

SITE PLAN

FOR

THE EDISON PEMBROKE PINES

CITY OF PEMBROKE PINES BROWARD COUNTY, FLORIDA

SECTION 15/22, TOWNSHIP 51, RANGE 40

Nathan M Lewis
 Digitally signed by
 Nathan M Lewis
 DN: C=US, S=Florida,
 OU=FL PE# 86481*,
 O=BOTEK
 THURLLOW
 ENGINEERING, INC.,
 CN=Nathan M Lewis
 Reason: I am the
 author of this
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REVISIONS	
#	DATE



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LAND DESCRIPTION - NORTH OFFICE
 THAT PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'A'", ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 178, PAGES 142 THROUGH 145, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL 'A'; THENCE NORTH 90°00'00" WEST, ALONG THE SOUTH LINE OF SAID PARCEL 'A' FOR A DISTANCE OF 493.55 FEET TO A POINT ON THE ARC OF A CURVE CONCAVE TO THE WEST WHOSE CENTER BEARS NORTH 81°42'34" WEST FROM SAID POINT; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 7039.44 FEET AND A CENTRAL ANGLE OF 94°02'35", AN ARC DISTANCE OF 557.11 FEET; THENCE SOUTH 85°16'28" EAST, A DISTANCE OF 233.60 FEET; THENCE NORTH 53°53'21" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 85°24'28" EAST, A DISTANCE OF 31.67 FEET; THENCE NORTH 69°45'32" EAST, A DISTANCE OF 17.07 FEET; THENCE SOUTH 87°34'30" EAST, A DISTANCE OF 205.19 FEET TO A POINT ON THE ARC OF A CURVE CONCAVE TO THE WEST WHOSE CENTER BEARS NORTH 87°54'39" WEST FROM SAID POINT; THENCE SOUTH-ONLY ALONG SAID ARC HAVING A RADIUS OF 855.19 FEET AND A CENTRAL ANGLE OF 67°03'25", AN ARC DISTANCE OF 445.16 FEET; THENCE SOUTH 5°29'59" EAST, A DISTANCE OF 41.57 FEET TO A POINT ON THE ARC OF A CURVE CONCAVE TO THE WEST WHOSE CENTER BEARS NORTH 87°24'42" WEST FROM SAID POINT; THENCE SOUTHERLY ALONG SAID ARC HAVING A RADIUS OF 855.19 FEET AND A CENTRAL ANGLE OF 67°22'53", AN ARC DISTANCE OF 55.65 FEET TO THE POINT OF BEGINNING THE PRECEDING 3 COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE OF SW 145TH AVENUE

TOGETHER WITH:
 BEING A PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'B'", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 179, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF SAID PARCEL 'A' OF "DUKE PEMBROKE 'B'"; BEING A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE WESTERLY, WHOSE CENTER BEARS NORTH 82°11'53" WEST FROM SAID POINT; THENCE SOUTHERLY AND TO THE RIGHT, ALONG SAID ARC HAVING A RADIUS OF 3,353.19 AND A CENTRAL ANGLE OF 60°05'24", AN ARC DISTANCE OF 13.34 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE HAVING A RADIUS OF 1,647.00 FEET; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 02°37'51", AN ARC DISTANCE OF 76.47 FEET;
 THENCE SOUTH 102°15' WEST, A DISTANCE OF 100.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 1,659.00 FEET AND WHOSE CENTER BEARS SOUTH 88°10'29" EAST FROM SAID POINT; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 63°50', AN ARC DISTANCE OF 180.06 FEET;
 THENCE NORTH 86°38'39" EAST, A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 1,647.00 FEET AND WHOSE CENTER BEARS NORTH 82°15'00" EAST FROM SAID POINT; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 72°13'3", AN ARC DISTANCE OF 211.39 FEET; THE PRECEDING 6 COURSES BEING ALONG THE WEST RIGHT-OF-WAY LINE OF SW 145TH AVENUE
 THENCE NORTH 82°01'56" WEST, A DISTANCE OF 355.36 FEET;
 THENCE NORTH 85°49'20" WEST, A DISTANCE OF 119.49 FEET;
 THENCE NORTH 72°00'00" WEST, A DISTANCE OF 138.44 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL 'A', BEING A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 7,874.44 AND WHOSE CENTER BEARS NORTH 78°05'08" WEST FROM SAID POINT;
 THENCE NORTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 33°28'25" AN ARC DISTANCE OF 408.08 FEET;
 THENCE NORTH 90°00'00" EAST, ALONG THE NORTH LINE OF SAID PARCEL 'A', A DISTANCE OF 493.55 FEET TO THE POINT OF BEGINNING SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA CONTAINING 549.711.55 SQUARE FEET (12.62 ACRES) MORE OR LESS.

LAND DESCRIPTION - SOUTH OFFICE (AKA BAPTIST HEALTH EMERGENCY CARE)
 DUKE PEMBROKE 'B', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 178, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF SAID PARCEL 'A' OF "DUKE PEMBROKE 'B'"; BEING A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE WESTERLY, WHOSE CENTER BEARS NORTH 82°11'52" WEST FROM SAID POINT; THENCE SOUTHERLY AND TO THE RIGHT, ALONG SAID ARC HAVING A RADIUS OF 3,363.19 AND A CENTRAL ANGLE OF 05°24", AN ARC DISTANCE OF 13.34 FEET TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE HAVING A RADIUS OF 1,647.00 FEET; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 02°37'51", AN ARC DISTANCE OF 76.47 FEET;
 THENCE SOUTH 102°15' WEST, A DISTANCE OF 100.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 1,659.00 FEET AND WHOSE CENTER BEARS SOUTH 88°10'29" EAST FROM SAID POINT; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 63°50', AN ARC DISTANCE OF 180.06 FEET;
 THENCE NORTH 86°38'39" EAST, A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 1,647.00 FEET AND WHOSE CENTER BEARS NORTH 82°15'00" EAST FROM SAID POINT; THENCE SOUTHERLY AND TO THE LEFT, THROUGH A CENTRAL ANGLE OF 72°13'3", AN ARC DISTANCE OF 211.39 FEET TO THE POINT OF BEGINNING
 THENCE NORTH 82°01'56" WEST, A DISTANCE OF 355.36 FEET;
 THENCE NORTH 85°49'20" WEST, A DISTANCE OF 119.49 FEET;
 THENCE NORTH 72°00'00" WEST, A DISTANCE OF 138.44 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL 'A', BEING A POINT ON THE ARC OF A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 7,874.44 AND WHOSE CENTER BEARS NORTH 78°05'08" WEST FROM SAID POINT;
 THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 2°43'33" AN ARC DISTANCE OF 378.62 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 538.35 FEET;
 THENCE NORTH 82°29'27" EAST, A DISTANCE OF 230.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145 AVENUE
 THENCE NORTH 13°48'16" WEST, A DISTANCE OF 29.29 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 3467.00 FEET, AND WHOSE CENTER BEARS NORTH 70°12'33" EAST FROM SAID POINT; THENCE NORTHERLY AND TO THE RIGHT THROUGH A CENTRAL ANGLE OF 04°42'00" AN ARC DISTANCE OF 221.49 FEET, TO THE POINT OF BEGINNING SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA, CONTAINING 206,196.28 SQUARE FEET (4.74 ACRES) MORE OR LESS, CONTAINING 283,050 SQUARE FEET (6.46 ACRES) MORE OR LESS.

LAND DESCRIPTION - TPA GROUP MULTI-FAMILY (AKA SOUTH PARCELS)
 THAT PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'B'", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 178, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT THE SOUTHWEST CORNER OF SAID PARCEL 'A';
 THENCE NORTH 90°00'00" WEST, ALONG THE SOUTH LINE OF SAID PARCEL 'A', A DISTANCE OF 564.48 FEET;
 THENCE NORTH 00°00'00" WEST, A DISTANCE OF 7.00 FEET;
 THENCE NORTH 90°00'00" WEST, A DISTANCE OF 415.37 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'A', BEING A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 7,874.44 FEET, AND WHOSE CENTER BEARS NORTH 72°37'49" WEST FROM SAID POINT;
 THENCE NORTHERLY AND TO THE LEFT, ALONG THE WEST LINE OF SAID PARCEL 'A', THROUGH A CENTRAL ANGLE OF 24°42', AN ARC DISTANCE OF 374.97 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 538.35 FEET;
 THENCE NORTH 82°29'27" EAST, A DISTANCE OF 230.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145 AVENUE;
 THENCE SOUTH 13°48'16" EAST, A DISTANCE OF 43.73 FEET;
 THENCE SOUTH 12°56'24" EAST, A DISTANCE OF 300.00 FEET;
 THENCE SOUTH 19°48'26" EAST, A DISTANCE OF 133.61 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1,441 FEET;
 THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 2°52'26", AN ARC DISTANCE OF 72.28 FEET;
 THENCE NORTH 73°04'00" EAST, RADIAL TO THE PRECEDING COURSE A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 1,453 FEET;
 THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 23°13', AN ARC DISTANCE OF 57.18 FEET TO THE POINT OF BEGINNING SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA, CONTAINING 314,379.26 SQUARE FEET (7.22 ACRES), MORE OR LESS.



SITE MAP - 1" = 300'

DWG NO.	DRAWING TITLE
ESP-0	THE EDISON SITE PLAN COVER SHEET
ESP-1	THE EDISON SITE PLAN
ESP-2	THE EDISON SITE PLAN
ESP-3	THE EDISON SITE PLAN
ESP-4	THE EDISON SITE PLAN DETAILS
(ARCHITECTURE PLANS)	
A-2.1	LEVEL 1
A-2.2	LEVEL 2
A-2.3	LEVELS 3-5
A-2.4	LEVEL 6
A-2.5	LEVEL 7
A-3.1	BUILDING ELEVATIONS
A-3.1C	BUILDING ELEVATIONS
A-3.2	BUILDING ELEVATIONS
A-3.2C	BUILDING ELEVATIONS
A-3.3	SECTION DIAGRAMS
A-3.4	RENDERINGS
A-4.1	UNIT PLANS
A-4.2	UNIT PLANS
EXE	CONCEPTUAL FINISH BOARD
(CIVIL ENGINEERING PLANS)	
C-0	CIVIL COVER SHEET
C-1	GENERAL NOTES & SPECIFICATIONS
SP-1	THE EDISON APARTMENTS SITE PLAN
SP-2	THE EDISON APARTMENTS SITE PLAN DETAILS
PG-1	PAVING AND GRADING PLAN
PG-2	PAVING AND GRADING PLAN
PG-3	PAVING AND GRADING DETAILS
D-1	DRAINAGE PLAN
D-2	DRAINAGE DETAILS
D-3	DRAINAGE DETAILS
WS-1	WATER AND SANITARY SEWER PLAN
WS-2	WATER AND SANITARY SEWER PLAN
WS-3	WATER AND SANITARY SEWER DETAILS
WS-4	WATER AND SANITARY SEWER DETAILS
PMS-1	PAVEMENT MARKING AND SIGNAGE PLAN
PMS-2	PAVEMENT MARKING AND SIGNAGE PLAN
PMS-3	PAVEMENT MARKING AND SIGNAGE DETAILS
FA-1	FIRE ACCESS PLAN
FA-2	FIRE ACCESS PLAN
FA-3	FIRE ACCESS PLAN
POL-1	POLLUTION AND EROSION CONTROL PLAN
POL-2	POLLUTION AND EROSION CONTROL PLAN
DEM-1	SITE DEMOLITION PLAN
(LANDSCAPE PLANS)	
L-200	OVERALL LANDSCAPE PLAN
L-201	LANDSCAPE PLAN
L-202	LANDSCAPE PLAN
L-203	LANDSCAPE PLAN
L-204	LANDSCAPE PLANT SCHEDULE AND CALCS
L-205	LANDSCAPE NOTES AND DETAILS
L-210	TREE DISPOSITION PLAN
L-211	TREE DISPOSITION PLAN
L-500	OVERALL DETAILS LAYOUT PLAN
L-501	PAVING AND DETAILS PLAN
L-502	PAVING AND DETAILS PLAN
L-503	SITE CONSTRUCTION DETAILS
L-504	SITE CONSTRUCTION DETAILS
L-505	SITE CONSTRUCTION DETAILS
L-506	SITE CONSTRUCTION DETAILS
L-507	SITE CONSTRUCTION DETAILS
L-508	SITE CONSTRUCTION DETAILS
L-509	SITE CONSTRUCTION DETAILS
(SURVEY)	
1 OF 4	AS-BUILT SURVEY
2 OF 4	AS-BUILT SURVEY
3 OF 4	AS-BUILT SURVEY
4 OF 4	AS-BUILT SURVEY

SITE PLAN COVER SHEET

THE EDISON PEMBROKE PINES
PEMBROKE PINES, FL 33027

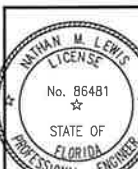
Botek Thurlow
Engineering, Inc.
14800 NW 40th Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com | 954-958-8818 | 954-958-9077

BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
SP-0

REVISIONS	DATE



September 10, 2024

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THE EDISON SITE PLAN
THE EDISON PEMBROKE PINES
 PEMBROKE PINES, FL 33027

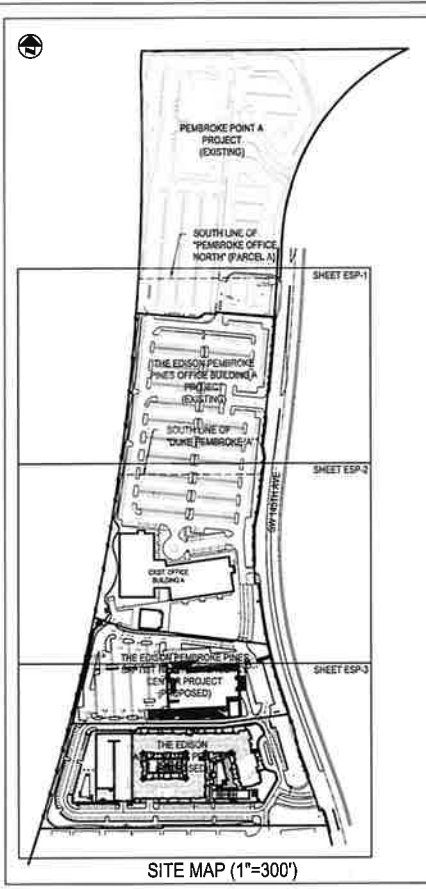
Botek Thurlow Engineering, Inc.
 1400 NW 4th Avenue, Suite 100, Ft. Lauderdale, FL 33309
 www.botekthurlow-eng.com P: 954-568-8888 F: 954-568-7373

BTE PROJECT # 16-1204.B

PROJECT DATE: 4.13.23

SHEET #

ESP-1



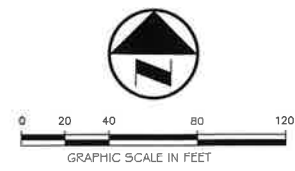
SITE MAP (1"=300')

PARCEL 'B'
 PEMBROKE HARBOR PLAT
 (P.B. 176, PG. 11-118 B.C.R.)
 DRAINAGE FLOWAGE AND STORAGE EASEMENT PER P.B. 176, PG. 11-115, B.C.R.
 CONSERVATION EASEMENT PER O.R.B. 42872, PG. 528, B.C.R.

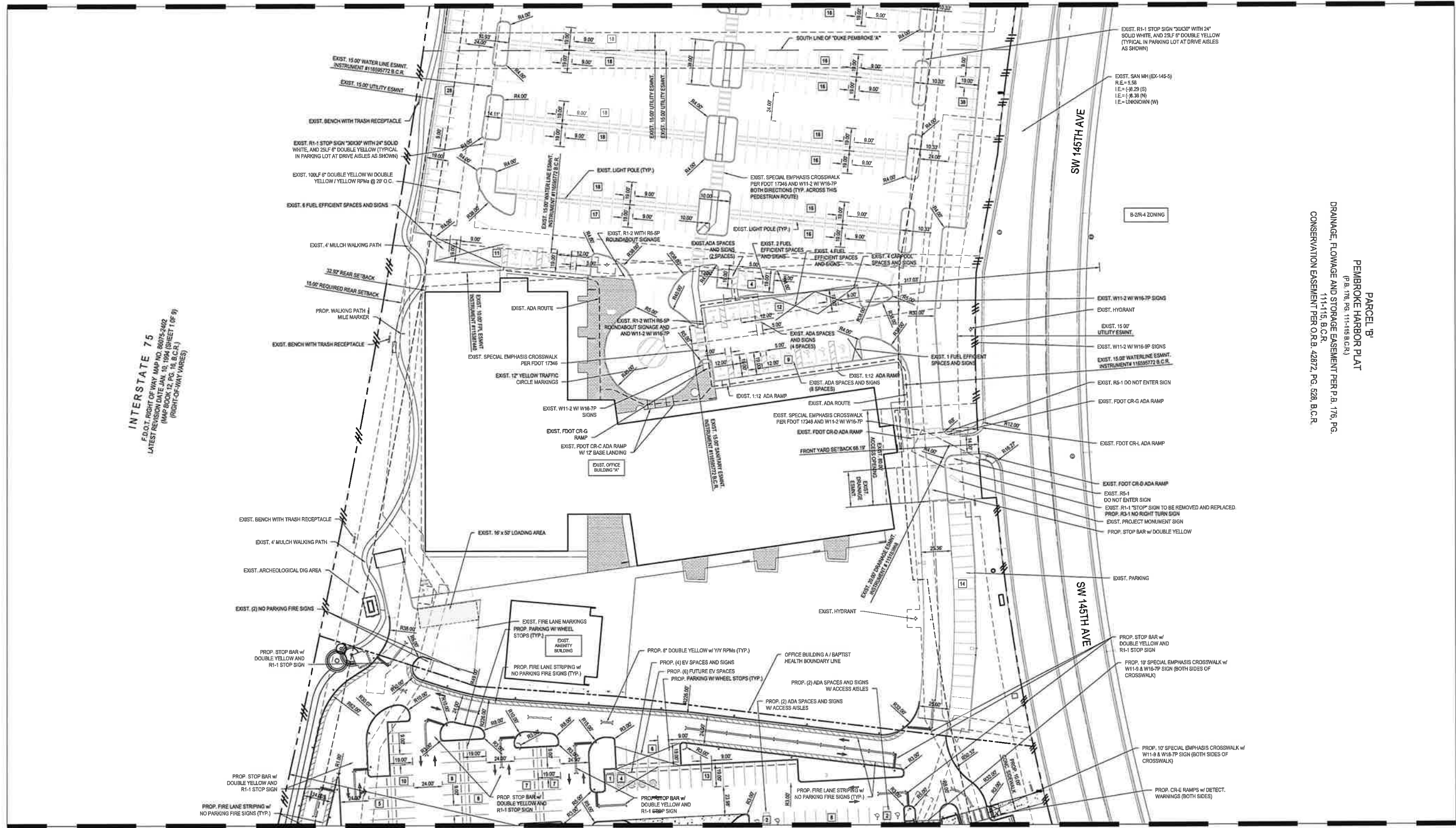
PROJECT DATA		
SITE INFORMATION		
LAND USE DESIGNATION	OFFICE PARK AND IRREGULAR (46 1)	
ZONING DESIGNATION	RESIDENTIAL MKD	
SITE AREA		
GROSS AREA	1,052,022 S.F. (24.3 ACRES +/-)	
OFFICE BUILD A PARCEL AREA	540,529 S.F. (12.4 ACRES +/-)	
BAPTIST HEALTH PARCEL AREA	206,501 S.F. (4.7 ACRES +/-)	
RESIDENTIAL PARCEL AREA	314,992 S.F. (7.2 ACRES +/-)	
BUILDING COVERAGE AREA	15,799	
BUILDING GROSS IMPERVIOUS AREA	655,424 S.F.	
(VEHICULAR USE AREAS, SIDEWALKS, HARDSCAPE)	357,654 S.F. (36.24%)	
PERVIOUS AREA	220,530 S.F. (20.80%)	
OPEN SPACE	336,834 S.F. (31.72%)	
COMMERCIAL FLOOR AREA RATIO	239,867 / 1,052,022 S.F. = 22.56%	
BUILDING SETBACKS		
FRONT (EAST)	REQUIRED: 65'	PROVIDED: 68'-0" (OFFICE A), 109'-0" (BAPTIST HEALTH), 146'-0" (RESIDENTIAL)
REAR (WEST)	30'	32'-11" (OFFICE A), 299'-9" (BAPTIST HEALTH), 96'-10" (RESIDENTIAL)
SIDE (NORTH)	37'	738'-2" (OFFICE A)
SIDE (SOUTH)	37'	93'-0" (RESIDENTIAL)
*MEASURED FROM PERIMETER OF THE MKD ZONING PARCEL		
OFFICE BUILDING A (EXISTING) INFORMATION		
BUILDING HEIGHT	55'-0" TO TOP OF SCREENWALL - (100' MAXIMUM ALLOWED) 4 STORIES	
STORY HEIGHT	15'-0"	
BUILDING GROSS AREA	1,05,000 SQUARE FEET (EXISTING OFFICE BUILDING A)	
BUILDING FOOTPRINT	5,149 SQUARE FEET (EXISTING AMENITY BUILDING)	
BUILDING COVERAGE	57,243 S.F. (EXISTING OFFICE BUILDING A)	
BUILDING GROSS AREA	5,185 SQUARE FEET (EXISTING AMENITY BUILDING)	
BUILDING COVERAGE	62,429 / 540,529 S.F. = 11.54%	
FLOOR AREA RATIO	170,185 / 540,528 S.F. = 31.49%	
OPEN SPACE	155,537 / 540,528 S.F. = 28.96%	
BAPTIST HEALTH EMERGENCY CENTER (PROPOSED) INFORMATION		
BUILDING HEIGHT	45'-0" TO ROOF SLAB (62'-8") TO PARAPET OF MEP ROOM	
STORY HEIGHT	15'-0" FLOOR TO FLOOR TYPICAL	
BUILDING GROSS AREA	5,149 SQUARE FEET (EXISTING AMENITY BUILDING)	
BUILDING FOOTPRINT	25,394 SQUARE FEET	
BUILDING COVERAGE	25,394 / 206,501 S.F. = 12.30%	
FLOOR AREA RATIO	69,281 / 206,501 S.F. = 34.47%	
OPEN SPACE	41,162 / 206,501 S.F. = 19.93%	
RESIDENTIAL (PROPOSED) INFORMATION		
BUILDING HEIGHT	67'-8" TO ROOF SLAB (72'-0") TO PARAPET	
STORY HEIGHT	10'-0" (1ST LEVEL) AND 9'-6" (2ND LEVEL AND UP)	
BUILDING GROSS AREA	415,857 SQUARE FEET OF RESIDENTIAL	
BUILDING FOOTPRINT	197,883 SQUARE FEET OF GARAGE	
BUILDING COVERAGE	88,740 / 314,992 S.F. = 28.17%	
OPEN SPACE	139,135 / 314,992 S.F. = 44.17%	
PARKING AND LOADING		
OVERALL REQUIRED	(OFFICE A) = 495 SPACES (BAPTIST HEALTH) = 251 SPACES (RESIDENTIAL) = 703 SPACES TOTAL = 1,449 SPACES	
OVERALL PROVIDED	(OFFICE A) = 874 SPACES (BAPTIST HEALTH) = 251 SPACES (RESIDENTIAL) = 199 SPACES (SITE) + 532 SPACES (GARAGE) TOTAL = 1,544 SPACES*	
* THERE IS 11 DEDICATED USPS PARKING SPACE PROVIDED IN THE RESIDENTIAL PROJECT BOUNDARY WHICH IS NOT CREDITED IN THIS COUNT		
ADA ACCESSIBLE REQUIRED		
REQUIRED OFFICE A	20 FOR FIRST 1000, +1 FOR EACH 100 (OR FRACTION THEREOF)	
REQUIRED BAPTIST HEALTH	18 ADA SPACES (W/ 874 TOTAL)	
REQUIRED BAPTIST HEALTH	7 ADA SPACES	
REQUIRED BAPTIST HEALTH	7 ADA SPACES	
REQUIRED RESIDENTIAL	20 FOR FIRST 1000, +1 FOR EACH 100 (OR FRACTION THEREOF)	
REQUIRED RESIDENTIAL	15 ADA SPACES	
REQUIRED RESIDENTIAL	5 SPACES (SITE) + 13 SPACES (GARAGE)	
REQUIRED RESIDENTIAL	18 SPACES (TOTAL)	
FUEL EFFICIENT SPACES		
REQUIRED EXISTING (OFFICE A)	0 (PER MKD)	
REQUIRED EXISTING (OFFICE A)	46 SPACES	
REQUIRED PROPOSED (BAPTIST)	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE (PER MKD)	
REQUIRED PROPOSED (BAPTIST)	8 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE	
REQUIRED PROPOSED (RES)	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE (PER MKD)	
REQUIRED PROPOSED (RES)	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE	
FLOOD ZONE INFORMATION		
SITE IS LOCATED IN FLOOD ZONE AH 5 (BF) NAVD PER FLOOD INSURANCE RATE MAP AUGUST 2014 - 12011C0705H		

INTERSTATE 75
 F.D.O.T. RIGHT OF WAY MAP NO. 8807E-5402
 (MAP BOOK 12, PG. 16, B.C.R.)
 (RIGHT-OF-WAY VARIES)

MATCHLINE - SEE SHEET SP-2

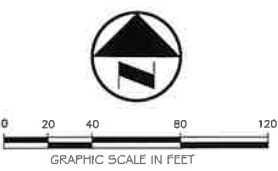


MATCHLINE - SEE SHEET SP-1



MATCHLINE - SEE SHEET SP-3

CONSTRUCTION NOTES:
 * BUILDINGS ARE NOT TO USE LIGHT-FRAME TRUSS-TYPE CONSTRUCTION



INTERSTATE 75
 F.D.O.T. RIGHT OF WAY MAP NO. 80075-2402
 LATEST REVISION DATE JAN. 10, 1994 (SHEET 1 OF 9)
 (MAP BOOK 12, PG. 16, S.C. 4)
 (RIGHT-OF-WAY VARIES)

PARCEL 'B'
 PEMBROKE HARBOR PLAT
 (P.B. 176, PG. 111-116 B.C.R.)
 DRAINAGE, FLOWAGE AND STORAGE EASEMENT PER P.B. 176, PG. 111-115, B.C.R.
 CONSERVATION EASEMENT PER O.R.B. 42872, PG. 528, B.C.R.

REVISIONS	#	DATE



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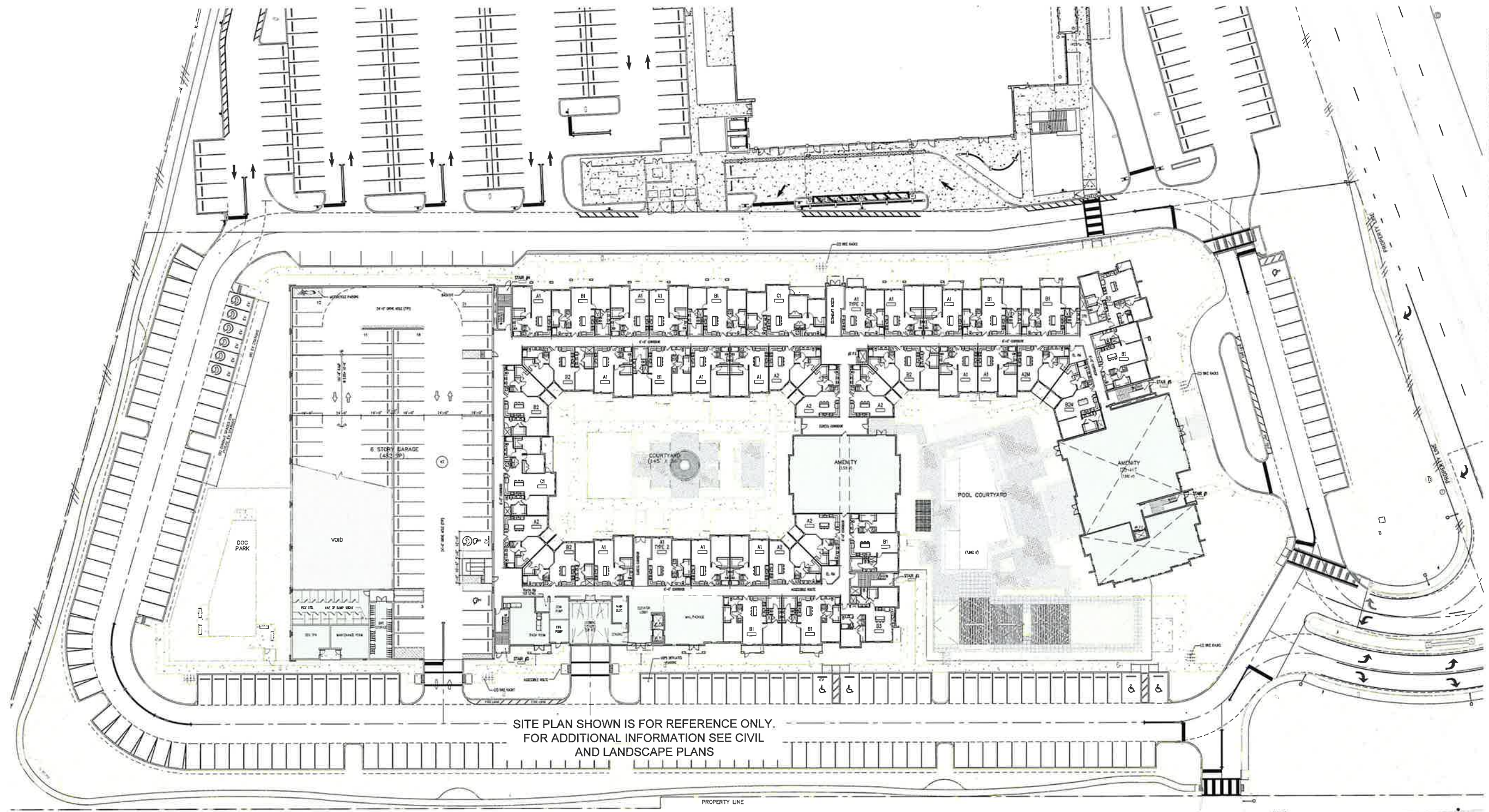
THE EDISON SITE PLAN
THE EDISON PEMBROKE PINES
 PEMBROKE PINES, FL 33027

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BTE PROJECT #:
16-1204.B

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ESP-2



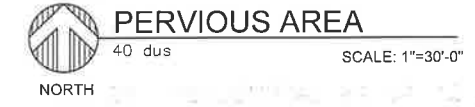
SITE PLAN SHOWN IS FOR REFERENCE ONLY.
FOR ADDITIONAL INFORMATION SEE CIVIL
AND LANDSCAPE PLANS

LEGEND

TOTAL PERVIOUS AREA 94,253 Sq.Ft

SITE AREA	PROPERTY DATA	
	DESCRIPTION	SQ. FT
	NET AREA	327,019.16 Sq. ft
	BUILDING COVERAGE AREA	28%
	BUILDING FOOTPRINT	88,740 Sq. ft
	IMPERVIOUS AREA	130,240 Sq.ft
	PERVIOUS AREA	94,253 Sq.ft
	OPEN SPACE	139,135 Sq.ft

- NOTES:**
- All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.
 - Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
 - The building will be fully sprinklered
 - Construction type 1B
 - Building is not light-frame type construction
 - Proposed Barrier arms located at surface parking and garage entrances.



ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017), AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

MSA ARCHITECTS, INC.
 AAC000895
 8950 SW 74th COURT
 SUITE 1513
 MIAMI, FLORIDA 33156
 (305) 273-9911

MSA ARCHITECTS
 ARCHITECTURE & PLANNING

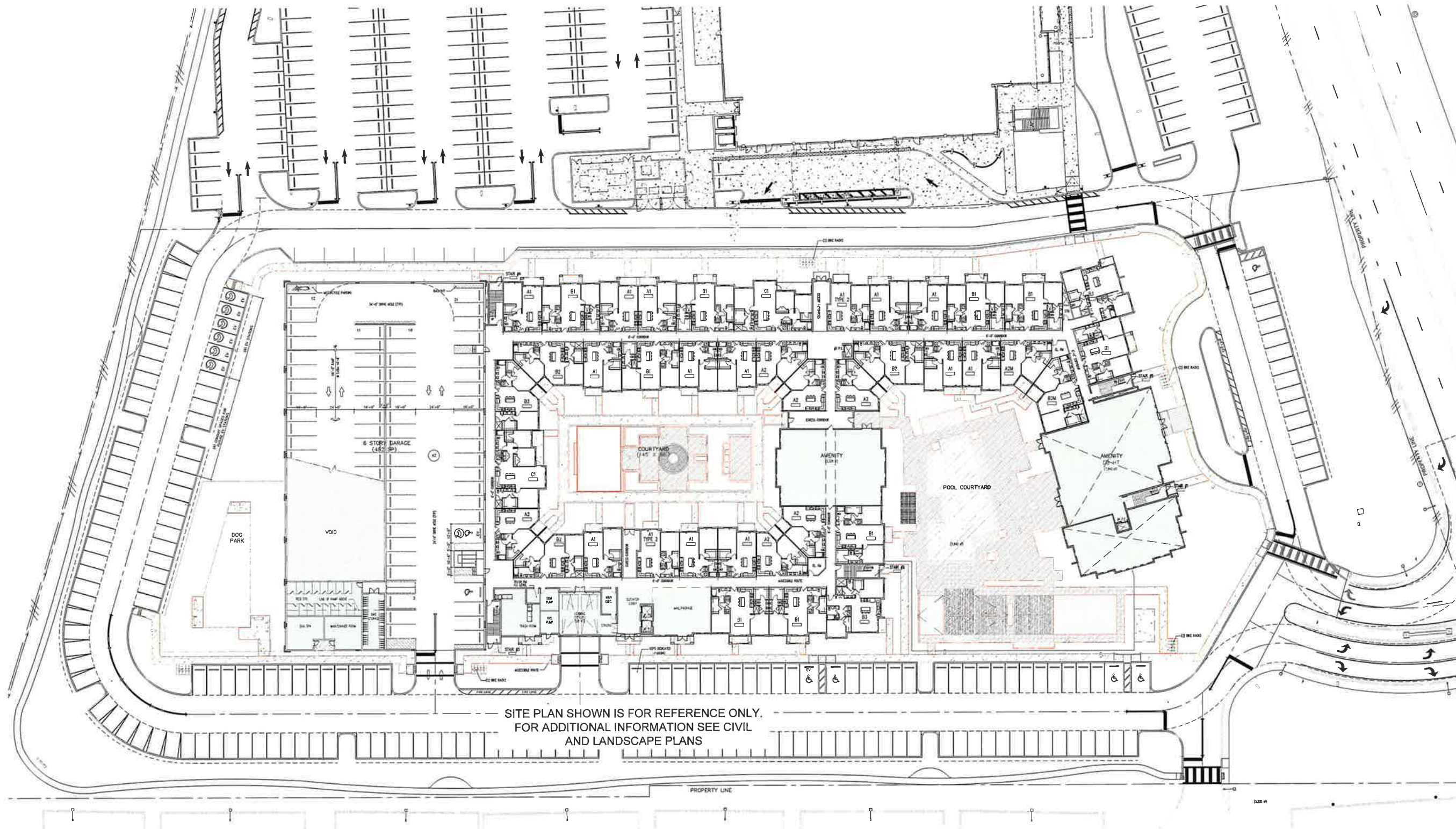
ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017), AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

THE EDISON APARTMENTS
 FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

JOSE I. SAUMELL
 AR0013085

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DRAWN: 09/17/2021
 DATE: 09/17/2021
 SCALE: AS SHOWN
 JOB NO.: 2059.PRJ
 SHEET TITLE: PERVIOUS AREA
 SHEET NUMBER: A-0.1



SITE PLAN SHOWN IS FOR REFERENCE ONLY.
FOR ADDITIONAL INFORMATION SEE CIVIL
AND LANDSCAPE PLANS

LEGEND

TOTAL IMPERVIOUS AREA 130,240 Sq.Ft

PROPERTY DATA		
SITE AREA		SQ. FT
	NET AREA	327,019.16 Sq. ft
	BUILDING COVERAGE AREA	28%
	BUILDING FOOTPRINT	88,740 Sq. ft
	IMPERVIOUS AREA	130,240 Sq.ft
	PERVIOUS AREA	94,253 Sq.ft
	OPEN SPACE	139,135 Sq.ft

NOTES:

- All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.
- Numbers to be maintained in a conspicuous place where they can be seen and read from the street.
- The building will be fully sprinklered
- Construction type 1B
- Building is not light-frame type construction
- Proposed Barrier arms located at surface parking and garage entrances.

NORTH

IMPERVIOUS AREA
40 dus SCALE: 1"=30'-0"

THE EDISON APARTMENTS

FOR: TPACROUP
LOCATED AT: PEMBROKE PINES, FLORIDA

STATE OF FLORIDA
JOSE I. SAUMELL
AR0013085

MSA ARCHITECTS, INC.
A40000895
8950 SW 74th COURT
SUITE 1513
MIAMI, FLORIDA 33156
(305) 273-9811

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ARCHITECTURE & PLANNING

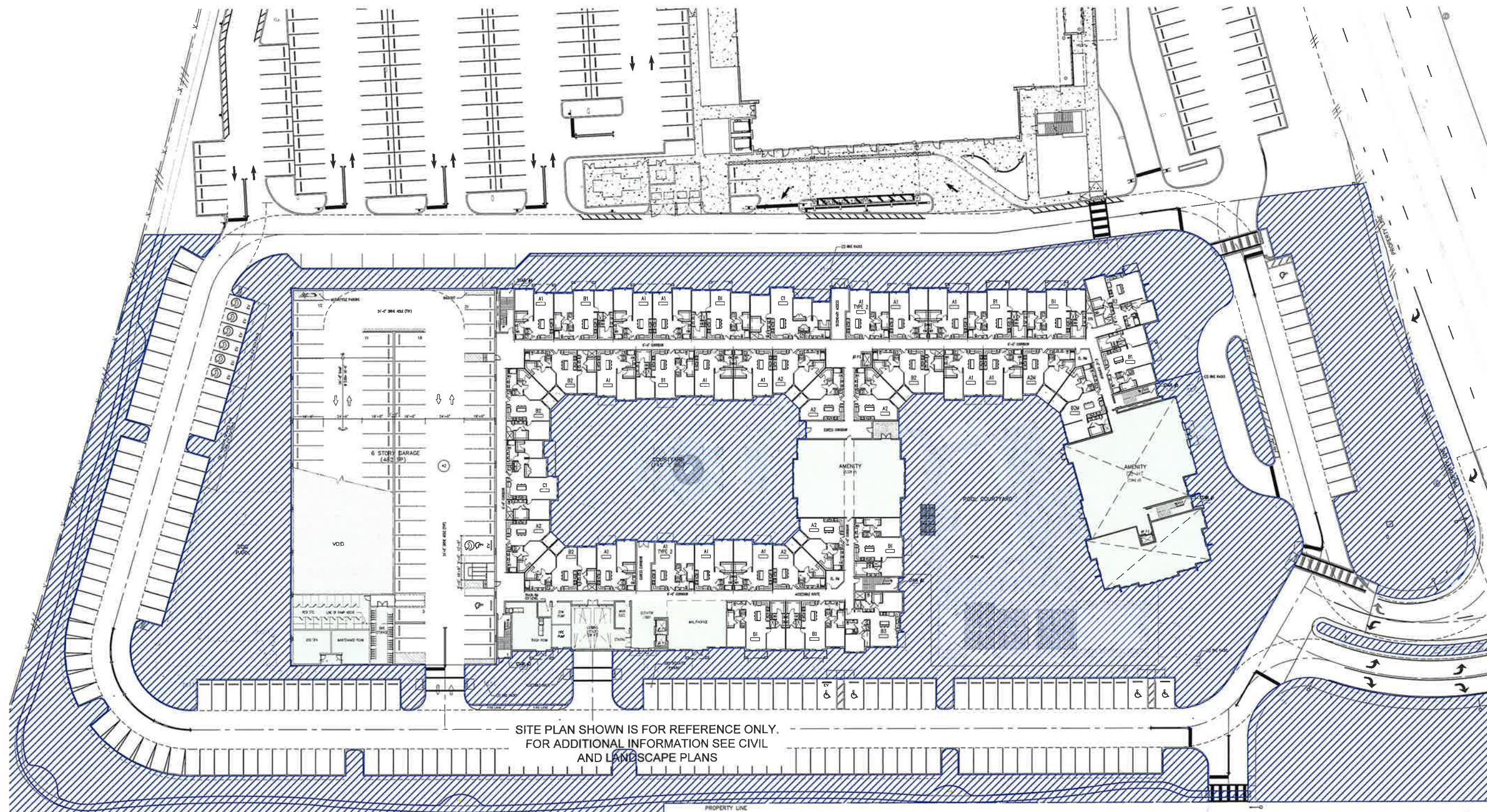
ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE 30TH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

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DRAWN 09/17/2021
DATE
SCALE AS SHOWN
JOB NO. 2059.PRJ

SHEET TITLE:
IMPERVIOUS AREA

SHEET NUMBER:
A-0.2



SITE PLAN SHOWN IS FOR REFERENCE ONLY.
FOR ADDITIONAL INFORMATION SEE CIVIL
AND LANDSCAPE PLANS

LEGEND

TOTAL OPEN SPACE AREA 139,135 Sq.Ft

SITE AREA	PROPERTY DATA	
	SITE AREA	SQ. FT
	NET AREA	327,019.16 Sq. ft
	BUILDING COVERAGE AREA	28%
	BUILDING FOOTPRINT	88,740 Sq. ft
	IMPERVIOUS AREA	130,240 Sq.ft
	PERVIOUS AREA	94,253 Sq.ft
	OPEN SPACE	139,135 Sq.ft

NOTES:

- All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.
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- The building will be fully sprinklered
- Construction type 1B
- Building is not light-frame type construction
- Proposed Barrier arms located at surface parking and garage entrances.

OPEN SPACE AREAS
40 dus SCALE: 1"=30'-0"
NORTH

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

BY

THE EDISON APARTMENTS

FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA

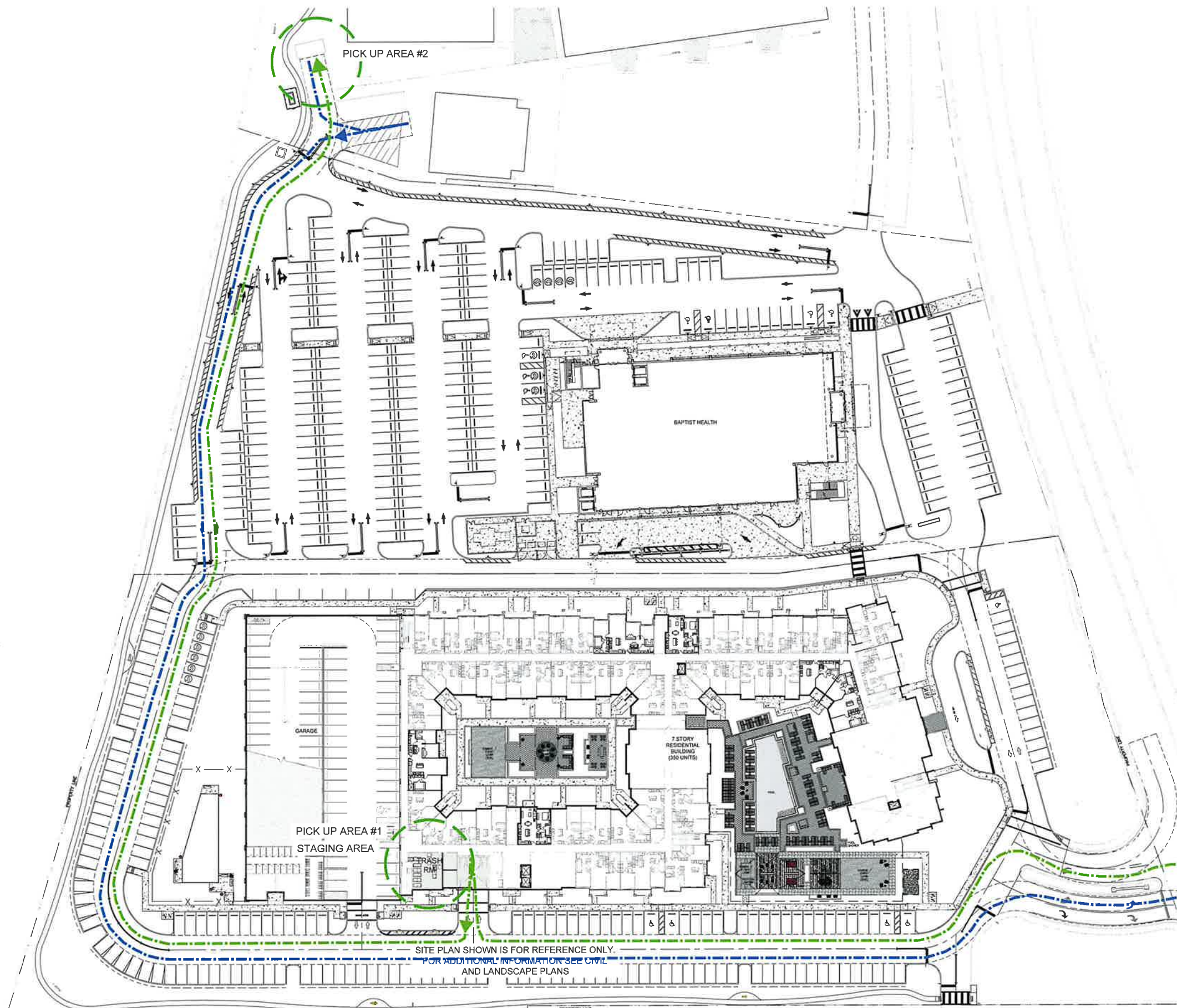
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AR0013085

MSA ARCHITECTS, INC.
AACC000895
8950 SW 74th COURT
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MIAMI, FLORIDA 33156
(305) 273-9911

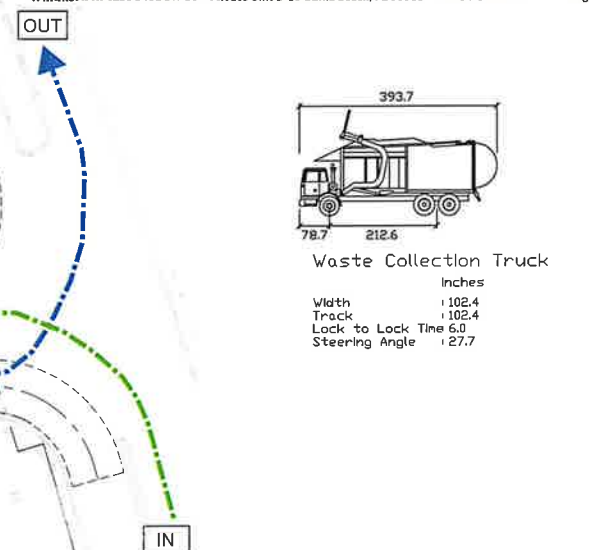
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DRAWN 09/17/2021
DATE
SCALE AS SHOWN
JOB NO. 2059.FRJ
SHEET TITLE:
OPEN SPACE CALCULATIONS
SHEET NUMBER:
A-0.3



SITE PLAN SHOWN IS FOR REFERENCE ONLY.
 FOR ADDITIONAL INFORMATION SEE CIVIL
 AND LANDSCAPE PLANS



The Edison-Pembroke Pines Phase 2

Trash collection narrative

The access to the development will be from SW 145th Avenue located to the East side of the property. From that point on, the garbage collection starts on the residential building and ends on the office building, making its route around the development and backing out to exit on 145th Avenue to leave the property.

To support the trash collection process, the residential building maintenance staff will roll out the trash bins from the trash/holding room to the staging area the scheduled pick-up days.

After this, the truck will continue its route going North (up) making a left to go straight into the pick-up area #2 in the office building

Afterwards this operation, the garbage truck will back out and go south (down) to make a right turn, go east and leave the development.

Wilkinson Hi-Rise
 A WHR Holdings Company

1/24/2022

MEYKING RAMOS WONG
 DESIGN MANAGER

MSA ARCHITECTS
 ARCHITECTURE & PLANNING

9750 SW 74 COURT SUITE 1513
 MIAMI, FLORIDA 33156
 PHONE: 305-273-9911
 FAX: 305-273-9424
 WWW.MSAArchitectsINC.COM

Re: The Edison Pembroke Pines-Phase 2

The project is composed seven story building with 350 units. The building will incorporate the use of Qty.1 waste chute and Qty.1 Model 400 CS chute compactor, Qty.1 Model 350 Ground floor thru-wall compactor and a ground floor recycling area. The building is designed around the equipment and will accommodate the compactors: 2-yard containers for waste and 2-yard containers for recycling. The complex will be serviced 3 days a week for waste. Waste picked up is Qty.10 2yd compaction containers. Recycling will be service 2 per week, pick up Qty. 6 2 Yd. recycling containers. The equipment will meet the city recycling ordinance as well as handle the volume of solid waste for the project. (See ground floor drawing for equipment reference locations).

If you have any questions or concerns, please give me a call at (954) 342-4400.

Michael F. Bracken
 Michael F. Bracken
 President

TRASH VEHICLE CIRCULATION DIAGRAM
 SCALE: 1"=40'-0"

BY

THE EDISON APARTMENTS

FOR: TPAGROUP
 LOCATED AT: PEMBROKE PINES, FLORIDA

MSA ARCHITECTS
 ARCHITECTURE & PLANNING

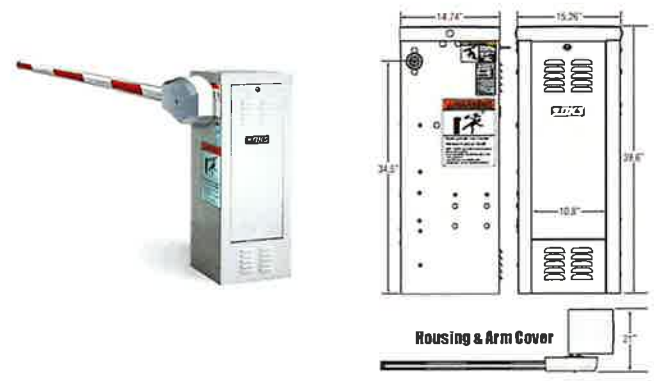
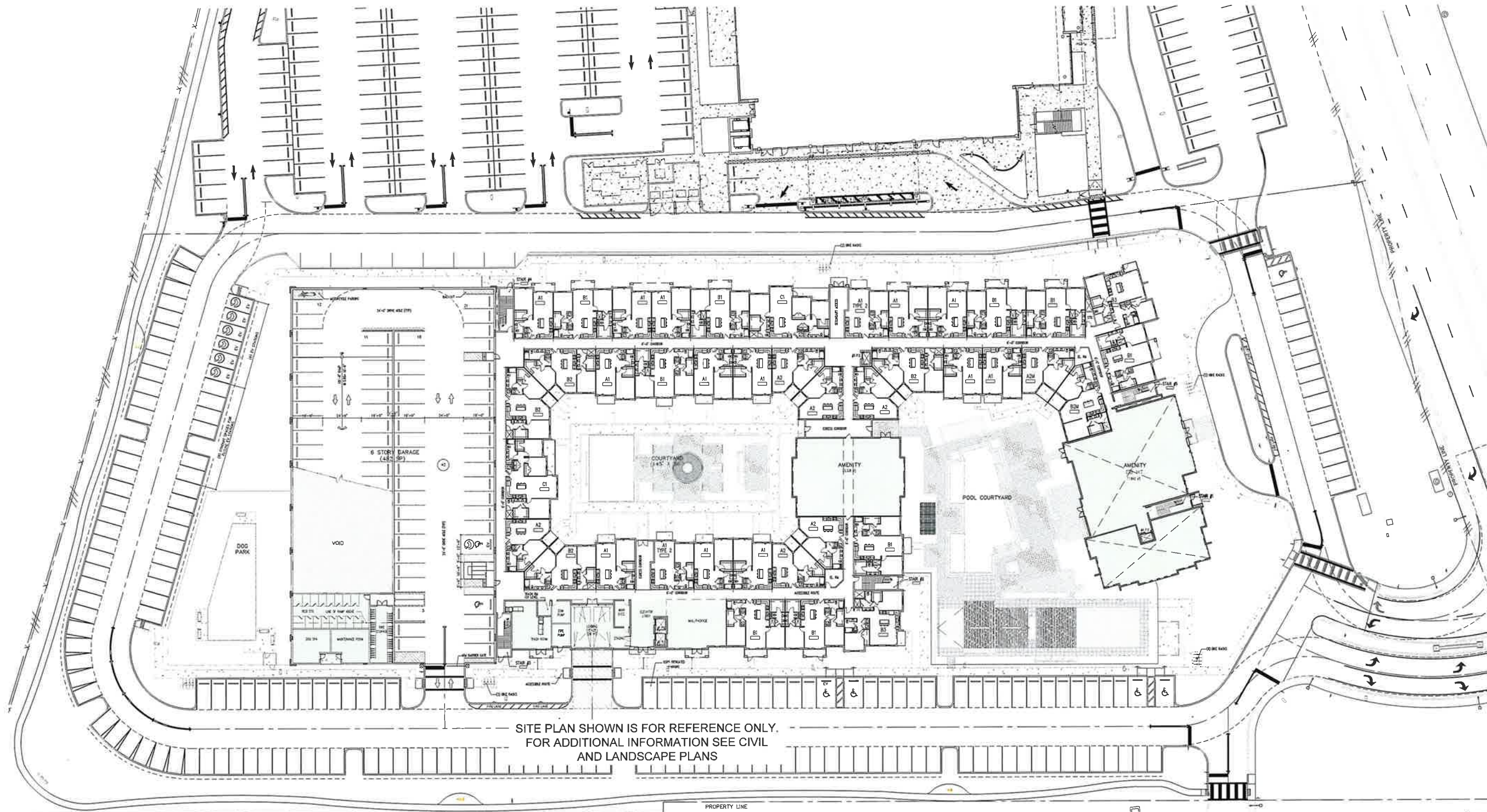
STATE OF FLORIDA
 JOSE I. SAUMELL
 ARO013085

MSA ARCHITECTS, INC.
 AAC000895
 8950 SW 74th COURT
 SUITE 1513
 MIAMI, FLORIDA 33156
 (305) 273-9911

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LEGAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

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DRAWN: 09/17/2021
 DATE: 09/17/2021
 SCALE: AS SHOWN
 JOB NO.: 2059.PR4
 SHEET TITLE: REFUSE VEHICLE CIRCULATION DIAGRAM
 SHEET NUMBER: A-2.0



TYPICAL ARM BARRIER GATE DETAILS
NOTE: FINAL ARM GATE TBD AT THE CONSTRUCTION DOCUMENT PHASE

DEVELOPMENT SUMMARY						
Unit Designation	Area	# Units	% of Total	Leasable Area (NRSF)	Avg sf/du	Target mix
1 BD						
A1	750 sf	119	34.0%	89,250 sf	753 avg sf/du	45%
A1 type 2	805 sf	2	0.6%	1,610 sf		
A2	751 sf	30	8.6%	22,530 sf		
A2.M	790 sf	7	2.0%	5,530 sf		
Sub-Total		158 units	45.1%	118,920 sf		
2 BD						
B1	1,120 sf	107	30.6%	119,840 sf	1,116 avg sf/du	50%
B2	1,081 sf	40	11.4%	43,240 sf		
B2.M	1,121 sf	7	2.0%	7,847 sf		
B3	1,153 sf	24	6.9%	27,672 sf		
Sub-Total		178 units	50.9%	198,599 sf		
3 BD						
C1	1,389 sf	14	4.0%	19,446 sf	1,389 avg sf/du	5%
Sub-Total		14 units	4.0%	19,446 sf		
Units/Blgd		350 units	100%	336,965 sf	963 avg sf/du	100%
# of Bldgs		1 bldg				

- NOTES:
- All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front & rear and/or side doors, with the numbers being not less than six, nor more than nine inches in height. The numerals shall contrast with their background and be kept free of obstructions.
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 - The building will be fully sprinklered
 - Construction type 1B
 - Building is not light-frame type construction
 - Proposed Barrier arms located at surface parking and garage entrances.
 - Refer to Civil plans for parking count and additional information.

