SITE PLAN

THE EDISON PEMBROKE PINES

CITY OF PEMBROKE PINES **BROWARD COUNTY, FLORIDA** SECTION 15/22, TOWNSHIP 51, RANGE 40

(CIVIL ENGINEERING PLANS)

(CIVIL ENGINEERING PLANS)

C-0 CIVIL COVER SHEET

C-1 GENERAL NOTES & SPECIFICATIONS

SP-1 THE EDISON APARTMENTS SITE PLAN

SP-2 THE EDISON APARTMENTS SITE PLAN DETAILS

PG-1 PAVING AND GRADING PLAN

PG-2 PAVING AND GRADING PLAN

PG-3 PAVING AND GRADING PLAN

DG-3 DRAINAGE PLAN

D-4 DRAINAGE PLAN

D-3 DRAINAGE DETAILS

D-3 DRAINAGE DETAILS

WS-1 WATER AND SANITARY SEWER PLAN

WS-2 WATER AND SANITARY SEWER PLAN

WS-1 WATER AND SANITARY SEWER PLAN
WS-2 WATER AND SANITARY SEWER PLAN
WS-3 WATER AND SANITARY SEWER DETAILS
WS-4 WATER AND SANITARY SEWER DETAILS

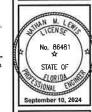
PMS-1 PAVEMENT MARKING AND SIGNAGE PLAN

PMIS-1 PAVEMENT MARKING AND SIGNAGE PLAN PMIS-2 PAVEMENT MARKING AND SIGNAGE PLAN PMIS-3 PAVEMENT MARKING AND SIGNAGE DETAILS FA-1 FIRE ACCESS PLAN FA-2 FIRE ACCESS PLAN FA-3 FIRE ACCESS PLAN POL-1 POLLUTION AND EROSION CONTROL PLAN DEM-1 SITE DEMOLITION PLAN

L-506 SITE CONSTRUCTION DETAILS
L-507 SITE CONSTRUCTION DETAILS
L-508 SITE CONSTRUCTION DETAILS

L-509 SITE CONSTRUCTION DETAILS

Nath Digitally signed by Nathan M Lewis DN: C=US, S=Florida, L=Fort Lauderdale,



EDISON PEMBROKE I PEMBROKE PINES, FL 33027

뿚

Thurlow Engineering, Botek

BTE PROJECT # 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: SP-0



THAT PORTION OF PARCEL 'A' OF' DUKE PEMBROKE 'A'', ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BODK 178, PAGES 142 THROUGH 145, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS

FEET). E SOUTH 1026 15" WEST, A DISTANCE OF 100 00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CIRCULAR F, CONCAVE TO THE EAST, HAWING A RADIUS OF 1,559 00 FEET AND WHOSE CENTER BEARS SOUTH 88"1023" EAST SAID POINT, THENE SOUTHER! AND TO THE LEET, THAQUIGH A CENTRAL ANGLE OF 632"), AM ARE DISTANCE OF

FROM SAID FORMT; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CRIMAL ANGLE OF \$237, AN AIL LIGHTANGLE OF \$200 FROM THE PROPERTY OF THE PROPERTY OF A DIVITATION FOR THE SESSOR'S EAST FROM SAID PROMY; THENCE SOUTHERS AND TO THE LEFT, THROUGH A CENTRA ANGLE OF 273,373, AND AND STANCE OF 213.35 FREET, THE SHEEDED HE SHEEDE HE SHEEDED HE SHEEDE HE SHEEDED HE SHEEDED HE SHEEDED HE SHEEDED HE SHEEDE HE SHEEDE HE SHEEDE HE SHEEDED HE SHEEDE HE S

BEGINING. SAID LAND STUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA CONTAINING 549,711.55 SQUARE FEET (12 52 ACRES) MORE OR LESS.

LAND DESCRIPTION - SOUTH OFFICE (AKA BAPTIST HEALTH EMERGENCY CART)

DUKE FEMBROKE 'B'*, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK LTP, PAGES 100-101 OF THE FUBIL RECORDS OF BROWARD COUNTY, FLORIDA COMMENCE AT THE NORTHEAST CONNER OF SAID PARCEL 'A' OF BEING A PORTION OF PARCEL 'A' OF

IE DUE PENABOKE 18", BEING A POINT ON THE ARC OF A NON-TANGENT CIRCULAS CLUWE CONCLUWE WISTERLY, WHOSE CENTER BEARS NORTH B211/52" WEST FROM SAID POINT, THENCE SOUTHERS VAN OTO THE BIGHT, ALONG SAID ARC HAVING A RADIUS OF 8-26-31.3 AND A CENTRAL ANGED OF 005/32", AN ARC DISTANCE OF 31.3 M FETT OF A POINT OF REVENES CLUWATURE OF A CIRCULAR CLUWE HAWING A ANALUSE 1-6 ATO 2015 THE HERE SOUTHERS AND AND A CENTRAL ANGE OF 027-373", AN ARC DISTANCE OF 7-3.3 F FETT.

MARKE DISTANCE OF 7-3.5 F FETT.

CLUWE, CORCAVET OT THE 2-55, MINING A MADULS OF 1.555 OR FETT A POINT ON THE ARC OF A NON-TANGEST CIRCULAR CLUWE, CORCAVET OT THE 2-55, MINING A MADULS OF 1.555 OR FETT AND MOSE CENTRAL BASS SOUTH WRIDE 25" SAST

ISTANCE OF 374 62 FEET; HENCE NORTH 90'00'00' EAST, A DISTANCE OF 528 35 FEET; HENCE NORTH 82'29'27' EAST, A DISTANCE OF 230 51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF

THENEE KORTH RE'29 27 PAS, A DISTANCE OF 220 SERVE TO A POINT OF CURVATURE OF A CREQUAR CURVE SAY 165 AND 165

LAND DESCRIPTION - TPA GROUP MULTI-PANNLY (AKA SOUTH PARCEL)

THAT PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'B' ", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 179, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED

WHILE:

WHERE SOUTH 1989/26" AST, A DISTANCE OF 43.77 FET;

HHILE SOUTH 1989/26" AST, A DISTANCE OF 19.77 FET;

HHILE SOUTH 1989/26" AST, A DISTANCE OF 19.00.00 FET;

HILE SOUTH 1989/26" AST, A DISTANCE OF 19.00.00 FET;

HILE SOUTH 1989/26" AST, A DISTANCE OF 19.00.00 FET;

HILE SOUTHER 1989/26" AST, A DISTANCE OF 125 ES FET TO A POINT OF CUTVATURE OF A CIRCUAR CURVE

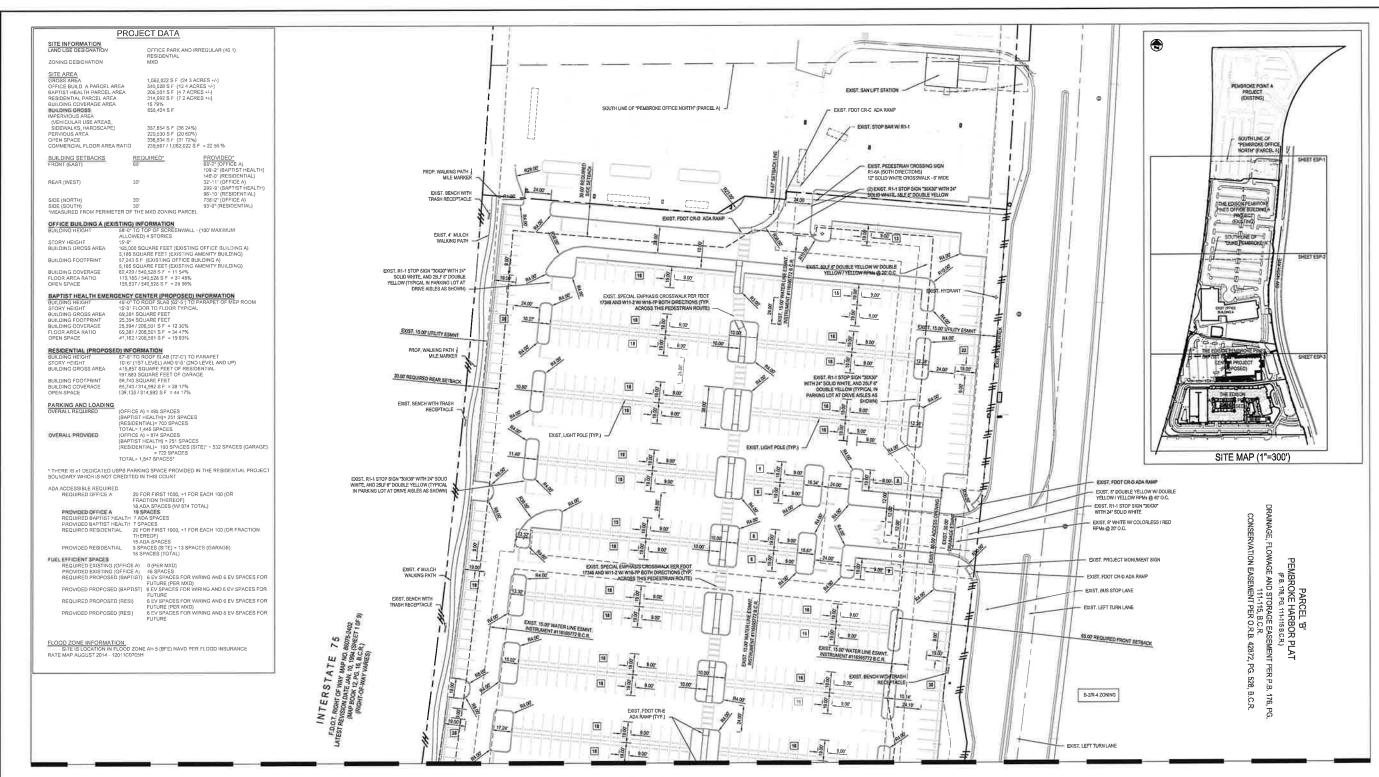
HILE SOUTHER 1989/26" AST, ADD TO 1989/26" AST ADD TO 1989/26 A DISTANCE OF 17.28 FET;

HILE SOUTHER 1989/26" AST, ADD TO THE RECEIPING COURSE A DISTANCE OF 10.00 FETT OF A DISTANCE OF 17.8 FET TO MENCE COURTE ADD TO THE ROOK, THOUGH AS ADD TO 1989/26 AD TO THE ADD T

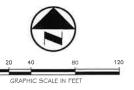
CONT OF BEGINNING AND STUATED, LYING AND BEING IN THE CITY OF FEMBROKE PINES, BROWARD COUNTY, FLORIDA. ANNING 314379 26 SQUARE FEET (7.22 ACRES), MORE OR LESS







MATCHLINE - SEE SHEET SP-2



ВТЕ PROJECT #: 16-1204.В

Botek Thurlow
Engineering, Inc.

No. 86481 ☆

STATE OF ELORIDA

THIS DOCUMENT HAS BEE DIGITALLY SIGNED AND SEALED BY NATHAN II. LEW F.E. ON THE DATE ADJACES TO THE SEAL.

> EDISON PEMBROKE PINES PEMBROKE PINES, FL 33027

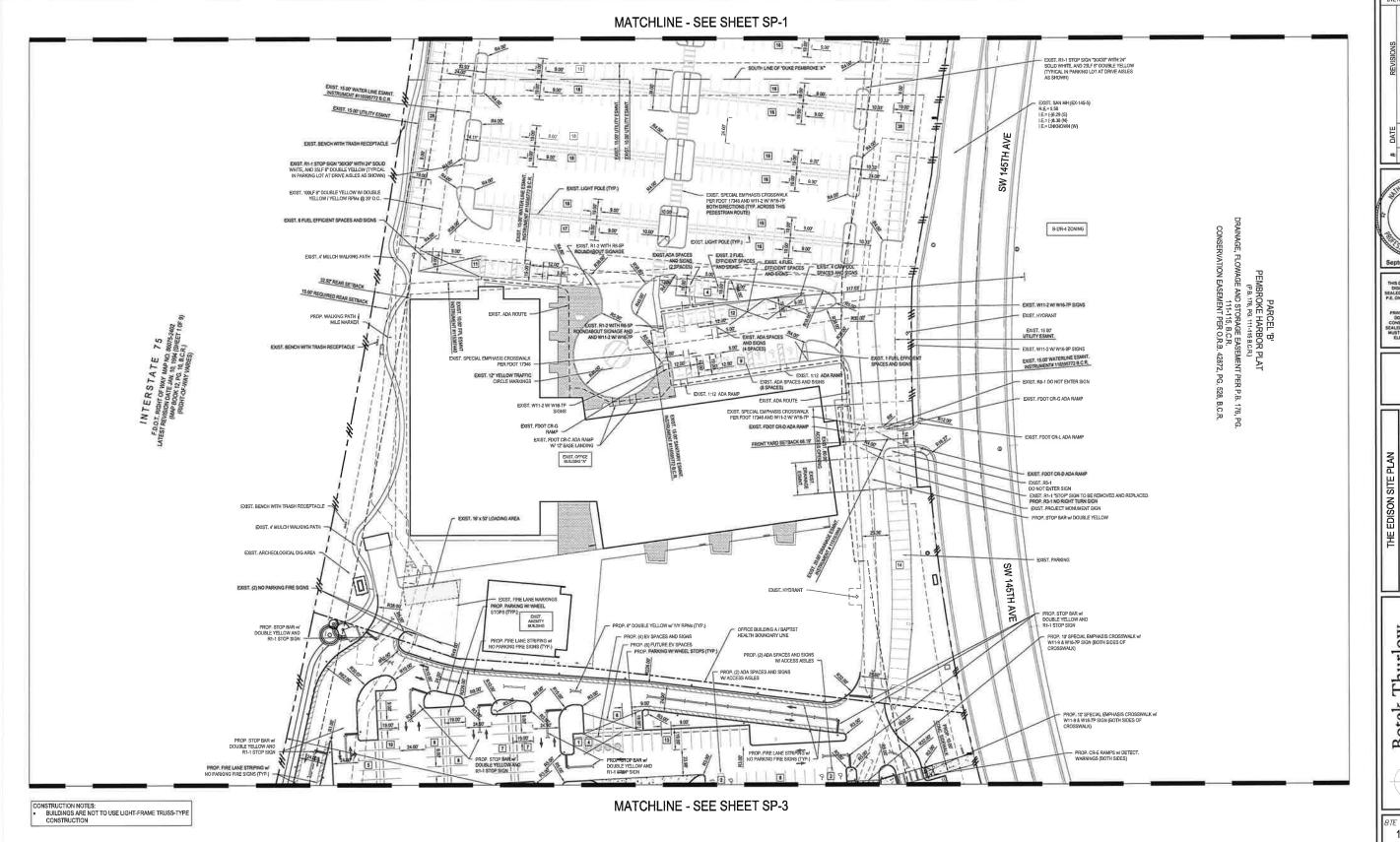
뿔

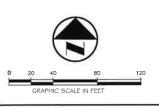
THE EDISON SITE PLAN

PROJECT DATE: **4.13.23**

SHEET #:

ESP-





BTE PROJECT #: 16-1204.B

BTE REF DATE: 9.10.24

No. 86481 ☆

STATE OF FLORIDA

THE EDISON PEMBROKE PINES
PEMBROKE PINES, FL 33027

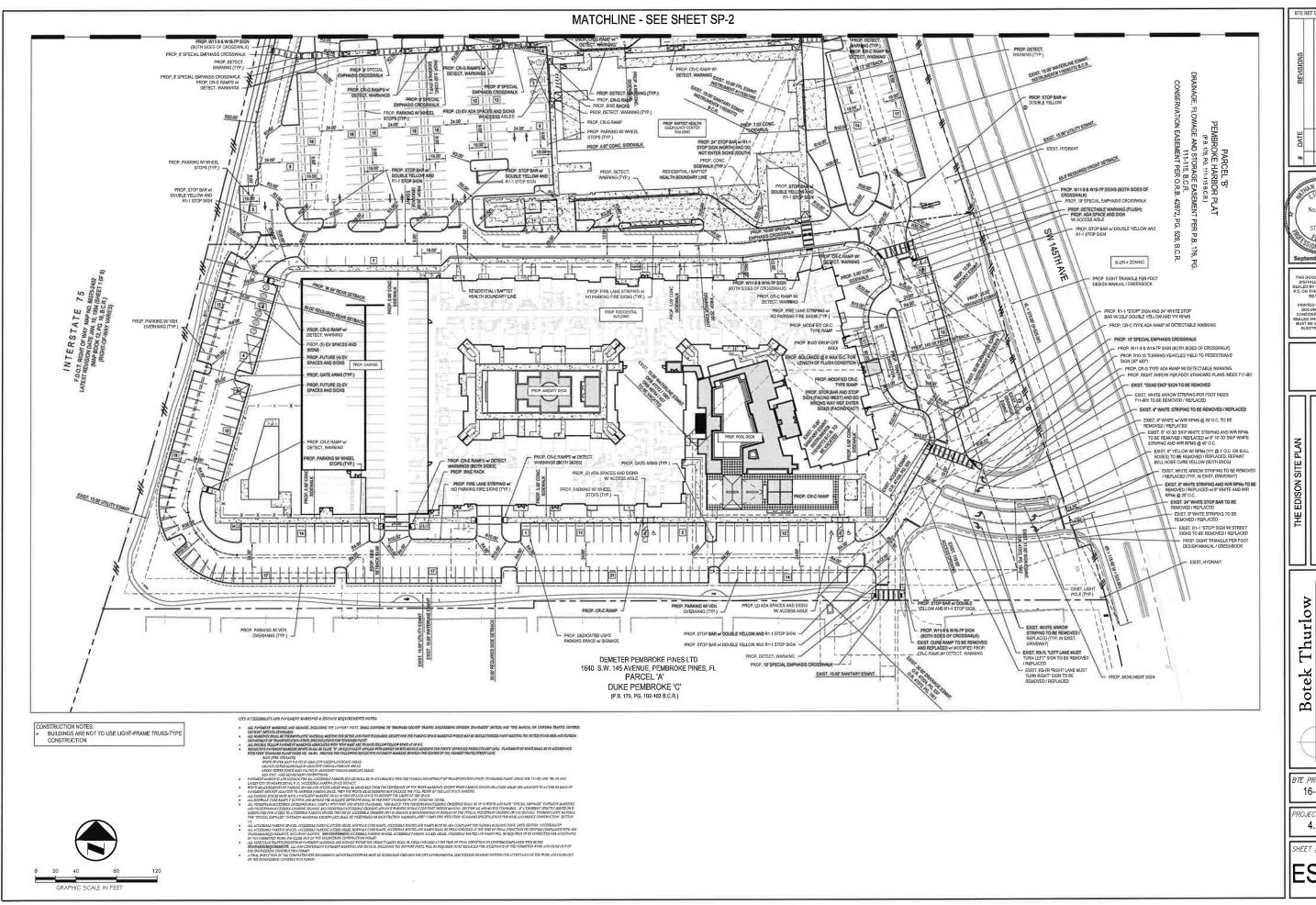
Engineering, Inc.

Botek Thurlow

PROJECT DATE: 4.13.23

SHEET #:

ESP-2





PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
BEALED AND THE SIGNATUR
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

EDISON PEMBROKE PINES PEMBROKE PINES, FL 33027 里

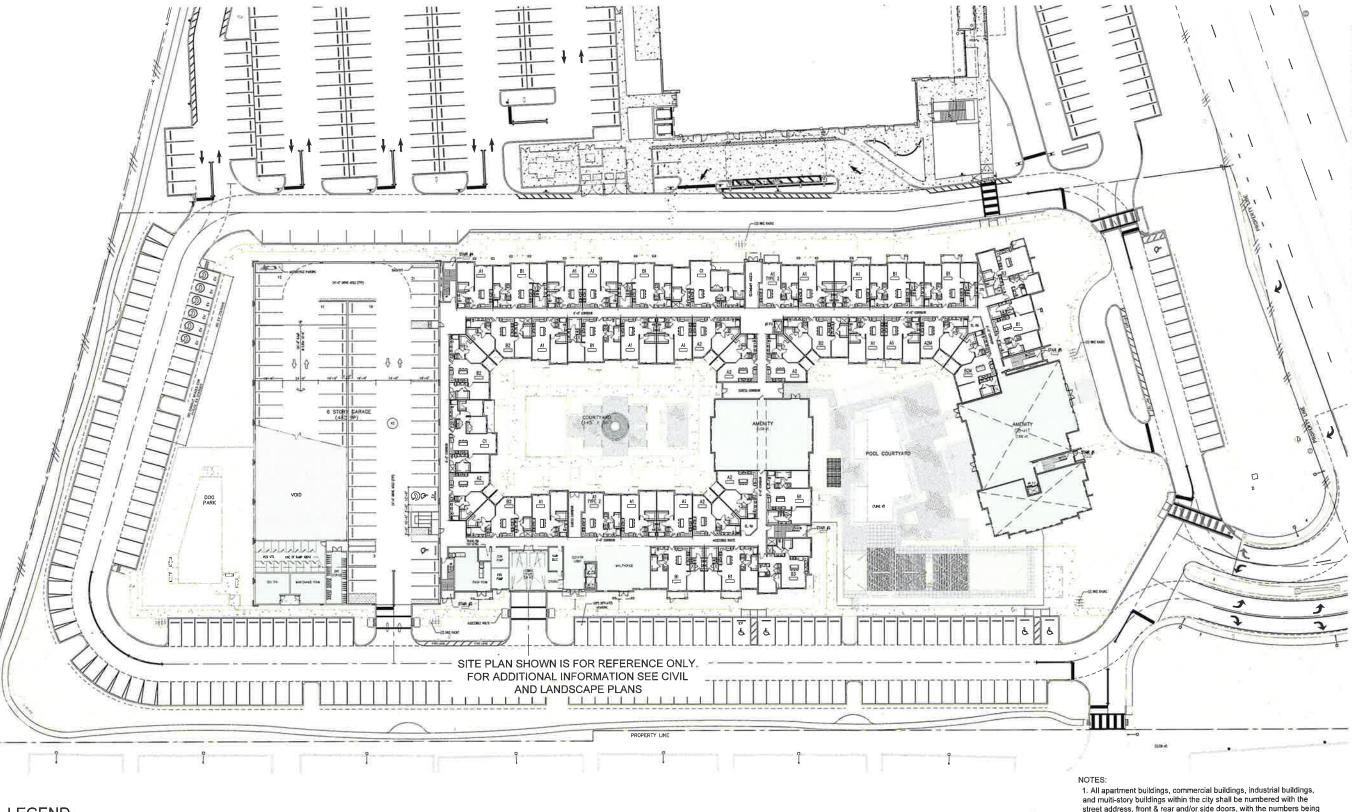
Thurlow Engineering, Botek

> BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

ESP-3



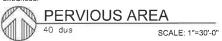
LEGEND

TOTAL PERVIOUS AREA 94,253 Sq.Ft

PROPERTY DATA				
SITE AREA	SITE AREA	SQ. FT		
	NET AREA	327,019.16 Sq. ft		
	BUILDING COVERAGE AREA	28%		
	BUILDING FOOTPRINT	88,740 Sq. ft		
	IMPERVIOUS AREA	130,240 Sq.ft		
	PERVIOUS AREA	94,253 Sq.ft		
	OPEN SPACE	139,135 Sq.ft		

1. All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.

- 2. Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
- 3. The building will be fully sprinklered
- 4. Construction type 1B
- 5. Building is not light-frame type construction
- 6 Proposed Barrier arms located at surface parking and garage

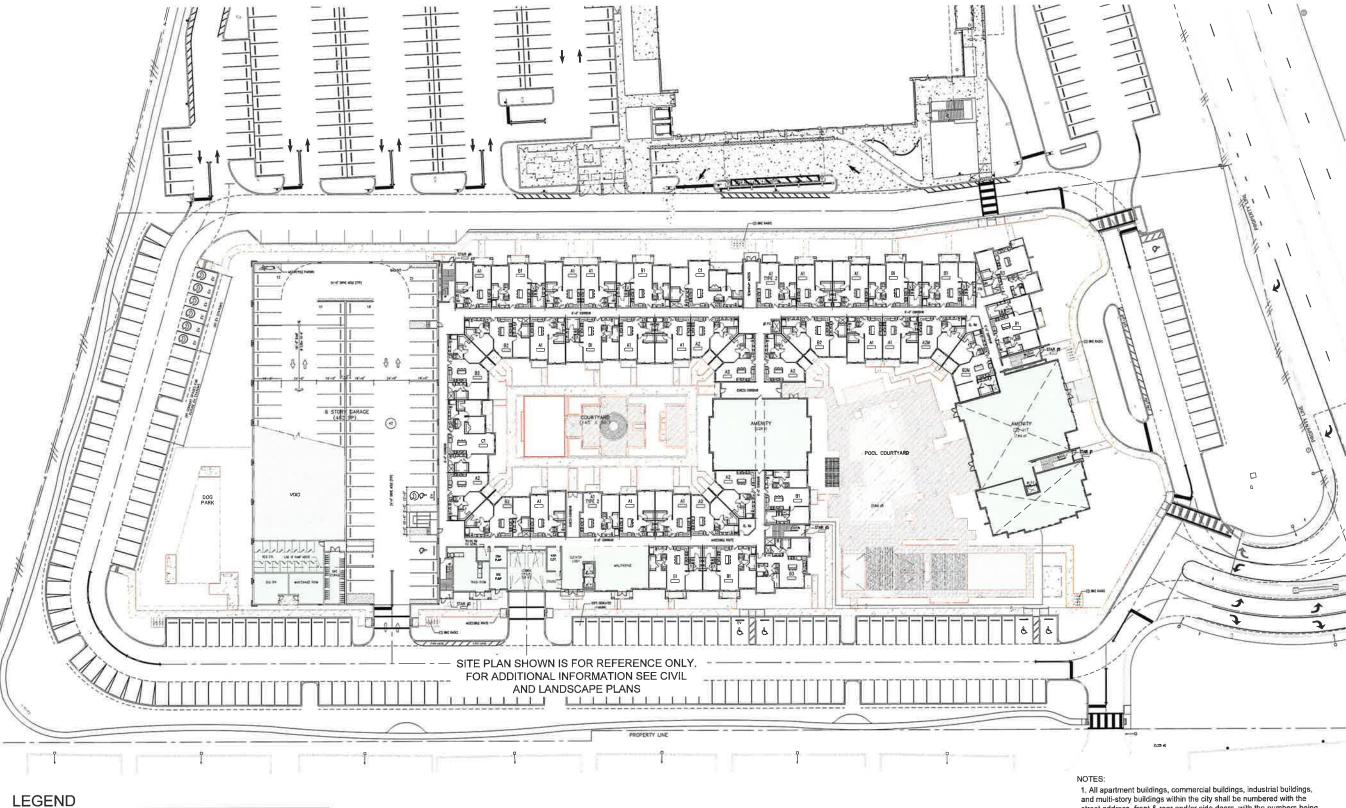


09/17/2021 DATE SCALE AS SHOWN JOB NO. SHEET TITLE: PERVIOUS AREA SHEET NUMBER:

A-0.1

THE EDISON APARTMENTS

MSA ARCHITECTS, I AACO00895 8950 SW 74th COURT NAME, TLORIGN 33156 (305) 273-9911



TOTAL IMPERVIOUS AREA 130,240 Sq.Ft

PROPERTY DATA	
SITE AREA	SQ. FT
NET AREA	327,019.16 Sq. ft
BUILDING COVERAGE AREA	28%
BUILDING FOOTPRINT	88,740 Sq. ft
IMPERVIOUS AREA	130,240 Sq.ft
PERVIOUS AREA	94,253 Sq.ft
OPEN SPACE	139,135 Sq.ft
	SITE AREA NET AREA BUILDING COVERAGE AREA BUILDING FOOTPRINT IMPERVIOUS AREA PERVIOUS AREA

1. All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.

- $2. \ \mbox{Numbers}$ to be maintained in a conspicuous place where they can be seen and read from the street.
- 3. The building will be fully sprinklered
- 4. Construction type 1B
- 5. Building is not light-frame type construction
- Proposed Barrier arms located at surface parking and garage entrances.



DRAWN DATE SCALE 09/17/2021 AS SHOWN JOB NO. SHEET TITLE: IMPERVIOUS AREA

EDISON APARTMENTS

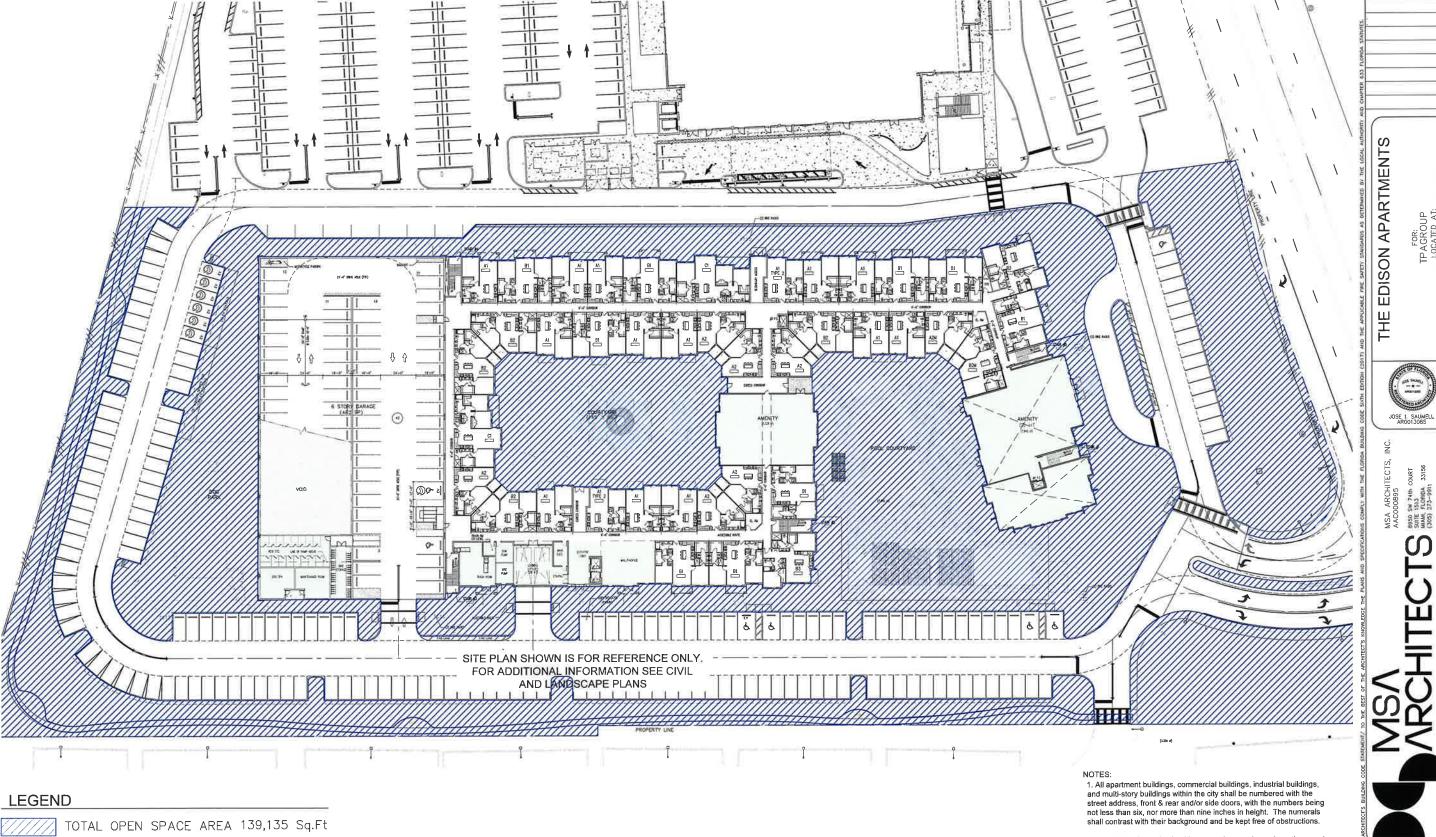
THE

JOSE I SAUMELL AROD13085

MSA ARCHITECTS, 1 AAC000895 8950 SW 74th COURT SAME 1515 MAM, FLORIDA 33156 (305) 223–9911

A-0.2

SHEET NUMBER



PROPERTY DATA					
SITE AREA	SITE AREA	SQ. FT			
	NET AREA	327,019.16 Sq. ft			
	BUILDING COVERAGE AREA	28%			
	BUILDING FOOTPRINT	88,740 Sq. ft			
	IMPERVIOUS AREA	130,240 Sq.ft			
	PERVIOUS AREA	94,253 Sq.ft			
	OPEN SPACE	139,135 Sq.ft			

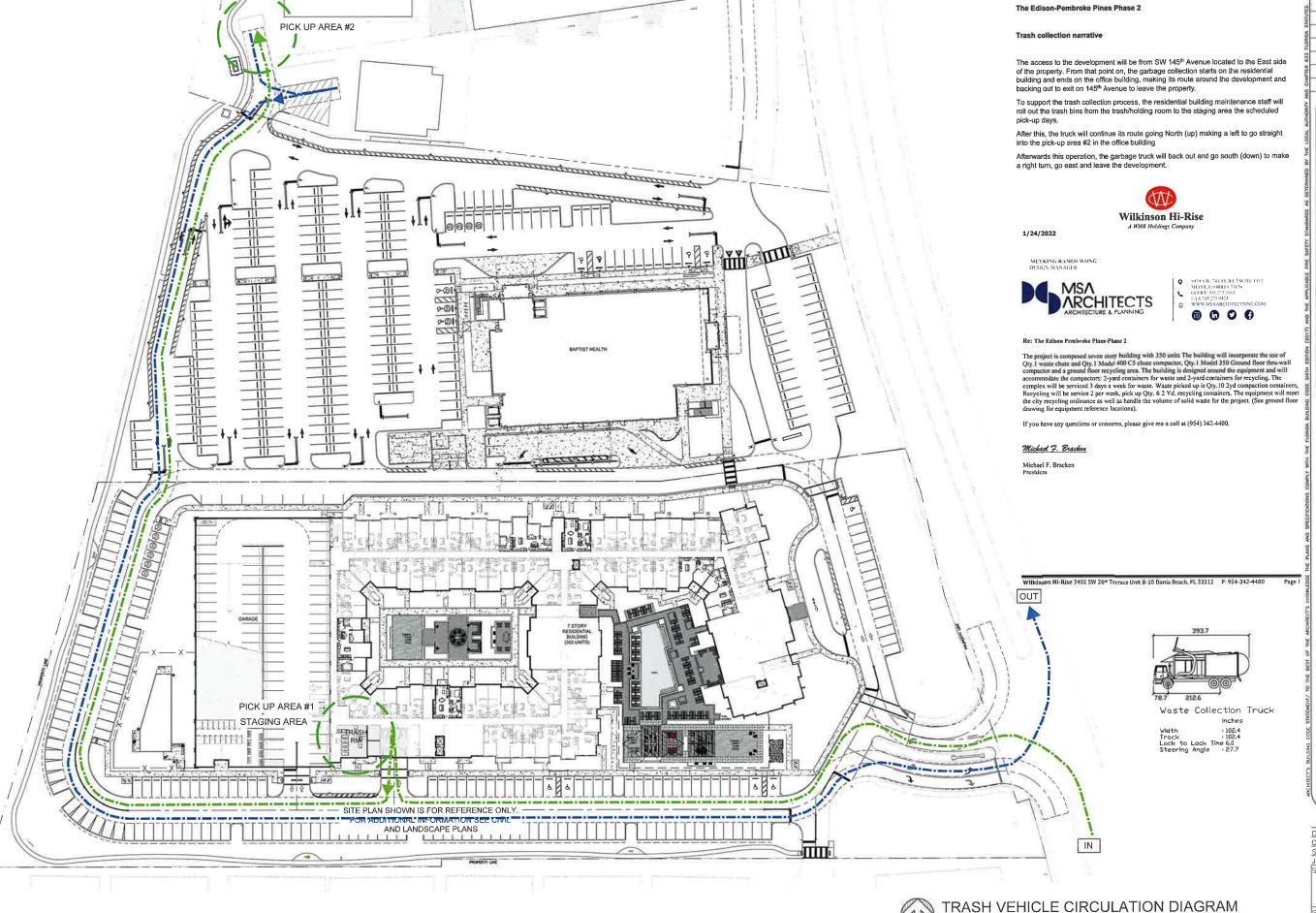
- 2. Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
- 3. The building will be fully sprinklered
- 4. Construction type 1B
- 5. Building is not light-frame type construction
- 6. Proposed Barrier arms located at surface parking and garage



DRAWN	
DATE	09/17/20
SCALE	AS SHOW
JOB NO.	2059.PF
SHEET TITLE:	
OPEN S	PACE
CALCULA	TIONS

SHEET NUMBER:

A-0.3



DATE

EDISON APARTMENTS

뽀

JOSÉ I SAUMELL AROO13085

MSA ARCHITAACOO895
6950 SW 74th CC
SUIT. 1513
MAAH. FLORIDA
(305) 273-9911

SCALE AS SHOWN JOB NO. SHEET TITLE:

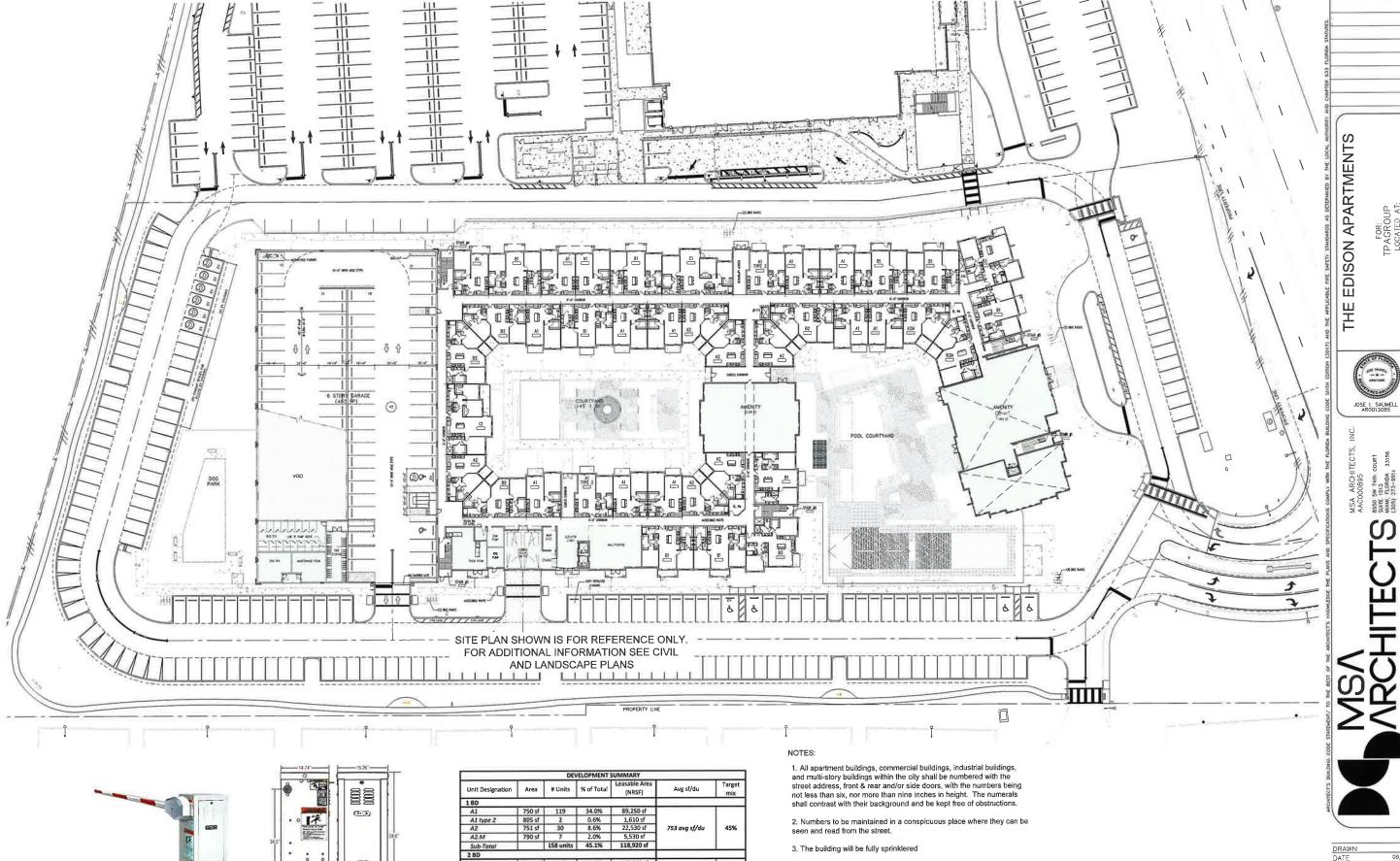
09/17/2021

REFUSE VEHICLE CIRCULATION DIAGRAM

SHEET NUMBER: A-2.0

SCALE: 1"=40'-0"

NORTH

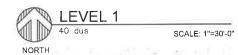




TYPICAL ARM BARRIER GATE DETAILS NOTE: FINAL ARM GATE TBD AT THE CONSTRUCTION DOCUMENT PHASE

		-		Leasable Area		T =
Unit Designation	Area	# Units	% of Total	(NRSF)	Avg sf/du	Target
1 BD						
A1	750 sf	119	34.0%	89,250 sf		
Al type 2	805 sf	2	0.6%	1,610 sf		1
A2	751 sf	30	8.6%	22,530 sf	753 avg sf/du	45%
A2.M	790 sf	7	2.0%	5,530 sf		l
Sub-Total		158 units	45.1%	118,920 sf		
280						
81	1,120 sf	107	30.6%	119,840 sf		
B2	1,081 sf	40	11.4%	43,240 sf		l
B2.M	1,121 sf	7	2.0%	7,847 sf	1,116 avg sf/du	
B3	1,153 sf	24	6,9%	27,672 sf		
Sub-Total		178 units	50.9%	198,599 sf		
3 BD						
C1	1,389 sf	14	4.0%	19,446 sf	1,389 ava sf/du 5%	
Sub-Total		14 units	4.0%	19,446 sf	1,389 avg sf/du	376
Units/Bidg		350 units	100%	336,965 sf	053	100%
# of Bldas		1 bldgs			963 avg sf/du 100%	

- 4. Construction type 1B
- 5. Building is not light-frame type construction
- 6. Proposed Barrier arms located at surface parking and garage
- 7. Refer to Civil plans for parking count and additional information.



DRAWN
DATE
SCALE
JOB NO.
SHEET TITLE: AS SHOWN

JOSE I SAUMELL ARODI3085

LEVEL 1 SHEET NUMBER:

A-2.1

ANCHTECT'S BUALDING COOL STATUALITY TO THE BEST OF THE ARCHITECT'S ENOMEDORE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FRANCISCOPY STATUS COURTY WITH THE ARCHITECT ARCHITECT SHAPE STATUS COURTY WITH THE SHAPE SHAP

THE EDISON APARTMENTS

LEVEL 2
45 DUS

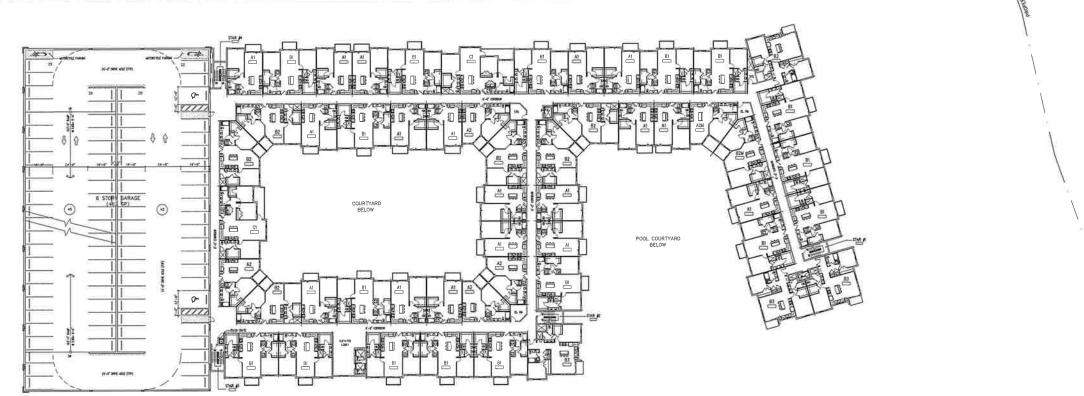
SCALE: 1"=30'-0"

SHEET NUMBER:
A-2.2

LEVEL 2

DRAWN
DATE
SCALE
JOB NO.
SHEET TITLE:

09/17/2021 AS SHOWN 2059 PRJ



LEVELS 3-5 NORTH

SCALE: 1"=30'-0"

DRAWN
DATE
SCALE
JOB NO.
SHEET TITLE: LEVELS 3-5

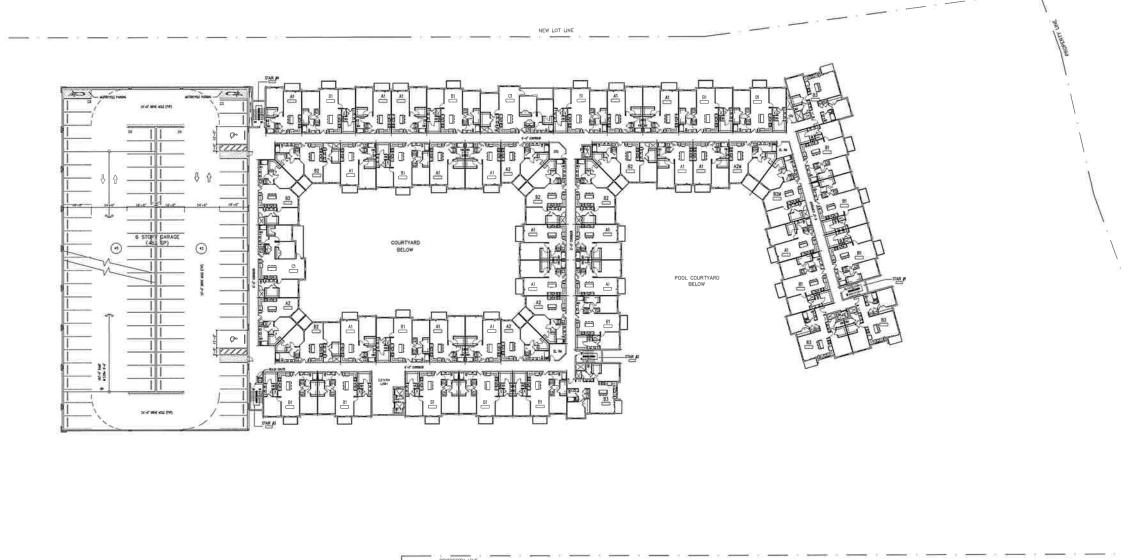
THE EDISON APARTMENTS

MSA ARCHITECTS, AACOUO895 8956 SW 74th COURT SUITE 1815 MAIN, FLOREDA 33156 (305) 273-9911

2

SHEET NUMBER:

A-2.3





MEDIC THE PLANS AND SPECIFICATIONS COMMENT THE PLORIDA DUALDING OFFICE STATES AND SPECIFIC STANDANDS AS BETTENHIED BY THE LOCAL AND THE PLANS AND THE SPECIFIC STANDANDS AS BETTENHIED BY THE LOCAL AND THE SPECIFIC STANDANDS AS BETTENHIED BY THE LOCAL AND THE SPECIFIC STANDANDS AS BUTTER TO SHARE THE LOCAL AND THE SHARE THE LOCAL AND THE LOCAL AN

DRAWN
DATE 05
SCALE
JOB NO.
SHEET TITLE:

LEVEL 6

SHEET NUMBER:

A-2.4

THE EDISON APARTMENTS

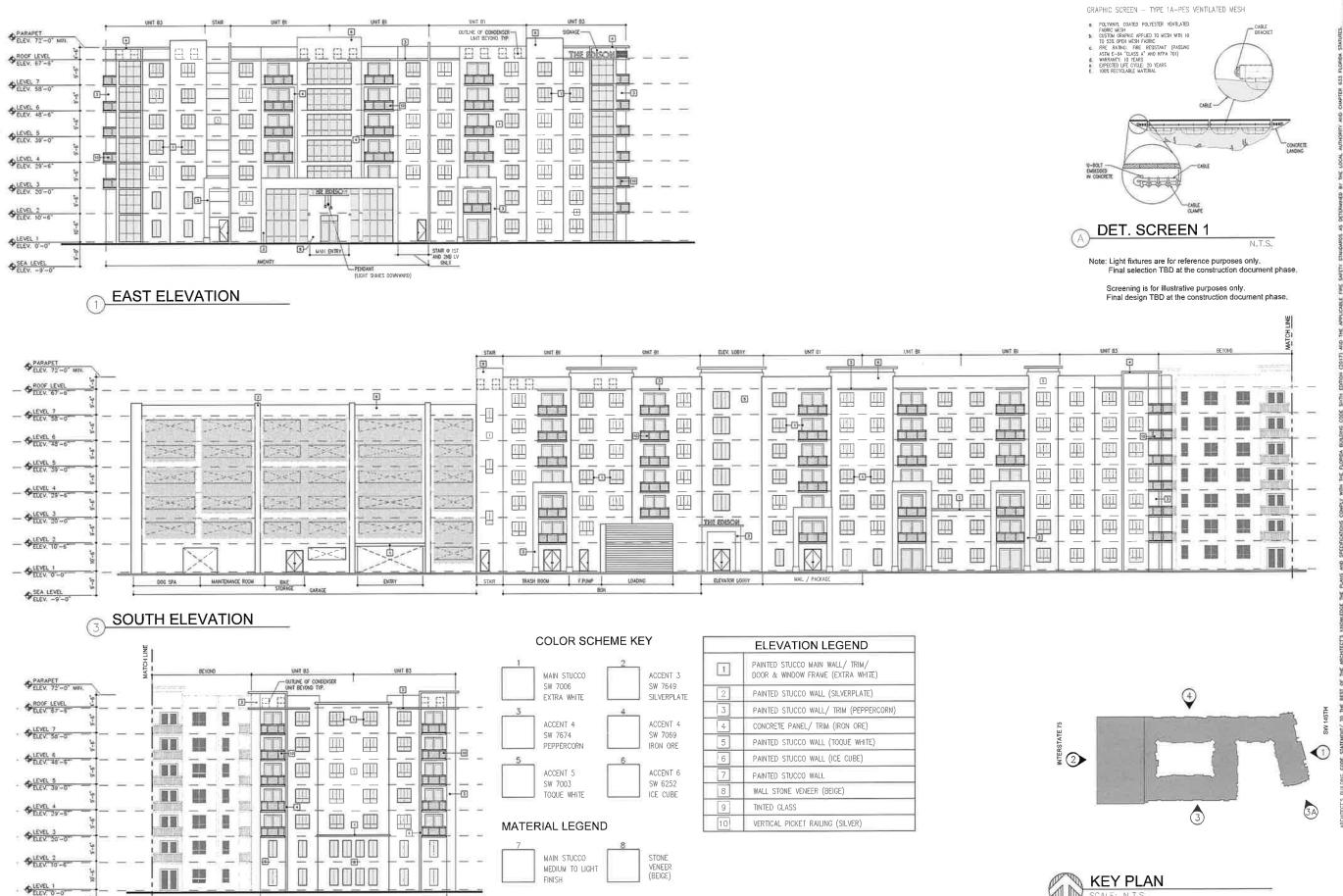
JOSE I SAUMELL AR0013085

MSA ARCHITÍ AACODDB95 8950 SW 74th CO SUITE 1513 MAMI, FLORIGA 3 (305) 273-9911

LEVEL 7
53 DUS

SCALE: 1"=30'-0"

DRAWN
DATE
SCALE
JOB NO.
SHEET TITLE: LEVEL 7 SHEET NUMBER: A-2.5



KEY PLAN NORTH

BUILDING ELEVATIONS

SCALE: 1/16"= 1'-0"

DRAWN DATE AS SHOWN JOB NO. BUILDING ELEVATIONS SHEET NUMBER

A-3.1

EDISON APARTMENTS

뽀

JOSE I. SAUMELL AR0013085

SW 74th 1513 FLORIDA 273-9911

8950 SUITE MUANII. (305)

3A SOUTH ELEVATION

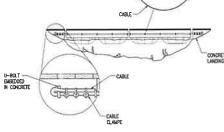
SEA LEVEL

AMERITY O 15T AND 2ND LEVE



GRAPHIC SCREEN - TYPE 1A-PES VENTILATED MESH

C. POLYMNIL COATED POLYSTER WENTLATED FARRIC MEST I. CUSTOM GRAPHIC APPUID TO MESH WITH 10 TO 335 OPEN MESH FARRIC FREE RENTER FREE RESSTANT (PASSING ASTN E-84 CLASS A* AND NEPA 701) MARQUARTE. OI FRANS E. DYFORD UT CHELL 20 YEARS I. 1008 RECICLABLE ANTERNA.



