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S INSTALLATION.

NOTE:

REPRESENTATIVE PRIOR TO - CONTRACTOR TO ASSURE

PEMBROKE

GARDENS

FEDERAL REALTY

edsa

RCHITECTURE

te 420 imi, Florida, 33126

CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miamil, Florida, 33131

HINES, INC.

RRIGATION 800 Edwards Street Suite 7102 Celebration, Florida, 34747

Date

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Jeffre

Suiter 10-520

JUNE 6, 202

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AH, JS

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Date: 2025.07.23

ARCADIS

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PERCOLATION IN ALL PLANTING PITS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS).

- ALL TREES TO BE SET PLUMB

REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. COMPLETELY REMOVE ANY SYNTHETIC WRAPPING

- ALL WOOD BRACING MEMBERS SHALL BE STAINED PRIOR TO INSTALLATION. STAIN COLOR TO BE SELECTED BY OWNER OR

(4) 4"X4" PT WOOD BRACE SET AT 90°, NAIL (AND DRILL IF NEEDED) TO BATONS AND STAKES SET ROOTBALL 2" ABOVE FINISH GRADE 4" HIGH SOIL BERM AROUND ROOTBALL 3" MULCH DEPTH, NO MORE THAN 1" OF

LARGE TREE ON GRADE SCALE - NTS

SPECIFICATIONS

SETTLEMENT

COMPACT SOIL UNDER

ROOTBALL TO PREVENT

WIND

PLAN VIEW

OF STAKING

. CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR REVIEW AND APPROVAL BY OWNER'S

2X ROOTBALL DIA

2. CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS. IT'S ENTIRETY - SEE LANDSCAPE NOTES / 3. LAY OUT SHRUBS AT BED EDGE FIRST TO SPECIFICATIONS. ESTABLISH CONTINUOUS LINE, BEST FACE OF SHURB TO FACE FRONT OF PLANTING BED. MULCH-3" DEPTH FOR SHRUBS. NO MORE THAN 1" OF MULCH. ON TOP OF ROOT BALL SET ROOTBALL 1 PREPARED PLANTING ABOVE FINISH SOIL - SEE LANDSCAPE GRADE NOTES / SOIL SPECIFICATIONS FINISH GRADE

BUILDING FACE 18" SETBACK FOR SHRUBS AND 12" EXCAVATE / AMEND ENTIRE PLANTING BED TO A MINIMUM SETBACK FOR GROUNDCOVERS FROM CURB, EDGE OF PAVEMENT, OR ADJACENT BED LINES CURR OR EDGE OF PAVEMENT

THE PERIMETER OF SHRUB /

GROUNDCOVER BEDS SHALL BE PLANTED

OF BEDS SHALL BE PLANTED AT THE

SPECIFIED OC TRIANGULAR SPACING

CURB OR EDGE OF PAVEMEN

IN A ROW AS SHOWN INTERIOR PORTIONS

2X ROOTBALL DIA

SCALE - NTS

CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)

NOTES:
1. CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS

FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.

SHRUBS / GROUNDCOVER TO BE TRIANGULAR SPACED. SEE PLANT SCHEDULE FOR SPECIFIC PLANT ON CENTER (OC) SPACING

SETBACK DISTANCE TO CENTERLINE VARIES ACCORDING TO SPECIES AND GROWTH HABIT. ADJUST SETBACK TO THAT MATURE PLANTS DO NOT OVERLAF ON TO SIDEWALKS, CURBING. STRUCTURES, PAVEMENT, ETC

MULCH

SHRUB/GROUND COVER PLANTING

SCALE - NTS

SHRUB/GROUNDCOVER SPACING SCALE - NTS

TREE OR PALM TO TREE PROTECTION FENCE; HIGH DENSITY POLYETHYLENE ENCING WITH 3.5" X 1.5" OPENINGS; COLOR: ORANGE, STEEL POSTS AT 8' OC 2" X 6' STEEL POSTS OR PPROVED FOLIAL THICK LAYER OF MULCH MAINTAIN EXISTING