LEVEL 1
 40' dus
 SCALE: 1"=30'-0"
 NORTH

THE EDISON APARTMENTS
 FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

MSA ARCHITECTS, INC.
 AAC000895
 8050 SW 74th COURT
 MIAMI, FLORIDA 33156
 (305) 273-9911

MSA ARCHITECTS
 ARCHITECTURE & PLANNING

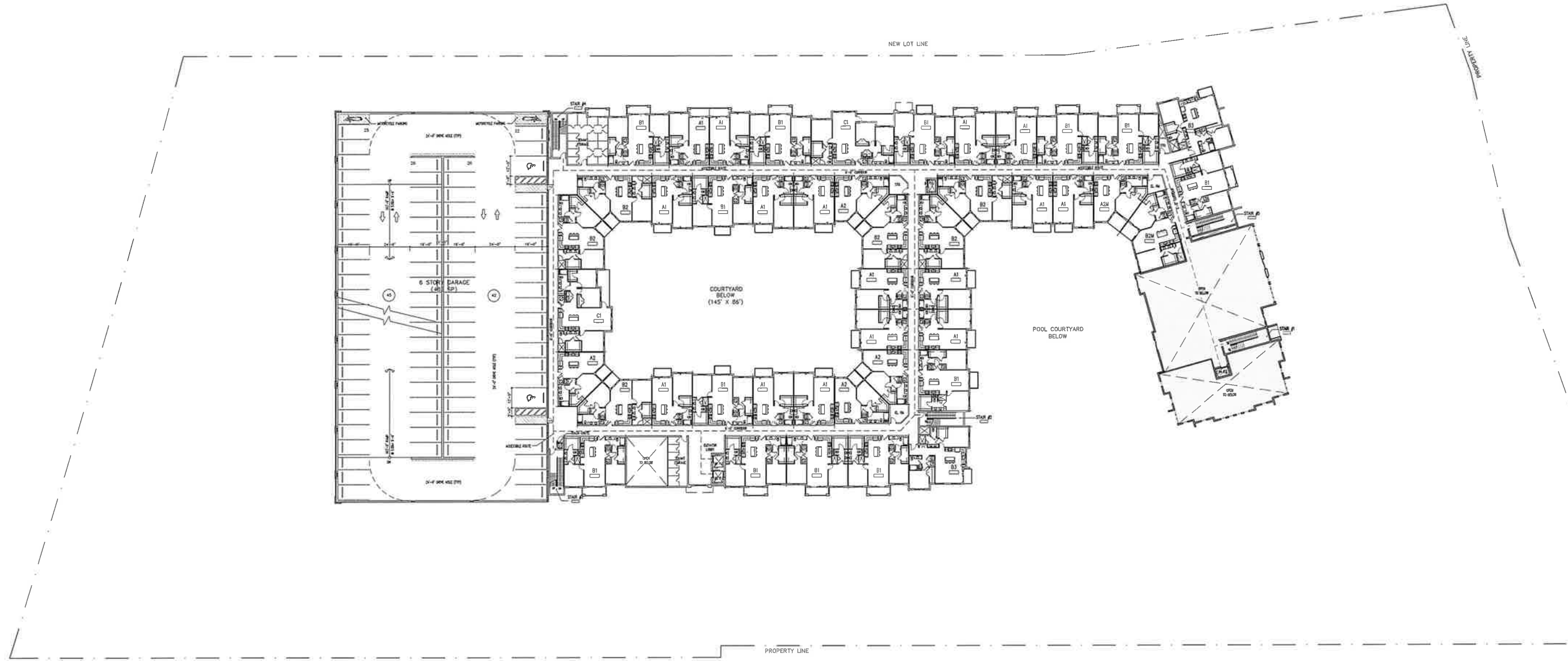
DRAWN: 09/17/2021
 DATE: 09/17/2021
 SCALE: AS SHOWN
 JOB NO.: 2059.FRJ
 SHEET TITLE: LEVEL 1
 SHEET NUMBER: A-2.1

ARCHITECT'S BUILDING CODE STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

STATE OF FLORIDA
 ARCHITECTS
 JOSE I. SAUMELL
 ARO013065

MSA ARCHITECTS, INC.
 AAC000895
 8050 SW 74th COURT
 MIAMI, FLORIDA 33156
 (305) 273-9911

DRAWN: 09/17/2021
 DATE: 09/17/2021
 SCALE: AS SHOWN
 JOB NO.: 2059.FRJ
 SHEET TITLE: LEVEL 1
 SHEET NUMBER: A-2.1



LEVEL 2

45 DUS

SCALE: 1"=30'-0"

DRAWN _____
 DATE 09/17/2021
 SCALE AS SHOWN
 JOB NO. 2059.PRJ

SHEET TITLE:

LEVEL 2

SHEET NUMBER:

A-2.2

MSA ARCHITECTS, INC.
 AA00000895
 6960 SW 74th COURT
 SUITE 101
 MIAMI, FLORIDA 33156
 (305) 273-9991



ARCHITECTS
 ARCHITECTURE & PLANNING

ARCHITECT'S STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

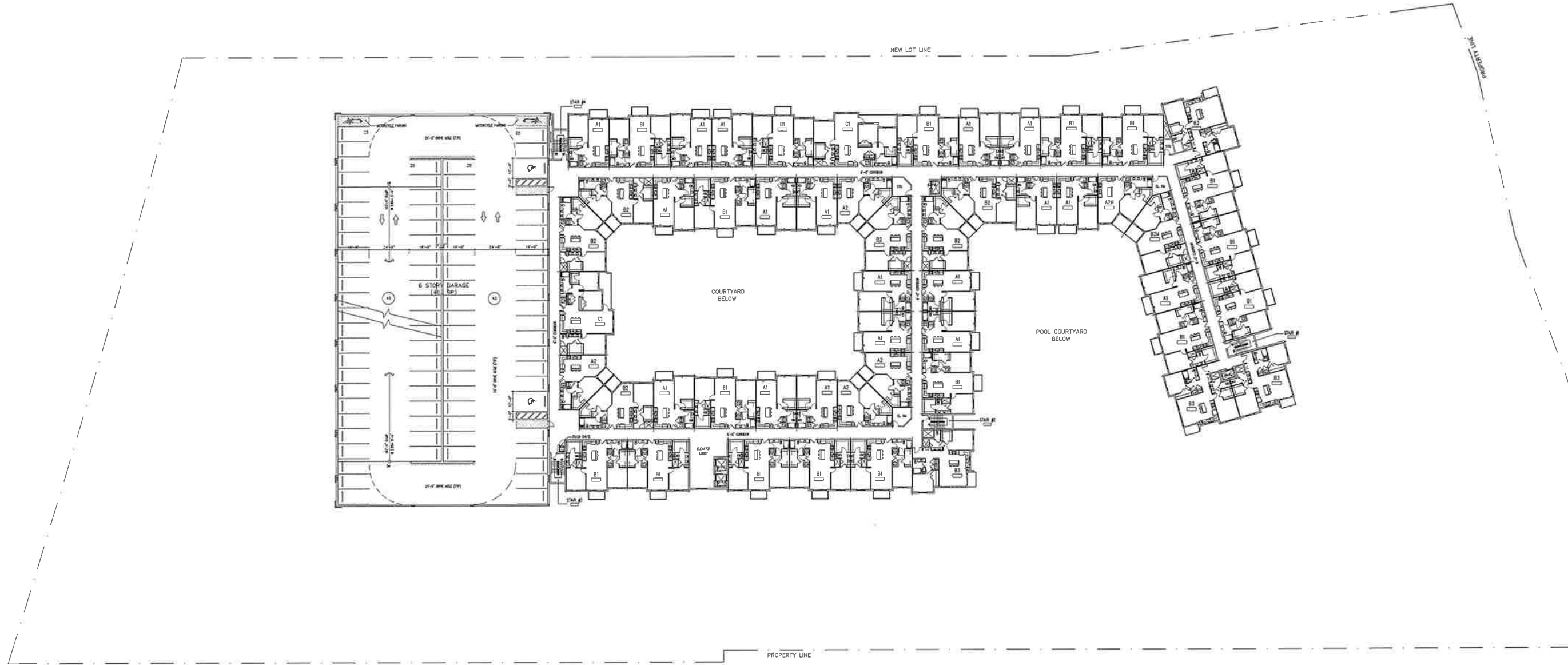


JOSE I. SALMELL
 AR0013085

THE EDISON APARTMENTS

FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

BY _____




LEVELS 3-5
 53 DUS X 3 LEVEL
 159 DUS
 SCALE: 1"=30'-0"

DRAWN _____
 DATE 09/17/2021
 SCALE AS SHOWN
 JOB NO. 2059.PR.1

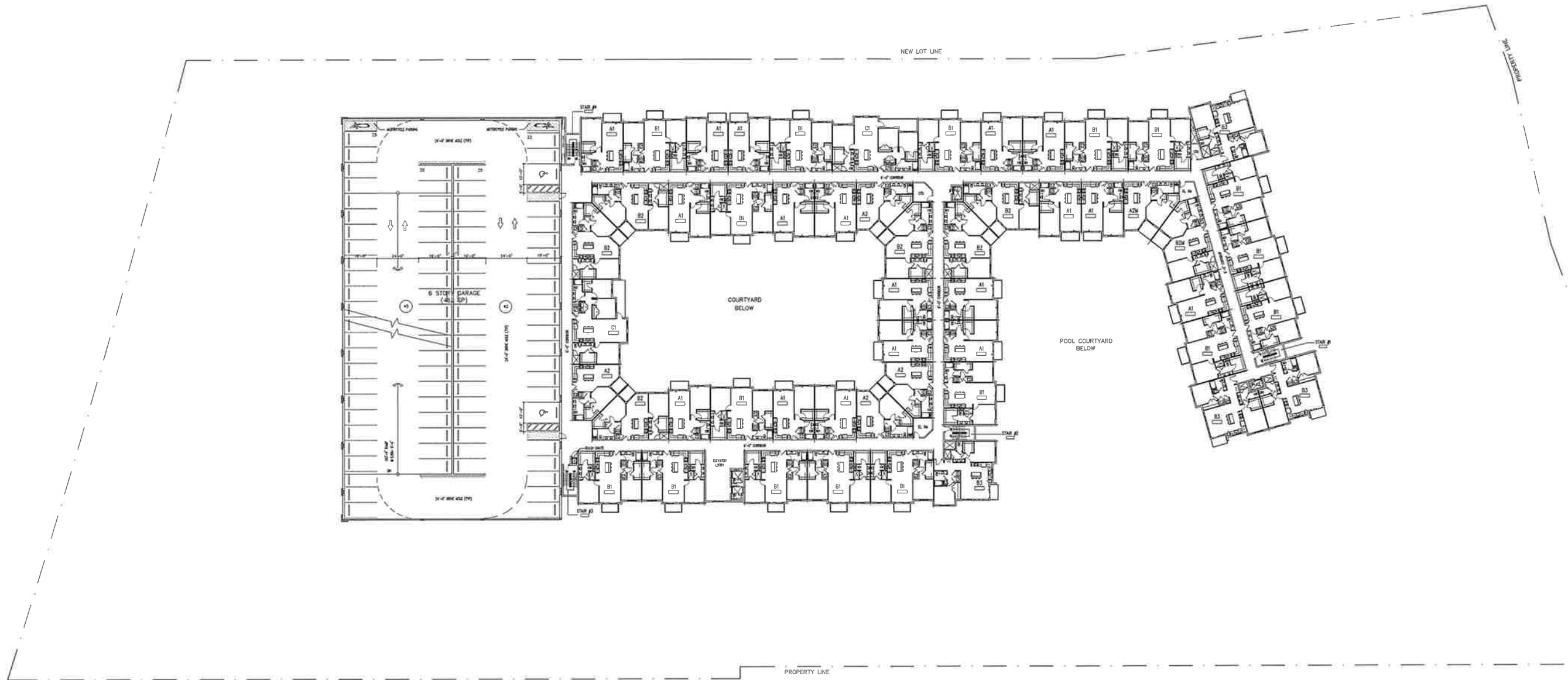
SHEET TITLE:
 LEVELS 3-5
 SHEET NUMBER:
A-2.3

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 MIAMI, FLORIDA 33156
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THE EDISON APARTMENTS
 FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.
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LEVEL 6

53 DUS

SCALE: 1"=30'-0"

DRAWN _____
 DATE 09/17/2021
 SCALE AS SHOWN
 JOB NO. 2059-PRJ

SHEET TITLE:
 LEVEL 6

SHEET NUMBER:
 A-2.4



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 SUITE 1513
 MIAMI, FLORIDA 33156
 (305) 273-9911



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 ARO013085

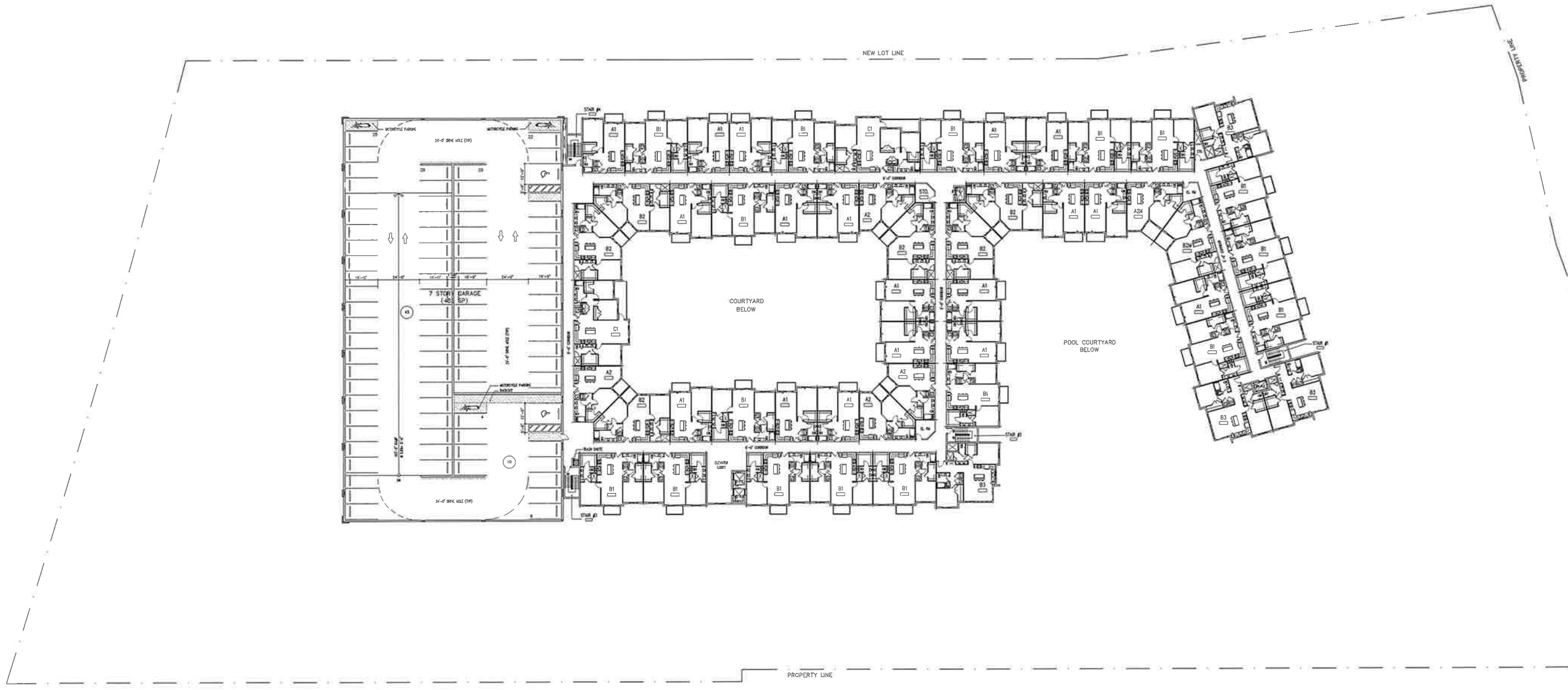
THE EDISON APARTMENTS

FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

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BY _____

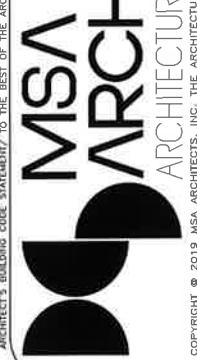


LEVEL 7
53 DUS

SCALE: 1"=30'-0"

DRAWN	
DATE	09/17/2021
SCALE	AS SHOWN
JOB NO.	2059.PRJ

SHEET TITLE:	LEVEL 7
SHEET NUMBER:	A-2.5



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JOSE I. SAUMELL
AR0013085

THE EDISON APARTMENTS

FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA

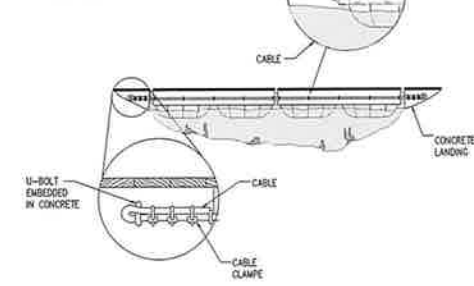
ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE, SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633, FLORIDA STATUTES.

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BY

GRAPHIC SCREEN - TYPE 1A-PES VENTILATED MESH

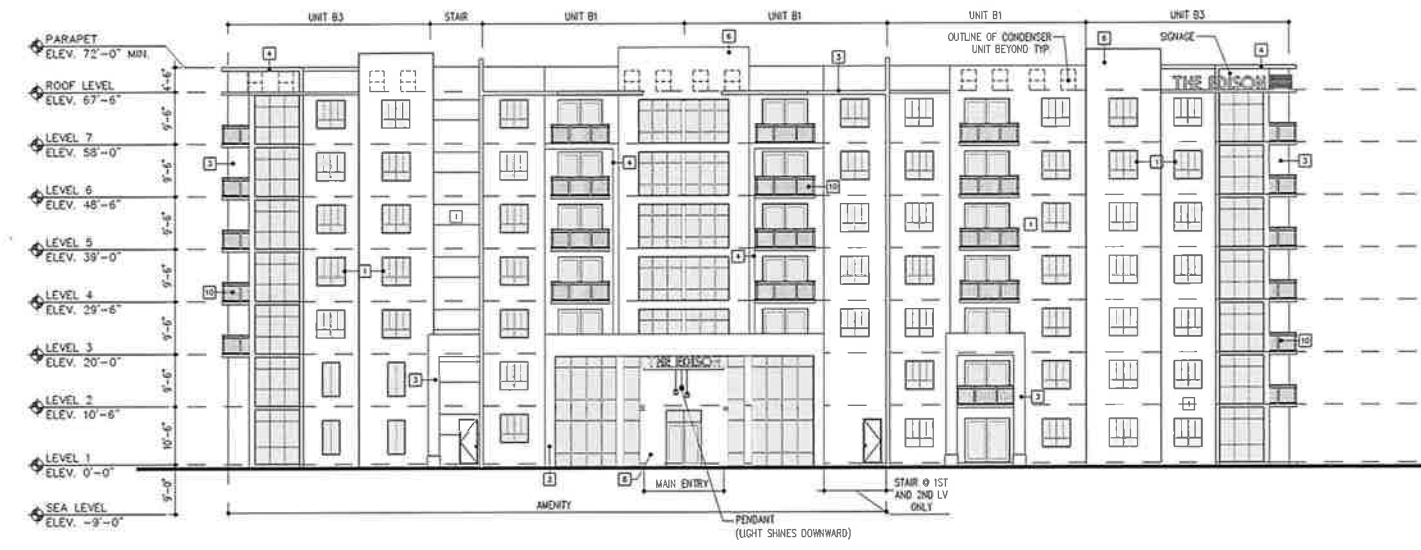
- 1. POLYVINYL COATED POLYESTER VENTILATED FABRIC MESH
- 2. CUSTOM GRAPHIC APPLIED TO MESH WITH 10 TO 53% OPEN MESH FABRIC
- 3. FIRE RATING: FIRE RESISTANT (PASSING ASTM E-84 "CLASS A" AND NFPA 701)
- 4. WARRANTY: 10 YEARS
- 5. EXPECTED LIFE CYCLE: 20 YEARS
- 6. 100% RECYCLABLE MATERIAL



DET. SCREEN 1
N.T.S.

Note: Light fixtures are for reference purposes only.
Final selection TBD at the construction document phase.

Screening is for illustrative purposes only.
Final design TBD at the construction document phase.



1 EAST ELEVATION



3 SOUTH ELEVATION



3A SOUTH ELEVATION

COLOR SCHEME KEY

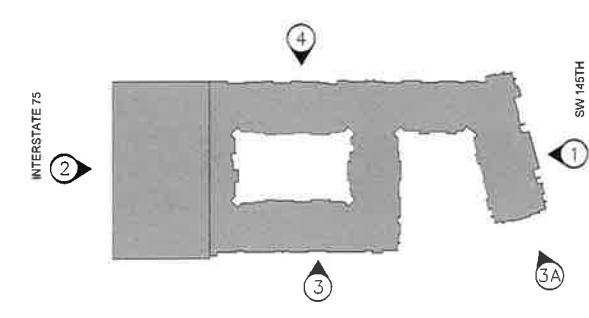
- | | | | |
|---|---------------------------------------|---|------------------------------------|
| 1 | MAIN STUCCO
SW 7006
EXTRA WHITE | 2 | ACCENT 3
SW 7649
SILVERPLATE |
| 3 | ACCENT 4
SW 7674
PEPPERCORN | 4 | ACCENT 4
SW 7069
IRON ORE |
| 5 | ACCENT 5
SW 7003
TOQUE WHITE | 6 | ACCENT 6
SW 6252
ICE CUBE |

MATERIAL LEGEND

- | | | | |
|---|--|---|----------------------------|
| 7 | MAIN STUCCO
MEDIUM TO LIGHT
FINISH | 8 | STONE
VENEER
(BEIGE) |
|---|--|---|----------------------------|

ELEVATION LEGEND

1	PAINTED STUCCO MAIN WALL/ TRIM/ DOOR & WINDOW FRAME (EXTRA WHITE)
2	PAINTED STUCCO WALL (SILVERPLATE)
3	PAINTED STUCCO WALL/ TRIM (PEPPERCORN)
4	CONCRETE PANEL/ TRIM (IRON ORE)
5	PAINTED STUCCO WALL (TOQUE WHITE)
6	PAINTED STUCCO WALL (ICE CUBE)
7	PAINTED STUCCO WALL
8	WALL STONE VENEER (BEIGE)
9	TINTED GLASS
10	VERTICAL PICKET RAILING (SILVER)



BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"

THE EDISON APARTMENTS
FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA

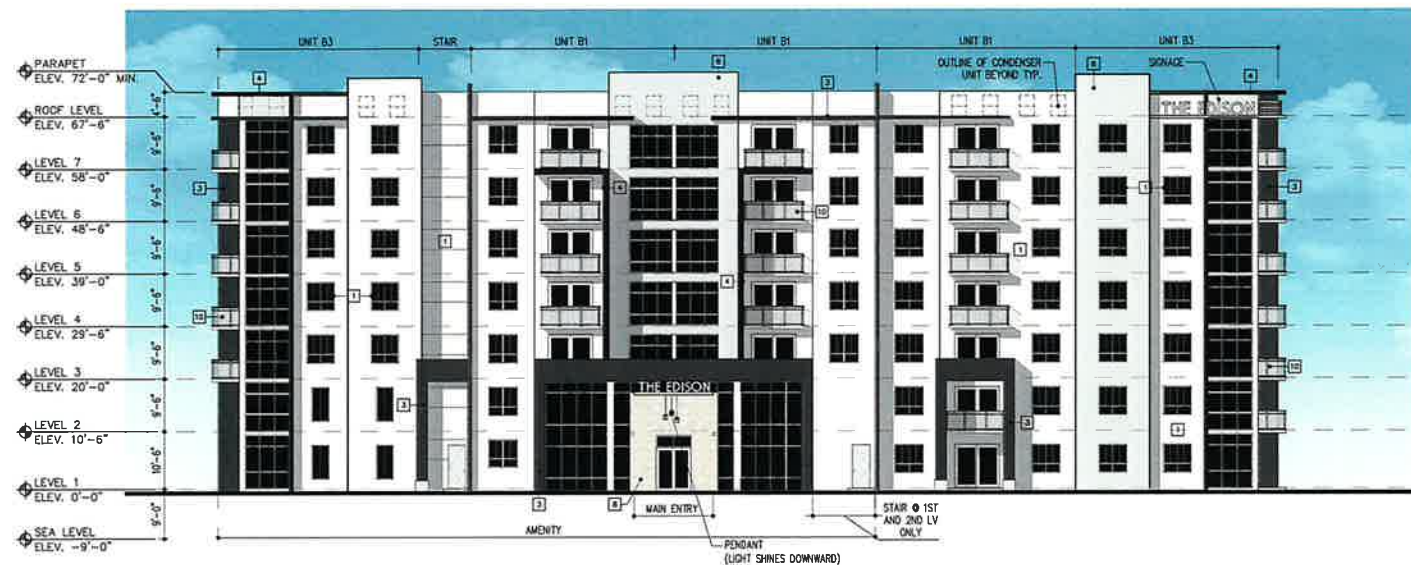
JOSE L. SAUMELL
A0013065

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8950 SW 74th COURT
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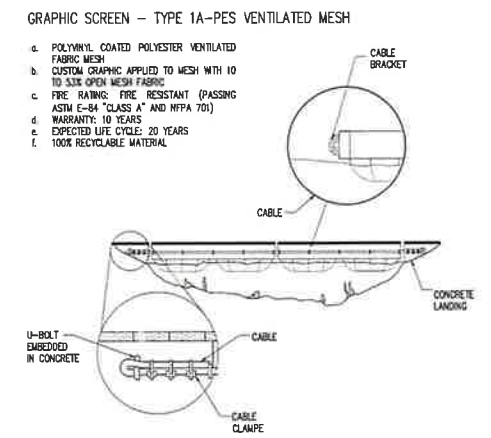
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DRAWN	09/17/2021
DATE	AS SHOWN
SCALE	2059.PRJ
JOB NO.	
SHEET TITLE:	BUILDING ELEVATIONS
SHEET NUMBER:	A-3.1



1 EAST ELEVATION



GRAPHIC SCREEN - TYPE 1A-PES VENTILATED MESH

- POLYVINYL COATED POLYESTER VENTILATED FABRIC MESH
- CUSTOM GRAPHIC APPLIED TO MESH WITH 10 TO 3/16" OPEN MESH FABRIC
- FIRE RATING: FIRE RESISTANT (PASSING ASTM E-84 "CLASS A" AND NFPA 701)
- WARRANTY: 10 YEARS
- EXPECTED LIFE CYCLE: 20 YEARS
- 100% RECYCLABLE MATERIAL

Note: Light fixtures are for reference purposes only. Final selection TBD at the construction document phase.

Screening is for illustrative purposes only. Final design TBD at the construction document phase.



3 SOUTH ELEVATION



3A SOUTH ELEVATION

COLOR SCHEME KEY

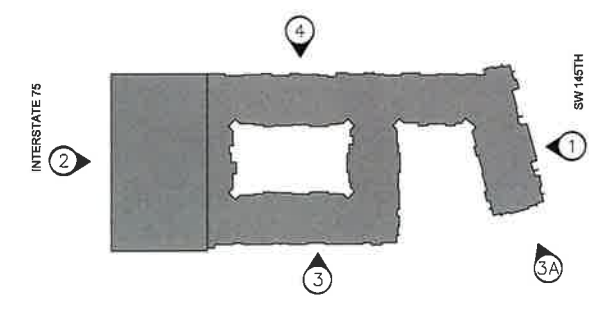
1	MAIN STUCCO SW 7006 EXTRA WHITE	2	ACCENT 3 SW 7649 SILVERPLATE
3	ACCENT 4 SW 7674 PEPPERCORN	4	ACCENT 4 SW 7069 IRON ORE
5	ACCENT 5 SW 7003 TOUQUE WHITE	6	ACCENT 6 SW 6252 ICE CUBE

MATERIAL LEGEND

7	MAIN STUCCO MEDIUM TO LIGHT FINISH	8	STONE VENEER (BEIGE)
---	--	---	----------------------------

ELEVATION LEGEND

1	PAINTED STUCCO MAIN WALL/ TRIM/ DOOR & WINDOW FRAME (EXTRA WHITE)
2	PAINTED STUCCO WALL (SILVERPLATE)
3	PAINTED STUCCO WALL/ TRIM (PEPPERCORN)
4	CONCRETE PANEL/ TRIM (IRON ORE)
5	PAINTED STUCCO WALL (TOUQUE WHITE)
6	PAINTED STUCCO WALL (ICE CUBE)
7	PAINTED STUCCO WALL
8	WALL STONE VENEER (BEIGE)
9	TINTED GLASS
10	VERTICAL PICKET RAILING (SILVER)



KEY PLAN
SCALE: N.T.S.

BUILDING ELEVATIONS
SCALE: 1/16" = 1'-0"

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

BY

THE EDISON APARTMENTS

FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA

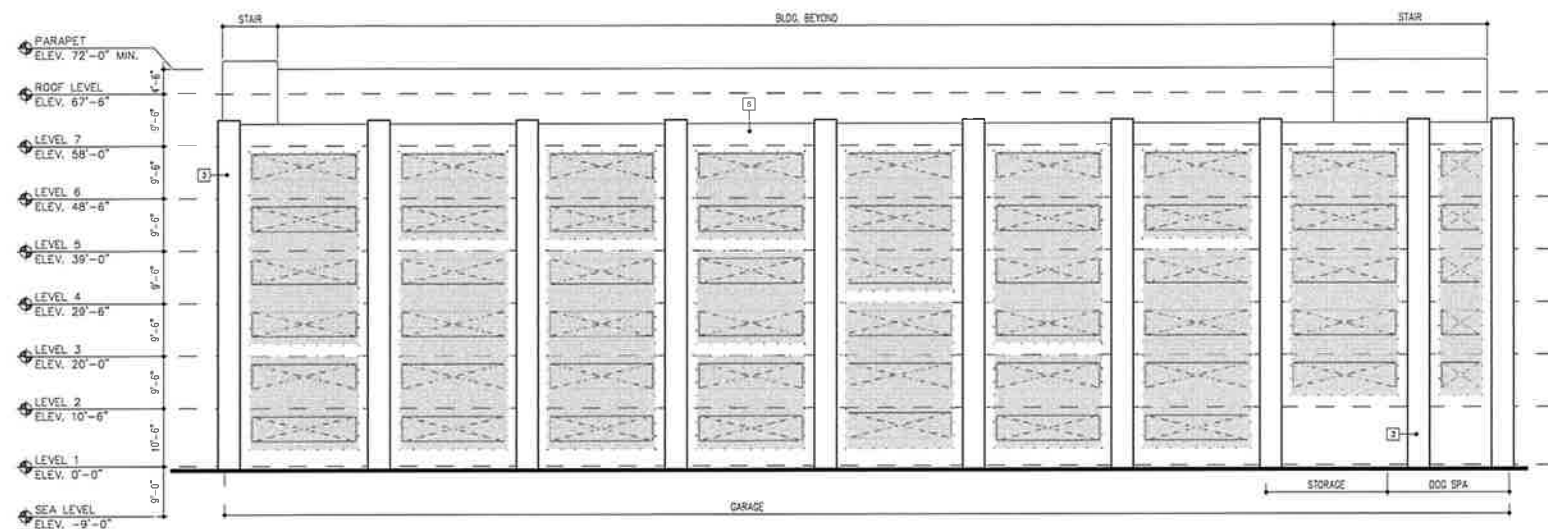
JOSE I. SAUNELL
AR0013085

MSA ARCHITECTS, INC.
AAC000895
8950 SW 74th COURT
SUITE 1013
MIAMI, FLORIDA 33156
(305) 272-9911

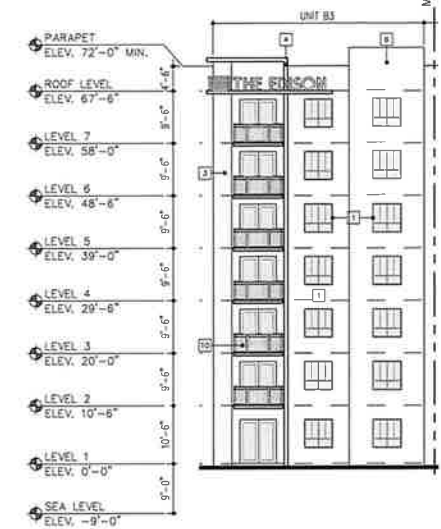
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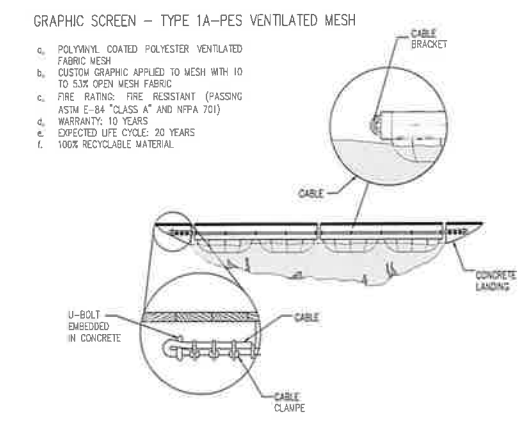
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SCALE: AS SHOWN
JOB NO.: 2059 PRJ
SHEET TITLE:
BUILDING ELEVATIONS
SHEET NUMBER:
A-3.1C



2 WEST ELEVATION



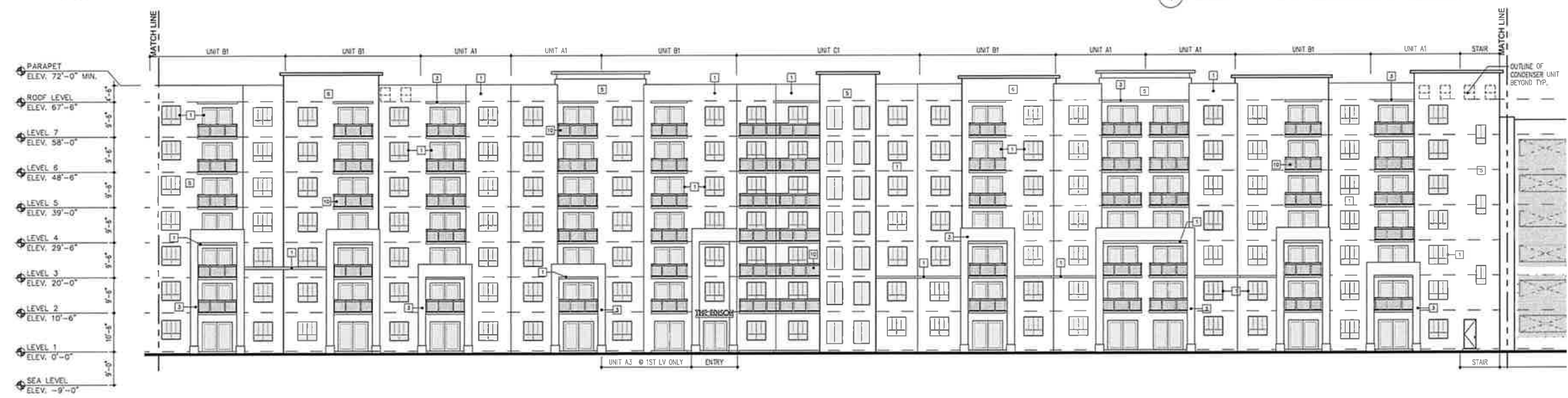
4 NORTH ELEVATION



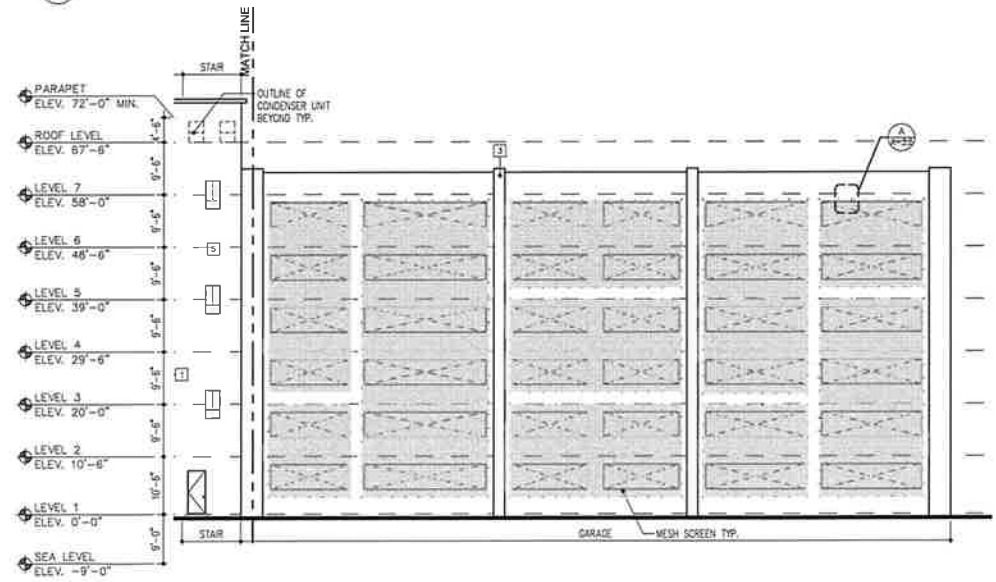
DET. SCREEN 1

Note: Light fixtures are for reference purposes only. Final selection TBD at the construction document phase.

Screening is for illustrative purposes only. Final design TBD at the construction document phase.



4 NORTH ELEVATION



4 NORTH ELEVATION

COLOR SCHEME KEY

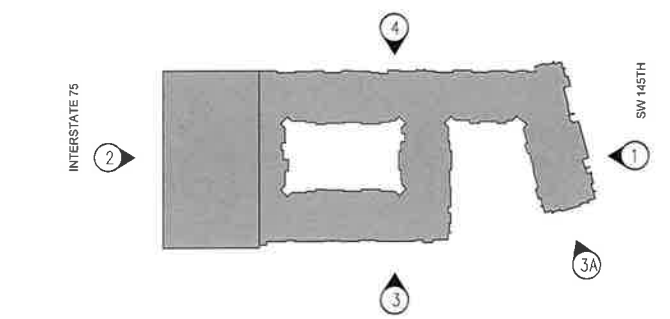
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3	ACCENT 4 SW 7674 PEPPERCORN	4	ACCENT 4 SW 7069 IRON ORE
5	ACCENT 5 SW 7003 TOQUE WHITE	6	ACCENT 6 SW 6252 ICE CUBE

MATERIAL LEGEND

7	MAIN STUCCO MEDIUM TO LIGHT FINISH	8	STONE VENEER (BEIGE)
---	--	---	----------------------------

ELEVATION LEGEND

1	PAINTED STUCCO MAIN WALL/ TRIM/ DOOR & WINDOW FRAME (EXTRA WHITE)
2	PAINTED STUCCO WALL (SILVERPLATE)
3	PAINTED STUCCO WALL/ TRIM (PEPPERCORN)
4	CONCRETE PANEL/ TRIM (IRON ORE)
5	PAINTED STUCCO WALL (TOQUE WHITE)
6	PAINTED STUCCO WALL (ICE CUBE)
7	PAINTED STUCCO WALL
8	WALL STONE VENEER (BEIGE)
9	TINTED GLASS
10	VERTICAL PICKET RAILING (SILVER)



KEY PLAN
SCALE: N.T.S.

BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"

THE EDISON APARTMENTS

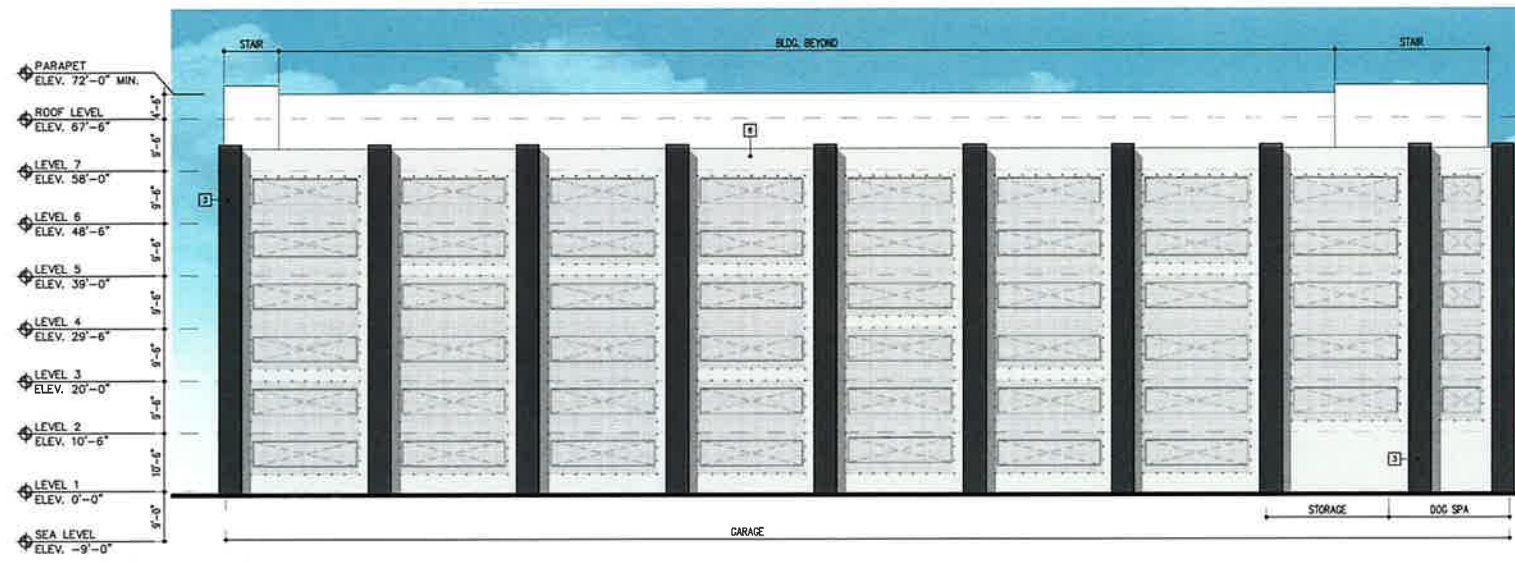
FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA



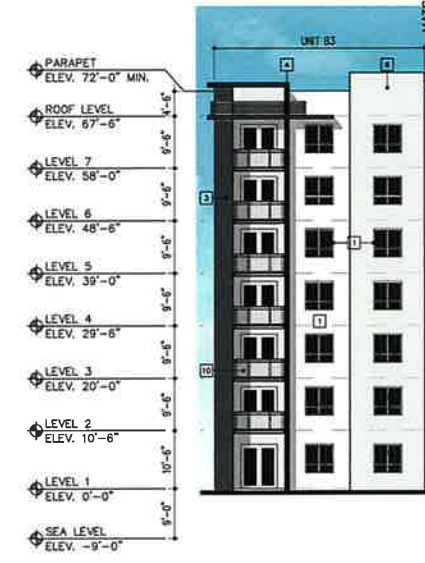
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AAC000895
8950 SW 74th COURT
MIAMI, FLORIDA 33156
(305) 273-9911



DRAWN	09/17/2021
DATE	AS SHOWN
SCALE	2059.PRJ
JOB NO.	
SHEET TITLE:	BUILDING ELEVATIONS
SHEET NUMBER:	A-3.2



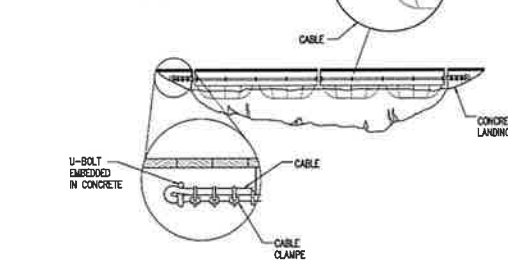
2 WEST ELEVATION



4 NORTH ELEVATION

GRAPHIC SCREEN - TYPE 1A-PES VENTILATED MESH

- a. POLYVINYL COATED POLYESTER VENTILATED FABRIC MESH
- b. CUSTOM GRAPHIC APPLIED TO MESH WITH 10 TO 15% OPEN MESH FABRIC
- c. FIRE RATING: FIRE RESISTANT (PASSING ASTM E-84 "CLASS A" AND NFPA 701)
- d. WARRANTY: 10 YEARS
- e. EXPECTED LIFE CYCLE: 20 YEARS
- f. 100% RECYCLABLE MATERIAL



A DET. SCREEN 1

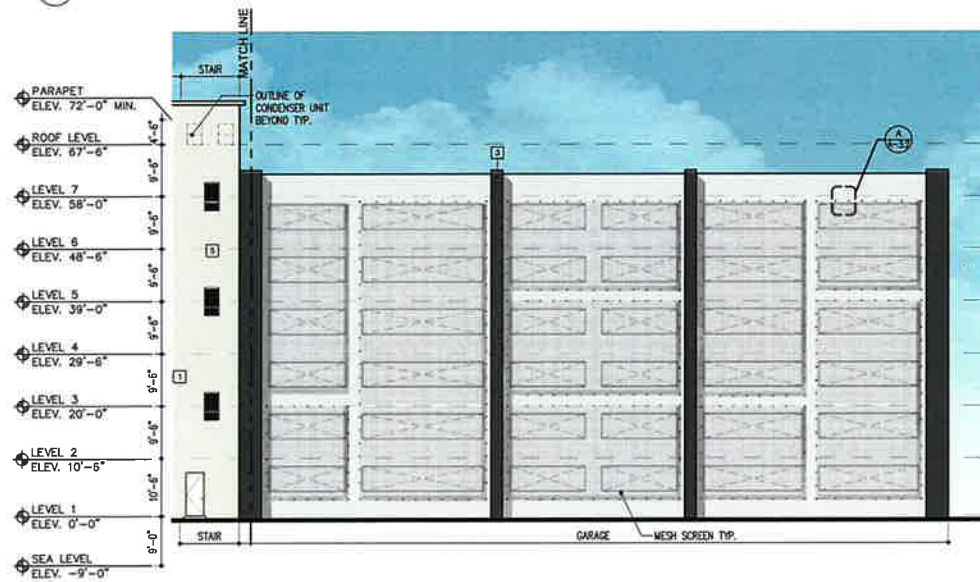
N.T.S.

Note: Light fixtures are for reference purposes only. Final selection TBD at the construction document phase.

Screening is for illustrative purposes only. Final design TBD at the construction document phase.



4 NORTH ELEVATION



4 NORTH ELEVATION

COLOR SCHEME KEY

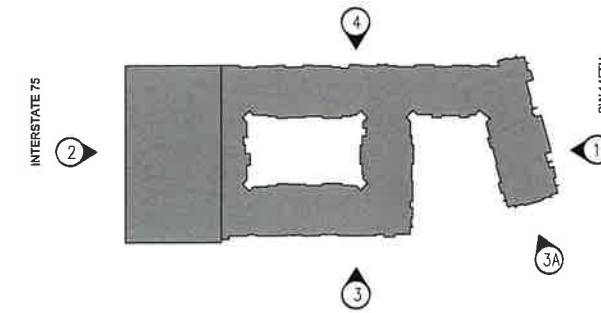
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3	ACCENT 4 SW 7674 PEPPERCORN	4	ACCENT 4 SW 7069 IRON ORE
5	ACCENT 5 SW 7003 TOUQUE WHITE	6	ACCENT 6 SW 6252 ICE CUBE

MATERIAL LEGEND

7	MAIN STUCCO MEDIUM TO LIGHT FINISH	8	STONE VENEER (BEIGE)
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ELEVATION LEGEND

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10	VERTICAL PICKET RAILING (SILVER)



KEY PLAN
SCALE: N.T.S.