DET. SCREEN 1

N.T.S.

EDISON APARTMENTS

뽀

PRE SHEET

JOSE I SAUMELL AROO13085

SW 74th C 1513 FLORIDA 273-991

MSA AACO BBSG S SUITE MIAMI. (305)

Note: Light fixtures are for reference purposes only. Final selection TBD at the construction document phase.

Screening is for illustrative purposes only. Final design TBD at the construction document phase



3 SOUTH ELEVATION



COLOR SCHEME KEY

	MAIN STUCCO SW 7006 EXTRA WHITE		ACCENT 3 SW 7649 SILVERPLATE
3	ACCENT 4 SW 7674 PEPPERCORN	4	ACCENT 4 SW 7069 IRON ORE
5	ACCENT 5 SW 7003 TOQUE WHITE	6	ACCENT 6 SW 6252 ICE CUBE

MATERIAL LEGEND

FINISH

MAIN STUCCO

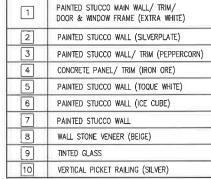
MEDIUM TO LIGHT

4	ACCENT 4 SW 7069 IRON ORE
6	ACCENT 6 SW 6252 ICF CUBE

STONE

VENEER

(BEIGE)



ELEVATION LEGEND



¥ 2

NORTH

BUILDING ELEVATIONS

SCALE: 1/16"= 1'-0"

4

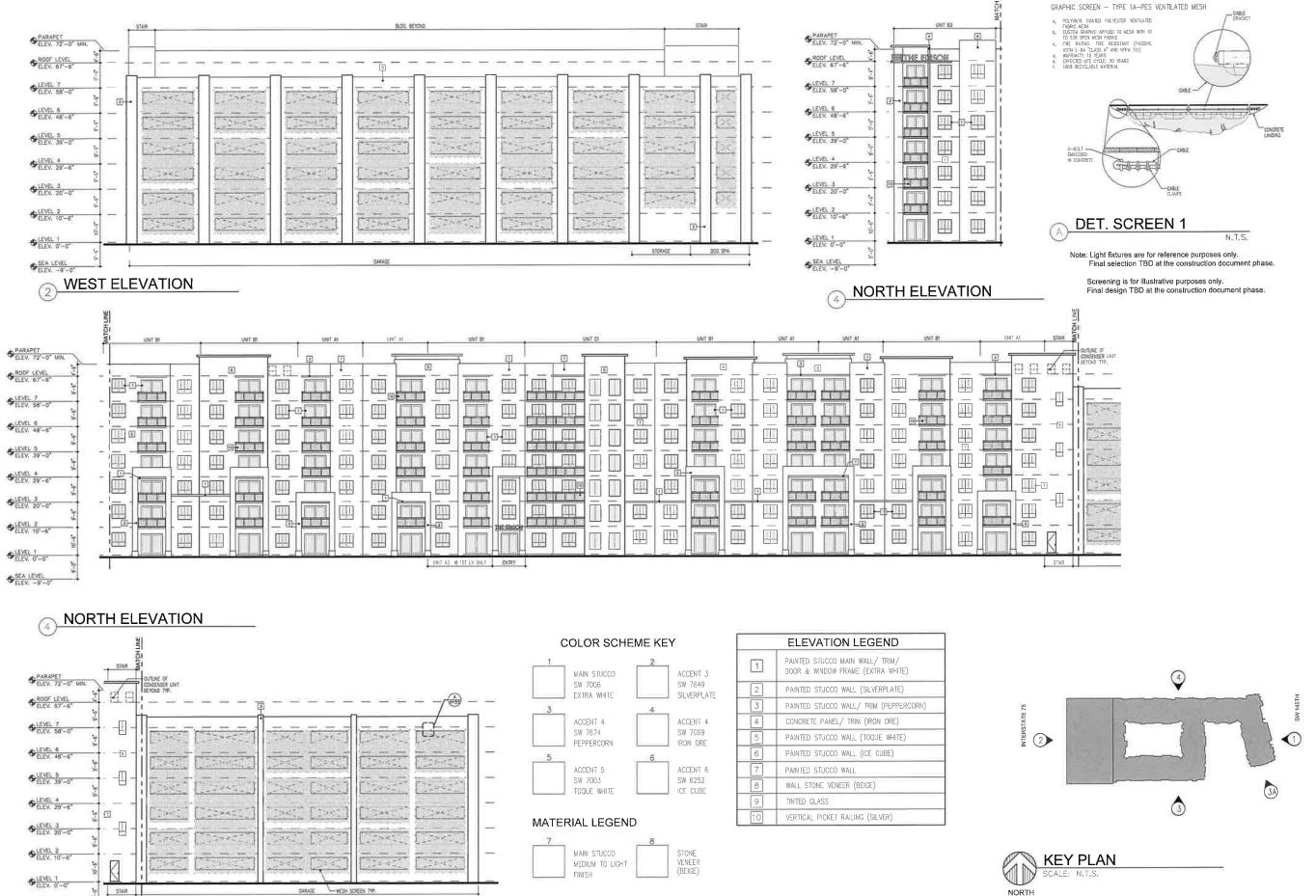
BY

DRAWN 09/17/2021 DATE SCALE AS SHOWN 2059.PRJ SHEET TITLE:

ELEVATIONS

SHEET NUMBER: A-3.1C

3A SOUTH ELEVATION



4 NORTH ELEVATION

MSA ARCHITECTS, INC.

AACCO00895

ARCHITECTURE & PLANNING

ARCHITECTURE & PLANNING

CHON, CONSTRUCTION, DESIGNED UNESSE ALTHORIZED IN WRITING BY THE LEGAL PROP

EDISON APARTMENTS

里

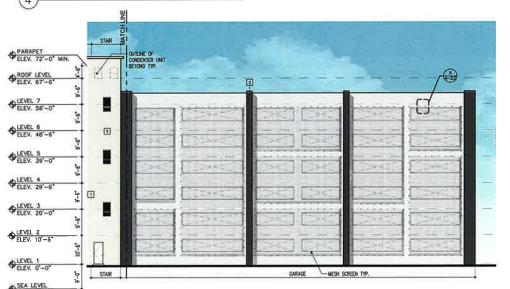
BUILDING ELEVATIONS SHEET NUMBER:

SCALE JOB NO. AS SHOWN

SCALE: 1/16"= 1'-0" A-3.2

BUILDING ELEVATIONS





	MAIN STUCCO SW 7006 EXTRA WHITE		ACCENT 3 SW 7649 SILVERPLATE
3		4	
	ACCENT 4		ACCENT 4

SW 7003

MATERIAL LEGEND

TOQUE WHITE

MAIN STUCCO

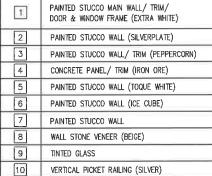
MEDIUM TO LIGHT

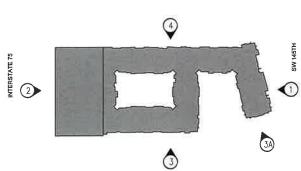
PEPPERCORN ACCENT 5



STONE

VENEER (BEIGE)







BUILDING ELEVATIONS

SCALE: 1/16"= 1'-0"

DRAWN 09/17/2021 AS SHOWN JOB NO: SHEET TITLE: 2059.PRJ BUILDING **ELEVATIONS**

SHEET NUMBER:

A-3.2C

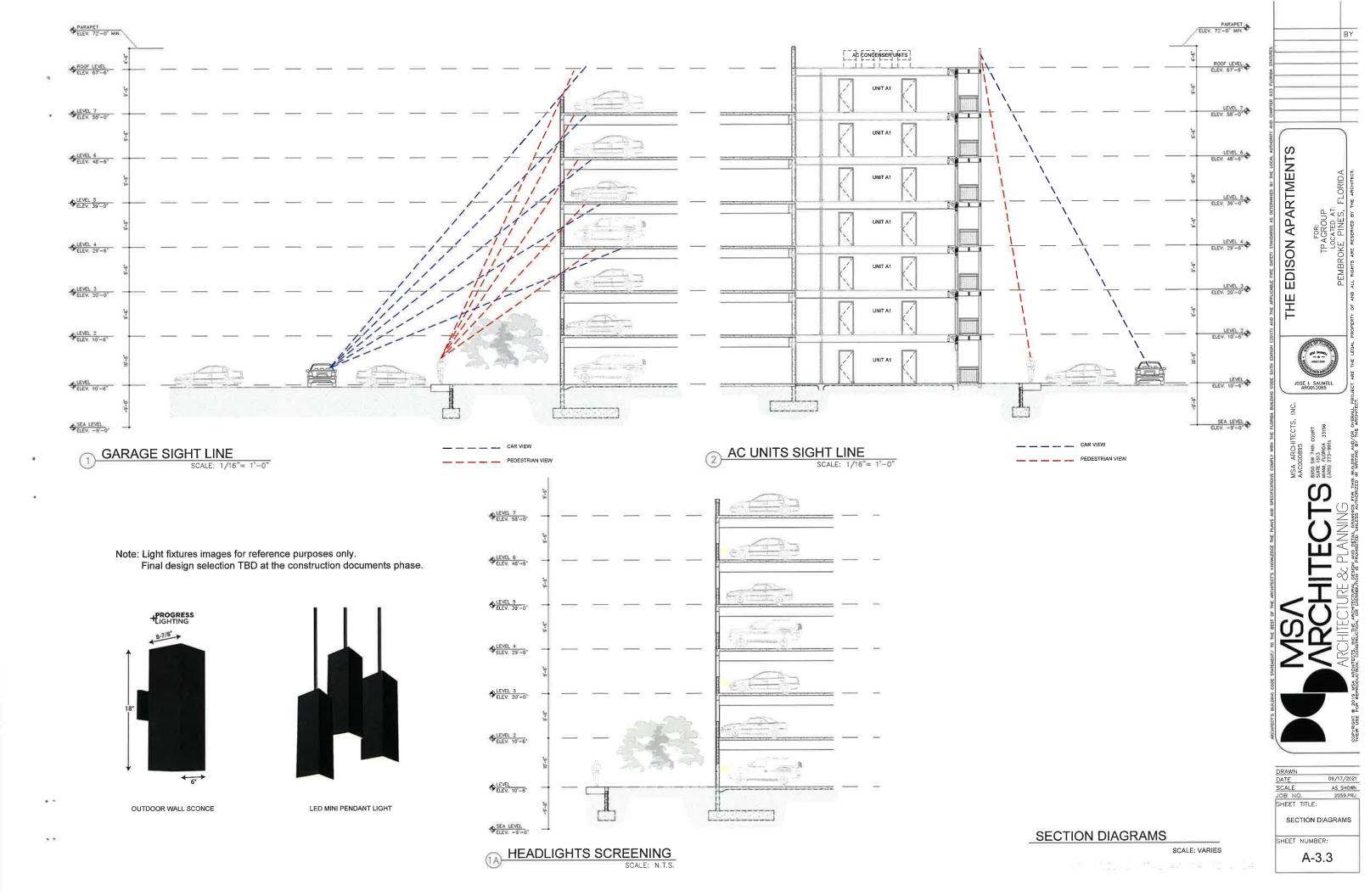
BY

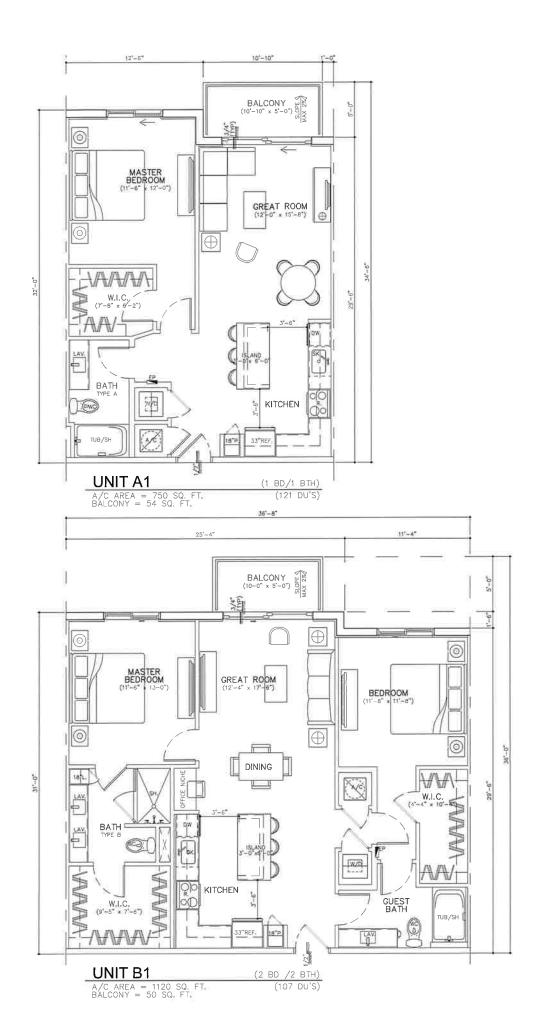
EDISON APARTMENTS

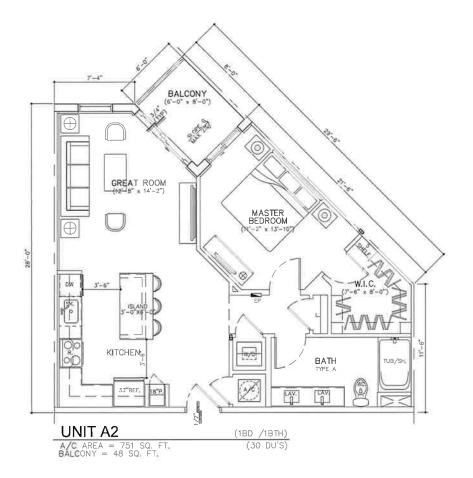
뽀

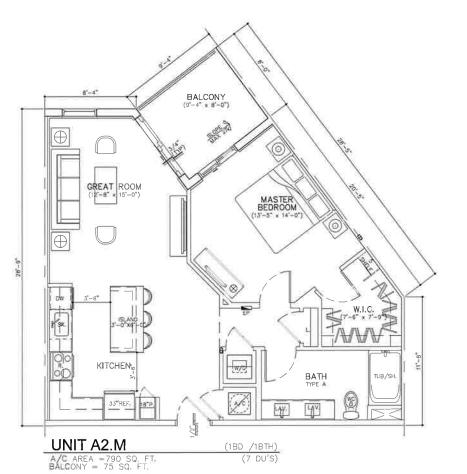
MSA ARCHITT AACOO0895 B930 SW 74th CO SUIE 1513 MIAM, FLOREDA (305) 273-9911

(4) NORTH ELEVATION









UNIT PLANS

SCALE: 1/4"=1'-0"

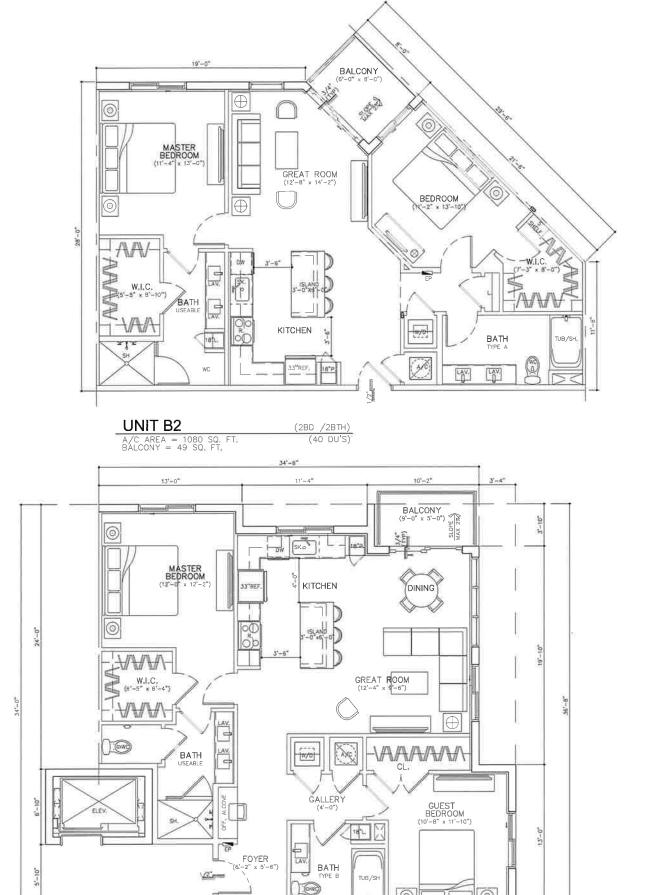
A ALCOHOLD NA ... TO JOB

THE EDISON APARTMENTS MSA ARCHITA AACOO0895 8950 SW 74th or SUITE 1513 MIAMI, FLORIDA (305) 273-9911

AS SHOWN

SHEET NUMBER:

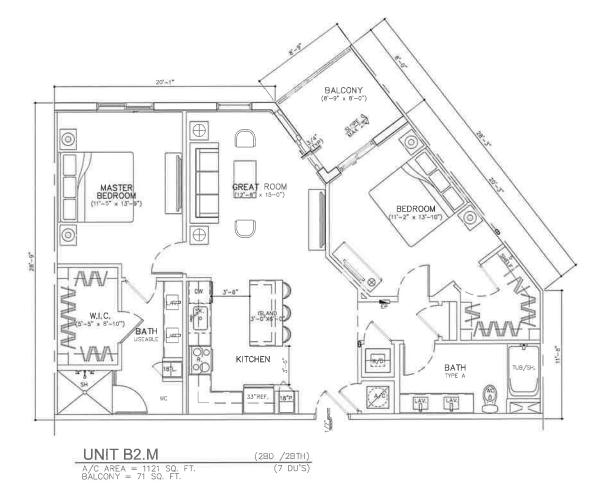
A-4.1

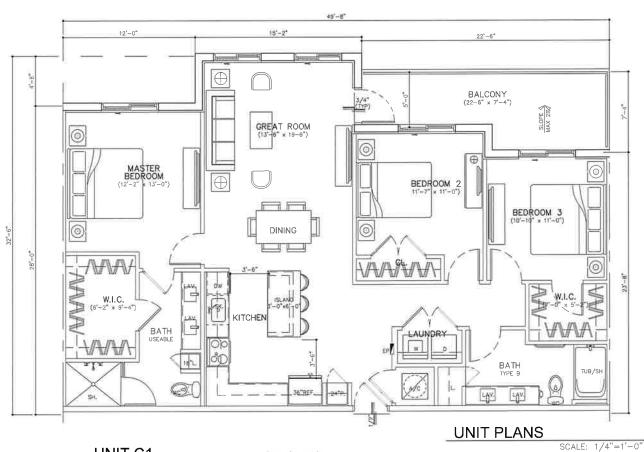


(28D /2BTH) (24 DU'S)

UNIT B3

A/C AREA = 1153 SQ. FT. BALCONY = 45 SQ. FT.





(14 DU'S)

UNIT C1

ARCHITECTS BULLDING COOK STATEMENT TO THE BEST OF THE ARCHITECTS, INFORMEDED THE FLUIS AND SPECIFICATIONS COMPLY WITH THE FLORE MISA ARCHITECTS, AACOOGUSS

ARCHITECTS, AACOOGUSS

ARCHITECTURE & PLANNING

(300), 233-9911

THE EDISON APARTMENTS

JOSE I SAUMELL AROO13085

DRAWN
DATE 09/17/2021
SCALE AS SHOWN
JOB NO. 2059.PRJ
SHEET TITLE:
UNIT PLANS
SHEET NUMBER:
A-4.2



MASSING MODEL - VIEW FROM ACROSS THE STREET FACING NORTH WEST.

MATERIAL EXAMPLES



VERTICAL PICKET RAILING (SILVER)



LIME STONE VENEER COLOR: BEIGE LIME STONE (OR APPROVED EQUAL).

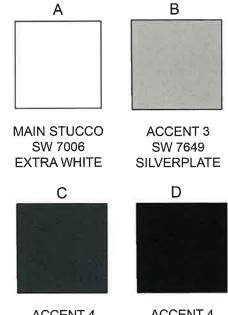


SCORE LINES



EGG CRATE SCREEN - FOR GARAGE OPENINGS

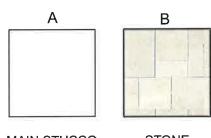
COLOR SCHEME





ACCENT 4 SW 7069 IRON ORE

MATERIAL LEGEND



MAIN STUCCO MEDIUM TO LIGHT FINISH

STONE VENEER (BEIGE)

CONCEPTUAL FINISH BOARD

THE EDISON-PEMBROKE PINES JOSE I SAUMELL ARDQ13085

DRAWN
DATE 09/17/2021
SCALE AS SHOWN
JOB NO. 2059.PRJ
SHEET TITLE:
CONCEPTUAL
FINISH BOARD

EX-E

CIVIL ENGINEERING PLANS

THE EDISON APARTMENTS

CITY OF PEMBROKE PINES BROWARD COUNTY, FLORIDA SECTION 15/22, TOWNSHIP 51, RANGE 40



SITE MAP - 1" = 300'

	
C-0	CIVIL COVER SHEET
C-1	CIVIL GENERAL NOTES AND SPECIFICATI
SP-1	THE EDISON APARTMENTS SITE PLAN
SP-2	THE EDISON APARTMENTS SITE PLAN DE
PG-1-2	PAVING AND GRADING PLAN
PG-3	PAVING AND GRADING DETAILS
D-1	DRAINAGE PLAN
D-2-3	DRAINAGE DETAILS
WS-1-2	WATER AND SANITARY SEWER PLAN
WS-3-4	WATER AND SANITARY SEWER DETAILS
PMS-1-2	PAVEMENT MARKING AND SIGNAGE PLAI
PMS-3	PAVEMENT MARKING AND SIGNAGE DET.
FA-1-3	FIRE ACCESS PLAN
POL-1-2	POLLUTION AND EROSION CONTROL PLA

SITE DEMOLITION PLAN

SHEET INDEX





Engineering, Inc.

16-1204.B

PROJECT DATE: 4.13.23

THE CONCENTRATION PROJECT HAY OR HAY NOT INCLIDE ALL.

THIS CONCENTRATION PROJECT HAY OR HAY NOT INCLIDE ALL.

PANING, CHARLING, DRANGE LINES, WATER LIVES, OR SANITARY

PANING, CHARLING, DRANGE LINES, WATER LIVES, OR SANITARY

PANING, CHARLING, SEE PLANES FOR CETALLED PROJECT SCORE

CHARLING, DRANAGE, WATER, AND SANITARY SEMEN, AND AND

HISTORIC TOR THE PROJECTE SCORE OF WATER, AND THE

HISTORIC TOR THE PROJECTE SCORE OF WATER, AND THE

REQUIRED RELIGIOUS CONTROL SCORE OF WATER

REQUIRED RELIGIOUS CONTROLS OF THE PROJECTE OF THE PROJECT

"CITY" IN THESE NOTES REPERS TO THE CITY OF PENBROKE PINES

APPLICABLE CODES

WITH MARKS AND MATERIAL COURT WHITE APPLICABLE. IN THE PORT OF A COUNTY BETWEEN THE OWNER HOTE AND CONSTRUCTION PROPERTY OF THE FAAS. AND THE CONTRACT SOURCHTS AND SEPECIALISMS IN THE SPECIAL CONTRACT SOURCHTS AND SEPECIALISMS OF THE SPECIAL CONTRACT SOURCES AND SEPECIAL CONTRACT SOURCES AND THE CONTRACT SECRETARY SHEET CONTRACT SOURCES AND THE CITY SEPECIAL CONTRACT

ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPULANCE WITH ALL THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1870, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.

THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH THE LAWS OF FLORIDA, AND THE CITY AND COUNTY CODES.

INCOCRATTI ACT

AL TRUDE DECANTON DIALL BE PORTOGRAD IN
ACCORDANCE WITH CAMPETR SCHIB OF THE LAWS OF FLORIDA

CHIE STRUCK DELETY AFT.

ALL BREASH CREATERS IN DECASES OF 5 FET IN DEPTH

ALL BREASH CREATERS IN DECASE OF 5 FET IN DEPTH

ALL STANDARD SCHIB OF THE CONTRACT OF SCHILL

ALSO SERVIT ACT COMPLIANCE STANDARD SERVING THE CONTRACT OF SCHILL

ALSO SERVIT ACT COMPLIANCE STANDARD THE CONTRACT OF SCHILL

ALSO SERVIT ACT COMPLIANCE STANDARD THE CONTRACT OF SCHILL

ALSO SERVIT ACT COMPLIANCE STANDARD. THOS OF SCHIP

ALSO SERVIT ACT COMPLIANCE STANDARD. THOS OF SCHIP

AS TO SERVING WITH THE POLICIAL TROMAS SERVIT COCIA.

A POLICIAL STANDARD COST IND ROSTITING OF SCHILL

BY THE CONTRACTOR STANDARD.

ASSESTOS COMENT PPE (ACP), AND TRANSP PIPE, CONTAN ASSESTOS MATTERA, ALL ROCKTOS CONTANNO MATTERAL ASSESTOS MATTERA, ALL ROCKTOS CONTANNO MATTERAL CURRENT LOCAL STATE AND FEDERAL RECULATIONS, THE NICLIOSS THE CUTTING, PLUCENC AND DISPOSAL OF EDSTING ACP OR TRANSPIE WATER MAN PIPES.

E. JHILDONSTRUCTION HISPONSHITTS

UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CENTRACTOR SHALL CONTACT THE ENGINEER OF SECOND AND ARRANCE A PRECONSTRUCTOR CONFESSION TO INCLUDE ALL INCULVED COMERNICATION. CONFESSION TO INCLUDE ALL INCULVED COMERNICATION. AGENCIES, UTILITY OWNERS AND THE DIGHERS OF RECORD.

FLORIDA POWER AND LIGHT COMPANY BELL SOUTH-

FOR STREET EXCAVATION OR CLOSMIC OR FOR ALTHAGO DE ACCESS TO RUBLIC OR PRIVATE PROPERTY: LOCAL PICE DEPARTMENT DEPARTH.

NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL LOCAL, STATE, AND FEDERAL ACENCIES.

ALL REQUIRED COMPROMENTAL ACENCY BUILDING PERMITS TO BE 69TANED BY THE COMPRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSEE. TO PAY ALL ASSOCIATED. PERMIT FEES INCLIDING WATER AND SEMER CONNECTION AND METER FEES.

CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXSTAND WATER AND SEWER LINES WITH THE UTILITY DEPARTMENT THAT OWNS AND/OR MAINTAINS THE WATER AND SEWER LINES.

THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER LUCKERSCHOOL CONTRACTOR SHALL COORDINATE REJOCATION OF ALL EXISTING UTLILIES WITH APPLICABLE UTILITY COMPANIES.

AT LEAST FOR (2) DAYS PROF 10 THE START OF CONSTRUCTION, THE GAMES SHALL SUBLIF A COP NOTICE OF HIRDY (N.O.), TO THE CONSTRUCTION OF THE CONSTRUCT

W INSPECTIONS / TESTING.

. .

THE CONTRACTOR SHALL NOTIFY IN WRITING THE CITY, THE COUNTY, THE ENGINEER OF RECORD, & ANY OTHER COVENNEDTAL ADDRESS HAVING JURISDICTION AT ELECT 48 OF THE FOLIAMO TEAMS, WHERE APPLICABLES OF THE FOLIAMO TEAMS, WHERE APPLICABLES OF THE FOLIAMO TEAMS, WHERE APPLICABLES

LEARING AND EARTHWORK
STORM DRAINAGE SYSTEMS
SANTTARY SEMER SYSTEMS
WATER DISTRIBUTION SYSTEMS
LIMEROCK BASE
ASPHALT OR CONCRETE PAVEMENT
SDEWALKS

UCESSIO TESTING COMPANY, ALL TESTING COSTS (ME COVI).
SMALL RE PAD FOR RE THE CHORDY/OF CONTRACTOR (AS
SECTION AND TO MET THE STREET REQUIRED TO MET THE STREET REQUIRED TO MET THE STREET REQUIRED. THE MET THE SECTION REQUIRED THE STREET REQUIRED THE TO MET THE PAD SET THE CONTRACTOR UNLESS OTHERWISE TO MET THE CONTRACTOR UNLESS OTHERWISE TO MET PAD SECTION AT THE CIRCETOR OF THE EXCHINGTE OF THE CONTRACTOR OF THE EXCHINGTE OF THE CIRCETOR OF THE EXCHINGTE OF THE CIRCUTOR OF THE EXCHINGTE OF THE CIRCUTOR OF THE EXCHINGTE OF THE CIRCUTOR O

V. SHOP DILWINGS

A PROBLEM TO CONSTRUCTION ON INSTALLATION IS SETS OF SHOP TO AND A SETS OF SHOP TO AN A SET OF SHOP TO A SET OF SHOP TO A SET OF SHOP TO A SET

W. INSPONSEY FACURES

B. TRAFFIC REGULATION:

MANITHMENE OF TRAFTIC IN THE PUBLIC ROHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNFORM TRAFTIC CONTROL SEVERE (ULIT.CO.). A MANITHMEN OF TRAFFIC PLAN HUST BE A GOVED BY THE COMMENTATION DEPOSITION OF RESIDENCE OF THE SECTION OF ROLDINAY SEFORE STARTING HORK IN THE PUBLIC ROST-OF-MANITHMENT OF THE SECTION OF TH

J. NO TREMCHES ON HOLES NEAR WALKWAYS. IN ROADWAYS ON THEIR SHOULDERS ARE TO BE LEFT OPEN DURING MICHTIME HOURS, UNLESS IN ACCORDANCE WITH METHODS APPOVED BY THE GOVERNMENTAL ENGNEERING DIVISION HAWING JURISDICTION FOR THE SECTION OF ROADWAY.

AT SHALL BE THE RESPONSESTY OF THE CONTRACTOR FOR ANY RECESSARY CONSTRUCTION. PAVELENT MARKING AND SIGNAGE OF PEDESTARY SOMEWATERN AND (AS DEAD OF DESTARDA SOMEWATERN AND OF ADDITIONAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.

C. SEQUELTY FENCE:

1. CONTRACTOR SHALL CONSTRUCT TEMPORARY FENCING TO SECURE THE SITE AT ALL TIMES. THE CONTRACTOR'S ONSITE EQUIPMENT, STOCKPILED MATERIAL
AND SUPPLIES SHALL BE KEPT IN A SECURE FENCED AND
LOCKED LOCATION WHEN CONTRACTOR IS NOT ONSITE.

W. PROJECT PROSPESS AND CLOSEOUT

IN DURING CONSTRUCTION, THE PROJECT STE AND ALL ADJACENT AREAS SHALL BE MANTANED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT STE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASM, THE PAVED AREAS SHALL BE BROOK SMEPT CLEAN.

2. THE CONTRACTOR SHALL RESTOR OF REPLACE, WHICH AND AS DIRECTED HT THE INSMEDIES OF RECORD, ANY PAPER OF REVOLUTION OF THE PROPERTY (CONTRACT, CONTRACT, MALK AND DEMONSTER. TO A CONCRIDE AT LEAST COLLE. TO NAT DISCOURT OF THE PROPERTY OF PROPERT

S WHORE MATERIAL ON DEBUSE HAS WASHED OR FLOWED INTO OR HAS BERN PLACED. IN WATER COMESS. DITORES, DRIANS, CATCH I BARNIS, OR DESWINES AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL, OR DEBUS SHALL BE REJUVOD AND SATISFORDERLY DISPOSED OF DURNET THE PROGRESS OF THE MORE AND THE AREA KEPT IN A CLEAN AND THE CONTRIBUTION.

8. ALL LAND SURVEY PROPERTY MONUMENTS OR PERMANENT REFERENCE MARKERS, REMOVED OR DESTROYDE BY THE COMPACTION DURING CONSTRUCTION SHALL BE RESTROBED BY A STATE OF FLORIDA REGISTENCE LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

D. PROJECT RECORD GOCUMENTS:

NOT BULL EMOTHY ACCORDING TO PLANS.

JUPON COUNTEDON OF DRAINAY, EMPORABENTS AND LIMITIONS BEEN CONSTRUCTION (AT LEXT 48 HOURS BETOR PLANS FOR ASHALL PLANS FOR THESE DRAINES OF MECHANICATION SHALL PRIMISH THE DRAINES OF MECHANICATION SHALL PRIMISH THE DRAINES OF MECHANICATION SHALL PRIMISH DRAINES OF MECHANICATION SHALL PRIMISHED ROOK GRADES OF THE ROAD CHOMA AND CIDES OF PAKEBUTH FOR AN ADMINISHED OF PAKEBUTH OF MECHANICATION SHALL SHALL TO THE DEBORDES OF MECHANICATION SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED TO FAIL WITH AND CANADIST THE CONTRACTOR SHALL SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL SHALL TO THE DEBORDES OF RECORD ONE COUNTED SHALL SHALL

NOTIONATION:

O. TOP OF PRE LEVATIONS EVERY 100 UF.

B. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUENCE BENCH, TELE, AMYLES, DOUBLE DETECTION ORIGIN VALVES, FIRE.

C. ALL, THE INS TO EXTRING LINES SHALL BE AS-BULT.

G. MAI, THE INS TO EXTRING LINES SHALL BE AS-BULT.

RE AS-BULT. OR TREMANLE DO AT ALL WHITED SERVICES SHALL BE AS-BULT.

RE AS-BULT. TO PAIN SHALL INCLUED GPS DATA.

4. AS-BUILTS OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

NICLIDE THE FALLOWING INFORMATION:

A WALL MASSIAN AND LINCHES OF PRIOR BETWEEN ETRUCTURES

AS WALL AS SLOCKE.

WALL LEVALUATE THE THE WARRE ELEVALUAR OF THESE

CLEANOUTH SHALL BY OSTRONIC.

WALL LEVALUATE, WHITE LEVALUES OF THE COUNCE USE.

BOTTOM OF THE WITH SLICK AND ASSISTED OF THE COUNCE USE.

ASSISTED OF THE WITH SLICK AND ASSISTED OF THE COUNCE USE.

ASSISTED OF THE WITH SLICK AND ASSISTED OF THE COUNCE USE.

ASSISTED OF THE WITH SLICK AND ASSISTED OF THE COUNCE, AND ASSISTED OF

5. FORCE MAIN AS-BUILTS SHALL BE PREPARED THE SAME AS THE WATER LINE AS-BUILTS.

6 AS-BUILTS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:

ALL METERS AND LEWISH OF PRINS STREETS STRUCTURES AND SHEET AND LEWISH OF PRINS STREETS STRUCTURES AND SHEET AND LEWIS AND SHEET APPLICABLE.

AND SHEET OF THE PRINS SHALE SE VARIETY OF THE SHREYTY AND ADMITS SHALE SH

O. ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY. THE PROPERTY OF TAKEN A THE PROPERTY OF THE PRO

THESE IS A PRIME GRADE ELVATION SHOWN ON THE DESTIN ALL ACTION BROWN NO MANING THE MECHANIDES SHALL BE SHOWN.

ALL ACTION BROWN NO MARKET WILL AS DO BE FEDURED.

WHERE CORNELITY IS TO BE USED AS A RINGER PRODUCT FOR THE ROLLWAY OF PARCIGLED THOSE AS A RINGER PRODUCT FOR THE ROLLWAY OF PARCIGLED THOSE AS A RINGER PRODUCT FOR THE ROLLWAY OF PARCIGLED THOSE AS A RINGER FORWARD CONCEPT AT LOCATIONS PROPER THESE AS A RINGER PROMISED CONCEPT AT LOCATION SHOWN THE PROPER AS A RINGER FORWARD THOSE AND THE PROPERTY OF THE PROPERT

CONSISTENCY AND CONTROLLED SET FOR CONTROL A KEY SHET OF THE LAST FOR THE LOCATION OF CROSS SECTIONS. LASE AND CARL SHAN DESIGN SECTIONS SHALL SE ACTION AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED AT A. MANIMAN OF DESIGN 100 J. IMILES CONTROLLED SECTION 100 J. IMILES CONT

10. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWNOS, "AS-BUILTS," ON FULL SIZE, 24' X 36" REPRODUCIBLE MATTEAL, ALL RECORD DRAWNO, "AS-BUILT," IN THE MATER ASSEMBLY, THE PROPOSITION SHALL BE PUT ON THE MATER ASSEMBLY, THE PROPOSITION OF THE MATER ASSEMBLY, THE PROPOSITION OF THE MATER ASSEMBLY, THE ASSEMBLY, SHALL BE SUBJUTTED ALLOWO

WIL CENERAL

BIODITA'S RESESSION TO COURTE THE MORE MORE AND ANALYSIS AND SECTION OF CONTROL SHALL SECTION OF CONTROL SHALL SECTION OF CONTROL SHALL SECTION OF CONTROL SHALL SECTION OF SHALL SH

DE CANTHINGEN

A CONSTRUCTION OF THE CONSTRUCTION OF WHILE STRUCTURES A PAGENTY GROUPS DEVOLUTE TO SHALL BE CLARED AND GROUPED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE CONSTRUCTION OF THE CONST

B. NONE OF THE EXISTING DIMEROUS MATERIAL FROM DEMOUSHED PAYMEMENT IS TO BE INCORPORATED IN THE MEN LIMEROUS RESENTE EXISTING LIMEROUS MATERIAL FROM DEMOUSHED PAYMENT MAY BE INCORPORATED IN THE STABILIZED SUBGRADE / SUBJECT ON STABILIZED SHOULDER.

C. FILL MATERIAL SHALL BE CLASSFED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AUSSTON M-145 AND SHALL BE FREE FROM VECETATION AND ORGANIC MATERIAL NOT MORE THAN 12X BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SEVE.

D. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 65% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-98 DOUBLETS TO ISS. OF THE MANUAU DUSTITY AS DECISION.

PARAMETERS AND CONSTRUCTION SHALL BE SUBJECT TO

AND STREET AND CONSTRUCTION SHALL BE SUBJECT TO

SEPECIATION AND STREET TO ESTABLES CONFORMANCE WITH THE
SEPECIATION AND STREET, FOR THE USES INTRODUCT. BEST CONTRACTOR SHALL NOTIFY THE DUSCREET AT LAST 48 HORSE
TEST, THE CONTRACTOR SHALL, FOLDING THE AND COUNTY
DISSECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEDURE
TEST OF AN EAUTRE PRASES OF WORK, PRIOR TO THAT TEST OR
INSECTION PASSION, THE CONTRACTOR SHALL BE RESPONDED.

TEST OF AN EAUTRE PRASES OF WORK, PRIOR TO THAT TEST OR
INSECTION PASSION, THE CONTRACTOR SHALL BE RESPONDED.

FOR COUNTY OF THE CONTRACTOR SHALL BE SUB-SHOOT OF THE
CONTRACTOR OF EXCOUNT PROFE OF THE RESPONDED.

BUT HAND THE LIMITED TO DESTITE YOU SHOULD MAKE THE
CONTRICTOR OF THE TOWNS OF THE
CONTRICTOR OF TH

I, WHEN DISCUNITION MUST SHALL BE COMPLETELY RELOYED FROM THE CENTER LINE (10) THE FEET SHOWS THE ESTATE OF PAYMENT FAM SHE WILL SHALL BE SHALL BE

C WICH D-COUNTRIED WITH PID COOL DRAINAGE SWALES, HARDPAN SHALL BE REMOVED FOR A WIDTH OF (5) FIVE FEET AT THE INVEST AND REPLACED WITH GRANULAR MATERIALS.

H. ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE IN PLACE PRIOR TO SUBGRADE COMPACTION AND PAYEMENT CONSTRUCTION. I. CROUND ADJACENT TO RESCRIPTION OF THE STONYWATER RUNOFF FLOWS FROM PAYMENT TO GROUP SHALL BE GRADED (2) TWO INCRESS LOWER THAN THE EDGE OF PAYMENT TO ALLOW FOR THE PLACEMENT OF SOO.

J. SITE CRADING ELEVATIONS SHALL BE WITHIN 0.1' OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE CRADED TO DRAIN WITHOUT PONDING.

THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL BEHANCHETT AND GRADING TO ACHEVE THE PROPOSED PLAN CRASS SCIENCES AND CASCASS AND CASCAS

L NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THER SHOULDERS ARE TO BE LEFT OPEN OVERNIGHT.

ASPIALT PAYNG SHALL BE CONSTRUCTED ON A 12" SUSPANCE CONFERENCE OF A HANDLE DESTRUCTOR AND SUSPANCE OF A SUSPANCE OF A HANDLE OF A SUSPANCE OF A HANDLE OF A SUSPANCE OF A HANDLE OF A SUSPANCE OF A S

C. ASPHALINE CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIWITS SHOWN ON THE PLANS. THE SURFACE COURSE SHALL CONSTRUCT OF THE INDICASES AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS.

CONGRET AS SPECIFIED IN THE PLANE.

DUBLISHOOD, READ SHALL BE PRIVATED, COMPACTED AND GRADED AND SHALL BE HIS ACCORDANCE WITH SECTION 200 OF THE PLANE AND SHALL BE HIS ACCORDANCE WITH SECTION 200 OF THE PLANE AND THE CONTRACTION SHALL HIS ACCORDANCE AND THE CONTRACTION SHALL BE AND THE CONTRACTION SHALL HAVE AND THE PLANE AND THE PLANE

G. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO FINISHED GRADING AND COMPACTION OF SUBGRADE.

H. EXISTING PAVEMENT, OUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.

 ALL REPAIRS TO EDISTING PAVEMENT SHALL RECOVE SAW-CUT EDGES PRIOR TO RELAYING ASPHALT. KI UNLESS OTHERWS: MOICATED ON THE GRADING PLAN, THE INNMUM SLOPE OF PAVENETT SECTIONS SHALL BE: INNMUM SLOPE OF PAVENETT SECTIONS SHALL BE: PARKING AREAS, LONGITUDINAL SLOPE — 0.3%. AT ALL PARKETS ECTIONS FOR HOATMAR & PARKET DIPLEMENT COSCORE WHE THE FOOT STANDARD PERFECTIONS FOR HOAD AND GENERAL COMPANY AND THE CONTROL AND THE STANDARDS THE CHOIL STANDARDS SHALL GOTFERN.

PAVEMENT BASE COURSE: SEE PLAN SHEET AND DETAILS FOR LIMEROCK BASE MINIMUM THURKNESS

W. TESTING

IN TESTING

1. THE FINENCE SURFACE OF THE BASE COURSE AND THAT OF THE MEASURE SURFACE SHALL NOT WANT MORE THAN 1/4" FROM THE DEPARTAL TAN' RESOLUTION TO SURFACE AND THAT SURFACE SHALL BE MADE AT AN INDEPENDENT TESTING ADMINISTRATION OF THE STAND OF THE

B. SIDEWALK CURB RAMPS HALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 304.

C. CONDETE CARS SHALL BE CONTRIBUTED TO BE UNITS SHOWN OF THE CONTRIBUTED TO BE UNITS SHOWN OF CONTRIBUTED TO BE UNITS SHOWN OF CONTRIBUTED THE STANDARD OF TH

ETHORAN TANNAN DIA ZONGE .XX

A THE ROADS AND PARKING AREAS SHALL BE STRIPED IN ADCOMMANCE WITH THE PLANS, NO STRIPE SHALL BE LESS THAN THE SPECIAL BY WORK SHALL IT EXCELLED HE SPECIALISE WOTH BY MORE THAN 1/2 NOT. STRIPING SHALL BE IN ACCOUNTED HE THAN SECURIOR OF THE STRIPE SHALL BY SECURIOR SHALL BY THE STRIPE SHALL BY SECURIOR SHALL BY SECURIOR SHALL BY SHALL

BIT SHALE BY SEA SEA SERVICE TO THE STANDARD SPECIAL ROOM IN THE STANDARD S

C. ALL STRIPING WITHIN THE PUBLIC RIGHT-OF-WAY AND AT DRIVEWAY ACCESS POINTS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. UNLESS OTHERWISE NOTICE OF THE PLANS.

D. ALL SIGNING AND MARKINGS SHALL CONFORM TO MULTICID AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST ENTIRE).

1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS MAY BE ADJUSTED TO CONFORM TO NEW OR EXISTING CRANES DISTANCES AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.

NOTE: WHERE MORE THAN ONE SPECIFIED MATERIAL EXISTS FOR AN ITEM, IT IS THE CONTRACTORS OPTION TO USE EITHER MATERIAL

I CORRIGATE ALLIMINUM PIPE (CAT.) I AN ALIMINUM SPRAL PIPE FONDED FROM COLED ALIMINAM SPECTS AND SHALL CONFORM ID ASTM SPAS AND ASSTO MISS AND SHALL SHALL SPAS AND ASSTO MISS AND EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:

DIAMETER CORRUGATION CAUGE
12" TO 21" 2 2/3" x 7/16" 15
24" TO 27" 2 2/3" x 1/2" 16
30" 2 2/3" x 1/2" 14
38" TO 5-4" 3 x 1/2" 14
60" TO 78" 3 x 1," 12

4. THE HIGH DENSITY POLYETHYLENE PIPE JOINTS SHALL BE OF A RUBBER OR NEOPRENE GASKET DESIGN TO SECURE A SOIL TIGHT JOINT

5. PIPE COUPLINGS FOR C.A.P. SHALL BE 12' WIDE (MINIMUM) 24' FOR 60" DIAMETER OR LARGEN, SPLIT BANDS OF THE SAME ALLOY AS THE PIPE ME COME CALLED LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT STALL BE LESS WITH THE COOLFUNGS.

THE RIP RAP HEADWALLS SHALL BE CONSTRUCTED OF TAND/CENTY WITH A MINIMUM 2000 F.S.L COMPRESSED SHALL BE PERMEABEL BURLAP, CLOTH OR PAPER. A CONCRETE CAP SHALL BE POWERED ON TOP OF THE SAND/CEMBER TOP RAP BAGS WITH A MINIMUM 3000 P.S.J. COMPRESSION STRENGTH.

STRENOTH.

2. ML COUNTRY CAYON BASHS AND STRUCTURES DALL BE CREAST CONCRETE AS MANUFACTURED BY U.S. PRICAST CONCRETA OF MANUFACTURED BY U.S. PRICAST CONCRETATION OF EXAMINATION OF STRUCTURE AND THE PRICAST THE MANUFACTURE AND SLAD PRICASES SHALL BE E MODEL AND THE MANUFACTURE OF SHALL BE IN A STRUCTURE OF THE WIND AND THE MANUFACTURE OF THE WIND AT 12 MODEL BASH WAY LIVELED OF THE MANUFACTURE OF THE MANUFACTU

 TRENCH DRAIN SHALL BE POLYCAST PRE-SLOPED 600 SERIES OR APPROVED EQUAL C. INSTALLATION

3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION. 4. THE CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING & UTILITIES DEPARTMENT AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION.

1 PVC WATERMAINS 4"-12" SHALL BE PLASTIC PRESSURE PIPE
WITH INTEGRAL BELL AND SPIGOT JOINTS FOR THE CONVEYANCE

THE REQUESTABLE OF ASTR DISING.

DUTTLE ROW PREF FOR WATE STERRISHON MANS SHALL CONFORM TO ANS/AWAN STRANDED CHIEF/AZIST-C2 LITEST REVISION, TOUTLE ROW PREF CONTRIBUTALLY CASE TO METAL MODIS OF SAMO-LINDS MADLES WITH A MANUAU WILL CONTRIBUTED AND STATE OF THE CONTRIBUTION OF THE CONTRI

DITINGS FOR ALL SIZE.

IDENTE BON PRE FOR TENED FORCE WANTS BUILD, COMPINE
TO ANSYMMEN STRONGED CHAPATERS OF LATEST REMORE
TO ANSYMMEN STRONGED CHAPATERS OF LATEST REMORE
TOUCHE BON PROFILE CHAPATERS OF LATEST REMORE
TOUCHE STRONGED PROFILE CHAPATERS OF LATEST
STRONGED TO THE CHAPATER COURTER WITH PRE-PORT, ENGINEED TO THE CHAPATER COURTER WITH PROFILE CHAPATER CHAPATERS OF ALL
STRONGED CHAPATERS OF LATEST AND THE CHAPATERS OF ALL
STRONGED CHAPATERS OF THE METALE COURTER COURTER COUNTY WITH A MEMORY OF THE METALES OF ALL
STRONGED CHAPATERS OF THE CHAPATERS OF ALL
STRONGED CHAPATERS OF THE CHAPATERS OF ALL
STRONGED CHAPATERS OF THE CHAPATERS OF

ADVICTION TO THE APPLICATION.

DUCTLE ROY PITTINGS FOR WATER DISTRIBUTION MANS SHALL CONFORM TO AND ANAMERS STANDARD CHICAGATI-1-98: LATES REMODED, FITTINGS 6" AND LANCORS SHALL SE COMMIT LINED AND SEAL COATED IN ACCORDANCE WITH ANS/ARMA STANDARD COMPAÇAL-1-98 LATEST REMODED.

STANDARD COMPAÇAL-1-98 LATEST REMODED. S. CAST RON AND DUCTLE BROWN FITNESS FOR SEWAGE FORCE
MANS SHALL CONFORM TO ANS/AWMA STANDARD
CITIS/ALTIS-BELLETS REVERON FITNESS 4" AND LESSES
SHALL BE CONTID IN ACCORDING WITH THE REQUIREMENTS
OF DUCTLE BROWN FIT FOR STANCE FORCE MAINS.