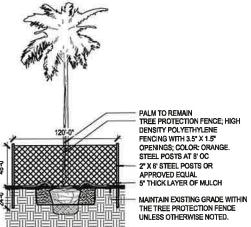
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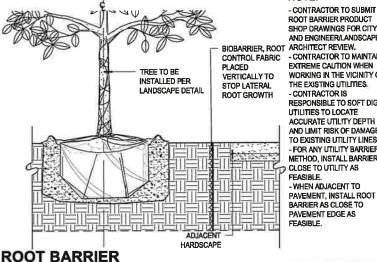
- NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO: CONSTRUCTION MATERIALS. MACHINERY, CHEMICALS, VEHICLES OR SOIL DEPOSITS.

IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.

NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING

BARRIERS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHOULD NOT BE REMOVED





NOTE:

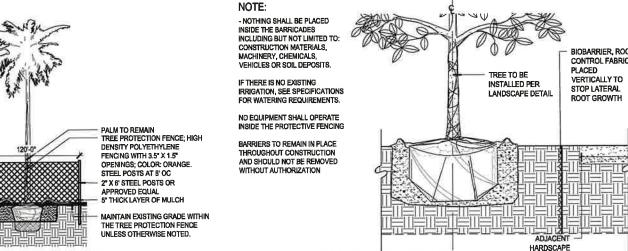
ROOT BARRIER PRODUCT SHOP DRAWINGS FOR CITY AND ENGINEER/LANDSCAPE CONTROL FABRIC - CONTRACTOR TO MAINTAIN EXTREME CAUTION WHEN WORKING IN THE VICINITY OF THE EXISTING UTILITIES. - CONTRACTOR IS RESPONSIBLE TO SOFT DIG UTILITIES TO LOCATE ACCURATE UTILITY DEPTH AND LIMIT RISK OF DAMAGE TO EXISTING UTILITY LINES. FOR ANY UTILITY BARRIER METHOD, INSTALL BARRIER AS CLOSE TO UTILITY AS FEASIBLE. - WHEN ADJACENT TO