BUILDING ELEVATIONS

SCALE: 1/16"= 1'-0"

THE EDISON APARTMENTS

FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA



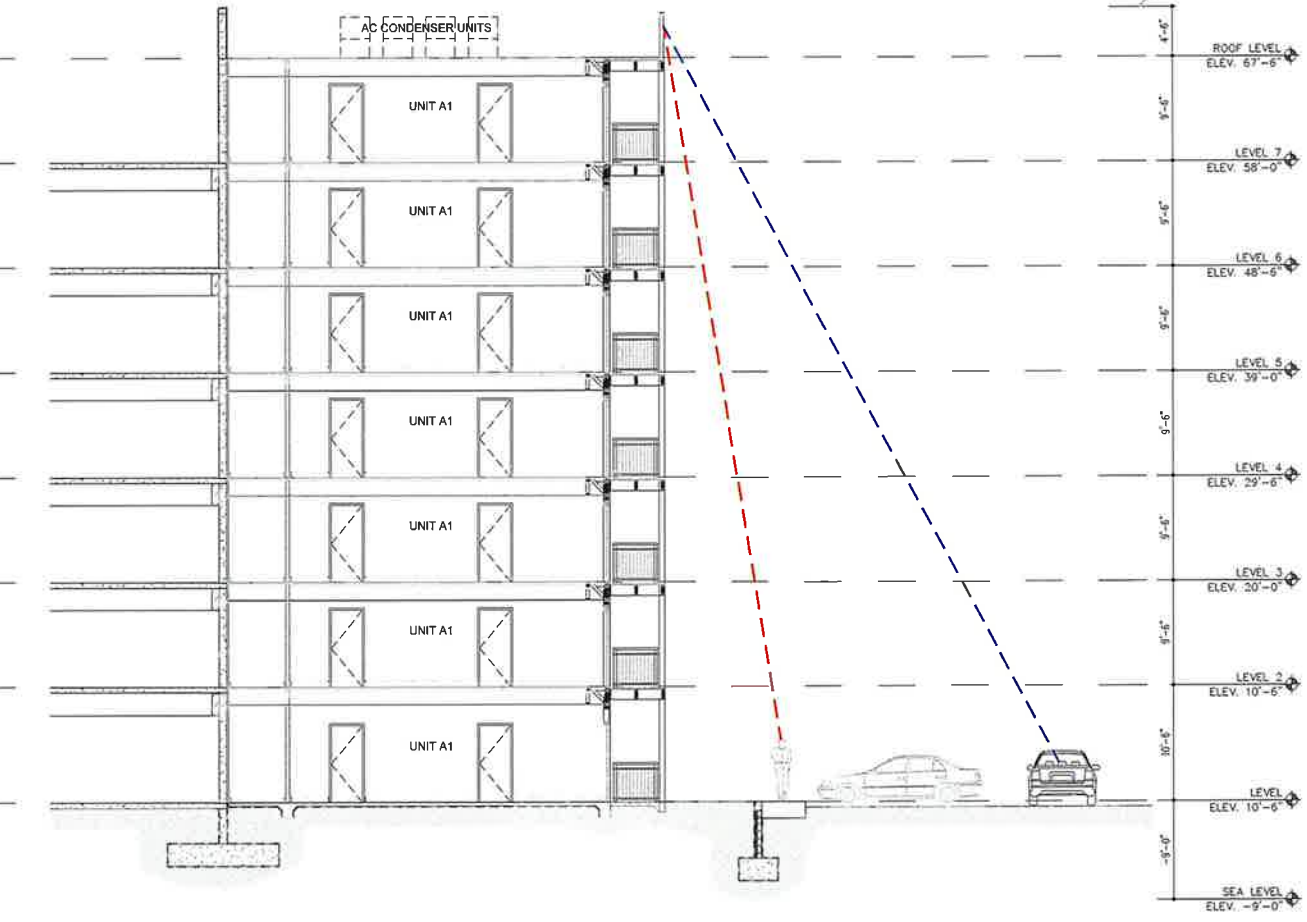
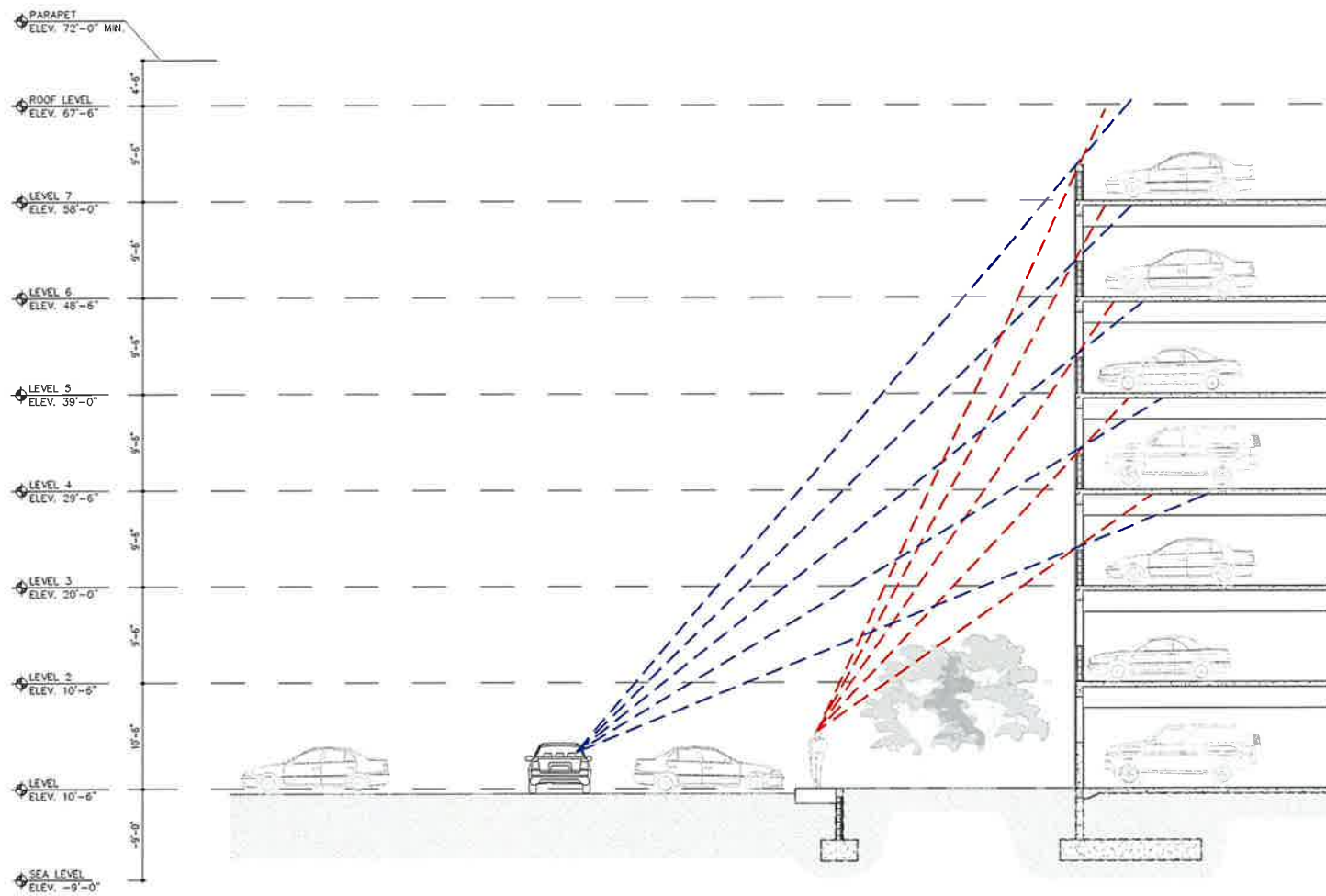
MSA ARCHITECTS, INC.
A A C 0 0 0 8 9 5

8500 SW 74th COURT
MIAMI, FLORIDA 33156
(305) 273-9911

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ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT/TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.
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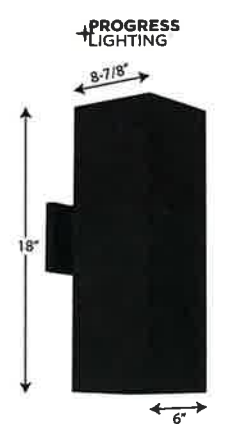
DRAWN	09/17/2021
DATE	AS SHOWN
SCALE	2059.PRJ
JOB NO.	
SHEET TITLE:	BUILDING ELEVATIONS
SHEET NUMBER:	A-3.2C



1 GARAGE SIGHT LINE
SCALE: 1/16" = 1'-0"

2 AC UNITS SIGHT LINE
SCALE: 1/16" = 1'-0"

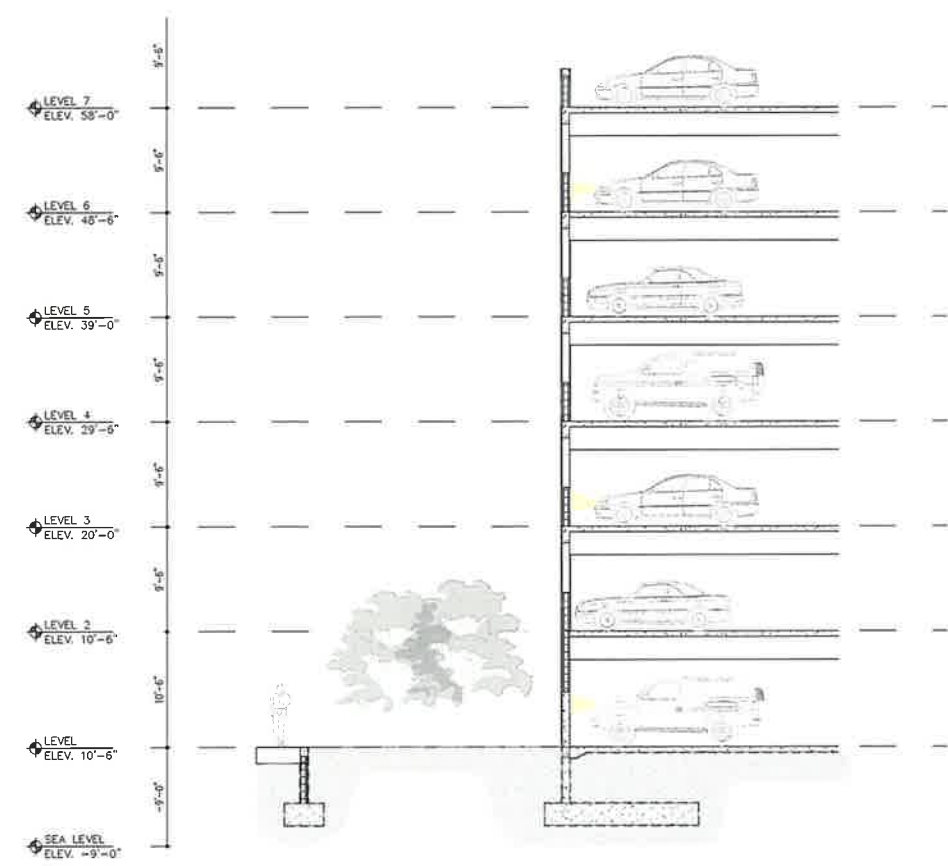
Note: Light fixtures images for reference purposes only.
Final design selection TBD at the construction documents phase.



OUTDOOR WALL SCONCE



LED MINI PENDANT LIGHT



1A HEADLIGHTS SCREENING
SCALE: N.T.S.

SECTION DIAGRAMS
SCALE: VARIES

BY

THE EDISON APARTMENTS

FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA

JOSE I. SAIMELL
AR0013065

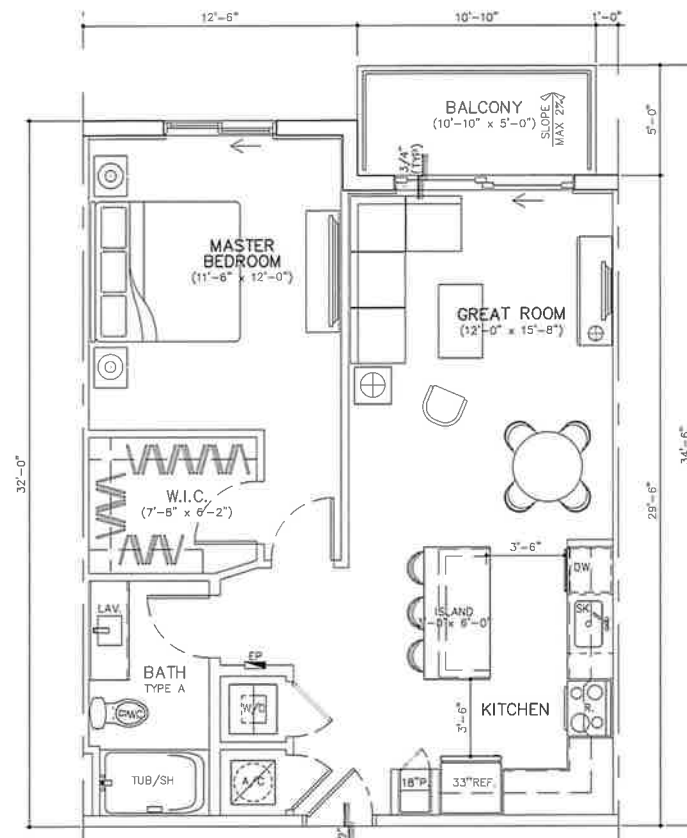
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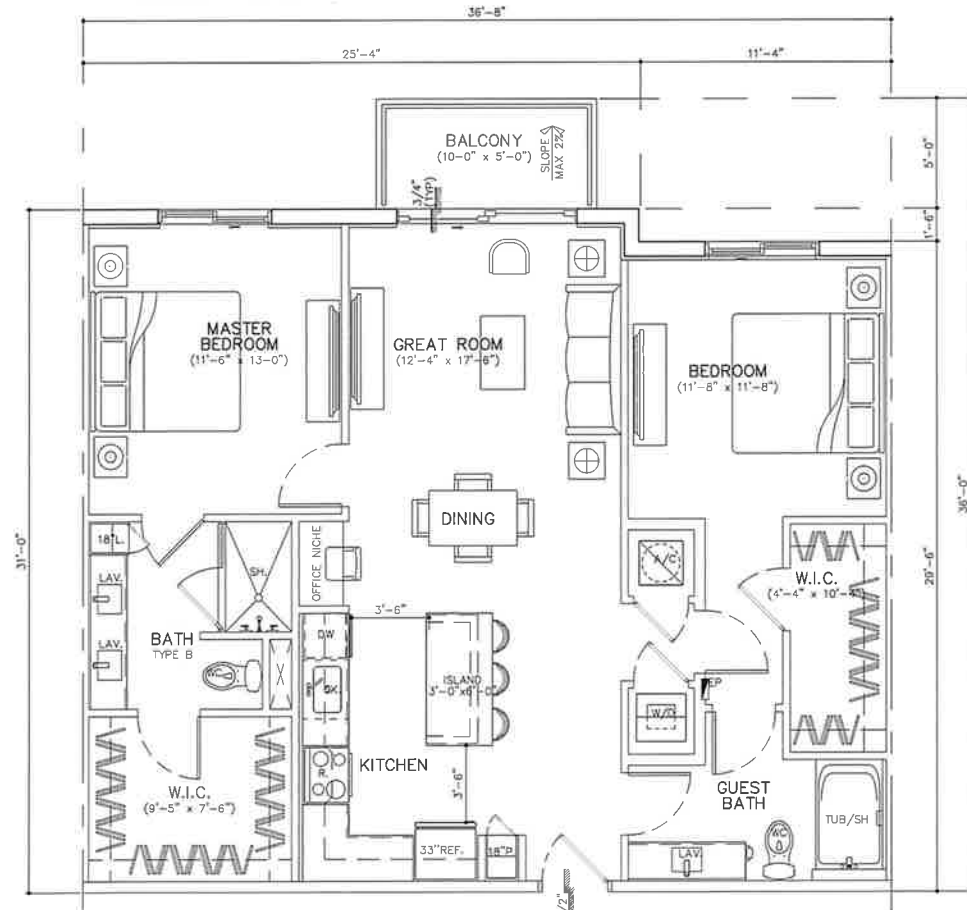
ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

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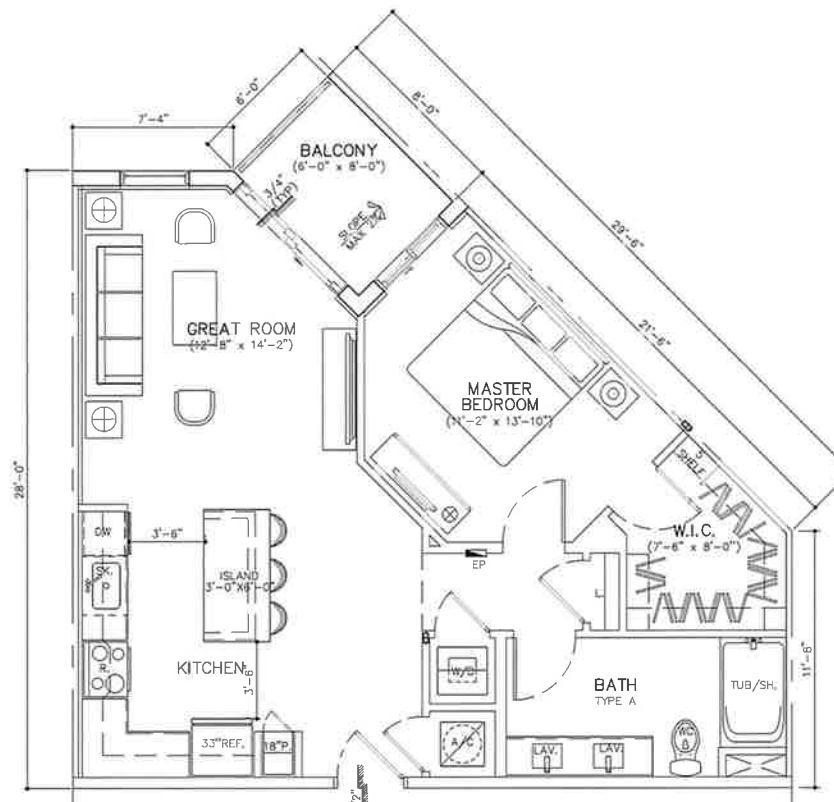
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SHEET NUMBER:	A-3.3



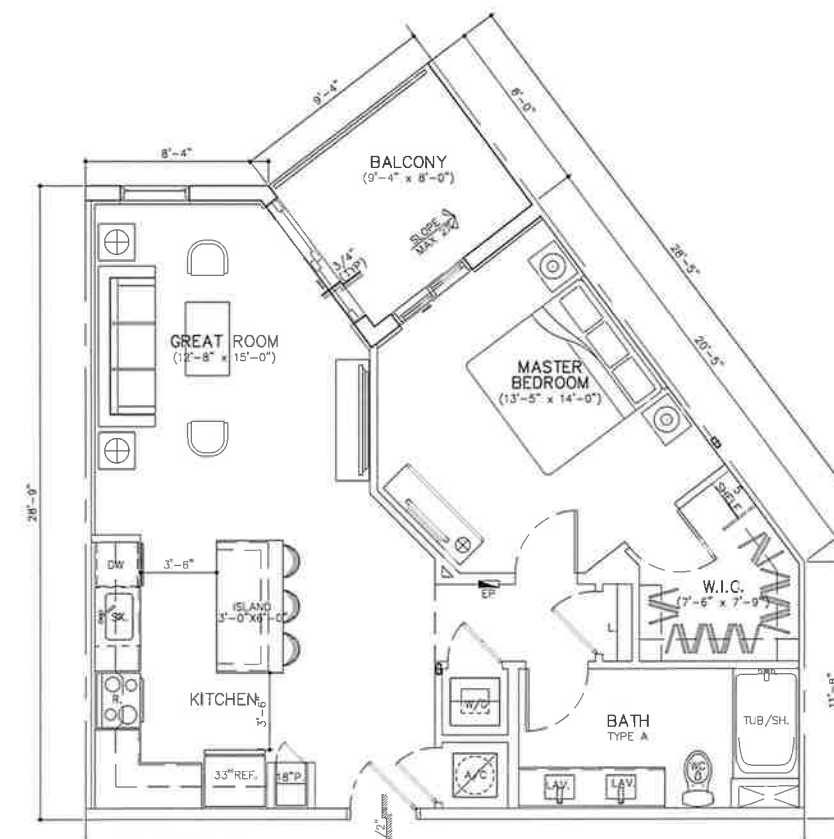
UNIT A1 (1 BD / 1 BTH)
 A/C AREA = 750 SQ. FT. (121 DU'S)
 BALCONY = 54 SQ. FT.



UNIT B1 (2 BD / 2 BTH)
 A/C AREA = 1120 SQ. FT. (107 DU'S)
 BALCONY = 50 SQ. FT.



UNIT A2 (1BD / 1BTH)
 A/C AREA = 751 SQ. FT. (30 DU'S)
 BALCONY = 48 SQ. FT.



UNIT A2.M (1BD / 1BTH)
 A/C AREA = 790 SQ. FT. (7 DU'S)
 BALCONY = 75 SQ. FT.

UNIT PLANS

SCALE: 1/4"=1'-0"

DRAWN: [blank]
 DATE: 09/17/2021
 SCALE: AS SHOWN
 JOB NO.: 2059.PRJ

SHEET TITLE: UNIT PLANS

SHEET NUMBER: A-4.1

THE EDISON APARTMENTS

FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA



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 A/C000895

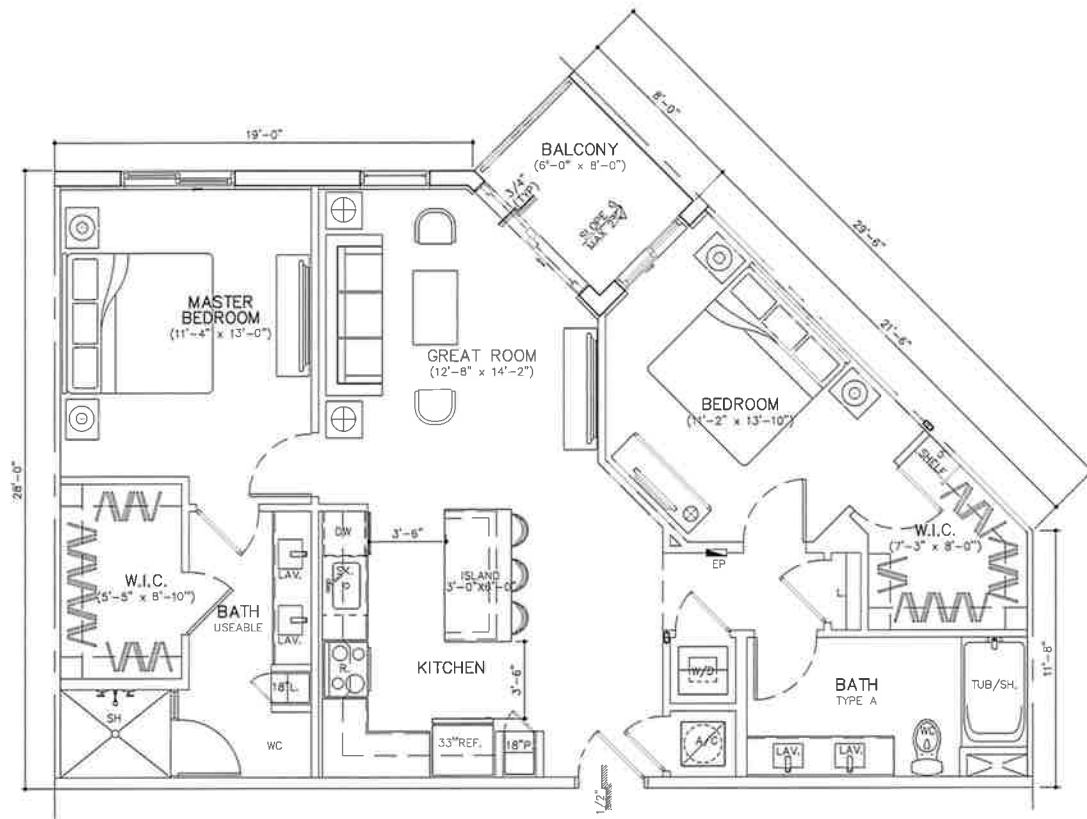
8950 SW 74th COURT
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 (305) 272-9911



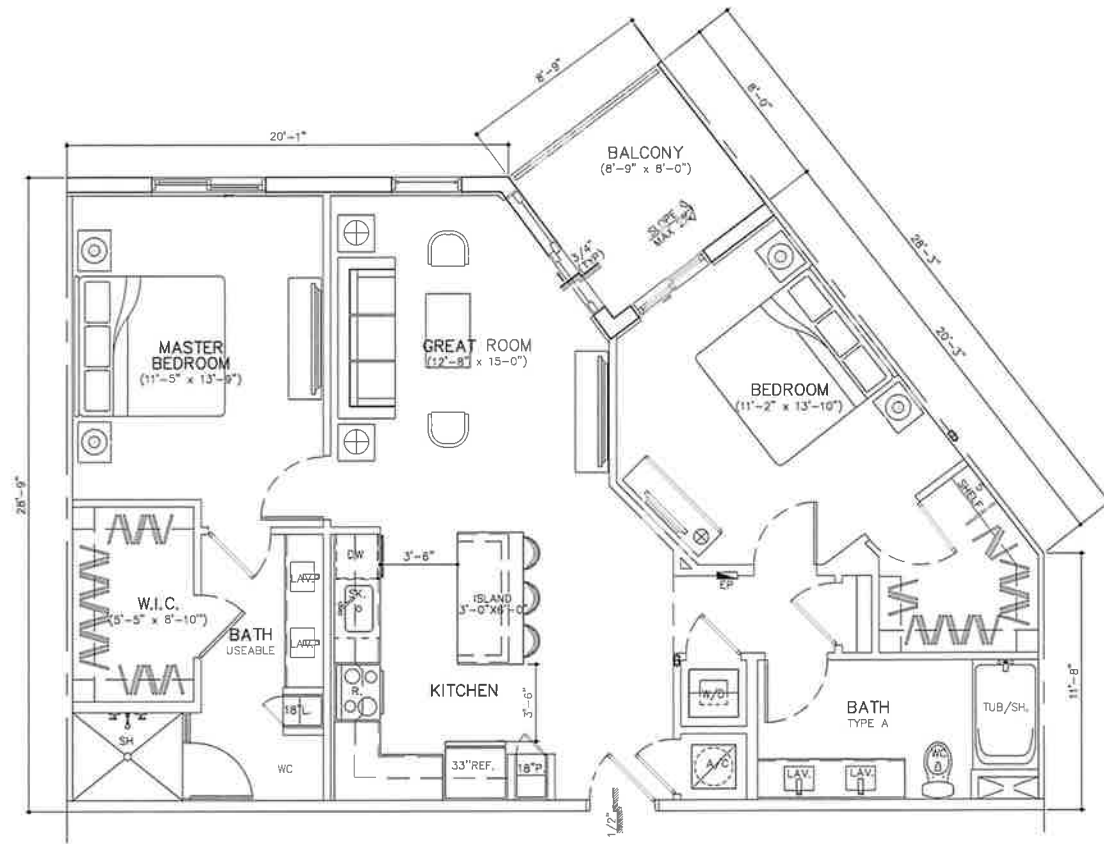
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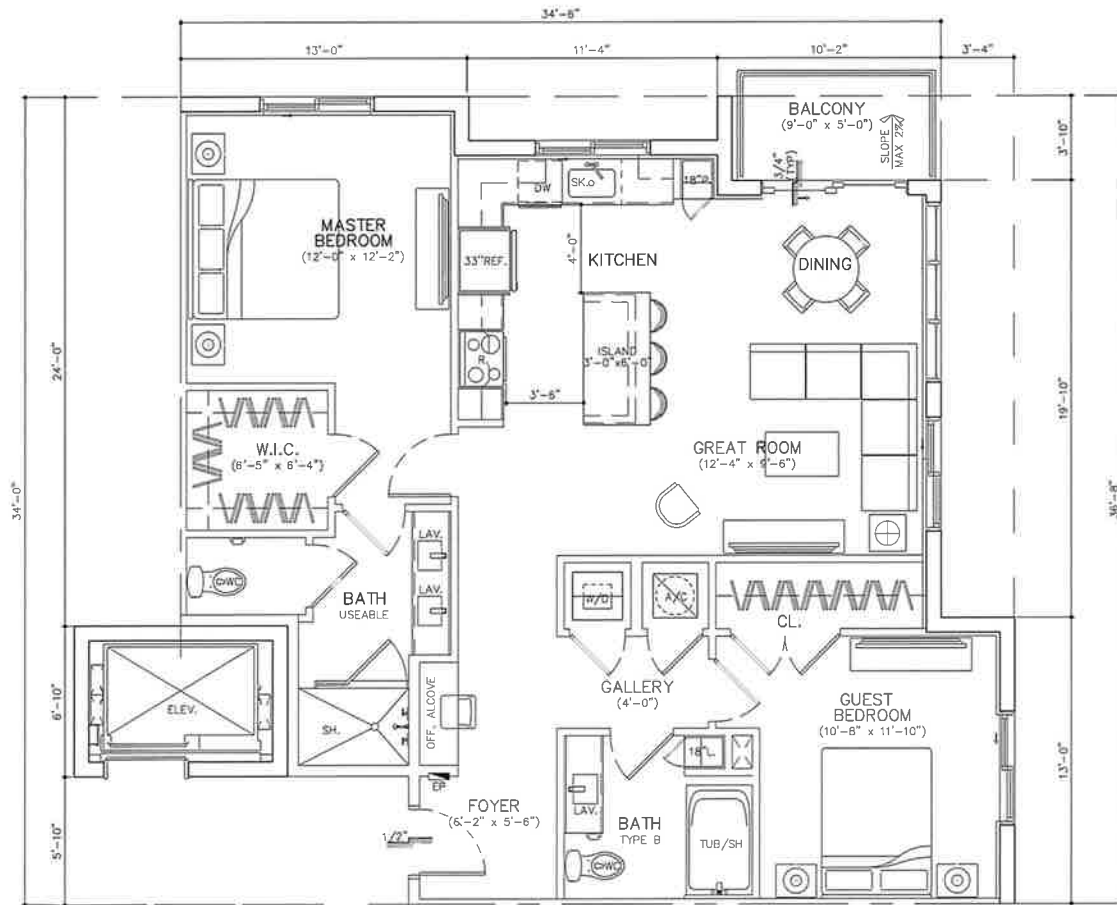
BY



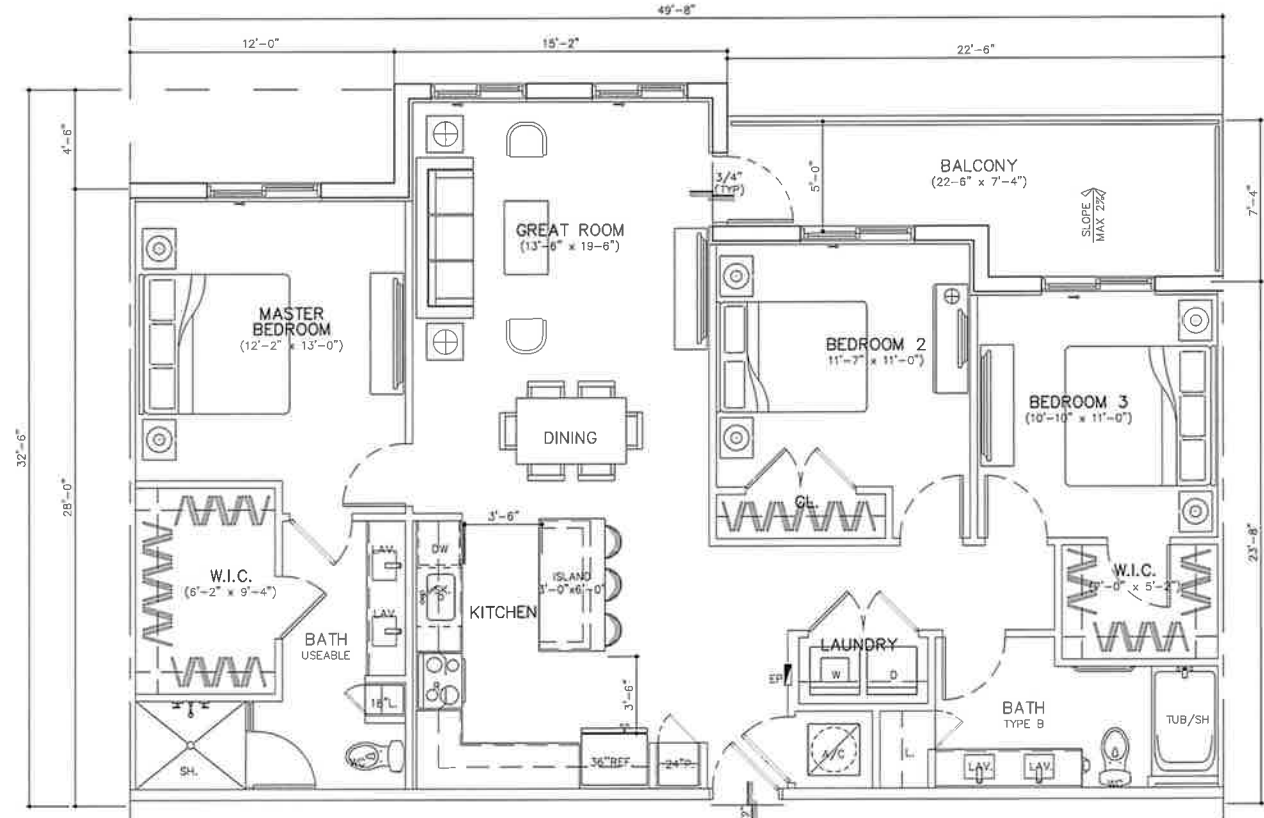
UNIT B2 (2BD /2BTH)
 A/C AREA = 1080 SQ. FT. (40 DU'S)
 BALCONY = 49 SQ. FT.



UNIT B2.M (2BD /2BTH)
 A/C AREA = 1121 SQ. FT. (7 DU'S)
 BALCONY = 71 SQ. FT.



UNIT B3 (2BD /2BTH)
 A/C AREA = 1153 SQ. FT. (24 DU'S)
 BALCONY = 45 SQ. FT.



UNIT C1 (3BD/2 BTH)
 A/C AREA = 1389 SQ. FT. (14 DU'S)
 BALCONY = 137 SQ. FT.

UNIT PLANS
 SCALE: 1/4"=1'-0"

THE EDISON APARTMENTS

FOR:
 TPAGROUP
 LOCATED AT:
 PEMBROKE PINES, FLORIDA

JOSE I. SAUMELL
 ARO013085

MSA ARCHITECTS, INC.
 AAC0000895
 8800 SW 74th COURT
 MIAMI, FLORIDA 33156
 (305) 273-9911

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DATE	AS SHOWN
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JOB NO.	
SHEET TITLE:	UNIT PLANS
SHEET NUMBER:	A-4.2

BY



MASSING MODEL - VIEW FROM ACROSS THE STREET FACING NORTH WEST.

MATERIAL EXAMPLES



VERTICAL PICKET RAILING (SILVER)



LIME STONE VENEER
COLOR: BEIGE LIME STONE (OR APPROVED EQUAL).



SCORE LINES



EGG CRATE SCREEN - FOR GARAGE OPENINGS

COLOR SCHEME

A	B
MAIN STUCCO SW 7006 EXTRA WHITE	ACCENT 3 SW 7649 SILVERPLATE
C	D
ACCENT 4 SW 7674 PEPPERCORN	ACCENT 4 SW 7069 IRON ORE

MATERIAL LEGEND

A	B
MAIN STUCCO MEDIUM TO LIGHT FINISH	STONE VENEER (BEIGE)

CONCEPTUAL FINISH BOARD

THE EDISON-PEMBROKE PINES
FOR:
TPAGROUP
LOCATED AT:
PEMBROKE PINES, FLORIDA



JOSE I. SAUMELL
AR0013085

MSA ARCHITECTS, INC.
AAC000895
8850 SW 74th COURT
SUITE 1513
MIAMI, FLORIDA 33156
(305) 273-9911

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DRAWN	09/17/2021
DATE	
SCALE	AS SHOWN
JOB NO.	2059-PRJ
SHEET TITLE: CONCEPTUAL FINISH BOARD	
SHEET NUMBER: EX-E	

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 ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 433 FLORIDA STATUTES.
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CIVIL ENGINEERING PLANS

FOR

THE EDISON APARTMENTS

CITY OF PEMBROKE PINES

BROWARD COUNTY, FLORIDA

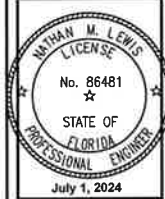
SECTION 15/22, TOWNSHIP 51, RANGE 40

SHEET INDEX

C-0	CIVIL COVER SHEET
C-1	CIVIL GENERAL NOTES AND SPECIFICATIONS
SP-1	THE EDISON APARTMENTS SITE PLAN
SP-2	THE EDISON APARTMENTS SITE PLAN DETAILS
PG-1-2	PAVING AND GRADING PLAN
PG-3	PAVING AND GRADING DETAILS
D-1	DRAINAGE PLAN
D-2-3	DRAINAGE DETAILS
WS-1-2	WATER AND SANITARY SEWER PLAN
WS-3-4	WATER AND SANITARY SEWER DETAILS
PMS-1-2	PAVEMENT MARKING AND SIGNAGE PLAN
PMS-3	PAVEMENT MARKING AND SIGNAGE DETAILS
FA-1-3	FIRE ACCESS PLAN
POL-1-2	POLLUTION AND EROSION CONTROL PLAN
DEM-1	SITE DEMOLITION PLAN

BTE REF DATE: 7.1.24

REVISIONS	DATE	#



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SITE MAP - 1" = 300'

LAND DESCRIPTION - TPA GROUP MULTI-FAMILY (AAA SOUTH PARCEL)

THAT PORTION OF PARCEL "A" OF "DUKE PEMBROKE "B", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 173, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID PARCEL "A";

THENCE NORTH 90°00'00" WEST, ALONG THE SOUTH LINE OF SAID PARCEL "A", A DISTANCE OF 566.80 FEET;

THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 7.00 FEET;

THENCE NORTH 90°00'00" WEST, A DISTANCE OF 425.37 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL "A", BEING A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 7,574.44 FEET, AND WHOSE CENTER BEARS NORTH 72°37'43" WEST FROM SAID POINT;

THENCE NORTHERLY AND TO THE LEFT, ALONG THE WEST LINE OF SAID PARCEL "A", THROUGH A CENTRAL ANGLE OF 24°42', AN ARC DISTANCE OF 374.97 FEET;

THENCE NORTH 90°00'00" EAST, A DISTANCE OF 528.35 FEET;

THENCE NORTH 82°29'27" EAST, A DISTANCE OF 220.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145 AVENUE;

THENCE SOUTH 19°48'28" EAST, A DISTANCE OF 43.77 FEET;

THENCE SOUTH 13°45'54" EAST, A DISTANCE OF 120.80 FEET;

THENCE SOUTH 13°45'26" EAST, A DISTANCE OF 132.61 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1,443 FEET;

THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 2°53'26", AN ARC DISTANCE OF 72.28 FEET;

THENCE NORTH 73°04'00" EAST, RADIAL TO THE PRECEDING CURVE A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 1,453 FEET;

THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 31°15'18", AN ARC DISTANCE OF 57.38 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA, CONTAINING 334279.26 SQUARE FEET (7.22 ACRES), MORE OR LESS.

CIVIL COVER SHEET

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Botek Thurlow
Engineering, Inc.
1408 NW 40th Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-568-8858 F: 954-568-9777

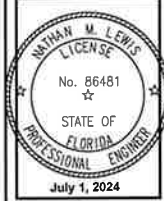
BTE PROJECT #:
16-1204.B

PROJECT DATE:
4.13.23

SHEET #:
C-0

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

REVISIONS	#	DATE



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THE EDISON APARTMENTS SITE PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

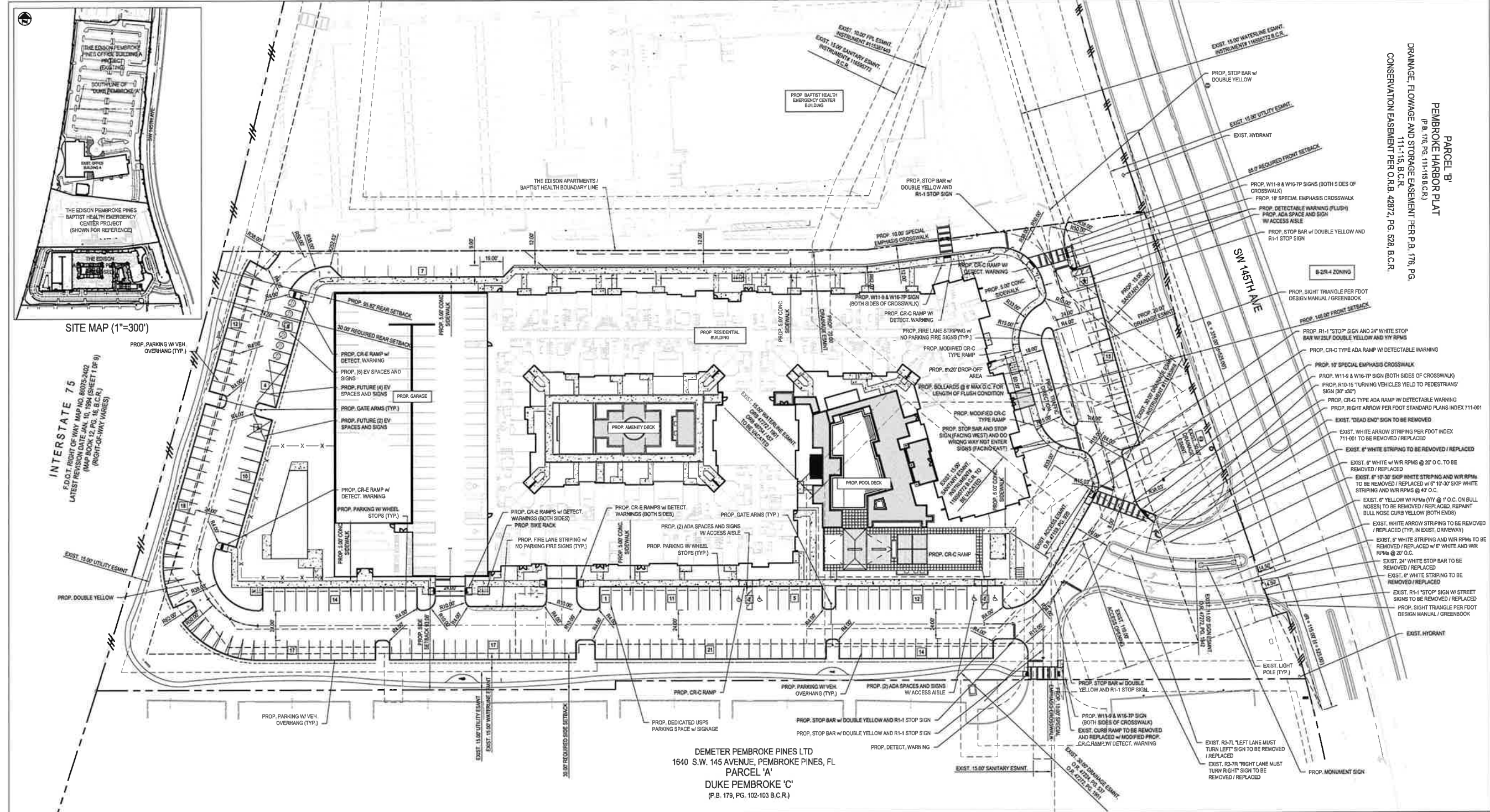
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BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
SP-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



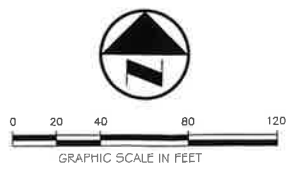
DEMETER PEMBROKE PINES LTD
1640 S.W. 145 AVENUE, PEMBROKE PINES, FL
PARCEL 'A'
DUKE PEMBROKE 'C'
(P.B. 179, PG. 102-103 B.C.R.)

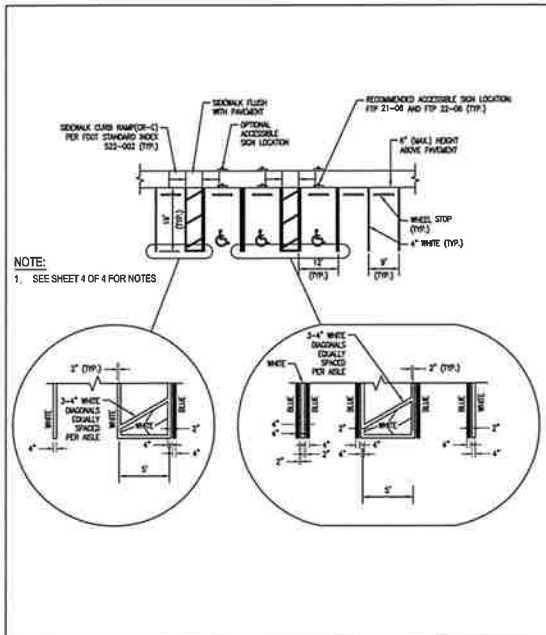
CONSTRUCTION NOTES:
• BUILDINGS ARE NOT TO USE LIGHT-FRAME TRUSS-TYPE CONSTRUCTION

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

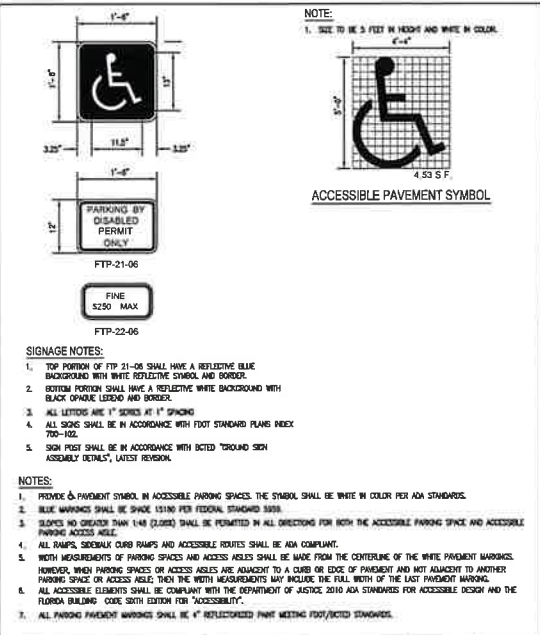
- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FOOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR STANDARD PAINT.
- ALL VISIBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH STOP BARS ARE TO HAVE YELLOW/YELLOW REFLECTIVE PAVEMENT MARKINGS AT 20" O.C.
- REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE PER FDOT'S APPROVED PRODUCTS LIST (APL). PLACEMENT OF RPM'S SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX NO. 708-61. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPM'S) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
BLUE (FIRE HYDRANTS)
WHITE (WATER MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
ORANGE (SEWER MANHOLES IN ADJACENT GREENLANDSCAPE AREAS)
RED (FIRE DEPARTMENT CONNECTIONS)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS PLANS, INDEX NOS. 711-001 AND 708-102 AND LATEST CITY STANDARD DETAIL R-32, ACCESSIBLE PARKING SPACE DETAIL.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESSIBLE SPACES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESSIBLE SPACES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMP'S OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT "STANDARD PLANS", INDEX NO. 322-002.
- ALL PEDESTRIAN ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. "MID-BLOCK" TYPE PEDESTRIAN ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT "STANDARD PLANS", SECTION 206 AND MUTCD STANDARDS. IF A CROSSING STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-8) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-2) SIGNAGE. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION THERMOPLASTIC COMPOUND WITH FOOT" STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLES, SIDEWALK CURB RAMP'S, ACCESSIBLE ROUTES AND RAMP'S MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, ACCESSIBILITY.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLES, SIDEWALK CURB RAMP'S, ACCESSIBLE ROUTES AND RAMP'S SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS REQUIREMENTS, INCLUDING SLOPING. NON-COMPLYING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLES, ACCESSIBLE ROUTES AND RAMP'S WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-COMPLYING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

SITE INFORMATION		PROJECT DATA	
LAND USE DESIGNATION	OFFICE PARK AND IRREGULAR (46.1)	REQUIRED:	PROVIDED:
ZONING DESIGNATION	RESIDENTIAL MIXD	146'-0"	146'-0"
SITE AREA	314,992 S.F. (7.2 ACRES)	30'	99'-10"
BUILDING SETBACKS		30'	140'-9" (TO APT. BUILDING)
FRONT (SW 145TH AVE.)	65'	30'	93'-0"
REAR (WEST)	30'		
SIDE (NORTH)	30'		
SIDE (SOUTH)	30'		
*MEASURED FROM PERIMETER OF THE MIXD ZONING PARCEL.			
RESIDENTIAL (PROPOSED) INFORMATION			
BUILDING HEIGHT:	67'-6" TO ROOF SLAB (72'-0" TO PARAPET)		
STORY HEIGHT:	10'-6" (1ST LEVEL) AND 9'-6" (2ND LEVEL AND UP)		
BUILDING GROSS AREA:	415,637 SQUARE FEET OF RESIDENTIAL		
BUILDING FOOTPRINT:	88,740 SQUARE FEET		
BUILDING COVERAGE:	88,740 / 314,992 S.F. = 28.17%		
OPEN SPACE:	143,776 / 314,992 S.F. = 44.17%		
PARKING AND LOADING			
OVERALL REQUIRED:	(RESIDENTIAL) = 700 SPACES		
OVERALL PROVIDED:	(RESIDENTIAL) = 190 SPACES (SITE) + 532 SPACES (GARAGE) = 722 SPACES		
*THERE IS 1x1 DEDICATED USPS PARKING SPACE PROVIDED IN THE RESIDENTIAL PROJECT BOUNDARY WHICH ARE NOT CREDITED IN THIS COUNT.			
ADA ACCESSIBLE REQUIRED:	20 FOR FIRST 1000, +1 FOR EACH 100 (OR FRACTION THEREOF)		
REQUIRED RESIDENTIAL:	15 ADA SPACES		
PROVIDED RESIDENTIAL:	5 SPACES (SITE) + 13 SPACES (GARAGE) = 18 SPACES (TOTAL)		
FUEL EFFICIENT SPACES			
REQUIRED PROPOSED (RES):	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE (PER MIXD)		
PROVIDED PROPOSED (RES):	6 EV SPACES FOR WIRING AND 6 EV SPACES FOR FUTURE		
FLOOD ZONE INFORMATION:			
SITE IS LOCATION IN FLOOD ZONE AH 5 (5FE) NAVD PER FLOOD INSURANCE RATE MAP AUGUST 2014 - 1201C0705H			





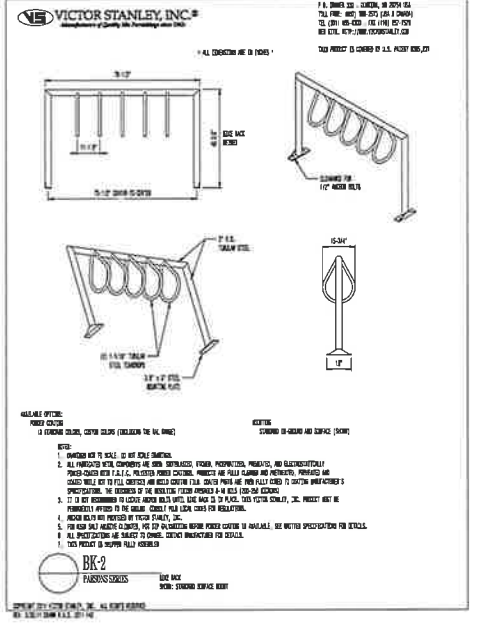
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-32
APPROVED: K.M.K. 08/09/20 DATE: 12/01/18	REVISOR: 08/09/20 08/15/20 12/01/18	ACCESSIBLE PARKING SPACE DETAILS	SHEET 4 OF 4



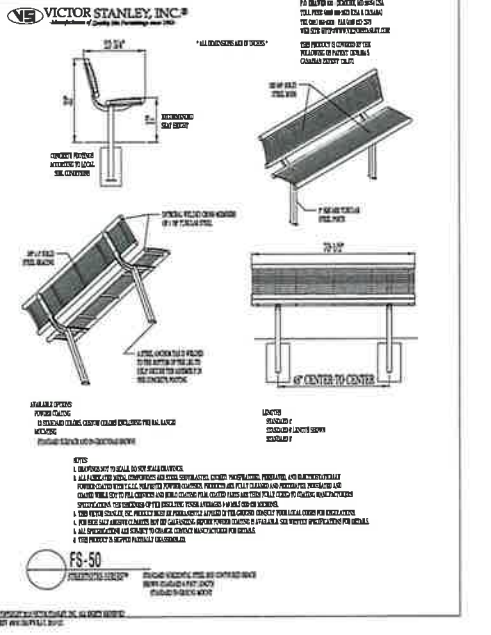
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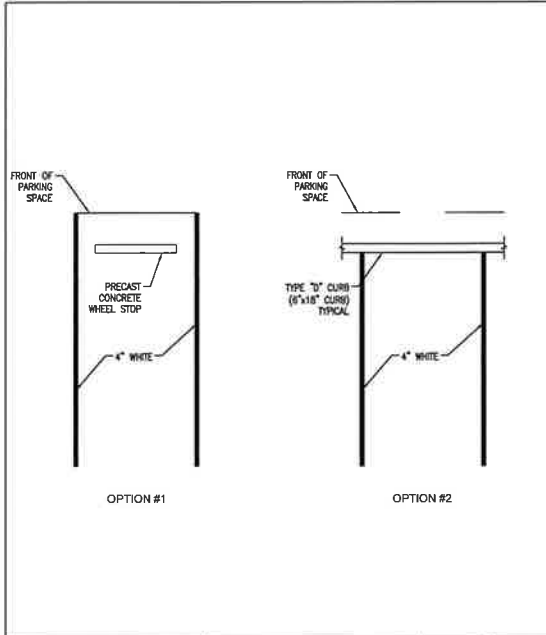
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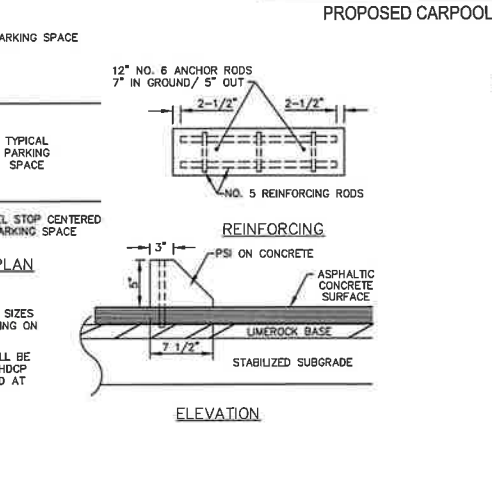
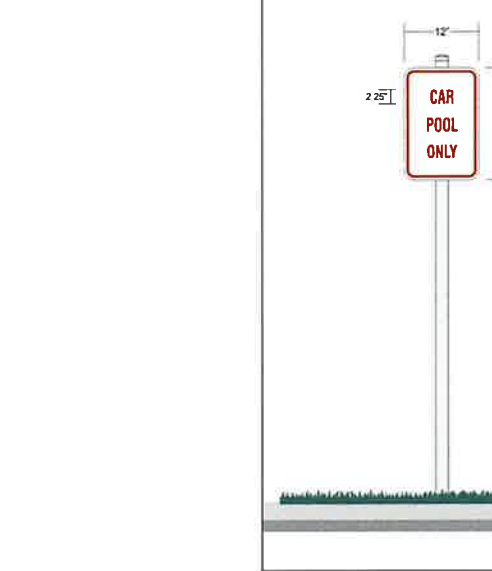
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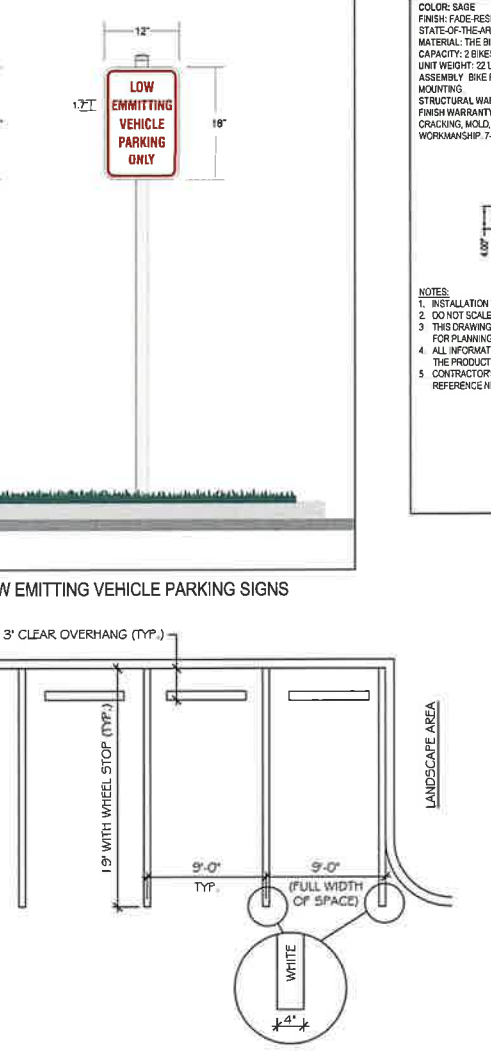
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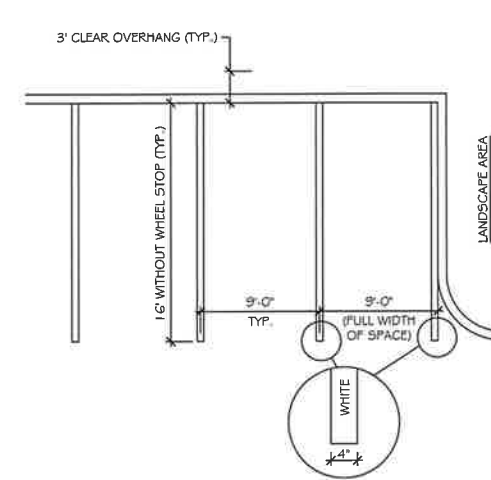
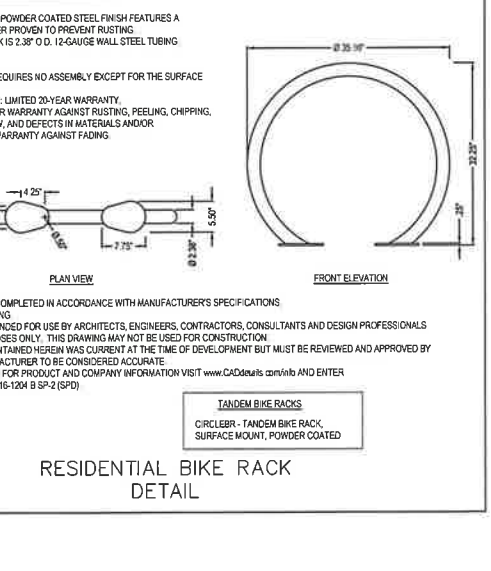
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41
APPROVED: K.M.K. 05/17/18 DATE: 05/17/18	REVISOR: 05/17/18	STANDARD PARKING SPACE	SHEET 1 OF 3



CONCRETE WHEEL STOP DETAIL
SCALE: NONE



STANDARD PARKING STALL DETAIL
N.T.S.