CONTS FOR BELL AND EPROT CACTULE HOW PIPE AND FITTINGS
 SHALL COMPONE TO ANSY/ARMA STANDARD CHLY/AZLII-00
 HE SHARER CASHET COMPRESSION-TIPE. SPECIAL FITTINGS
 AND JOINTS SHALL RE CONSIDERED FOR SPECIAL FITTINGS
 AND JOINTS SHALL RE CONSIDERED FOR SPECIAL FITTINGS
 MAD SHALL RE CONSIDERED FOR SPECIAL FITTINGS
 MAD JOINTS SHALL RESERVED.

7. JOINTS FOR PVC PRESSURE PIPE SHALL BE BELL AND SPIGOT PUSH-ON RUBBER CASKET TYPE ONLY, NO SOLVENT WELD OR THREADED JOINTS WILL BE PERMITTED. THERWOOD JOINTS WILL BE POWNITED.

A WATER DISTRIBUTION SYSTEM RESTRAINT, ALL PITINGS AND SECOND PIPE, WONTS SHALL BE RESTRAINED AS DUTLINED AND SHALL BE RESTRAINED AS DUTLINED AND THE RESTRAINED AS DUTLINED THE RESTRAINED AS DUTLINED AND THE RESTRAINED AS DUTLINED AND THE RESTRAINED AS DUTLINED AND THE RESTRAINED A

LENGTH OF RESTRAINED PIPE SHALL BE AS INDICATED ON RESTRAINED JOINT PIPE DETAIL (SEE WATER & SEWER DETAIL SHEET)

SHLET) SET SHEET S LENGTH OF RESTRAINED PIPE SHALL BE AS INDICATED ON RESTRAINED JOINT PIPE DETAIL (SEE WATER & SEWER DETAIL SHEET)

a. CATE VALVES 2" AND LARGER SHALL BE WUELLER A-2380-20, JUSEPICAN BO JUNE OR CLOW F-8100, CONFORMUR TO ANS/AWWA CS00-83, OR, IN STITES CASE, APPROVED CONTROL OF THE WORLD CASE, APPROVED COLLAL." IN JUSTICE SHALL BE WUELLER H087 OR APPROVED COLLAL."

11, TAPPING SLEEVES SHALL BE MUELLER H615, CLOW F- 2505 OR

22 VALVE BOXES SHALL BE U.S. FOUNDRY 7500 OR APPROVED EQUAL PANTED BLUE MITH THE DESIGNATION "WATER". BLUE/WHITE AND REPLECTING PAYSONT MARKET SHALL BE USED TO CONTROL WAS ASSOCIATED.

4. LOCATING WIRE SHALL BE INSTALLED 1 FOOT ABOVE INSTALLED PVC PRESSURE PIPE TO ENSURE THAT PIPE CAN BE LOCATED AFTER BURGAL.

SHALL BE DRESSER STILE 60. NO SUBSTITUTIONS ALLOWED.

IN PRE HYDRANTS SHALL BE MULLINE CONTINON HAPPED TYPE

A-823 MEM 5 1/4" RITCHAL VALVE OPDING DR APPENDE

EXAMADIN. NAM WANG OPDING DO BE DITLEMED BY THE

WITS DEPARTMENT, PUMPER MOZZAE TO 8E 16" FROM

CONTINO, WAVE RETAINED CAMOS ARE PREPRIEDED FOR

RESTRAINED, FIRE HYDRANTS SHALL COMPLY WITH MUSIA/WAY

COCU-50. FOR HYDRANTS SHALL EP ANYTHE TELLOW IN

STRANGAMOS HYDRANTS SHALL EP ANYTHE TELLOW IN

STRANGAMOS HYDRANTS SHALL EP ANYTHE TELLOW IN

STRANGAMOS HYDRANTS SHALL COMPLY WITH MUSIA/WAY

STRANGAMOS HYDRANT SHALL EP ANYTHE TELLOW IN

STRANGAMOS HYDRANT SHALL COMPLY WITH MUSIA/WAY

HE MOST SHAND SHALL SHALL BE ANYTHE TELLOW IN

STRANGAMOS HYDRANT SHALL COMPLY WITH MUSIA/WAY

HE MOST SHALL SHALL BE ANYTHE ANYTHING HYDRANT SHALL SHALL SUSD TO LOTTEY FIRE

HYDRANT SHALL SHALL SUSD TO LOTTEY FIRE

HYDRANG HYDRANG SHALL SUSD TO LOTTEY

HYDRANG SHALL SHALL SHALL SUSD TO LOTTEY

HYDRANG SHALL SHALL

THE CONTRIVUE OF THE OUTSIDE ROUSHAY LANE.

1) SENGE FORE MAN MANE SHALL BE FULL YAMES WHO!

SHALL BE OF THE NON-LUBROATED, ECCOBIRGE THE WHI

REQUEST FACED FULLS, POT AREAS FOR WALES. 20 INSERT

FOR METAL OF THE NON-LUBROATED, ECCOBIRGE THE WHI

FOR METAL OF THE NON-LUBROATED, AND LARGER SHALL BE AT

FOR METAL OF THE NON-LUBROATED, AND LARGER SHALL BE

FOR METAL OF THE NON-LUBROATED, AND LARGER SHALL BE

FOR METAL OF THE NON-LUBROATED OVERAL OF THE NON-LUBROATED

FOR METAL OF THE SHALL BE REPLACED BY

FOR METAL OF THE SHALL BE ADDRESS OF THE SHALL BE

FOR METAL OF THE SHALL BE REPLACED BY

FOR METAL OF THE SHALL BY

FOR METAL BY

FOR ME

AND WASSELDS SMALL BE CESSORD FOR A WORKING PRESSURE OF 50 P.S.L. THE VALVE AND ACTUATOR SMALL BE CAPAGE OF 50 P.S.L. THE VALVE AND ACTUATOR SMALL BE CAPAGE AND ACTUATOR SMALL BE CAPAGE OF 50 P.S.L. THE VALVE AND ACTUATOR OF 51 P.S. THE CAPAGE SMALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE FOR BURD SERVIC WITH A 2 PLOT SMALL BE OPENING MALL BE OPENING MAL

19. PLUG VALVES ARE TO BE INSTALLED WITH THE SEAT POINTED TOWARDS THE UPSTREAM FLOW WHEN SPECIFIED.

PECE TO PROVE ACCESS TO THE DISC.

1 DOUG COME OF PAPIN AT THE REMOVE WITH THE ATMENT PARTS. ALL NEW OR ALTEND, ABOVE GROWN PAPIN AT THE PARTS. ALL NEW OR ALTEND, ABOVE GROWN PAPIN AT THE PAPIN AT THE

1. SERVICE SADDLES SHALL BE EPOXY COATED DUCTILE IRON (ASTM ASIA) WITH STANKLESS STEEL STRAPS, SADDLES SHALL BE DOUBLE STRAP THE.

5. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM 8-82 WITH THREADED ENDS, AS MANUFACTURED BY FORD BALLCORP, CATALOG # 1100 OR APPROVED EQUAL

C INSTALLATION

1. WHERE RESTRAINED PIPE JOINTS ARE REQUIRED DUE TO FITTINGS, APPURTENANCES, ETC., PIPE MATERIAL SHALL BE O.I.P...

3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C800-05 OR LATEST REVISION. 4, ALL WATER MAINS SHALL TYPICALLY BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 30" COVER FOR DP.

S DETECTO TAPE SHALL BE LAID 18 INCHES ABOVE ALL WATER LIKES, A 14 CANCE MULTI-STRAND WRE SHALL BE ATTACHED LOCATION, AN EXTRA 4 FEBT OF WRE SHALL BE PROMISED AT ALL VIALVES, BLOW-OFFS, HYDRANTS, ETC. THE WRE SHALL BE TESTED FOR COMMINITY AT THE PRESSURE TEST.

6, PIPE DEFLECTION SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.

7. A CONTINUOUS AND UNIFORM BEDOING SHALL BE PROVIDED BACKING MATERIAL SHALL BE TRAPPED IN \$" LANDS AMOUND THE PIPE. STORES FOUND ON THE REDICK SHALL BE REMOVED FOR A SUPERIOR SHALL BE REMOVED FOR A SUPERIOR AT LEAST \$"

B. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER", "SEWER", "SERVICE", "FIRE" AS APPROVED EQUAL. CAST IN THE COVER. U.S.F. OR APPROVED EQUAL. 9. DETICTO TATE SHALL BE LAID (18) INCHES BOOK FINAL CHARL SEATHORD TO ALL PVC FORCE MAINS TO FACILITATE LOCATION.

D. TESTING

2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY OWNER AND THE ENGINEER OF RECORD,

4. BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH ANY AREA CEST-LOS MADMINI DISTANCE ETRETA SAME TO FONTE SHALL SHA SFOLLOWS: TRANSMISSION MAINS: EVERY 1200 FEET BRANCH MAINS: EVERY 1200 FEET BRANCH MAINS: EVERY 1000 FEET: 2 SAMPLE FONT ISOLATED MAINS > 1000 FEET: 2 SAMPLE FONT

ISOLATE MAINS - NOOT FEET & SAMPLE PROPTS

5. DE ALLOWINE LEARNE CUINED THE PROSPIE TEST SHALL
FRANCE THE MAINS OF CHILD'S PROVINCE BY
THE SAMPLE PROMISE OF CHILD'S PROVINCE BY
THE SAMPLE PROMISE OF CHILD'S PROVINCE BY
THE SAMPLE PROMISE COUNTY OF MANES WITTEN BY
THE SAMPLE PROMISE COUNTY OF MANES WITTEN BY
THE SAMPLE PROMISE COUNTY OF MANES WITTEN BY
THE SAMPLE SAMPLE SAMPLE PROSPING PROVINCE PROSPING
TO MAILS THE AMERICA STYP PRESSURE PROVINCE PROSPING
THE SAMPLE SAMPLE SAMPLE SAMPLE PROVINCE PROSPING FOR SOURCE
BY SOURCE THE PROMISE OF USE DURING PROSSURE TEST IS

SOM ALDRED.

SAMPLES ARE TO COMPLY WITH FLORIDA ADMINISTRATIVE CODE
DAMPLES FOR NEW ON ALTISTS THE CONTROL OF THE STRANG.

FAULTIS AND WITEHAMS TO BE FANDEN IN THE OWNSELTIME
ARE TO BE ANALYZED FOR TOTAL RESIDENCE OF CONTROL

OFFICE TO BE ANALYZED FOR TOTAL RESIDENCE FALLOW

HAVE TO BE ANALYZED FOR TOTAL RESIDENCE FALLOW

HAVE TO BE ANALYZED FOR TOTAL RESIDENCE FALLOW

HAVE TO BE ANALYZED FOR TOTAL CULTURE OF METERS

HAVE SHALL BE CONCEDIBED HAVE DE STORE THE

OWNSELTED HORSE THAN 90 DAYS SETORE THE

OPPARIMENT RESIDENCE THE STORE THE

OPPARIMENT RESIDENCE THE STORE THE

OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE STORE

THE OPPARIMENT RESIDENCE THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

THE OPPARIMENT RESIDENCE

T

1. MANHOLE RIM ELEVATIONS AS SHOWN ON PLANS MAY BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

303, 301 33, WITH PUSH-TO REGISTER WAS ASSESSED. STATE OF THE STATE OF

4. MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4,000 P.S.I. CONCRETE, 8" MINIMUM WALL THICKNESS AND CRADE BUSTELL. MONOLITHICALLY POURED BASES ONLY (8" MINIMUM WALLSTANDINGSS).

 MANHOLES ARE TO BE SEALED WITH TYPE II SULPHATE RESISTANT CEMENT OR APPROVED EQUAL — NO MOLDING PLASTER. 6) JOINTS FOR BELL AND SPIDOT DUCTILE IRON PIPE AND FITTINGS SHALL COMPRISH TO AND/ARMA STANDARD CHIL/AZIII-00 LATEST ##IRON. BUCHANDAL JOINT OR PURPH-OH JOINT TO BE RUMBER CISCET COUPRESSION—TYPE SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIAL MISTIALATION SUBJECT TO THE APPROVAL OF THE ENGINEER.

WHERE TO ACCESS CLEAN-OUT OFFINATIONS. THE WAS A CALLENGED AT ALL SERVICE SERVICES DOCUMENT OF ALL SERVICE SERVICES DOCUMENT OF ALL SERVICES AND A CONTRACTOR WAS A CALLENGED AT ALL CONTRACTOR OF THE ACCESSION OF THE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR CENTRACTOR WITH THE BULLOW PLUMENCE CONTRACTOR CENTRACTOR WHITH THE BULLOW PLUMENCE CENTRACTOR CENTRACTOR WHITH THE BULLOW PLUMENCE CONTRACTOR CENTRACTOR WHITH THE BULLOW PLUMENCE CONTRACTOR CENTRACTOR WHITH THE BULLOW PLUMENCE CONTRACTOR CENTRACTOR WHITH THE BULLOW PLUMENCE CENTRACTOR WHITH THE BULLOW PLUMENCE CONTRACTOR CENTRACTOR CONTRACTOR CENTRACTOR CONTRACTOR CENTRACTOR CONTRACTOR CENTRACTOR CENTR B. CLEANOUTS LOCATED IN ROADWAY ARE TO BE TRAFFIC RATED.

DJ.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C-800-89 OR LATEST REVISION;

PIPE TO MANHOLE CONNECTION TO BE FERNCO MEOPRENE BOOT COUPLINGS WITH STAINLESS STEEL ACCESSORIES OR APPROVED EQUAL.

7. PROVIDE A WINNELW (6) NON-BED OF 3/4" WASHED ROCK FOR ALL SUN-ADJEOUS CRAWITY SOUR PIPES.

 AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXPLITATION TEST, UPON APPROVAL OF THE ENGINEER. 3. WANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT, NO WISBLE LEAKAGE ALLOWED.

A. THE ALLOWABLE LIMITS OF SEWER PIPE LEAVAGE FOR GRAVITY SEVER MAINS SHALL NOT EXCEED 100 GALLONG PER INCH OF INSIDE PIPE OF DAMEDUR PIPE MILE PIPE DAY FOR ANY SECTION MAY BE T.V., INSPECTED AT NO EXPENSE TO THE CONTRACTOR.

 TESTING OF CRAVITY SEWER MAINS AND LATERALS SHALL BE IN ACCORDANCE WITH THE UTILITY OWNER'S MINIMUM DESIGN AND CONSTRUCTION STANDARDS LATEST REVISION. SIANDAROS LATEST REVISION.

THE RISTALLED SENERS SHALL UNDERSO TELEMISON MISSERIDIA 4123 THESE REST SHALL BERDON TO THE FINAL ACCUPANCE OF THE UTILITY OWNER AND THE OTHER SHALL BE EAST PROBLE TO THE RELEASE OF THE ONLE-YEAR MARITICANCE BOND.

XVI SEPARATION OF WATER AND SEWER WANTS

AN STANDARD OF WAITS AND STREET MADE.

A CANADAY SERVER, STOM SERVER, AND FORCE WARD SHOULD AND FRANCES.

THE SERVER STOM SERVER, AND FORCE WARD SHOULD SERVER MADE SHOULD SERVER.

MAN SHALL SE LAND TO SERVER A MANUAL VEHICLA, DETANGE OF THE SERVER SHOULD SERVER.

MADE SHALL SE LAND TO SERVER, OF THOSE WARD SHALL SHOULD SERVER.

MADE SHALL SE LAND SERVER, OF THOSE WARD SHALL SHOULD SERVER.

MADE SHALL SERVER WAS SHALL SE CONFIDENCE OF MORE LAND SHALL SHOULD SHALL SHALL

B, A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEMER AND WATER WAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE TAND IN A LOCATED ON ONE SIZE OF THE SAME OF A FORCE MAIN A TOPACH AN ELEVATION THAT THE BOTTON OF THE WATER IS AT LEAST 18 MICHES ABOVE THE TOP OF THE SWEET OF THE WATER IS AT LEAST 18 MICHES MOVE THE TOP OF THE SWEET.

WHERE IT IS NOT THE LOVE OF THE SERVEY OF THE STATE OF THE SHORT OF TH C. ALL DIP SHALL BE CLASS 51 OR HIGHER ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED

No. 86481 ☆

STATE OF

STIONAL ENGL

July 1, 2024

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATUR
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

EDISON EMBROKE P

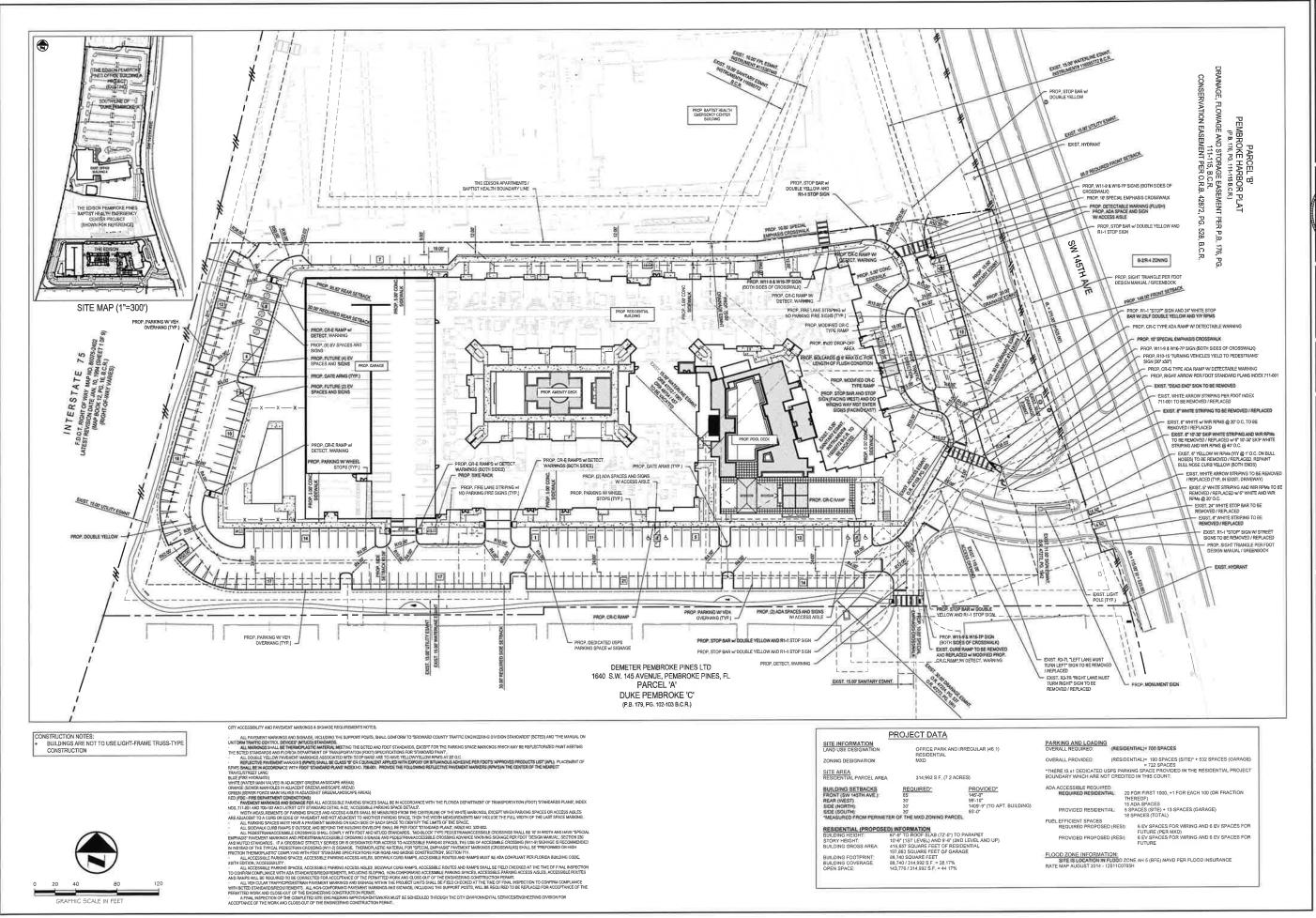
ow Inc. Engineering, NW 9th Average, Suite 1994, Ft. Land Botek

BTE PROJECT #: 16-1204.B

PROJECT DATE:

4.13.23 SHEET #:

C-1



. .

No. 86481 ☆ STATE OF

STONAL EN July 1, 2024

THE EDISON APARTMENTS SITE PLAN

THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

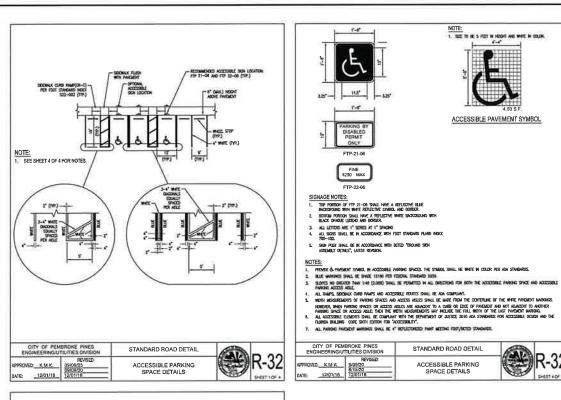
Thurlow

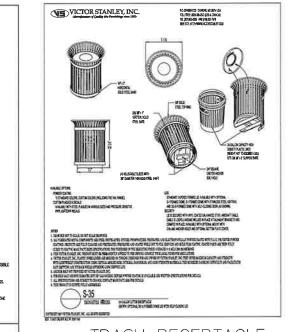
Engineering, Inc. Botek

RTF PROJECT # 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: SP-





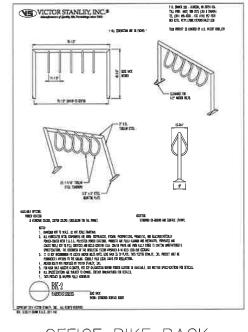
NOTE:

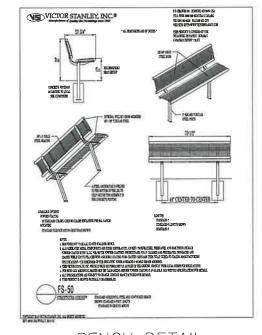
1. SEE TO BE 3 FEET IN HEIGHT AND WHITE IN COLOR.

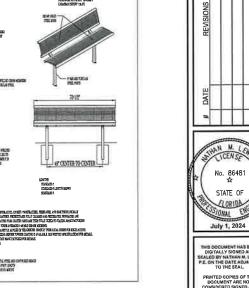
ACCESSIBLE PAVEMENT SYMBOL

ACCESSIBLE PARKING

SPACE DETAILS



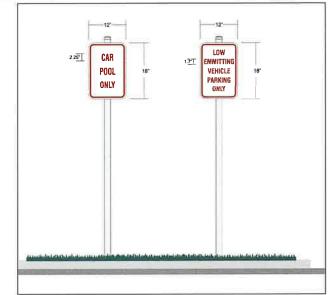


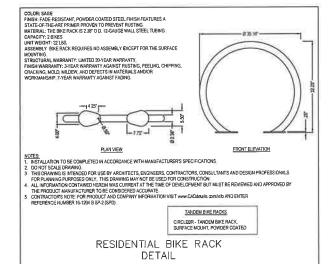


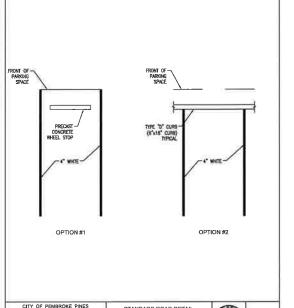


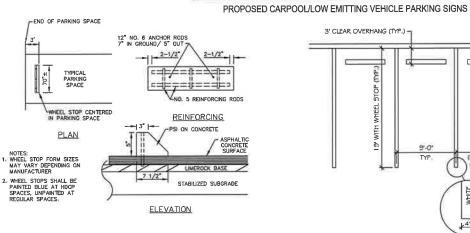
OFFICE BIKE RACK DETAIL

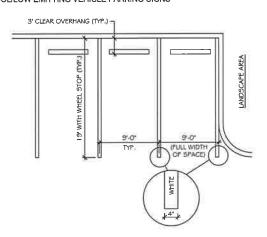
BENCH DETAIL

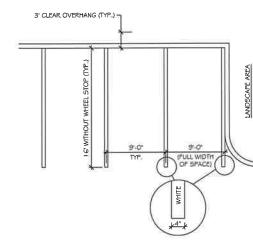






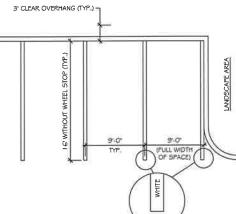






STANDARD PARKING STALL DETAIL N.T.S

STANDARD PARKING STALL DETAIL



BTE PROJECT #: 16-1204.B PROJECT DATE:

4.13.23

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Engineering, Inc.

Thurlow

Botek

SITE PLAN DETAILS

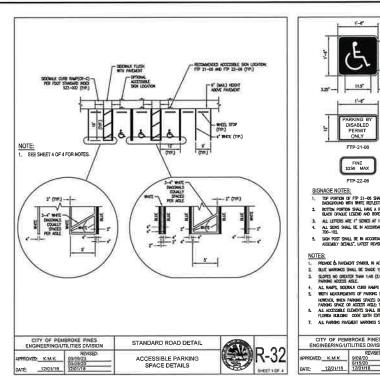
SHEET #:

SP.

STANDARD ROAD DETAIL NED KMK DATE: 05/17/18

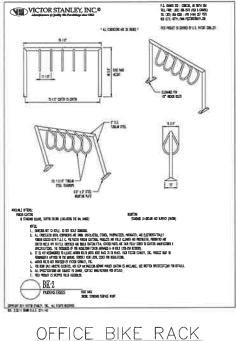
CONCRETE WHEEL STOP DETAIL

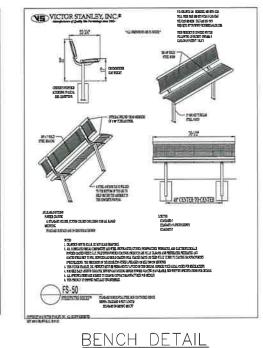
. .

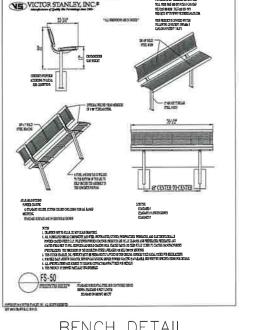












BTE REF DATE: 9.10,24

No. 86481 ☆

STATE OF STONAL ENGIN

September 10, 2024

EDISON PEMBROKE PINES PEMBROKE PINES, FL 33027

표

Pering, Inc.

BTE PROJECT #:

PROJECT DATE:

SHEET #:

4.13.23

SP-4

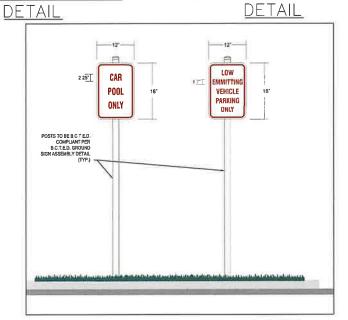
16-1204.B

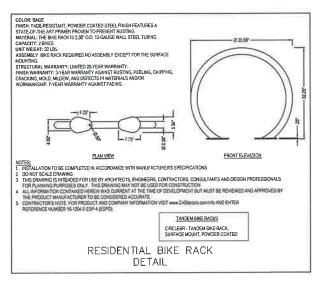
Botek

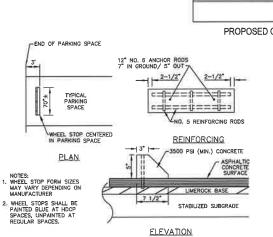
ngineering,

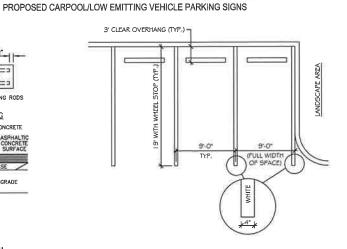
THE EDISON SITE PLAN DETAILS

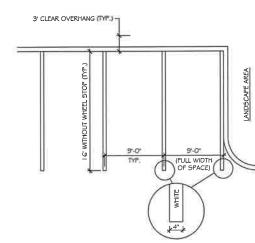




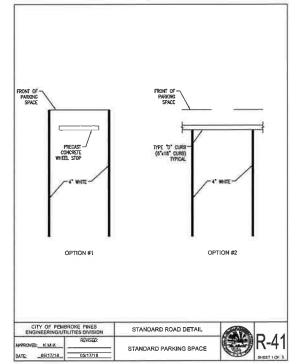








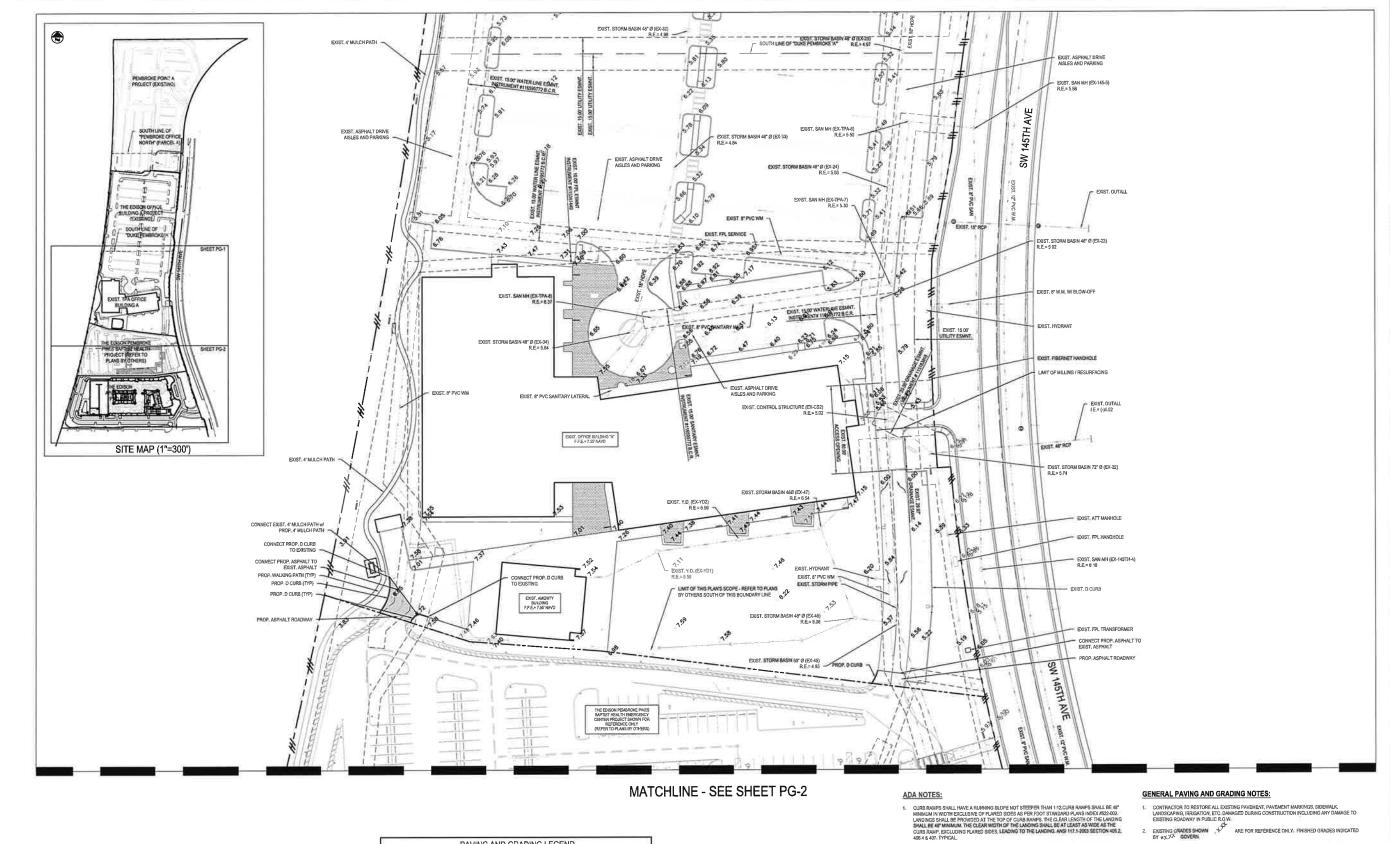
STANDARD PARKING STALL DETAIL



. .



STANDARD PARKING STALL DETAIL N.T.S



PAVING AND GRADING LEGEND **ABBREVIATIONS** PROPERTY or R/W LINE PROPOSED EXISTING INVEST ELEVATION MANHOLE CATCH BASIN DRAINAGE WELL RM ELEVATION GRATE ELEVATION CENTER LINE FLOW ARROW

PROP. D'CURB

- WHERE DETECTABLE WARNINGS ARE FROVIDED ON CURB RAMPS, THEY SHALL COMPLY WITH SECTION 408 13 AND 705. DETECTABLE WARNINGS SHALL BE 27* MINIMUM IN THE DIRECTION OF TRAVEL MODE EXTEND THE FULL WORTH OF THE CURB FROM PG RUSHS SHAPAGE. THE DETECTABLE WARNING SHALL BE LOCATED SO THE SOOD HEAVEST TO THE CURB LINE IS 8" TO 8" FROM THE CURB LINE AND 1171-2003 SECTION 406 513.1 4.60 ft. 613.2.
- SIDEWALK CURB RAMPS AND ASSOCIATED CROSSWALK SIGNAGE AND MARKINGS SHALL CONFORM TO FDOT STANDARD PLANS INDEX NOS: 522-002 AND 711-001.

- 4. EXACT LOCATION OF METERS AND BFPs TO BE COORDINATED IN THE FIELD
- REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITION INFORMATION.
- RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE 'F' CURB AND GUTTER PER BROWARD COUNTY MINIMUM STANDARDS.

Thurlow Engineering, Inc. Botek

No. 86481 ☆ STATE OF

ELORIDA. July 1, 2024

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

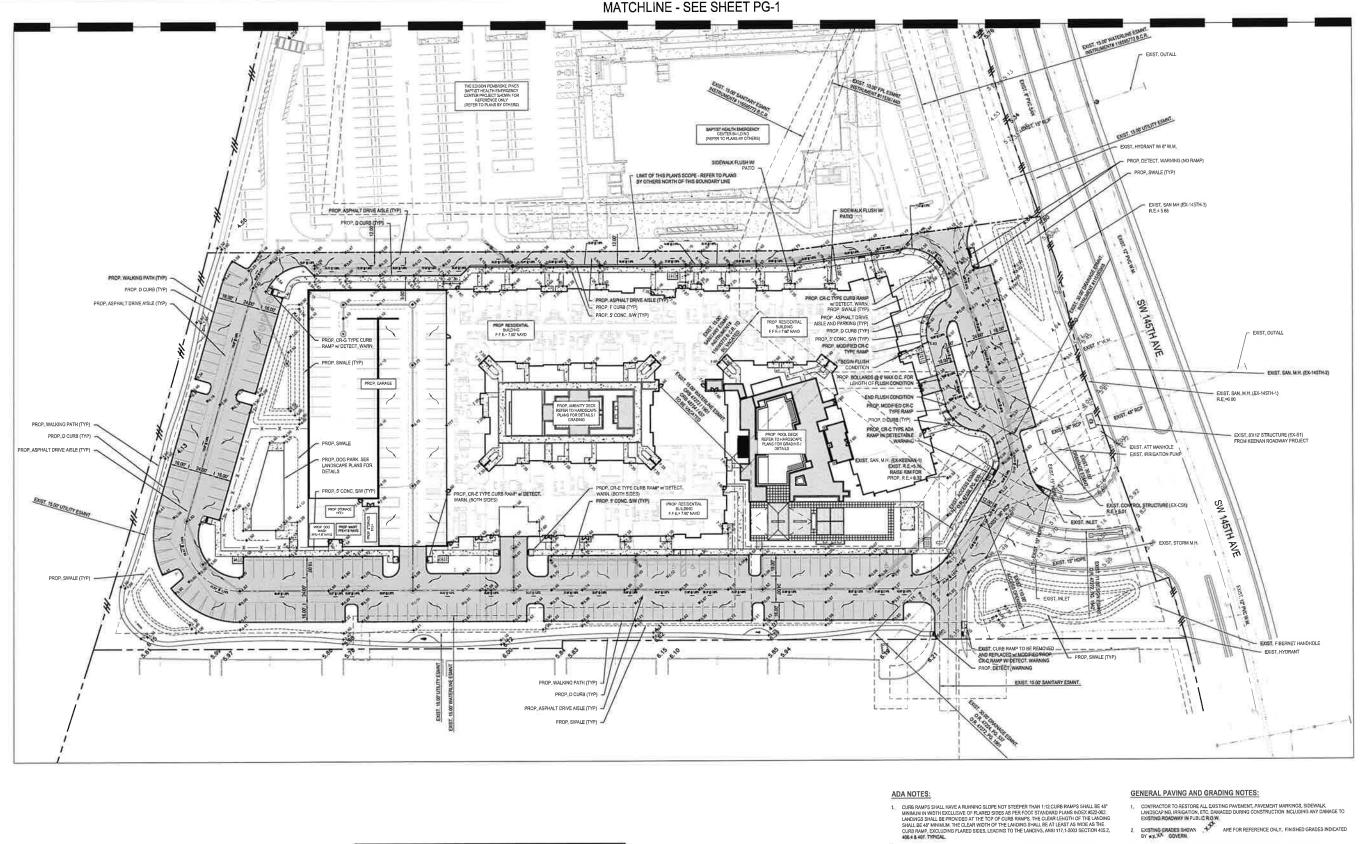
BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

PG-

Sunshine 811.com



- WHERE DETECTABLE WARNINGS ARE PROVIDED ON CURB RAMPS, THEY SHALL COMPLY WITH SECTION 406 13 AND TIS. DETECTABLE WARNINGS SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL. AND EXTREM THE FULL WORTHOF THE CURB RAMP OF IT, USES A SUPERACE. THE OPERCHABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST TO THE CURB LINE IS 6" TO 8" FROM THE CURB LINE. ANSI 1171-2003 SECTION 406.13.1 & 469.13.2.
- DETECTABLE WARNING MATS/TILES SHALL BE RECESSED INTO THE CONCRETE SIDEWALK (CAST-IN-PLACE) TO INSURE THE SURFACE OF THE DETECTABLE WARNING MAT/TILES ARE FLUSH WITH THE SURFACE THE SOEWALK.
- SIDEWALK CURB RAMPS AND ASSOCIATED CROSSWALK SIGNAGE AND MARKINGS SHALL CONFORM TO POOT STANDARD PLANS INDEX NOS. 522-002 AND 711-001.
- ALL ELEVATIONS SHOWN HEREON REFER TO NAVID 1989 UNLESS NOTEO OTHERWISE. WHERE ELEVATIONS WERE REQUIRED TO BE CONVERTED, THE FOLLOWING CONVERSION WAS USED: NAVID = NGVD -1.58°
- 4. EXACT LOCATION OF METERS AND BFPs TO BE COORDINATED IN THE FIELD.

- UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS, ANY MILLING AND RESURFACING REQUIRED BY THIS PROJECT SHALL BE A MINIMUM OF 1" DEPTH



SEALED AND THE SIGNATI MUST BE VERIFIED ON AI ELECTRONIC COPIES

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Engineering, Inc. Thurlow Botek

BTE PROJECT #: 16-1204.B

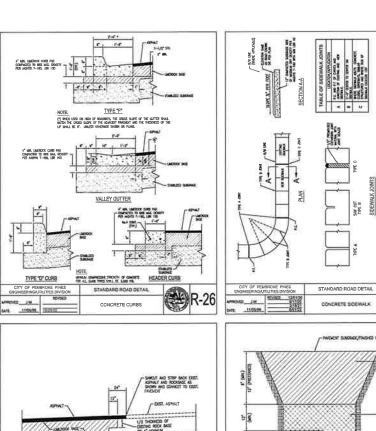
PROJECT DATE: 4.13.23

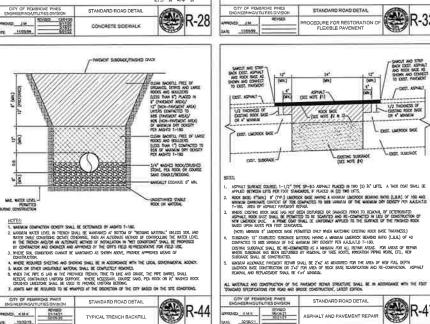
SHEET #:

PG-2

Always call 811 two full business days before you dig to have underground utilities located and marked.

PAVING AND GRADING LEGEND PROPERTY or REWLINE PROP. EXIST. I.E. M.H. C.B., D.W. R.E. G.E. PROPOSEO
EXISTING
INVERT ELEVATION
MANHOLE
CATCH BASIN
DRAMAGE WELL
RAM ELEVATION
GRATE ELEVATION CENTERLINE NON VEHICULAR ACCESS LINE - FLOW ARROW Sunshine 811.com PROP. CONCRETE
(REFER TO HARDSCAP
PLANS FOR DETAILS) PROP. F CURS PROP. 0 CURS

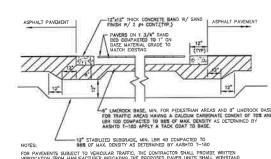




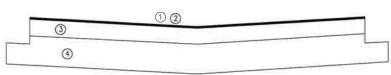
4,000 PST AT PROJECTS. 3,500 PSI AT 28 TE DEVELOPABIT. ES.

PROCEDURE FOR RESTORATION OF FLEXIBLE PAVEMENT

FOR ANY ROAD CROSSING IN WHICH THE ROAD IS CUT AND RESTORED ONE LANE AT A TIME, ONE DENSITY TEST SHALL BE TAKEN IN EACH LANE AT EACH SIX-LET FOR ANY ROAD GROSSING IN WHICH THE ROAD IS CUT AND RESTORED TWO LANES AT A TIME (DENSITIES SHALL BE TESTED IN ONE LANE PER LIFT, ALTERNATING LANES WITH EACH LIFT.



SEE PLAN SHEET C-3 FOR PAVER LOCATIONS PAVER DETAIL



R-39

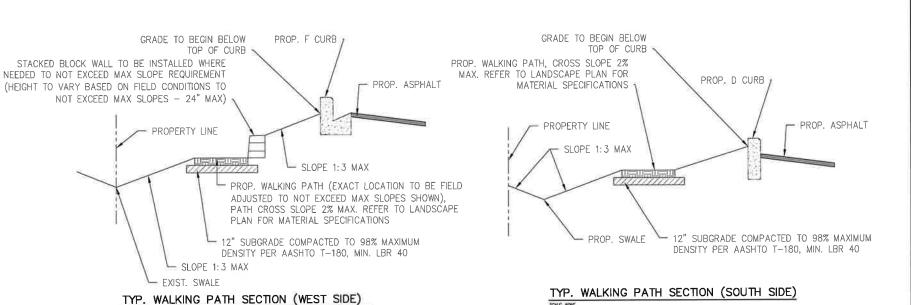
PENSED IN ISSUED

. .

- 1-1/2" THICK ASPHALTIC CONCRETE, TYPE SP-9,5 (2-3/4" LIFTS)
- (2) PRIME AND TACK COAT
- 3 8" LIMEROCK BASE COMPACTED TO 98% MAXIMUM DENSITY AASHTO T-180, LBR 100
- (4) 12" SUBGRADE COMPACTED TO 98% MAXIMUM DENSITY AASHTO T-180, STABILIZE AS REQUIRED, LBR 40.

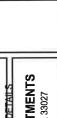
TYPICAL PAVEMENT DETAIL

*REFER TO SHEET PGD -1-2-3 FOR PRIMARY AISLE LOCATIONS.
IF NOT NOTED AS A PRIMARRY AISLE, ASPHALT IS DESIGNATED SECONDARY AREA.









THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

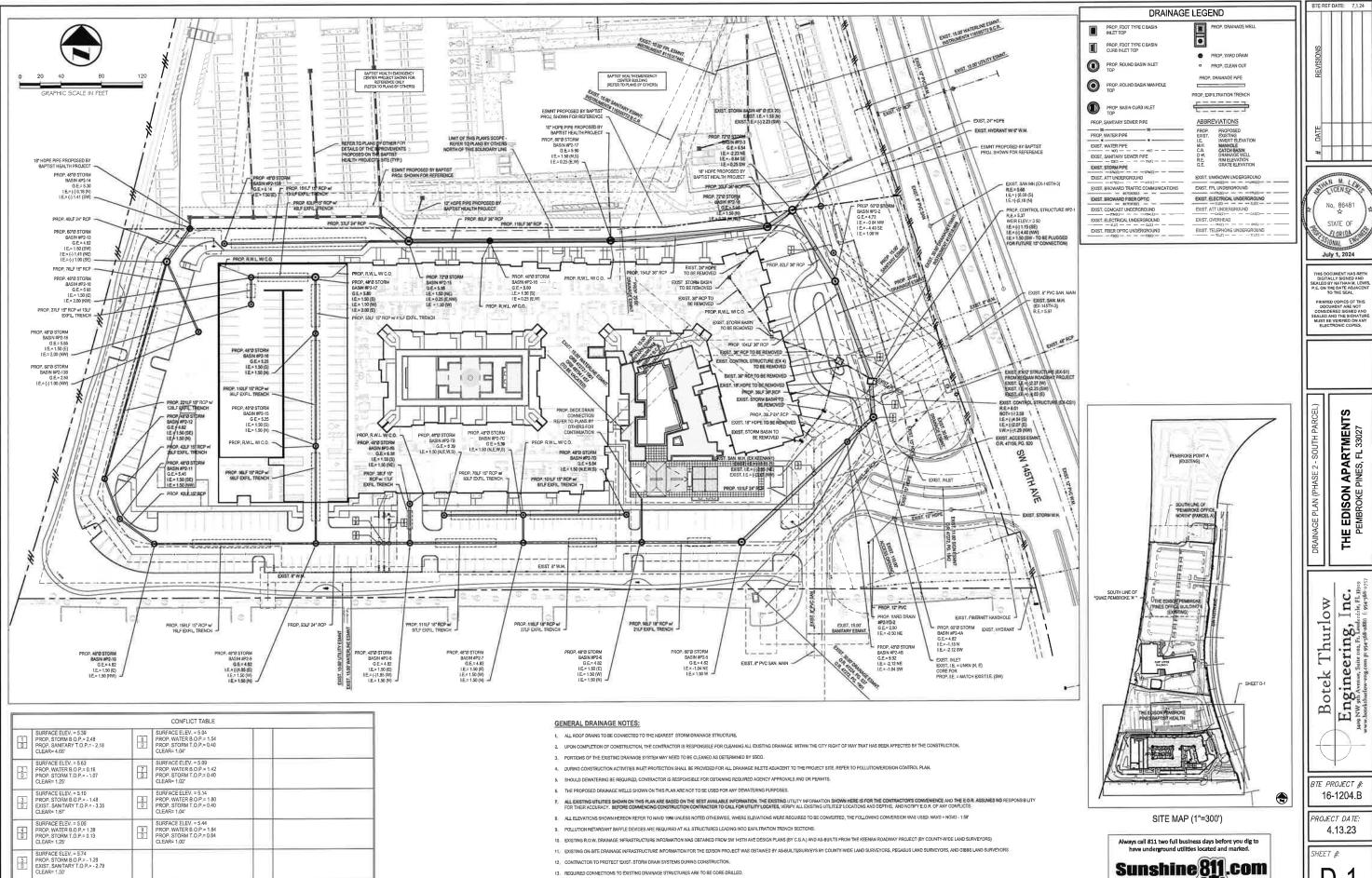
Thurlow Engineering, Inc. otek B

BTE PROJECT #: 16-1204.B

> PROJECT DATE: 4.13.23

SHEET #:

PG-3

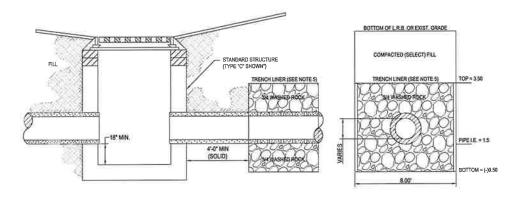


13, REQUIRED CONNECTIONS TO EXISTING DRAINAGE STRUCTURES ARE TO BE CORE DRILLED.

. .

ANS

SHEET #:



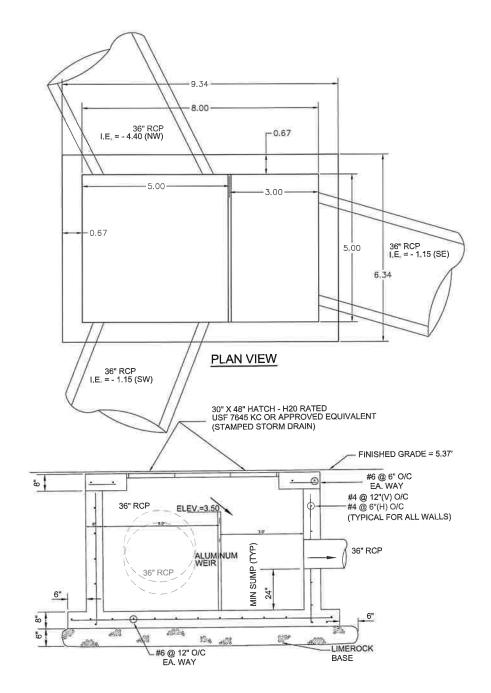
LONGITUDINAL SECTION

TRANSVERSE SECTION

NOTES:

- 1. PIPES SHALL TERMINATE 2 FEET FROM END OF TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
 2. COVER PIPE ENDS WITH NO. 10 GALVANIZED OR ALJUMNUM SCREEN, OPENING NO LARGER THAN ½? ½?
 3. BALLAST ROCK WORLD BE FROM FREEN WATER WASHED FREE OF DELETEROUS MATTER.
 3. SIDES AND TOP OF TRENCH TO BE LINED WITH ONE LAYER OF PLASTIC TYPE FILTER CLOTH OR APPROVED EQUAL OVERLAP TRENCH LINING MATERIAL A MINIMUM OF ITWO POET AT TOP OF TRENCH.

EXFILTRATION TRENCH DETAIL



CONTROL STRUCTURE #1

N.T.S.

- * ALUMINUM WEIR
- THICK ALUMINUM PLATE WITH
- $\frac{1}{2}$ " GALVANIZED ANCHOR BOLTS 5" O/C.





THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

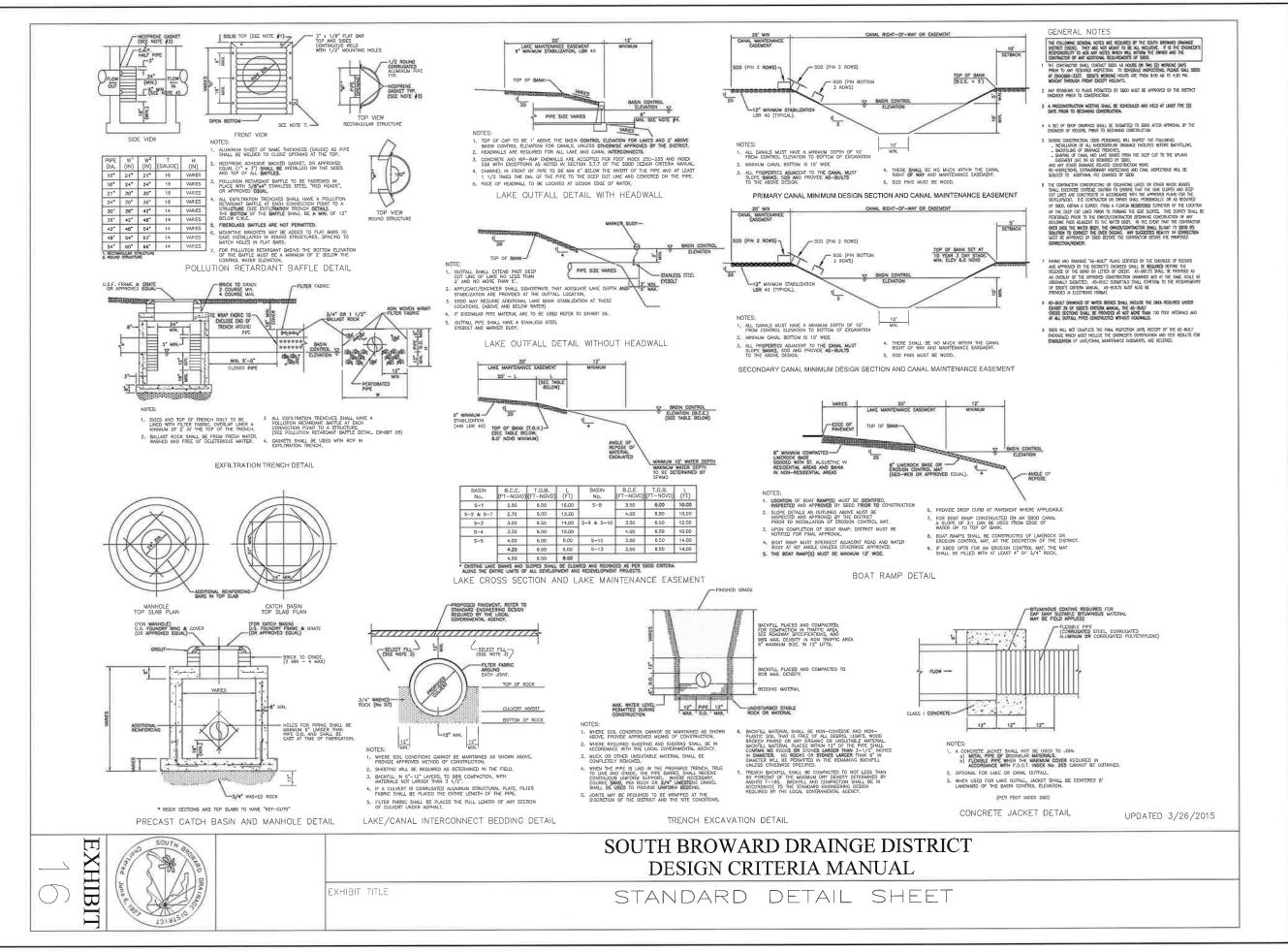
Botek Thurlow
Engineering, Inc.

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

. .





EDISON APARTMENTS EMBROKE PINES, FL 33027

HE 1

Engineering, Inc. Thurlow Botek

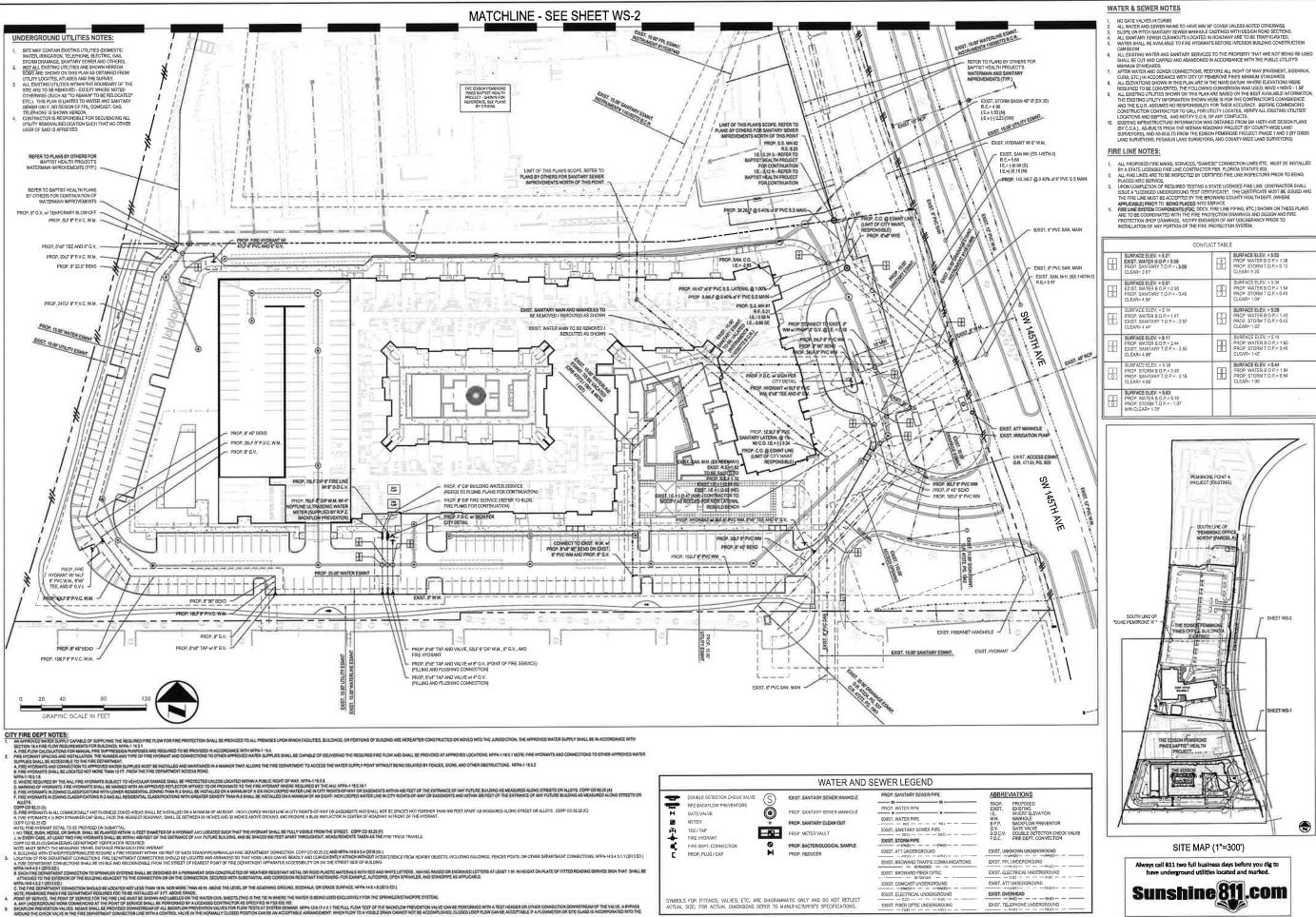
BTE PROJECT #:

16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

D-3

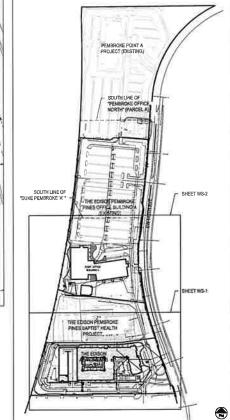


. .

SYMBOLS FOR FITTINGS, VALVES, ETC., ARE DIAGRAMMATIC ONLY AND DO NOT REFLECT ACTUAL SIZE; FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

CAN BEGIN.
ALL EXISTING WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT BEING RE-USED SHALLS BE CUT AND CAPPED AND ABANDONED IN ACCORDANCE WITH THE PUBLIC UTILITY'S

- 1		CONFLICT TABLE						
1-2)	1 8	EXIST WATER B O P = 0.58 PROP SANITARY TO P = -3.09 CLEAR= 3.67	4 0	SURFACE ELEY = 5.05 PROP WATER 8 0 P = 1.38 PROP STORM T 0 P = 0.13 CLEAR= 1.25				
1-2)	2 5	EXIST WATER B O P = 0 58 PROP. SANITARY T O P = -3.46 CLEAR= 4 04'	6 D	SURFACE ELEV. = 5 04 PROP WATER 8 0 P = 1 54 PROP STORM T 0 P = 0 40 CLEAR= 1 04'				
	3	SURFACE ELEV = 5 14 PROP, WATER B O P = 1.47 EXIST. SANITARY T O P = -2 97 CLEAR= 4.44"	7	SURFACE PLEV = 5.09 PROP WATER B O P = 1.42 PROP STORM T O P = 0.40 CLEAR= 1.02'				
9	4 5	PROP WATER B O P = 2.44 EXIST, SANITARY T O P = -2.55 CLEAR= 4.99'	8	SURFACE ELEV = 5.14 PROP. WATER B O P = 1.60 PROP. STORM T O P = 0.40 CLEAR= 1.40"				
Comp	1	SURFACE ELEV. = 5 39 PROP STORM B O P = 2 48 PROP SANITARY T O P = -2 18 CLEAR= 4 56'	9	SLASACE ELEV, # 5.44 PROP WATER B 0 P = 1.84 PROP STORM T 0 P = 0.84 CLEAR= 1.00'				
	2	SURFACE ELEV. = 5.63 PROP WATER B O P.= 0.18 PROP STORM T O P.= -1.07 MIN CLEAR= 1.25		•				



SITE MAP (1"=300')

Always call 811 two full business days before you dig to have underground utilities located and marked. Sunshine 811.com

EXIST. TELEPHONE UNDERGROUND

EXIST. FIBER OPTIC UNDERGROUN





THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

Engineering, Inc.

NW of Avenue, Suite not, Fr. Luderdale, Fl. 3300

No. of the Avenue, Suite not, Fr. Luderdale, Fl. 3300 Thurlow Botek

BTE PROJECT #:

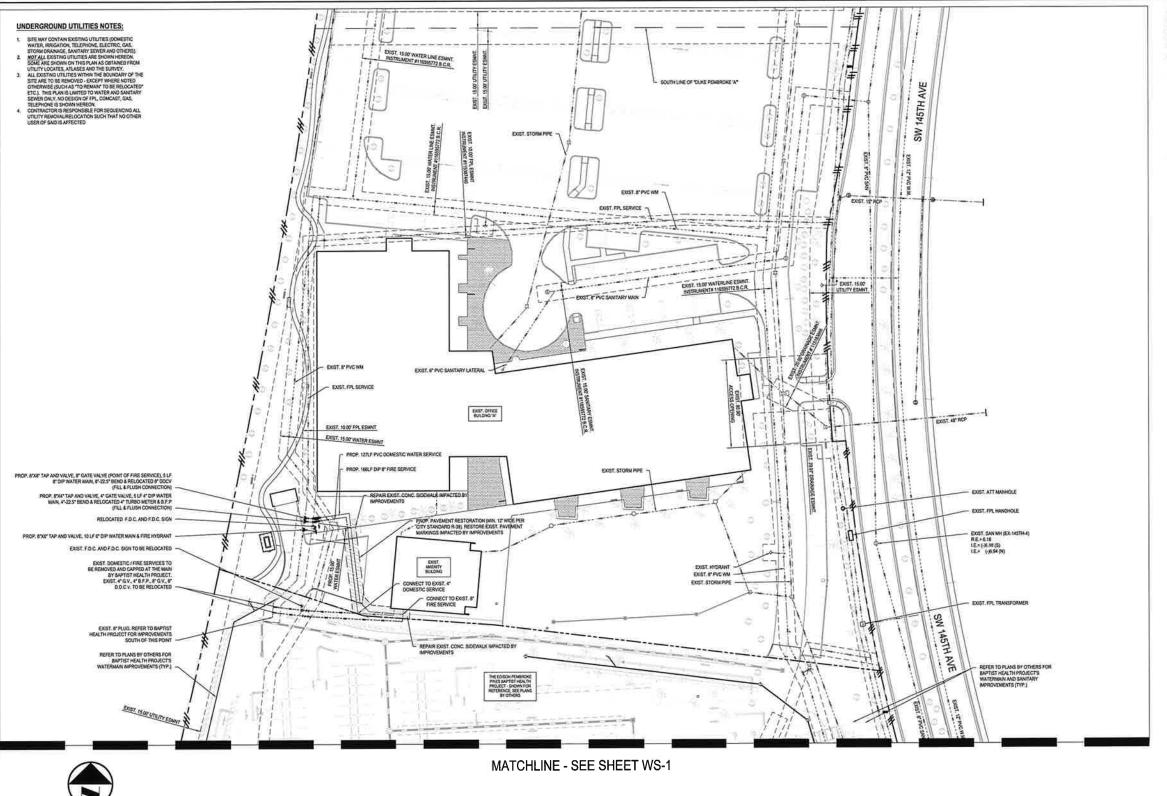
16-1204.B

ROJECT DATE: 4.13.23

SHEET #:

WS-

CONSTRUCTION





. .

WATER & SEWER NOTES

WATER SHALL BE AVAILABLE TO FRE HYDRAYTS BEFORE UTFRIOR BUILDING CONSTRUCTION CAN BEGIN.
ALL EXISTING WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT BEING RE-USED SHALL BE CUT AND CAPPED AND ABANDONED IN ACCORDANCE WITH THE PUBLIC UTILITY'S MINIMUM STANDARDS.

AFTER WATER AND SERVER CONNECTIONS, RESTORE ALL RIGHT OF WAY (PAVEMENT, SIDEWALK, CURB, ETC.) IN ACCORDANCE WITH CITY OF PEMBROKE PINES MINIMUM STANDARDS.

ALL ELEVATIONS SENVINI HIS PLAN ARE, IN THE WAYD DATILM, WHITE ELEVATIONS HERE REQUIRED TO BE CONNECTED, THE PUBLIC WHIN CONVENTIONE ELEVATIONS HERE REQUIRED TO BE CONNECTED, THE PUBLIC WINN CONVENTION HERE ELEVATIONS HERE REQUIRED TO BE CONNECTED, THE PUBLIC WINN CONVENTION HERE EST, MANUALE INFORMATION, HE PUBLIC WAS AND THE PUBLIC WITH THE PUBLIC WAYD AND THE PUBLIC WAS AND THE PUBLIC WAYD. THE PUBLIC WAS AND THE PUBLIC WAYD. THE PUBLIC WAS AND WAS AND THE WAS AND THE PUBLIC WAS AND WAS AND THE WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND THOSE THAN BY AND THE WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND TO PUBLIC WAS AND THE WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND THE PUBLIC WAS AND THE WAS AND THE PUBLIC WAS AND TO SANDED THOSE THAN BY AND THE WAS AND THE PUBLIC WAS AND THE PUB

FIRE LINE NOTES:

1. ALL PROPOSED FRE WAINS, SERVICES, "SAMESE" CONNECTION LINES ETC. MUST BE INSTALLED BY A STATE LICENSED FRE USE CONTRACTOR FRE FLORIDA STATUTE 53.

ALL FIRE LINES ARE TO BE ASPECTED BY CERTIFIED FIRE LINE INSPECTORS PRIOR TO BEING PLACED INTO SERVICE.

LIPON COMMETION OF REQUIRED TESTING A STATE LICENSED PRE LINE CONTRACTOR SHALL ISSUE A TUCKNED UNDERGOROUND TEST CERTIFICATE, INTO SERVICE IN SUBJECT A TUCKNED UNDERGOROUND TEST CERTIFICATE, INTO SERVICE AND THE CERTIFICATE MUST BE ISSUED AND THE REPUBLIED MIND SERVICE OF THE STATE SERVICE AND FREE PRPUBLIED FROM TO BEING FLACED INTO SERVICE.

REFUEL SYSTEM COMPONENTS (FOC. DOC), FIRE LINE PIPINE, ETC) SHOWN ON THESE PLANS ARE TO BE COORDINATED WITH THE FIRE PROTECTION DAWNINGS AND DESIGN AND FIRE PROTECTION SHOP DEARWINGS, NOTHEY ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF ANY PORTION OF THE FIRE PROTECTION SYSTEM.





PRINTED COMES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATUR MUST BE VERIFIED ON ANY ELECTRONIC COMES.

THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

Thurlow

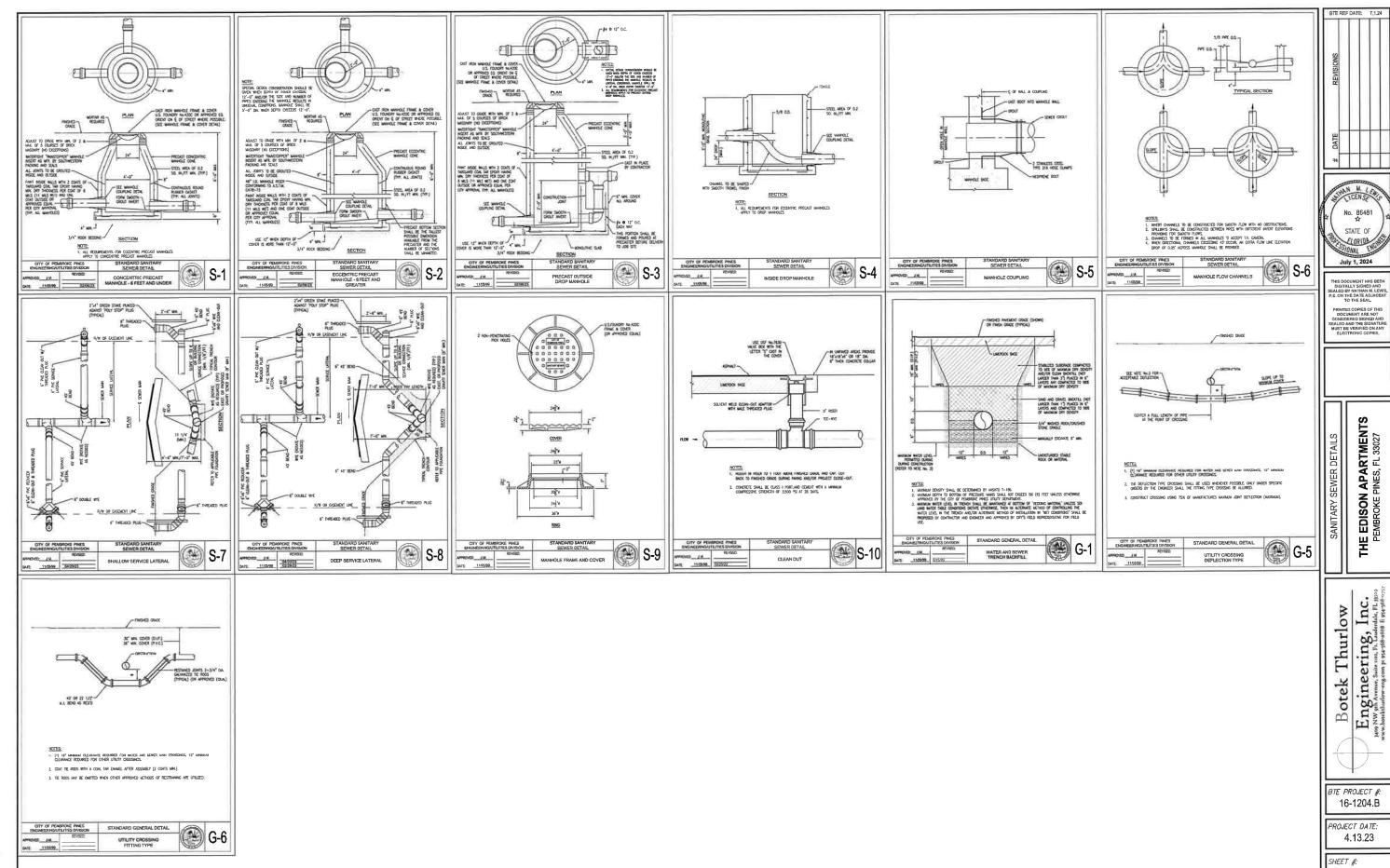
Engineering, Inc. Botek

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

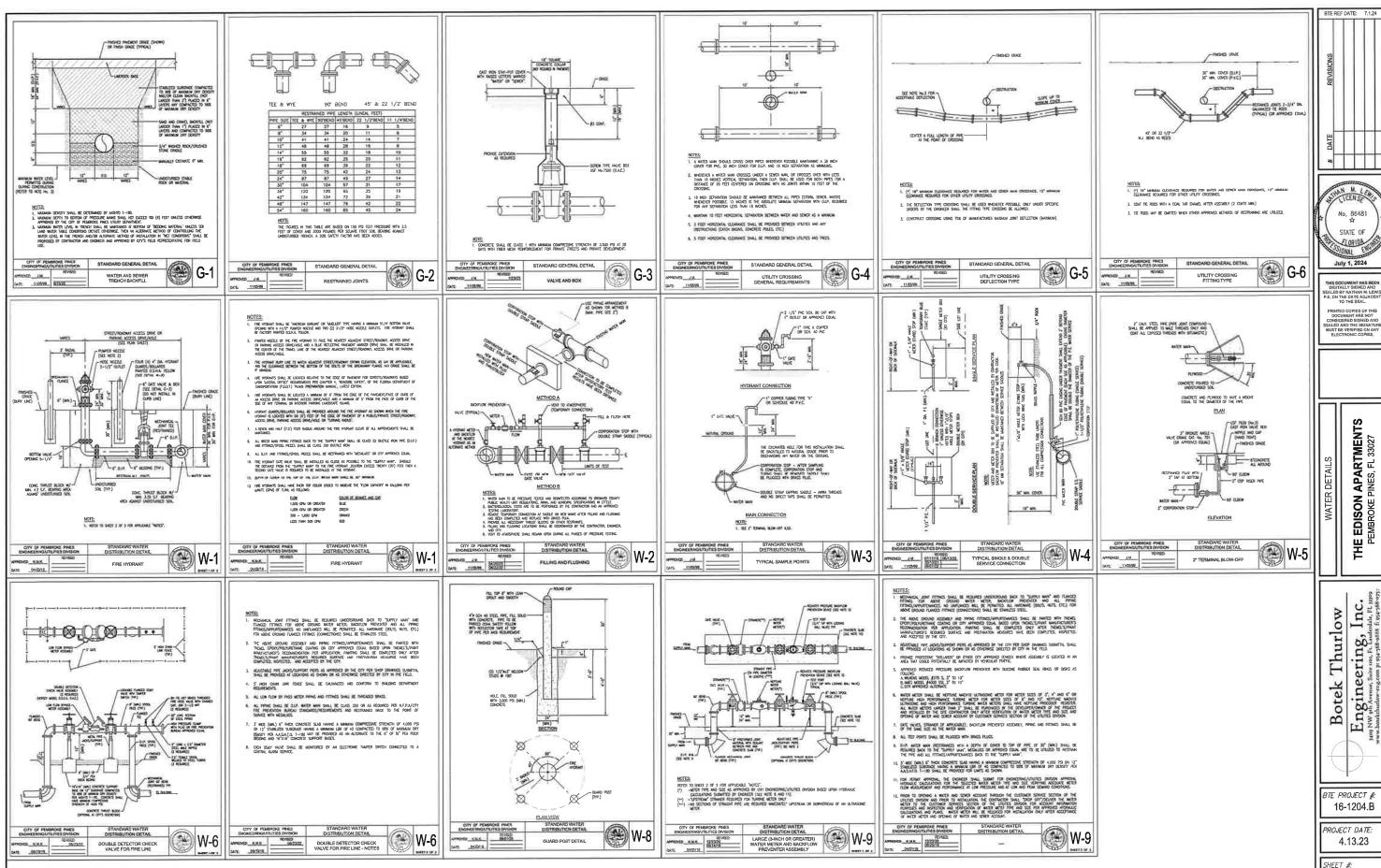
SHEET #:

WS-2



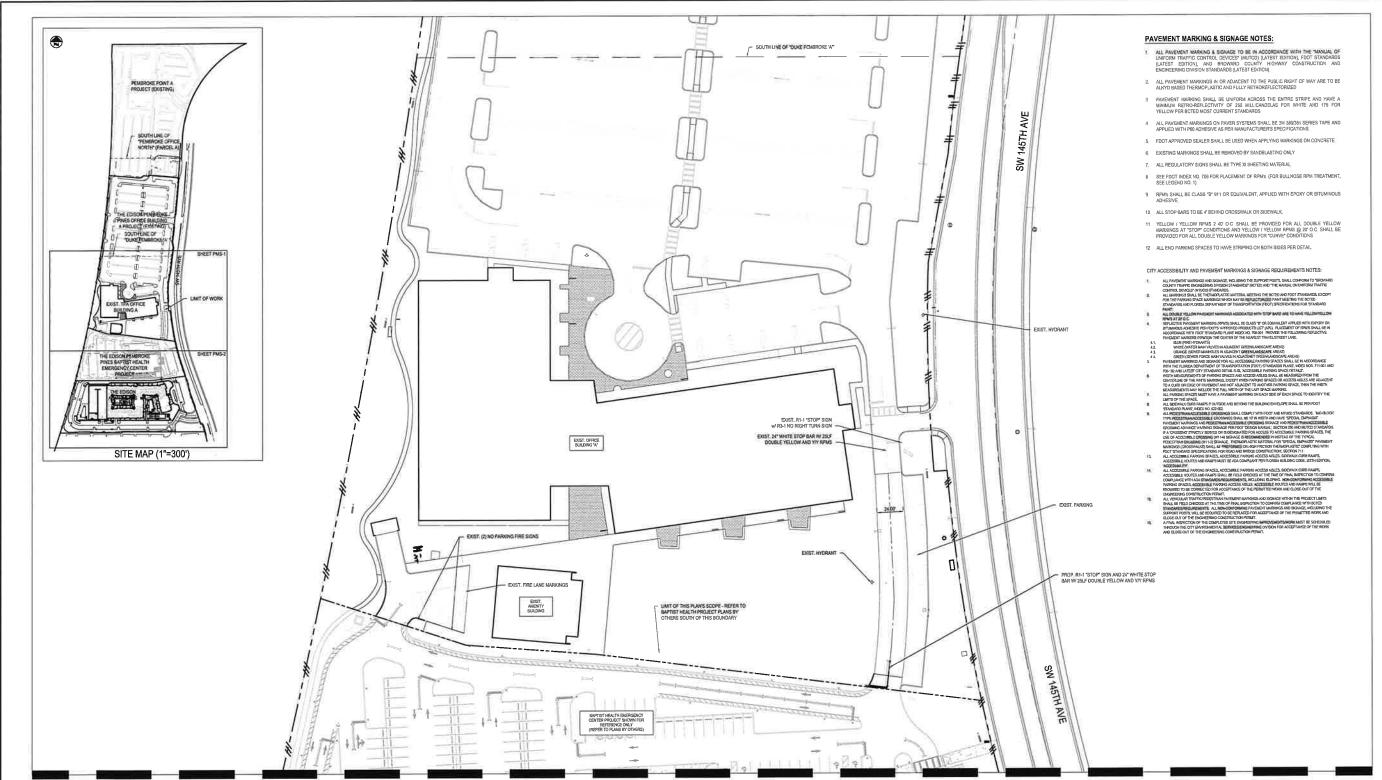
WS-3

. .

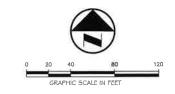


. .

WS-4



MATCHLINE - SEE SHEET PMS-2



No. 86481 STATE OF FLORIDA SSSIONAL ENG July 1, 2024

PRINTED COPIES OF THE DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURI MUST BE VERIFIED ON ANY ELECTRONIC COPIES

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

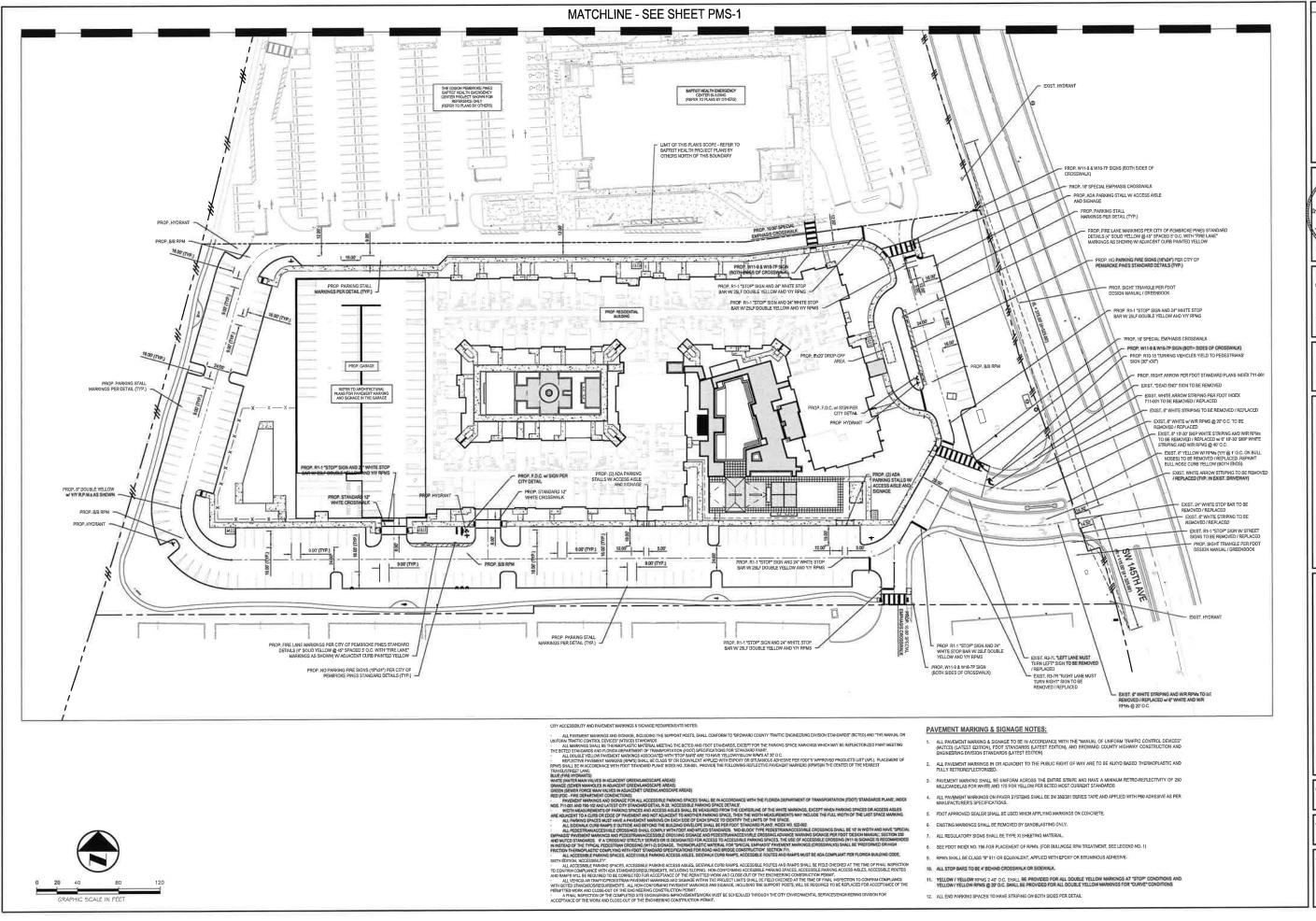
Botek Thurlow
Engineering, Inc.

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

PMS-1



BTE REF DATE: 7,1.24



THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

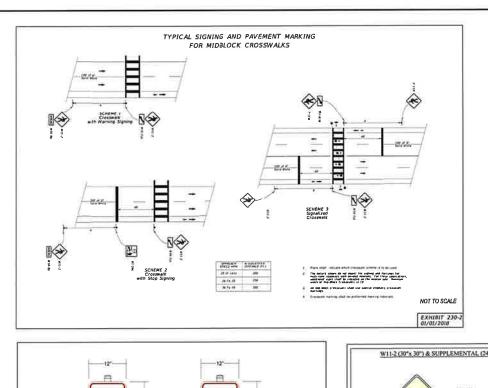
Inc. Thurlow Engineering, Botek

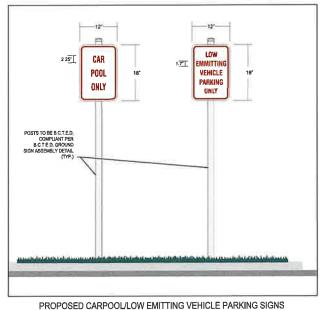
BTE PROJECT #: 16-1204.B

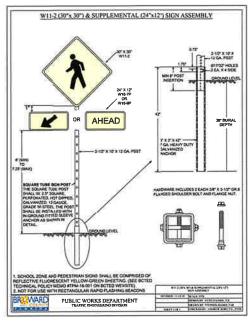
PROJECT DATE: 4.13.23

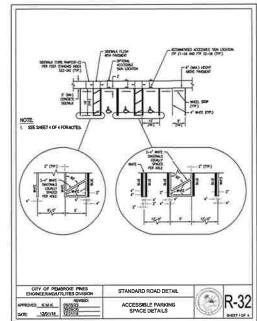
SHEET #:

PMS-2

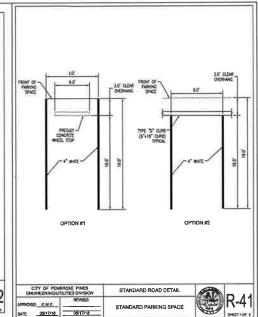


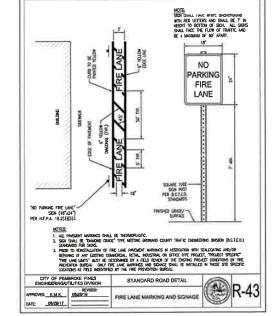


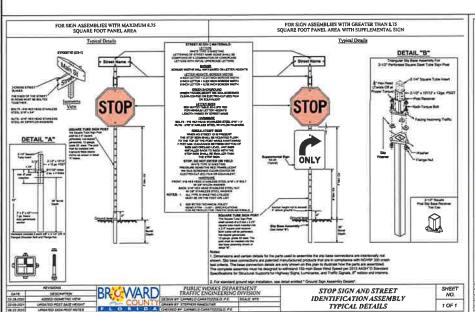


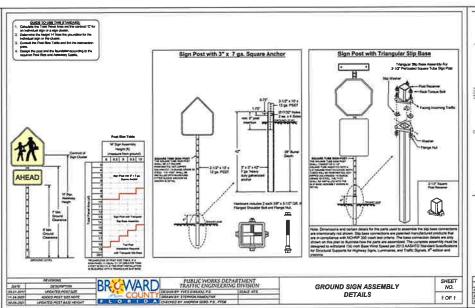


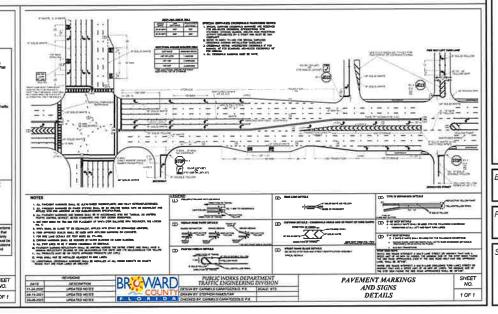
















THIS DOCUMENT HAS BEE! DIGITALLY SIGNED AND SALED BY NATHAN M, LEW E. ON THE DATE ADJACEN TO THE SEAL

PRINTED COPIES OF THE DOCUMENT ARE NOT CONSIDERED SCHOOL AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

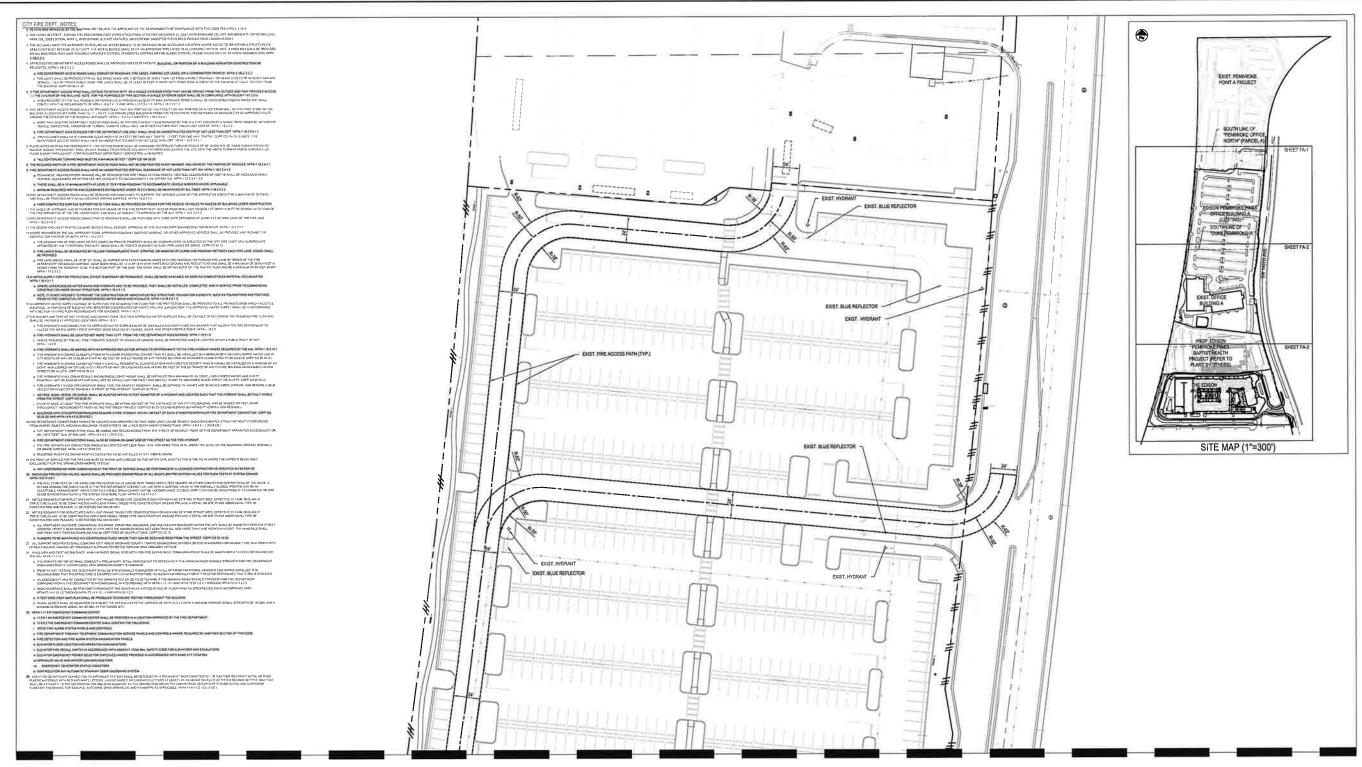
THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Engineering, Inc. Thurlow Botek

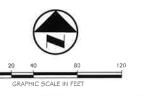
BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: PMS-3



MATCHLINE - SEE SHEET FA-2



BTE PROJECT #:

Engineering, Inc.

Thurlow

Botek

STATE OF SCIONAL ENGI

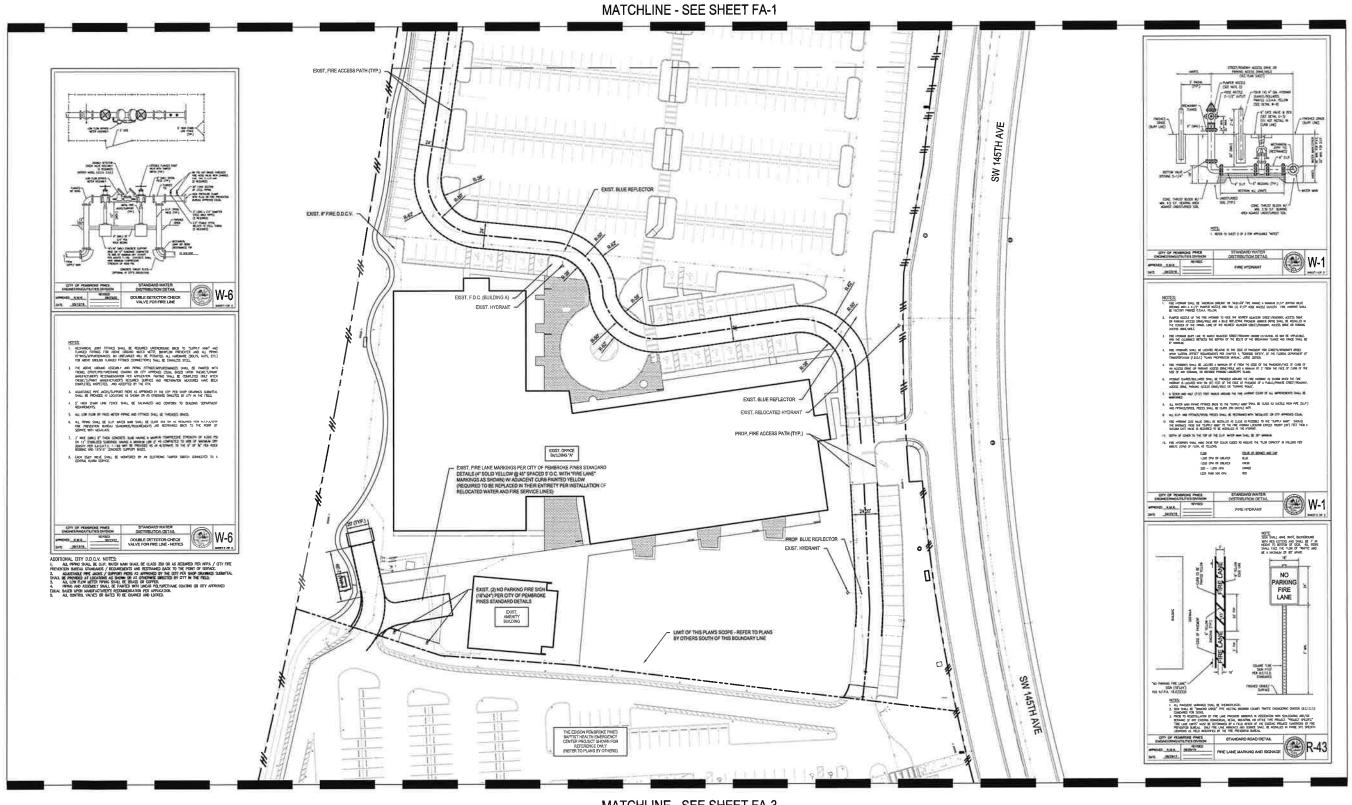
THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

16-1204.B

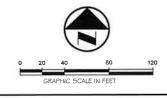
PROJECT DATE: 4.13.23

SHEET #:

FA-1



MATCHLINE - SEE SHEET FA-3



STATE OF SSIONAL ENGI July 1, 2024

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATUR
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

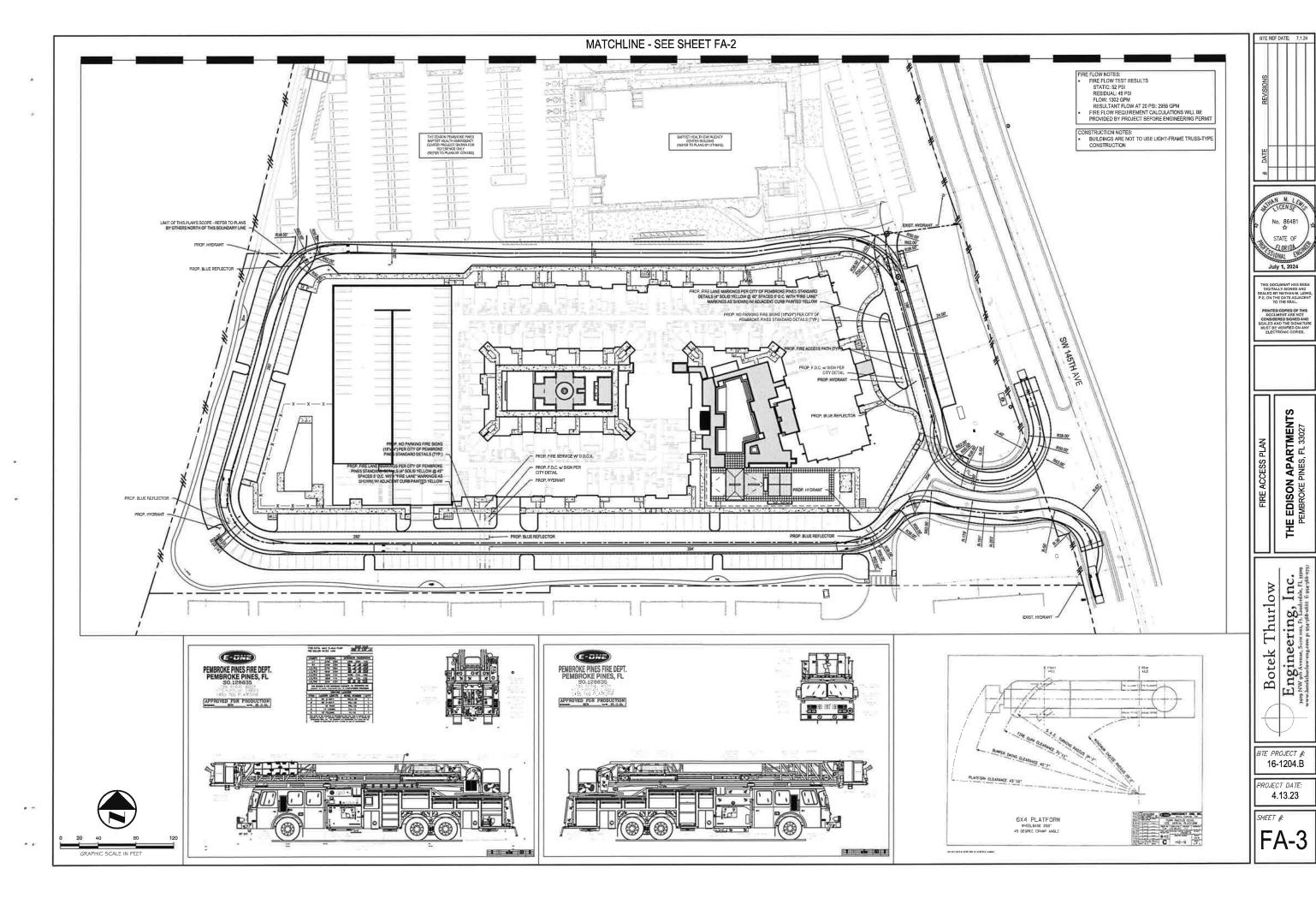
THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027 FIRE ACCESS PLAN

Botek Thurlow
Engineering, Inc.

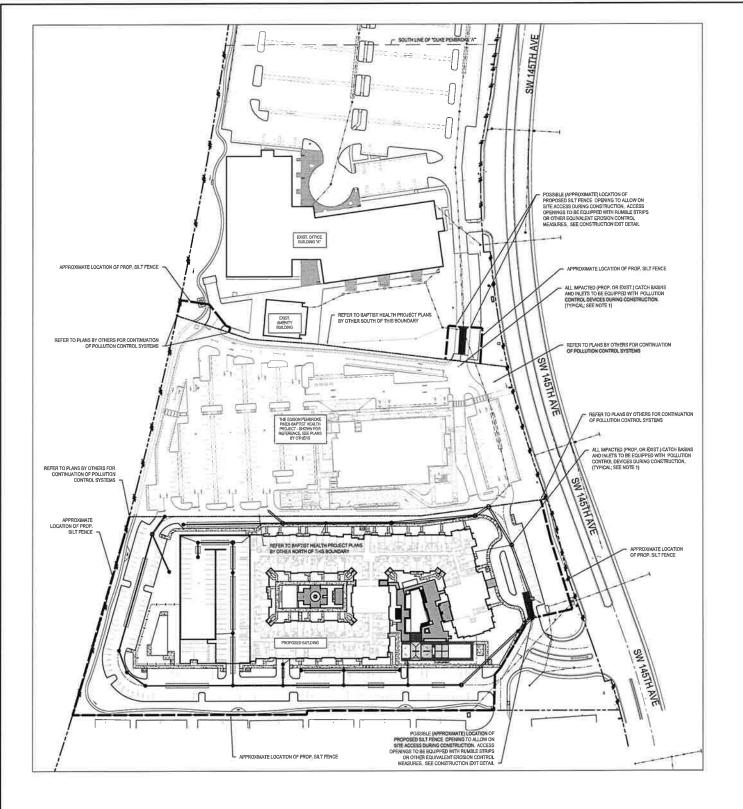
BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

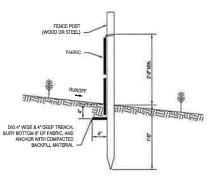


OT FOR CONSTRUCTION

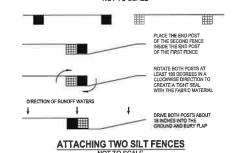


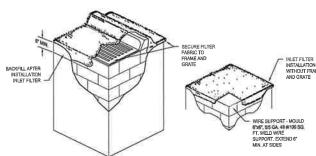
POLLUTION CONTROL NOTES:

- ALL DRAINAGE INLETS IMPACTED BY THIS PROJECT DURING CONSTRUCTION TO BE EQUIPPED WITH FILTER FABRIC AMDION APPROVED EQUIVALENT OWER GRATES PER DETAIL THIS SHEET. CURS WILETS TO BE EQUIPPED WITH CURS WILET POLLUTION CONTROL DEVICES.
- SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT OFF-SITE DISCHARGE OF SEDIMENT.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
- CONTRACTOR TO COMPLY WITH TERMS AND CONDITIONS OF NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERIMIT.
- \$. CONTRACTOR TO PROVIDE FOR TRUCK WASH DOWN AREA AT ALL TEMPORARY AND PERMANENT ENTRANCES/EXITS DURING CONSTRUCTION.



SILT FENCE SECTION NOT TO SCALE





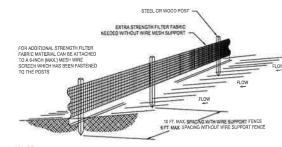
- NOTES:

 1. CONTRACTOR IS TO CLEM INLET PLITER AFTER DISERY STORM.

 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAYING.