PAVEMENT, INSTALL ROOT BARRIER AS CLOSE TO PAVEMENT EDGE AS

_6-4-01

SITE PLAN SUBMITTAL

PLANTING DETAILS



PALM PROTECTION SCALE - NTS

8 SCALE - NTS

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

BOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE	ORIGIN	DBH	CANOPY	CLEAR TRUNK	GRADE
11.73.77	OPY TREES	1-0.7	I. Total Control of the Control of t							
73	FD	15	Japanese Fem Tree / Filicium decipiens	45 gal	12'-14' HT X 5' SPR	Non-native	5"	10'	6' MIN	FL #1 GRADE
$\tilde{\cdot}$	LJ	3	Japanese Privet / Ligustrum japonicum	FG	10'-12' HT X 6'-8' SPR, STANDARDS	Non-native	5"	10'	5' MIN	FL#1 GRADE
ζ,	GS	2	Lignum Vitae / Guaiacum sanctum	FG	12'-14' HT X 5' SPR	Native	4*	13'	6' MIN	FL#1 GRADE
\preceq	CD	17	Pigeon Plum / Coccoloba diversifolia	45 gal	12'-14' HT X 5' SPR	Native	5"	10'	6' MIN	FL #1 GRADE
5	LS	8	Queen's Crape Myrtle / Lagerstroemia speciosa	45 gal	12'-14' HT X 5' SPR	Non-native	2"	10'	6' MIN	FL #1 GRADE
s							_			
彩	AAX	1	Alexander Palm / Archontophoenix alexandrae	45 gal	12'-14' OA / TRIPLE	Non-native				FL #1 GRADE
W.	SPX	7	Cabbage Palmetto / Sabal palmetto	FG	12' C.T.	Native				FL#1 GRADE
沿	ROX	2	Florida Royal Palm / Roystonea elata	B&B/heavy	12° C.T.	Native				FL #1 GRADE
	TRX2	15	Florida Thatch Palm / Thrinax radiata	FG	10'-12', DOUBLE	Non-native				FL #1 GRADE
WWW.	VAX	14	Montgomery Palm / Veitchia arecina	FG	14'-16' OA / SINGLE	Non-native				FL #1 GRADE
	AWX	8	Paurotis Palm / Accelonhaphe wrightii	FG	12'-14' HT / MULTI	Native				FL#1 GRADE
Ma	DPY TREES				-					
7	SS	5	Glossy Shower Tree / Senna surattensis	45 gal	12'-14' HT X 5' SPR	Non-native	5"	10'	6' MIN	FL#1 GRADE
$\check{\odot}$	MF	2	Simpson's Stopper / Myrcianthes fragrans	45 gal	12' - 14' Ht. 6' Spr.	Native	4*	10'	6' MIN	FL#1 GRADE
ET TRE	ES							T		
+) ED	8	Japanese Blueberry Tree / Elaeocarpus decipiens	FG	16' HT MIN, STANDARDS	Non-native	5"	20'	8' NURSERY TRAINED CLEAR TRUNK	FLORIDA
$\tilde{}$) co	6	Satinleaf / Chrysophyllum oliviforme	FG	16' HT MIN	Native	5"	20'	8' MIN	FLORIDA
376 m	BA	5	Verawood / Bulnesia arborea	FG	16' HT MIN	Non-native	6"	20'	8' MIN	FLORIDA FANCY

			SH	RUB SCHEDU	JLE			
SYMBOL	CODE	ΩΤΥ	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	ORIGIN
HRUBS				1		T	1	1
(\cdot)	RHE	9	Rhapis excelsa	Lady Palm	7 gal	4° HT. / MULTI	SEE PLAN	Non-Native
(ZAF	30	Zamia floridana	Coontle	7 gal	30° O.A.	SEE PLAN	Native
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	ORIGIN
SHRUB A	REAS							1
	СНІ	599	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native
	CHR	498	Chrysobalanus Icaco 'Red Tip'	Red Tip Coco Plum	3 gel	24" HT X 12" SPR	24" O.C.	Native
	FIM	1 349	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	24" HT X 12" SPR	21" O.C.	Non-Native
	HYL	523	Hymenocaliis latifolia	Spider Lily	3 gal	15° O.A.	16° O.C.	Native
	LIM	513	Liriope muscarl 'Big Blue'	Blg Blue Liriope	1 gal	10" O.A.	12" O.C.	Non-Native
	MIS	443	Microsorum scolopendrum	Wart Fem	1 gal	15" O.A.	18" O.C.	Non-Native
	STS	4 806 sf	Stenotaphrum secundatum 'Palmetto'	St. Augustine Sod	N/A	Certified Sod		

	NATIVE % C	OUNT
	NATIVE	NON NATIVE
TREES	66%	34%
SHRUBS	45%	55%

SPECIES COUNTING TOWARDS SHRUB COUNT PER DEFINTION IN SEC 4 (B) - 1 (d):

HORIZONTAL COCOPLUM, RED TIP COCOPLUM, GREEN ISLAND FICUS.

UNIT NUMBERS	RS SHRUBS REQUIRED TOTAL SI REQUI	
FIRST FLOOR: 30 UNITS	25 PER UNIT	750
SECOND AND THIRD FLOORS: 78 UNITS	5 PER UNIT	360

ALL SHRUBS MEET SIZE REQUIREMENTS PER SEC 4 (B) -1 (d):

"Shrubs and hedges shall be installed using a minimum of 6 inches in depth of new topsoil. Shrubs shall be installed with a minimum 24 inches in height and 12 inches in spread, unless otherwise directed, immediately upon planting. Shrubs shall be installed in a manner that prevents both intrusion and touching building surfaces from branches by the end of one year's growth. Layering of shrub rows shall be done in accordance with the tallest mature shrubs placed in the back and progressively shorter mature shrubs placed progressively in the front section."