STANDARD PARKING STALL DETAIL
N.T.S.

BTE REF DATE: 7.1.24
REVISIONS
DATE
#

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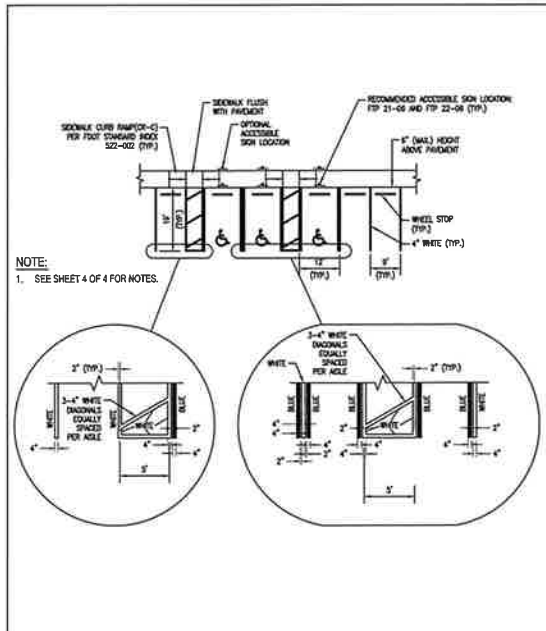
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SITE PLAN DETAILS
THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

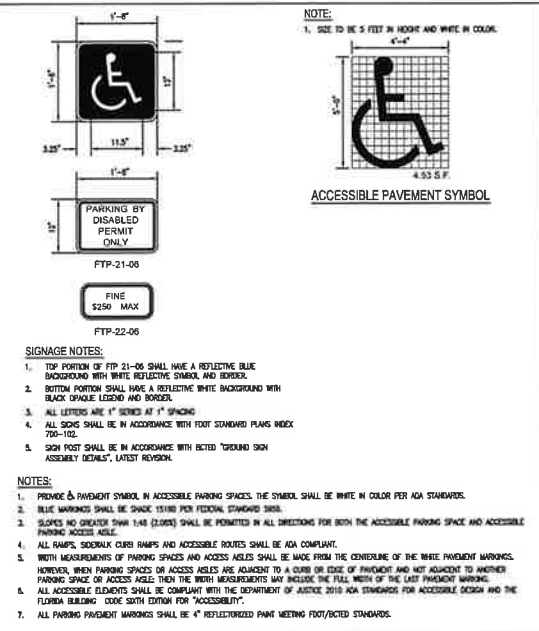
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BTE PROJECT # 16-1204.B
PROJECT DATE: 4.13.23
SHEET # SP-2

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



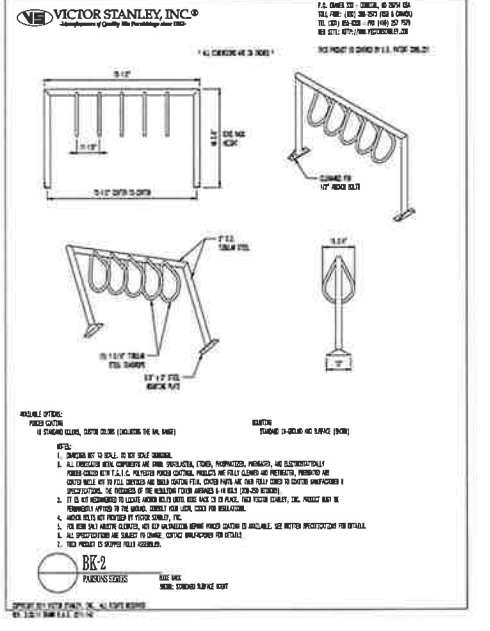
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APPROVED: K.M.K.	REVISOR: [Signature]			ACCESSIBLE PARKING SPACE DETAILS
DATE: 12/21/18	12/21/18			



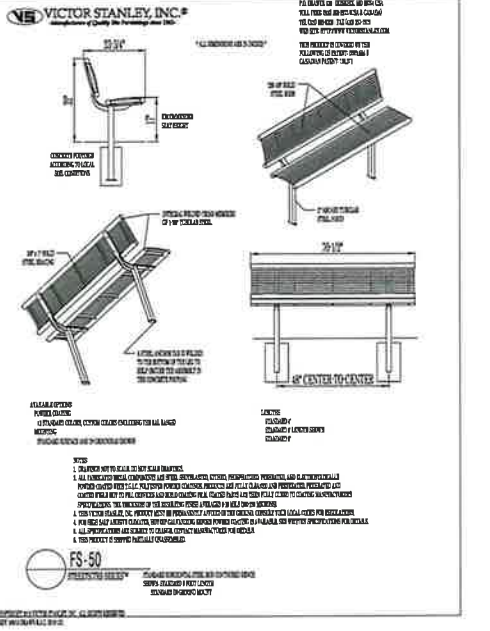
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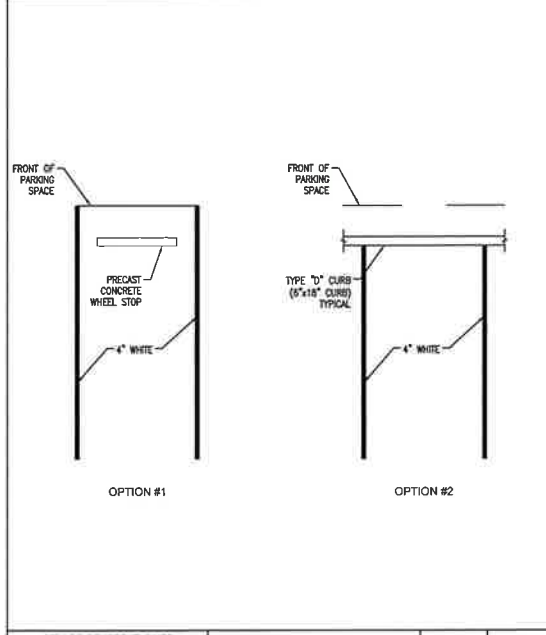
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DATE: 12/21/18	12/21/18			



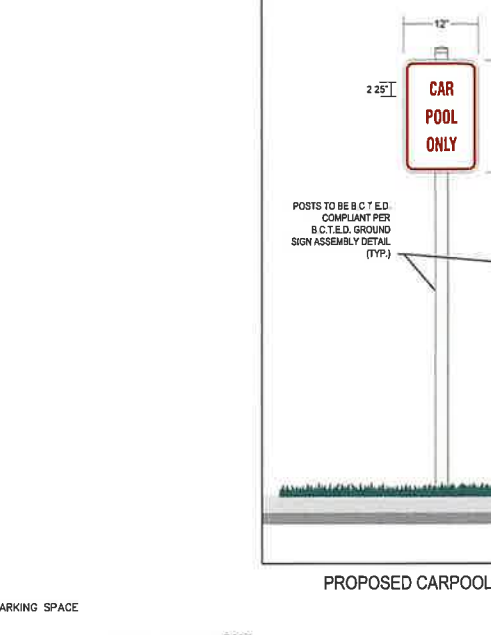
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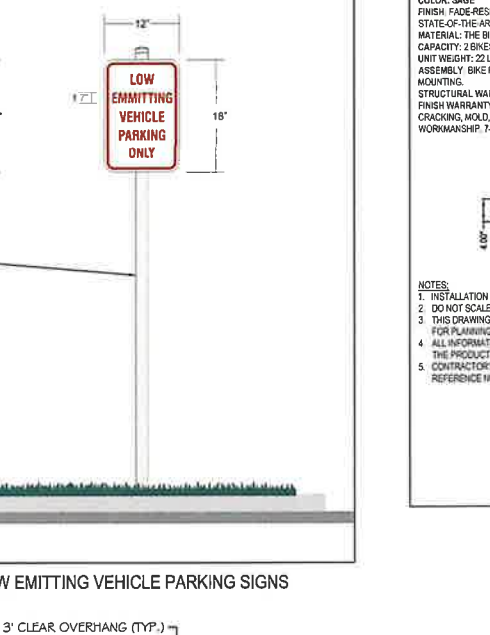
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DATE: 12/21/18	12/21/18			



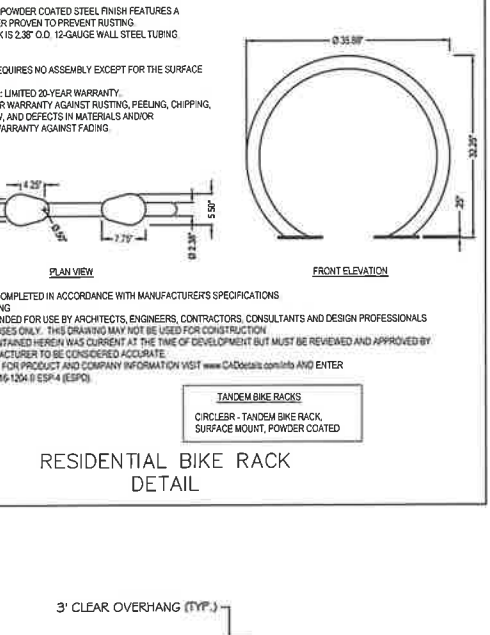
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APPROVED: K.M.K.	REVISOR: [Signature]			STANDARD PARKING SPACE
DATE: 05/17/18	05/17/18			



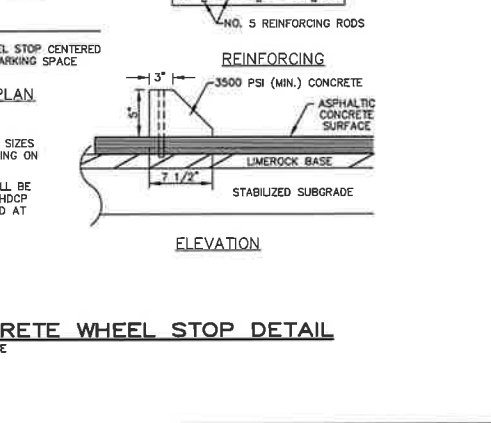
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DATE: 05/17/18	05/17/18			



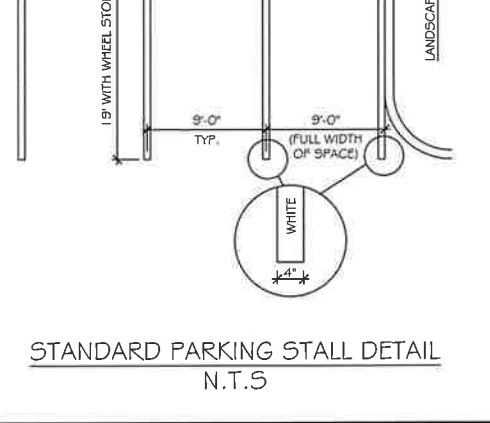
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APPROVED: K.M.K.	REVISOR: [Signature]			STANDARD PARKING SPACE
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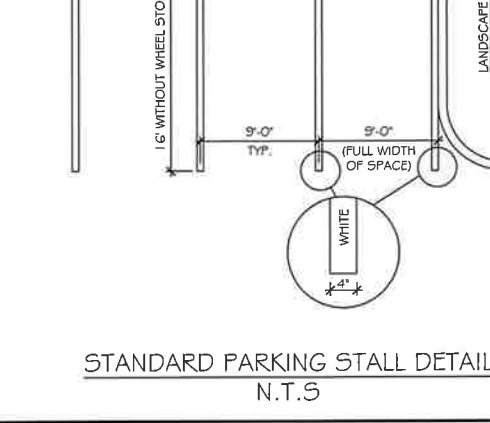
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CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41 SHEET 1 OF 3	
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CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD ROAD DETAIL		R-41 SHEET 1 OF 3	
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BTE REF DATE:	9.10.24
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DATE	
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THE EDISON SITE PLAN DETAILS

THE EDISON PEMBROKE PINES
PEMBROKE PINES, FL 33027

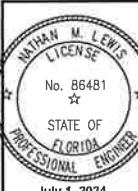
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BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
SP-4

#	DATE	REVISIONS



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PAVING AND GRADING PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

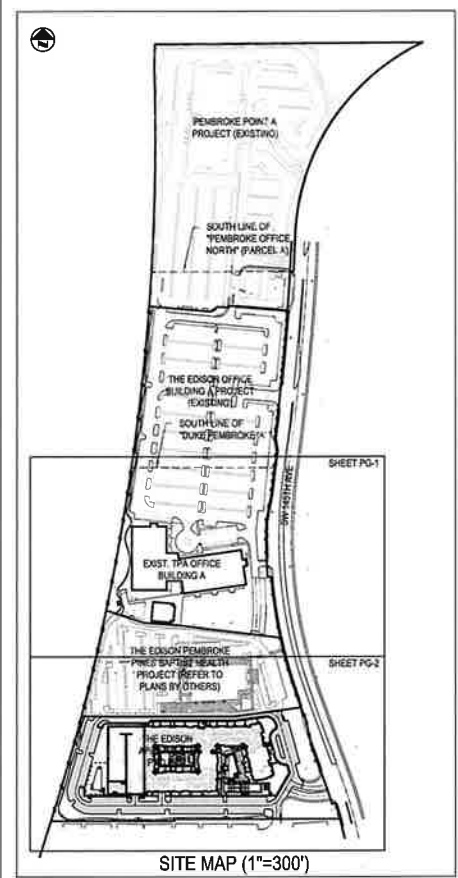
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BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
PG-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



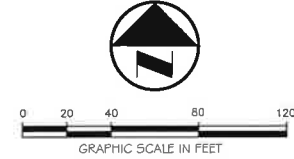
MATCHLINE - SEE SHEET PG-2

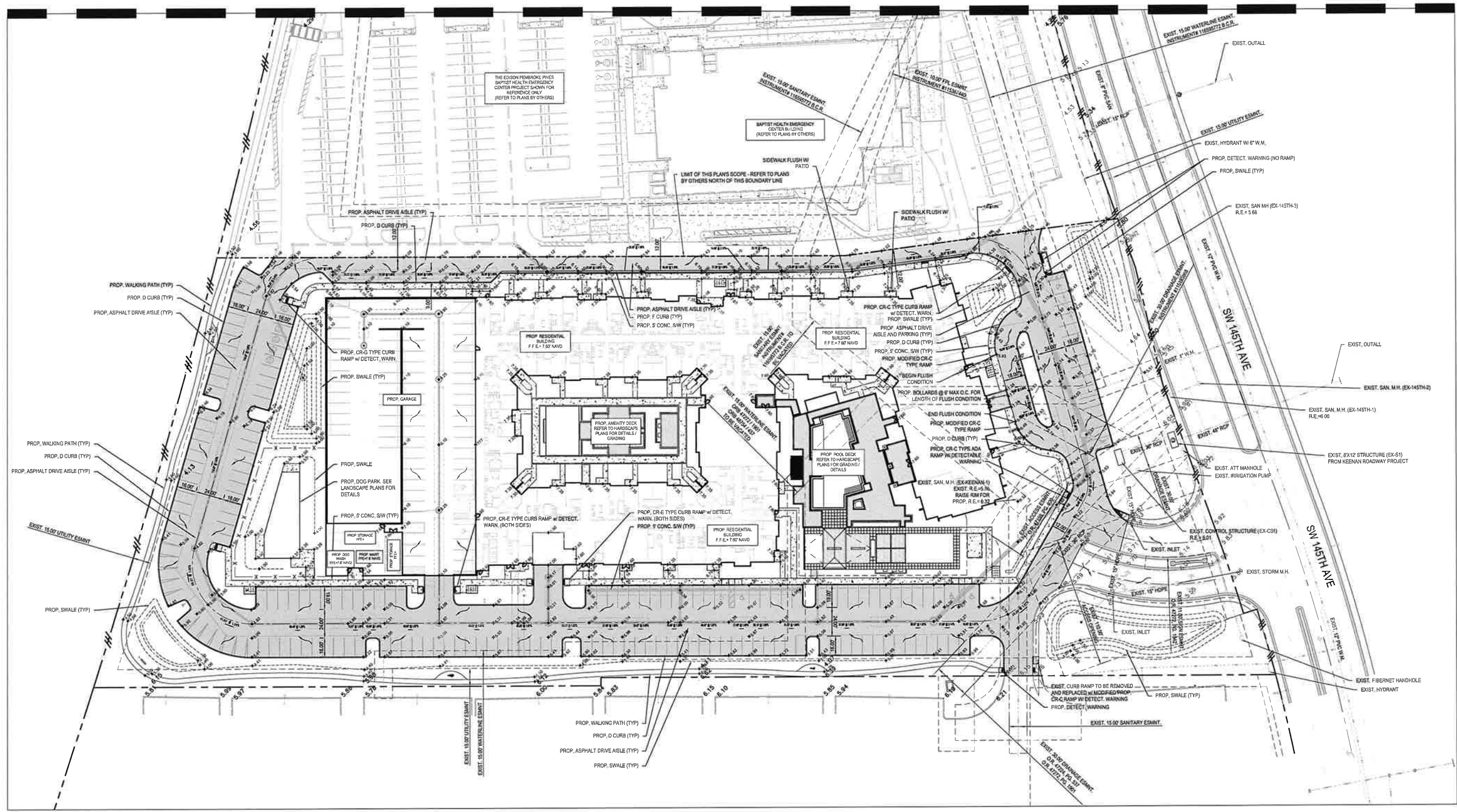
- ADA NOTES:**
- CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. CURB RAMPS SHALL BE 48" MINIMUM IN WIDTH EXCLUSIVE OF FLARED SIDES AS PER FOOT STANDARD PLANS INDEX 8522-002. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE 48" MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. ANS 117.1-2003 SECTION 405.2, 406.4 & 407, TYPICAL.
 - WHERE DETECTABLE WARNINGS ARE PROVIDED ON CURB RAMPS, THEY SHALL COMPLY WITH SECTION 406.13 AND 705. DETECTABLE WARNINGS SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST TO THE CURB LINE IS 9" TO 12" FROM THE CURB LINE. ANS 117.1-2003 SECTION 406.13.1 & 406.13.2.
 - DETECTABLE WARNING MAT/TILES SHALL BE RECESSED INTO THE CONCRETE SIDEWALK (CAST-IN-PLACE) TO INSURE THE SURFACE OF THE DETECTABLE WARNING MAT/TILES ARE FLUSH WITH THE SURFACE OF THE SIDEWALK.
 - SIDEWALK CURB RAMPS AND ASSOCIATED CROSSWALK SIGNAGE AND MARKINGS SHALL CONFORM TO FOOT STANDARD PLANS INDEX NOS. 522-002 AND 711-001.

- GENERAL PAVING AND GRADING NOTES:**
- CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING ANY DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
 - EXISTING GRADES SHOWN ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY ∇ GOVERN.
 - ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE. WHERE ELEVATIONS WERE REQUIRED TO BE CONVERTED, THE FOLLOWING CONVERSION WAS USED: NAVD = NGVD - 1.98'
 - EXACT LOCATION OF METERS AND BPPs TO BE COORDINATED IN THE FIELD.
 - REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
 - RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE "P" CURB AND GUTTER PER BROWARD COUNTY MINIMUM STANDARDS.
 - UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS, ANY MILLING AND RESURFACING REQUIRED BY THIS PROJECT SHALL BE A MINIMUM OF 1" DEPTH.

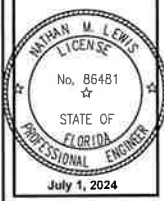
PAVING AND GRADING LEGEND		
	PROPERTY OR R/W LINE	
	CENTER LINE	
	NON-VEHICULAR ACCESS LINE	
	FLOW ARROW	
	PROP. F CURB	
	PROP. D CURB	
	PROP. PAVEMENT (REFER TO LANDSCAPE PLANS FOR DETAILS)	
	PROP. ASPHALT	
	PROP. CONCRETE (REFER TO LANDSCAPE PLANS FOR DETAILS)	

Always call 811 two full business days before you dig to have underground utilities located and marked.





REVISIONS	DATE	#



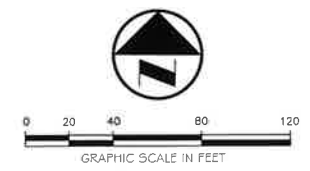
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PAVING AND GRADING PLAN
THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

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4300 NW 26th Avenue, Suite 100, Ft. Lauderdale, FL 33309
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BTE PROJECT #: 16-1204.B
PROJECT DATE: 4.13.23
SHEET #: PG-2

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



Always call 811 two full business days before you dig to have underground utilities located and marked.
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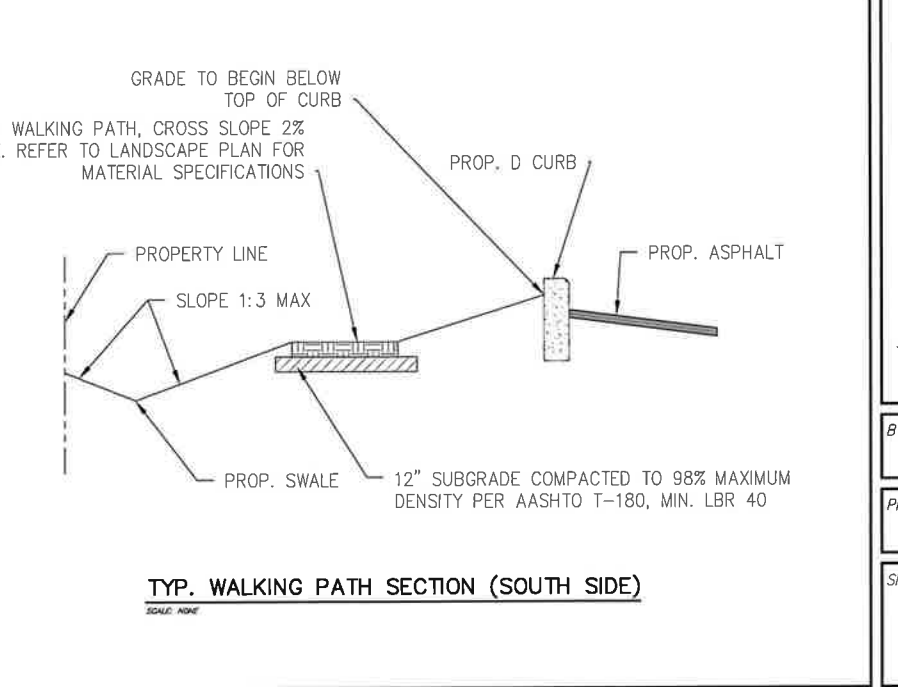
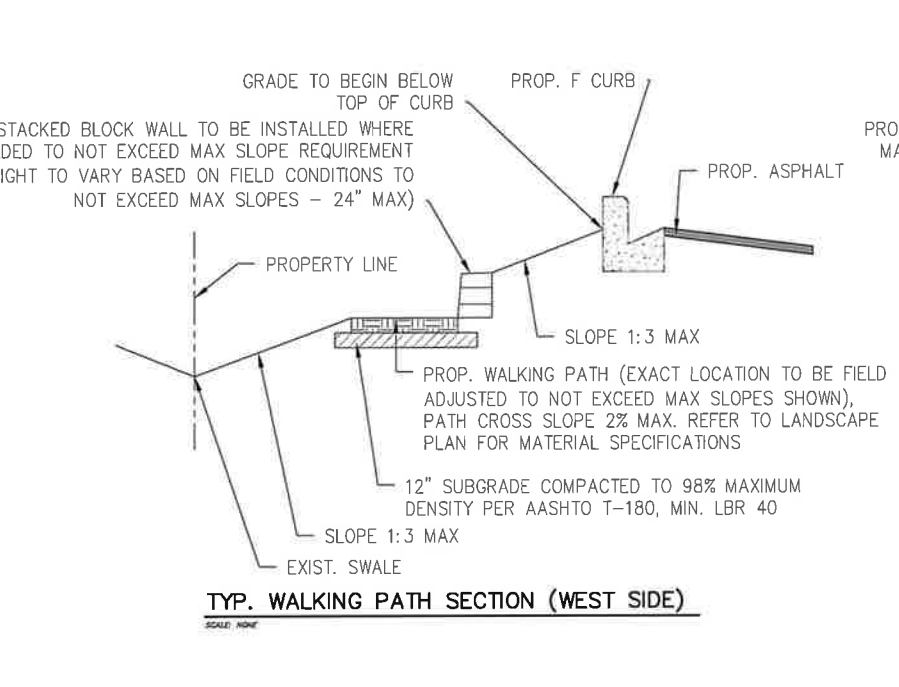
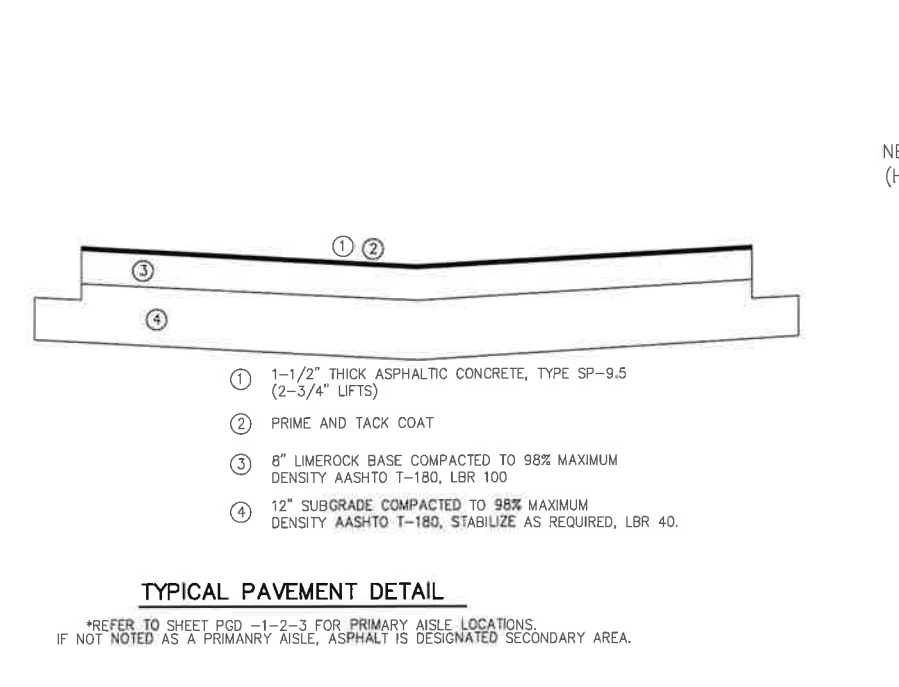
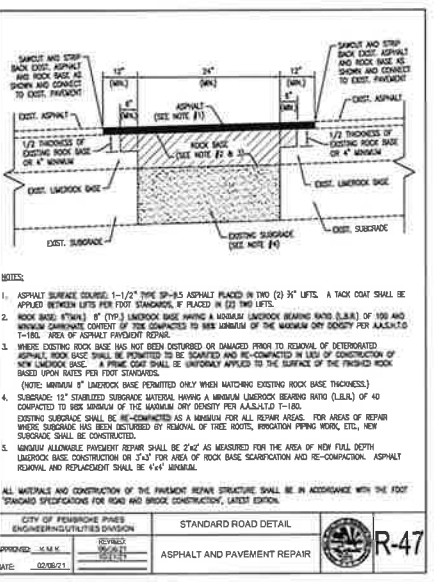
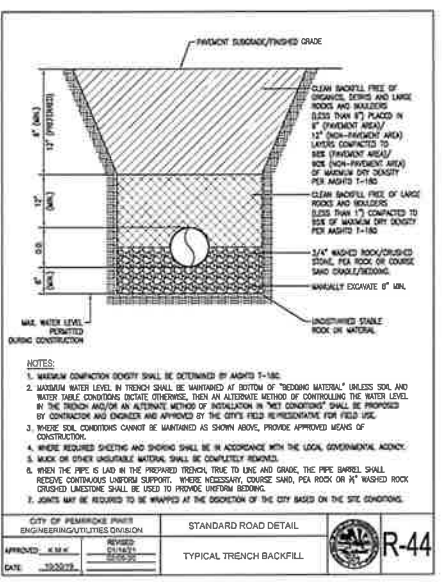
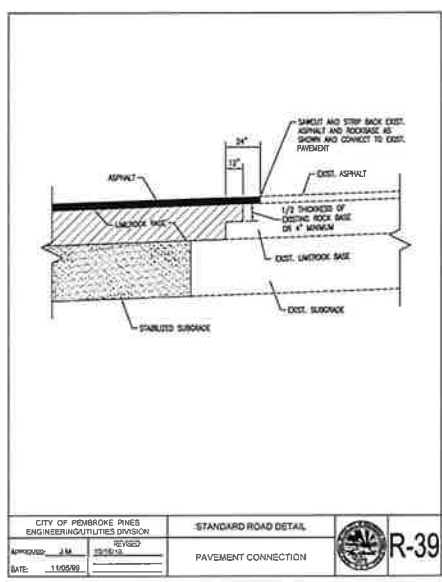
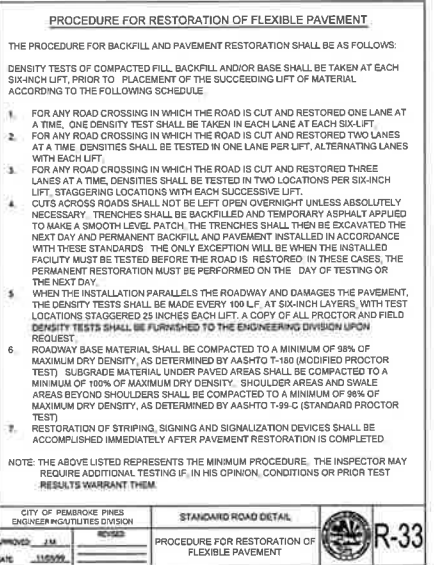
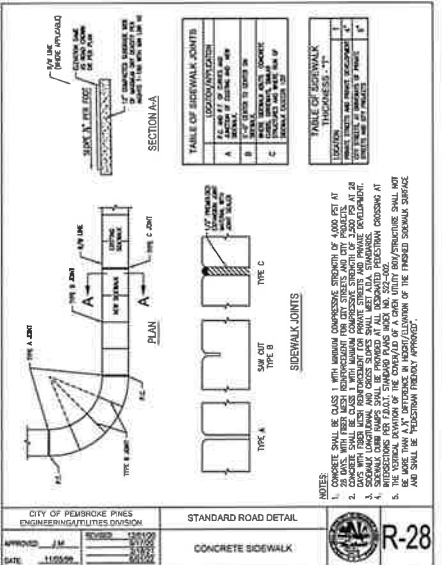
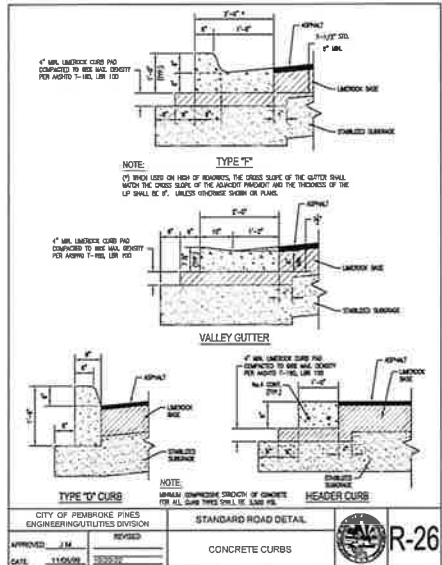
PAVING AND GRADING LEGEND		
PROPERTY or ROW LINE	ABBREVIATIONS	PROP. PAVERS (REFER TO HARDSCAPE PLANS FOR DETAILS)
CENTER LINE	PROP. EXIST. INVERT ELEVATION	PROP. ASPHALT
NON VEHICULAR ACCESS LINE	M.H. MANHOLE	PROP. CONCRETE (REFER TO HARDSCAPE PLANS FOR DETAILS)
FLOW ARROW	C.B. CATCH BASIN	
PROP. F CURB	D.W. DRAINAGE WELL	
PROP. D CURB	R.E. RM ELEVATION	
	G.E. GRATE ELEVATION	

ADA NOTES:

- CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12. CURB RAMPS SHALL BE 48" MINIMUM IN WIDTH EXCLUSIVE OF FLARED SIDES AS PER FOOT STANDARD PLANS INDEX 402-302. LANDING SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE 48" MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. EXCLUDING FLARED SIDES, LEADING TO THE LANDING, ANS1 117.1-2003 SECTION 405.2, 406.4 & 407. TYPICAL.
- WHERE DETECTABLE WARNINGS ARE PROVIDED ON CURB RAMPS, THEY SHALL COMPLY WITH SECTION 405.13 AND 705. DETECTABLE WARNINGS SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST TO THE CURB LINE IS 6" FROM THE CURB LINE. ANS1 117.1-2003 SECTION 406.13.1 & 405.13.2.
- DETECTABLE WARNING MATS/TILES SHALL BE RECESSED INTO THE CONCRETE SIDEWALK (CAST-IN-PLACE) TO INSURE THE SURFACE OF THE DETECTABLE WARNING MAT/TILES ARE FLUSH WITH THE SURFACE THE SIDEWALK.
- SIDEWALK CURB RAMPS AND ASSOCIATED CROSSWALK SIGNAGE AND MARKINGS SHALL CONFORM TO FOOT STANDARD PLANS INDEX NOS. 322-002 AND 711-001.

GENERAL PAVING AND GRADING NOTES:

- CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING ANY DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
- EXISTING GRADES SHOWN ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY GOVERN.
- ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1989 UNLESS NOTED OTHERWISE. WHERE ELEVATIONS WERE REQUIRED TO BE CONVERTED, THE FOLLOWING CONVERSION WAS USED: NAVD = NGVD - 1.58'
- EXACT LOCATION OF METERS AND BPPs TO BE COORDINATED IN THE FIELD.
- REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
- RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE 'F' CURB AND GUTTER PER BROWARD COUNTY MINIMUM STANDARDS.
- UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS, ANY MILLING AND RESURFACING REQUIRED BY THIS PROJECT SHALL BE A MINIMUM OF 1" DEPTH.



BTE REF DATE: 7.1.24

REVISIONS	DATE	#

NATHAN M. LEWIS
 LICENSE
 No. 86491
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 July 1, 2024

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PAVING AND GRADING DETAILS

THE EDISON APARTMENTS
 PEMBROKE PINES, FL 33027

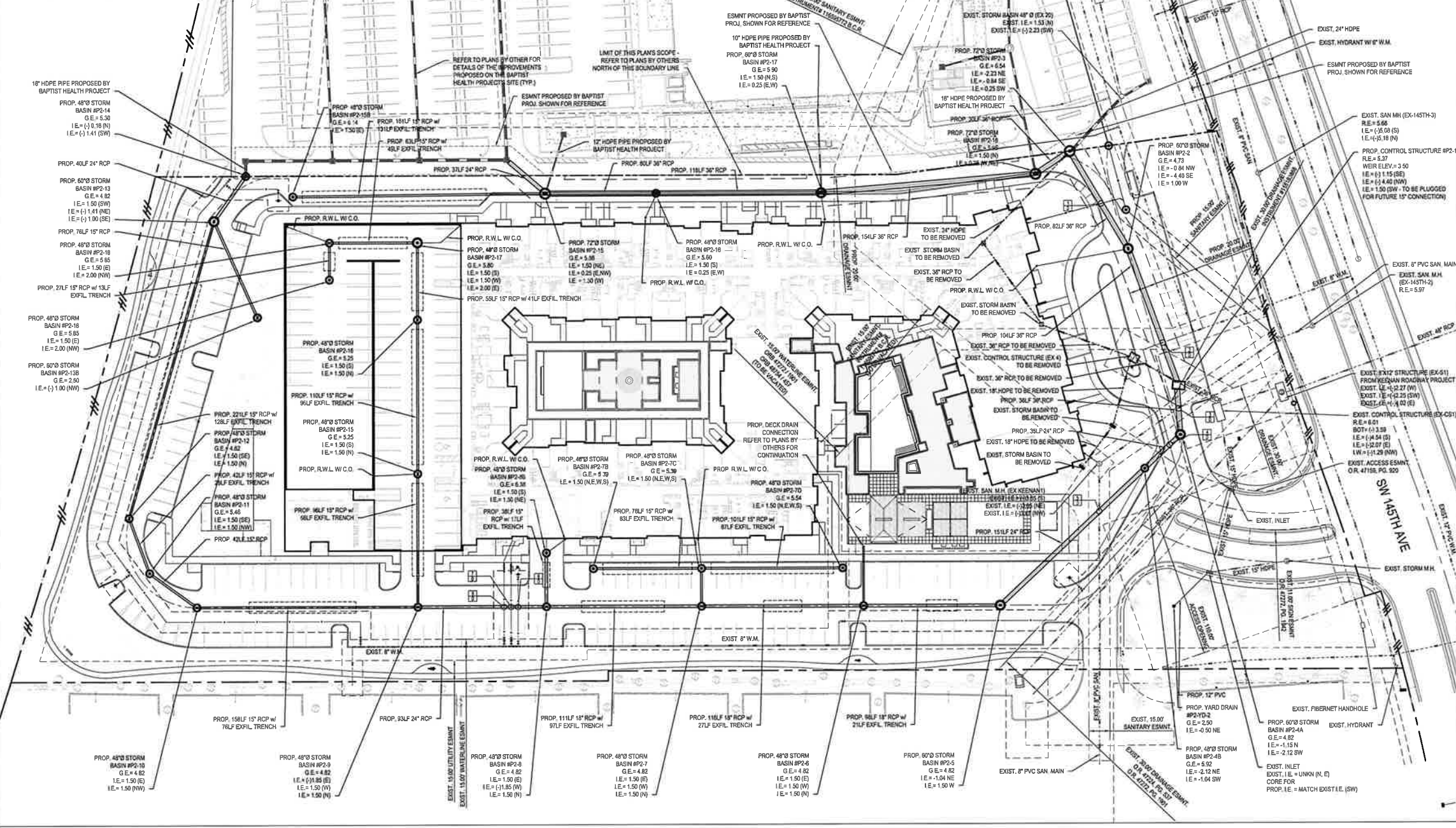
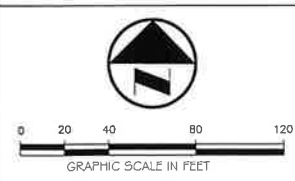
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BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: PG-3

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



DRAINAGE LEGEND

	PROP. FOOT TYPE C BASIN INLET TOP		PROP. DRAINAGE WELL
	PROP. FOOT TYPE C BASIN CURB INLET TOP		PROP. YARD DRAIN
	PROP. ROUND BASIN INLET TOP		PROP. CLEAN OUT
	PROP. ROUND BASIN MANHOLE TOP		PROP. DRAINAGE PIPE
	PROP. BASIN CURB INLET TOP		PROP. EXP. FILTRATION TRENCH
	PROP. SANITARY SEWER PIPE	ABBREVIATIONS	
	PROP. WATER PIPE	PROP. EXIST. INVERT ELEVATION	
	EXIST. WATER PIPE	M.H.	CATCH BASIN
	EXIST. SANITARY SEWER PIPE	D.W.	DRAINAGE WELL
	EXIST. STORM PIPE	R.E.	RIM ELEVATION
	EXIST. ATT. UNDERGROUND	G.E.	GRATE ELEVATION
	EXIST. BROWARD TRAFFIC COMMUNICATIONS	EXIST. UNKNOWN UNDERGROUND	
	EXIST. BROWARD FIBER OPTIC	EXIST. FT. UNDERGROUND	
	EXIST. CONCAST UNDERGROUND	EXIST. ELECTRICAL UNDERGROUND	
	EXIST. ELECTRICAL UNDERGROUND	EXIST. ATT. UNDERGROUND	
	EXIST. FIBER OPTIC UNDERGROUND	EXIST. OVERHEAD	
		EXIST. TELEPHONE UNDERGROUND	

DATE: 7.1.24

REVISIONS

#	DATE	DESCRIPTION

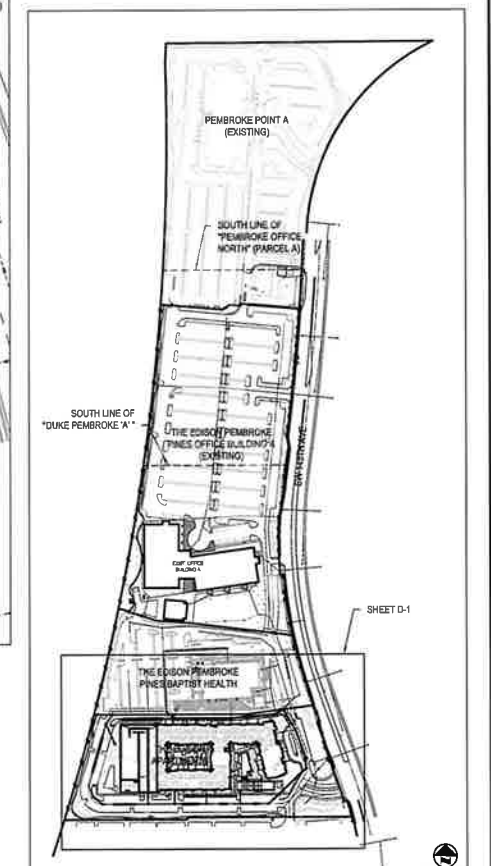
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STATE OF FLORIDA
PROFESSIONAL ENGINEER
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DRAINAGE PLAN (PHASE 2 - SOUTH PARCEL)

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027



CONFLICT TABLE

1 D	SURFACE ELEV. = 5.38 PROP. STORM B.O.P. = 2.48 PROP. SANITARY T.O.P. = 2.18 CLEAR = 4.65'	6 D	SURFACE ELEV. = 5.04 PROP. WATER B.O.P. = 1.54 PROP. STORM T.O.P. = 0.40 CLEAR = 1.04'
2 D	SURFACE ELEV. = 5.63 PROP. WATER B.O.P. = 0.18 PROP. STORM T.O.P. = -1.07 CLEAR = 1.25'	7 D	SURFACE ELEV. = 5.09 PROP. WATER B.O.P. = 1.42 PROP. STORM T.O.P. = 0.40 CLEAR = 1.02'
3 D	SURFACE ELEV. = 5.10 PROP. STORM B.O.P. = -1.48 EXIST. SANITARY T.O.P. = -3.35 CLEAR = 1.87'	8 D	SURFACE ELEV. = 5.14 PROP. WATER B.O.P. = 1.80 PROP. STORM T.O.P. = 0.40 CLEAR = 1.04'
4 D	SURFACE ELEV. = 5.05 PROP. WATER B.O.P. = 1.38 PROP. STORM T.O.P. = 0.13 CLEAR = 1.25'	9 D	SURFACE ELEV. = 5.44 PROP. WATER B.O.P. = 1.84 PROP. STORM T.O.P. = 0.84 CLEAR = 1.00'
5 D	SURFACE ELEV. = 5.74 PROP. STORM B.O.P. = -1.29 EXIST. SANITARY T.O.P. = -2.79 CLEAR = 1.57'		

- ### GENERAL DRAINAGE NOTES:
- ALL ROOF DRAINS TO BE CONNECTED TO THE NEAREST STORM DRAINAGE STRUCTURE.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL EXISTING DRAINAGE WITHIN THE CITY RIGHT OF WAY THAT HAS BEEN AFFECTED BY THE CONSTRUCTION.
 - PORTIONS OF THE EXISTING DRAINAGE SYSTEM MAY NEED TO BE CLEANED AS DETERMINED BY SDD.
 - DURING CONSTRUCTION ACTIVITIES INLET PROTECTION SHALL BE PROVIDED FOR ALL DRAINAGE INLETS ADJACENT TO THE PROJECT SITE. REFER TO POLLUTION/EROSION CONTROL PLAN.
 - SHOULD DEWATERING BE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED AGENCY APPROVALS AND/OR PERMITS.
 - THE PROPOSED DRAINAGE WELLS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR ANY DEWATERING PURPOSES.
 - ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.
 - ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE. WHERE ELEVATIONS WERE REQUIRED TO BE CONVERTED, THE FOLLOWING CONVERSION WAS USED: NAVD - NGVD - 1.58'
 - POLLUTION RETARDANT Baffle DEVICES ARE REQUIRED AT ALL STRUCTURES LEADING INTO EXFILTRATION TRENCH SECTIONS.
 - EXISTING R.O.W. DRAINAGE INFRASTRUCTURE INFORMATION WAS OBTAINED FROM SW 145TH AVE DESIGN PLANS (BY C.G.A.) AND AS-BUILTS FROM THE KEENAN ROADWAY PROJECT (BY COUNTY-WIDE LAND SURVEYORS)
 - EXISTING ON-SITE DRAINAGE INFRASTRUCTURE INFORMATION FOR THE EDISON PROJECT WAS OBTAINED BY AS-BUILTS/SURVEYS BY COUNTY-WIDE LAND SURVEYORS, PEGASUS LAND SURVEYORS, AND GIBBS LAND SURVEYORS
 - CONTRACTOR TO PROTECT EXIST. STORM DRAIN SYSTEMS DURING CONSTRUCTION.
 - REQUIRED CONNECTIONS TO EXISTING DRAINAGE STRUCTURES ARE TO BE CORE DRILLED.

SITE MAP (1"=300')

Always call 811 two full business days before you dig to have underground utilities located and marked.

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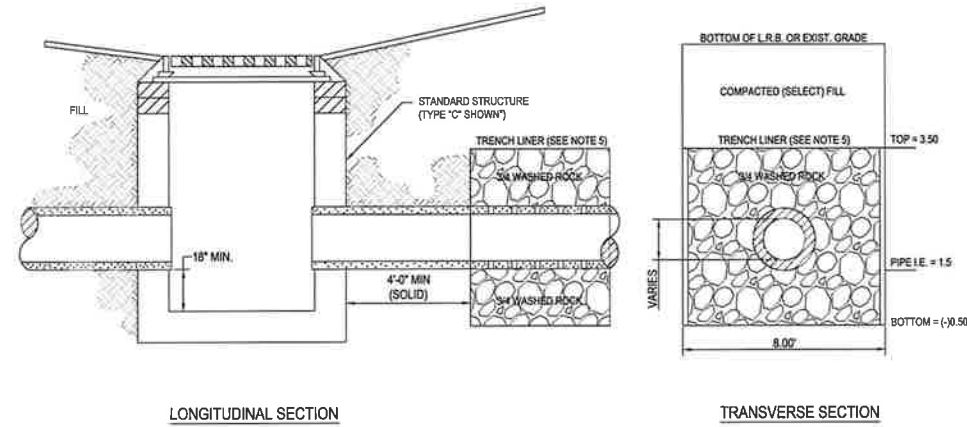
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16-1204.B

PROJECT DATE:
4.13.23

SHEET #:
D-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

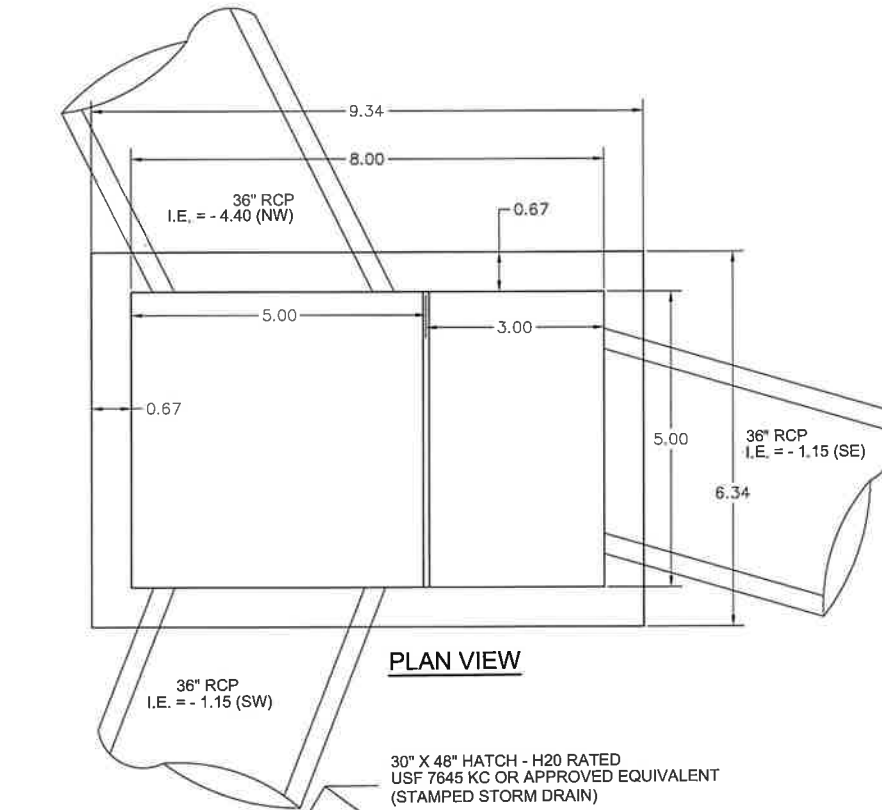


NOTES:

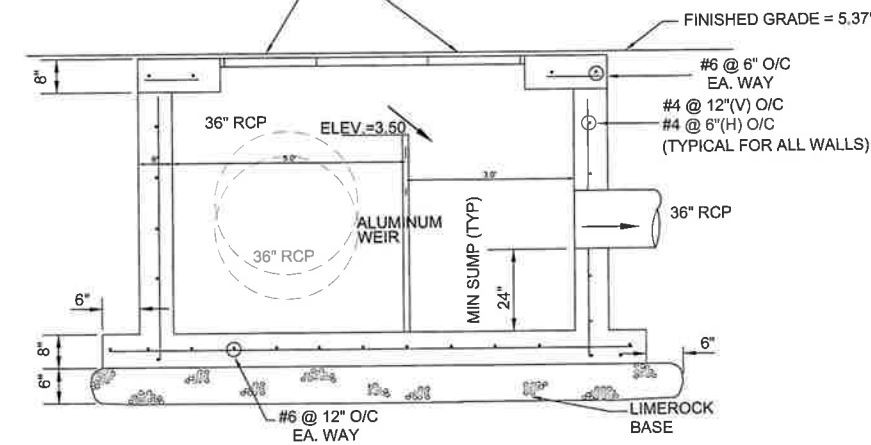
1. PIPES SHALL TERMINATE 2 FEET FROM END OF TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
2. COVER PIPE ENDS WITH NO. 10 GALVANIZED OR ALUMINUM SCREEN, OPENING NO LARGER THAN 1/2" X 1/2".
3. BALLAST ROCK SHALL BE FROM FRESH WATER WASHED FREE OF DELETERIOUS MATTER.
4. SIDES AND TOP OF TRENCH TO BE LINED WITH ONE LAYER OF PLASTIC TYPE FILTER CLOTH OR APPROVED EQUAL OVERLAP TRENCH LINING MATERIAL A MINIMUM OF TWO FEET AT TOP OF TRENCH.
5. FILTER FABRIC TO BE GEOTEX 351 OR AMOCO 4545 OR EQUIVALENT.