 3. ASSOMEDY TRAP WILL BE DOWNATED BEHIND THE GUINET. THE BLESS SHALL BE AT LEAST 12 TO M' IN OPEN. APPROXIMATELY 5' BE IN DOWNATED BEHIND THE GUINETY TO 10 FEST RELENTITY PHALLET. TO THE GUINE STORM OF THE STO

INLET FILTER DETAIL



NOTES:

- NOTES:

 1 THE REIGHT OF A SILT FENCE SMALL NOT EXCRED 36 INCHES (80 CM)

 2 THE FLITER FASIC SMALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO LENGTH OF

 THE MARKER TO AROUS THE LESS WITH A CONTINUOUS ROLL OUT TO LENGTH OF

 THE MARKER TO AROUS THE LESS WITH A CONTINUOUS ROLL OUT TO LENGTH OF

 THE MARKER TO AROUS THE LESS WITH A CONTINUOUS ROLL OUT TO LENGTH OF

 THE MARKER TO AROUS THE LESS WITH A CONTINUOUS ROLL OUT TO LENGTH OF INCHES ROLL

 LOCATION AND DRIVEN SEQUELY INTO THE GROUND A NUMBAUM OF IZ INCHES, POST

 SPACING SHALL NOT EXCRES OF FEET (1 8 M)

 4 A TRENCH SHALL BE EXCLAVATED APPROXIMATELY I NOHES (18 CM) WIDE AND 4 INCHES

 5 WHEN STANDARD STRENCTH FILTER FASIC IS USED, A WINER MERS SHAPE AND A THOUGHT SHALL BE

 WINES STANDARD STRENCTH FILTER FASIC IS USED, A WINER MERS SHAPE AND A THOUGHT SHAP AND

 DUTY WINES STANDARD STRENCTH FILTER FASIC SHALL BE STANDED, OR HOS RINGS THE

 WINES SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT

 EXTEND MORE THAN 38 INCHES (30 CM) ASD WITH ED ORIGINAL GROUNDS SURFACE

 AND B NOHES (20 CM) OF THE TIETR FASIC SHALL BE STANDED INTO THE TERRICH

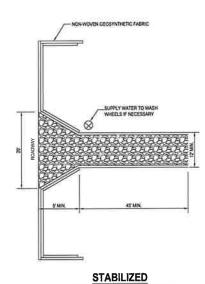
 THE FARRICS SHALL NOT EXTEND MORE THAN 38 INCHES (30 CM) ABOVE THE ORIGINAL

 CONTINUE AND THE CONTINUE AND THE CONTINUE OF THE CORGINAL

 CONTINUE AND THE CONTINUE OF THE CONTINUE OF THE CONTINUE

 THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FASIC.

SILT FENCE INSTALLATION DETAIL



CONSTRUCTION EXIT

THE EDISON APARTMENTS PEMBROKE PINES, FL 33027





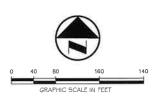
Botek Thurlow Engineering, Inc.

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #:

POL-1



SWIPPP FOR NOTE

THE FOLLOWING ARE MINIMUM REQUIREMENTS FOR THE PROJECT S.W.P.P.P. DEVELOPMENT AND IMPLEMENTATION. IT IS MEANT ONLY AS A MINIMUM SYMMADIS OF THE SYMMADIS GUIDE WHICH IS FOR THE SAME OF TH

SITE DESCRIPTION

PROJECT NAME AND LOCATION: THE EDISON APARTMENTS SW 145TH AVE PEMBROKE PINES, FL

OWNER NAME AND ADDRESS:

PEMBROKE 2 OWNER, LLC 1776 PEACHTREE STREET NW, SUITE 100 ATLANTA, GA 30309

ULSCRIPTION:
THAT PORTION OF PARCEL. "A" OF "DUKE PEMBROKE 'B" ", ACCORDING TO
THE PLAT THEREOF, AS RECORDED IN PLAT
BOOK 179, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY,
FLOREDA, MORE PARTICULARLY DESCRIBED
AS TOLLOWS.

FLORIDA, MORE PARTICULARLY DESCRIBED

AS FOLLOWS:
BEGIN AT THE DOUTHEAST CORRER OF SAID PARCEL 'A';
HENCE NORTH BOOTO' WEST, ALONG THE SOUTH LINE OF SAID PARCEL 'A',
THENCE SOUTH OD THE SAID THE SOUTH LINE OF SAID PARCEL 'A',
HENCE SOUTH OD THE SAID THE SAID THE SOUTH SAID THE SAID PARCEL 'A',
BEING A DESTRUCTION OF SAID PARCEL 'A', BEING A
POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAWING
A RADIUS OF 7,874,44 FEET, AND WHOSE
CENTER BEARS NORTH 723'/49' WEST FROM SAID POINT;
THENCE NORTHENLY AND TO THE LET ALONG THE WEST LINE OF SAID
THENCE NORTH SOUTH SAID SAID SAID THE SAI

OF A NON-TANCENT CURKE, CONCAVE SOUTHWESTERLE PRINTED A 1-25 FEET 1,453 FEET 1
1453 FEET 1
11453 FEET 1
11516*, AN ARC DISTANCE OF 57,18 FEET TO 1
1516*, AN ARC DISTANCE OF 57,18 FEET TO 1
1516*, AN ARC DISTANCE OF 57,18 FEET TO 1
1516*, AND STIMATED, LYMC AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA CONTAINING 314-379,26 SOUARE FEET (7,22 ACRES), MORE OR LESS.

THE STORM DRAINAGE SYSTEM WILL CONSIST OF IMPROVEMENTS, WHICH WILL REQUIRE FILLING OF THE SITE TO THE PROPOSED GRADES AND REQUIRE ELECTION OF THE 31S TO THE PROPOSED GROUDS AND MEETING TO COLLECTION/CONVEYANCE SWALES, MINOR CONSTRUCTION OF YARD DRAINAGE SYSTEM IMPROVEMENTS WHICH WILL OXIVEY TO EXISTING DRAINAGE SYSTEM STRUCTURES AND DISCHARGE TOXIVEY TO EXISTING DRAINAGE SYSTEM STRUCTURES AND DISCHARGE TOXISTING LAKES WITHIN THE S,B,D,D,'S BASIN SURFACE WATER SYSTEM.

SOIL DISTURBING ACTIVITIES WILL INCLUDE, CLEARING AND GRUBBING, INSTALLING A STABILIZED CONSTRUCTION ENTRANCE, GRADING, STORM DRAINAGE SYSTEM, IMPROVEMENTS PARKING AREAS AND PREPARATION FOR PLANTING

RUNOFF CURVE NUMBERS:	AREA
1. PRE-CONSTRUCTION	68
2. POST-CONSTRUCTION	82

SOILS: LT. BROWN FINE SAND, TRACE SILT

SITE MAPS: REFER TO TOPOGRAPHIC SURVEYOR PLAN

1. TOTAL AREA OWNED: 7.231 AC.
2. AREA TO BE DISTURBED: 7.231 AC. (PROJECT AREA)

THE PROPOSED SYSTEM WILL CONVEY STORM WATER RUNOFF VIA HARD PIPES TO OFFSITE EXISTING LAKES.

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS: IT IS THE CONTROLS RESPONSIBILITY TO INISTALL AND MANTMAN THE CONTROLS PER PLAN AS WELL SENSIRING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REET TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT:

STORM WATER DRAINAGE WILL BE PROVIDED BY A POSITIVE DRAINAGE COLLECTION SYSTEM, THE PROPOSED SYSTEM WILL CONVEY STORM WATER RUNOFF VIA HARD PIPES TO THE EXISTING LAKES.

FOR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE, WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF 164 AGRES WILL HAVE BEEN RECRADED. WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BUSED TO INTERCEPT SEDIMENT BEFORE ENTERING THE ON-SITE DRAIMAGE SYSTEM. THIS IS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY FEDERAL, STATE AND LOCAL REGULATIONS.

TIMING OF CONTROLS/MEASURES

REFER TO " CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF CONTROL /MEASURES.

WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN CHTAINED.

SFWMD PERMIT	#
SBOD PERMIT	<i>t</i>
NPDES PERMIT	<i>i</i>

POLLUTION PREVENTION PLAN CERTIFICATION

ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S THE CONTRACTOR SPACE, AT A MINIMOM IMPLEMENT THE CONTRACTOR S REQUIREMENTS OUTLINED BELOW AND THOSE DESCRIPES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS, DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION,

SEQUENCE OF MAJOR ACTIVITIES:

- 1. INSTALL EROSION AND SEDIMENT CONTROL

- 1. INSTALL ENGSION AND SEDIMENT CONTROL
 MEASURES.

 3. ELER AND GRUB SITE
 3. ELER AND GRUB SITE
 4. CONTROL WITH EAS CONTROL MEASURES,
 5. INSTALL DAY OF AND INSTALL CURBING,
 7. CONTROLE WITH EAS CONTROL MEASURES,
 6. BRING SITE TO GRADE AND INSTALL CURBING,
 7. CONTROLE WITH EAS CONTROL MEASURES,
 8. INSTALL BASE COURSE,
 9. COMPLETE FINAL PAINING OPERATIONS,
 10.COMPLETE FINAL GRADING OPERATIONS,
 11.CONTROLE FINAL GRADING OPERATIONS,
 11.CONTROLE FINAL GRADING OPERATIONS,
 13. REMOVE ACCUMINATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM,

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMEN BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTL CEASED, ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN A AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS, AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.

CUNTRULS

UNITALLY

TI IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PUAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY CONTROLS AND PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY CONTROLS AND PROPERLY INSTALLED AND THE PROPERLY CONTROL SHOWN ON THE GRADING, DEARNORS & EROSION ON TURBIDITY CONTROL SHOWN ON THE GRADING, DEARNORS ARE ROSION AND TURBIDITY CONTROL RECUIREMENTS, THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTROL OR SET MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTROL OR SET MAINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. EXPLINED BY THE CONTROL OR SET MAY BE AND COLD. THE PROPERTY BY THE PROPERTY OR SET MAY BE AND THE

STABILIZATION PRACTICES (IF APPLICABLE):

- 1. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE
- B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.

- 2. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED RELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL FROSION WHERE
- 3 LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL
- IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION
- 5. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.
- DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- 7. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.
- B. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH B ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER
- 10 TEMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED
- 11 MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- 12 PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE
- 13 PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONA VEGETATION, SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED

- 1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- 2, TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION
- CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND
- B. GRAVEL SEGMENT TRAP THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCOMPENCE OR CAMAGE TO ASSACRAT STRUCTURES A LAPROTECTED
- THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
- & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & ANY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL. 4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS, THE PROPOSED STORM WATER PONDS (OR TEMP PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS, THESE

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND

PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION

SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 67 CUBIC YARDS OF

STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

THE 67 CUBIC YARDS OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS APPLY TO FLOWS FROM UPF-SIE AREAS AND FLOWS FROM ONE-SIE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGOODE FINAL STABILIZATION WHERE SUCH FLOWS ARE OVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN, ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS

WASTE DISPOSAL (IF APPLICABLE):

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER, THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL AU PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER, SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE, OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED,

ALL SANTARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP MUD, DIRT OR ROCK TRACKED FROM THE SITE, DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED T PRESENT ON-SITE DURING CONSTRUCTION (CONTRACTOR TO ADD

THIS LIST AS NEEDE	D):	
X Concrete	X Fertilizers	X Wood
X Asphalt	X Petroleum Based Prod. [X Masonry Blocks
X Tar	X Cleaning Solvents [X Roofing Materials
X Detergents	X Paints [X Metal Studs

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF

SPILL PREVENTION

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.

- * AN EFFORT WILL BE WADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO
- " ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERL' MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LASEL
- * SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING
- OF THE CONTAINER. " MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL
- " THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH

- * PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION,
- . IF SURPLUS PRODUCT MUST BE DISPOSED OF MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE: PETROLEUM PRODUCTS

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE, PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS LISED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER, ONCE APPUELD FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER, STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE,

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES

IN THE MATERIAL STORAGE AREA ON-SITE, EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWOUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE, A DESCRIPTION OF THE SPILL, WHAT CAUSED IT. AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE THE STIE SUPERINIENDENT RESPONSIBLE FOR THE DAT-TIO-DAT STIE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR, HE/SHE WILL DESIGNATE AT LEAST ONE OTHER STIE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING, THESE NOIVIDUALS WILL FACH RECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL APPLICABLE, IN THE OFFICE TRAILER ON-SITE.

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:

NO MORE THAN 5 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING MAY STORN EVENT OF 0.25 INCHES OR GREATER.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE—THIRD THE HEIGHT OF THE FENCE.

- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- * TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEQUENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS, THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS

*THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIMIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON—SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

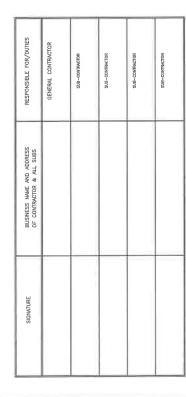
OF NON-COMPLIANCE.

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- * WATER FROM WATER LINE FLUSHING
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- " UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE CENTERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PIPOES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION,





THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

Inc

ngineering, Th otek B

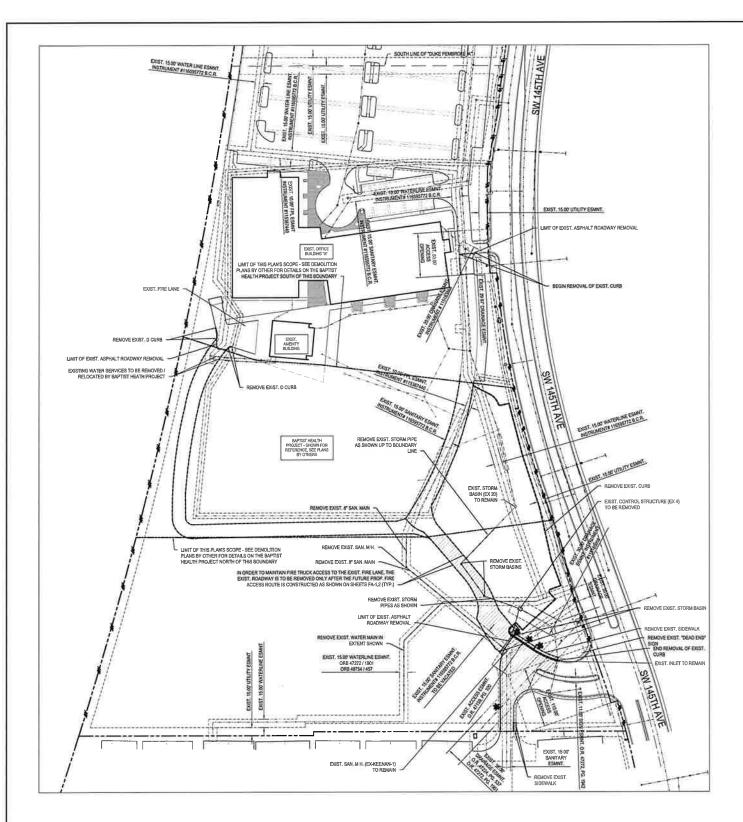
RTE PROJECT # 16-1204.B

ROJECT DATE:

4.13.23

POL-2

SHEET #.





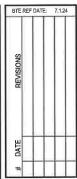
ABBREVIATIONS PROPERTY or R/W LINE UTILITY DEMOLITION DEMOLITION

DEMOLITION NOTES:

- 1 CONTRACTOR SHALL SECURE ALL APPLICABLE PERMITS FOR DEMOLITION OF THE SITE PRIOR TO MOBILIZATION
- 2 CONTRACTOR SHALL OBTAIN UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING WORK RELOCATIONS SHALL BE OBTAINED WHEN THE INITIAL LOCATIONS EXPIRE
- 3 ALL CAPPING SHALL BE INSPECTED AND APPROVED BY THE PUBLIC UTILITY OWNING THE LINES
- 4 ALL PREMISES AND EXTERIOR PROPERTY LINES SHALL BE PROTECTED AGAINST DEBRIS FALLING OVER THE PROPERTY LINES.
- 5 ALL APPLICABLE ORDINANCES SHALL BE FOLLOWED AS THEY RELATE TO AIR, NOISE AND WATER RUNOFF FROM THE SITE. (I.E. ALL RUBBLE SHALL BE WATERED CONTINUOUSLY TO CONTROL DUST AND FLYING DEBRIS.)
- CONTRACTOR SHALL INSTALL ERGSON CONTROL MEASURES PRIOR TO MOBILIZATION CONTRACTOR SHALL NOTIFY 6 OR WHEN
 MEASURES ARE INSTALLED TO ALLOW ENGINEER TO INSPECT AND APPROVE OF METHODS PRIOR TO BEGINNING DEMOLITION
 OPERATION.
- 8 CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE SCOPE OF THIS PROJECT, ANY ASOVE GROUND ITEMS ON THE SITE BUT NOT SHOWN BHALL BE NOLUCED IN THE SITE.
- 9 ASPHALT, PAVERS, AND ROCK TO BE REMOVED AND DISPOSED OF PROPERLY
- 10 EXISTING SANITARY SEWER SERVICES HAVE NOT SEEN LOCATED BUT ARE TO BE REMOVED AND CAPPED AT THE ROW LINE PER CITY OF PEMBROKE PINES STANDARDS

GENERAL NOTES:

- THIS PLAN IS TO DEPICT PROPOSED SITE (WATER, SANITARY, STORM, ASPHALT, CURB, ETC.) DEMOLITION ONLY. FRANCHISED UTILITIES (OVERHEAD AND UNDERGROUND) ARE TO BE COORDINATED BY THE CONTRACTOR (SEE NOTE SIGNA) AND ARE NOT INCLUDED IN THIS SCOPE
- REFER TO CIVIL ENGINEERING PLANS FOR MORE DIRECTION ON UTILITY DEMOLITION, RELOCATION
 AND/OR ARANDOMAFAT INFORMATION AND DETAILS
- REFER TO BUILDING DEMOLITION PLANS FOR BUILDING DEMOLITION INFORMATION
- REFER TO TREE DISPOSITION PLAN FOR ANY LANDSCAPING DEMOLITION
- ALL SERVICES TO ADJACENT PROPERTIES NOT SCHEDULED FOR DEMOLITION ARE TO REMAIN
- 1. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S COMMENIBEDE AND THE E.O.R. ASSUMES ON RESPONSIBILITY FOR THEM ACQUIRACY. BEFORE COMMENDIOL CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIETY ALL EXISTING UTILITIES LOCATIONS AND DEPTHS, AND NOTITY E.O.R.C. PARY CONNECTIS.





PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATUR MUST BE VERIFIED ON ANY ELECTRONIC COPIES

SITE DEMOLITION PLAN PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Engineering, Inc. Thurlow

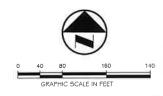
Botek

BTE PROJECT #: 16-1204.B

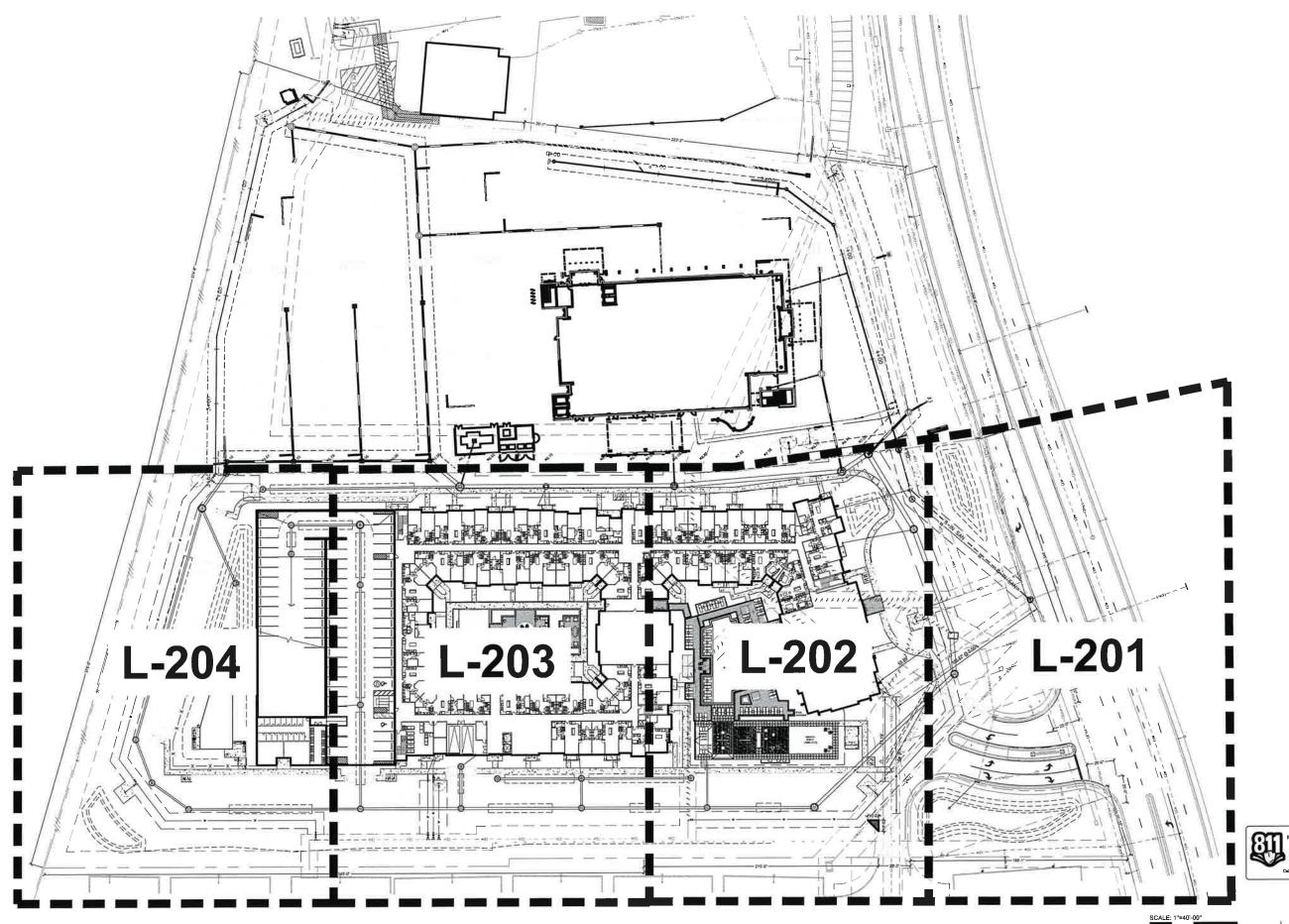
PROJECT DATE: 4.13.23

SHEET #:

DEM-1











DRC RESUBMITTAL 11-22-2023 2 DRC RESUBMITTAL 04-19-2024

TS

EDISON APARTMENTS

THE EDISON AF

Sheet Descriptio

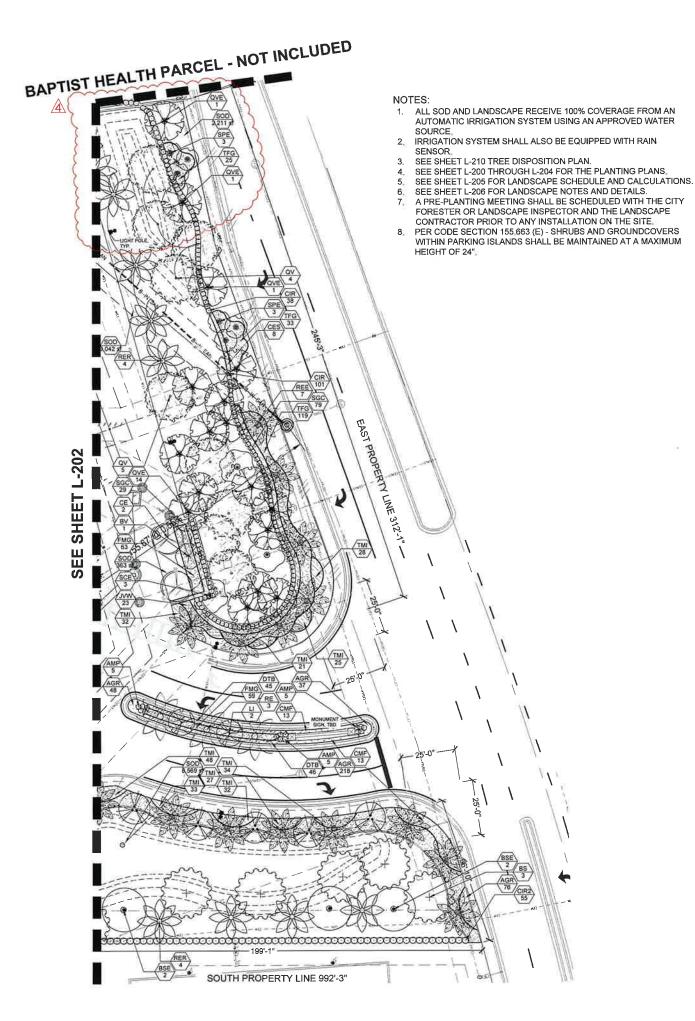
OVERALL LANDSCAPE PLAN

Release Date 09-01-2023 Project Number

Project Number 2124/2305

Drawing Number L-200

=40'-00" NORTH









SUBMITTAL SET - ISSUED 07-31-2024



RESUBMITTAL 11-22-2023 11-22-2023 04-19-2024 5 RESUBMITTAL 07-03-2024 07-03-2024 DRC DRC ORC

 \vdash PARTMEN'

PINES, FLORIDA

SITE PLANS $\overline{\Box}$ Ш 王

Sheet Description

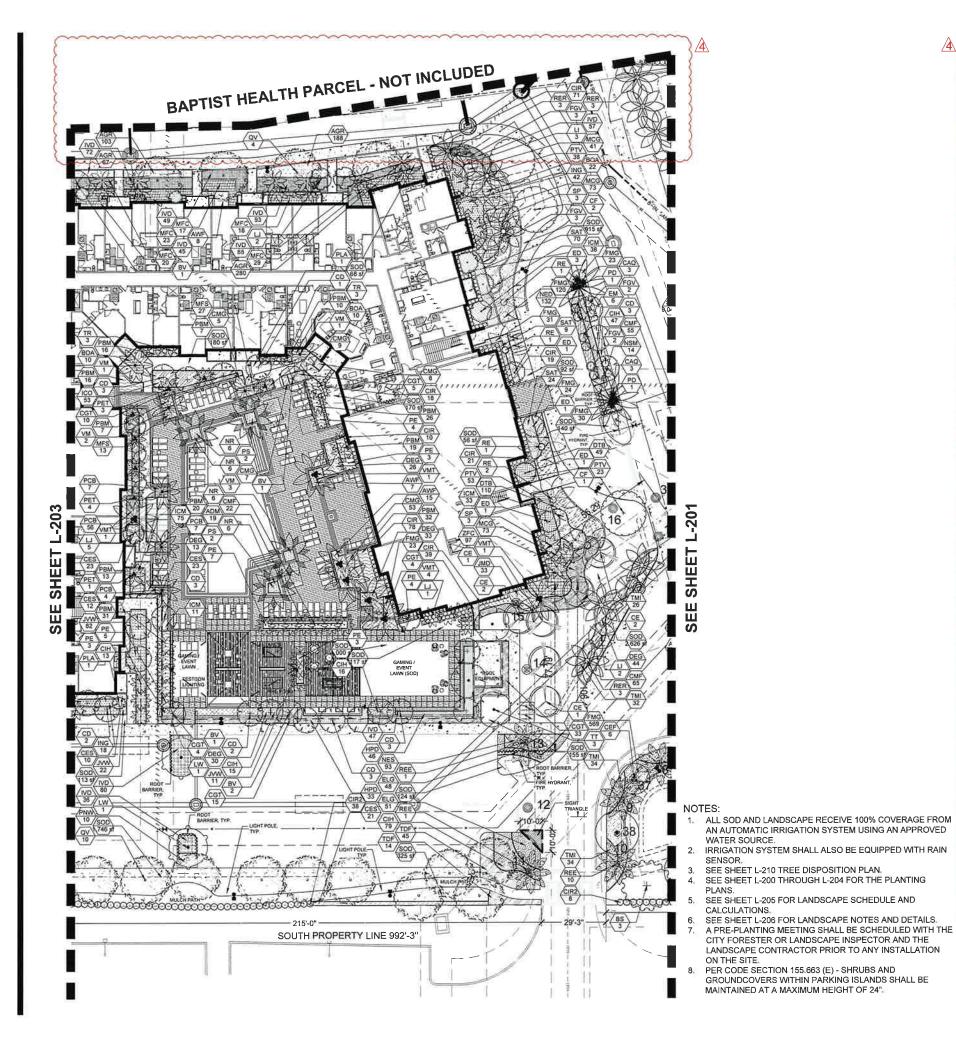
LANDSCAPE PLAN

Release Date 09-01-2023

Project Number 2124/2305

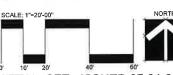
Drawing Number

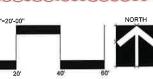
Sheet 2 of 7



PLANT SCHEDULE TPA EDISON MULTIFAMILY 50 URICAN TULP TREE 14 20 DA VASTY HEIGHTS MEDIUM 20. ct. 25. 7cm 20. ct. 250. 0pd 20. ct. 250. 0pd 20. ct. 250. 2pd 20. ct. 250. 2pd







Drawing Number

SUBMITTAL SET - ISSUED 07-31-2024

11-22-2023 11-22-2023 104-19-2024 18MITTAL 07-03-2024 18MITTAL 07-31-2024 DRC DRC DRC

TMEN PA

SITE PLAN (口

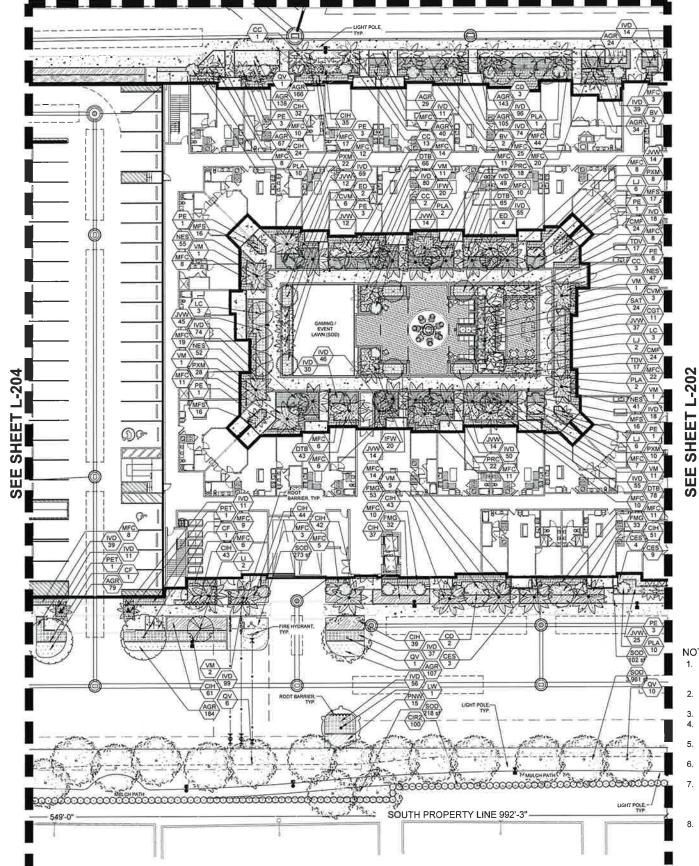
Sheet Description

Ш

工

2124/2305

BAPTIST HEALTH PARCEL - NOT INCLUDED



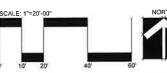
Ш SE

NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR. SEE SHEET L-210 TREE DISPOSITION PLAN.
- SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
- SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
- SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE,
- PER CODE SECTION 155 663 (E) SHRUBS AND GROUNDCOVERS WITHIN PARKING ISLANDS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".

	CODE	_	PA EDISON MULTIFAMILY	сомирилиме	cont	CHIPPE	5428	billion.	SESSION.	
7	ist.		BUS SERA SIMARUSA	QUMBO LIMBO	EASTON TO REMAN		posturo to Resum	TES	нжы	
\times				GUMBO UMBO	rgesse	.cu	NF GA T SPO E CT	YEI	нан	
$\stackrel{\cdot}{\sim}$		38.	SERSETA SIMPLEA			_			-	_
\odot	ia.	m.	COCCOLORA OVERSIFOLIA	MOTON MITTER	rome	STAL	Canada and a	TES	нарн	
\bigcirc	ćε	•	CONCEANIPLE EASCTUS	GREEN BUTTOWNOOD	rciese	rcu	12 HT 45 SPR, 5 GT	TES	POEDH	
CC	ur	٠	COMOCARPUS EXECTUS SERICEUS	SILVER BUTTONNOOD	FORME	*CAL	IS HT. S SPR, MILITATRUNKED	YES	MCH	
Ō	o	9	EUROCAAPUS OFCIPICNS	APANESE BLUEBERRY TREE	FORME	J-CAL	12 MF 43 MF 472	но	нсн	
Š	-	22	попашиля тивомісли	TREE UGGSTRUM	FORME	BEATHTRUME	IS HT 3 4 SPC WIET-TRUNK	NO.	MEONIN	
	ije :		LYNLONG UATERIADIUM	WILD TAMARIND	FG/848	/EUL	a et ex ses	YES	HOH	
X	ave		QUESTOUS VOI CANAMA	SOUTHERN LIVE DAM	скатно	ARES	EXTEND TO REMAN	YES	нен	
		-			_	reu	IS IN HTXT SPR 7 CT	YES	нон	_
\geq	e.	tal.	QUERCUS VIRGINIUM	LIVE DAK HIGH RISE	FGALB				-	_
\cdot	lav	7	QUERCUS VIRGINANA	SOUTHERN LIVE CAK	PELOCATED	LAR!	ATGE 8	TES	нихн	
B	10	án.	EMARIOUSA GLAUCA	PARADISE TREE	FG/BAB	I-CAL	stocktow.	TES	наси	
?	10	p+	TALEDONIM DISTICHUM	SALD CYPREM	rame	Incal	in of pig SPA	TES	нжн	
-	r 1000									
3		14	MILNESIA ARBOREA	VERAVADOD	rome	I- CAL	ig verseam	NO	нкум	
$\tilde{}$	ur		CASSIA FISTULA	COLDEN SHOWER	45 GAL	ren.	12 HT M 2 SPR 910	*O	насн	
S			LAGERSTROESMAINGICA TUSCAPORA	TUSCARORA CRUPE NYRTLE STANDARD	FORES	PEAL	wierkeniczno	мо	MED	
1	NO.		EPATHODIA CAMPANILATA	AFRICAN TUUP TREE	EDISTING TO REMAIN		esti 5	мо	HKIH	
٧	-			-		-		-	-	
زن	"_	1	TABEBUA HETEROPHYLLA	PINK TRUMPET TREE	FORLB	rou	12 HT X 5 SPR STD	140	MED	_
erz-		L	PARPENTARIA ACCIARINATA	CARPENTARIA PALM	romen	-	12HE ON TRIPLETRINK	NO.	меоны	
級		-				-		-	Hugar Hugar	
8	-		LINSTONA CHINENSIS	CHINESE FAN FALM	LC-GTB	-	ava.	но		-
*		1	PHOENIX DACTYLIFERA MEGLOOL	MEGUIDOL CATE PALM	raess		12 CL MTCHED OTHER NO HINDSCONE CIT.	NO	HIGH	_
ü	**		PROCNIL SYLVESTRICE	WLD DATE PALM	FORMS		17 CT MATCHED OA HITE NO HURRICANS CUT	NO	нсн	
	PET	4	PTYCHOSPERMA ELEGANS	SOUTABLE PALM	FORME		with month	NO	нсн	
. 3	ri	-	PTYCHOSPERMA ELEGANS	SOUTAIRE PALM	FGRAS		411.00	NO	нсн	
獙	488	-	ROYSTONEA ELATA	FLORIDA ROTAL PALIA	Скизтичо		MARKET.	153	нем	
		ļ. —	ADTETONEA BLATA	FLORIGA ROTAL PALM	FG/646		10 ON 25 CA MATCHED	TES	нерн	
**		\vdash	ROYSTONEA SLATA	FLORIDA ROYAL PALM	RELOCATED		VARCES	AES	Hutan	
-	44	-			-	_	CALIFORN TOTAL MAN	-	-	⊢
()	w	-	SABAL PALMETTO	CARRAGE PALMETTO	gostino		SK-SSE GA, VART HEIGHTS	YEI	HESH	⊢
M. W.		-	SABAL PALMETTO	CAMBAGE PALMETTO PLORIDA THATCH PALM	FORMS		19-17 CA, SINGLE, STRANGHT LEADER	TE3	нам	\vdash
8	*	<u> </u>	THROMAL RADIATA		-	-			-	┢
ダ	iMT.	<u>'</u>	VETTCHIA MONTGOMERYANA	MONTGOMERY PALM	FORES		INDE DA TRIPLE TRUNCA	MG .	MEDIUM	-
多多	*	4	VETCHA MENTOCHESTRA	MONTO WEST FILM	rome:		STOR DR. BRIEGE, HOME	***	wijit/w	
3	in a		ALCOHOL MILLIO	PARKETHER PRINCIPLE		ľ	potxyere	10	min .	
8	04	-04	CHEYSTANING CHES HESTS	MIG TH ECCOPY	E		postsjetre	*68	#13VV	=
8	GAS	-	CHRYSONIANUS CACO REOTIF	MANUAL SECTION			M. ru 1 M. 204	nts -0	with w	-
Ó	ów		CODIAEUM VAREDATUM MAGNIFICENT	CHOTON			BLOW BATCHER	wb	ribs .	⇇
8	100	:	COMMUNICATION COSTNEWNA	BAILEN EMMA CRIMINA BRIGHI CHEARY	1		e de, rut.	+0 +0	ether.	\vdash
Õ	rjer	9	PLACENCY DOWNER WHESTER	Facilit misest			7 44	4	man min	
0	ete.	14	HIDRIGICAL WONEY	acred t admires and	l .	1	letter.	4	177	_
Ö	MA.	pr.	PRETER THE EXPENSE OF	ajoros	-		F F DA TALL TEMOS	-0		
MOOL CUIL!	COOR	laty.	DOTAMICAL MINE	COMMONTHME	covr	CADRES	sot	entine.	neosont.	
10.4	410	42	ACALIFICA UNIVERSITA FIRE STATEM BEDDINA SOURAFA NICAN	DESCRIPTION ACADYPHA			print sprine	**	VOM.	Man.
45	197	-	CONTRACTOR OF THE PARTY OF THE	Desirated Codes			Service Subban	+10	1104	M'se
150	568 568	115	CHARACTER STATE STATES	SOUR HOPE MADE			Mark Selec	161	min.	Mar.
	ers en	19	CONTRACTOR CONTRACTA	SHARE STANLES SUITE			prot a jeršna prot a jeršna	40	min ectrum	less less
000	4+	180	INDEX COOKINGS WAS SUPERT	who havest more	ı		27 HT 8 37 CHB	+0	+125/m	36.44
252	est.	Mi	NORW COCCUMEN VORWINGSET	NED HORM			SERVER SERVE	40	HOUR HOUR	35.44
	eis eis		WINDSHIP CONTROL	Processor Sansa Source Sanson Sansons			Servet a personal	+68	mbe mbe	Here Mare
	***	ren .	Projectionin e Marié metr	Hickory (H)			EH11991	+0	0624W	tree.
GIG	#E	48	PRESIDENCE A SUM CINCO	MACHINISH HOLD HOLD HOLD HOLD HOLD HOLD HOLD HOL			SENT AZESME	w)) w))	within	Mar.
/all		64	FUNEROD WPERAGE INVERSE, BLIEF	Manufaction			MINTANESIS SECURITIES	168	-01	Nr.ss
42	164	Se .	PERCHANTA MENTANA DIKE CANALA	BICE CAPELLA ARBONESIA			pret spraes	-0	HOLE	15.44
W.	HIG.		ED-STEERS APROPRIES TRUSTED	E-PAIA		1	pprior a pprises resurrance see	w) w)	with a	25.10
	HIC UI	rije je	THE PARTY OF PROPERTY AND THE				processing	Hà.	within	Ser.
HIS S	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	N U	THE PARTY OF THE P	Promosf C=CE S/Held		1	print star sire	1111	-0-	1000
	2 2 2 2	9	STREET, STREET	Passer Co-CE SPESS Publica Gerea SPASS			Production	H(s	india within	OF44
100	20 27 29 29 29 29 29 29 29 29 29 29 29 29 29	29	TABLEMENTAN BRANCH ANNUALS TREASUR PACTURES TREASUR PACTURES TREASUR FUNCIONA MACCO TABLES	PRINCE CHEES PROPERTY OF THE STREET ST			VICTOR STATE	No.		15.4
	THE THE PARTY OF T	34 50 24 128 14	CHIEST MICHODONA SISTA ENGLI MANOCE STREET, MICHELPH STREET, MI	TRANSPORTER STREET PLOTICA CHIMAN STREET LAPER SEAT FERENCIA MINES SEATHWEST MINES			eren a ne son. Even a ne son.	w) w)	HO	
	THE THE PARTY OF T	34 50 224 128	TABLISHA MINISTERIA YANG GATIN MENASURI PALITUDENA MENASURI PALITU	PROMOTECTAL SPEED PLONGA CHARAC SPAES LAPSE 120 PERSONAL PLANT GRESS ASPARISHES GRESS ASPARISHES GRESS ASPARISHES PORTOTAL			erent a sersen	w)	10	West.
	TO THE CONTROL OF THE	128 19 24 24 24 24 24 24 24	LASTRALAMON AND REMARKEN NATIONAL REPUBLICATIONS REPUBLICATION ARROCC SURSERIE ARROCC SU	House CHE UNES FLORIDA DIMER SALES LANCE SEM PEROPINI, PLANCE WILLIAM SERVICES WILLIAM SERVICES WILLIAM SERVICES WILLIAM SERVICES BUILDINGS BUILDI			er art is ter sen. er art is ter sen. er art is ter sen. ter art is ter sen.	40 40 41 40	min min Minim	West West
	THE CONTROL OF THE CO	34 50 208 128 14 31 214 214 1 bet	Designation of States and City	PROMOTO CASE SPACES PLOTICAL SPACES SPACES LAPSE SEAP PERSONNE, PEARLY WINDS ASPARTISHES WINDS ASPARTISHES WINDS ASPARTISHES WINDS ASPARTISHES WORLD FEA WORL			erun a ierana e an a crista erun a serana crista serana	40 41 41 40 48 40	101 101 101 101 101	Man Man Man
	TOV	200 200 200 200 200 200 200 200 200 200	Inspiration and invalidate varieties in invalidate particulary and invalidate varieties in invalidate particulary and invalidate varieties in invalidate varieties invalidate varieties invalidate varieties v	HOMERICAS UNITS TURNOS COMMON DATO APERICAN PROPINS, PLONEY WHITE SANDRIGHES WHI			ervet a versee and a versee verse a versee	+0 +0 +11 +0 +18 +0 +13	ede ede edoire	Man Man Man Man
	TOTAL STATE OF THE	14 0 22 22 22 22 22 22 22 22 22 22 22 22 2	Inspiration periodical tradition in resistant periodical tradition in resistant periodical periodical resistant periodical	Interest Cock Streets Fulfilled Desert Streets Fulfilled Desert Streets American Projection Product American Streets American Streets			emin a ser see and a ser see and a ser see appear a	40 143 143 143 143 143 143	edit edit edit edit edit edite	77 11 17 10 27 11 27 11 27 11 27 11
	TOTAL STATE OF THE	14 CO 274 CO 274 CO 274 CO 275	Inspirate period and procedure to selection in procedure period and procedure period procedure period and procedure period and procedure period and procedure period and procedure period and procedure period procedure period pr	Interest Cost Stress Tribude Stress Stress Land Later Machine Mouth Land Later Machine Mouth Land Later Machine Late			eprint a service and a service	40 41 40 41 40 41 40 41	edir edir edir edir edir	Free Free Free Free Free Free Free
	000 100 100 100 100 100 100 100 100 100	34 G2 208 19 34 214 6 Mel 5 Me	INTERNATION CONTROL STATEMENT STATEM	Internative Cost Stress Turbide Stress Stress Andre Later Waterless Medical Andre Later Waterless Medical Andre Later Waterless Medical Andre Later Waterless Medical Andre Stress Andre Stress			com a circus com a	10 10 11 10 11 10 11 10 10 10 10 10 10 1	HOME HOME HOME HOME HOME HOME HOME HOME	Frances
	THE COLUMN TWO IS NOT	34 52 208 19 32 74 10 bet 10 bet 10 cost 10 co	Inspiration plantified to sufficient in a service of periodic of the sufficient in a service	Interest Cock Streets Fulfilled Desert Streets Fulfilled Desert Streets Fulfilled Desert Streets Fulfilled Desert Streets Fulfilled Streets			ermin di ribere yani di riber	40 10 11 11 10 11 10 11 10 40 40 40	HOME HOME HOME HOME HOME HOME HOME HOME	Water
	100 100	1200 1200 140 150 160 160 160 160 160 160 160 160 160 16	Transmission production to stratiguia resistante particulari entratura servicio producti resistante servicio servicio resistante servicio servicio della contra della contra persona della contra persona persona della contra persona	Interest Cost Streets **Linding Streets Streets **Linding Streets Streets **Linding St			ermin in deser- ymen in deser- wend in megale wend in megale ingent in megale ingen in megale inge	40 43 43 40 43 40 40 40 40 40 40 40 40	HOME STATES OF THE PARTY OF THE	Water