SHRUB PLANTING FOR MULTI-FAMILY RESIDENTIAL MINIMUMS MET.

	SHRUB SCHEDULE									
3OL	CODE	ΩΤΥ	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	ORIGIN		
JBS										
)	RHE	9	Rhapis excelse	Lady Palm	7 gal	4° HT. / MULTI	SEE PLAN	Non-Native		
5	ZAF	30	Zamia floridana	Coontie	7 gal	30° O.A.	SEE PLAN	Native		
BOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	ORIGIN		
JB AF	REAS									
	СНІ	599	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	3 gal	24" HT X 12" SPR	24" O.C.	Native		
	CHI	498	Chrysobalanus Icaco 'Red Tip'	Red Tip Coco Plum	3 gel	24" HT X 12" SPR	24" O.C.	Native		
	FIM	1 349	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	24" HT X 12" SPR	21" O.C.	Non-Native		
	HYL	523	Hymenocaliis latifolia	Spider Lily	3 gal	15" O.A.	16" O.C.	Native		
alk	LIM	513	Liriope muscarl 'Big Blue'	Big Blue Urlope	1 gal	10" O.A.	12" O.C.	Non-Native		
	MIS	443	Microsorum scolopendrum	Wart Fem	1 gal	15" O.A.	18" O.C.	Non-Native		
	STS	4 806 sf	Stenotaphrum secundatum 'Palmetto'	St. Augustine Sod	N/A	Certified Sod				

ı	Key Plan		
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Project Name

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ARCADIS ARCHITECTURE 701 Waterford Way Suite 420 Marril, Florida, 33126

BOHLER CIVIL ENGINEER 1 SE 3rd Avenue Suite 2700 Miami, Florida, 33131

HINES, INC. IRRIGATION 600 Edwards Street Suite 7102 Celebration, Florida, 34747

PEMBROKE **GARDENS**

FEDERAL REALTY

Rev	Date	Issued for
\dashv		

Date	JUNE 6, 2025	
Designed By	MH	
Drawn By	AH, DD	
Approved / Checked By	AH, JS	
Project Number	SE240003	



Jeffre Signed by Jeffrey R Suite Date: 2025.07.23 Suiter 10.32:33

SITE PLAN SUBMITTAL

PLANTING SCHEDULE

L6-5-01

TREES	PY PER 4 UNIT	rs - as per	NDXD SEC. 4 (B)	1 (a):

UNIT NUMBERS	TREES REQUIRED	
308	π	

TREES REQUIRED: 77 TOTAL NUMBER OF TREES PROVIDED: 77

ALL STREET TREES MEET SIZE REQUIREMENTS PER SEC 4 (B) - 1 (a)
STREET TREES ARE PLACED 30' ON CENTER PER SEC 4 (B) -1 (a)
"Street trees are defined as trees placed 30'on center, which meet the criteria of 16' in height, 8' of clear trunk, 3-4" caliper and adhere to Florida Fancy numery standards."

ALL OTHER TREES MEET TREE PLANTING REQUIREMENT PER SEC 4 (B)-1 (c)

"Tree planting requirements:
a.Minimum of 20% of required trees meet 14-16' Ht. with 3' diameter at breast height
b.Minimum of 20% o required trees meet 12-14' Ht. with 2' diameter at breast height
c.Trees in excess of five shall have no more than 20% of a single species"

A. 24 TREES MEET 14-16' (27%)
B. 83 TREES MEET 12-14' (72%)
C. NO SINGLE TREE SPECIES EXCEEDS 20% (17) OF TOTAL COUNT