EXFILTRATION TRENCH DETAIL

N.T.S.



PLAN VIEW

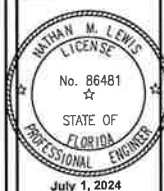


CONTROL STRUCTURE #1

N.T.S.

- * ALUMINUM WEIR
- 1/4" THICK ALUMINUM PLATE WITH
- 1/2" GALVANIZED ANCHOR BOLTS 5" O/C.

#	DATE	REVISIONS



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DRAINAGE DETAILS

THE EDISON APARTMENTS
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SHEET #
D-2

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

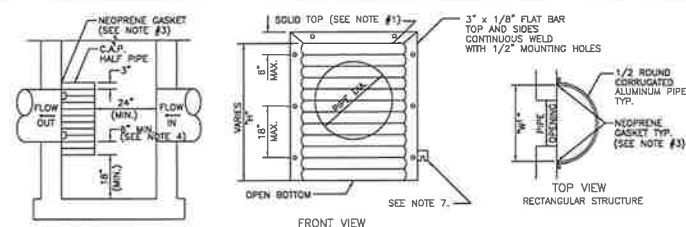
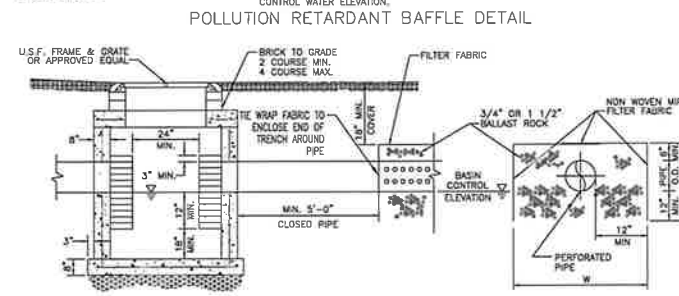
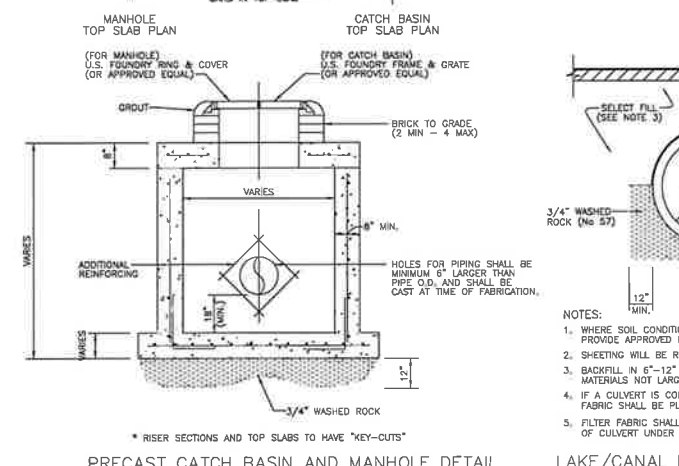
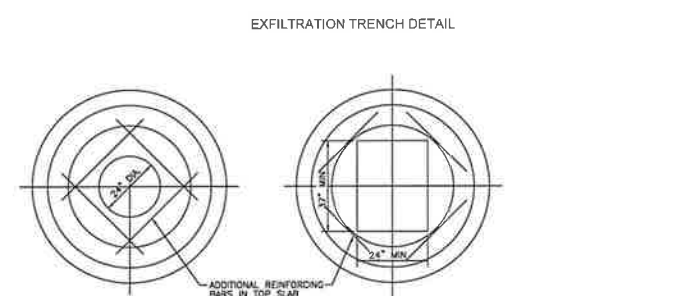


TABLE 1: POLLUTION RETARDANT BAFFLE DETAIL

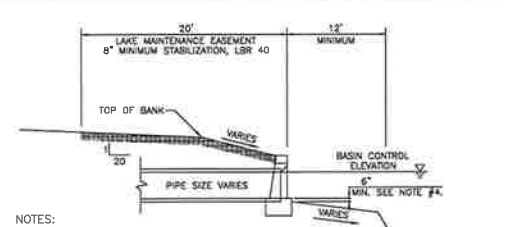
PIPE DIA. (IN)	W ¹ (IN)	W ² (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIES
18"	24"	24"	16	VARIES
21"	30"	30"	16	VARIES
24"	30"	36"	16	VARIES
30"	36"	42"	14	VARIES
36"	42"	48"	14	VARIES
42"	48"	54"	14	VARIES
48"	54"	60"	14	VARIES
54"	60"	66"	14	VARIES



- NOTES:
- SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC, OVERLAP LINDER A MINIMUM OF 2" AT THE TOP OF THE TRENCH.
 - BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER.
 - ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE. (SEE POLLUTION RETARDANT BAFFLE DETAIL, EXHIBIT 28)
 - GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.



PRECAST CATCH BASIN AND MANHOLE DETAIL



- NOTES:
- TOP OF CAP TO BE 1' ABOVE THE BASIN CONTROL ELEVATION FOR LAKES AND 2' ABOVE BASIN CONTROL ELEVATION FOR CANALS, UNLESS OTHERWISE APPROVED BY THE DISTRICT.
 - HEADWALLS ARE REQUIRED FOR ALL LAKE AND CANAL INTERCONNECTS.
 - CONCRETE AND RIP-RAP ENDWALLS ARE ACCEPTED PER FDOT INDEX 250-255 AND INDEX 258 WITH EXCEPTIONS AS NOTED IN SECTION 3.7.7 OF THE SDDO DESIGN CRITERIA MANUAL.
 - CHANNEL IN FRONT OF PIPE TO BE MIN 6" BELOW THE INVERT OF THE PIPE AND AT LEAST 1 1/2 TIMES THE DIA. OF THE PIPE TO THE DEEP CUT LINE AND CENTERED ON THE PIPE.
 - FACE OF HEADWALL TO BE LOCATED AT DESIGN EDGE OF WATER.

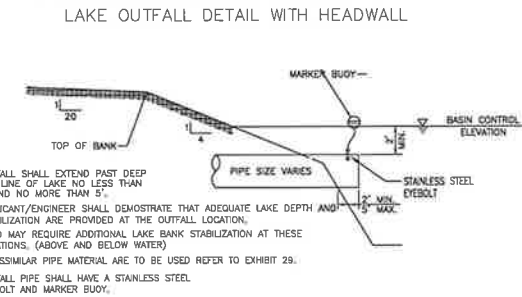
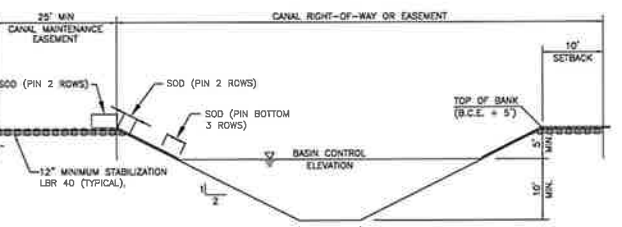


TABLE 2: LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT

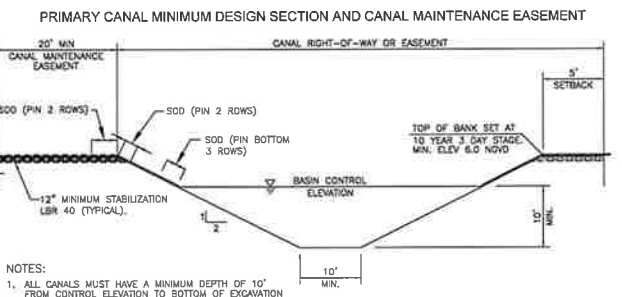
BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)	BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)
S-1	2.50	6.50	18.00	S-8	3.50	6.00	18.00
S-2 & S-7	2.70	6.00	13.20		4.00	6.50	10.00
S-3	3.00	6.50	14.00	S-9 & S-10	3.50	6.50	12.00
S-4	3.50	6.00	10.00		4.00	6.50	10.00
S-5	4.00	6.00	8.00	S-12	3.00	6.50	14.00
	4.25	6.50	9.00	S-13	3.00	6.50	14.00
	4.50	6.50	8.00				

* EXISTING LAKE BANKS AND SLOPES SHALL BE CLEARED AND REGRADED AS PER SDDO CRITERIA ALONG THE ENTIRE LIMITS OF ALL DEVELOPMENT AND REDEVELOPMENT PROJECTS.

LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT

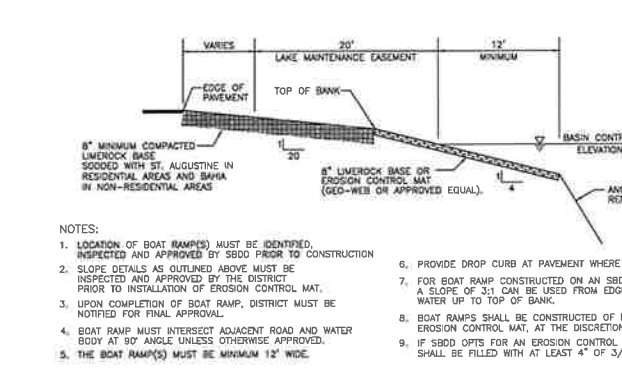


- NOTES:
- ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10' FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION
 - MINIMUM CANAL BOTTOM IS 10' WIDE
 - ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
 - THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
 - SOD PINS MUST BE WOOD.



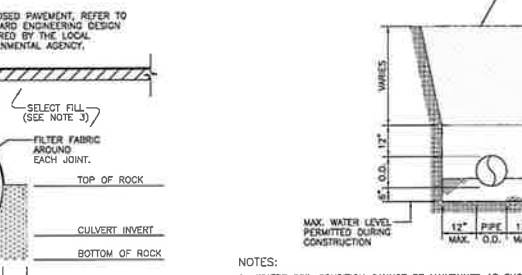
- NOTES:
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 - MINIMUM CANAL BOTTOM IS 10' WIDE
 - ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
 - THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
 - SOD PINS MUST BE WOOD.

SECONDARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



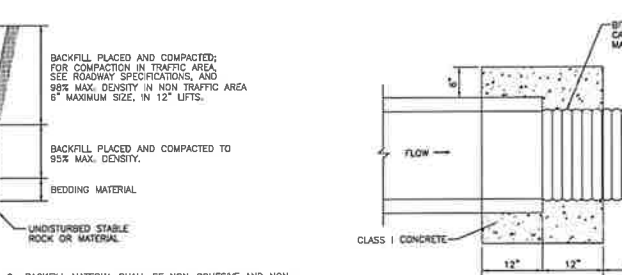
- NOTES:
- LOCATION OF BOAT RAMPS MUST BE IDENTIFIED, INSPECTED AND APPROVED BY SDDO PRIOR TO CONSTRUCTION
 - SLOPE DETAILS AS OUTLINED ABOVE MUST BE INSPECTED AND APPROVED BY THE DISTRICT PRIOR TO INSTALLATION OF EROSION CONTROL MAT.
 - UPON COMPLETION OF BOAT RAMP, DISTRICT MUST BE NOTIFIED FOR FINAL APPROVAL.
 - BOAT RAMP MUST INTERSECT ADJACENT ROAD AND WATER BODY AT 90° ANGLE UNLESS OTHERWISE APPROVED.
 - THE BOAT RAMP(S) MUST BE MINIMUM 12' WIDE.
 - PROVIDE DROP CURB AT PAVEMENT WHERE APPLICABLE.
 - FOR BOAT RAMP CONSTRUCTED ON AN SDDO CANAL A SLOPE OF 3:1 CAN BE USED FROM EDGE OF WATER UP TO TOP OF BANK.
 - BOAT RAMPS SHALL BE CONSTRUCTED OF LIMEROCK OR EROSION CONTROL MAT, AT THE DISCRETION OF THE DISTRICT.
 - IF SDDO OPTS FOR AN EROSION CONTROL MAT, THE MAT SHALL BE FILLED WITH AT LEAST 4" OF 3/4" ROCK.

BOAT RAMP DETAIL



- NOTES:
- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 - WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
 - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
 - WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT, WHERE NECESSARY, COURTS SAND, PEA ROCK OR 3/4" LIMESTONE GRAVEL SHALL BE USED TO PROVIDE UNIFORM BEARING.
 - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.
 - BACKFILL MATERIAL SHALL BE NON-COHESIVE AND NON-PLASTIC SOIL THAT IS FREE OF ALL DEBRIS, LUMPS, WOOD BROKEN PAVERS OR ANY ORGANIC OR UNSUITABLE MATERIAL. BACKFILL MATERIAL PLACED WITHIN 12" OF THE PIPE SHALL CONTAIN NO ROCKS OR STONES LARGER THAN 3-1/2" IN DIAMETER. NO ROCKS OR STONES LARGER THAN 6" DIAMETER WILL BE PERMITTED IN THE REMAINING BACKFILL UNLESS OTHERWISE SPECIFIED.
 - TRENCH BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY AASHTO T-180. BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE TO THE STANDARD ENGINEERING DESIGN REQUIRED BY THE LOCAL GOVERNMENTAL AGENCY.

TRENCH EXCAVATION DETAIL

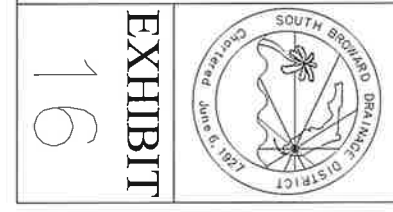


- NOTES:
- A CONCRETE JACKET SHALL NOT BE USED TO JOIN:
 - METAL PIPE OF DISSIMILAR MATERIALS
 - FLEXIBLE PIPE WHEN THE MAXIMUM COVER REQUIRED IN ACCORDANCE WITH F.D.O.T. INDEX No. 205 CANNOT BE OBTAINED.
 - OPTIONAL FOR LAKE OR CANAL OUTFALL
 - WHEN USED FOR LAKE OUTFALL, JACKET SHALL BE CENTERED 8' LANDWARD OF THE BASIN CONTROL ELEVATION.

CONCRETE JACKET DETAIL

GENERAL NOTES

- THE FOLLOWING GENERAL NOTES ARE REQUIRED BY THE SOUTH BROWARD DRAINAGE DISTRICT. THEY ARE NOT MEANT TO BE ALL INCLUSIVE. IF A DISTRICT ENGINEER'S RESPONSIBILITY TO ADD ANY NOTES WHICH WILL INFORM THE OWNER AND THE CONTRACTOR OF ANY ADDITIONAL REQUIREMENTS OF THE DISTRICT.
- THE CONTRACTOR SHALL CONTACT SDDO 48 HOURS OR TWO (2) WORKING DAYS PRIOR TO ANY REQUIRED INSPECTION. TO SCHEDULE INSPECTIONS, PLEASE CALL SDDO AT (954)848-3337. SDDO'S WORKING HOURS ARE FROM 8:00 AM TO 4:30 PM. MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS.
 - ANY REQUESTS TO PLANS FURNISHED BY SDDO MUST BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
 - A PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND HELD AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING CONSTRUCTION.
 - A SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO SDDO AFTER APPROVAL BY THE ENGINEER OF RECORD, PRIOR TO BEGINNING CONSTRUCTION.
 - DURING CONSTRUCTION, SDDO PERSONNEL WILL INSPECT THE FOLLOWING:
 - INSTALLATION OF ALL UNDERGROUND DRAINAGE FACILITIES BEFORE BACKFILLING - BACKFILLING OF DRAINAGE TRENCHES.
 - SHORING OF CANALS AND LAKE BANKS FROM THE DEEP CUT TO THE UPLAND EASEMENT LINE OR AS REQUIRED BY SDDO.
 - AND ANY OTHER DRAINAGE RELATED CONSTRUCTION WORK.
 - RE-INSPECTIONS: EXTRAORDINARY INSPECTIONS AND FINAL INSPECTIONS WILL BE SUBJECT TO ADDITIONAL FEES CHARGED BY SDDO.
 - THE CONTRACTOR CONSTRUCTING OR EXCAVATING LAKES OR OTHER WATER BODIES SHALL EXERCISE EXTREME CAUTION TO ENSURE THAT THE SIDE SLOPES AND DEEP CUT LINES ARE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS FOR THE DEVELOPMENT. THE CONTRACTOR OR OWNER SHALL PERIODICALLY, OR AS REQUIRED BY SDDO, OBTAIN A SURVEY FROM A FLORIDA REGISTERED SURVEYOR OF THE LOCATION OF THE DEEP CUT LINES PRIOR TO FINISHING THE SIDE SLOPES. THIS SURVEY SHALL BE PERFORMED PRIOR TO THE OWNER/CONTRACTOR BEGINNING CONSTRUCTION OF ANY BUILDING OR OTHER STRUCTURE ADJACENT TO THE WATER BODY. IN THE EVENT THAT THE CONTRACTOR DOES EXCEED THE WATER BODY, THE OWNER/CONTRACTOR SHALL BE OBLIGATED TO A SOLUTION TO CORRECT THE OVER ENCROACHMENT. ANY SUGGESTED REMEDY OR CORRECTION MUST BE APPROVED BY SDDO BEFORE THE CONTRACTOR BEGINS THE PROPOSED CORRECTION/REPAIR.
 - PLANS AND DRAINAGE AS-BUILT PLANS CERTIFIED BY THE ENGINEER OF RECORD AND APPROVED BY THE DISTRICT ENGINEER SHALL BE REQUIRED BEFORE THE RELEASE OF THE BOND OR LETTER OF CREDIT. AS-BUILTS SHALL BE PROVIDED AS AN OVERLAY OF THE APPROVED CONSTRUCTION DRAWINGS AND AT THE SAME SCALE AS ORIGINALLY SUBMITTED. AS-BUILT SUBMITTALS SHALL CONFORM TO THE REQUIREMENTS OF SDDO'S CRITERIA MANUAL. AS-BUILTS MUST ALSO BE PROVIDED IN ELECTRONIC FORMAT.
 - AS-BUILT DRAWINGS OF WATER BODIES SHALL INCLUDE THE DATA REQUIRED UNDER ARTICLE 29 OF SDDO'S CRITERIA MANUAL. THE AS-BUILT CROSS SECTIONS SHALL BE PROVIDED AT NOT MORE THAN 100 FOOT INTERVALS AND AT ALL OUTFALL PIPES CONSTRUCTED WITHOUT HEADWALLS.
 - SDDO WILL NOT COMPLETE THE FINAL INSPECTION UNTIL RECEIPT OF THE AS-BUILT PACKAGE WHICH WILL INCLUDE THE ENGINEER'S CERTIFICATION AND TEST RESULTS FOR STABILIZATION OF LAKE/CANAL MAINTENANCE EASEMENTS, ARE REQUIRED.



SOUTH BROWARD DRAINAGE DISTRICT
DESIGN CRITERIA MANUAL
STANDARD DETAIL SHEET

EXHIBIT TITLE

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: D-3

BTE REF DATE: 7.1.24

REVISIONS

#	DATE

NATHAN M. LEWIS
LICENSE
No. 86481
STATE OF FLORIDA
PROFESSIONAL ENGINEER
July 1, 2024

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DRAINAGE DETAILS

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Botek Thurlow
Engineering, Inc.
4400 NW 11th Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com | 954-946-0888 | 954-946-0757

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

UPDATED 3/26/2015

MATCHLINE - SEE SHEET WS-2

UNDERGROUND UTILITIES NOTES:

- 1. SITE MAY CONTAIN EXISTING UTILITIES (DOMESTIC WATER, IRRIGATION, TELEPHONE, ELECTRIC, GAS, STORM DRAINAGE, SANITARY SEWER AND OTHERS)...

REFER TO PLANS BY OTHERS FOR BAPTIST HEALTH PROJECTS WATERMAIN IMPROVEMENTS (TYP.)

REFER TO BAPTIST HEALTH PLANS BY OTHERS FOR CONTINUATION OF WATERMAIN IMPROVEMENTS

PROP. 8" G.V. w/ TEMPORARY FLOW OFF PROP. 5L 8" P.V.C. W.M.

PROP. 8" TEE AND 8" G.V. PROP. 20L 8" P.V.C. W.M. PROP. 8" 22.5" BEND

PROP. 24L 8" P.V.C. W.M. PROP. 15L 8" P.V.C. W.M.

PROP. 15L 8" P.V.C. W.M. PROP. 15L 8" UTILITY ESSENT

PROP. 8" 45" BEND PROP. 28L 8" P.V.C. W.M. PROP. 8" G.V.

PROP. 7L 8" P.V.C. W.M. PROP. 7L 8" P.V.C. W.M. PROP. 7L 8" P.V.C. W.M.

PROP. 4" DIP BUILDING WATER SERVICE (REFER TO PLUMB. PLANS FOR CONTINUATION)

PROP. 4" DIP FIRE SERVICE (REFER TO BLDG FIRE PLANS FOR CONTINUATION)

PROP. F.D.C. w/ SIGN PER CITY DETAIL

PROP. 30L 8" P.V.C. W.M. PROP. 30L 8" P.V.C. W.M. PROP. 30L 8" P.V.C. W.M.

PROP. 15L 8" P.V.C. W.M. PROP. 15L 8" P.V.C. W.M. PROP. 15L 8" P.V.C. W.M.

PROP. 8" 90" BEND PROP. 18L 8" P.V.C. W.M. PROP. 8" G.V.

PROP. 8" 45" BEND PROP. 13L 8" P.V.C. W.M. PROP. 8" G.V.

PROP. 8" 90" TAP w/ 8" G.V. AND FIRE HYDRANT

PROP. 8" 45" TAP AND VALVE, 5L 8" DIP W.M., 8" G.V., AND FIRE HYDRANT

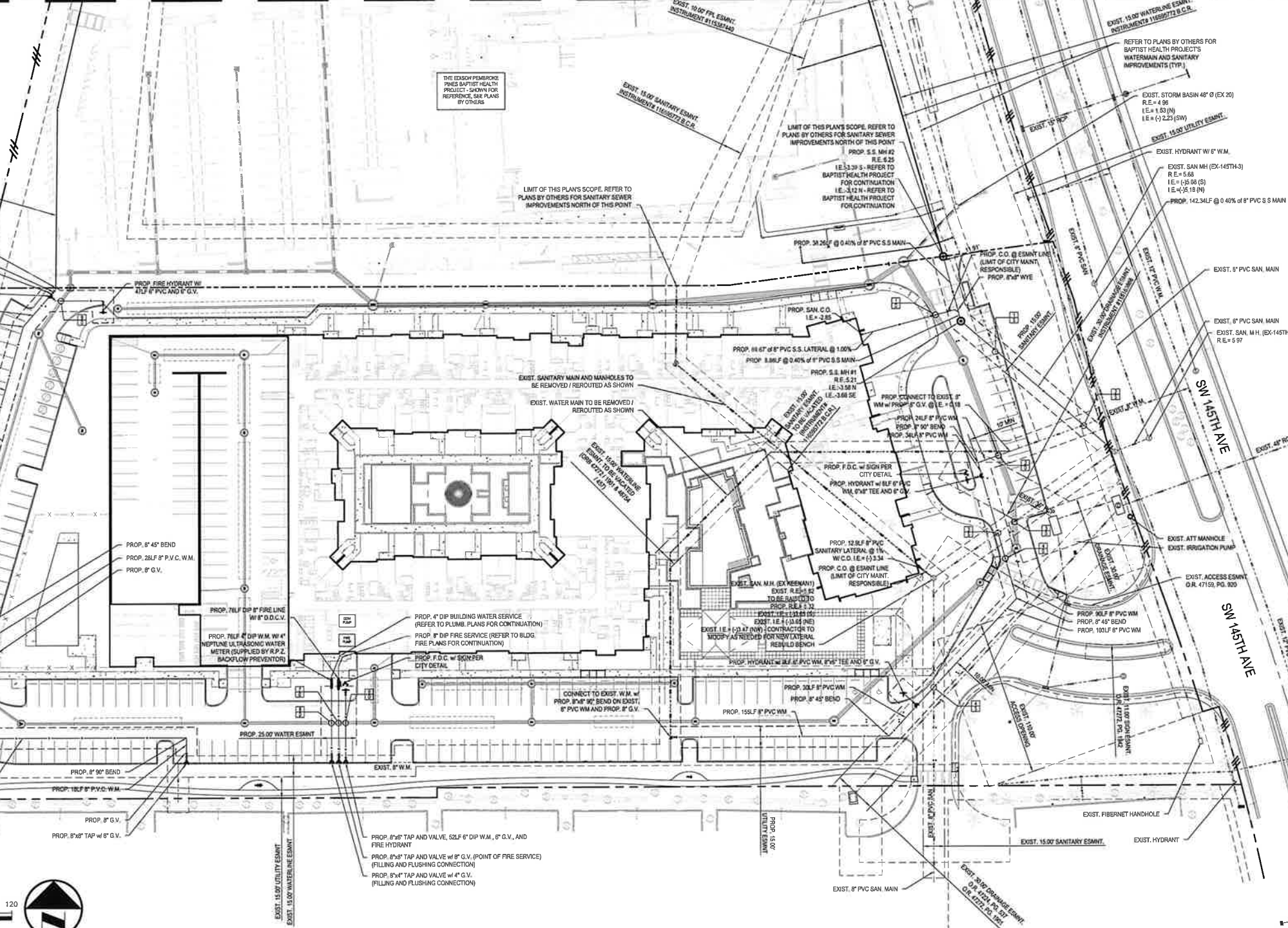
PROP. 8" 45" TAP AND VALVE w/ 8" G.V. (FILLING AND FLUSHING CONNECTION)

PROP. 8" 45" TAP AND VALVE w/ 8" G.V. (FILLING AND FLUSHING CONNECTION)

PROP. 8" 45" TAP AND VALVE w/ 8" G.V. (FILLING AND FLUSHING CONNECTION)

PROP. 8" 45" TAP AND VALVE w/ 8" G.V. (FILLING AND FLUSHING CONNECTION)

PROP. 8" 45" TAP AND VALVE w/ 8" G.V. (FILLING AND FLUSHING CONNECTION)



CITY FIRE DEPT NOTES:

- 1. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION...

SYMBOLS FOR FITTINGS, VALVES, ETC. ARE DIAGRAMMATIC ONLY AND DO NOT REFLECT ACTUAL SIZE; FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

WATER & SEWER NOTES

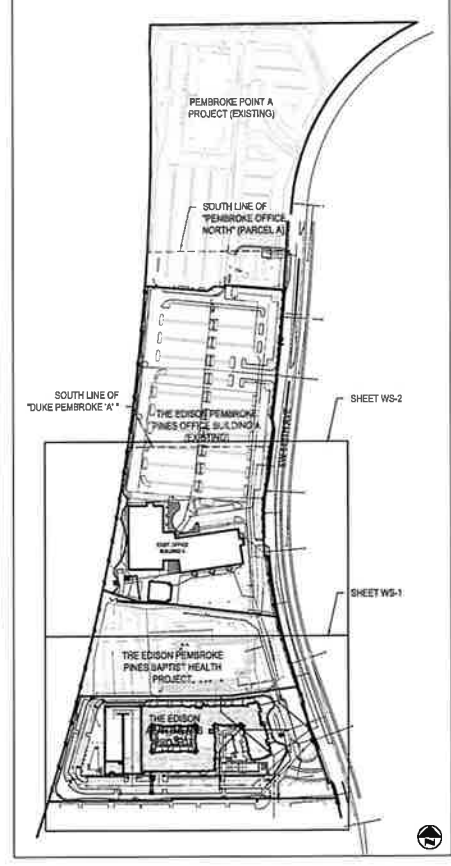
- 1. NO GATE VALVES IN CURBS 2. ALL WATER AND SEWER MAINS TO HAVE MIN 36" COVER UNLESS NOTED OTHERWISE...

FIRE LINE NOTES:

- 1. ALL PROPOSED FIRE MAINS, SERVICES, "SHAMES" CONNECTION LINES ETC. MUST BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER FLORIDA STATUTE 833...

CONFLICT TABLE

Table with 4 columns: SURFACE ELEV., EXIST. WATER B.O.P., PROP. SANITARY T.O.P., CLEARANCE. Lists various utility conflicts and their resolutions.



Always call 811 two full business days before you dig to have underground utilities located and marked.



BTE REF DATE: 7.1.24

Table with columns for REVISIONS and DATE, showing a list of changes and their dates.



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WATER & SANITARY SEWER PLAN THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

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BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: WS-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

UNDERGROUND UTILITIES NOTES:

1. SITE MAY CONTAIN EXISTING UTILITIES (DOMESTIC WATER, IRRIGATION, TELEPHONE, ELECTRIC, GAS, STORM DRAINAGE, SANITARY SEWER AND OTHERS). **NOT ALL EXISTING UTILITIES ARE SHOWN HEREON.** SOME ARE SHOWN ON THIS PLAN AS OBTAINED FROM UTILITY LOCATES, ATLASSES AND THE SURVEY.
2. ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE SITE ARE TO BE REMOVED - EXCEPT WHERE NOTED OTHERWISE (SUCH AS "TO REMAIN" TO BE RELOCATED, ETC.). THIS PLAN IS LIMITED TO WATER AND SANITARY SEWER ONLY. NO DESIGN OF F.P.L., COMCAST, GAS, TELEPHONE IS SHOWN HEREON.
3. CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL UTILITY REMOVAL/RELOCATION SUCH THAT NO OTHER USER OF SAID IS AFFECTED.

WATER & SEWER NOTES:

1. NO GATE VALVES IN CURBS
2. ALL WATER AND SEWER MAINS TO HAVE MIN 36" COVER UNLESS NOTED OTHERWISE
3. SLOPE OR PITCH SANITARY SEWER MANHOLE CASTINGS WITH DESIGN ROAD SECTIONS
4. ALL SANITARY SEWER CLEANOUTS LOCATED IN ROADWAY ARE TO BE TRAFFIC-RATED
5. WATER SHALL BE AVAILABLE TO FIRE HYDRANTS BEFORE INTERIOR BUILDING CONSTRUCTION CAN BEGIN
6. ALL EXISTING WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT BEING RE-USED SHALL BE CUT AND CAPPED AND ABANDONED IN ACCORDANCE WITH THE PUBLIC UTILITIES MINIMUM STANDARDS
7. AFTER WATER AND SEWER CONNECTIONS, RESTORE ALL RIGHT OF WAY (PAVEMENT, SIDEWALK, CURB, ETC.) IN ACCORDANCE WITH CITY OF PEMBROKE PINES MINIMUM STANDARDS
8. ALL ELEVATIONS SHOWN IN THIS PLAN ARE IN THE NAVD DATUM. WHERE ELEVATIONS WERE REQUIRED TO BE CONVERTED, THE FOLLOWING CONVERSION WAS USED: NAVD = NVD - 1.58'
9. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.
10. EXISTING INFRASTRUCTURE INFORMATION WAS OBTAINED FROM SW 145TH AVE DESIGN PLANS (BY C.G.A.), AS-BUILTS FROM THE KEENAN ROADWAY PROJECT (BY COUNTY-WIDE LAND SURVEYORS), AND AS-BUILTS FROM THE EDISON PEMBROKE PROJECT PHASE 1 AND 2 (BY GIBBS LAND SURVEYORS, PEGASUS LAND SURVEYORS, AND COUNTY-WIDE LAND SURVEYORS)

FIRE LINE NOTES:

1. ALL PROPOSED FIRE MAINS, SERVICES, "SHAMES" CONNECTION LINES ETC. MUST BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER FLORIDA STATUTE 633.
2. ALL FIRE LINES ARE TO BE INSPECTED BY CERTIFIED FIRE LINE INSPECTORS PRIOR TO BEING PLACED INTO SERVICE.
3. UPON COMPLETION OF REQUIRED TESTING A STATE LICENSED FIRE LINE CONTRACTOR SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE". THE CERTIFICATE MUST BE ISSUED AND THE FIRE LINE MUST BE ACCEPTED BY THE BROWARD COUNTY HEALTH DEPT. (WHERE APPLICABLE) PRIOR TO BEING PLACED INTO SERVICE.
4. FIRE LINE SYSTEM COMPONENTS (FDC, DDCV, FIRE LINE PIPING, ETC.) SHOWN ON THESE PLANS ARE TO BE COORDINATED WITH THE FIRE PROTECTION DRAWINGS AND DESIGN AND FIRE PROTECTION SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF ANY PORTION OF THE FIRE PROTECTION SYSTEM.

BTE REF DATE: 7.1.24

REVISIONS

DATE



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WATER & SANITARY SEWER PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

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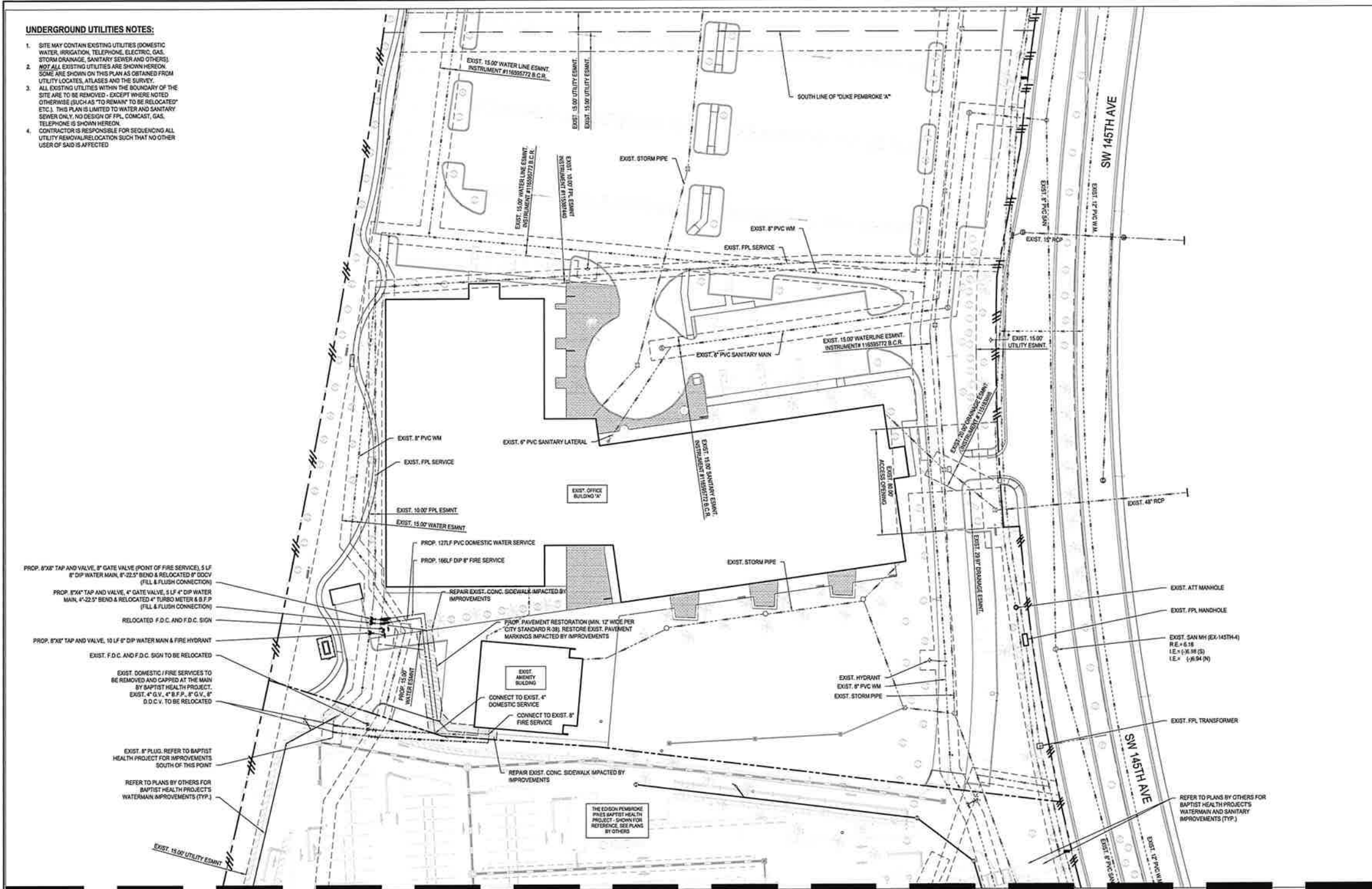
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16-1204.B

PROJECT DATE:
4.13.23

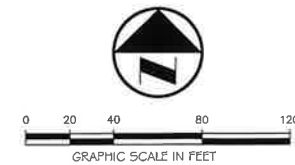
SHEET #:

WS-2

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



MATCHLINE - SEE SHEET WS-1



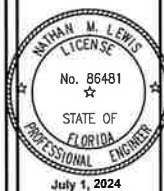
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Sunshine811.com

WATER AND SEWER LEGEND		ABBREVIATIONS	
	DOUBLE DETECTOR CHECK VALVE		PROPOSED WATER PIPE
	RPZ BACKFLOW PREVENTORS		EXIST. WATER PIPE
	GATE VALVE		EXIST. SANITARY SEWER PIPE
	METER		EXIST. STORM PIPE
	TEE / TAP		EXIST. ATT UNDERGROUND
	FIRE HYDRANT		EXIST. BROWARD TRAFFIC COMMUNICATIONS UNDERGROUND
	FIRE DEPT. CONNECTION		EXIST. BROWARD FIBER OPTIC UNDERGROUND
	PROP. PLUG / CAP		EXIST. COMCAST UNDERGROUND
	EXIST. SANITARY SEWER MANHOLE		EXIST. ELECTRICAL UNDERGROUND
	PROP. SANITARY SEWER MANHOLE		EXIST. OVERHEAD
	PROP. SANITARY CLEAN OUT		EXIST. TELEPHONE UNDERGROUND
	PROP. METER VAULT		
	PROP. BACTERIOLOGICAL SAMPLE		
	PROP. REDUCER		

SYMBOLS FOR FITTINGS, VALVES, ETC. ARE DIAGRAMMATIC ONLY AND DO NOT REFLECT ACTUAL SIZE; FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

REVISIONS
DATE



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SANITARY SEWER DETAILS

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

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www.botekthurloweng.com P: 954-768-0818 E: info@bteng.com

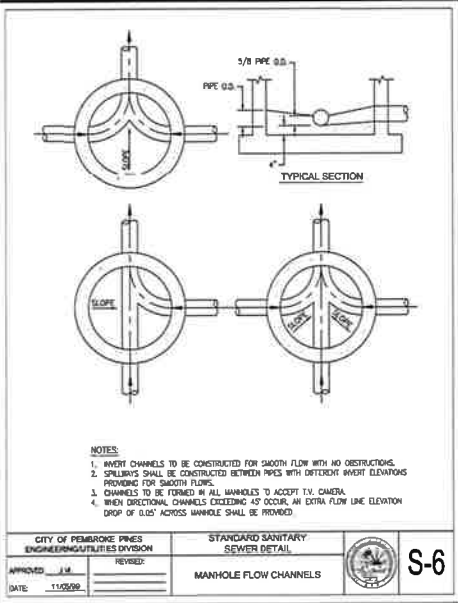
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16-1204.B

PROJECT DATE:
4.13.23

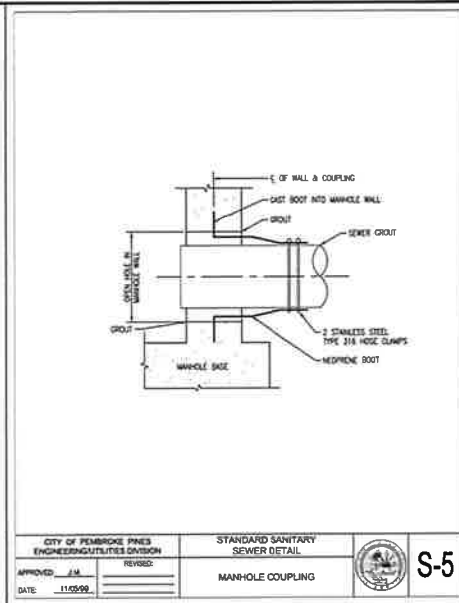
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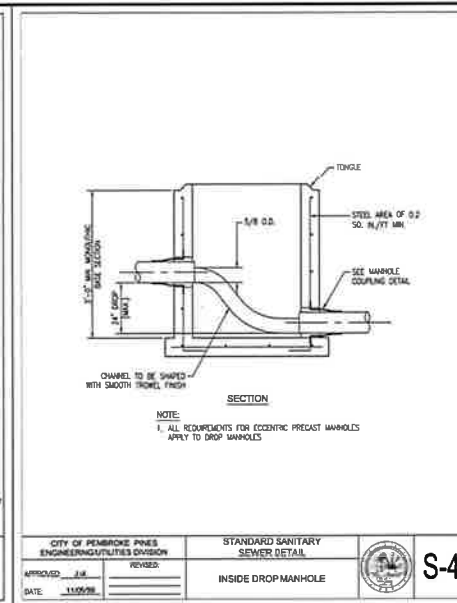
PRELIMINARY PLANS - NOT FOR CONSTRUCTION



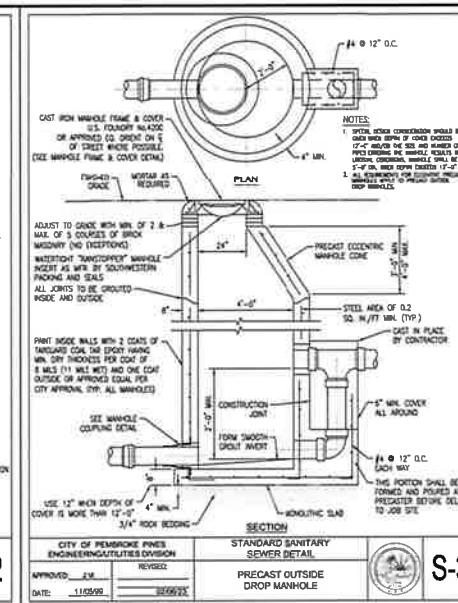
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DATE: 11/05/09



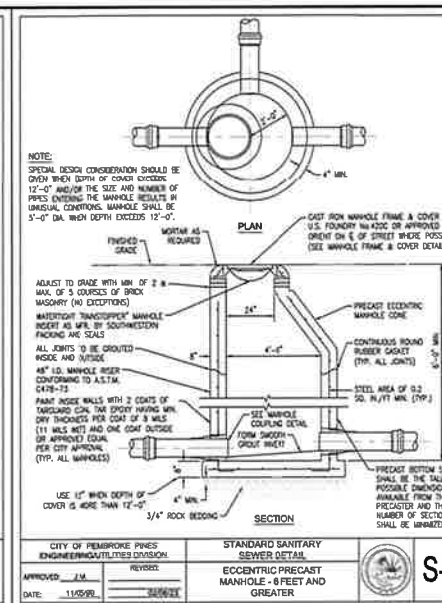
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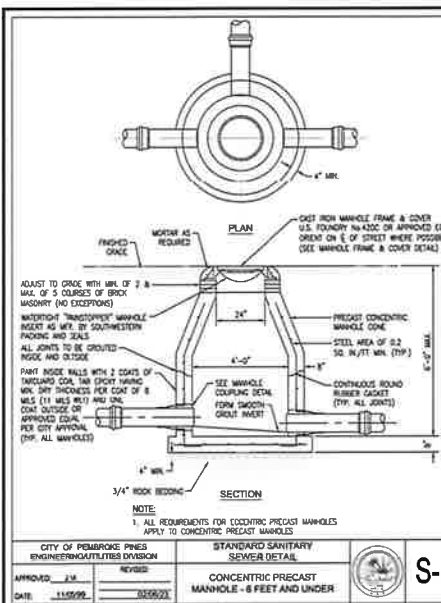
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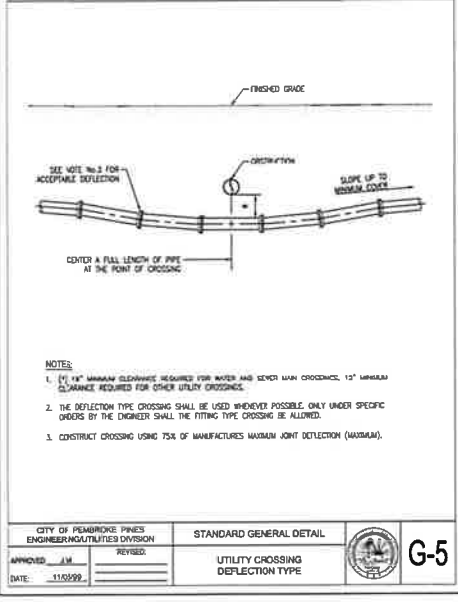
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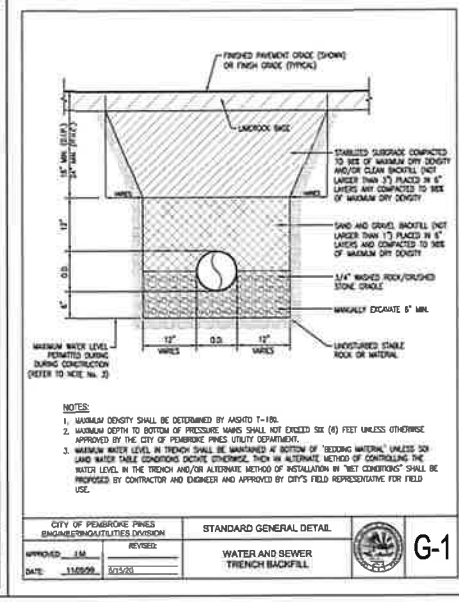
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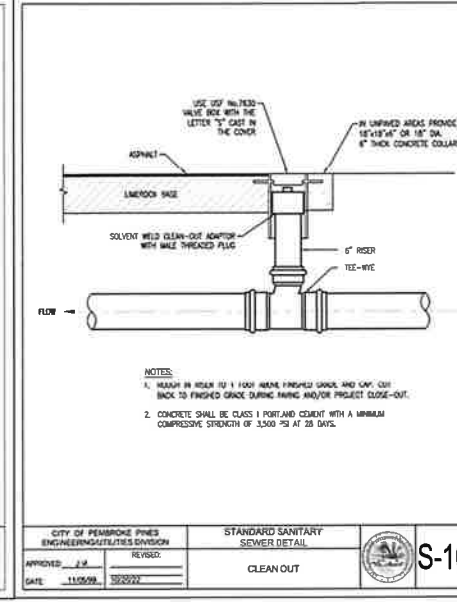
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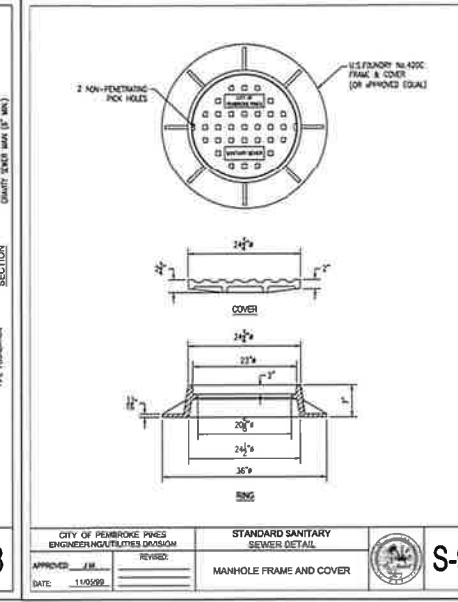
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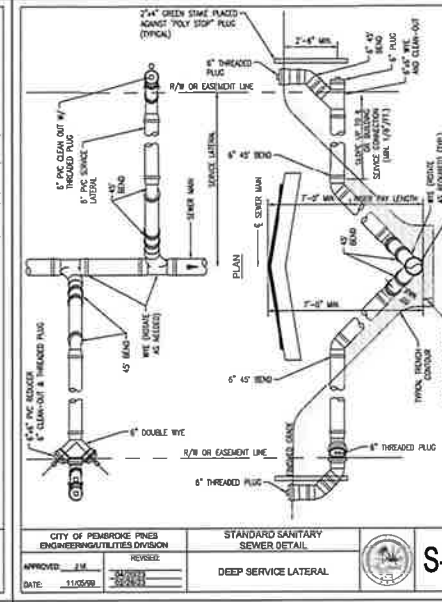
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STANDARD GENERAL DETAIL
WATER AND SEWER TRENCH BACKFILL
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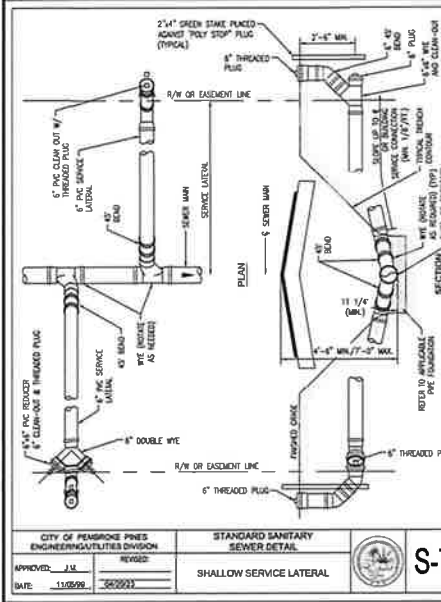
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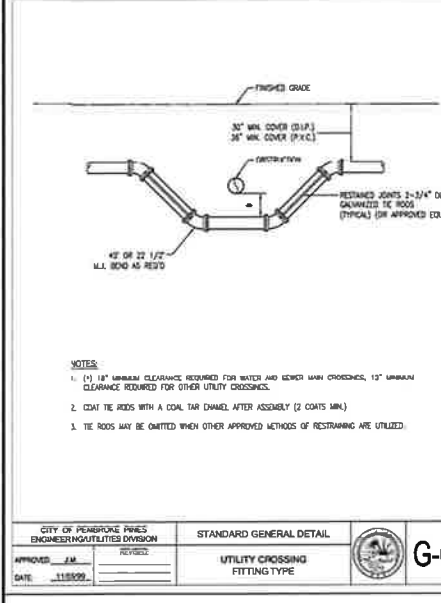
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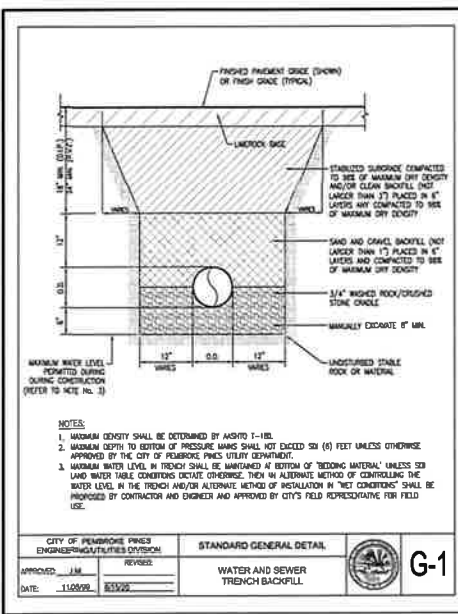
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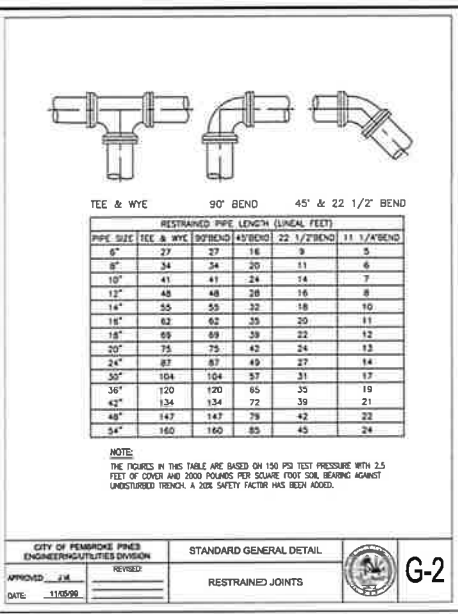
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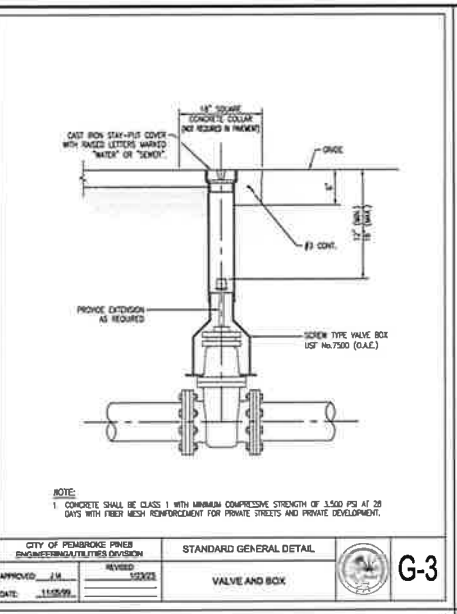
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STANDARD GENERAL DETAIL
UTILITY CROSSING FITTING TYPE
APPROVED: J.M. REVISOR: [blank]
DATE: 11/05/09