SUBMITTAL SET - ISSUED 07-31-2024



DRC DRC DRC

APARTMENT

SITE PLANS Ш

Sheet Description

I

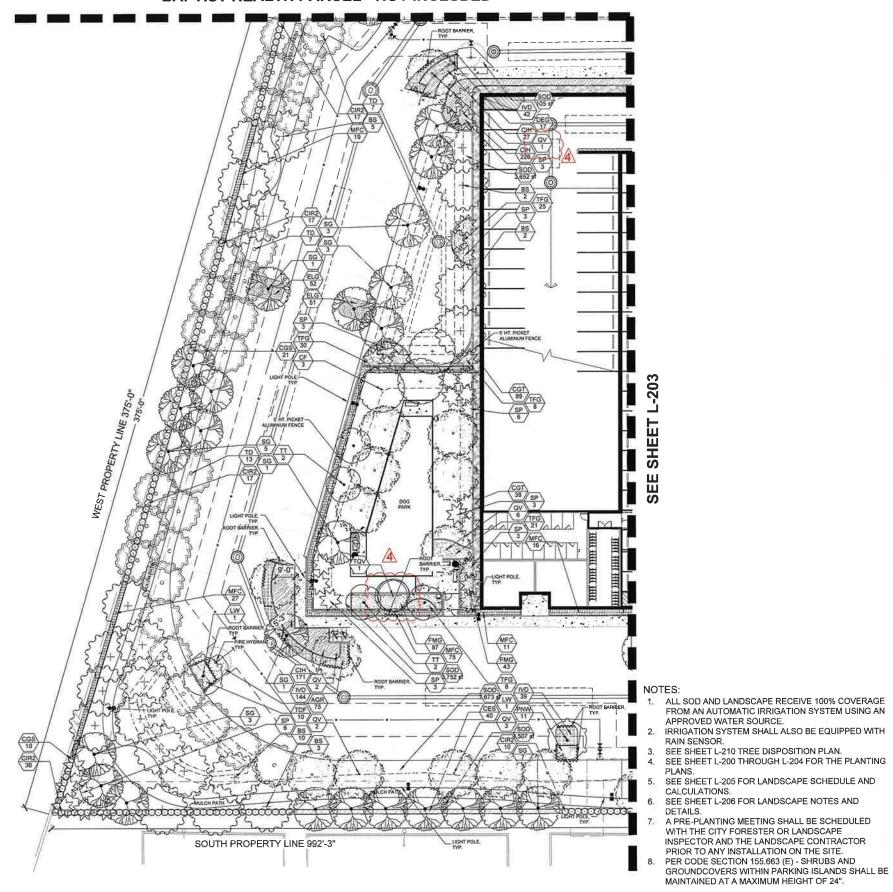
LANDSCAPE PLAN

09-01-2023

Project Numbe 2124/2305

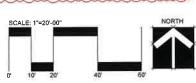
Drawing Number

BAPTIST HEALTH PARCEL - NOT INCLUDED



HEET.	COOK.	gyr'r	BISTANCE NAME	conscionate	CONT	CALPER	lect.	matrix	DECOUNT	
\odot	***		ALPREA SHARMAN	School (MSS)	EXSTACTO SCHOOL	*****	COURSE TO STANK	113		
3			SUGSERA SAMERU SA	CUMBO UMBO	FORME	Ir CAL	IF OA T SPO E CT	YES	нон	
3	cs.	in	GOCGOLURA OWERSFOLIA	PIGEON PLUM	ranse	ESTAL	E-631365.1	YES	неси	
×	os.		CONOCARINA ERECTUA	GREEN BUTTOWNDOD	FORME	rou	OF MAR DARECT	753	NG4	
á	007		CONOCAUPUS ERECTUS SERICEUS	SALVER BUTTONWOOD	FGSAS	r cu.	TO HT I SPR MULTITRUNGED	YES	ю	1
~		-		APANESE BLUERERRY TREE	FORME	PEAL .	G-97 AT 169 LDB	100	HOCH	\vdash
્ર	CH.	32	CONTINUE DECIMENS	THEE LIGUISTRUM	FORMS	(ALT-TRUM	IO HT E4 SPD MULTI-TRUKK	NO.	MEDIAM	-
2	u .		The Gas LATISLANIA				or of AR SPR	TES	HIGH	-
2	· ·		LYSICOMA (ATISILOUSIM	VALO TAMARINO	FORMS	ICM.	4 -7.18 (54			-
8	(ME		OVE ACINA AMERIKANY	SOUTHERN LIVE CAK	EX3511HG	WOES	EXITING TO REWAY	TE3	нен	_
)	G#	**	QUERCUS VIRGINIANA	UIVE DAN HIGH RISE	FORMS	LENT	ME HENTXT SPR T GT	TES	нан	
$\widehat{}$	ter:		OLERCUS VIRGINANA	SOUTHERN LIVE CAK	RELOCATED	MARES	VARTES	TES	нюн	
S		14 (SMAROUSA CLAUCA	PARADISE THEE	FO/B4B	rea	rent seam	TES	MIGH	
5	-	4	TALOGRUM DISTICHUM	SALD CYPRESA	10/648	rea.	ie utije ges	TES	HIGH	
1	T THE								-	+
(Y	ps.	4	BLANCSIA ALBOREA	VERMINDOD	FORMS	rcal	is married	но	HIGH	
5			CASSIA FISTULA	GOLDEN SHOWER	es and	FCAL	12" HT A # 1971 51D	но	наси	
8			LAGERSTROSHIA HADICA TUSICARORA	TUSGARDRA CRAPE NTRILE STANDARD	FORMS	TEAL.	H-17 FEBRUAR STE	но	we0	
4				AFRICAN TULB THEE	_	-	unti	mo	нан	1
$\stackrel{\cdot}{\sim}$	best .	1/4	SPATHODEA CAMPANIAATA		EXISTING TO REMAIN	5.111				-
0		<u>'</u>	TABLESUA HETEROPHILA	PINK TRUMPET TREE	FORMS	PCAL	12 HT 25 SPR_STD	MO	W50	\perp
**	1		L		rasse		ID-15 OA TRUILS TIPUNK	NO	NECTON	Т
藝	RE.	*	CARPENTANA ACUMUNATA	CARPENTARIA PALIA						\vdash
2			LIVASTONA CHINENSIS	CHINESE FAN PALM	FORME		4/215	NO.	Heck	-
*			РНОЕНІЯ ВАСТУЛІГЕЛА ШЕВІООК.	MECHOOL CATE PALM	FOREE		TO CT WATCHED OA HTS MC HURRI CAME CUT	МО	нон	1
3	-		PRODUK SYLVESTRIS	WILD DATE PALM	FORME		12 CT MATCHED DA HTS NO HURRICANE GUT	mo .	rical	
经	141	4	PTYCHOSPERMA ELEGAMS	SOUTAIRE PALM	FORME		or of year, terrida	МО	нки	
3	м	н	PTYCHOSPERNA ELEGANS	SOUTAIRE PALM	FORMS		d 11 mm	MO	HIGH	
	***	4	ROYETONEA ELATA	FLORIGA ROYAL PALM	EXISTING.		VARES	YES	нази	
*	4		ROTISTOMEN ELATA	FLO-CIDA ROYAL PALM	ranus		HE ON 25 OA MATCHED	TES	нерн	
*	HER	et .	ROTETOMEA ELATA	PLORIDA ROYAL PALM	PELOCATED		valitie	TES	нал	
3	IPE		MAN PAINETTO	CABBAGE PALMETTO	EXISTING		EXISTING TO REMAIN	765	нады	
			MANUPALMETTO	CABBAGE PALMETTO	raess		14 30 DA, VART HEKRITS	YES	юш	
5	14		PROUNEX RAQUATA	FLORIDA THATCH PALM	/Gets		IO-17 GA. SINGLE STRAKSHT LEADER	YES	нжн	
黔	ant .	n.	VETCHA MONTGOMERYANA	MINT TRAMODINOM	roma		18-20 CA. TRIPLE TRUMES	MC OM	ntorm	1
		-	otrosa spropeterna	workspecial freeze	ries		BOY ON SHOULD HAVE		eitrue	1
W	<u> </u>			W. C. C. C.	11.2					_
Q.	***	4.0	*Elizade antice	AARA VAICERDAIGAS	*		Jeon 1 Status	×0	enjar editrije	
Ö	CRE CRE	ine	CHRYSOBALANUS KACO REDTOP	RED TIP COCOPLUM	-		profit profits	H3	*core	1
0	cas	je:	Coule Outrepea COOMING CONCESSION MEDICALITY	Pens VAP CLUBA CROffie	-		WALLE DA	9	edu ede	
*	04	•0	Carrier Portugue de Carriera	Ontables cyalin Crouse			e GA. FULL	мо	нон	
Ö.	tie rav	•	Epitem eretritus	Anyte Ci-(Adv Facility River)		-	NF CA	MO MO	HEDRAM	+
ŏ	nite .			WINCT BROWNING			oras.		Hije	
	Dist.	in.	MICHAELINA (SWOPOLIA	oes .			e F ox GALTERNA	-		
75		-		COMMON HARMS		CHURCH		P-	ese:	1
Mex.	cone	gtv	NOTATION HAME		court	1000	161	-	ere ground	Seesans.
week.	cone rext		VI	MATE KANNA	r cost	I I	Secret a persons	-	-	SPHCHIS
72	coes est	-	SCALIFFE FOLICEANA FIRE ORIGINS SEEDING COOKS FA JULEA		i i	is and		SHEET, S.	stovert	
72	CODE CODE CODE CODE CODE	100 200 100	ACALTHAN AGAESANA THE OTHODAY ACODA CODIN-FA JULA DUBA CUTTAGAA DU-COMPAGE SACTION SERCEUS	MINES ASSUME DIGHT WHITE CARE BIGGINA DANIE OF THE WOOD DEVICE BETTER WOOD	-		provide propers where propers where propers	servet ser ser ser	chouset sine elone ele	Mai Mai Mai
72	0008 01 01 01 01 01 01 01 01 01	er er	SCALTHIN HOLESAN THE DRINGS BESTING DOCKETS ALLES GUIDA GUTTIFEAN DIAMATE FRETTE SOCIETIES DIAMATE FRETTE SOCIETIES DIAMATE FRETTE SOCIETIES	MICES MESCHAR DIRECT CAPE SIDONA DANGE COMPA DANGE COMPA DOLLA MESCHAR DIRECT BOTH	-		Served is personnelled for the served in the	100 Tel	cecurant ster ecore ecor ecor ecor ecor ecor ecor e	M'et M'et M'et M'et M'et
	CODE SAL SAL SAL SAL SAL SAL SAL SAL SAL SAL	10 20 10 10	ALL THE RELEASE THE CHICLE ALL THE RELEASE CULS CHITCHES COURS CHITCHES CO	SELECT SCALES SECTIONS SOUTH SELECT CASE SECTIONS SELECT CASE SECTIONS SELECT CASE SELECT			Solved a pay same service a proper move of a pay same service a paysing	100 Tel	chouset sine elone ele	Mai Mai Mai Mai
	00000 541 414 111 113 113 113 113 113 1	50 50 50 50 50 50 50 50 60 60 60 60	ALLYTHIS MERCESSAN THE DISCIPLE RESIDA GEORGE'S ALEX SOURCESSAN THE DISCIPLE SOURCESSAN SERVICES SOURCESSAN SERVICES SOURCESSAN SERVICES SOURCESSAN SERVICES SOURCESSAN SERVICESSAN SOURCESSAN SERVICESSAN SOURCESSAN SERVICESSAN SOURCESSAN SERVICESSAN SOURCESSAN SOUR	THE PLAY OF A THE PLAY OF T			Dennet is gon raths of risk in our great which is margine which is an interest grant in a section grant in a	NATIVE NATIONAL NATIO	CHOUSE!	Mai Mai Mai Mai Mai Mai Mai Mai Mai Mai
	00000 0000 0000 0000 000 000 000 000 0	100 200 200 201 201 201 201 40 40 40 40 40 40 40 40 40 40 40 40 40	ALIA/PRO MALEJANA FIRE GRAZION MEDIA GEORFIA ALIA DUDA ALIMPASA DUDA ALIMPASA DUDANINI RECELTA DUDANINI MENULA PRIVISI DUDANINI MENALEZONIA MINISTERIA MENALEZONIA MINISTERIA DURA ALECONIA WIND SAMPI MINISTERIA MINISTERIA	MENTE ADDUMAN DIANI MATERIANO DIANI MATERIANO DIANI MATERIANO DIANI MENTE DIANI DIAN			Devel o persons street un person street un per	Sell	SECURET COM HICKS HI	Fri Fri Fri Fri Fri Fri Fri Fri
	00000 101 101 101 101 101 101 10	10 200 110 110 110 110 110 110 110 110 1	SCA; Prim PEACEANN THE GROUPS RESIDING CONTINUES RESIDING CONTIN	VEINES ADDUMNA Devel Herite Cold \$1,00 km beautude Statisk beautude Statisk Devel Herite Cold \$1,00 km beautude Statisk Devel Herite Herite Devel He			Devel o persona servici sus prime servici sus pri	Sell	CHOUSE!	#11 #11 #11
	CODE FAIL FAIL CHI CHI CHI CHI CHI CHI CHI C	100 (d)	FILE THE WALESAN FIRE DROUGH AS AS TO SHEET AS TO SHEET AS AS TO S	MERCE HEAVENA Door Invest Code 1950wa New Code 1950wa New Code 1950wa Novel San Trop wood Oli Millor San San San San Dank Mandari Roba Wall Millor San San Wall Millor San Wal			poret a primer erret se primer erret se prime erret	NOTIFE	CHOUSE!	#11 #11 #11
	00000 00000 0000	500 401 2000 402 403 404 405 406 406 407 407 408 408 409 409 409 409 409 409 409 409 409 409	SILLY THE MALESANE THE ORDINAL ASSESSMENT AS A SECOND TO A SECOND	MERCE ACCUMINA DOWN FAMIL COME TO SOME NAVIL CARE TO SOME NAVIL CARE TO SOME TO SOME TO SOME DAMAGE TO SOME MAY SOME TO SOME MAY	COM		porte à prime entre le grane entre le grane entre augres entre augres entre augres entre augres autres augres autr	100 T/45	CONTROL CONTRO	Fri
	CODE SAS SIS SIS SIS SIS SIS SIS SI	100 (d)	File years of the Constant State of the Cons	MEANT RECORDS DONE FINEST COST MEDIONS DONE FINEST COST MEDIONS DANAL CASE TOLINE MEDIONE TOLINE DANAL CASE TOLINE DANAL	5		porte à prime dest le lipitate le l'est de la prime dest de la prime de la prim	100 100	CHOUSE!	Fee
30	0000 001 001 001 001 000 000 000 000 00	500 100 100 100 100 100 100 100 100 100	File year of the Control of States o	MODIFICATION OF THE PROPERTY O	5		pored a porane street is server street in server street i	100 100	CHOUSE!	Fit Fit Fit Fit Fit Fit Fit Fit Fit Fit
	CODE CODE CODE CODE CODE CODE CODE CODE	100 mm m	ALL THE WALLESAN THE GOODS ### CONTROL TO THE CONTROL ***CONTROL TO THE CONTROL **CONTROL *	MEANT PLANTS OF THE PROPERTY O	5		porte à prime servi si prime servi s	INTERNATION OF THE PROPERTY OF	CHOOSE!	West West West West West West West West
	00000 0000 0000 0000 0000 0000 0000 0000	100 100 100 100 100 100 100 100 100 100	ELLA, THE ORDER AND THE ORDER ESTIMATED AND THE ORDER AND	MERCY ACCUMING DONE HANCE COST SECURIA POLICIA DE SECURIA POLICIA POLICIA POLICIA POLICIA DE SECURIA POLICIA POL	Scott		porte à prome etre le repres etre le	entrol en	DECORPET LONG HEIGH	Med
	COOKERS OF THE PARTY OF THE PAR	6 1 20 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	ELLA, THIS WALESAM PIRE DIRECTOR ESTIMATORISM STATE OF THE CONTROL DIRECTOR AND THE CONTROL D	MERCY ACCUMANTS SOME PARKET CAN SERVICE SOME PARKET CAN SERVICE SOME CAN S			parent is parsons early to spoke more a supple more a supp	INTERNATION OF THE PROPERTY OF	CHOOSE!	Mail
	COMMITTEE OF THE PARTY OF THE P	10 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	ELL, YERN MILESAN FIRE DROUGH ESTION-ODDIN'S ASK USB CHIEF AND	mergy stochmise Some heeft code stotowa Some heeft code stotowa Some des code Some des code stotowa Some des code Some			parent is pursues where is organic months as supple month	10776 10776	SCOUNT NAME OF THE PARTY NAME	Mail Mail Mail Mail Mail Mail Mail Mail
	COORD AND AND AND AND AND AND AND A	200 100 100 100 100 100 100 100 100 100	ELLY THE MALESAN FIRE DROUGH AS ARE SECURITY AND ASSESSMENT AS A SECURITY AS A SECURIT	MERCE INCLUMENT DONE INVESTIGATION SOUND AND CONTROL OF THE STORM SOUND AND CONTROL ON THE STORM SOUND AND CONTROL OF THE ST			porte à prome servi se prime servi serv	THE	Secondaria Second	# 10 #
	COURT COUR	200 200 200 200 200 200 200 200 200 200	ELL, Year ANJESIAN FIEL DROUGH ELSIAN GOODEN A, AKE THE CONTROL OF THE CONTROL	MERCE ACCUMINA DIANT PARKET CAN TRANSPORT AND CAN TRANSPORTOR TO AND CAN TRANSPORT TO AND CAN TRANSPORTOR TO AND CAN TRANSPORT TO AND CA			porte à prome entre le prome entre l	INTELLEGICATION OF THE PARTY OF	SCOURSE Value	# 61 # 61 # 61 # 61 # 61 # 61 # 61 # 61
	COURT COUR	60 200 200 200 200 200 200 200 200 200 2	SILLY THE WALKSAMP THE ORDINAL SERVICE OF THE CONTROL OF THE CONTR	MERCE ACCUMINA DIANT PARKET CAN TRADAM PARKET CA		Note	parent is per seen effect in organic effect effect in organic effect ef	HETTER STATE OF THE STATE OF TH	SCOUNTS TORN TOR	# 1
	COMMITTEE COMM	10 20 20 20 20 20 20 20 20 20 20 20 20 20	ELL, YERN MICESAN PRE DESIGN ESTIMATORIA PRE DESIGNATION DE LA CONTRE DEL CONTRE DE LA CONTRE DEL CONTRE DE LA CONTRE DE LA CONTRE DE LA CONTRE DEL CONTRE DE LA	MERCE ACCUMANT SOME PARTICIPATION SOME PARTICIPATION SOUND SOME SOUND SO		Note	parent is pursues which is my dear which	100 100 100 100 100 100 100 100 100 100	SCOURS SHOW THE PROPERTY OF TH	20 mm 20 m
	COURT COUR	10 20 20 20 20 20 20 20	ELL, YERN MICESAN PRE DESIGN ESTIMA ODDINA ASE DOCUMENTO SERVICE ASE DESIGNATION OF THE SERVICE DESIGNATION OF T	MERCY RESUMENT SOME PARTY CASE SEQUENT SOURCE AND SEQUENT SOURCE SOURC			Servet is pursue servet is in year servet is in y	141 141 141 141 141 141 141 141 141 141	\$200.000 \$100.000	# 10 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	COOKE COOK	200 200 200 200 200 200 200 200 200 200	ELL, YERN MICESAN PIRE DESIGN ESTIMATORIA PIRE DESIGNATION AND A CONTROLLAND AND AND AND A CONTROLLAND AND	MERCY RESUMENT SOME PARTY CASE SEQUENT SOURCE AND SEQUENT SEQUENT SOURCE AND SEQUENT SEQUENT SOURCE AND SEQUENT SEQUENT SEQUENT SOURCE			Servet is pursues refres to grade refr	141 141 141 141 141 141 141 141 141 141	SCOUNTY AND WASHINGTON AND W	Mediana Median
	COURT COUR	200 200 200 200 200 200 200 200 200 200	ELL, YERN MICESAN PIRE DESIGN ESTIMATORIA PIRE DESIGNATION AND A CONTROLLAND AND AND AND A CONTROLLAND AND	MERCE ACCUMANT DONE FAMILY CONTROL TO THE STATE OF THE ST			porte à prome entre le prome entre l	1417-151 1418 1419	SPECIFICAL VIDE AND COMMITTEE AND	Medical Services of the servic
	COMMITTED TO THE PARTY OF THE P	200 200 200 200 200 200 200 200 200 200	ELL, YANN WALESANN THE ORIGINAL SERVICE AND THE ORIGINAL SERVICE SERVICE SERVICE AND THE ORIGINAL SERVICE SERVICE AND THE ORIGINAL SERVICE	MERCE ACCUMANT DONE FAMILY CONTROL TO THE TOTAL THE TOTA			port o promo mont o promo mont o supra- mont	1417-152 1418 1419 1419 1419 1419 1419 1419 1419	CONTROL OF THE PROPERTY OF THE	Monte of the control
	COORD TALE AND TOP TOP TOP TOP TOP TOP TOP TO	20 20 20 20 20 20 20 20 20 20 20 20 20 2	ELL, YERN MYLESAN PRE DESIGN ERSTON GOODNIN A, SE SERVICE GENTLES AND SERVICE GOODNIN A, SE DOCKSON SERVICE GOODNIN A, SE DESIGN SE DE DE DE DE DE DE DE DE DE D	MERCY RECUMENT SOME PARTY CASE SEQUENT SOURCE SECURITY CASE SEQUENT SEQUENT SOURCE SEQU		North	Servet is person erect is up year erect is up year event a seryen even event a seryen event a se	1417-152 1418 1419 1419 1419 1419 1419 1419 1419	SCOUNTS AND AND AND AND AND AND AND AN	Medical Services of the servic





SUBMITTAL SET - ISSUED 07-31-2024



MITTAL SET PARTMENT

DISON Ш F

Sneet Description

LANDSCAPE PLAN Release Date

09-01-2023 Project Number

2124/2305

Sheet 5 of 7

	SCH	CHUIC	TPA EDISON MULTIFAMILY				1:				Į.	
rweo,	coce	gry	BOTANICAL NAME	COMPOUNDE	cove	SAME.	tide.	2473/5	DROUGHT	_	DETURNATION OF THE PERSON NAMED IN	100
	lane .		SURESTA DANKINA	Q.#80 LW00	EXTENS TO SEMAN	eating to	CHIEF TO TO THE WAR.	+65.	mán		N	200
	-	6	Sandra Sentida	2.8921802	Colonia opinicania	and a			-	_		
	41	in:	BUMSERA SIMARURA	агияс пиро	FORMS	r CAL	IS CA 7 SPD & CT	TES	HICH		190	140
3	a	lai:	COCCULOBA DIVERSIFOLIA	PIGEON PLUM	FGMAR	ISTAL	CHINNE.	44	rein.		- 24	500
×	-				_	-				_	Fabri	190
0	ix		CONOCAR PUS ERECTUS	GREEN BUTTOWNOOD	FGRM	FCAL	IE MAIN SMES ÉS	YES	HOH		36	TWO
20	:65		CONDCAUPLS EXECTUS SERVEUS	SALVER BUTTOWNOOD	FGMAB	FCAL	IG HT 5 SPR MULTI-TRUMPED	TES	HOI		(40)	
X	13		ELAZOCIARUS DECIREIS	APANESE BLUESS SET TREE	FOSAB	TOL	17 HT X 5 SPR 5TD	NO.	HECH	_	20	200
×	100	-	-					-	-	-	10:	200
Ŏ	v	III	LICENSTRUM JAPONICEM	TREE UKILISTRUM	rawa	BUATE-TRUBER	IS HT 44 SPO MILITANIK	MO.	MEDIAN	_		
[.]	in		LTSLOMA (ATISE) QUINN	VALD TAMATING	FORMS	ICAL	NAME OF TAXABLE PARTY.	TES	нан		50	750
000	-	-										
W	avE	7.	QUERCLE VRGUANA	SOUTHERN LIVE CAK	EXISTING	(ARRES	EXISTING TO REMAIN	rES	HGH.		9	1000
3	Dir.	16	QUERTURI VAGANNA	LIVE GAK HIGH RISE	FG/BLB	ercu.	IS IF HT A 7 SPR 7 CT	YES	14/24		- 60	1 322
imes	-					-		i i i		-		- 22
\odot	lgv		CUERCUS VIRGINAMA	SOUTHERN UVE OAK	RELOCATED	/ARES	VARIES	+64			4	140
S			SIMAROLISA GLALICA	PARADISE TREE	FC/M8	ITAL	UNIXIPR	YES	несн		2	600
×	1	-				_		-	1	\vdash		-
(\cdot)	2	D)	TAXOSUM DISTICHUM	AUD CYPRESS	FG/848	LCV	14 14 4 8 144	753	HECH			199
OWER	W. TREE											
9	84	14	BULNESIA ARBOREA	VERAMO00	FORMS	FCAL	17-14-14-1579.	NO	несн		160	500
\approx	-		-					110	1			
\odot	o:		CASSIA RISTIALA	COLDEN SHOWER	43 GAL	Lew	17' HT AS SPR., STD	140	нки		-4	250
(3)	и		LAGERSTROENIA INDICA TUSCARORA	TUSCARDAA CRAPE HTRILE STANDARD	FORMS	TEAL	M HT 46 SPR STD	ю	uto		21:	160
15		10	L.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		STATE OF THE STATE	(ARIES	WARES	NO	HOH	$\overline{}$		
()	SCE		SPATHODEA CAMPANULATA	AFRICAN TILLP THEE	EXISTING TO REMAIN	(A)OES	ment I	~	1			
(1)	rri.		TABEBUA HETEROPHYLLA	PONE TRIMPET TREE	FORMI	HEAL	1Z HT X 5 3PR STD	мо	MED		in:	140
الوح	1	_	1									
SIG	100		L				12-16 QA, TRIPLE TRUNK	140	WEDILM			
總	tic.	7	CARPENTARIA ACUSENATA	CAUPENTARIA PALM	FORMS		MANUAL TRANS	ļ~	WEIGH, MA	_		
0	vi		LIVISTONA CHINENESS	CHINESE FAN PALM	FORMS		NA CT	140	неди		(99)	(10
W .	-		BACKET CHETTE ITTEL LIEF	MEDIDOS DATE SILVE	rossa		12 CT MATCHED DA HTS NO HURRICANE OUT	NO.	HIGH		100	, G
素な姿态	10	1	PHOENX DACTYLIFERA MEDIOOL	WEIDLOOK DATE FALM	r urban		- WATCHELL GATHS NO HUPBCANE OUT	~	1		(F)	14
23	*1		PHOEMA SYLVESTR'S	WILD DATE PALM	FOSAS		12 CT MATCHED GA HTS. NO HARRICANE CUT	но	нен		18	it
147	PET			SOLITAIRE PALM	FGRUB	_	III CTUM TROPLES	HO	Недн	_		
W	rer	10	PTI-D-01PERIM-ELECANS	-		-		-	-	-	_	
2.3	**		PTYCHOSPERIM ELECANIS	SOUTAINE PALM	FG/SE3		ni ci un	NO.	нсн			
鬱	az	14	RUTSTONEA ELATA	/LORIGA ROTAL PALM	EXISTING		VARIES	YES	HGH		125	197
1000		-			_				-	-		-
56	44	10	ROTATIONEA BLATA	PLORIDA ROTAL PALM	FG/MLB		IS ON 25 DA MATCHED	rES	HIGH		26	270
00	REM		ATAJE ASMOTEVOR	FLORIDA ROYAL PALM	MELOCATED		VARIES	1ES	HESH		26	425
477	-		NO TO	PLUMINION PROM		<u> </u>		-		-		_
(2)(3)(4)(4)(5)(6)(7)(7)(8)(7)(8)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)(9)<	yt.		SASAL PALMETTO	CHES-CE PILMETTO	EXSTING.		COSTING PERFERNANCE	VES	ман		#5	1 79
公公	u	*	SABAL PALBETTO	CASBACE PALMETTO	FORES		14-30 DA, VART HEIGHTS	463	HOI		4	- 45
N.			THRONAX RADIATA	FLOREDA THATCH PALM	FORME		10-17 GA STAGLE, STRANSHT LEADER	YES	нсн		-	
VX.	-	7/					-		1	\vdash		-
200	VMT	(0)	VETCHA WONTOOMERYANA	MONTGOMERY PALM	FORMU		16-20 DA TRIPLE TRUMCS	NO.	neorm		19	199
高級 多			HEITO-IA MONTGOMETHINA	MONTOCHETY PACE	rices:		ZEZK ÓM, MYGUER HEAVY	9	HIZUM		190	-
184	1	-			151-7-7		I C. J. Torong I Francis		1	_		_
75	eur.	111	NEDW(ANN) H	PUNCHER BANKETING			postures	100	esp.		1	
0000	CK.	419	CHRYSOBALANUS ICACO REDTEP	MES TH COCONSM			percent.	-64	w121/M		1	
0	SPE	216	CHRYSOBALANCE ICACO REDTP	MI21F000PM			大名 2 日 2 日 2 日 2 日 2 日 2 日 2 日 2 日 2 日 2	46.0	HEDUW		1	
0	068	0	CLUSIA GUTTIFEAA	ZWIT-164 CTORY	-		3E+EX3E3F8	10	lette.	_	Į.	
(-)	0.0		CODMINATOR SECURITY	CRUTON	-		SP OA SPECIMEN	MO	неан	-	1	
*	CAS	+		QUEEN CHINA CHINEN				10	1424	-	ŧ	
Ö	100		Drouge Augustuse Quicty Enter			_		-				
-	re .	• /	EUGZNEA MTRITFOLIA	BRUSH CHERRY			ira	40	WEDLAY WEDA		-	
6.5	riv roy	4	EUGENIA INTRIPPOLIA FURCRABA GIGANTEA VARIEGATA'	FALSE AGAVE				40	MON MON			
0	NO.	• /	EUGZNEA MTRITFOLIA				110 110	10	-0-			
0	NO.	4	EUGENIA INTRIPPOLIA FURCRABA GIGANTEA VARIEGATA'	FALSE AGAVE			****	10	-0-			
0	NO.	6 -6 -4	EUGENA MYRITOLIA FUNCRIARA GGANTEA WARECATA'	FALSE AGAVE	cont	SALFOR	110 110	9	-0-	SPACING		
O MAN	TON TON	e d is	PURCHAS CONTEX VARIENTS MERCHAS CONTEX VARIEN	FALSE AGN'E WORLT SHOWELPD ADMY COUNSESS HARME	cont		er co. Ser co. Fer co. But co. Huan to beld.	HO HO HATHE	erior erior processor?			
0	nov nov nont no nont	e de is	EUGENA MYRRYCLIA PARENES GENYTE VARECATA NETHELSELLE & MONET ACC. 100, Triang LD-GUTTELA RESTAURCHAS GENERAL ACAS. STAN RESTAURCHAS ACAS. STAN RESTAURCHAS	FALSE AGAVE WORLT SWIGHTLESS AGROOM CONSERVATIONS AGROOM A	cont		SE CA SE CA SE CA SE CA SE CA FULL TURBUN	90	-co -co coccert	SPACEG SPACEG		
0	now NAA COOK Had Law	e d is	EVOSON APRIMO CALL FINENDAS CONTEX WARROUTE MERCAS CONTEX WARROUTE MOCHANIA BONDERS MOCHANIA CONTEX MOCHANIA CONTEX MOCHANIA MOCH	FALSE AGAVE WORLD SHORELING ASSOCIATION COMMISSION NAME ASSOCIATION GRAPE BEIGNITHM SAME SHARE SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME SAME	5007		er ca tros er ca has traves tota powadowe	HO NATIVE	erior erior processor?	SP44 P44 P44		
0	PART AA COCK	e de la	COGDA LYRITOLA INDERIOR COUNTY WARCATY WENNIGHT A WARCATY WOCK IN THE INTERIOR WOCK IN THE INTERIOR WOCK IN THE INTERIOR WITH WARCATY WITH WARCATY WITH WARCATY WITH WARCATY WITH WARCATY WITH WARCATY	FALM AGAYE MITHAT SECRETARY ASSOCIATION SAME ASSOCIATION SAME SECRETARY S	cont		4 COA TO TO COA TO TO COA TO TO COA T	HO HATTHE HO HE HE HE HE HE HE	ege page pageograf upp upp upp upp upp	1844 1844 1844 1844		
0	TANK COCK COCK COCK COCK COCK COCK COCK CO	0 0 0 0 0 0 0 0 0 0	Tradeas prehinous Fractions observed waterant Materialistate waterant Models (materialistate) Models (materialistate)	FALSE AGAYE SCHEELER STATE SCHEELER STATE SCHEELER STATE SALVE STA	cont		NO CA NO	HO HO HATTHE HO HES HES HES	enter processor totale	SP44 FF44 FF44 SF44		
O	PART AA COCK	# # # # # # # # # # # # # # # # # # #	COGGA LYRITOLA TAMENDA COUNTY WARCATY WENNIGHT A WORT WOCK IN THAT IN THE PROCESS WITH THE PROCESS	FALM AGAYE MITHAT SECRETARY ASSOCIATION SAME ASSOCIATION SAME SECRETARY S	cont		4 COA TO TO COA TO TO COA TO TO COA T	HO HATTHE HO HE HE HE HE HE HE	ege page pageograf upp upp upp upp upp	1844 1844 1844 1844		
0	COCK COCK COCK COCK COCK COCK COCK COCK	0 0 0 0 0 0 0 0 0 0	Codes unitro. Indicate accents wascents unitrode accents wascents unitrode accents unitrode accent unitrode accent accents	A AND AGENT SERVICE OF THE SERVICE O	cont		NO CO. NO CO.	NO NATOR	ede ede proceded strike ede ede ede ede ede ede ede ede ede e	9744 16744 16744 16744 16744 16744 16744		
0	100 M	27 CTV	I CODE WIRTHOUT WAREAUX PARCENCO CONTROL WAREAUX MONTHLINE STORTON MONTHLINE MONTH	FAMILY SERVICES AND CONTROL OF SERVICES AND	CONT		AC ON STORM TO STORM	100 140 140 140 143 143 143 143 143 143 143	HOSE HOSE HIS HIS HOSE HIS	State Sta State State State State State State State State State State State State State State State State State State St		
0	CONTROL OF THE CONTRO	# 14 14 14 14 14 14 14 14 14 14 14 14 14	Codes untitrous Indicates accounts was construit Indicates accounts was construit Indicates accounts accounts Indicates ac	FAST AGENT WORLD'S SERVICION STOCK SERVICION SERVICION SERVICION STOCK SERVICION S	cont		HE CA WE CA WE CA FOR FOLK TO BREE FOR CA FOLK TO BREE FOR CA FOLK FOR CA FOL	100 140 108 140 143 143 143 143 143 143 143 143 143 143	HOSE HOSE HOSE HOSE HOSE HOSE HOSE HOSE	SPAL SFAL		
0	CONTRACTOR OF THE CONTRACTOR O	# 1	I CODE WIRTHOUT WAREAUX PARCENCO CONTROL WAREAUX MONTHLINE STORTON MONTHLINE MONTH	FAMILY SERVICES AND CONTROL OF SERVICES AND	CONT.		AC ON STORM TO STORM	100 140 140 140 143 143 143 143 143 143 143	HOSE HOSE HIS HIS HOSE HIS	State Sta State State State State State State State State State State State State State State State State State State St		
O PORT	POTE TOTAL T	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	INCIDENTATION OF WATER OF THE PROPERTY OF THE	FAMILY SERVICES AND CONTROL OF THE SERVICES CONTRO	CONT		AC OR AT OR FILE FOR PAIR AT	100 100	HIGH HIGH HIGH HIGH HIGH HIGH HIGH HIGH			
0	FOR STATE OF	27 CAN	Tractage prehity of the control of t	A AND AGENTS WORKET SERVICION ADMONITORIO CONTRIBUTATION AND AND AND AGENTS AND AGENTS AND AGENTS AGENT	cont		NO CO. NO CO.	100 100 100 100 100 100 100 100 100 100	HOSE HOSE HOSE HOSE HOSE HOSE HOSE HOSE	9744 16'		
	100	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	INCIDENT WINTOUT WINCOMY WINTOWN COMMY WINTOWN	FAMILY ROOM TO THE	CONT		SE ON WHEN IF ON PAIN TOWNS	100 100	HIGH HIGH HIGH HIGH HIGH HIGH HIGH HIGH			
0	100	27 CAN	Tractage prehity of the control of t	A AND AGENTS WORKET SERVICION ADMONITORIO CONTRIBUTATION AND AND AND AGENTS AND AGENTS AND AGENTS AGENT	CONT		NO CO. NO CO.	100 100 100 100 100 100 100 100 100 100	ector perior	18° 44 18° 44		
6	100 100	0 10 10 10 10 10 10 10	Codes untitrous Fractano Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Coderto Vanciorio Indicato Coderto Code	FALSE AGAINS WOULD SERVICE AND THE AGAINST SERVICE AGAINST SE	CONT		The STATE AND THE TABLE AND TH	100 100 100 100 100 100 100 100 100 100	HIGH HIGH HIGH HIGH HIGH HIGH HIGH HIGH	18°44 18°44 18°44 18°44 18°44 18°44 19		
6	000 000 000 000 000 000 000 000 000 00	0	INCIDENT WINTOUT WINCOMY WINCOMY WINTOUT WINCOMY WINTOUT WINTO	FAMILY ADDRESS WORLD'S SERVICE ADDRESS ADDRES	CONY		A C OR. A C OR PACE TOWNER A C OR PACE TOWNE	100 100 100 100 100 100 100 100 100 100	HOSE HOSE HOSE HOSE HOSE HOSE HOSE HOSE	9544 9545 9545 9545 9545 9545 9545 9545 9545 9545 9545 9546		
	100 (100 (100 (100 (100 (100 (100 (100		Codes untitrous Fractano Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Vanciorio Indicato Coderto Coderto Vanciorio Indicato Coderto Code	FAMILY ADDRESS WORLD'S SERVICE ADDRESS ADDRES	CONT		A CON A	100 MATHER	HOLES OF THE STATE	Mail. Mail		
	100 (100 (100 (100 (100 (100 (100 (100	0	TODGES UMBRITOLIS FINENDES COUNTY WINDCATY MICHIGINAS WORDET MICHIG	FALSE AGAIN WORLD'S SERVICE MATION ADDROCK MATION MATION MATION MATION MATINES MATIN	CONT		A C OR. A C OR PACE TOWNER A C OR PACE TOWNE	100 100 100 100 100 100 100 100 100 100	HOSE HOSE HOSE HOSE HOSE HOSE HOSE HOSE	9544 9545 9545 9545 9545 9545 9545 9545 9545 9545 9545 9546		
	607 100 100 100 100 100 100 100 100 100 1	0	COGGOS UMBRITOLIS FUNCHINA COLONITA VARICANY FUNCHINA COLONITA VARICANY ROSSISSIONE VARICE ACCUSTOMENTATIONS FUNCHINA COLONITA ACCUSTOMENTATIONS FUNCHINA ACCUSTOMENTATION FUNCHINA FUNCHI	FAMILY SERVICE OF THE	Cont		FOR THE STATE OF T	100 100 100 100 100 100 100 100 100 100				
	TOTAL	0	INCIDENT VINITIVO DE VINITIVO	FAMILY REPORT OF THE PARTY OF T	CONT		A CON STORM	100 100 100 100 100 100 100 100 100 100		Mai.		
	POP TOP TOP TOP TOP TOP TOP TOP TOP TOP	0 0 0 0 0 0 0 0 0 0	TORGOS IMPROVAD INFORMACIONATO VARICATO MICHIGINAS MONOTE MICHIGINAS MICHIGINAS MONOTE MICHIGINAS MONOTE MICHIGINAS MONOTE MICHIGINAS MONOTE MICHIGINAS MONOTE MICHIGINAS MONOTE	FAMILY SERVICE OF THE	COM7		FOR THE STATE OF T	100 100 100 100 100 100 100 100 100 100				
	TOTAL	0 0 0 0 0 0 0 0 0 0	INCIDENT VINITIVO DE VINITIVO	A MA AGAIN WANTE SERVELLON STOCKED SAME CONNECTE	Cont		NO CO. NO CO.	100 100 100 100 100 100 100 100 100 100		#14 Fri		
	AAA AAA AAA AAA AAA AAA AAA AAA AAA AA	8 10 10 10 10 10 10 10 10 10 10 10 10 10	INCIDENTIFICAL FACINICACIONE MINISTRANIA DIMETER MINISTRANIA DIMETER MINISTRANIA DIMETERIA MINISTRANIA DIMETERIA MINISTRANIA DIMETERIA MINISTRANIA DIMETERIA MINISTRANIA DIMETERIA MINISTRANIA DIMETERIA MINISTRANIA MI	FAMILY ADDRESS WORLD'S SOCIETY OF THE SECOND STATES OF THE SECOND STATE	CONT		SE ON WHEN IF OR THAT TORSES	100 Hatting 100 Ha	100 100 100 100 100 100 100 100 100 100	Pris. Pris.		
	#00 100	0	Tractato control vanctural Fractato Court vanctural Inches Court vanctural	FAST AGAIN WORLD SERVICE OF THE SER	COM7		SE CO. SE CO. SE CO. SE CO. FOLL TO BRIDE SE CO. FOLL TO BRIDE	100 100 100 100 100 100 100 100 100 100	100 100 100 100 100 100 100 100 100 100	Pris		
	# 100 100	8 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	INCIDENT WITH TOWN TOWN TOWN TOWN TOWN TOWN TOWN TOWN	FAMILY ADDRESS WORLD'S STORMED ADDRESS ADDRES	Cont		SE ON WHEN IF OR THAT TORSES	100 Hatting 100 Ha	100 100 100 100 100 100 100 100 100 100	Pris. Pris.		
	#00 100	0	TORGOS UMBRITOLA FUNCINAS COLONTA VARICATA MISTERIOLA VARICATA MISTERIOLA VARICATA MISTERIOLA VARICATA MISTERIOLA CALLES MISTERIOLA CALLES MISTERIOLA COLONIA MISTERIOLA COLONIA MISTERIOLA COLONIA MISTERIOLA COLONIA MISTERIOLA COLONIA MISTERIOLA COLONIA MISTERIOLA MIST	FAST AGAIN WORLD SERVICE OF THE SER	CONT		SE ON WHEN IF ON PASS TORNES	100 100 100 100 100 100 100 100 100 100	100 100 100 100 100 100 100 100 100 100	Pris. Pris		
	AND	# 10 mm	TORGOS UMBRITOLA FUNCINAS COLONTA VARICATA MICHIGINAS VINCET MICHIGINAS VINCET MICHIGINAS VINCET MICHIGINAS VINCET MICHIGINAS CONTROL MICHIGANICA CONT	A MAN AGAINE WANTE STREET, MAN AGAINE A MAN AGAINE MAN AGAINE A MAN AGAINE MAN AGAINE MAN	COM7		A CONTROL OF THE STATE OF THE S	100 1415 1415 1415 1415 1415 1415 1415 1	100 100 100 100 100 100 100 100 100 100	Pais		
	AND THE STATE OF T	0 10 10 10 10 10 10 10	INCIDENT WINTERLAND FUNCTION OCCUPY WINTERLAND MINISTRUM WINTER MINISTRUM MINIST	I AM AGOVE WORLD'S SORRELLON ADDOC CONSIGNATION ADDOC CONSIGNATION MARKET MICHAEL MICHAEL MARKET MICHAE	Cont		SE ON WHEN IF ON PAIL TOWNER IF ON PAIL TOWNER IF ON PAIL TOWNER IF ON PAIL TOWNER WHEN EVERY W	100 100 100 100 100 100 100 100 100 100	### ### ### ### ### ### ### ### ### ##	Pris. Pris		
	### COOK POP P	6	TORGOS UMBRITOLIS FINENDISCUS VINCELLY MICHIGINAS VINCELLY MICHIGAN MICHIGINAS VINCELLY	A MAN AGAINE WANTE STREET, MAN AGAINE AGAINE A MAN AGAINE AGAINE AGAINE A MAN AGAINE AGAINE AGAINE MAN AGAINE AGAINE AGAINE MAN AGAINE AGAINE AGAINE MAN AGAINE AGAINE AGAINE MAN AGAINE	CONT		A CON STORM TO SERVE	100 100 100 100 100 100 100 100 100 100	### #### #### ########################	#11 F11 F11 F11 F11 F11 F11 F11		
	AND THE STATE OF T	0 10 10 10 10 10 10 10	INCIDENT WINTERLAND FUNCTION OCCUPY WINTERLAND MINISTRUM WINTER MINISTRUM MINIST	I AM AGOVE WORLD'S SORRELLON ADDOC CONSIGNATION ADDOC CONSIGNATION MARKET MICHAEL MICHAEL MARKET MICHAE	COM7		SE ON WHEN IF ON PAIL TOWNER IF ON PAIL TOWNER IF ON PAIL TOWNER IF ON PAIL TOWNER WHEN EVERY W	100 100 100 100 100 100 100 100 100 100	### ### ### ### ### ### ### ### ### ##	Pris. Pris		
	A	6	INCIDENT WINTEROW PARCINA COMPTS WINTEROW MINISTRUM WINTEROM MINISTRUM MINI	A MA AGAIN WASHINGTON STREET, AND AGAIN A MANAGEMENT MANAGEMENT	Sont		SE ON WHEN IF ON PART TOWNER	100 100 100 100 100 100 100 100 100 100	### ### ### ### ### ### ### ### ### ##	##1 Fee		
	AA	6	INCIDENT VINITIVOUS FUNCTIONS COUNTY WINDCOLDY MICHIGHIAN SUPERTURA MICHIGHIAN SUPERT	A MAN AGAIN STATE OF THE STATE	SONT		SE ON STOR STOR STOR STOR STOR STOR STOR STOR	100 100 100 100 100 100 100 100 100 100	### ### ### ### ### ### ### ### ### ##	##1 ##1 ##1 ##1 ##1 ##1 ##1 ##1		
	Page	6	INCIDENT WINTEROW PARCINA COMPTS WINTEROW MICHIGANIA NEWSTEY MI	A MA AGAIN WASHINGTON STREET, AND AGAIN A MANAGEMENT MANAGEMENT	Cont		SE ON WHEN IF ON PASS TOWNS	100 100 100 100 100 100 100 100 100 100	entre of the control	Paid		
	Pop	6	INCIDENT VINITIVOUS FUNCTIONS COUNTY WINDCOLDY MICHIGHIAN SUPERTURA MICHIGHIAN SUPERT	A MAN AGAIN STATE OF THE STATE	Sont Sont Sont Sont Sont Sont Sont Sont		SE ON STOR STOR STOR STOR STOR STOR STOR STOR	100 100 100 100 100 100 100 100 100 100	### ### ### ### ### ### ### ### ### ##	##1 ##1 ##1 ##1 ##1 ##1 ##1 ##1		

LANDSCAPE CALCULATIONS - THE EDISON APARTMENTS

			REQUIRED	PROVIDED
SEC 155.631 MEET MIN. BUFFERYARD REQ.				
SEC 155.661 (G) Trees in excess of 5 shall have no more than 20% of a single species				
more than 20% of a single species				
1. All properties three stories and below minimum				
(a) 20% of required trees meet 14'-16' Ht, with 3" diameter at breast height				
(b) 20% of required trees meet 12'-14' Ht. with 2" diameter at breast height				
(c) 60% of required trees required to meet 155, 664 (M).				
2. All properties four stories and above minimum				
(a) 30% of required treess meet 14'-16' Ht. with 3" diameter at breast height				
(b) 30% of required trees meet 12'-14' Ht with 2" diameter at breast height				
(c) 40% of required trees required to meet 155,664 (M)				
PER SEC CC4 (I) Adjacentae Dublic Diebt of Wines All managing		-		
SEC 155.661 (I) Adjacent to Public Right-of-Ways - All properties				
1 TREE PER 50 LF OR 1 TREE FOR EVERY 250 SF	870	iee	-	OFVICE
EAST PERIMETER - SW 145TH AVE	378	/50	8	9 EXIST
SEC 155.661 (J) Adjacent to Abutting Properties - All properties				
1 TREE PER 50 LF				
NORTH PERIMETER (INTERNAL BOUNDARY - shared internal drive)	0	/50	0	0
SOUTH PERIMETER	993	/50	20	20
WEST PERIMETER	375	/50	8	8
FLU FLUIDER	212	730		-
SEC 155.663 (F) Interior parking and paved area landscaping				
Parking lots shall comply with the following minimum requirements:				
1. One Tree:				
(a) Every 5 parking spaces; and	191	/5	39	39
(b) Every 100 SF of interior landscaping.	4,871	/100	49	49
2. 10 SF of interior landscaping every parking space up to 50 spaces;				
3. 100 SF of landscaping every 10 parking spaces over 50 spaces;				
4. 1 SF of landscaping:				
(a) Every 100 SF of paved areas up to 50,000 SF; and				
(b) Every 200 SF of paved area over 50,000 SF and				
10/21/21/2003				
MULTI-FAMILY STRUCTURE				
TREES				
1.5 TREE PER UNIT GROUND FLOOR	40	x1.5	60	
1 TREE PER UNIT 2ND FLOOR	45	x1.0	45	
S TREE PER UNIT REST OF UNITS	265	x0.5	133 238	248
SHRUBS			236	240
	40	×25	1000	
25 SHRUBS PER UNIT GROUND FLOOR	45	x5	225	
5 SHRUBS PER UNIT 2ND FLOOR	53	x5	265	
5 SHRUBS PER UNIT 3RD FLOOR	213	xo xo	0	
O SHRUBS ADDITIONAL FLOORS	213	XU	1490	
TOTAL NUMBER OF REQUIRED TREES			362	373
Royal and Date Palms each count as 1 Tree		50		50
All other Palms count as 3 to 1		181	/3	60
		185	/313	59%
40% - OF TREES TO BE LARGE CAT 1 - 313 Trees provided 50%- OF TREES TO BE NATIVE - 313 Trees provided		235	/313	75%

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- 2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN

- SEE SHEET L-210 TREE DISPOSITION PLAN.
 SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
 SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
 SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.

- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY
- FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

 8. PER CODE SECTION 155.663 (E) SHRUBS AND GROUNDCOVERS WITHIN PARKING ISLANDS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".







EDISON APARTMENT

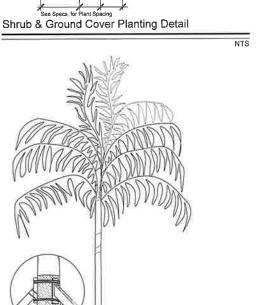
LANDSCAPE PLANT SCHEDULE AND CALCULATIONS

뿐

Release Date

Project Number 2124/2305

Drawing Number

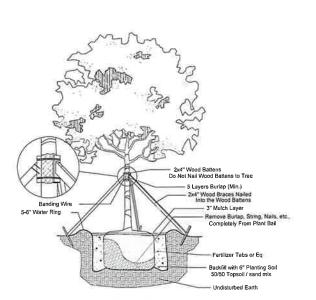


— 2x4" Wood Battens
Do Not Nail Wood Battens to Palm

Remove Burlap, String, Nails, etc.

ertilizer Tabs or Eq

Palm Planting Detail

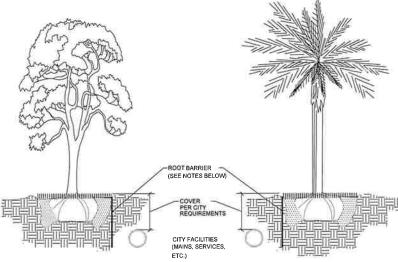


Large Tree Planting Detail

30" for all 3 gal, or greate NOTE: All shrub and groundcover masses to use triangular spacing except as a singular hedge row or where noted. Refer to the plant A: 14" for all 1 gal. 24" for all 3 gal. or greate FRONT Typical Plant Spacing



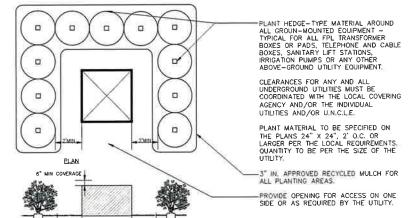
NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES. MINIMUM CLEARANCE OF 5" FT FOR PALMS AND SMALL TREES AND 10" FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS SEE TYPICAL DETAIL BELOW.



NOTES:

- 1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING, ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- 2. ROOT BARRIERS SHALL HAVE MINIMUM. DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- 3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Root Barrier Detail



MECHANICAL EQUIPMENT SCREENING DETAIL



SPECIAL INSTRUCTIONS:

- GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
- 2. ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID SOD, IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.

NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET L-210 TREE DISPOSITION PLAN.
- SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
- SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
- SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI

All plant material as included herein shall be warrantied by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic, Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants. Tree rings shall be a minimum of 12 inches away from the tree trunk flair but shall not be permitted within the first two inches from the tree trunk.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch, Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

ALWAYS CALL 811 BEFORE YOU DIG

Sheet Description

inson ly Spie

Z W

 \geq

4

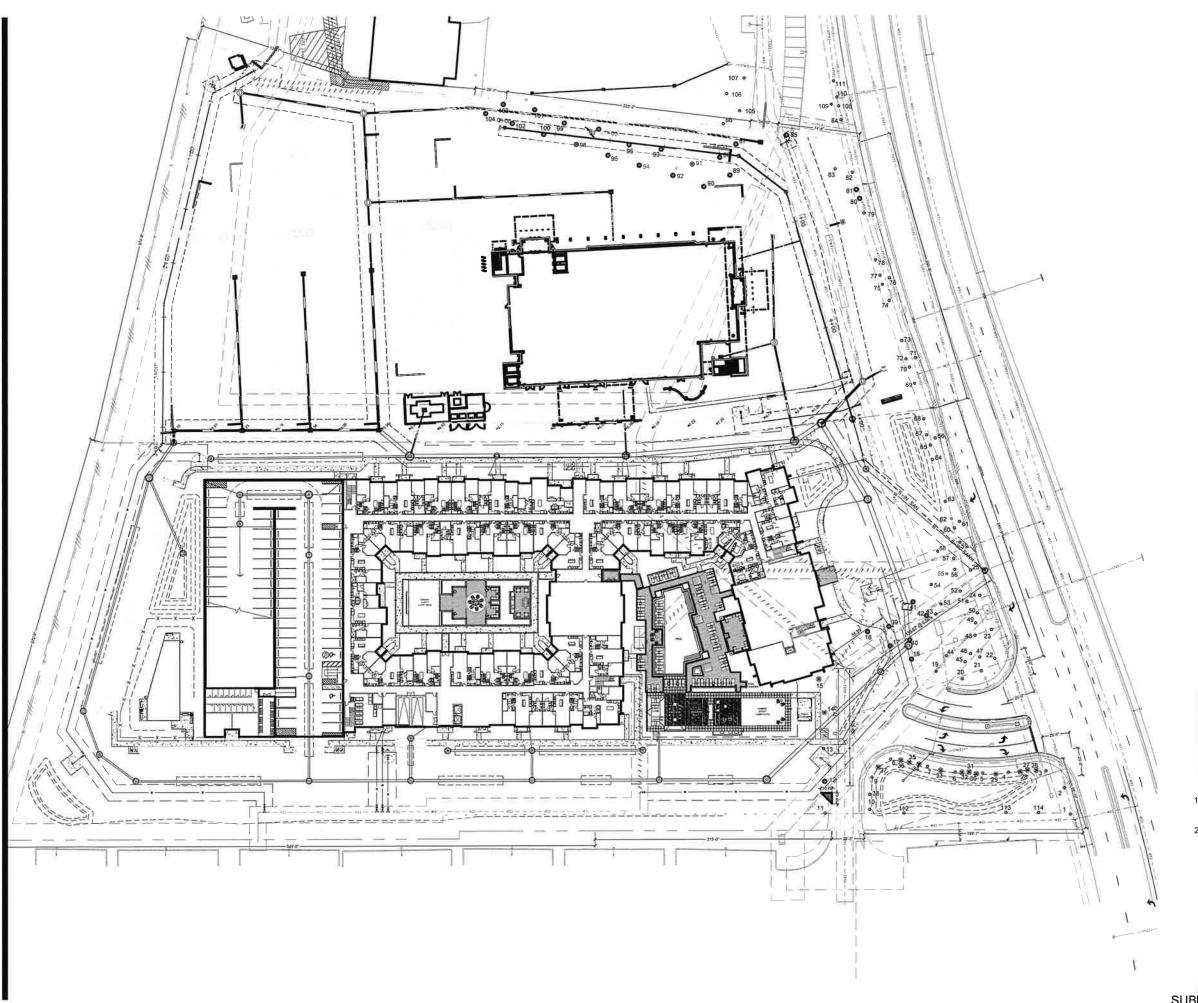
Δ.

ഗ

PINES,

09-01-2023

2124/2305







1 DRC R 2 DRC R 4 DRC R

EDISON APARTMENTS

EDISON APARTMENTS

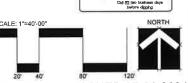
PEMBROKE PINES, FLORIDA

TREE DISPOSITION LEGEND TREES/PALMS TO REMAIN

TREES/PALMS TO BE RELOCATED TREES/PALMS TO BE REMOVED

ALL EXISTING EXOTICS AND INVASIVE
 TREES/PALMS SHALL BE REMOVED FROM SITE.
 ALL EXISTING TREES LOCATED ALONG THE WESTERN PROPERTY LINE ARE EXOTICS AND INVASIVES.