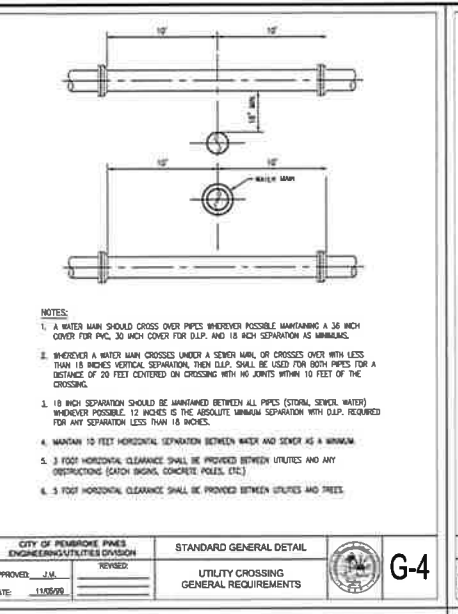
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-1
APPROVED: J.M. [Signature]	REVISION: WATER AND SEWER TRENCH BACKFILL		
DATE: 11/05/09			



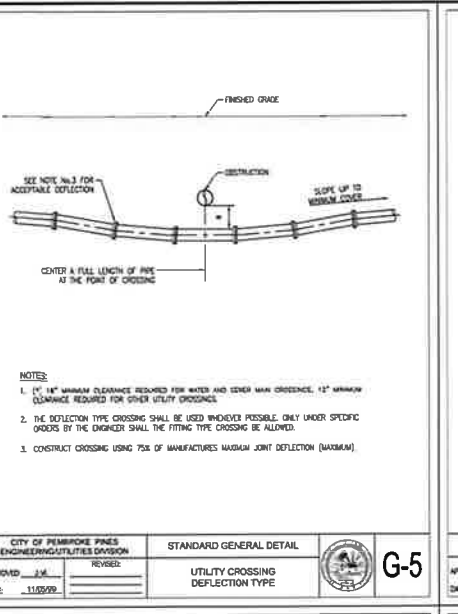
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-2
APPROVED: J.M. [Signature]	REVISION: RESTRAINED JOINTS		
DATE: 11/05/09			



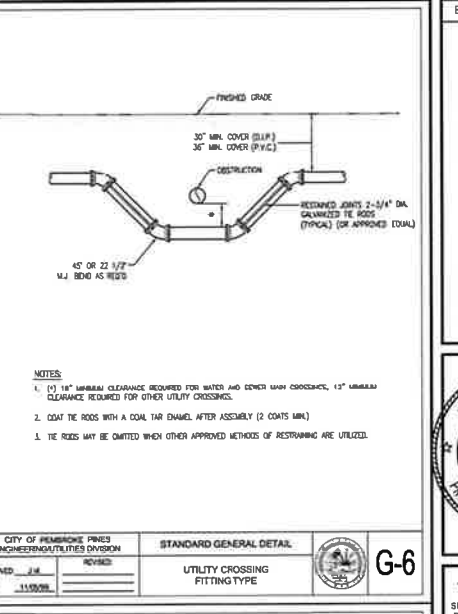
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-3
APPROVED: J.M. [Signature]	REVISION: VALVE AND BOX		
DATE: 11/05/09			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-4
APPROVED: J.M. [Signature]	REVISION: UTILITY CROSSING GENERAL REQUIREMENTS		
DATE: 11/05/09			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-5
APPROVED: J.M. [Signature]	REVISION: UTILITY CROSSING DEFLECTION TYPE		
DATE: 11/05/09			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD GENERAL DETAIL		G-6
APPROVED: J.M. [Signature]	REVISION: UTILITY CROSSING FITTING TYPE		
DATE: 11/05/09			

BTE REF DATE: 7.1.24

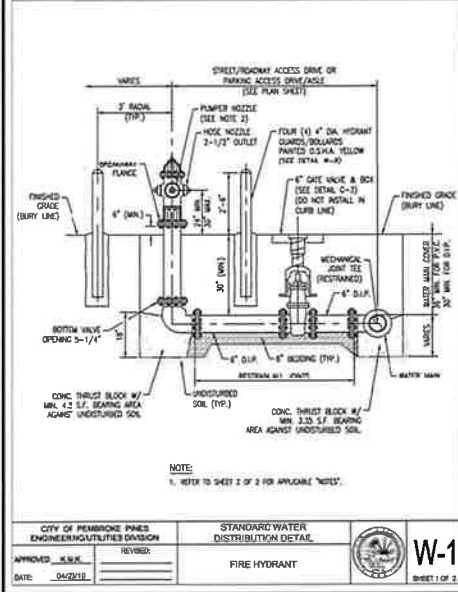
REVISIONS

NO.	DATE	DESCRIPTION

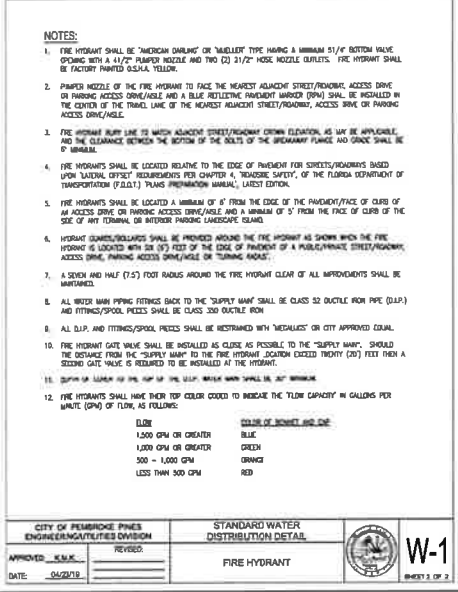
July 1, 2024

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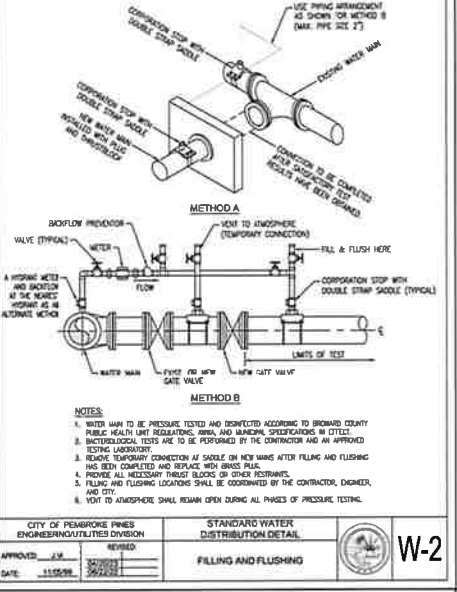
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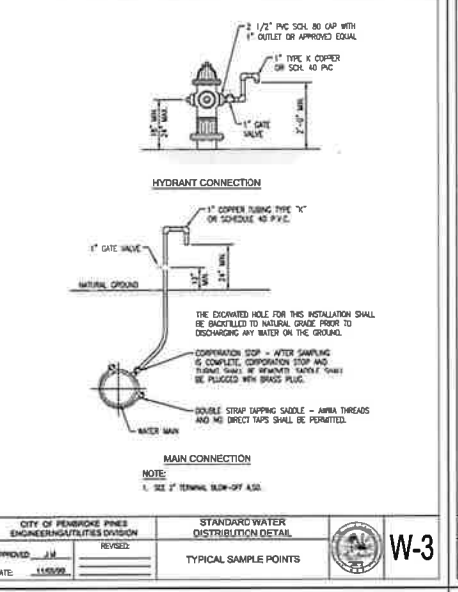
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: K.M.K. [Signature]	REVISION: FIRE HYDRANT		
DATE: 04/23/19			



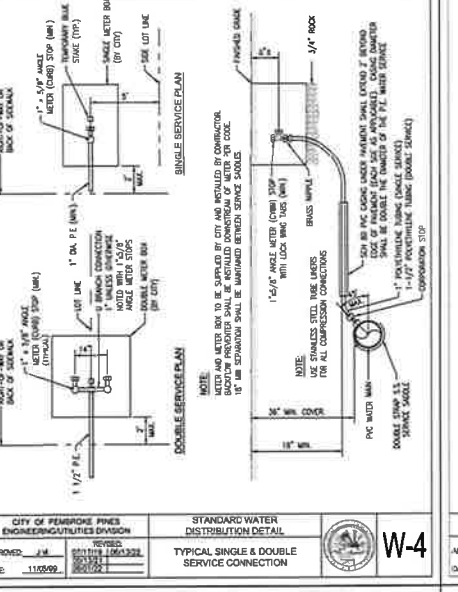
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: K.M.K. [Signature]	REVISION: FIRE HYDRANT		
DATE: 04/23/19			



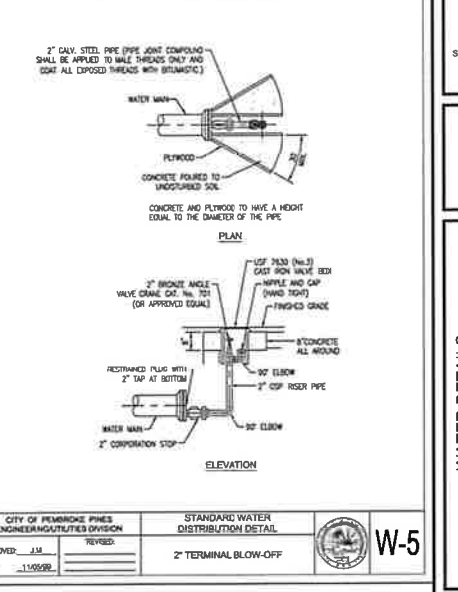
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-2
APPROVED: J.M. [Signature]	REVISION: FILLING AND FLUSHING		
DATE: 11/05/09			



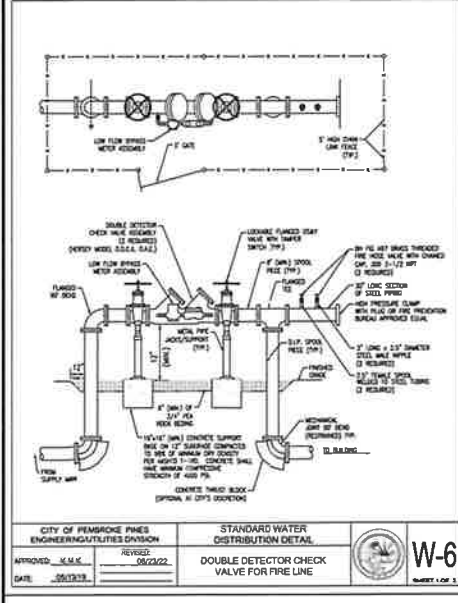
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-3
APPROVED: J.M. [Signature]	REVISION: TYPICAL SAMPLE POINTS		
DATE: 11/05/09			



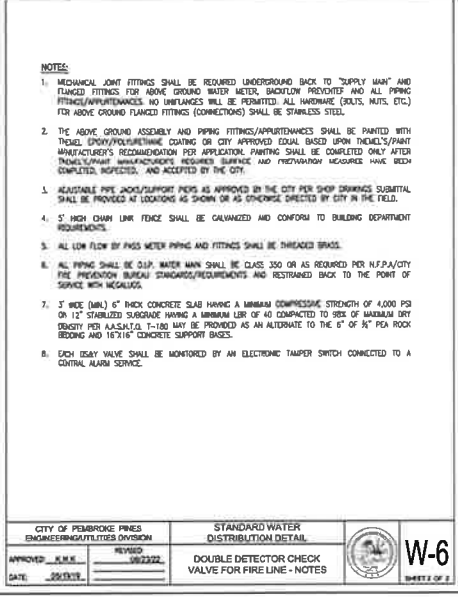
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APPROVED: J.M. [Signature]	REVISION: TYPICAL SINGLE & DOUBLE SERVICE CONNECTION		
DATE: 11/05/09			



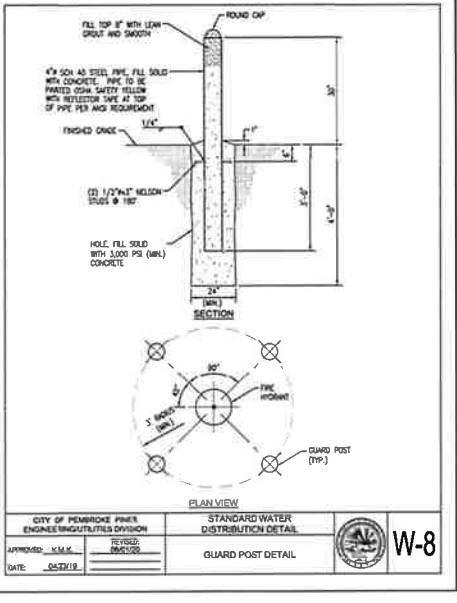
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-5
APPROVED: J.M. [Signature]	REVISION: 2\"/>		
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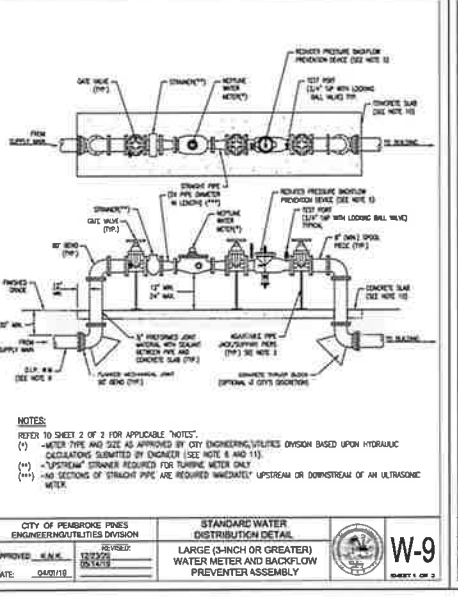
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-6
APPROVED: K.M.K. [Signature]	REVISION: DOUBLE DETECTOR CHECK VALVE FOR FIRE LINE		
DATE: 05/03/19			



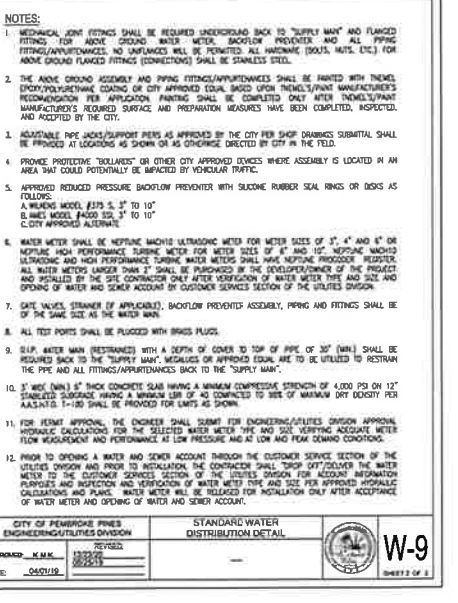
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-6
APPROVED: K.M.K. [Signature]	REVISION: DOUBLE DETECTOR CHECK VALVE FOR FIRE LINE - NOTES		
DATE: 05/03/19			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-8
APPROVED: K.M.K. [Signature]	REVISION: GUARD POST DETAIL		
DATE: 05/03/19			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-9
APPROVED: K.M.K. [Signature]	REVISION: LARGE (2-INCH OR GREATER) WATER METER AND BACKFLOW PREVENTER ASSEMBLY		
DATE: 04/02/19			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-9
APPROVED: K.M.K. [Signature]	REVISION: LARGE (2-INCH OR GREATER) WATER METER AND BACKFLOW PREVENTER ASSEMBLY		
DATE: 04/02/19			

WATER DETAILS

THE EDISON APARTMENTS
PEMBROKE PINES, FL. 33027

Botek Thurlow Engineering, Inc.
3409 NW 9th Avenue, Suite 101, Ft. Lauderdale, FL 33309
www.botekthurloweng.com | 954-986-0616 | E: 954-986-0971

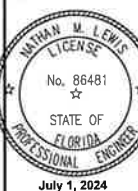
BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #:
WS-4

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

REVISIONS	DATE
#	



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PAVEMENT MARKING AND SIGNAGE PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

Botek Thurlow Engineering, Inc.
4400 NW 42nd Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-948-0888 F: 954-948-0972

BTE PROJECT #:
16-1204.B

PROJECT DATE:
4.13.23

SHEET #:
PMS-1

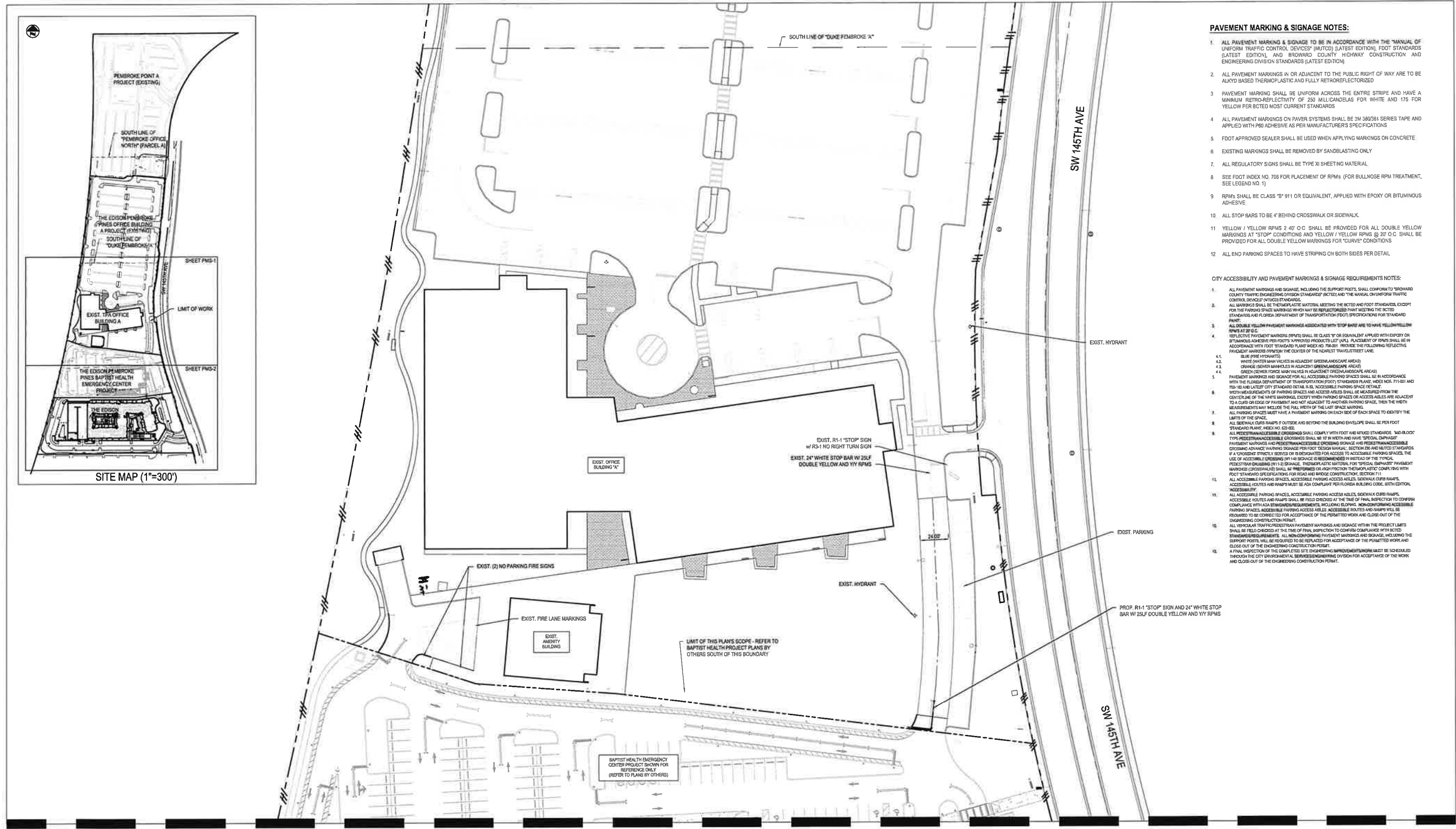
PRELIMINARY PLANS - NOT FOR CONSTRUCTION

PAVEMENT MARKING & SIGNAGE NOTES:

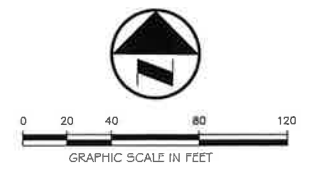
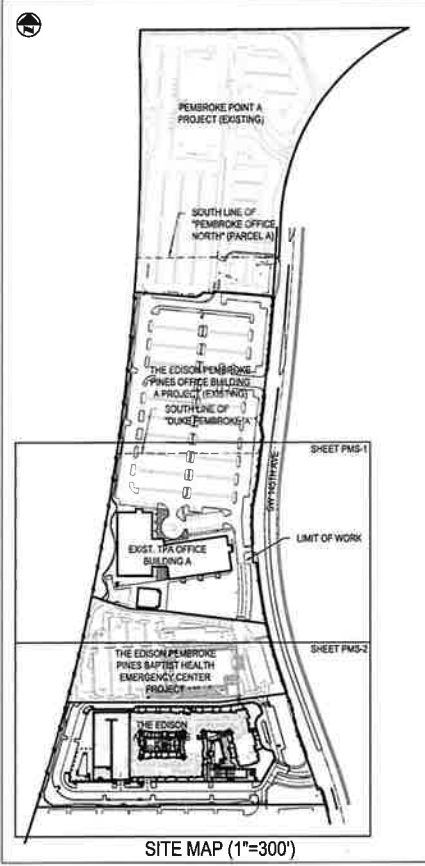
1. ALL PAVEMENT MARKING & SIGNAGE TO BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) (LATEST EDITION), FDOT STANDARDS (LATEST EDITION), AND BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION STANDARDS (LATEST EDITION).
2. ALL PAVEMENT MARKINGS IN OR ADJACENT TO THE PUBLIC RIGHT OF WAY ARE TO BE ALKYL-D BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
3. PAVEMENT MARKING SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND HAVE A MINIMUM RETRO-REFLECTIVITY OF 250 MILLICANDELAS FOR WHITE AND 175 FOR YELLOW PER BCTED MOST CURRENT STANDARDS.
4. ALL PAVEMENT MARKINGS ON PAVEMENT SYSTEMS SHALL BE 3M 380281 SERIES TAPE AND APPLIED WITH P80 ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
5. FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
6. EXISTING MARKINGS SHALL BE REMOVED BY SANDBLASTING ONLY.
7. ALL REGULATORY SIGNS SHALL BE TYPE XI SHEETING MATERIAL.
8. SEE FDOT INDEX NO. 706 FOR PLACEMENT OF RPMs (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1).
9. RPMs SHALL BE CLASS 'B' 911 OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
10. ALL STOP BARS TO BE 4" BEHIND CROSSWALK OR SIDEWALK.
11. YELLOW / YELLOW RPMs 2' 40" O.C. SHALL BE PROVIDED FOR ALL DOUBLE YELLOW MARKINGS AT "STOP" CONDITIONS AND YELLOW / YELLOW RPMs @ 20' O.C. SHALL BE PROVIDED FOR ALL DOUBLE YELLOW MARKINGS FOR "CURVE" CONDITIONS.
12. ALL END PARKING SPACES TO HAVE STRIPING ON BOTH SIDES PER DETAIL.

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

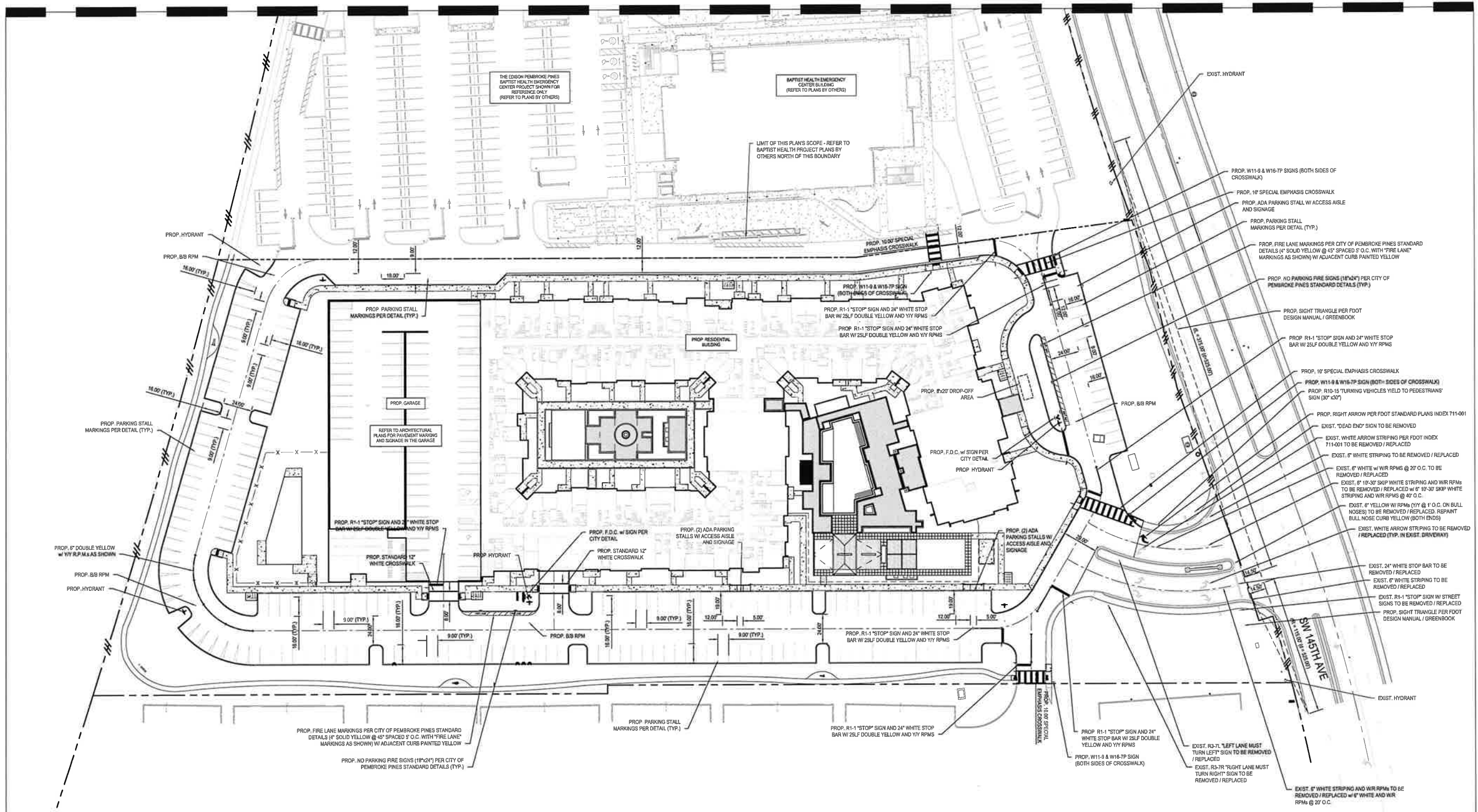
1. ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SURFSET PROFILE, SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (BCTED) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
2. ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FOOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR STANDARD PAINT.
3. ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH STOP BARS ARE TO HAVE YELLOW/YELLOW RPMs AT 20' O.C.
4. REFLECTIVE PAVEMENT MARKERS (RPMs) SHALL BE CLASS 'B' OR EQUIVALENT APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE PER FDOT'S APPROVED PRODUCTS LIST. PLACEMENT OF RPMs SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLAN INDEX NO. 706-001. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKER DIMENSIONS FOR THE CURVES OF THE ROADWAY THROUGHOUT THE PROJECT:
 - 4.1. BLUE PINE HYDRANTS
 - 4.2. WHITE (DRIVER MAIN HOLES IN ADJACENT GREENLANDSCAPE AREAS)
 - 4.3. ORANGE (SEWER MAIN HOLES IN ADJACENT GREENLANDSCAPE AREAS)
 - 4.4. GREEN (DRIVER FORCE MAIN HOLES IN ADJACENT GREENLANDSCAPE AREAS)
5. PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS PLAN INDEX NO. 711-001 AND 711-101 AND THE LATEST CITY STANDARD DETAIL IS ACCESSIBLE PARKING SPACE DETAIL.
6. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESSIBLE SPACES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESSIBLE ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
7. ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
8. ALL SIDEWALK CURB RAMP'S OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT STANDARD PLAN INDEX NO. 522-002.
9. ALL INTERSECTING ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. SIDEWALK TYPE INTERSECTING ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PROTRUSION-RESISTIBLE CROSSING SURFACE AND PROTRUSION-RESISTIBLE CROSSING SURFACE WARNING STRIPING PER FDOT DESIGN MANUAL, SECTION 206 AND MUTCD STANDARDS IF A CROSSWALK STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES. THE USE OF ACCESSIBLE CROSSING WITH A BRIDGE IS RECOMMENDED IN VERTICAL OF THE TYPICAL. PROTRUSION RESISTIBLE (R1-1) BRIDGES. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALK) SHALL BE RECOMMENDED ON HIGH TRAFFIC THROUGH THE ROADWAY CORNER WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711.
10. ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLE, SIDEWALK CURB RAMP'S, ACCESSIBLE ROUTES AND RAMP'S MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, 8TH EDITION, "ACCESSIBILITY".
11. ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLE, SIDEWALK CURB RAMP'S, ACCESSIBLE ROUTES AND RAMP'S SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS REQUIREMENTS, INCLUDING SLOPING, NON-CONFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESSIBLE, ACCESSIBLE ROUTES AND RAMP'S WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
12. ALL VERTICAL TRAFFIC CONTROL PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS REQUIREMENTS. ALL NON-COMPLYING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SURFSET PROFILE, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
13. A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK SHALL BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.



MATCHLINE - SEE SHEET PMS-2



MATCHLINE - SEE SHEET PMS-1



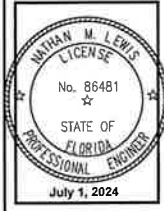
CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (BCTED) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FOOT STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR STANDARD PAINT.
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH STOP BARS ARE TO HAVE YELLOW/WHITE RPMs AT 20' O.C.
- REFLECTIVE PAVEMENT MARKINGS (RPMs) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE PER FDOT'S APPROVED PRODUCTS LIST (APL). PLACEMENT OF RPMs SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS (NO. 10246). PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKINGS (RPMs) AT THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
- BLUE FIRE HYDRANTS
- WHITE (WATER MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
- ORANGE (SEWER MANHOLES IN ADJACENT GREENLANDSCAPE AREAS)
- GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
- RED (F.D.C. - FIRE DEPARTMENT CONNECTION)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD PLANS, INDEX NOS. 711-01 AND 710-10 AND LATEST CITY STANDARD DETAIL, R.I.B. ACCESSIBLE PARKING SPACE DETAILS.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESSIBLE SPACES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKING, EXCEPT WHEN PARKING SPACES OR ACCESSIBLE SPACES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMP SPACES OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT STANDARD PLANS, INDEX NO. 10246.
- ALL PEDESTRIAN ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. 4x8x8x4 TYPE PEDESTRIAN ACCESSIBLE CROSSINGS SHALL BE 42" IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FOOT DESIGN MANUAL, SECTION 238 AND MUTCD STANDARDS. IF A CROSSING STRIPES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (R11-B) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (R11-B) SIGNAGE. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE "REFLECTORIZED OR HIGH FRICTION THERMOPLASTIC" COMPLYING WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMP, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, ACCESSIBILITY.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMP, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING SLOPING, NON-CONFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-CONFORMING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

PAVEMENT MARKING & SIGNAGE NOTES:

1. ALL PAVEMENT MARKING & SIGNAGE TO BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) (LATEST EDITION), FDOT STANDARDS (LATEST EDITION) AND BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION STANDARDS (LATEST EDITION).
2. ALL PAVEMENT MARKINGS IN OR ADJACENT TO THE PUBLIC RIGHT OF WAY ARE TO BE ALKYD BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
3. PAVEMENT MARKING SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND HAVE A MINIMUM RETRO-REFLECTIVITY OF 250 MILLICANDELAS FOR WHITE AND 175 FOR YELLOW PER MOST CURRENT STANDARDS.
4. ALL PAVEMENT MARKINGS ON PAVEMENT SYSTEMS SHALL BE 3M 336381 SERIES TAPE AND APPLIED WITH P60 ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
5. FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
6. EXISTING MARKINGS SHALL BE REMOVED BY SANDBLASTING ONLY.
7. ALL REGULATORY SIGNS SHALL BE TYPE XI SHEETING MATERIAL.
8. SEE FDOT INDEX NO. 706 FOR PLACEMENT OF RPMs. (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1)
9. RPMs SHALL BE CLASS "B" 911 OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
10. ALL STOP BARS TO BE 4" BEHIND CROSSWALK OR SIDEWALK.
11. YELLOW / YELLOW RPMs 24" O.C. SHALL BE PROVIDED FOR ALL DOUBLE YELLOW MARKINGS AT "STOP" CONDITIONS AND YELLOW / YELLOW RPMs @ 20' O.C. SHALL BE PROVIDED FOR ALL DOUBLE YELLOW MARKINGS FOR "CURVE" CONDITIONS.
12. ALL END PARKING SPACES TO HAVE STRIPING ON BOTH SIDES PER DETAIL.

REVISIONS	DATE	#



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PAVEMENT MARKING AND SIGNAGE PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027



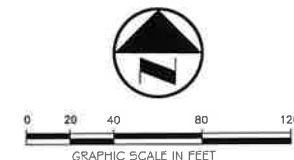
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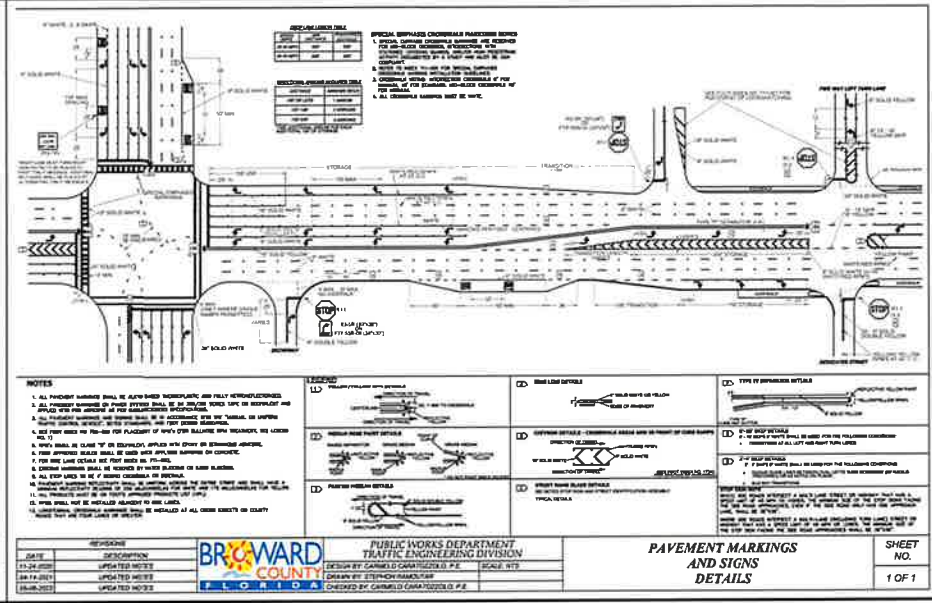
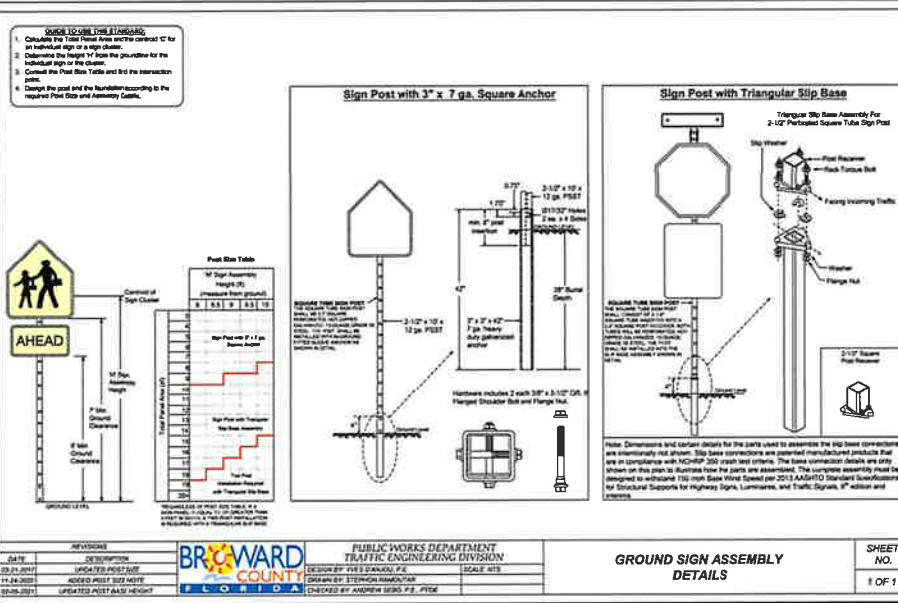
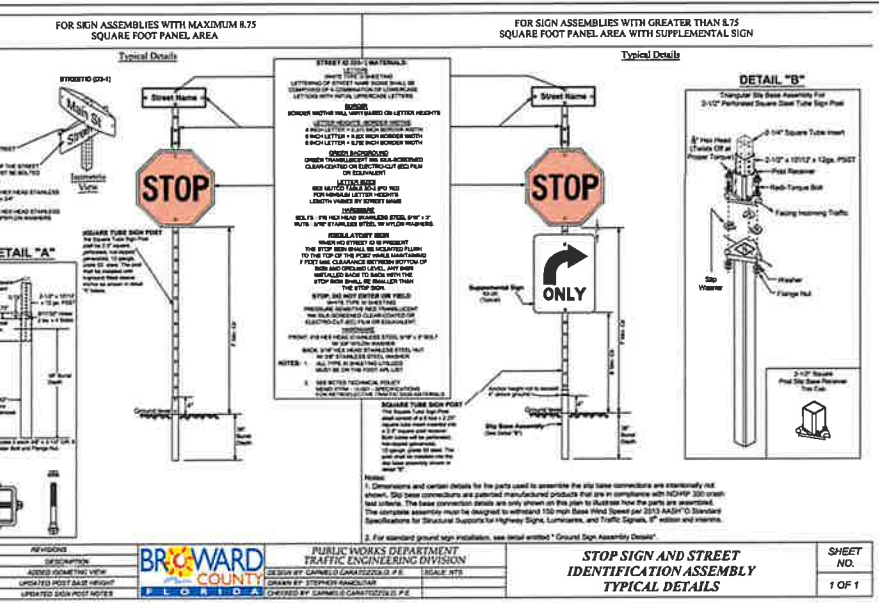
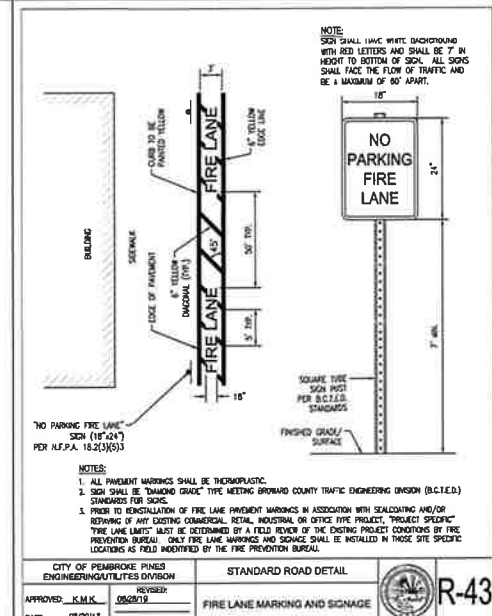
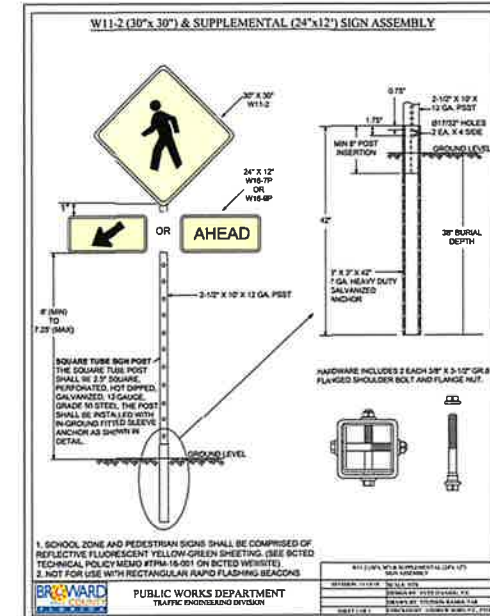
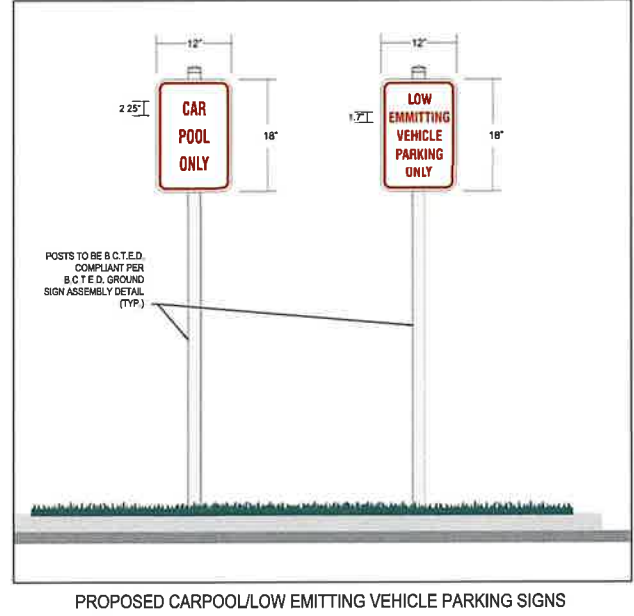
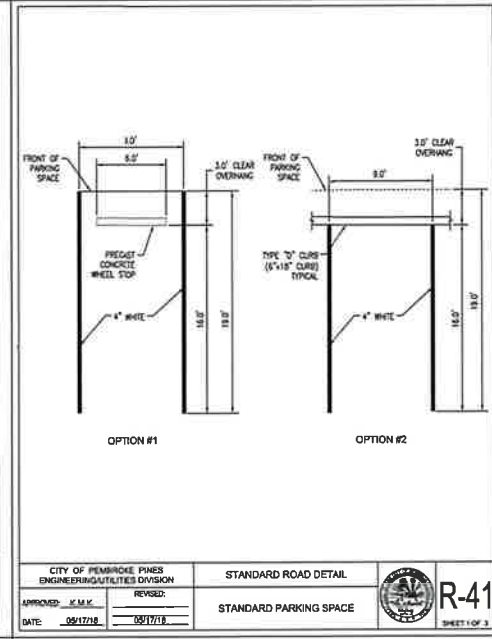
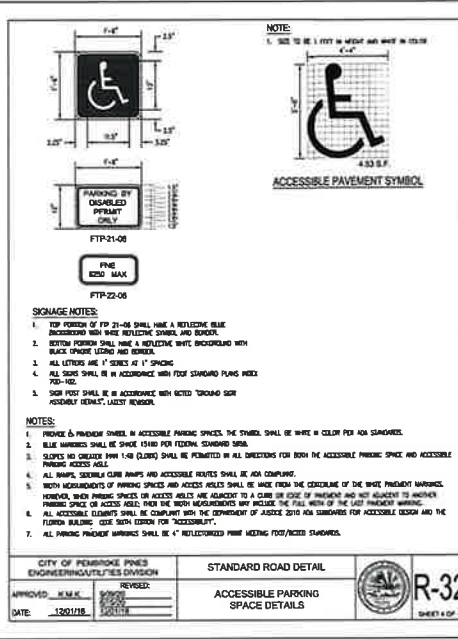
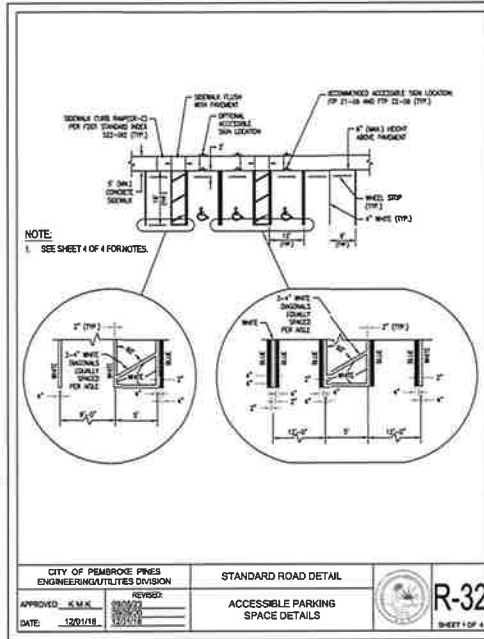
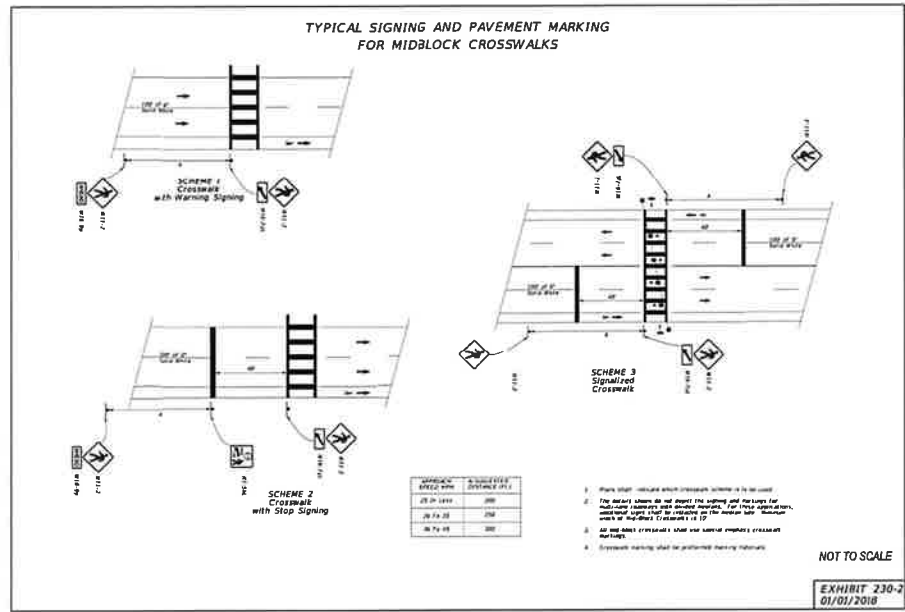
PROJECT DATE:
4.13.23

SHEET #:

PMS-2

PRELIMINARY PLANS - NOT FOR CONSTRUCTION





BTE REF DATE: 7.1.24

REVISIONS	#	DATE

NATHAN M. LEWIS
LICENSE No. 86481
STATE OF FLORIDA
PROFESSIONAL ENGINEER
July 1, 2024

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PAVEMENT MARKING AND SIGNAGE DETAILS

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

BOTEK THURLOW
Engineering, Inc.
4400 NW 11th Avenue, Suite 100, Ft. Lauderdale, FL 33309
www.botekthurlow.com p: 954-581-0888 f: 954-581-9737

BTE PROJECT #: 16-1204.B

PROJECT DATE: 4.13.23

SHEET #: PMS-3

1 OF 1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Table with columns: REVISIONS, #, DATE



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FIRE ACCESS PLAN THE EDISON APARTMENTS PEMBROKE PINES, FL 33027

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BTE PROJECT #: 16-1204.B

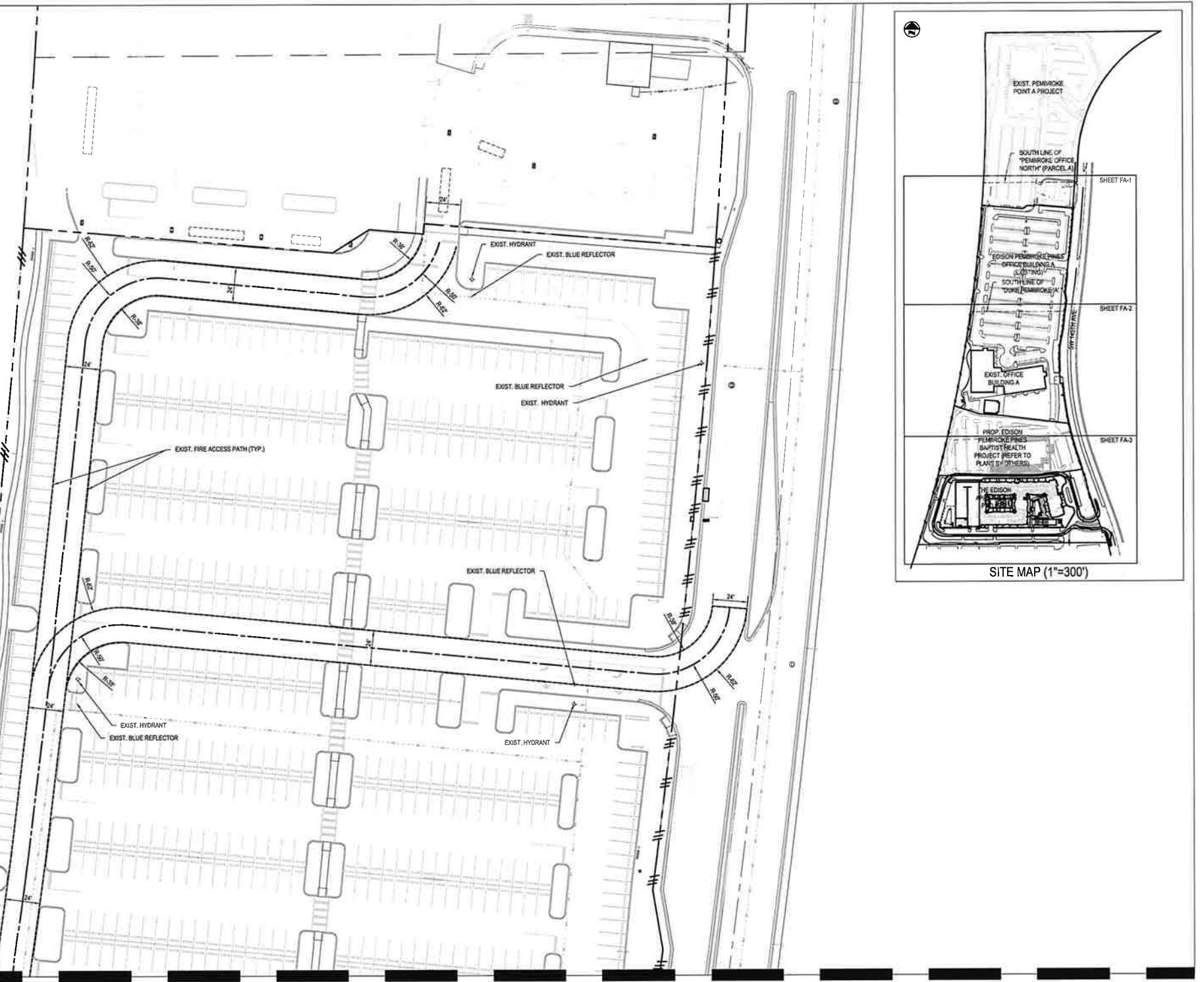
PROJECT DATE: 4.13.23

SHEET #:

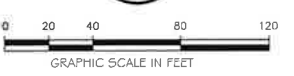
FA-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

- CITY FIRE DEPT. NOTES:
1. THESE RULES APPLY TO ALL BUILDINGS...
2. THE CODE IN EFFECT FOR THIS PROJECT...
3. THE APPROVED FIRE DEPARTMENT ACCESS ROADS...
4. APPROVED FIRE DEPARTMENT ACCESS ROADS...
5. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
6. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
7. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
8. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
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28. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
29. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...
30. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY...