SUBMITTAL SET - ISSUED 07-31-2024

Sheet Description

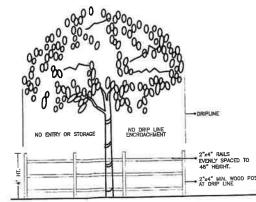
开

09-01-2023

Project Number 2124/2305

BAPTIST HEALTH AND THE EDISON APARTMENTS - PEMBROKE PINES

EXISTING	TREE SURVEY 04 21 202	3, Rev. 07 XX 2024							
TREE .	COMMON NAME	BOTANTICAL NAME	HEIGHT (IT)	SPREAD (FT)	CANOPY	CLEAR TRUNK (FT)	CALIPER	CONDITION	DISPOSITION
1	Royal Faim	Roystones regis	24	18	15.F.1	18		60%	Jensin
2	Royal Palm	Royatonea regis	26	10		16		\$5%	Remain
3	Royal Palm	Roystoneia regia	25	16		18		60%	Aemain
4	Royal Falm	Roystones regia	22	16		16	_	SON.	Remain Remain
5	Royal Falm Royal Falm	Roystonea regia Roystonea regia	22	16	_	16		50%	Remain
7	Royal Pairn	Raystones regie	26	10		18		60%	Remain
	Royal Palm	Raystonea regia	26	18		28		60%	Remain
9	Royal Patro	Kaystonearegia	28	20		20		50% 55%	Remain Remain
10	Royal Palm Royal Palm	Raystones regia Raystones regia	28	20		20		60%	Romain
12	Royal Falm	Roystonea regia	28	200		20		60%	Relocate /TPA
13	Royal Palm	Roystones regis	28	20		20		35%	Remain
14	Rayai Palm	Raystonea regia	28	20		20	_	30%	Remove
15	Atiyal Palm Royal Palm	Raystonea regia Raystonea regia	28	20 18		30	_	10% 55%	Refocate - TPA
17	Royal Patra	Roystones regia	28	26		20		60%	Relocate - TPA
18	Royal Palm	Roystonea regia	26	18		18		50%	Relocate - TPA
19	Royal Palm	Roystonea regia	- 28	20		20		60%	Remain Remain
20	Royal Paim Royal Palm	Roystonea regia Roystonea regia	26	20 18		18		50%	Remain
12	Royal Palm	Raystones regis	26	18		18		50%	Remain
23	Auyal Palm	Reystones regio	26	14		16		30%	Remain
34	Royal Falm	Roystonez repid	24	18		14		60%	Ramain
26	Royal Palm	Raystones regis Cordio jebestens	10	18		14	1	60%	Remove Remove
27	Orange Geiger Tree Orange Geiger Tore	Cordia sebestona	10	4		3	2	60%	Randove
28	Orange Griger Tree	Cordio sebestena	10	4		- 5	1	50%	Remove
29	African Tulip Tree	Spothodes componulate	12	- 5		- 5	1	60%	Remove
30	Orange Geiger Tree	Cordia srbestena	10		-	5		50% 50%	Resoove
31	Orange Geiger Tree Orange Geiger Tree	Cordia sebestens Cordia sebestens	10	-		5	1	60%	Bemove Remove
33	Mrican Tulip Tirre	Spothodra ramponulido	12	- 1		5	2	60%	Remove
34	Orange Geiger Tree	Cordo sebestena	10	- 4		5	2	50%	Remove
35	Orange Geiger Teen	Cordia sebestena	10	4		3	3	60%	Remove
35	Grange Griger Tree	Cordia sebestena	10	4		5	2	60%	Remove Remove
37	African Tulip Tree Cumbo Limbo	Saethode'e componyliote Bursera simoruba	12	5		5	1 2	60% 60%	Remain
30	Live Oak	Queros wromens	14	6		6	-1	50%	Relocate - TPA
40	Live Oak	Querous virginione	14	- 6		- 6	- 2	60%	Relocate BAPTIST
41	Live Oak	Gueros Wignera	14	6		6	2	60%	Relocate - BAPTIST
42	Live Oak	Ourrous virginiene	14	- 5	_	6		60% 60%	Refocate SAPTIST Remain
44	African Tulip Tire	Quercus impiniente Spathodea composuleta	12	3		3	i	60%	Remain
43	Live Oak	Querous vinginiona	14	- 6		- 6	2	60%	Remain
45	Live Osk	Quereus virginiena	14	- 6		- 6	- 2	60%	Remain
47	Use Oak	Querous virginiana	14	- 6		- 6	- 2	60%	Remain
48	African Tuligi Tree	Spethodea componulate Querous virginiena	12	5.	_	5	2 2	60%	Remain Remain
50	Live Oak	Querous virginions	14	6	_	6	2	60%	Remain
51	Use Oak	Quercus virginiene	24	- 6		- 6	2	60%	Remain
52	African Tulip Tree	Seethodes companulate	12	- 5		- 5	- 2	60%	Remain
53	Live Oak	Querous virginiona	14	- 6		- 5	- 2	60%	Romain Romain
54 55	Use Oak Use Oak	Quenous wirginional Quenous wirginional	14	6	_	4	2	60% 50%	Remain
54	Line Oak	Currous virginiena	14	- 6		- 4	. 2	60%	Remain
57	Live Oak	Querous virginianu	14	- 6		- 4	2	60%	Remain
58	Live Oak	Querous virginiena	14	- 6		- 6	- 1	50%	Remain
59	Liver Oak	Quercus wrganions	14	- 6	_	6	2	60%	Remain
60	Cabbage Pains Cabbage Pains	Sobel polmetto Sobel polmetto	18	10	-	- S	-	65%	Remain
62	Cabbage Falm	Sabel pointetto	18	10		- 4		55%	Remain
63	Live Oak	Quertus virginions	14	- 6		- 6	2	60%	Remain
64	(ive Dak	Quercus virgiciens	14	- 6		- 6	- 2	60%	Remain
66	Cebbage Falm	Sabal palmetta Sabal palmetta	18	10		A	-	65% 65%	Remain Remain
67	Cabbage Falm Cabbage Falm	Sabal palmetta	13	10	_	1		65%	Remain
68	Live Oak	Quercus virginiona	14	- 6		- 6	2	60%	Aemain
69	Live Oak	Overcus wirginions	14	6		- 6	1	60%	Remain
70	Cabbage Palm	Sobal poinetto	111	10		1 1	_	65%	Remain Remain
72	Cabbage Falm Cabbage Falm	Sabel poinette Sabel poinette	19	10		1		65% 65%	Remain
73	Live Oak	Quertus imprisons	14	6		- 6	2	60%	Bernaut
74	Lrve Oak	Querous eviginiens	14	- 6		6	- 2	50%	Remain
75	Cabbage Falm	Sobol pointerto	18	10	_			65%	Remain
76	Cabbage Falm	Sobol palmetto	18	20	-	8	_	65% 65%	Remain Remain
78	Cabbago Palm Liver Oak	Sabel poincreto Quercus unpiniona	14	6		-	- 2	60%	Remain
79	Live Dak	Quereus virginiana	14	- 6		- 6	2	60%	Remain
80	Cabbage Falm	Saber polimetro	18	10		1		65N	Relocate - BAPTIST
81	Cabbage Palm Uve Gak	Subal pointetto Quencus vironiona	18	50		1	2	60%	Refocate - BAFTIST Remain
83	Verswood	Bulnesia arborea	14	6		6	1	50%	Remain
84	Use Oak	Outrous virginional	14	- 4		- 4	2	60%	Remain
85	Varawood	Bulnesia arborra	12	5		- 5	- 1	60%	Relocate - BAPTIST
86	Gumbo Limbo	Birmera simonido	14	6		_	3	50% 50%	Rémain Rélocate - BAPTIST
88	Gumba Limbo Gumba Limbo	Burnera simoroba	14	6			1	50%	Relocate - BAPTIST
89	Gunta Limbo	Bursery simorubo	14	4			- 1	60N	Relocate - BAFTIST
90	Royal Palm	Ametonea regia	22	16		16		50%	Relocate - BAFTIST
91	Rayel Feirn	Roystanes regia	26	18	_	18		60%	Relocate - BAPTIST
92	Royal Palm Royal Palm	Roystones regia Roystones regia	26	19		18		60%	Relocate - TFA Relocate - TFA
91	Rayal Palm Rayal Palm	Roystones regia	26	18		18		60%	Refocate - TPA
95	Rayal Patro	Raystone a regio	22	16		16		50%	Refocate - TFA
96	Royal Palm	Reystams regis	26	18		18		50%	Reforate - TPA
97	Royal Falm	Roystones regis	26	18		18		60%	Relocate - TFA Relocate - TFA
99	Royal Palm Royal Falm	Raystaines regia Raystaines regia	26	18		18		50%	Relocate - TPA
100	Royal Falm	Roystones regio	22	16		16		10%	Relocate - TPA
101	Royal Falm	Roystonea regia	26	18		28		60%	Relocate - TPA
102	Royal Polm	Reystones regiz	26	.18		19		60%	Relocate - TPA
101	Royal Palm	Reystones regio	22	16	-	16		50% 50%	Relocate - TFA Relocate - TFA
104	Royal Paim Gumbo Limbo	Roystones regis Bursero simarutus	14	6		- 19	3	60%	Remain
106	Gumba Limba	Bursers simarybe	14	5			1	60%	Bemain
107	Gumba Limba	Bursera simarsiba	14	- 6			- 1	60%	#pmain
108	Cabbage Palm	Subal polimetto	18	10		1		65%	Remain
109	Cabbage Paim Cabbage Paim	Sabai poimetta Sabai poimetta	18	10		1		65%	Remain
110	Cabbage Palm Live Oak	Quercus xerginisms	14	6		6	2	50%	Remain
112	Gumbo Limbo	Bursera simorpha	14	- 6	3	1,5	3	60%	Rampin
111	Combo Limbo	Burgera simonuba	14	- 6			3	60%	Remain
114	Cumbo timbo	Burtara simaruba	14	6		1	1	60%	Remain



TREE PRESERVATION BARRICADE FENCING DETAIL

- 1. ALL EXISTING EXOTICS AND INVASIVE TREES/PALMS SHALL BE REMOVED FROM SITE.
 2. ALL EXISTING TREES LOCATED ALONG THE WESTERN PROPERTY LINE ARE EXOTICS AND INVASIVES.



EDISON APARTMENTS EDISON APARTMENTS

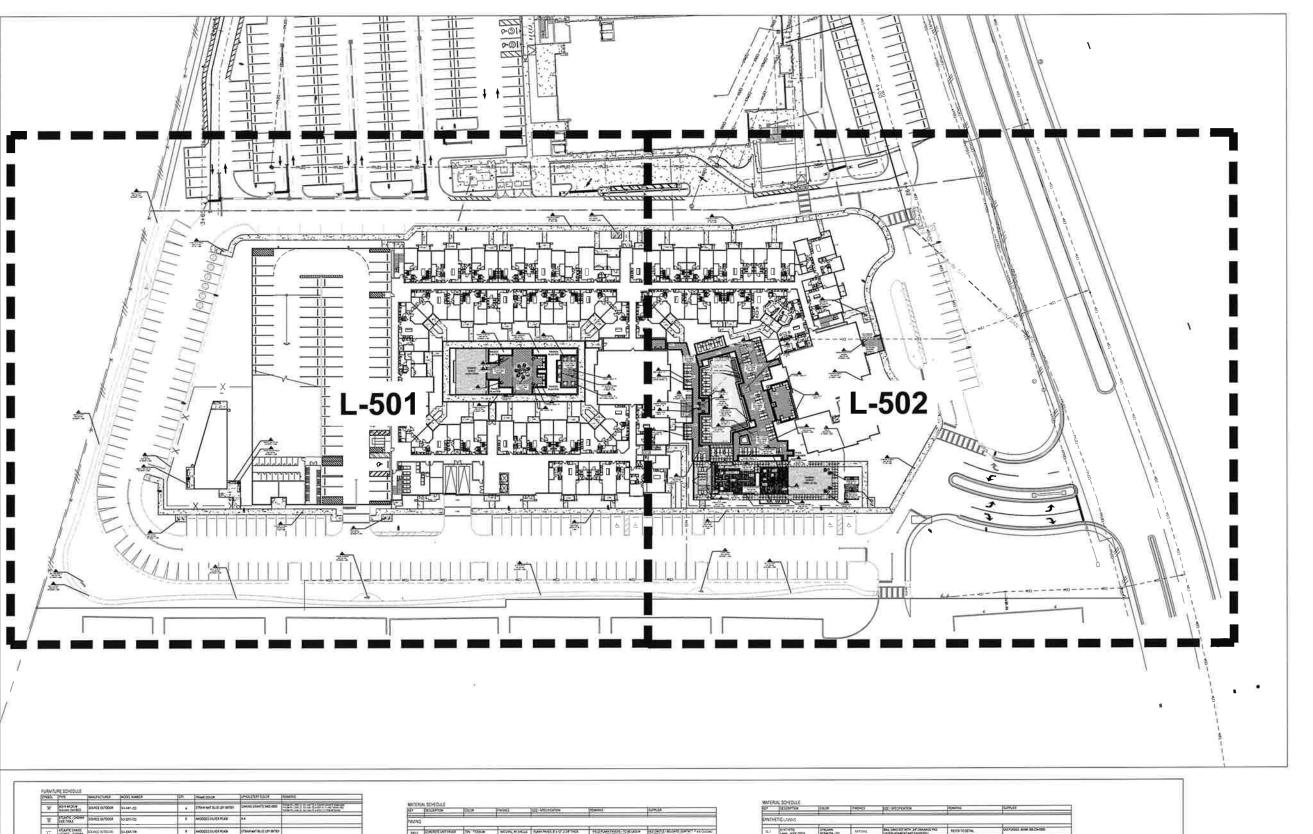
THE

Sheet Description

Project Number 2124/2305

KNOW WHAT'S BELOW
ALWAYS CALL SII
BEFORE YOU DIG

SUBMITTAL SET - ISSUED 07-31-2024



NA.	(PPP)	MAKEFACTURES.	WOOD, HARRIS	STY:	Firef CO.CR	POLITER 1004	Missing .
Ж.	SOURCE CAPITES	20/400 OL20004	10-3401-223	1.0	District State of Sta	CHALCON'S NO.	
ō,	POWE ORM	NOOPUS (CHUSO)	IO-305-322		#XXXXXXXXXXX	o .	
'C'	SONG -CHEMA	SOURCE OUTDOOR	10-306-18		ecodic publicas	proceed that are derive	
Ü	EARTH DIES MOUNT	SOURCE OUTSIGN	LANOSCAPE FORMS	1.	STAL FINESACOUTED	SUVER	
£	SPAN MODE SING CALL	SILVERT OUTSIDE	IC-1008-527		THE BUTCH HOSE TOP		CONTRACTOR SCHOOL OF THE TWO PROPERTY AND ADDRESS OF THE TWO
Ė	HAR DUMYE HARLE	DOWNET ON TOOM	ko-aza-ani	-50	NESSLER SALVER POINT	NA	
'G'	CHARSE LOUINGE	SOURCE OUTDOOR	3640.im	6	MODERATION CONTRACTOR IN	TRANSCE BUT UP STORY	
'K'	PUSIDI COSTABLE	SOURCE OUTDOOR	to-201-312		ANDREED SILVER PCHIEW	KA	
v	HEAST'S.	NOVACE ON JOON	FER DRITTERS (SEE	100	SOLD CHELL FOR MORRIS	DED 404 ACCINE	SOM DUT-ON MAD CONCENSIONS SOUTH OF THE SOUTH LAST MA STRAIN
'M'	COMP.	SOURCE OUTDOOR	HER DEPARTMENTSA		COLD CACOL FOR AND HARM STATE STATE STATE	CASS, VIV. 481 WEE CASS, VIV. 481 WEE	SENTENCHE MATERIAN MINISTER
N	ADRONDACK	SOURCE OUTDOOR	LAYOSCAPE FORMS LOLL DESIGNS	15.	COTRUCES RUMBING HOMOENSTY POUTSTAINE	(DF9III)	
Ü	Lepartor Hat	SOLASS OUTDOOR	lo-ma-rij		KESSLER SAVER PCHII	CIESHIDHS CHESTASH MICHIE	MAJERIA DI SOLUTO PER VINCENTA PARA PROPRETE PARA PROPRETE DOLUTO PER
P	GALLA CHARLE SACHE	SOURCE OUTDOOR	ANGSEAPE FORMS	20	ALIKE MINESPECIALES	SAVER	

d.	3550950m	1050A	moss	MIL DELACATION	times.	SPEAK
www						
P49.9	COMMUNICATION PARTIES POOL DECK FAILE	The Time	ACTION, NO POLICE	CARCINGSET CT DE TROS CARCINGSET	FACE PLANT FRANCIS - TO BE UND IN BARDOW STREET PACK MING	Control Marie Control Agracano
ME.	CLACKE & BANG PAYER	(mark)	NATIONS.	SHE WITHOUT FOR THE	SOURCE COURSE FURNISHED BOND	UNO. TIS TO BEEN BARBARE OF THE MANN HET
PARE						

PATA*						
PATE	_					
**1.5			_			
PATA!	DEPTHONE HEEL	EN PERIOR	GROUND FACE	CONC. UNITADOREMIES FETETITION	MAKE CITOR STREET, STREET,	COUNTY MILLION CONTROL PROGRAMME POR 100 PM.
****	CANADA POLITOR	5007	HASIP	COM UNITHING FEFTING	PELOFUNK HIVERS - TO SE UND IN RHISON RUNNING SING	PARTY HIS DON'T NEW YORKS
A41.18	CONCRETE UNIT FRICE.	Street	MITUAL	PLANS PAIGE S' 12" I SETTIMEN I SAMORED SET	THREE NEW PLANTS CATE AND THE	\$2.5437.2742.2410, 0.878.7 *********************************
PATIFIE	SHOW THE CALL SHOWS	IMEIA	NoTions.	COME OFF PARTY WAS THE THEX	ROWLED CONTROLS THE	DOMESTIC CONTROL OF THE CHARLES
PH-12	ENGETT WASHING	MICHAEL POCKSON	white	CONCUMPAGENTAL THE THEIR	REFER TO PLAN & CRETAIL FOR PATTERN	MANY NET WAS DESCRIBED ON

SL-1	Ower MOTORCE ELECTRIC	SERVICE-IN		SEE SANS SET NOW SAT DRAWNED FRO INCREMATING AND ENVIRONCE	MHR100/M.	CANNOTS AND MACHINE
16.0	SHOW COUNTRY OF THE	THUMBE OUT		THE CHARLES AND THE CHARLES AND	ABIKA 10081AL	CONTROL WINE SECTIONS
	AL SCHEDULE POOL EDGE MATERIA					
-			-	sati-sycator	PENNS	see of
HS4	AND COMMITTEES UNKNOWN AND COMES	6407	MOST.	PROTEKTORY.	TO BE MINUTED WHAT COME OF THE	CHARLES ADJUSTED TO THE PROPERTY OF THE PROPER
PC-7	WALES RESIDEN	egrapose rea encar activo oce	ARRA	MATERIAL STATE AND ADDRESS OF THE STATE AND AD	CANCEL SECTION	Service contact and artificiation Service and an expensive glocal flat to
PC-25	WATER TILE	entroller art	WYOR.	POPTO SHARKS THE DRIE	MUTELLION COMMENT IN NOT	SENCE SERVEY AND THE SERVEY OF THE CO.
PC-25	WATER THE	HATTON THE HATCH SERVICES TON SPACES CHARGES GRADETS	NO. INC. LEGISLA	PLANT WHEN ANY ANY THE WORLD AND THE WORLD AND THE PROPERTY AND THE PROPERTY AND THE PURPLE AND	MALE TEXA CONCURS MALE TO ACCURATE TO	Selection of the selection of the con-



KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG 19 hal 79 hen, 79 39 link Call 50 hen businesse days before deading



HH

Sheet Description

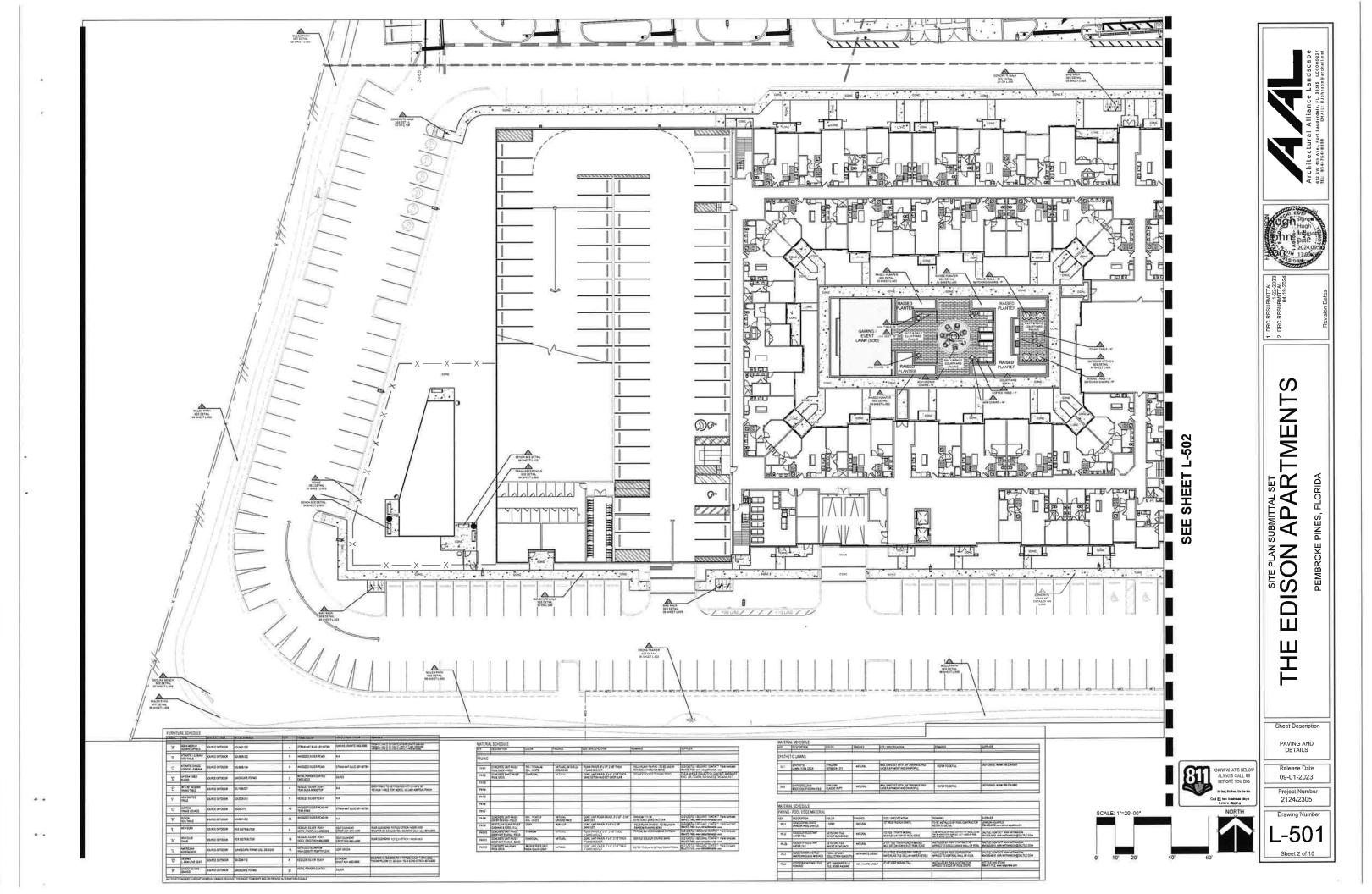
EDISON APARTMENTS

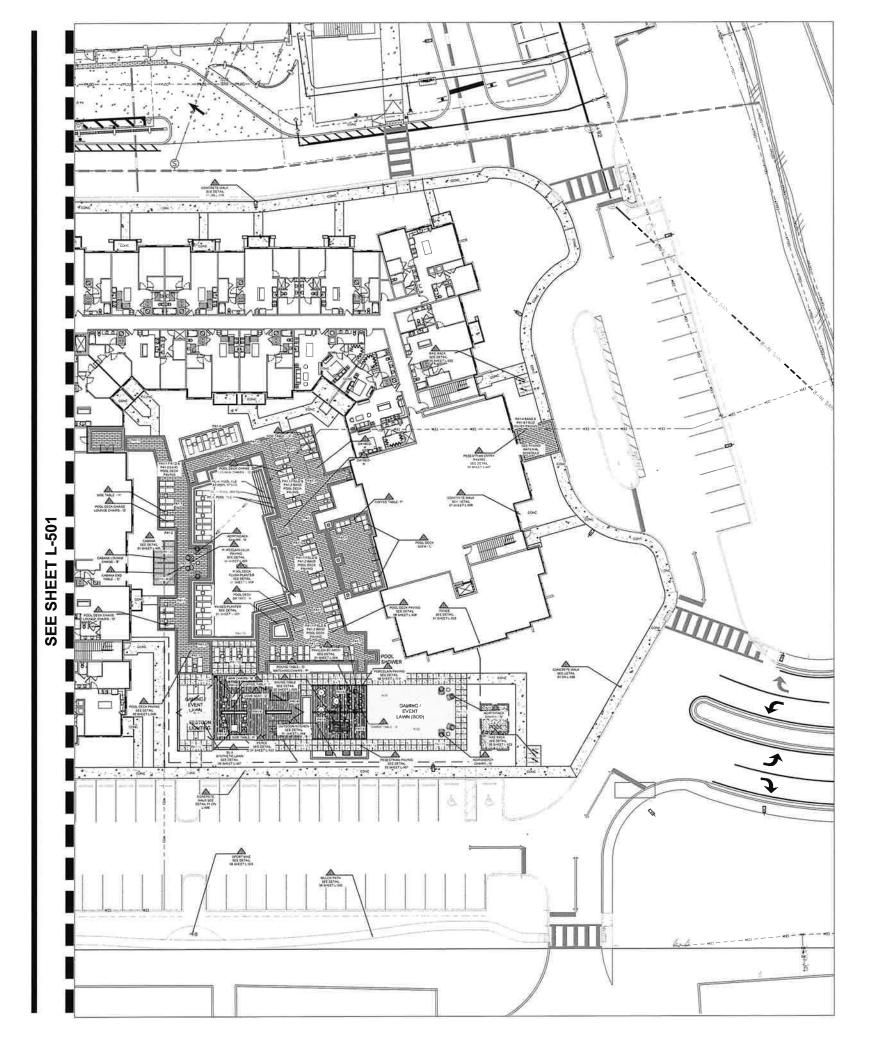
EDISON APARTMENTS

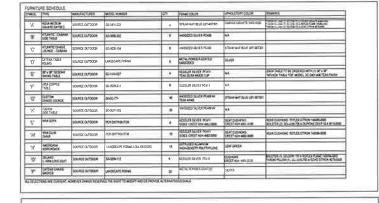
OVERALL DETAILS LAYOUT PLAN

Release Date 09-01-2023 Project Number 2124/2305

L-500







SEF.	AL SCHEDULE TRELAPION	1925	Factoria	IEEE SPECIFICATION	NIMAZ	NAME AND ADDRESS OF THE PARTY O
AVING		_				
PRILE	DOMESTITE UNIT PAVER	DIS-TITAMUM	NATURAL WISHELLS	PLANK PAYER, IT I 12" 2 MET THICK IT SAND BED SET	AND A STRETCHEN HOND	SSSTATE BY THE PROPERTY FOR SOME
6415	POST DECK	DARGE	XXTUXAL	SHE SHE PRICE FOR THE PRICE	SOLDER COURSE RUNNING BURD	ON THE LAMB CARRY COLOR AND
PASS						
7434						
P416						
PANA						
7017	-					
Pela	DOMESTIC OF SHIPS	EN-PENTER EN-WHITE	TOTORIO, GROUND FACE	CONT. GREET PROPERTY STATES AND SET	ENTOGRESS AND APPEAR	DECUTE WHEN THE PERSON
PASS	CARANT FOR THE	and .	NON NO	GAC OFF PARTY FY FY FY FY	FELD PLANK PAVERS - TO BE UND IN	Half Committee on the Committee of the Committee on the C
ANNE.	CHCKETS AND PARTS	Time.	RATIONAL.	PLANA PARCE, E E 12 3 LB TREA.	PIPERS, BEFORE COLUMN PATTERS	NAME OF TAXABLE PARTY.
PASS	CONDUCTOR PARTY	CHARLES	MEAN.	CHC IN THUS FOR THE SEA	300 M.J. SALINET COUNTY SHIP	SALES AND CONTACT NOW GIVEN
PANT	CONCRETE NACIONAL MODI OCCA	#5044500 S401	MATER.	COCCUPAGE VANCE FOR	REFER TO PLAN & DETAIL FOR PATTERN	MEDICATE RECORD CAMPA, Francisco

rgt.	SENSETION.	231.29	PASHS	IZI-UCIFOTOS	R(WAS	204/01
SYNTHE	TIC LAWNS					
SUI	STATUS IN.	STHLOWN MARKEN 279	NATURAL	BAL SACUET WITE SAT DANNES PRO LOCAL PROCESS AND AMERICAN.	REFER TO DETAIL	EASTGRASS, MANN SIDE ZIA-ÓRID
\$(-3	SHEETE LONE BICO COUPLON HOLE	STHLAWN SLASSIC PUTT	MATERIAL	BUT THE TELEVISION OF SOME HES	REFER TO DETAIL	0010000, see \$5-0-086
MANUFACT	ALSCHEDULE					
MANUFACT	NAME AND ADDRESS OF TAXABLE PARTY.	t [co.cs	/sees	lizi prorotox	65,0025	PAPPUER
MUNC	- POOL EGGE MATERIA		/90/43 M/134	TEL SECUCION	NEMORS IN SUBJECT OF MAR DESIRED A KING TO DETAL	DAFFUER AMERICA ACCUMES SHAN, STO was been requested accus
AAUNO ND	POOL EGGE MATERIA INSCAPTION INCOCONNECIMAL	COLDM			THE SUPPLIES IS NOT COMMON OF	AWSON ACHATICS
HAUNG HEI	POOL EGGE MATERIA MEDIATRO POCOPRESION MATERIALISMO MATER	OAR SET	MUNIC	IZWEETHER PRODUC	ACTO TO STALL TO MAKE SOME THE TAIL	ANSON ADJUSTED TO 435-JUST over beautiful con RE-SAL-ORD, AND HATHANSON GOALTILE OF
PAUNO REI REI	HOOLEGE WATERA	COMPA UNITY UN	METAL METAL	Anti-anti-anti-anti-anti-anti-anti-anti-a	HI STALLS IT ACT CONTROLS RECEDENT THAT CAN THE CACT	ANSON ADJUSTED TO 435-JUST over beautiful con RE-SAL-ORD, AND HATHANSON GOALTILE OF





EDISON APARTMENTS

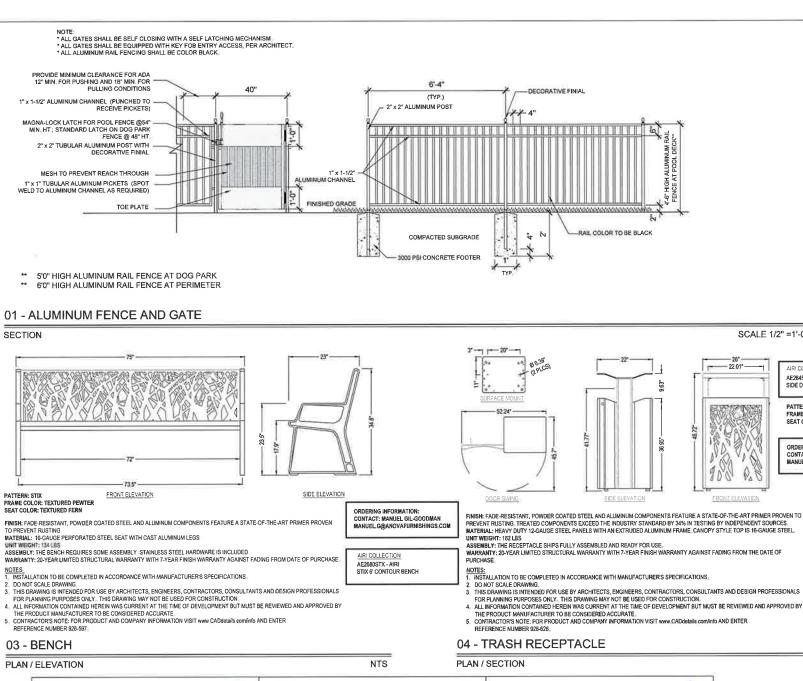
EDISON APARTMENTS 出上

> PAVING AND DETAILS Release Date 09-01-2023 Project Number 2124/2305

L-502 Sheet 3 of 10

PEMBROKE PINES, FLORIDA





SCALE 1/2" =1'-0" SECTION AIRI COLLECTION AE2645CT-STX - AIRI STIX 45 GAL SIDE DOOR RECEPT, CANOPY TOP PATTERN: STIX FRAME COLOR: TEXTURED PEWTER SEAT COLOR: TEXTURED FERN ORDERING INFORMATION: CONTACT: MANUEL GIL-GOODMAN ANUELG@ANOVAFURNISHINGS.COM

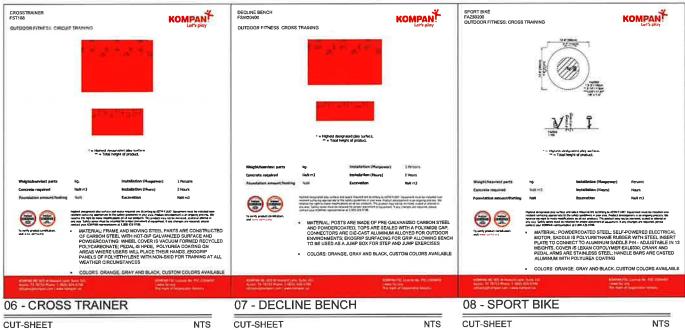
NTS

 TO BE INSTALLED PER MANUFACTURER
RECOMMENDATION SEE PLAN FOR WORKOUT STATION AREA LOCATIONS . AGA FINCLUSIVE EQUIPMENT

FINISH: FADE-RESISTANT, POWDER COATED STEEL AND ALUMINUM COMPONENTS FEATURE A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING, TREATED COMPONENTS EXCEED THE INDUSTRY STANDARD BY 34% IN TESTING BY INDEPENDENT SOURCES, MATERIAL: HEAVY DUTY 12-GAUGE STEEL PANELS WITH AN EXTRUDED ALUMINUM FRAME. CANOPY STYLE TOP IS 16-GAUGE STEEL

--- 22 01°-

- DO NOT SCALE DRAWING.
 THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS.



100.00

ROOT BARRIER - TREE LOCATIONS, REFER TO NOTES FILTER FABRIC - GRANITE ENVIRONMENTAL 16oz NON WOVEN GEOTEXTILE OR PLANTING MATERIAL - REFER TO AMENITY LEVEL LANDSCAPE PLAN 2" x 12" x 24" CAST STONE CAP STUCCO FINISH TO SAMPLE FOR APPROVAL PRIOR TO MATCH WITH BUILDING INSTALLATION 8" WIDE POURED IN PLACE CONCRETE WALL 4" COMPACTED LIMESTONE STUCCO FINISH TO MATCH PAVERS PER SCHEDULE COMPACTED SUBGRADE 1" EXPANSION JOINT WATERPROOFING MEMBRANE CONCRETE FOOTER. TREMCO TREMPROOF 250GC OF APPROVED EQUAL POOL GUTTER, SEE DETAIL ROOT BARRIER NOTES: PLEASE REFER TO POOL ENGINEERING DRAWINGS FOR ACTUAL WALL CONFIGURATION E LICTS INCLUDE "DEEP

02 - RAISED PLANTER

NTS

COLOR: SAGE FINISH: FADE-RESISTANT, POWDER COATED STEEL FINISH FEATURES A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING. MATERIAL: THE BIKE RACK IS 2.38' O.D. 12-GAUGE WALL STEEL TUBING. CAPACITY: 2 BIKES. UNIT WEIGHT: 22 LBS ASSEMBLY: BIKE RACK REQUIRES NO ASSEMBLY EXCEPT FOR THE SURFACE INDUNTING ALWARRANTY; LIMITED 20-YEAR WARRANTY, STRUCTURAL WARRANTY; LIMITED 20-YEAR WARRANTY AGAINST RUSTING, PEELING, CHIPPING, CRACKING, MCID, MILDEW, MOD EFECTS IN MATERIALS AND/OR WORKMANSHIP, 7-YEAR WARRANTY AGAINST FADING.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

1. INSTALLATION TO DE COMPTETEUE IN ROCCIONATE.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS
FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY
THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW. CADdebals com/info AND ENTER
REFERENCE NUMBER TPA EDISON_BA Health PAVING LAYOUT & DETAILS 04-116-24.

CIRCLEBR - TANDEM BIKE RACK. SURFACE MOUNT, POWDER COATED

ORDERING INFORMATION: CONTACT: MANUEL GIL-GOODMAN MANUELG@ANOVAFURNISHINGS.CO

05 - BIKE RACK

NTS ELEVATION

SITE DETAILS

Project Numbe

DESIGN INTENT ONLY.
CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL, AND MEP PRIOR TO FABRICATION AND



TMEN. Y ⋖ <u>م</u> 1

FLORIDA

PINES,

PEMBROKE

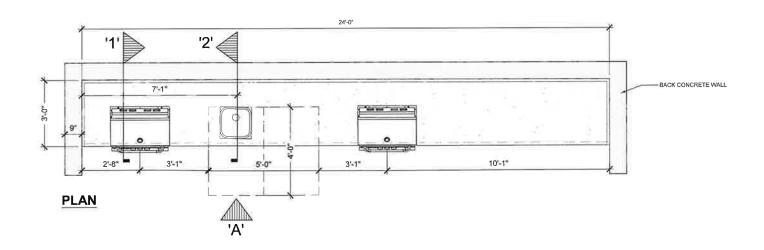
0 **S S** Ш

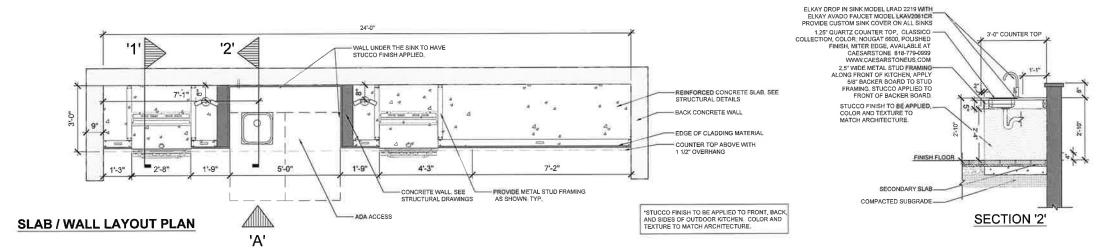
Sheet Description

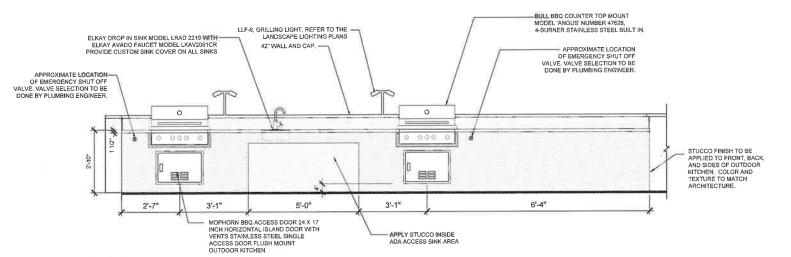
Release Date 09-01-2023

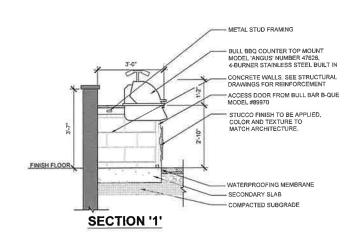
2124/2305

L-503 Sheet 4 of 10









ELEVATION 'A'

DESIGN INTENT ONLY.
CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL,
AND MEP PRIOR TO FABRICATION AND
INSTALLATION.

01 - OUTDOOR KITCHEN @ POOL

PLAN / SECTION / ELEVATION

.

SCALE 1/2" =1'-0"

Architectural Alliance Landscape 612 SW 416 Ave., Port Laudschale, FL, 33315 LCC00237 TEL 954-754-8959 EHALL: HJohnton@archell.net



2 DRC RESUBMITAL
04-19-2024
Revision Dates

SITE PLAN SUBMITTAL SET SON APARTMENTS

HE EDISON APAR

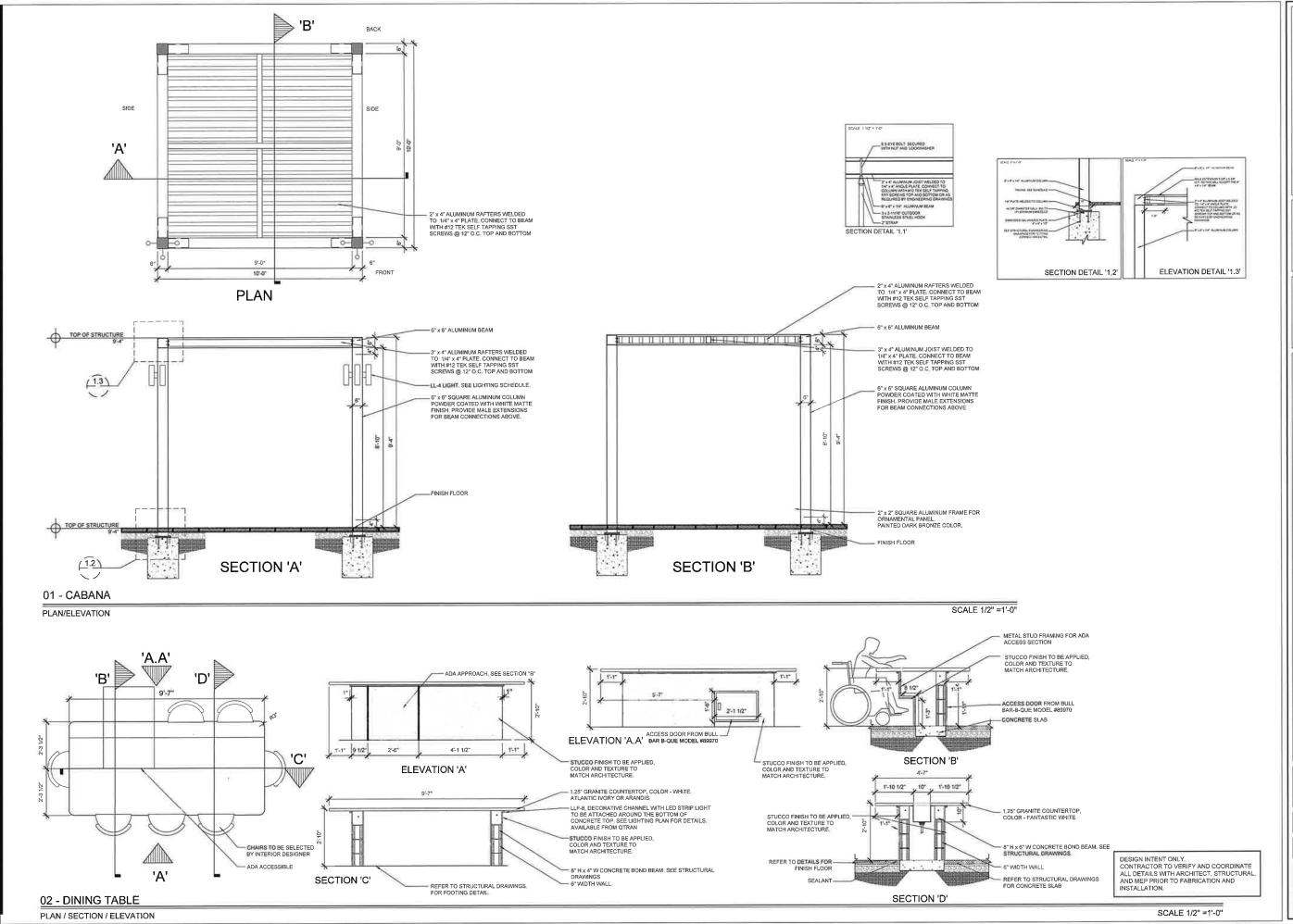
Sheet Description
SITE DETAILS

Release Date 09-01-2023

Project Number 2124/2305

Drawing Number

L-504
Sheet 5 of 10



¥ ...

. -



PARTMEN PINES, SITE PLAN S PEMBROKE

Sheet Description

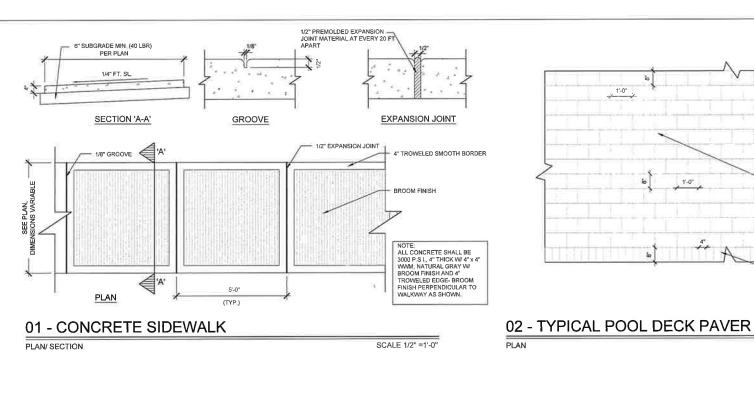
王

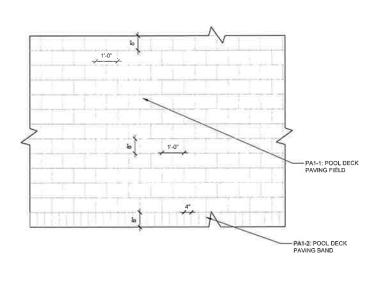
SITE DETAILS

Release Date 09-01-2023

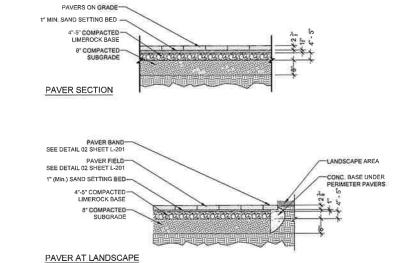
2124/2305

L-505 Sheet 6 of 10



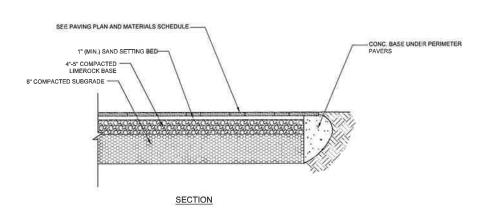


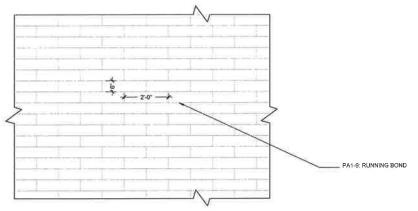
SCALE 1/2" =1'-0"

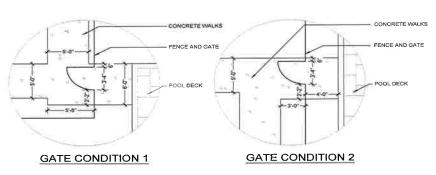


03 - TYPICAL POOL DECK PAVER EDGE

SCALE 1/2" =1'-0"







04 - PAVER AT LANDSCAPE EDGE

SCALE 1/2" =1'-0" SECTION

05 - PORCELAIN PAVING

PLAN SCALE 1/2" =1'-0" 06 - GENERIC FENCE DOOR LAYOUT

SCALE 3/16" =1'-0" SECTION

DESIGN INTENT ONLY.
CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL,
AND MEP PRIOR TO FABRICATION AND
INSTALLATION.



SUBMITTAL SET APARTMENT SITE PLAN S $\overline{\Box}$ Ш

PEMBROKE PINES, FLORIDA

Sheet Description SITE DETAILS

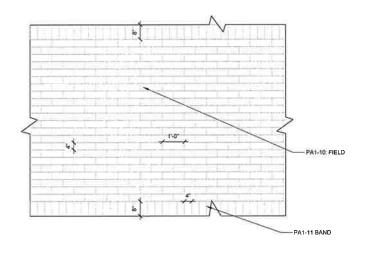
王

Release Date 09-01-2023

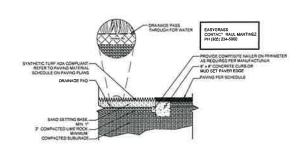
Project Number 2124/2305

Drawing Number L-506

Sheet 7 of 10



PA1-8 FIELD



01 - VEHICULAR ENTRY PAVING

SCALE 1/2" =1'-0"

02 - ENTRY PAVING

PLAN

SCALE 1/2" =1'-0"

03 - SYNTHETIC TURF AT GRADE

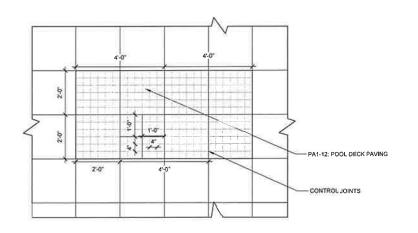
N.T.S.

5" STEEL EDGING SURE-LOC ALUMINUM EDGING CORP. A5462 144TH AVENUE HOLLAND, MI 49423 1-800-787-3562 (616) 392-5134 SPECIFIED BEDDING MATERIAL-(FOR LANDSCAPE) TOP OF GROUND NO MORE THAN 1/2" BELOW TOP OF EDGING SYNTHETIC TURF AS SPECIFIED TAPERED STEEL STAKES TO INTERIOR OF BED AREA 6" COMPACTED AGGREGATE SIZES AVAILABLE 1/4" X 5" 🔽

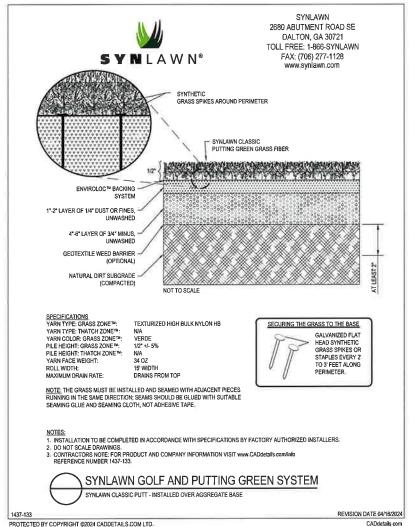
04 - SYNTHETIC LAWN @ LANDSCAPE EDGE

SECTION SCALE 1/2" =1'-0"

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



05 - PEDESTRIAN PAVING @ POOL DECK RECREATION AREA



DESIGN INTENT ONLY.
CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL,
AND MEP PRIOR TO FABRICATION AND
INSTALLATION.

06 - SYNTHETIC LAWN @ GAME AREA SL-3



APARTMEN'

O N N E S

Ш

Sheet Description SITE DETAILS

Release Date

H

09-01-2023 2124/2305

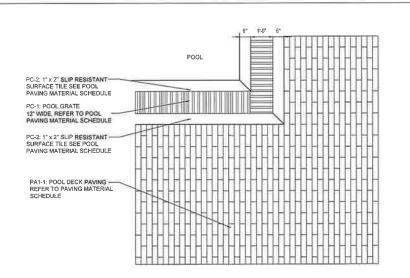
L-507

Sheet 8 of 10

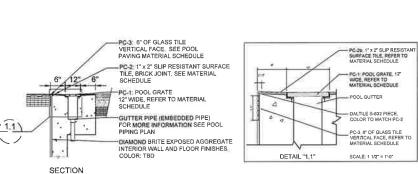
PLAN

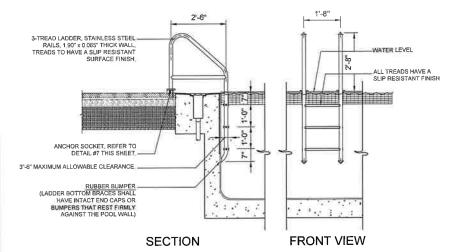
. .

SCALE 1/2" =1'-0"



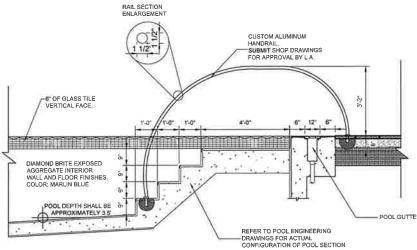
PC-1: POOL GRATE, 12" WIDE, REFER TO MATERIAL SCHEDULE ON SHEET L-101 PC-2: POOL SLIP RESISTENT TILE, 6" WIDE EACH SIDE OF POOL GRATE, REFER TO POOL PAVING MATERIAL SCHEDULE PA1-1: POOL DECK PAVING, REFER TO PAVING MATERIAL SCHEDULE PLAN SCALE: 1" = 1'-0"





01 - POOL DECK PAVING

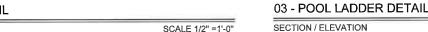
PLAN SCALE 1/2" =1'-0"



02 - POOL GUTTER DETAIL

0

SECTION SCALE 1/2" =1'-0"

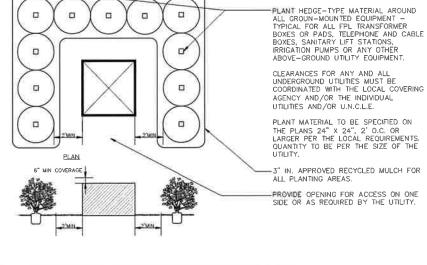


SCALE 1/2" =1'-0"

POOL GUTTER

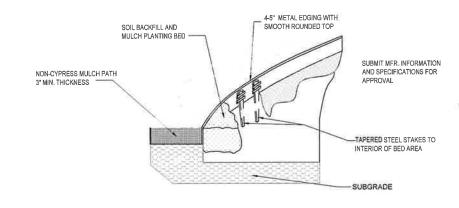
04 - POOL STEP DETAIL

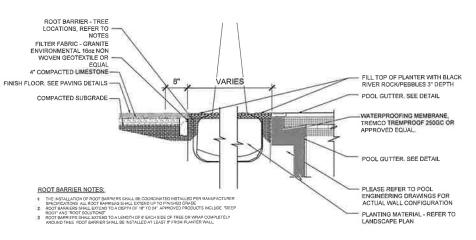
SCALE 1/2" =1'-0" SECTION



05 - MECHANICAL EQUIPMENT SCREENING DETAIL

NTS





07 - POOL DECK FLUSH PLANTER

SCALE 1/2" =1'-0" SECTION



DESIGN INTENT ONLY, CONTRACTOR TO VERIFY AND COORDINATE ALL DETAILS WITH ARCHITECT, STRUCTURAL, AND MEP PRIOR TO FABRICATION AND INSTALLATION.



TMEN-**₹**₹ APP.

PINES, O N O N ဗ် လ 工

> Sheet Description SITE DETAILS

09-01-2023

2124/2305

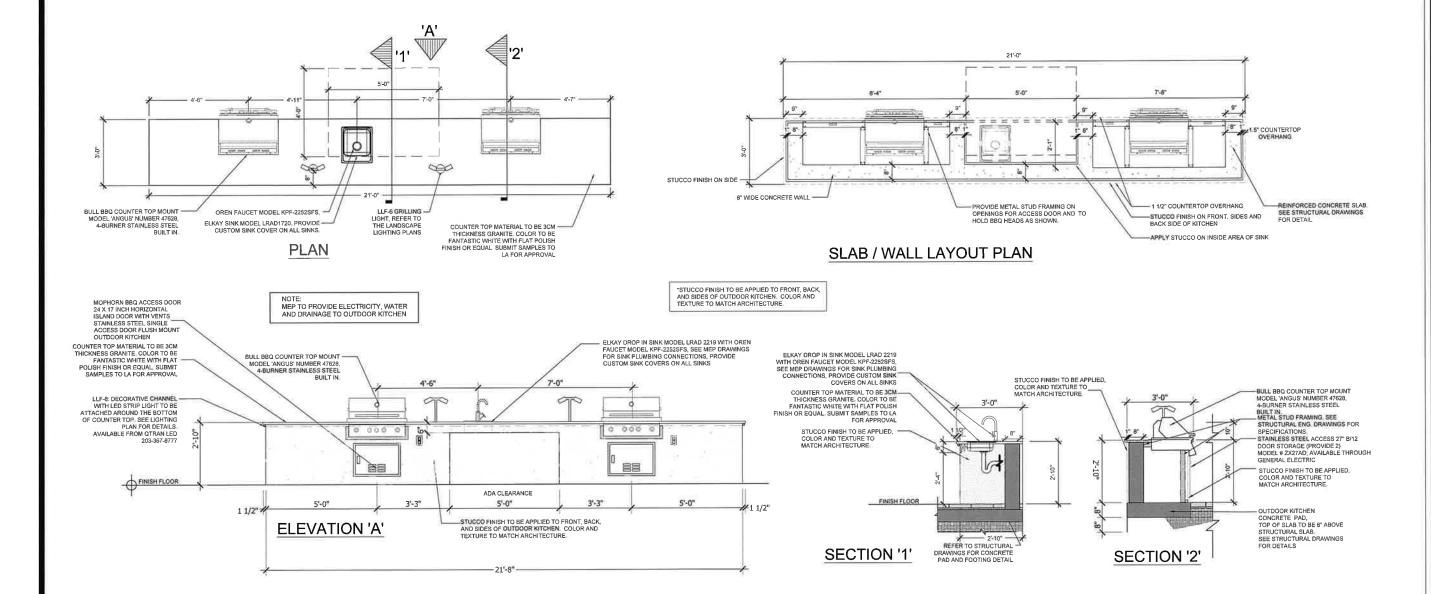
Drawing Number L-508

Sheet 9 of 10

SECTION

06 - PERIMETER MULCH PATH

SCALE 1/2" =1'-0"





UBMITTAL SET APARTMENT ON S

PEMBROKE PINES,

E CO Ш I

Sheet Description SITE DETAILS

09-01-2023

Project Number 2124/2305

DESIGN INTENT ONLY

INSTALLATION.

SCALE 1/2" =1'-0"

CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL
AND MEP PRIOR TO FABRICATION AND

Drawing Number L-509

Sheet 10 of 10



LLF-1 BOLLARD

PSY424 LED Bollards and Pathway Luminaires



ğ bere 195

PSY424 LED

we-ef Bollards and Pathway Luminaires

we-ef

Specifications

Gaskat: Fasteners:

More en grade, all-eluminoum construction. Pole section features galvanised steel

RFC_R_Reflection From Constitut many lens RALS004 Black
RALS007 Grey Metallic
RALS016 White
RALS019 Dark Bronze

ETL, U.L-1599 equivariant, CSA-CZ2.29/250.0 Suitable for Wet Locations

Carciship features a one week strp time for Septishits and two wask ship time for the east of as Gore product. All applicates information must be included for orders to be processed and takkin must be in one of our 4 standard features. A maximum to the quantity of 30 prects applies. ◆ Ormany Style

Salucone CCG_R_ Commelland Compression Gaster PCS Polymer Coated Stamless Satel Hardware

Impact protection. Lisungs ETL based Surnable for wet incomoral.

Electrical Spacification
Power supply
Power locur:

Integral (ECS) electronic driver 120V-277V 0-10V dimmeble, to be specified with order.

Integral EC electronic converter

ZAT430-FT LED

Material description

Street and Area Lighting

Onver / Bellass: Lifetime Ta=25°/40° L90B10 > 90000h

wit 49 LBM Feb LBM Feb LBM SALLE Sac Spool Notes + 174 F2 2003 [410 Dispools time | Warrendale PA 1908 U.S.A. | Tel+1721 20 CCCII | who candivored com | www.ve.et.com | 1405-202 CC 14 Televisia candidations and arran recognis

WR-CF LEDITING LESA LLC
Spc: Sagary Hudins +174 770 3855 (1) 30 Teyrators (a re) (Warmanie PA 1938 U.S.A.) Fel +1747 47 0000) orbuse@weed upon | more seed com | 14-05-2027 00 14
Tehrand Applicational del Britis sectioned



. .

. .

ZAT430-FT LED we-ef Street and Area Lighting

a 19.09 0669* *299.215 [C50][R50] (C60) Description

IP66. Class I. IK09. Marine-grade, die-cast aluminum alloy.
SCE superior corrosion protection including PCS hardway.
Silicone CCG5 Controlled Compression Gasket. PMMA
main lens. CAD-optimized indirect optics for superior
illumination and glare control. Integral driver in thermally
separated comparment. Factory-installed LED circuit
board. 0-10V Dimming comes standard with luminaire.
Luminaire is factory-sealed and does not need to be
opened during installation. Recommended mounting height 10-20 ft. Specify product with 7 Digit product code - Finish Color.
Accessories, such as mounting, optical, and electrical, must
be specified separately.
Example: XXXXXXXX (PODM (Black)
+ XXXXXXXX (Accessory 1)

Body Marine-grade, die-cast aluminium alloy Colors RAL9004 Black RAL9007 Grey Metallic RAL9016 White RALB019 Dark Bronze Silicone CCG® Controlled Compression Gasket PCS Polymer Coated Stainless Steel Hardware Ingress protection IP66 Corrosion resistance 5CE Windage 0.130 m² Electrical description Integral [ECG] LED driver in 120-277V Power supply Oriver / Ballast Integral EC electronic converter Power factor Additional information Lifetime Ta=25°/40° L70850 > 50000h ETL, UL-1598, CSA-C22.2#250.0 Suitable for Wet Locations Listings WE-CF LICENTING VIA. LLC
410-D Keystone Drive, 15966 Warrandale, PA 15986 - Phone: +1 724 742 0030
subject to technical changes and errors. *Generated on 07/02/2024

ZAT430-FT LED Street and Area Lighting

we-ef

Configurations

Light distribution	Part ID	Light source	Rated lumens	Rated Input power	ÇRU	Weight
(CSO) Type V Short	115 1646	LED FT 12W(2700K)	1456.5	14 W	80	17.0
W 19	115-1647	LED-FT 12W (3000K)	1555.1	14 W	80	17.0
600	115-1648	LED-FT 12W (4000K)	1638.5	14 W	80	17.0
1	115-1649	LEO-FT-17W (2700K)	2226.4	20 W	80	19.97
	115-1652	ITOTT 24W [2700K]	3072.2	27 W	80	12.0
	115-1653	IID:F1:24W(3000K)	3201.2	27 W	80	17.0
	115-1654	(ED)T-36W(4000K)	3337.7	27 W	80	17.0
symmetric distribution (C60)	113-1658	LED-FT-12W (2700K)	1274.6	14 W	20	17.0
-	115-1659	HD FT 12W(3000X)	1360.9	14 W	.00	17.0
	1151660	LED FT 12W (4000K)	1433.9	14 W	80	17.0
	115-1661	LED FT-17W (2700K)	1948.4	20 W	10	55.10
200	115-1664	LED FT 24W (2700K)	2688.6	27 W	20	170
	115-1665	1ED FT-24W (3000K)	7901.4	27 W	80	17.0
	115-1666	LED-F1-24W[4000K]	2920.9	27 W	80	17.0
rectangular [RS0]	115-1681	LED FT-12W (2700K)	1462	TAW	80	19,97
	115-1884	LED FT 24W (2700K)	3096-6	27 W	80	19.97
100	115-1974	HD FT-17W (2700K)	2244.1	20 W	80	19.97
	115 2082	LED #1-37W (2700K)	4698.4	42 W	80	19.97

WE-EF LIGHTING USA, LLC 410 D Keysone One, I S065 Varrendale, PA 15086 - Phone: *1 724 742 0030 customerupport.uss@www.fccom - Intipat//we ef.com/us Subject to state-back-diverse and everys. - Generated on 97/02/2024

20/5



DRC DRC

S

APARTMEN APARTMEN ON S E S

Ш

PINES,

PEMBROKE

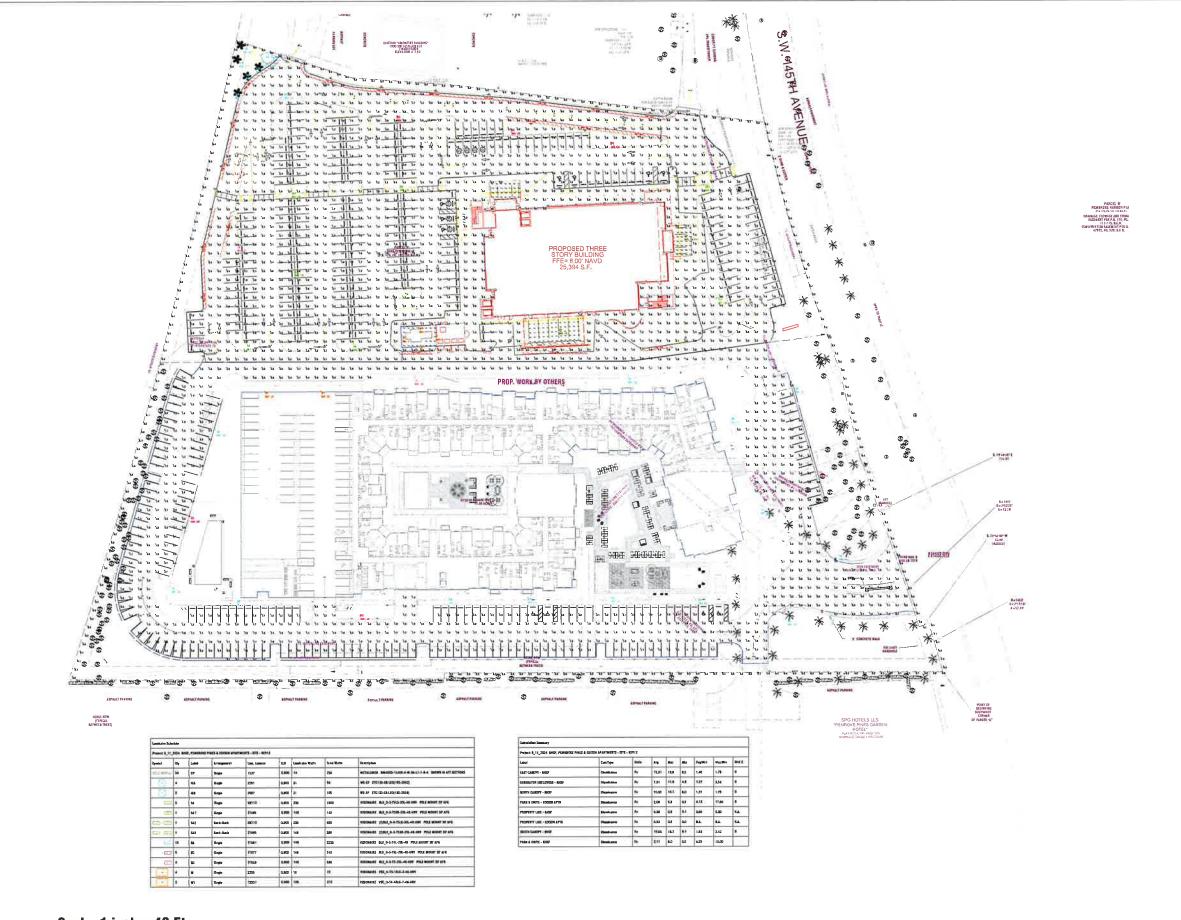
Sneet Description LIGHTING SPECIFICATIONS

Release Date 09-01-2023 Project Number

2124/2305 L-510

Sheet 11 of 11

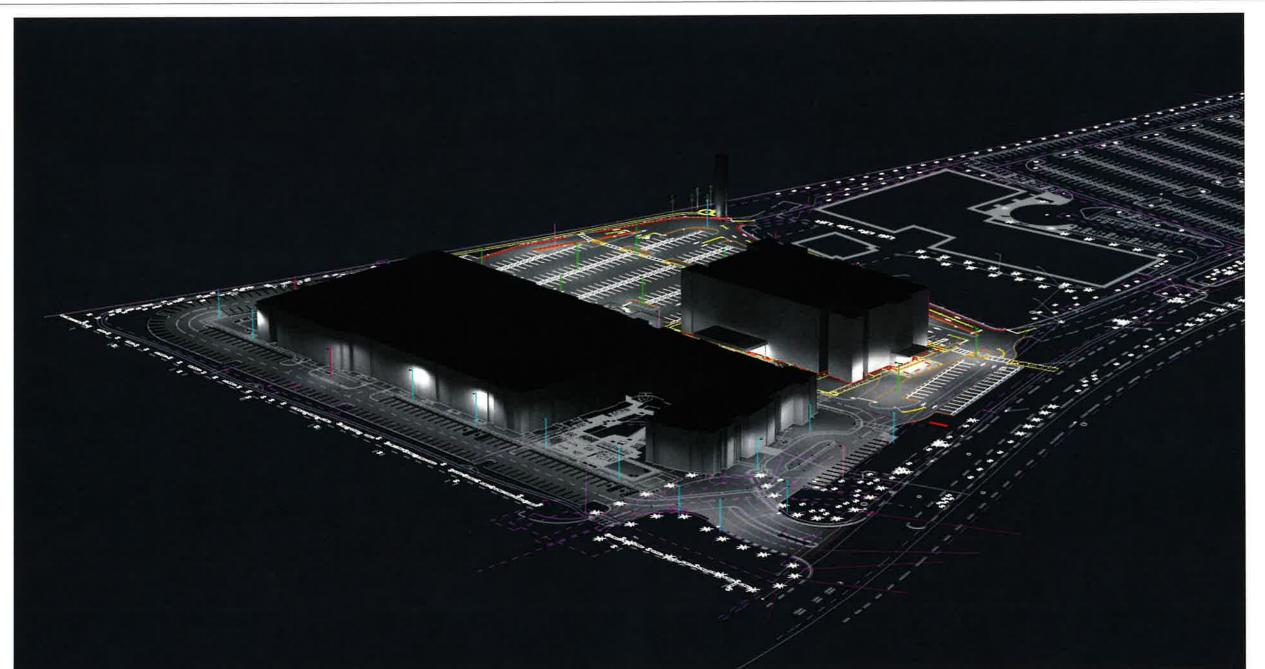
DESIGN INTENT ONLY. CONTRACTOR TO VERIFY AND COORDINATE
ALL DETAILS WITH ARCHITECT, STRUCTURAL,
AND MEP PRIOR TO FABRICATION AND
INSTALLATION.



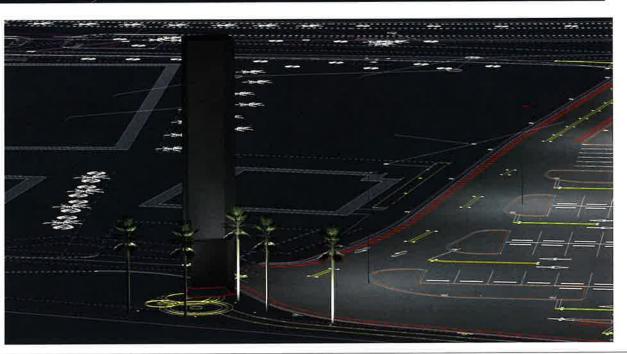
Scale: 1 inch= 40 Ft.

BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11

Date:9/11/2024







Sales Rep: Peter Farinas

Photometrics: L. Zemanian

Office: Ft. Lauderdale

Contact: (305) 219-0799

Disclaimer:

With the SESCO Lighting provides this plotomatic raport for purposes of comparison which the SESCO Lighting product his end. The information provided is bassed on stendardized infusity procedures.

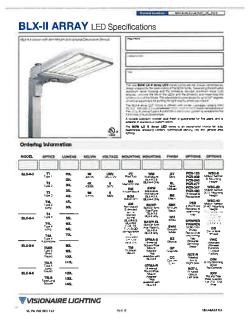
This behaviory performance will always felf from that observed in the field one to a great immater of wistibles, both known and unknown (tistaliation in methods power quality, lamping, recoverable and non-recoverable light loss factors, etc.)

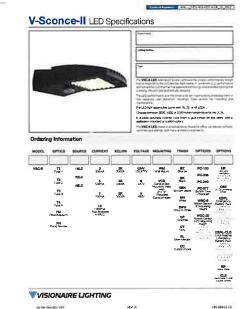
In general, SESCO Lighting considers numerical studies to be predictive in that they cannot character to the transfer of the productive or great studies and non-recoverable light loss or the second product of the second products and the productive in the title second product as such, specification decisions must be throughly based upon experience, consultation with the manufacturer, and, above all, common sensu.

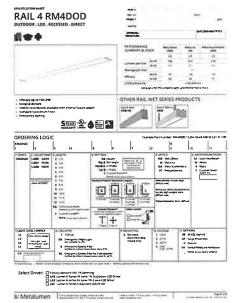
SESCO

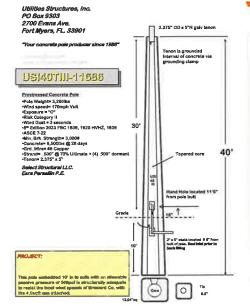
BHSF & EDISON APARTMENTS PEMBROKE PINES, FL SITE - REV11

Date:9/11/2024













Disclaimer.
SESCOL Lighting provides this photometric report for purposes of comparison within the SESCOL Lighting product line only. The information provided is based on standardized industry procedures.

This besend on standardized industry procedures.

This besend on standardized industry procedures.

This besend on standardized industry procedures.

This provides the service of the service

Photometrics: L. Zemanian

Contact: (305) 219-0799

Sales Rep: Peter Farinas

Office: Ft. Lauderdale

Date:9/11/2024

BHSF & EDISON APARTMENTS PEMBROKE PINES, FL SITE - REV11

The digest to got to be the the the to the ter the to the to the to the ter the ter to the ter to the ter to the \$\frac{\x_1}{2}\$ \frac{\x_1}{2}\$ \frac{\x_2}{2}\$ \frac{\x_3}{2}\$ \frac{\x_3}{2}\$ \frac{\x_2}{2}\$ \frac{\x_3}{2}\$ \frac{\x_3}{2 \$2 \$9 \$.8 \$5 \$9 \$0.9 \$2.3 \$4.0 \$5.9 \$7.2 \$7.6 \$6.7 \$4.8 \$1.9 \$4 \$6 \$6 \$2.2 \$5.0 \$68 \$7.6 \$7.1 \$5.7 \$7.7 \$2.1 \$0.8 \$7.7 \$6.8 \$7.7 \$8 \$5.2 \$1.0 \$1.1 \$1.4 \$1.0 \$13.4 \$12.6 \$13.9 \$15.3 \$16.6 \$17.5 \$17.6 \$16.6 \$14.6 \$11.9 \$1.5 \$1.6 \$1.7 \$12.2 \$14.9 \$16.6 \$17.6 \$17.3 \$16.6 \$15.1 \$13.7 \$12.6 \$11.1 \$10.0 \$12.6 \$1.7 \$10.0 \$12.6 \$11.1 \$10.0 \$12.6 \$11.1 \$10.0 \$12.6 \$11.1 \$10.0 \$12.6 \$11.1 \$10.0 \$12.6 \$10.0 \$1 المنظ المنظ المنظ الديال الديا g 54 %,7 % 3 %,7 % 5 %,8 %,0 % 9 %,1 %,2 %,2 %,6 %,5 %,3 %,5 %,2 %,5 %,6 %,7 %,5 %,0 %,1 %,0 %,1 %,7 %,7 %,2 %,7 %,3 \$ 8 \$ 6 \$ 1,6 \$ 2 \$ 10.7 \$ 10.8 \$ 10.7 \$ 10.8 \$ 10.7 \$ 10.8 \$ 10.0 \$ 0.0 \$ 10.0 \$ 0.0 \$ 10.0 \$ 9 7.3 5.3 11.1 4A.9 12.9 13.4 14.0 13.7 13.1 12.4 11.0 10.6 5.0 7.4 16 15.5 5.1 10.6 11.9 A.2.4 13.2 13.7 14.0 13.4 12.6 A.1.9 11.0 5.3 7.2 3.7

MH-9.5 \$\frac{1}{2}\$, \$\frac % 6 %,9 %,1 % 10,6 % 12,6 % 12,0 % 12,0 % 12,1 % 12,6 % 12,0 % 1 \$5. \$4. \$4. \$6. \$6. \$10. \$11.5 3.6 7.1 8.7 30.0 10.8 31.0 11.0 10.9 30.9 30.9 38.4 3.3 3.4 3.4 UN. 8 5.9 5.2 5.4 5.1 5.3 5.1 5.0 5.1 5.2 5.8 5.8 5.1 5.7 5.3 14.3 5.3 6.5 7.6 6.2 6.4 6.2 6.2 6.2 6.3 7.9 7.0 5.7 4.4 5.2 14.3 \$ 5 7 0 6 2 6 9 9 0 8.8 8 8 9 9 0 8 6 7 6 6 2 4 7 3 3 -4.7 6.4 8.2 9.7 10.4 10.7 10.6 10.6 10.6 10.6 10.2 9.1 7.4 5.5 5.8 3,2 3,4 3,4 10,7 11,6 12,1 12.5 12,6 12,4 11,9 11,1 10,2 1,1 1,1 MH: 9.5 157 52 68 61 69 50 68 67 69 50 67 77 52 71 5.1 3.4 4.7 6.1 7.3 60 6.1 6.0 7.9 6.0 6.1 7 8 6.9 5.6 4.3 3.1 3.4 3.0 6.6 7.9 6.7 8.8 8.6 8.6 8.7 8.8 8.4 7.5 6.0 7.5 3.2 A1 80 99 93 102 104 104 103 104 104 105 8.8 5.5 5.5 \$. 9.0 \$ 1 10.4 11.3 11.8 12.2 12.3 12.1 11.1 10.0 5.4 6.3 4.1 5.7° 5. 11 11.0° 1.96 12.6 12.1 12.4 12.9 12.3 1.96 10.5 1.2 10 € MH: 9.5 Aug. Die Die Dog Ligt beie bei ben beie beie beie bie Die Die Die The the the thin the two ten the the the the the the the 3.8 3.6 3.8 3.9 3.7 28.8 28.9 20.0 20.8 20.0 5.4 3.5 3.9 3.0 5.5 3.7 35.0 \$2 \$6 \$6 56 56 56 57 57 56 57 57 500 58 500 500 500 500 2. 31 1 33 3, 62 63 63 63 62 56 50 40 50 22 2 | 30 40 3.1 3.1 82 84 65 84 61 36 AT 3T 3T 3.7 1.9 2.1 5.2 5.7 6.4 7.6 7.4 7.8 7.9 7.9 TENTE THEFT 3.2 3.5 3.6 3.6 30.4 31.6 31.6 32.2 31.6 31.6 30.2 31.7 3.2 31.2 31.2 2.1 (12 _7.5 _12.0 m) 15 5 16 6 17 3 16 1 17 3 16 6 15.3 11 1 1 2 1.1 32.6 4.6 9.6 11.0 GBe 1 19.2 20.0 GB0.9 20.0 19.2 GB7.6 11.1 7.9 4.1 2.4 -3.5 4.1 7.7 1e. 10.4 15.1 15.9 16.3 15.9 15.1 13.5 10.5 8.8 4.0 9.3 2.5 % 3 % 7 11.9 15.0 16.5 17.3 17.7 17.4 16.6 14.6 11.4 % 1 4.0 2 3

Landrem Lighton Symbol	I HANDFACE	(div	T Cabel	Description.	TW	Lum Walts	T LUNC CURREN
0	Libraria Lighting	20	GA.	TO PLUSH WITH BOTTOM OF TUDIST	1 000	62,14	12664
				TOT COUNTY OF TOTAL			_

Landerin Lighting Calculation Number	eq.	2011		- 757 V / 100	1000		
Light	Calcippe	104	1 200	Pax	1.00	Arg-Min	U49/07
Dive Lane Typical	100000	26	8.02	17.6	10	8.95	17.6
WYPER	100,000	75	110	20.9	7.9	5.82	110



255 S. Orange Avenue Suite 1600 Orlando, FL 32801 P 407.841,9050 www.tlc-engineers.com

© Copyright 2020 TLC Engineering Solutions, In TLC Project No.: 121089 THINK, LISTEN, CREATE.

The Edison Apartments

Consultants

Revisions:

No Date Description

11.13.23 SITE PLAN SUBMITTAL

Seal



Project No :	121089
Issue Date:	11.13.23
Drawn By:	HLN
Approved By:	WEA
Scale:	3/32" = 1'-0

PARKING GARAGE
LEVEL 1 PHOTOMETRICS

Drawing

E111

PARKING GARAGE LEVEL 1 - PHOTOMETRICS
3/32" = 1'-0"

49 75 100 116 124 126 128 126 121 98 80 60 52 62 83 100 122 127 128 126 123 115 98 71 46 112 94 71 61 74 96 114 147 155 161 157 150 188 11.8 8.9 5.8 74 11.5 157 181 19.4 19.7 19.6 19.7 11.0 114 111 57 64 17 11.2 19.4 19.7 19.7 MH: 95 6.2 9.3 12.1 14.0 15.0 15.6 15.8 15.2 14.3 11.1 8.8 5.9 MH: 9.5 63 9.2 114 14.5 153 158 155 149 138 113 8.9 5 \$1 7.6 10.1 11.8 12.5 12.6 12.5 12.6 12.7 12.8 12.7 12.8 12.0 12.6 12.6 12.6 12.6 12.6 12.5 11.7 13.8 7.2 13.9 45 63 82 98 99 98 98 99 93 77 57 41 40 55 72 86 9.1 9.0 9.0 9.1 8.9 7.7 5.7 41 44 63 85 10.1 10.7 10.6 10.5 10.7 10.4 9.1 68 47 49 7.1 92 105 107 105 106 107 99 83 61 42 67 94 115 0126 137 144 140 132 0 121 105 81 53 13.1 13.7 14.0 13.3 12.3 11.1 8.9 6.1 65 93 113 125 133 140 137 130 110 103 79 79 751 \$6 82 103 115 119 120 119 117 109 93 68 45 4.8 7.2 9.5 11.1 11.8 11.9 12.0 11.9 12.4 10.1 7.9 3.1 35 83 10.6 121 13.1 13.9 14.1 13.3 12.4 19.5 13.2 13.9 14.1 13.4 12.4 9.5 13.5 14.2 13.8 13.1 17.0 10.4 7.9 3.7 49 74 98 113 121 124 125 122 116 103 81 54 \$ 85 105 117 122 125 124 120 112 96 70 46 41 60 81 96 101 99 99 101 98 86 66 45 38 52 59 82 87 86 85 87 84 73 56 41 43 59 75 85 87 85 86 87 81 67 50 36 40 37 76 91 96 93 93 95 93 81 62 43 9,4 11.0 11.6 11.8 11.8 11.7 11.2 9.9 37.8 5.2 10.8 12.0 12.6 12.9 12.8 12.3 11.4 9.8 7.3 14.7 \$0 7.7 101 116 124 128 129 125 118 106 84 49 72 92 103 105 103 104 105 98 82 50 41 45 6.7 5.1 10.6 11.2 11.3 11.3 11.3 10.9 9.5 7.3 4.9 32 7.6 9.7 110 113 113 113 112 105 8,8 6,4 4,3 5,3 8,0 10,3 119 12,8 13,4 13,5 129 122 109 8,5 5,7 5,2 7,8 102 11.7 12.6 13.2 13.3 12.8 12.1 10.7 8.1 5.3 5.7 8.4 10.4 12.2 12.8 13.3 13.1 12.5 11.6 9.9 7.4 4.8 1 - 44 - 65 - 88 - 103 - 109 - 109 - 109 - 10.6 82 62 41 41 65 84 10.6 109 108 109 108 102 85 62 41 30 42 36 87 88 87 88 89 83 68 50 36 87 88 8.6 54 40 28 32 32 30 33 38 86 85 87 85 34 26 19 20 27 35 86 87 85 86 88 82 67 50 36 1.2 1.5 2.5 10.4 10.6 10.5 10.6 10.6 -99 13 -6.0 40

38 \$9 80 94 99 100 100 101 100 88 71 39 46 35 74 90 100 101 100 100 99 93 78 55 36

27 4.0 55 66 69 68 68 7.0 7.0 62 49 39 35 40 51 63 7.1 7.0 68 68 69 65 53 38 26

76 \$1 77 kg 91 8g 8g 92 9.1 80 59 46 41 47 61 7.6 91 91 88 90 9.1 kg 70 50 50 50

symbol .	[CANCEAS]	Giy	Liber	Description	LLF	Com Water	Euro Lumpna
0	Lamonia Lighting	20	GA.	VCPQ LED PS 4EX 15W MVOLT PM M,TAIRS PIR FINISH, BUSPENDED TO FLUSH WITH BOTTOM OF 1 JOST	1000	22.14	10862



Suite 1600
Orlando, FL 32801
P 407.841,9050
www.tlc-engineers.com

© Copyright 2020 TLC Engineering Solutions, Inc TLC Project No.: 121089 THINK. LISTEN. CREATE.

The Edison Apartments

Consultants:

Revisions:

No. Date Description

11.13.23 SITE PLAN SUBMITTAL.

Seal



121089
11,13,23
HLN
WEA
3/32" = 1'-0'

PARKING GARAGE LEVEL 2-5 (TYPICAL) -PHOTOMETRICS

Drawing No

E112

PARKING GARAGE LEVEL 2-5 (TYPICAL) - PHOTOMETRICS

50 10 10 11 11 11 12 12 12 13 13 13 13 12 12 12 13 13 11 11 11 10 10 10 10 to the term of the 15.9 12 14 15 16 17 17 18 18 19 20 21 21 21 20 19 18 18 18 17 16 15 14 12 10 ሳ10 ሳ2 ሳ4 ሳ6 ሳ8 ሳ9 20 21 21 22 24 25 215 25 24 23 21 21 20 ሳ9 ሳ8 ጎ7 ሳ5 ሳ2 ቫ0 710 THE TENTE 21 23 24 25 27 29 31 33 34 33 32 29 27 25 24 23 22 4.5L MH: 2000 43 42 39 35 33 31 27 24 20 1.6 12 \$12 \$5 \$9 \$3 \$6 \$0 \$2 \$4 \$7 \$9 \$0 \$5 \$0 \$4 \$0 \$0 \$0 \$7 \$4 \$2 \$0 \$6 \$2 \$0 \$15 \$1.1



255 S, Orange Avenue Suite 1600 Orlando, FL 32801 P 407.841.9050 www.tlc-engineers.com

© Copyright 2020 TLC Engineering Solutions, In TLC Project No.: 121089 THINK, LISTEN, CREATE.

The Edison Apartments

Consultan

Revisions:

No. Date Description

11.13.23 SITE PLAN SUBMITTAL



Project No :	12108
Issue Date:	11,13,2
Drawn By:	HLI
Approved By:	WE
Scale:	3/32" = 1'-0
Daniel - Title	

PARKING GARAGE LEVEL 6 -PHOTOMETRICS

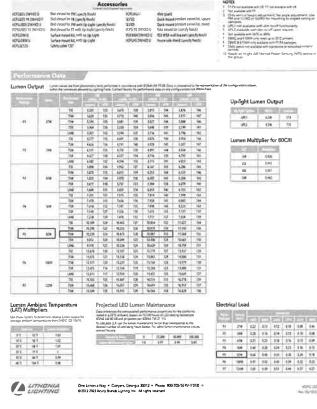
Drawing No.:

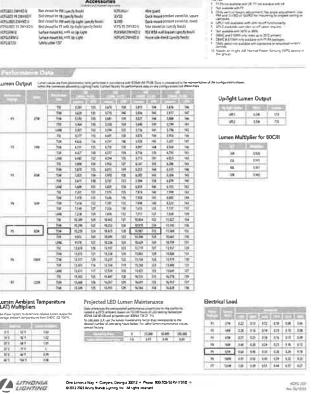
E113

PARKING GARAGE LEVEL 6 - PHOTOMETRICS

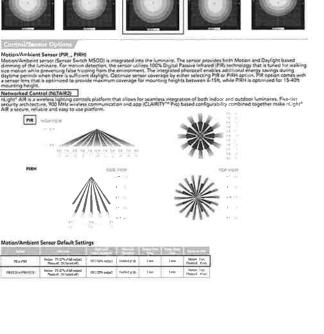
DISKS LED PT 45K TOOM TSW MIGHT RPAIN, TARK PARK PRISH

VCPG LED

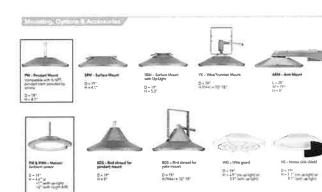


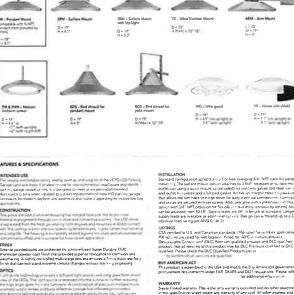






PARKING GARAGE TYPICAL LIGHTING FIXTURE







SOLUTIONS

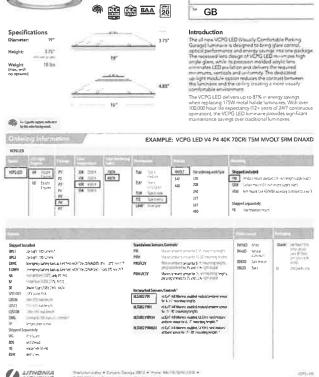
255 S. Orange Avenue

Suite 1600 Orlando, FL 32801

P 407.841.9050 www.tlc-engineers.com

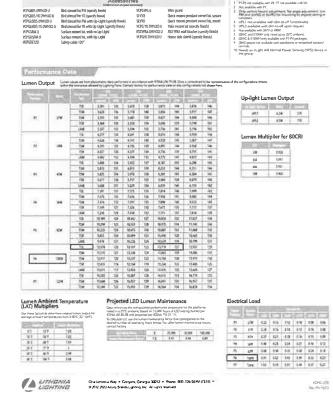
Copynght 2020 TLC Engineering Solutions, Inc

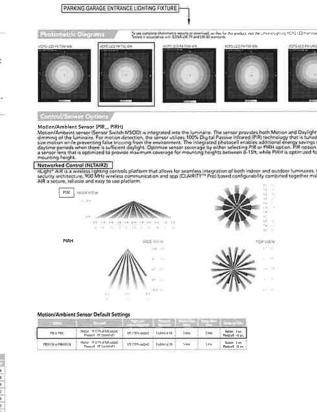
TLC Project No.: 121089 THINK. LISTEN. CREATE.

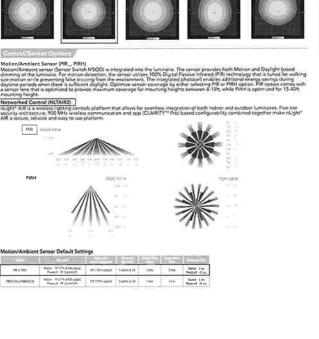


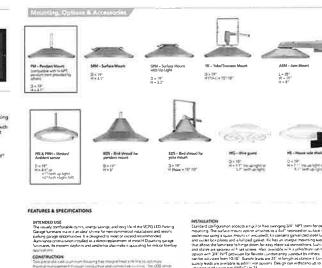
Parking Garage

GB









A LITHONIA LIGHTING

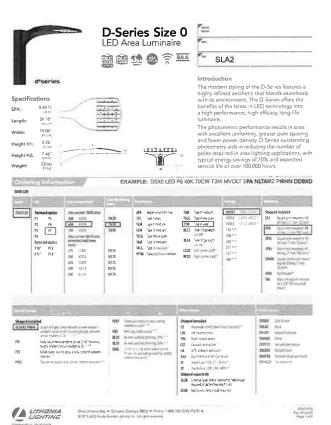


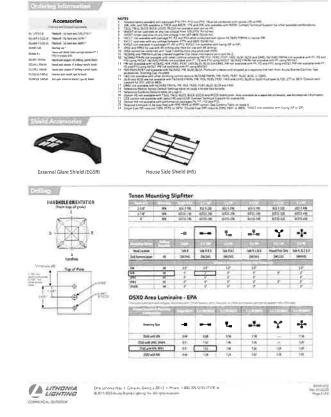
Project No :	121089
Issue Date:	11,13,23
Drawn By:	HLN
Approved By:	WEA

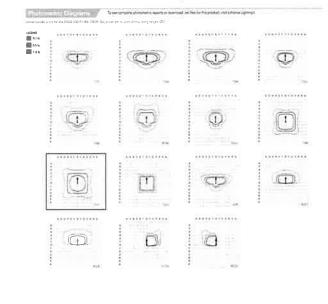
LIGHTING FIXTURE CUTSHEETS

E804

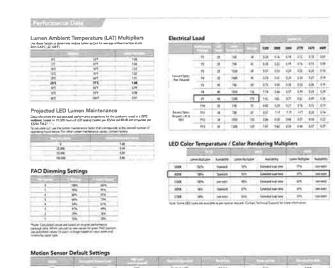
1







PARKING GARAGE LEVEL 6 LIGHTING FIXTURE







ENGINEERING SOLUTIONS 255 S. Orange Avenue Suite 1600 Orlando, FL 32801

P 407.841.9050

www.tlc-engineers.com

© Copyright 2020 TLC Engineering Solutions, Inc. TLC Project No.: 121089

THINK, LISTEN, CREATE.

Edison Apartments

The

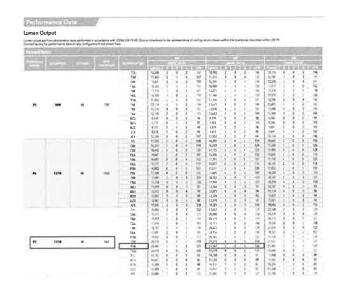
Consultants:

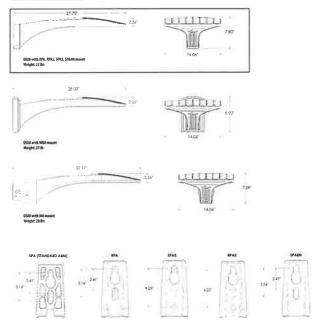


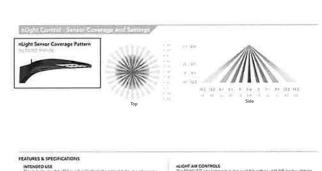
121089
11.13.23
HLN
WEA

Drawing Title:
LIGHTING FIXTURE CUTSHEETS

E805







	The death insurport of the Charact Seet Sendent the manifest that I very professional CAS (Netherland on the first the manifest that I very procession as one of the control of the Character of	The COPY ICE of the Thomas is a fine market to the 1-depth of the Cort professional market to the Cort professional and the Cort professional and the Cort professional section among the professional formation and using a sectional beautiful section. In the Cort professional and using a sectional professional section and Cort professional and using a section and the control of Cort professional and the Cort professional and the Cort professional section and and the cort professional and the Cort professional and the Cort professional section and and the cort professional and the Cort professional and the Cort professional section and and the cort professional and the Cort professional and the Cort professional section and the Cort professional and the Cort professional and the Cort professional section and the Cort professional and the Cort professional and the Cort professional Section 2018 and the Cort professional and the Cort
	PINISH Enterior parts are protected by a onclining Super Durable TGC thermorest conclear coal finant that provides superior regulatives to complian and invashering. A pirty controlled must usuage process ensures a minish that chains for a finish that can invast and assume a minish multiple that chains for a finish that can invast and assume distribution for invashering and provide superior distributions.	and an immediate opini ordering it and TAT to \$1.07 ms person. The database "TAT's immediate pointing before TAT's immediate from the ordering and to all the 45 of the principle gains ordering, see \$750, to \$4000. Authorized minimal principle are positived in subsequently or authorized to 5000, and made are food immediates about the house standards that \$2.000 household what are. USTINGS
	CDASTAL CONSTRUCTION (CCE) Opening Contraction in any opening with added corresponding to contraction in a single contraction of a single contraction of the material under single contraction of material single contraction of contraction of contraction read contraction of contraction read contraction of contraction read contraction of	Ut investion ment U.S. and Canadan standard: U.L. steel for met focations. Using engines are Pilot alred, fundament all Pilot asted. Basing of a 4TC memority and Designification of Continuum (DLC) Premium and Fed product and DLC qualified prints; Pt Not 3 we even of this product may be DCC. Premium and Fed or DLC as alled Please credit for DLC Casalfied Products List at 10 confirmments, reservoir are qualified.
	OPTICS Per-expendiced processing will one lemes are emprecised for successor area lapsing distillation understray, and policy specify bught empressive available in 2000 a, 4000 to 6000 cold policy specific SIGII configurations SIGII configurations are empressive and the second specific spe	International Dank Sty Association (IDAF Forume Seal of Approval ESA) is available for all products on this page is it in 2000C color temporative only. BUY AMERICAN ACT Product with the BAA option is assembled in the USA and meets the Buy American's operations of productive restrictions of the Color of the American's operations of the Color
01	ELECTRICAL Light engreds (porhypularins consist of high-efficacy LEDs mounted to metal core consist basics in the set observed and promise long file for 19,000 (2000) in an at 25 C (2014) effectived, efficiency and promise long file for 50 c (2014) efficiency efficiency and promise of 50 c (2014) efficiency efficiency and promise of 50 c (2014) efficiency effi	WARRANTY If you will be anyway. The cribe or a warrang proceded indirect many in the will be anyway to the cribe of a warrang proceded indirect many many part of the critical many many and the critical many many of the sent for the many part of many many part of the many Committee asserting terms located at
	STAINABO CONTROLS TAINABO DE real luminars has a number of control open in DSX 5 re 0, commissional will be DSV demong diver Dusla in down-minus can be in visual visual or and INASA — visual phorae formations. For executing PR in register of not in dental min in based downs at leature lest a seal will be provided in our formation of the provided of	The state on the control of the cont
D. (D	One Lithonia Riy + Sonyers Georgia (2012 + Phone	U800-705-558V//3074 * Dyvin FD Per ver 21

W A

A LITHONIA LIGHTING

One Lithornia Way + Complete Georgia (2012 + Phone | 1800-705 SER)

DS 4/1 ED Page 1 of 9 Page 1 of 9

Eav Or OS22

LAND DESCRIPTION - TPA GROUP

THAT PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'B' ", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 179, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLIOWS:
BEGIN AT THE SOUTHEAST CORNER OF SAID PARCEL 'A';
THENCE NORTH 90'000'' WEST, A DISTANCE OF 7.00 FEET;
THENCE SOUTH 0'0000'' WEST, A DISTANCE OF 7.00 FEET;
THENCE SOUTH 0'0000'' WEST, A DISTANCE OF 7.00 FEET;
THENCE NORTH 90'000'' WEST, A DISTANCE OF 7.00 FEET;
THENCE NORTH 90'000'' WEST, A DISTANCE OF 7.00 FEET;
THENCE NORTH 90'000'' WEST, A DISTANCE OF 8.25 JF FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'A', BEING A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 7,874.44 FEET, AND WHOSE CENTER BEAST NORTH 72"3"9'' WEST FROM SAID POINT;
THENCE NORTH 90'000'' EAST, A DISTANCE OF 528.35 FEET;
THENCE NORTH 90'000'' EAST, A DISTANCE OF 528.35 FEET;
THENCE NORTH 92"29"27" EAST, A DISTANCE OF 528.35 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 43.97 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145
AVENUE:
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.51 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1,441 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.50 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.50 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.50 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 130.51 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1,441 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.50 FEET;
THENCE SOUTH 19"48"26" EAST, A DISTANCE OF 120.50 FEET TO TO POINT OF THE ADDIT THE RIGHT, THROUGH A CENTRAL ANGLE OF 2'52'26", AN ARC DISTANCE OF 57.28 FEET;
THENCE SOUTH 19"50 EAST, ADIAL TO THE PRECEDING COUNTS A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC
OF A NON-TANGENT

SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA CONTAINING 314379 26 SQUARE FEET (7.22 ACRES), MORE OR LESS,

SURVEYORS NOTES:

- I). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 2.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSITUTE A WARRANTY OR GUARANTEE,
 3.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.

- EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR REPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OF INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WETLANDS, ROADWAYS OR STREETS, PROPOSED USES, HISTORICALLY SENSITIVE LAND ARCHEOLOGICALLY SENSITIVE LANDS, OR RIGHT OF ACCESS.
- 5) NO WETLAND MARKERS WERE OBSERVED BY THE UNDERSIGNED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
- 6.) BENCHMARK REFERENCE BROWARD COUNTY ENGINEERING DEPT. B.M. #3700
 7.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
 8.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE
- EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY
- 9) FLOOD INSURANCE RATE MAP PANEL 12011 CO705 SUFFIX H MAP DATE: AUGUST 18, 2014 CITY OF PEMBROKE PINES, FL COMMUNITY NUMBER 120053 FLOOD ZONES FOR THIS PROPERTY: AH BASE EL 5 AH BASE EL 4, AND; ZONE X - NO BASE ELEVATION





SURVEY CERTIFICATION:

TO: PEMBROKE 145 OFFICE, LLC PEMBROKE 2 OWNER, LLC BAY POINT CAPITAL PARTNERS II, LP FIRST AMERICAN TITLE INSURANCE COMPANY

> STEPHEN Digitally signed by STEPHEN K SEELEY K SEELEY Date: 2024.05.03 08:00:41 -04'00'



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN K SEELEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

1 ,

- THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- NORTH ARROW RELATIVE TO EAST ALONG THE NORTH LINE OF PARCEL'A' DUKE PÉMBROKE 'B' * PER PLAT.
 ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

REVISION	DATE	BY	MULTI-FAMILY BOUNDARY SURVEY			
						STEPHEN K. SEELEY, FOR THE FIRM
			JOB #: RN9331	DATE: 04-30-24	DRAWN BY:CM	PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574
			SCALE: 1"=100'	SHEET OF 2	CHECKED BY: 5KS	
			NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER			

GIBBS LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018