MATCHLINE - SEE SHEET FA-2



- FIRE FLOW NOTES:**
- FIRE FLOW TEST RESULTS
 - STATIC: 52 PSI
 - RESIDUAL: 45 PSI
 - FLOW: 1302 GPM
 - RESULTANT FLOW AT 20 PSI: 2958 GPM
 - FIRE FLOW REQUIREMENT CALCULATIONS WILL BE PROVIDED BY PROJECT BEFORE ENGINEERING PERMIT

- CONSTRUCTION NOTES:**
- BUILDINGS ARE NOT TO USE LIGHT-FRAME TRUSS-TYPE CONSTRUCTION

REVISIONS	#	DATE



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FIRE ACCESS PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

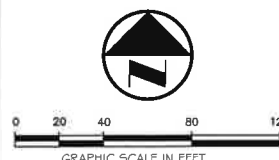
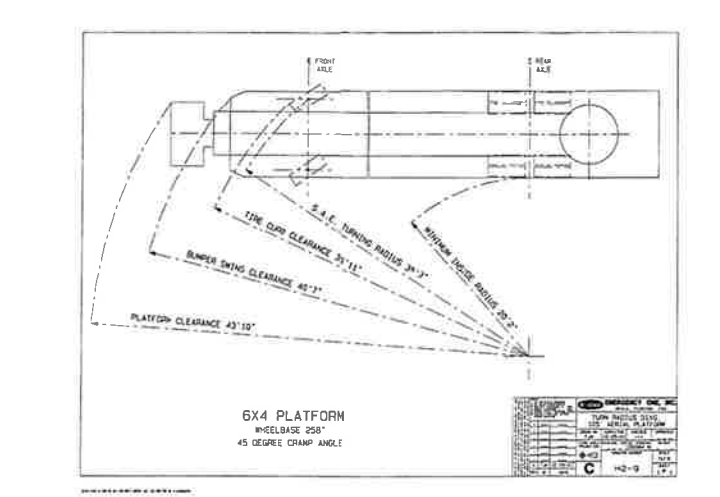
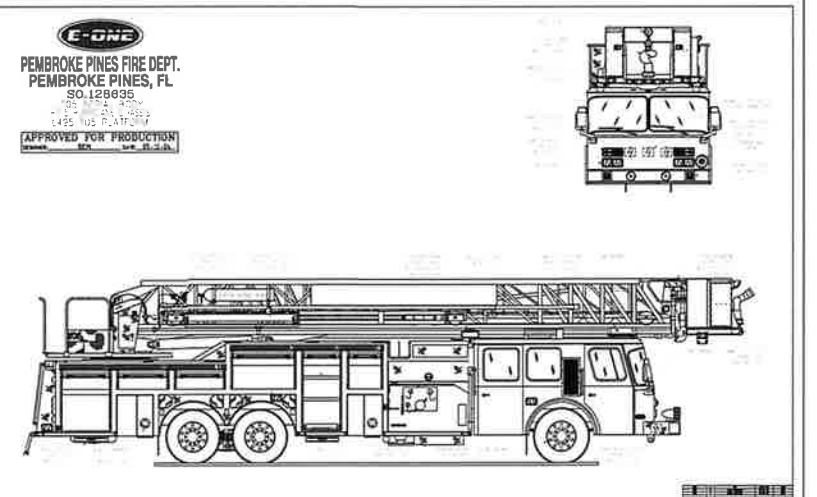
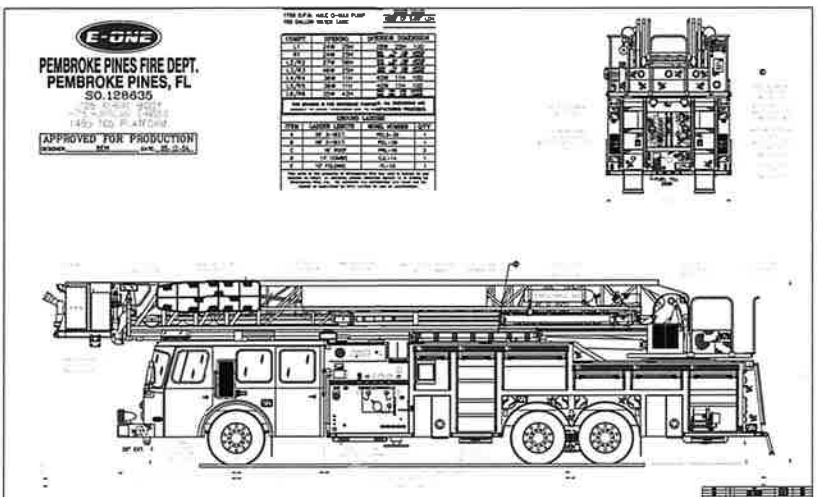
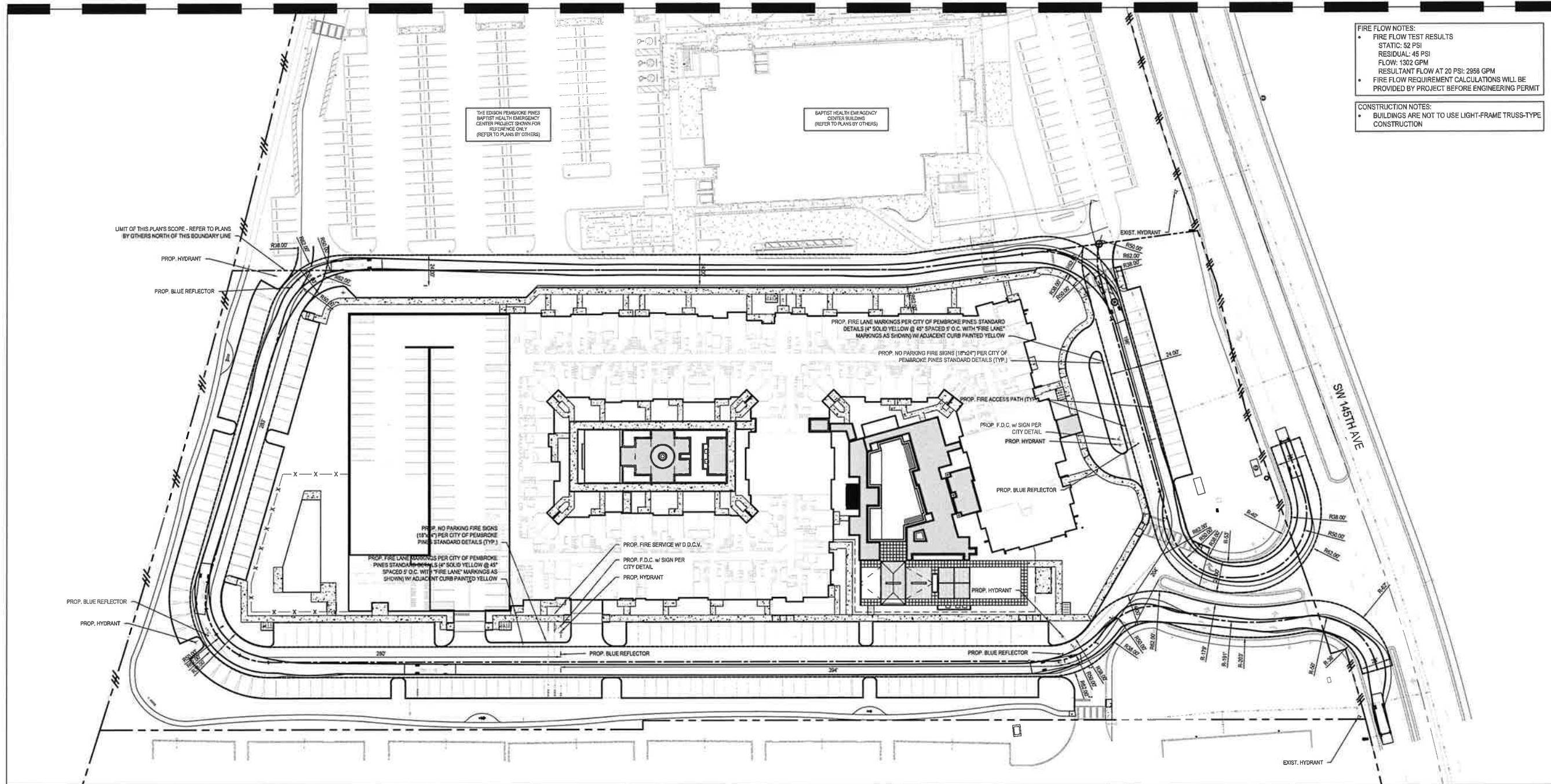
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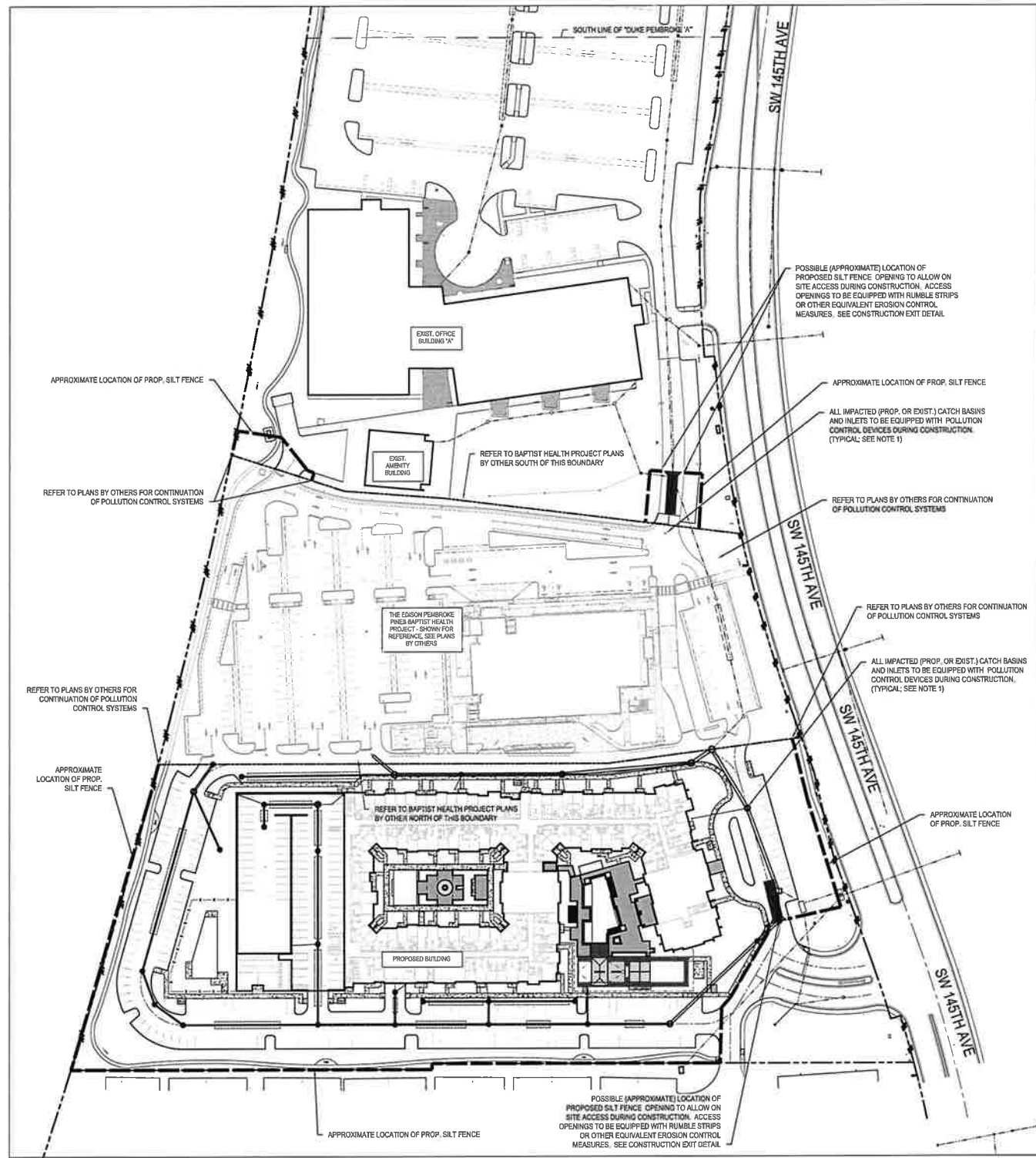
BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

SHEET #
FA-3

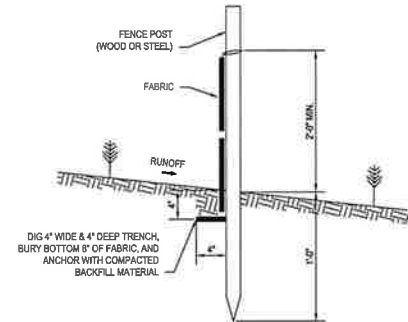
PRELIMINARY PLANS - NOT FOR CONSTRUCTION



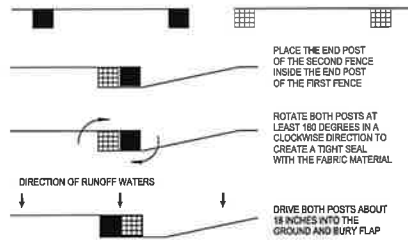


POLLUTION CONTROL NOTES:

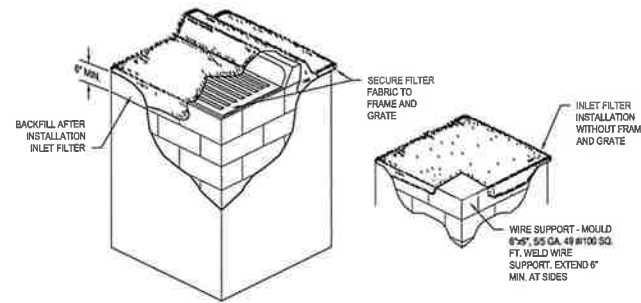
1. ALL DRAINAGE INLETS IMPACTED BY THIS PROJECT DURING CONSTRUCTION TO BE EQUIPPED WITH FILTER FABRIC AND/OR APPROVED EQUIVALENT OVER GRATES PER DETAIL THIS SHEET. CURB INLETS TO BE EQUIPPED WITH CURB INLET POLLUTION CONTROL DEVICES.
2. SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT OFF-SITE DISCHARGE OF SEDIMENT.
3. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITH A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
4. CONTRACTOR TO COMPLY WITH TERMS AND CONDITIONS OF NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT.
5. CONTRACTOR TO PROVIDE FOR TRUCK WASH DOWN AREA AT ALL TEMPORARY AND PERMANENT ENTRANCES/EXITS DURING CONSTRUCTION.



SILT FENCE SECTION
NOT TO SCALE



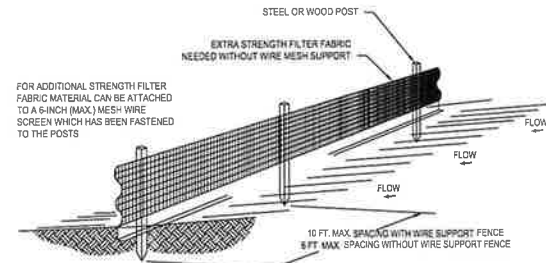
ATTACHING TWO SILT FENCES
NOT TO SCALE



NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
3. A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14\"/>
- 4. STORM WASTE WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

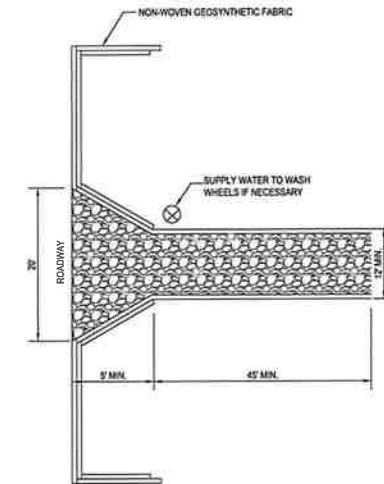
INLET FILTER DETAIL
NTS



NOTES:

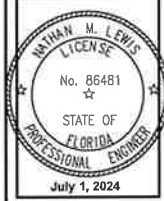
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM) WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE. POST SPACING SHALL NOT EXCEED 8 FEET (2.4 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FILTER FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

SILT FENCE INSTALLATION DETAIL



STABILIZED CONSTRUCTION EXIT
NTS

#	DATE	REVISIONS



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POLLUTION AND EROSION CONTROL PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

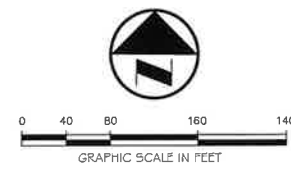
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1466 NW 47th Avenue, Suite 202, Ft. Lauderdale, FL 33309
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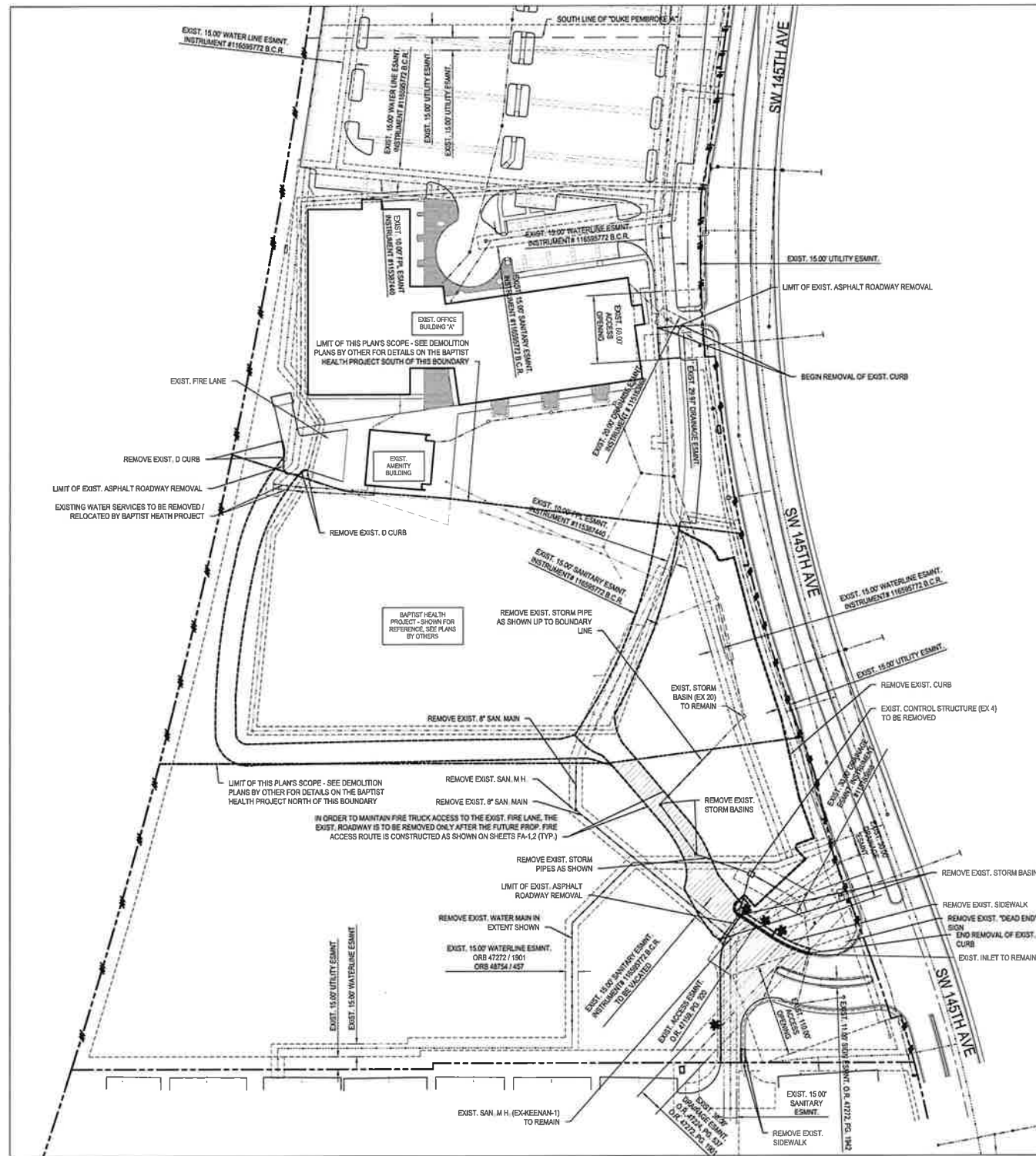
BTE PROJECT #:
16-1204.B

PROJECT DATE:
4.13.23

SHEET #:
POL-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION





DEMOLITION LEGEND	
PROPERTY or RAW LINE	ABBREVIATIONS
UTILITY DEMOLITION	PROP. PROPOSED
DEMOLITION	EXIST. EXISTING
	IE. INVERT ELEVATION
	M.H. MANHOLE
	C.B. CATCH BASIN
	D.W. DRAINAGE WELL
	R.E. RIM ELEVATION
	G.E. GRATE ELEVATION

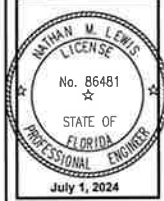
DEMOLITION NOTES:

- CONTRACTOR SHALL SECURE ALL APPLICABLE PERMITS FOR DEMOLITION OF THE SITE PRIOR TO MOBILIZATION
- CONTRACTOR SHALL OBTAIN UNDERGROUND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. RELOCATIONS SHALL BE OBTAINED WHEN THE INITIAL LOCATIONS EXPIRE
- ALL CAPPING SHALL BE INSPECTED AND APPROVED BY THE PUBLIC UTILITY OWNING THE LINES
- ALL PREMISES AND EXTERIOR PROPERTY LINES SHALL BE PROTECTED AGAINST DEBRIS FALLING OVER THE PROPERTY LINES
- ALL APPLICABLE ORDINANCES SHALL BE FOLLOWED AS THEY RELATE TO AIR, NOISE AND WATER RUNOFF FROM THE SITE (I.E. ALL RUBBLE SHALL BE WATERED CONTINUOUSLY TO CONTROL DUST AND FLYING DEBRIS)
- WHEN PLUGGING EXISTING SEWER SERVICES, CONTRACTOR SHALL FORWARD AS-BUILT PLANS PREPARED BY A LICENSED SURVEYOR AT THE CONTRACTORS EXPENSE FOR REVIEW AND APPROVAL BY THE CITY AND/OR ENGINEER. VERIFY HORIZONTALLY AND VERTICALLY.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO MOBILIZATION. CONTRACTOR SHALL NOTIFY E.O.R. WHEN MEASURES ARE INSTALLED TO ALLOW ENGINEER TO INSPECT AND APPROVE OF METHODS PRIOR TO BEGINNING DEMOLITION OPERATION.
- CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE SCOPE OF THIS PROJECT. ANY ABOVE GROUND ITEMS ON THE SITE BUT NOT SHOWN SHALL BE INCLUDED IN THE BID.
- ASPHALT, PAVERS, AND ROCK TO BE REMOVED AND DISPOSED OF PROPERLY
- EXISTING SANITARY SEWER SERVICES HAVE NOT BEEN LOCATED BUT ARE TO BE REMOVED AND CAPPED AT THE ROW LINE PER CITY OF PEMBROKE PINES STANDARDS

GENERAL NOTES:

- THIS PLAN IS TO DEPICT PROPOSED SITE (WATER, SANITARY, STORM, ASPHALT, CURB, ETC.) DEMOLITION ONLY. FRANCHISED UTILITIES (OVERHEAD AND UNDERGROUND) ARE TO BE COORDINATED BY THE CONTRACTOR (SEE NOTE #9) AND ARE NOT INCLUDED IN THIS SCOPE
- REFER TO CIVIL ENGINEERING PLANS FOR MORE DIRECTION ON UTILITY DEMOLITION, RELOCATION AND/OR ABANDONMENT INFORMATION AND DETAILS
- REFER TO BUILDING DEMOLITION PLANS FOR BUILDING DEMOLITION INFORMATION
- REFER TO TREE DISPOSITION PLAN FOR ANY LANDSCAPING DEMOLITION
- CONTRACTOR IS VERIFY THAT ALL SERVICES TO THE SITE HAVE BEEN DISCONTINUED AND THEY ARE RESPONSIBLE FOR OBTAINING ALL UTILITY COMPANY RELEASES (FPL, BELLSOUTH, COMCAST, ETC.) PRIOR TO BEGINNING DEMOLITION
- ALL SERVICES TO ADJACENT PROPERTIES NOT SCHEDULED FOR DEMOLITION ARE TO REMAIN
- ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTORS CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIFY ALL EXISTING UTILITIES LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS

REVISIONS	#	DATE



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SITE DEMOLITION PLAN PLAN

THE EDISON APARTMENTS
PEMBROKE PINES, FL 33027

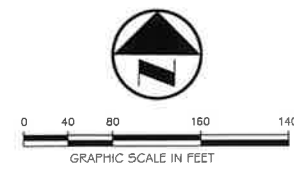
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BTE PROJECT #
16-1204.B

PROJECT DATE:
4.13.23

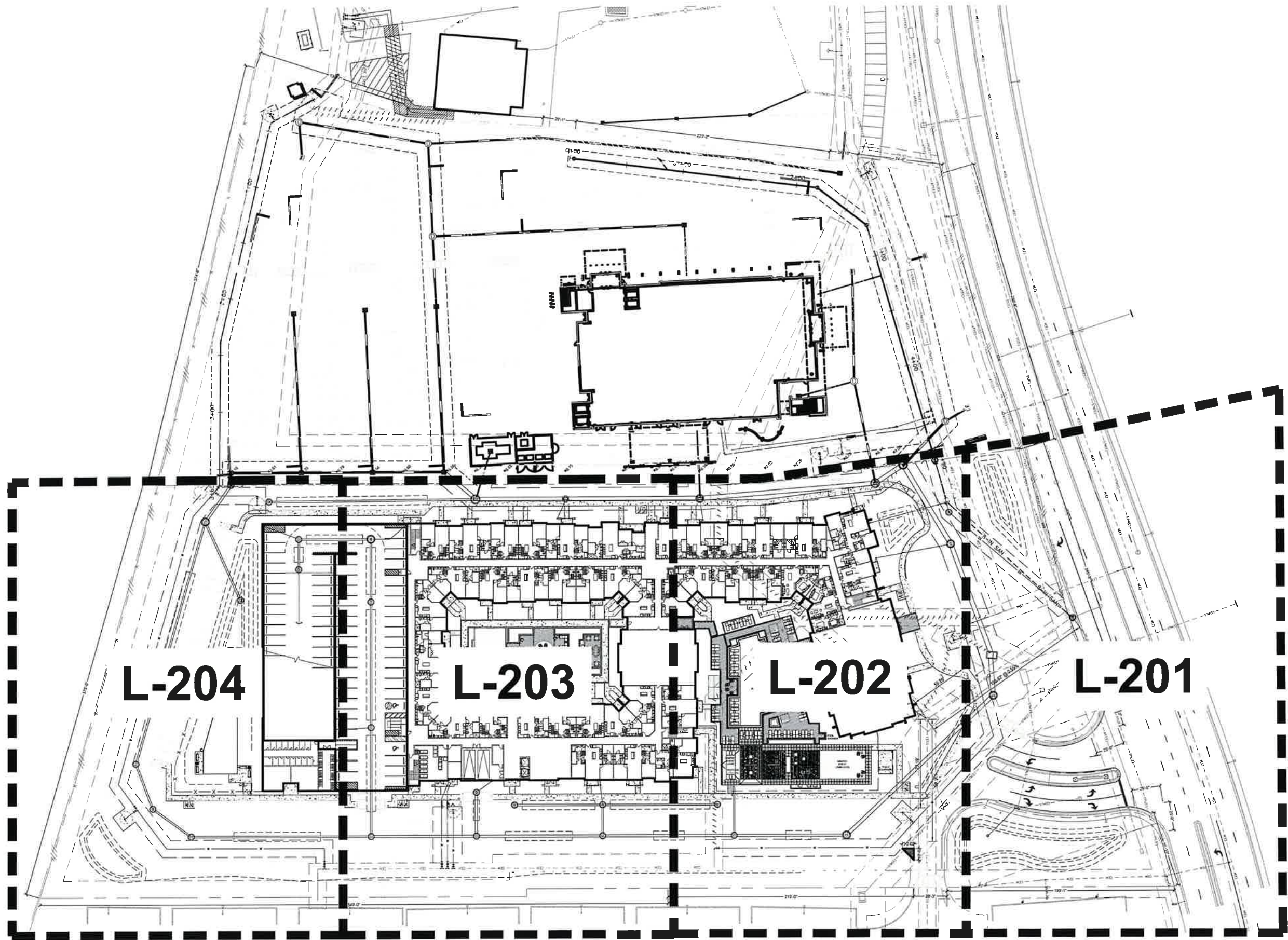
SHEET #:
DEM-1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com



L-204

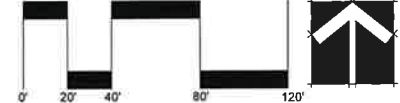
L-203

L-202

L-201



SCALE: 1"=40'-00"



1 DRC RESUBMITTAL 04-18-2023
2 DRC RESUBMITTAL 04-18-2024

Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS

PEMBROKE PINES, FLORIDA

Sheet Description

OVERALL LANDSCAPE PLAN

Release Date

09-01-2023

Project Number

2124/2305

Drawing Number

L-200

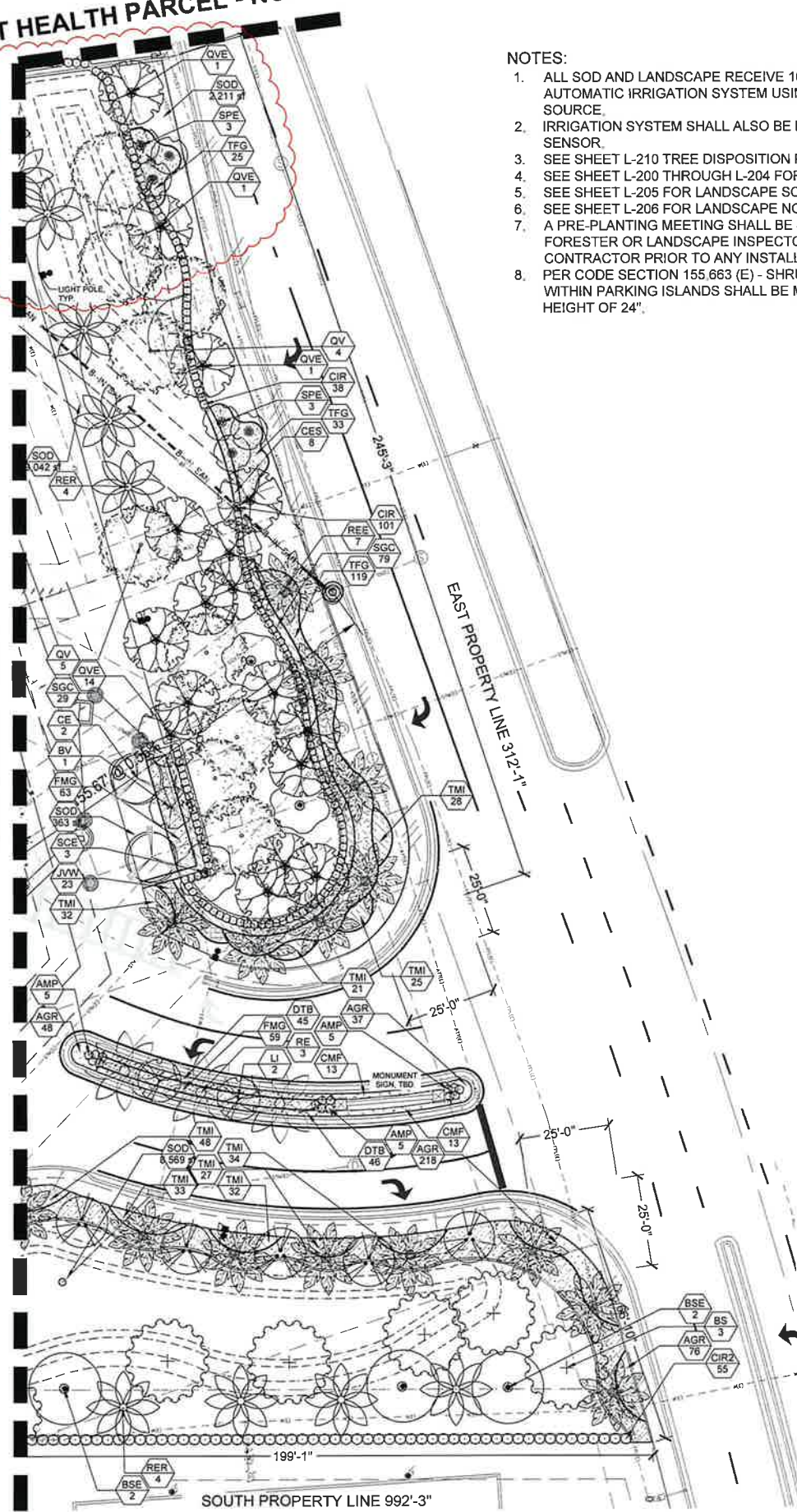
Sheet 1 of 7

BAPTIST HEALTH PARCEL - NOT INCLUDED

NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET L-210 TREE DISPOSITION PLAN.
- SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
- SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
- SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.
- A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
- PER CODE SECTION 155.663 (E) - SHRUBS AND GROUNDCOVERS WITHIN PARKING ISLANDS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".

SEE SHEET L-202



PLANT SCHEDULE TPA EDISON MULTIFAMILY													
SYMBOL	CODE	LTW	SCIENTIFIC NAME	COMMON NAME	COUNT	CALIBER	SIZE	HABITUS	SEASONAL	TOTAL	SPACING	SPACING	TOTAL
[Symbol]	101	101	BUCCINUM PERUVIANUM	SHRUB	100	1 1/2"	10'	SHRUB	PERENNIAL	100	10'	10'	1000
[Symbol]	102	102	DIODIA SPINOSA	SHRUB	100	1 1/2"	10'	SHRUB	PERENNIAL	100	10'	10'	1000

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's Not The Hole, It's The Risk
Call 811 two business days before digging

SCALE: 1"=20'-00"

NORTH

SUBMITTAL SET - ISSUED 07-31-2024



1	DRC SUBMITTAL	07-31-2024
2	DRC RESUBMITTAL	08-19-2024
3	DRC RESUBMITTAL	08-26-2024
4	DRC RESUBMITTAL	09-11-2024

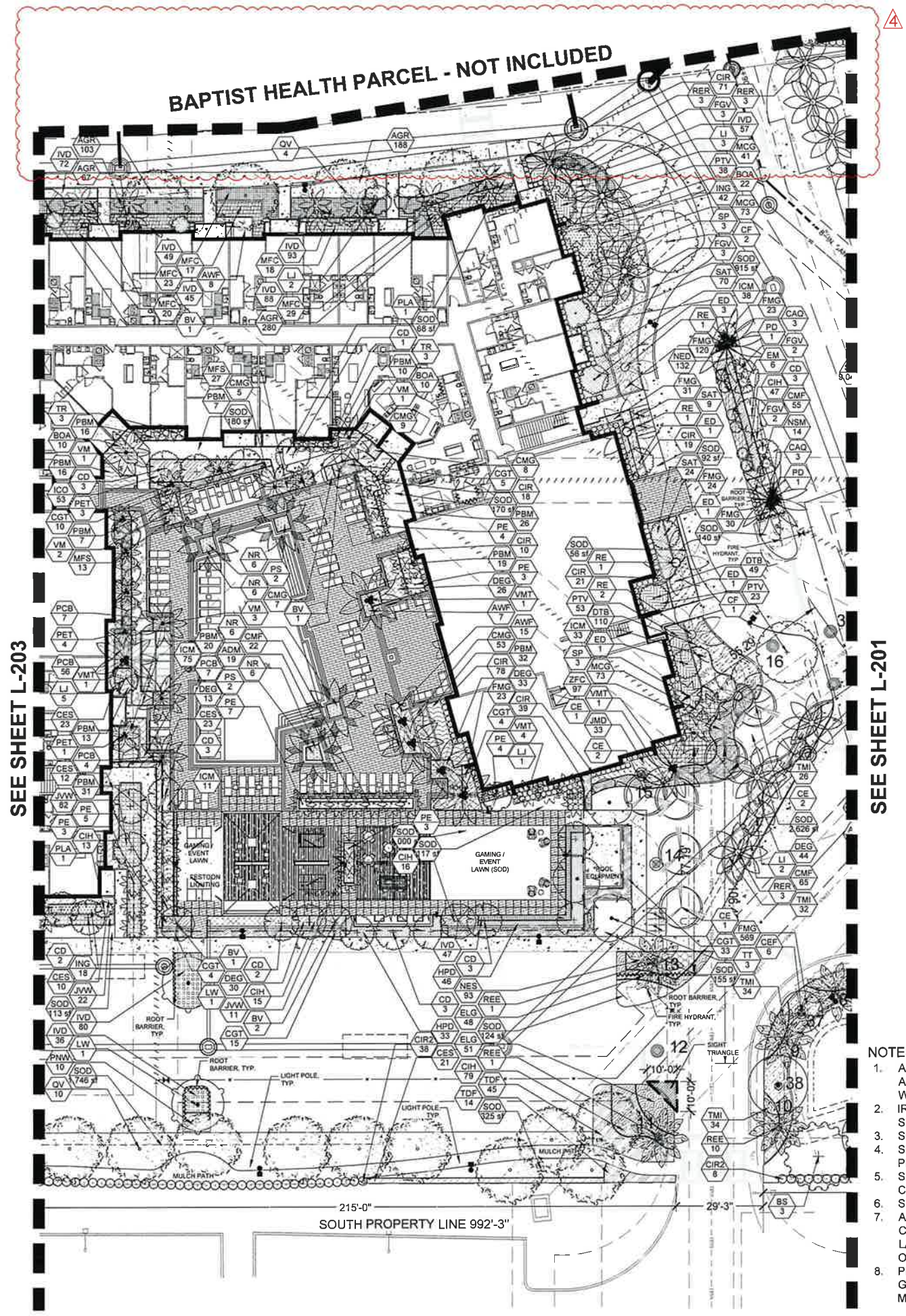
Revision Dates

SITE PLAN SUBMITTAL SET

THE EDISON APARTMENTS

PEMBROKE PINES, FLORIDA

BAPTIST HEALTH PARCEL - NOT INCLUDED

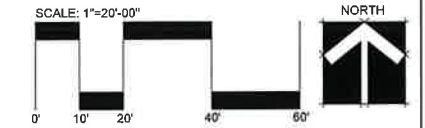


SEE SHEET L-203

SEE SHEET L-201

- NOTES:**
1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
 3. SEE SHEET L-210 TREE DISPOSITION PLAN.
 4. SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
 5. SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
 6. SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.
 7. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
 8. PER CODE SECTION 155.663 (E) - SHRUBS AND GROUNDCOVERS WITHIN PARKING ISLANDS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 24".

PLANT CODE	PLANT NAME	COMMON NAME	COUNT	DATE	SIZE	HEIGHT	SPREAD	REMARKS
001	ALBERTA PRUNELLA	ALBERTA PRUNELLA	10	12"	12"	12"	12"	...
002	ALBERTA PRUNELLA	ALBERTA PRUNELLA	10	12"	12"	12"	12"	...
...
100	SPERMATOPHYTES
...



1. DRC RESUBMITTAL 04-12-2023
 2. DRC RESUBMITTAL 04-12-2024
 3. DRC RESUBMITTAL 07-23-2024
 4. DRC RESUBMITTAL 07-31-2024

Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
 PEMBROKE PINES, FLORIDA

Sheet Description

LANDSCAPE PLAN

Release Date
 09-01-2023

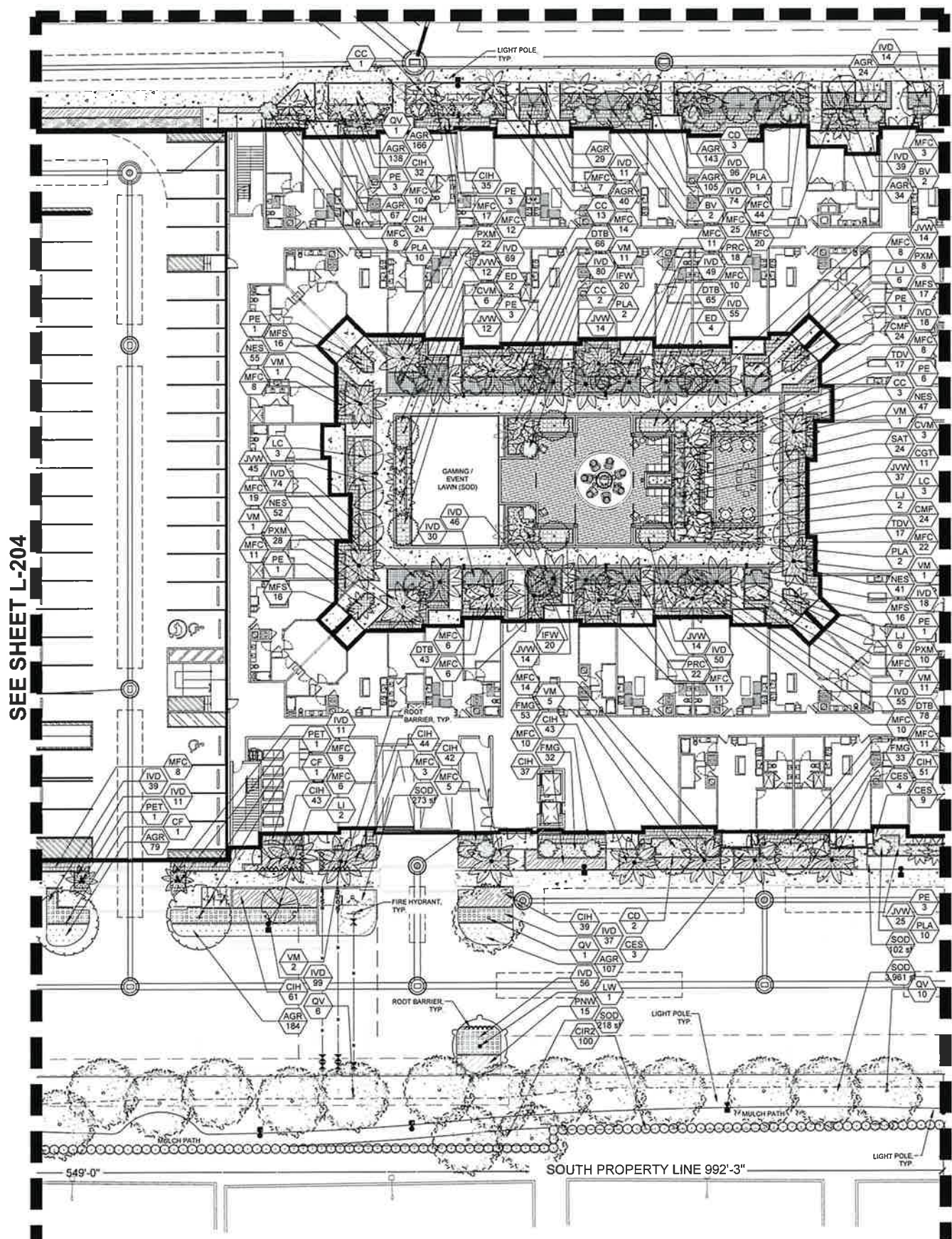
Project Number
 2124/2305

Drawing Number

L-202

Sheet 3 of 7

BAPTIST HEALTH PARCEL - NOT INCLUDED



SEE SHEET L-204

SEE SHEET L-202

- NOTES:**
1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
 2. SEE SHEET L-210 TREE DISPOSITION PLAN.
 3. SEE SHEET L-200 THROUGH L-204 FOR THE PLANTING PLANS.
 4. SEE SHEET L-205 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
 5. SEE SHEET L-206 FOR LANDSCAPE NOTES AND DETAILS.
 6. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.
 7. PER CODE SECTION 155.663 (E) - SHRUBS AND GROUNDCOVERS WITHIN PARKING ISLANDS SHALL BE MAINTAINED AT A MAXIMUM HEIGHT OF 24\"

PLANT SCHEDULE TPA EDISON MULTIFAMILY

SYMBOL	CODE	REPRESENTATIVE NAME	COMMON NAME	COUNT	CULTIVAR	SIZE	HEIGHT	SPREAD	PLANTING
[Symbol]	001	BURSERA SIMPLICIFOLIA	QUINCE LIMBO	EXISTING TO REMAIN		VARIES	VARIES	VARIES	10
[Symbol]	002	BURSERA SIMPLICIFOLIA	QUINCE LIMBO	10		6' GAL. 1 3/4\"	6' CT	VARIES	100
[Symbol]	003	COCODONIA OVEAEMOLLA	POLEON PALM	10		12\"	18\"	VARIES	100
[Symbol]	004	CONDICARPUS ERECTUS	GREEN BUTTWOOD	10		12\"	18\"	VARIES	100
[Symbol]	005	CONDICARPUS ERECTUS	SILVER BUTTWOOD	10		12\"	18\"	VARIES	100
[Symbol]	006	ELAEAGNUS OLYMPICA	JAPANESE BLUEBERRY TREE	10		12\"	18\"	VARIES	100
[Symbol]	007	LOSTIFOLIA ANTHONYANA	TREE LOGSTEM	10		12\"	18\"	VARIES	100
[Symbol]	008	LIVISTONA LAETER-GERMANI	TALEO TAMARIND	10		12\"	18\"	VARIES	100
[Symbol]	009	QUERUS VIRGINIANA	SOUTHERN LIVE OAK	10		12\"	18\"	VARIES	100
[Symbol]	010	QUERUS VIRGINIANA	LIVE OAK HIGH-RISE	10		12\"	18\"	VARIES	100
[Symbol]	011	QUERUS VIRGINIANA	SOUTHERN LIVE OAK	10		12\"	18\"	VARIES	100
[Symbol]	012	SHADUPA GLAUCA	PANICLE TREE	10		12\"	18\"	VARIES	100
[Symbol]	013	TAUSDIA DICTYOCOMA	TALEO CYPRESS	10		12\"	18\"	VARIES	100

SCALE: 1"=20'-00"

SUBMITTAL SET - ISSUED 07-31-2024

AALA
Architectural Alliance Landscape
812 SW 4th Ave., Fort Lauderdale, FL 33315 LCCDD237
TEL: 954-794-1838 EMAIL: INFO@AALALANDSCAPE.COM

- 1 DRC RESUBMITTAL 2/2-2023
2 DRC RESUBMITTAL 04-18-2024
3 DRC RESUBMITTAL 05-2024
4 DRC RESUBMITTAL 07-31-2024
- Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
PEMBROKE PINES, FLORIDA

Sheet Description
LANDSCAPE PLAN

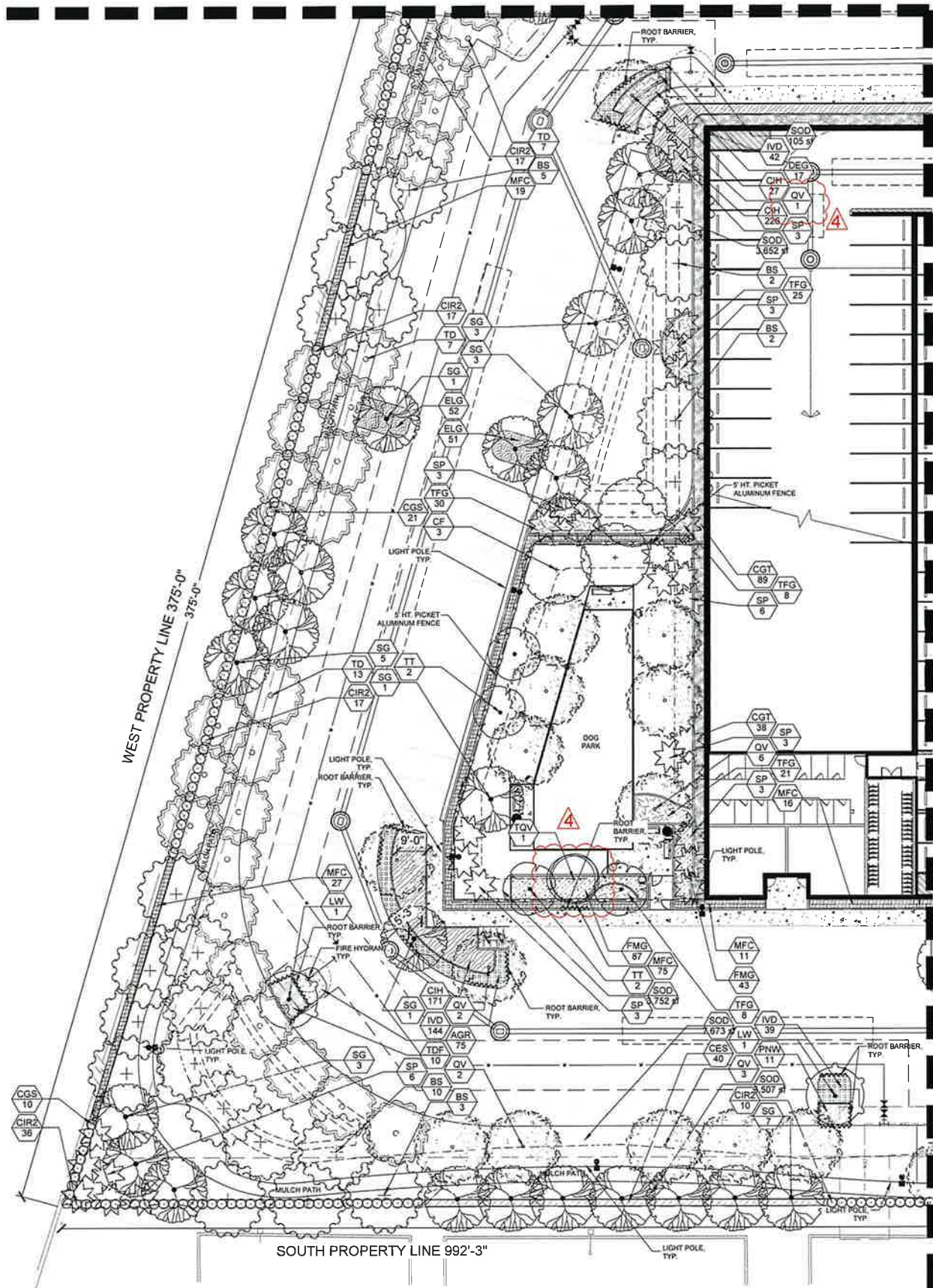
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Project Number
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L-203

Sheet 4 of 7

BAPTIST HEALTH PARCEL - NOT INCLUDED



SEE SHEET L-203

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PLANT SCHEDULE TPA EDISON MULTIFAMILY										
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	COUNT	FLORIPER	SIZE	NATIVE	SUBJECT	REMARKS
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	8" HT. F. SPD. F. CT	YES	HS	30
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	12" HT. F. SPD. F. CT	YES	HS	1.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	18" HT. F. SPD. F. CT	YES	HS	2.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	24" HT. F. SPD. F. CT	YES	HS	3.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	30" HT. F. SPD. F. CT	YES	HS	4.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	36" HT. F. SPD. F. CT	YES	HS	5.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	42" HT. F. SPD. F. CT	YES	HS	6.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	48" HT. F. SPD. F. CT	YES	HS	7.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	54" HT. F. SPD. F. CT	YES	HS	8.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	60" HT. F. SPD. F. CT	YES	HS	9.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	66" HT. F. SPD. F. CT	YES	HS	10.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	72" HT. F. SPD. F. CT	YES	HS	11.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	78" HT. F. SPD. F. CT	YES	HS	12.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	84" HT. F. SPD. F. CT	YES	HS	13.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	90" HT. F. SPD. F. CT	YES	HS	14.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	96" HT. F. SPD. F. CT	YES	HS	15.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	102" HT. F. SPD. F. CT	YES	HS	16.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	108" HT. F. SPD. F. CT	YES	HS	17.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	114" HT. F. SPD. F. CT	YES	HS	18.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	120" HT. F. SPD. F. CT	YES	HS	19.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	126" HT. F. SPD. F. CT	YES	HS	20.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	132" HT. F. SPD. F. CT	YES	HS	21.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	138" HT. F. SPD. F. CT	YES	HS	22.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	144" HT. F. SPD. F. CT	YES	HS	23.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	150" HT. F. SPD. F. CT	YES	HS	24.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	156" HT. F. SPD. F. CT	YES	HS	25.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	162" HT. F. SPD. F. CT	YES	HS	26.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	168" HT. F. SPD. F. CT	YES	HS	27.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	174" HT. F. SPD. F. CT	YES	HS	28.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	180" HT. F. SPD. F. CT	YES	HS	29.00
[Symbol]	BSL	4	BARSELA BREVIFLORA	CLUSTERS	4	FLORIPER	186" HT. F. SPD. F. CT	YES	HS	30.00

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

SCALE: 1"=20'-00"

NORTH

SUBMITTAL SET - ISSUED 07-31-2024

AAL Architectural Alliance Landscapes

1 DRC SUBMITTAL SET
2 DRC RESUBMITTAL SET
3 DRC RESUBMITTAL SET
4 DRC RESUBMITTAL SET

07-31-2024

Revision Dates

THE EDISON APARTMENTS

PEMBROKE PINES, FLORIDA

Sheet Description
LANDSCAPE PLAN
Release Date
09-01-2023
Project Number
2124/2305
Drawing Number
L-204
Sheet 5 of 7

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	FORM	SIZE	HEIGHT	SPACING	NOTES
001	A	1	BIUNDA BAMBUSA	BAMBUSA	ERECT TO SEMI	3/4" CAL.	10 FT. 6 IN.	10' x 10'	
002	B	1	BIUNDA BAMBUSA	BAMBUSA	ERECT TO SEMI	3/4" CAL.	10 FT. 6 IN.	10' x 10'	
003	C	1	COCCOLIA DIVERSIFOLIA	FRONTSYLVIA	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
004	D	1	CONDOPUS ERECTUS	GREEN BUTTWOOD	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
005	E	1	CONDOPUS ERECTUS	SILVER BUTTWOOD	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
006	F	1	ELAEAGNUS DEDICATUS	JAPANESE OLIVE	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
007	G	1	LAGERSTRÖMIA SPECIOSA	RED BUDENBUSH	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
008	H	1	LYSICHITON LUTEA	WILD TARRAGON	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
009	I	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
010	J	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
011	K	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
012	L	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
013	M	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
014	N	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
015	O	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
016	P	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
017	Q	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
018	R	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
019	S	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	
020	T	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ERECT	1 1/2" CAL.	12 FT. 6 IN.	10' x 10'	

LANDSCAPE CALCULATIONS - THE EDISON APARTMENTS

	REQUIRED	PROVIDED	
SEC 155.631 MEET MIN. BUFFERYARD REQ.			
SEC 155.661 (G) Trees in excess of 5 shall have no more than 20% of a single species more than 20% of a single species			
1. All properties three stories and below minimum			
(a) 20% of required trees meet 14'-16' Ht. with 3" diameter at breast height			
(b) 20% of required trees meet 12'-14' Ht. with 2" diameter at breast height			
(c) 60% of required trees required to meet 155.664 (M).			
2. All properties four stories and above minimum			
(a) 30% of required trees meet 14'-16' Ht. with 3" diameter at breast height			
(b) 30% of required trees meet 12'-14' Ht. with 2" diameter at breast height			
(c) 40% of required trees required to meet 155.664 (M).			
SEC 155.661 (I) Adjacent to Public Right-of-Ways - All properties			
1 TREE PER 50 LF OR 1 TREE FOR EVERY 250 SF			
EAST PERIMETER - SW 145TH AVE	378	/50	8
9 EXIST			
SEC 155.661 (J) Adjacent to Abutting Properties - All properties			
1 TREE PER 50 LF			
NORTH PERIMETER (INTERNAL BOUNDARY - shared internal drive)	0	/50	0
SOUTH PERIMETER	993	/50	20
WEST PERIMETER	375	/50	8
SEC 155.663 (F) Interior parking and paved area landscaping			
Parking lots shall comply with the following minimum requirements:			
1. One Tree:			
(a) Every 5 parking spaces; and	191	/5	39
(b) Every 100 SF of interior landscaping.	4,871	/100	49
2. 10 SF of interior landscaping every parking space up to 50 spaces;			
3. 100 SF of landscaping every 10 parking spaces over 50 spaces;			
4. 1 SF of landscaping:			
(a) Every 100 SF of paved areas up to 50,000 SF; and			
(b) Every 200 SF of paved area over 50,000 SF and			
MULTI-FAMILY STRUCTURE			
TREES			
1.5 TREE PER UNIT GROUND FLOOR	40	x1.5	60
1 TREE PER UNIT 2ND FLOOR	45	x1.0	45
5 TREE PER UNIT REST OF UNITS	265	x0.5	133
			238
			248
SHRUBS			
25 SHRUBS PER UNIT GROUND FLOOR	40	x25	1000
5 SHRUBS PER UNIT 2ND FLOOR	45	x5	225
5 SHRUBS PER UNIT 3RD FLOOR	53	x5	265
0 SHRUBS ADDITIONAL FLOORS	213	x0	0
			1490
TOTAL NUMBER OF REQUIRED TREES			362
			373

Royal and Date Palms each count as 1 Tree	50		50
All other Palms count as 3 to 1	181	/3	60
40% - OF TREES TO BE LARGE CAT 1 - 313 Trees provided	185	/313	59%
50% - OF TREES TO BE NATIVE - 313 Trees provided	235	/313	75%
50% - OF SHRUBS TO BE NATIVE	6,656	/13,242	50%

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- 1 DRC RESUBMITTAL 07-31-2024
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Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
PEMBROKE PINES, FLORIDA

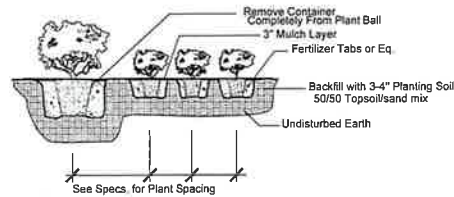
Sheet Description
LANDSCAPE
PLAN SCHEDULE
AND CALCULATIONS

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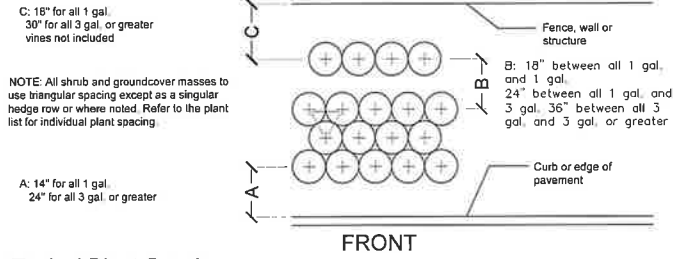
Drawing Number
L-205
Sheet 6 of 7





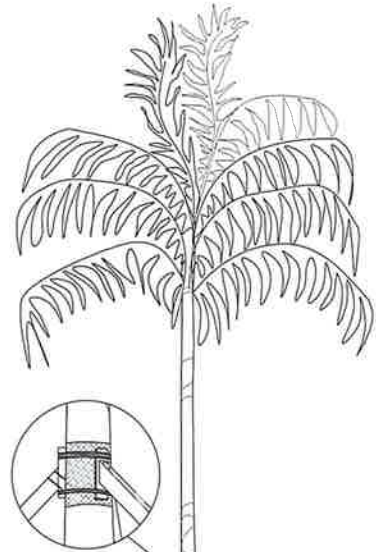
Shrub & Ground Cover Planting Detail

NTS



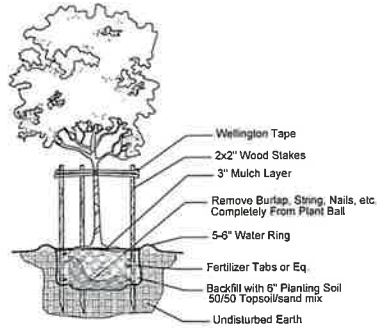
Typical Plant Spacing

NTS



Palm Planting Detail

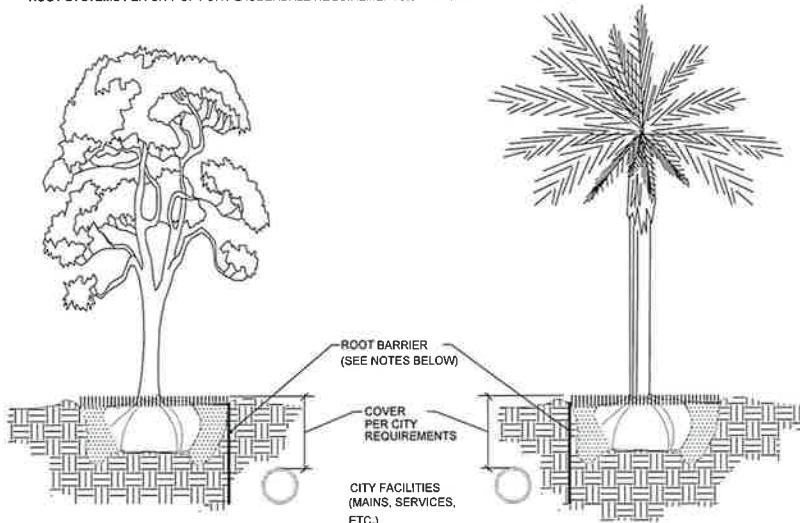
NTS



Small Tree Planting Detail

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES. MINIMUM CLEARANCE OF 6' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS SEE TYPICAL DETAIL BELOW.

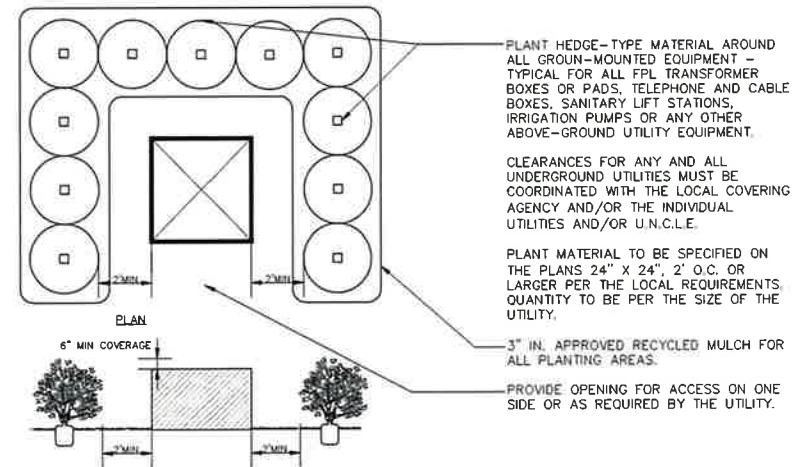


NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

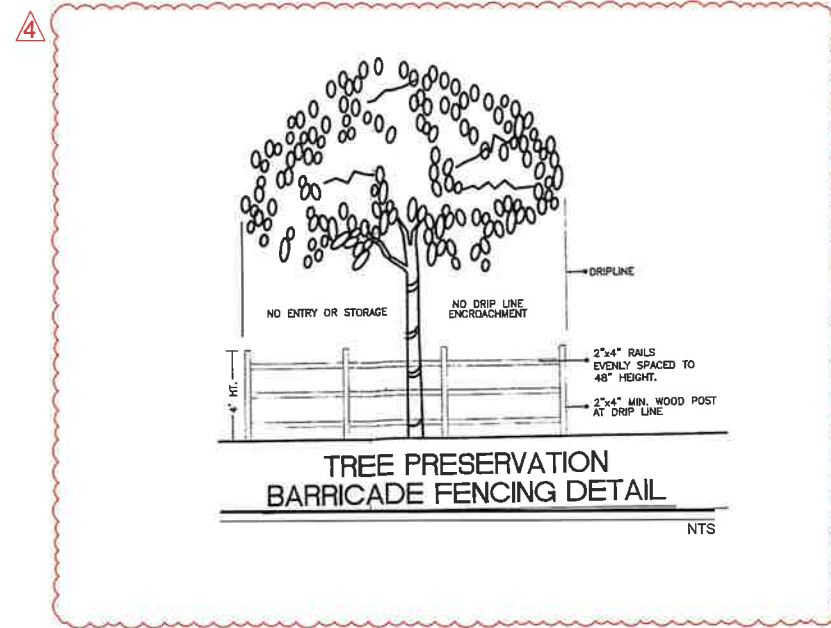
Typical Root Barrier Detail

NTS



MECHANICAL EQUIPMENT SCREENING DETAIL

NTS



TREE PRESERVATION BARRICADE FENCING DETAIL

NTS

SPECIAL INSTRUCTIONS:

1. GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
2. ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID SOD. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.

NOTES:

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GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants. Tree rings shall be a minimum of 12 inches away from the tree trunk flair but shall not be permitted within the first two inches from the tree trunk.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

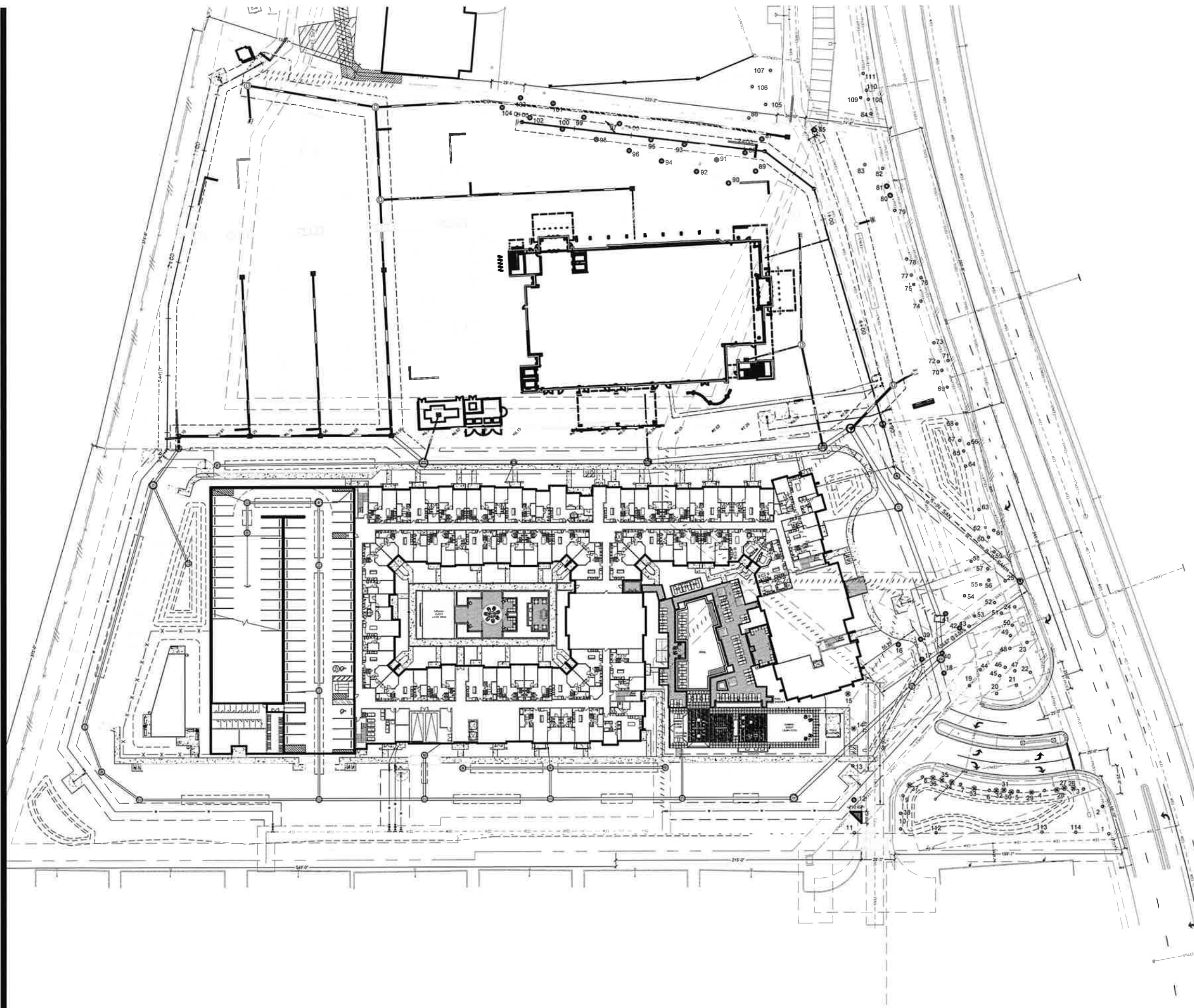
It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

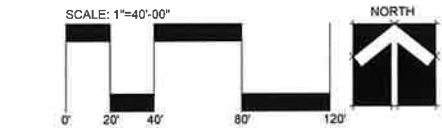
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.





TREE DISPOSITION LEGEND	
●	TREES/PALMS TO REMAIN
⊙	TREES/PALMS TO BE RELOCATED
⊗	TREES/PALMS TO BE REMOVED

1. ALL EXISTING EXOTICS AND INVASIVE TREES/PALMS SHALL BE REMOVED FROM SITE.
2. ALL EXISTING TREES LOCATED ALONG THE WESTERN PROPERTY LINE ARE EXOTICS AND INVASIVES.



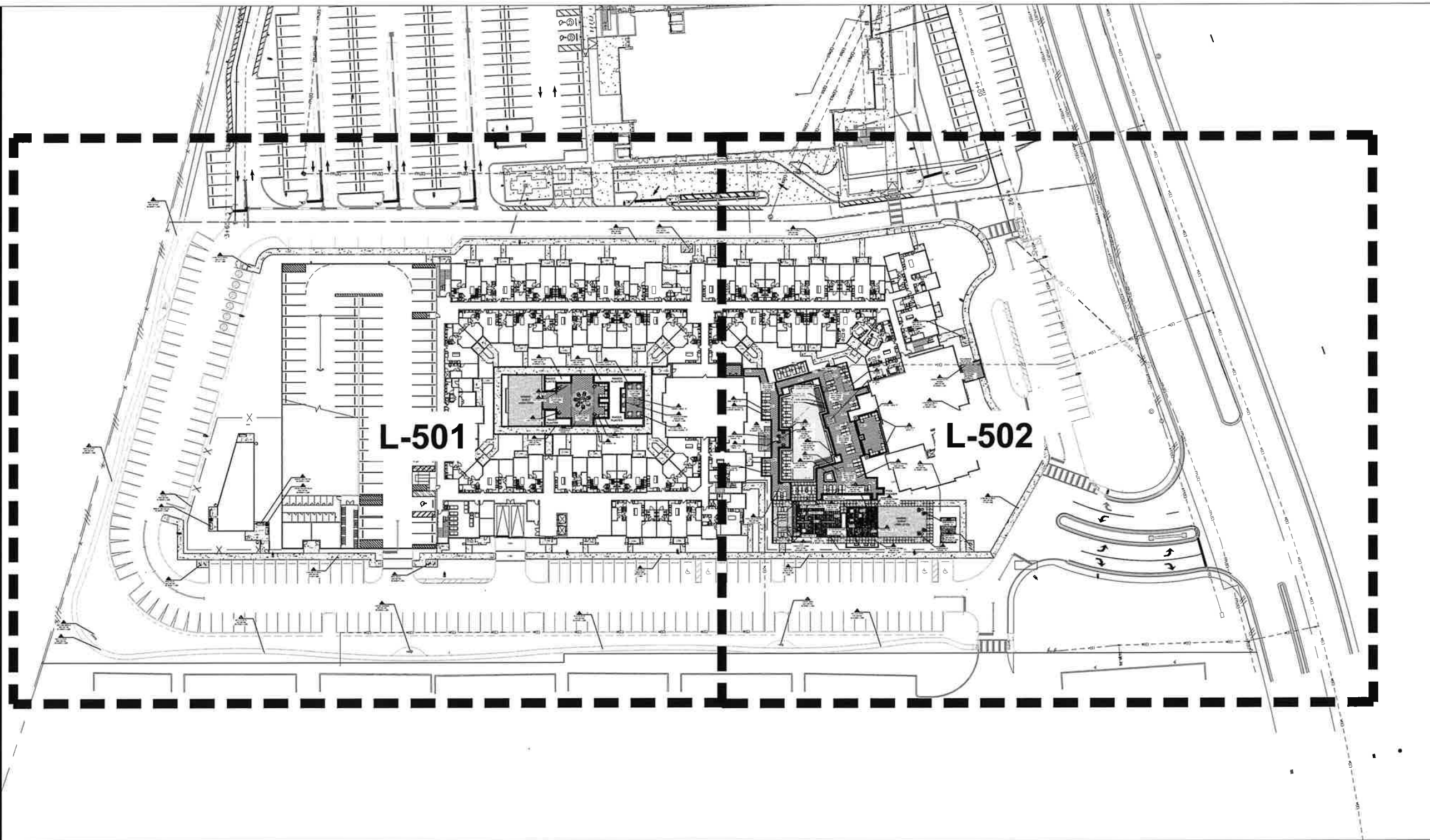
SUBMITTAL SET - ISSUED 07-31-2024



Revision Dates	
1	DRC RESUBMITTAL 11-27-2023
2	DRC RESUBMITTAL 04-18-2024
4	DRC RESUBMITTAL 07-31-2024

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
 PEMBROKE PINES, FLORIDA

Sheet Description	TREE DISPOSITION PLAN
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-210
Sheet 1 of 2	



SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
 PEMBROKE PINES, FLORIDA

FURNITURE SCHEDULE

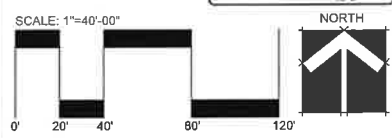
SYMBOL	ITEM	MANUFACTURER	MODEL NUMBER	QTY	FINISH COLOR	SPALLETS COLOR	REMARKS
30	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	STAIN W/ BLUE UP BATH	STAIN W/ BLUE UP BATH	
31	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
32	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	STAIN W/ BLUE UP BATH	
33	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
34	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
35	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
36	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
37	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
38	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
39	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	
40	W/4x6x8 CHAIR	DAVID ARNOLD	DA-100-02	4	WOODEN SLIVER PLANK	WOODEN SLIVER PLANK	

MATERIAL SCHEDULE

KEY	DESCRIPTION	COLOR	FINISH	QTY	QTY SPECIFICATION	REMARKS	SUPPLIER
1001	PAVING - CONCRETE	CONCRETE	SMOOTH	100	100 SQ. YD.	CONCRETE PAVING	CONCRETE PAVING
1002	PAVING - ASPHALT	ASPHALT	SMOOTH	100	100 SQ. YD.	ASPHALT PAVING	ASPHALT PAVING
1003	PAVING - GRANITE	GRANITE	SMOOTH	100	100 SQ. YD.	GRANITE PAVING	GRANITE PAVING
1004	PAVING - TRAVERTINE	TRAVERTINE	SMOOTH	100	100 SQ. YD.	TRAVERTINE PAVING	TRAVERTINE PAVING
1005	PAVING - SLATE	SLATE	SMOOTH	100	100 SQ. YD.	SLATE PAVING	SLATE PAVING
1006	PAVING - MARBLE	MARBLE	SMOOTH	100	100 SQ. YD.	MARBLE PAVING	MARBLE PAVING
1007	PAVING - QUARTZITE	QUARTZITE	SMOOTH	100	100 SQ. YD.	QUARTZITE PAVING	QUARTZITE PAVING
1008	PAVING - GNEISS	GNEISS	SMOOTH	100	100 SQ. YD.	GNEISS PAVING	GNEISS PAVING
1009	PAVING - SCHIST	SCHIST	SMOOTH	100	100 SQ. YD.	SCHIST PAVING	SCHIST PAVING
1010	PAVING - SLATE	SLATE	SMOOTH	100	100 SQ. YD.	SLATE PAVING	SLATE PAVING

MATERIAL SCHEDULE

KEY	DESCRIPTION	COLOR	FINISH	QTY	QTY SPECIFICATION	REMARKS	SUPPLIER
2001	PAVING - POOL EDGE	CONCRETE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2002	PAVING - POOL EDGE	ASPHALT	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2003	PAVING - POOL EDGE	GRANITE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2004	PAVING - POOL EDGE	TRAVERTINE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2005	PAVING - POOL EDGE	SLATE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2006	PAVING - POOL EDGE	MARBLE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2007	PAVING - POOL EDGE	QUARTZITE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2008	PAVING - POOL EDGE	GNEISS	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2009	PAVING - POOL EDGE	SCHIST	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING
2010	PAVING - POOL EDGE	SLATE	SMOOTH	100	100 SQ. YD.	POOL EDGE PAVING	POOL EDGE PAVING

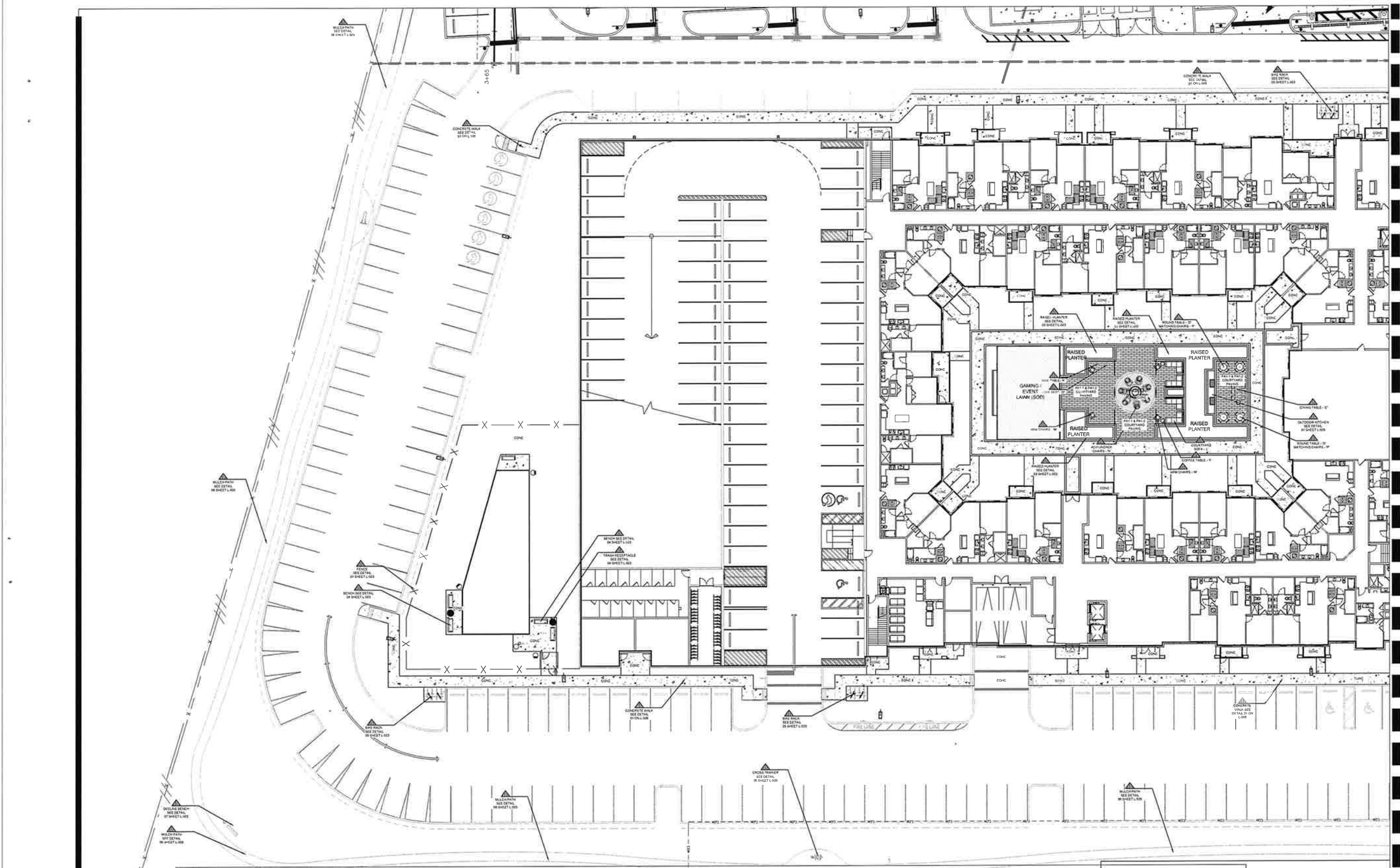




1. DRC RESUBMITTAL 04-15-2024
 2. DRC RESUBMITTAL 04-15-2024

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
 PEMBROKE PINES, FLORIDA

Sheet Description
 PAVING AND DETAILS
 Release Date
 09-01-2023
 Project Number
 2124/2305
 Drawing Number
L-501
 Sheet 2 of 10

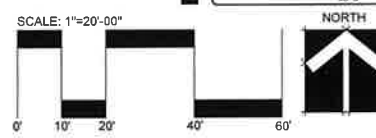


SEE SHEET L-502

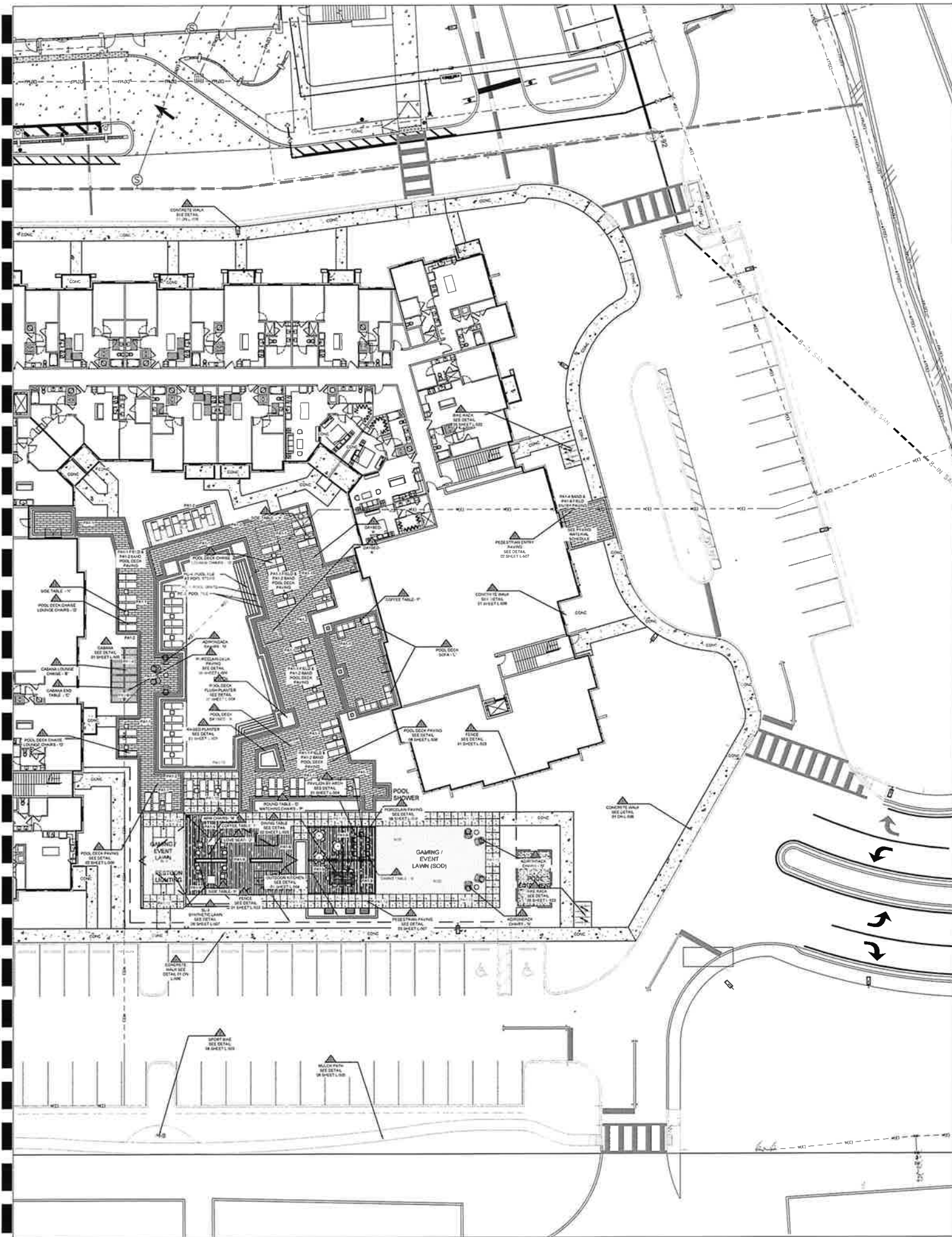
ITEM	DESCRIPTION	QUANTITY	UNIT	REMARKS	SUPPLIER
1	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
2	CONCRETE WALK	100	SQ YD	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
3	WOODEN PLANTER	5	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
4	RAISED PLANTER	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
5	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
6	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
7	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
8	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
9	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
10	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
11	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
12	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
13	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
14	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
15	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
16	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
17	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
18	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
19	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
20	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502

ITEM	DESCRIPTION	QUANTITY	UNIT	REMARKS	SUPPLIER
1	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
2	CONCRETE WALK	100	SQ YD	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
3	WOODEN PLANTER	5	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
4	RAISED PLANTER	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
5	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
6	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
7	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
8	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
9	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
10	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
11	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
12	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
13	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
14	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
15	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
16	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
17	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
18	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
19	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
20	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502

ITEM	DESCRIPTION	QUANTITY	UNIT	REMARKS	SUPPLIER
1	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
2	CONCRETE WALK	100	SQ YD	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
3	WOODEN PLANTER	5	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
4	RAISED PLANTER	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
5	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
6	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
7	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
8	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
9	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
10	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
11	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
12	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
13	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
14	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
15	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
16	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
17	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
18	WOODEN SEATING	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
19	WOODEN BENCH	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502
20	WOODEN TABLE	10	EA	SEE DETAIL IN SHEET L-502	SEE DETAIL IN SHEET L-502



SEE SHEET L-501



ITEM	QTY	DESCRIPTION	UNIT	FINISH	REMARKS
1	1	WOODEN TABLE	TABLE	WOODEN TABLE	SEE DETAIL L-501
2	1	WOODEN CHAIR	CHAIR	WOODEN CHAIR	SEE DETAIL L-501
3	1	WOODEN BENCH	BENCH	WOODEN BENCH	SEE DETAIL L-501
4	1	WOODEN STOOL	STOOL	WOODEN STOOL	SEE DETAIL L-501
5	1	WOODEN BAR	BAR	WOODEN BAR	SEE DETAIL L-501
6	1	WOODEN SEAT	SEAT	WOODEN SEAT	SEE DETAIL L-501
7	1	WOODEN TABLE	TABLE	WOODEN TABLE	SEE DETAIL L-501
8	1	WOODEN CHAIR	CHAIR	WOODEN CHAIR	SEE DETAIL L-501
9	1	WOODEN BENCH	BENCH	WOODEN BENCH	SEE DETAIL L-501
10	1	WOODEN STOOL	STOOL	WOODEN STOOL	SEE DETAIL L-501
11	1	WOODEN BAR	BAR	WOODEN BAR	SEE DETAIL L-501
12	1	WOODEN SEAT	SEAT	WOODEN SEAT	SEE DETAIL L-501
13	1	WOODEN TABLE	TABLE	WOODEN TABLE	SEE DETAIL L-501
14	1	WOODEN CHAIR	CHAIR	WOODEN CHAIR	SEE DETAIL L-501
15	1	WOODEN BENCH	BENCH	WOODEN BENCH	SEE DETAIL L-501
16	1	WOODEN STOOL	STOOL	WOODEN STOOL	SEE DETAIL L-501
17	1	WOODEN BAR	BAR	WOODEN BAR	SEE DETAIL L-501
18	1	WOODEN SEAT	SEAT	WOODEN SEAT	SEE DETAIL L-501
19	1	WOODEN TABLE	TABLE	WOODEN TABLE	SEE DETAIL L-501
20	1	WOODEN CHAIR	CHAIR	WOODEN CHAIR	SEE DETAIL L-501

ITEM	DESCRIPTION	QTY	UNIT	FINISH	REMARKS	SUPPLIER
1	PAVING					
1.1	CONCRETE PAVING		SQ. YD.	CONCRETE	SEE DETAIL L-501	
1.2	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.3	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.4	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.5	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.6	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.7	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.8	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.9	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	
1.10	PAVING		SQ. YD.	PAVING	SEE DETAIL L-501	

ITEM	DESCRIPTION	QTY	UNIT	FINISH	REMARKS	SUPPLIER
1	SYNTHETIC LAWN		SQ. YD.	SYNTHETIC LAWN	SEE DETAIL L-501	
1.1	SYNTHETIC LAWN		SQ. YD.	SYNTHETIC LAWN	SEE DETAIL L-501	
1.2	SYNTHETIC LAWN		SQ. YD.	SYNTHETIC LAWN	SEE DETAIL L-501	

ITEM	DESCRIPTION	QTY	UNIT	FINISH	REMARKS	SUPPLIER
1	PAVING POOL EDGE MATERIAL		SQ. YD.	PAVING POOL EDGE MATERIAL	SEE DETAIL L-501	
1.1	PAVING POOL EDGE MATERIAL		SQ. YD.	PAVING POOL EDGE MATERIAL	SEE DETAIL L-501	
1.2	PAVING POOL EDGE MATERIAL		SQ. YD.	PAVING POOL EDGE MATERIAL	SEE DETAIL L-501	
1.3	PAVING POOL EDGE MATERIAL		SQ. YD.	PAVING POOL EDGE MATERIAL	SEE DETAIL L-501	

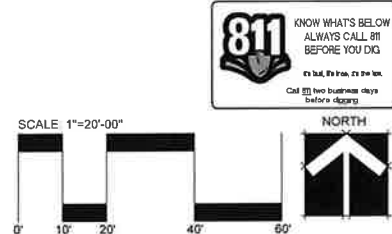
AAL
Architectural Alliance Landscape
612 SW 4th Ave., Fort Lauderdale, FL 33315 LCC000237
TEL: 754-774-8888 EMAIL: info@aal.com



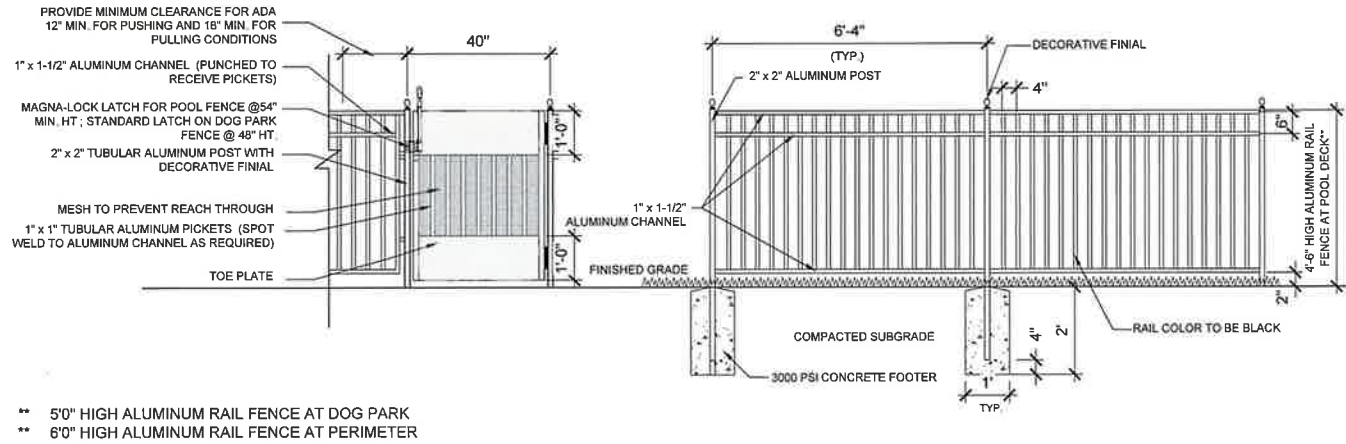
1. DRC RESUBMITTAL 1/22/2023
2. DRC RESUBMITTAL 04-19-2024

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
PEMBROKE PINES, FLORIDA

Sheet Description
PAVING AND DETAILS
Release Date
09-01-2023
Project Number
2124/2305
Drawing Number
L-502
Sheet 3 of 10

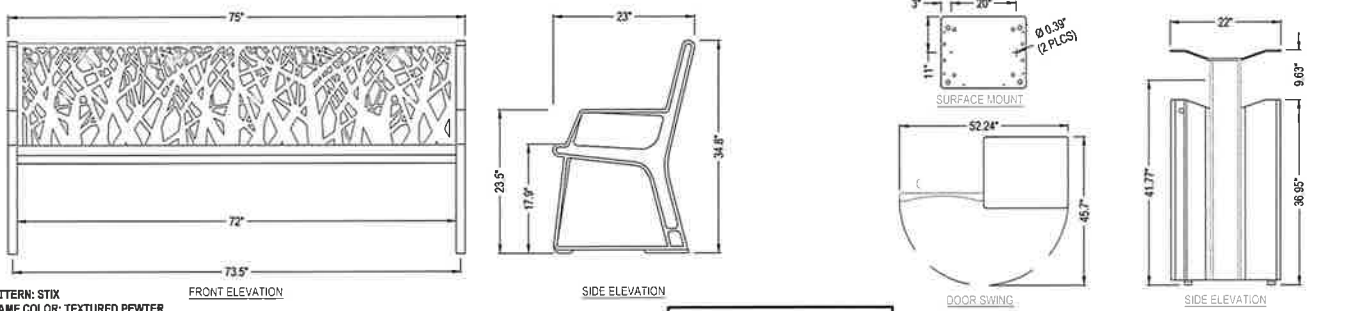


NOTE:
 * ALL GATES SHALL BE SELF CLOSING WITH A SELF LATCHING MECHANISM.
 * ALL GATES SHALL BE EQUIPPED WITH KEY FOB ENTRY ACCESS, PER ARCHITECT.
 * ALL ALUMINUM RAIL FENCING SHALL BE COLOR BLACK.



01 - ALUMINUM FENCE AND GATE

SECTION



PATTERN: STIX
 FRAME COLOR: TEXTURED PENTER
 SEAT COLOR: TEXTURED FERN

FINISH: FADE-RESISTANT, POWDER COATED STEEL AND ALUMINUM COMPONENTS FEATURE A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING.
 MATERIAL: 10-GAUGE PERFORATED STEEL SEAT WITH CAST ALUMINUM LEGS
 UNIT WEIGHT: 134 LBS
 ASSEMBLY: THE BENCH REQUIRES SOME ASSEMBLY. STAINLESS STEEL HARDWARE IS INCLUDED.
 WARRANTY: 20-YEAR LIMITED STRUCTURAL WARRANTY WITH 7-YEAR FINISH WARRANTY AGAINST FADING FROM DATE OF PURCHASE.
 NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 928-587.

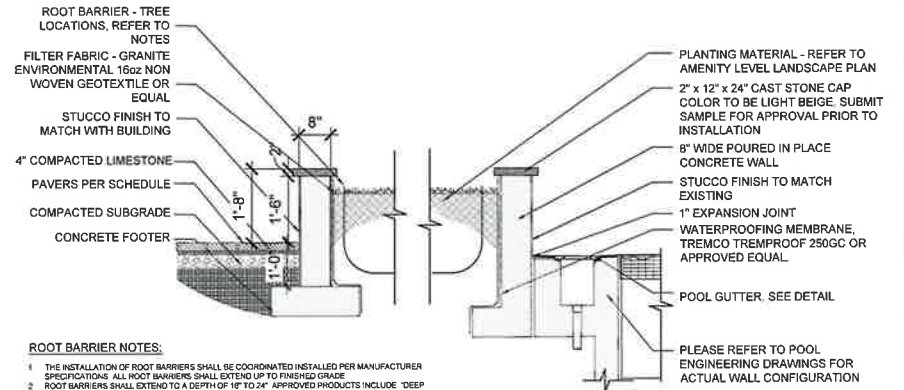
ORDERING INFORMATION:
 CONTACT: MANUEL GIL-GOODMAN
 MANUEL.G@ANOVAFURNISHINGS.COM

AIRI COLLECTION
 AE2880STX - AIRI
 STIX 6' CONTOUR BENCH

FINISH: FADE-RESISTANT, POWDER COATED STEEL AND ALUMINUM COMPONENTS FEATURE A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING. TREATED COMPONENTS EXCEED THE INDUSTRY STANDARD BY 34% IN TESTING BY INDEPENDENT SOURCES.
 MATERIAL: HEAVY DUTY 12-GAUGE STEEL PANELS WITH AN EXTRUDED ALUMINUM FRAME. CANOPY STYLE TOP IS 16-GAUGE STEEL.
 UNIT WEIGHT: 182 LBS
 ASSEMBLY: THE RECEPTACLE SHIP'S FULLY ASSEMBLED AND READY FOR USE.
 WARRANTY: 20-YEAR LIMITED STRUCTURAL WARRANTY WITH 7-YEAR FINISH WARRANTY AGAINST FADING FROM THE DATE OF PURCHASE.
 NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 928-625.

04 - TRASH RECEPTACLE

PLAN / SECTION



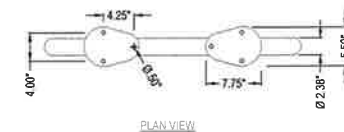
ROOT BARRIER NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED INSTALLED PER MANUFACTURER SPECIFICATIONS. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL EXTEND TO A DEPTH OF 18" TO 24" APPROVED PRODUCTS INCLUDE "DEEP ROOT AND ROOT SOLUTIONS"
3. ROOT BARRIERS SHALL EXTEND TO A LENGTH OF 8' EACH SIDE OF TREE OR WRAP COMPLETELY AROUND TREE. ROOT BARRIER SHALL BE INSTALLED AT LEAST 6" FROM PLANTER WALL.

02 - RAISED PLANTER

SECTION

COLOR: SAGE
 FINISH: FADE-RESISTANT, POWDER COATED STEEL FINISH FEATURES A STATE-OF-THE-ART PRIMER PROVEN TO PREVENT RUSTING.
 MATERIAL: THE BIKE RACK IS 2 3/8" O.D. 12-GAUGE WALL STEEL TUBING.
 CAPACITY: 2 BIKES.
 UNIT WEIGHT: 22 LBS.
 ASSEMBLY: BIKE RACK REQUIRES NO ASSEMBLY EXCEPT FOR THE SURFACE MOUNTING.
 STRUCTURAL WARRANTY: LIMITED 20-YEAR WARRANTY.
 FINISH WARRANTY: 3-YEAR WARRANTY AGAINST RUSTING, PEELING, CHIPPING, CRACKING, MOLD, MILDEW, AND DEFECTS IN MATERIALS AND/OR WORKMANSHIP. 7-YEAR WARRANTY AGAINST FADING.



PLAN VIEW

FRONT ELEVATION

- NTS
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER TPA_EDISON_BA Health PAVING LAYOUT & DETAILS 04-16-24.

TANDEM BIKE RACKS
 CIRCLEBR - TANDEM BIKE RACK,
 SURFACE MOUNT, POWDER COATED

ORDERING INFORMATION:
 CONTACT: MANUEL GIL-GOODMAN
 MANUEL.G@ANOVAFURNISHINGS.COM

05 - BIKE RACK

ELEVATION

03 - BENCH

PLAN / ELEVATION

06 - CROSS TRAINER

CROSS TRAINER
 FST108
 OUTDOOR FITNESS: CIRCUIT TRAINING

Weight/Assembly parts: 1g, Installation (Manpower): 1 Person
 Concrete required: 10ft³, Installation (Hours): 2 Hours
 Foundation amount/Excavation: 10ft³, Excavation: 10ft³

MATERIAL: FRAME AND MOVING STEEL PARTS ARE CONSTRUCTED OF CARBON STEEL WITH HOT-DIP GALVANIZED SURFACE AND POWDERCOATING. WHEEL COVER IS VACUUM FORMED RECYCLED POLYCARBONATE. PEDAL IS HDPE, POLYUREA COATING ON AREAS WHERE USERS WILL PLACE THEIR HANDS. EXERCISE PANELS OF POLYETHYLENE WITH NON-SKID FOR TRAINING AT ALL WEATHER CIRCUMSTANCES.

COLORS: ORANGE, GRAY AND BLACK, CUSTOM COLORS AVAILABLE

CUT-SHEET NTS

07 - DECLINE BENCH

DECLINE BENCH
 FSW20400
 OUTDOOR FITNESS: CROSS TRAINING

Weight/Assembly parts: 1g, Installation (Manpower): 1 Person
 Concrete required: 10ft³, Installation (Hours): 2 Hours
 Foundation amount/Excavation: 10ft³, Excavation: 10ft³

MATERIAL: POSTS ARE MADE OF PRE GALVANIZED CARBON STEEL AND POWDERCOATED; TOPS ARE SEALED WITH A POLYMER CAP. CONNECTORS ARE DIE-CAST ALUMINUM ALLOYED FOR OUTDOOR ENVIRONMENTS. EXERCISE SURFACING FOR GRIP ALLOWING BENCH TO BE USED AS A JUMP BOX FOR STEP AND JUMP EXERCISES.

COLORS: ORANGE, GRAY AND BLACK, CUSTOM COLORS AVAILABLE

CUT-SHEET NTS

08 - SPORT BIKE

SPORT BIKE
 FAZ20200
 OUTDOOR FITNESS: CROSS TRAINING

Weight/Assembly parts: 1g, Installation (Manpower): 1 Person
 Concrete required: 10ft³, Installation (Hours): 2 Hours
 Foundation amount/Excavation: 10ft³, Excavation: 10ft³

MATERIAL: POWDERCOATED STEEL SELF-POWERED ELECTRICAL MOTOR; SADDLE IS POLYURETHANE RUBBER WITH STEEL INSERT PLATE TO CONNECT TO ALUMINUM SADDLE PIN - ADJUSTABLE IN 13 HEIGHTS. COVER IS LEXAN COPOLYMER EXL830; CRANK AND PEDAL ARMS ARE STAINLESS STEEL. HANDLE BARS ARE CASTED ALUMINUM WITH POLYUREA COATING.

COLORS: ORANGE, GRAY AND BLACK, CUSTOM COLORS AVAILABLE

CUT-SHEET NTS

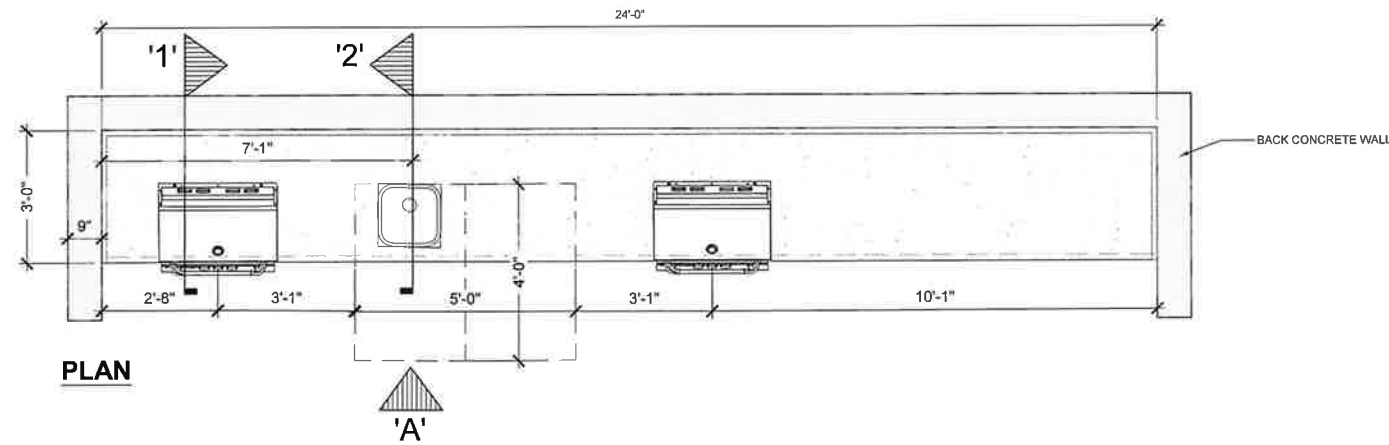
KOMPAN INC
 OSCAR LOPEZ
 305-542-7063
 OSCLOP@KOMPAN.COM
 WWW.KOMPAN.US

- EQUIPMENT MUST BE INSTALLED OVER RESILIENT SURFACING APPROPRIATE TO THE SAFETY GUIDELINES OF THE AREA
- TO BE INSTALLED PER MANUFACTURER RECOMMENDATION
- SEE PLAN FOR WORKOUT STATION AREA LOCATIONS
- ADA INCLUSIVE EQUIPMENT

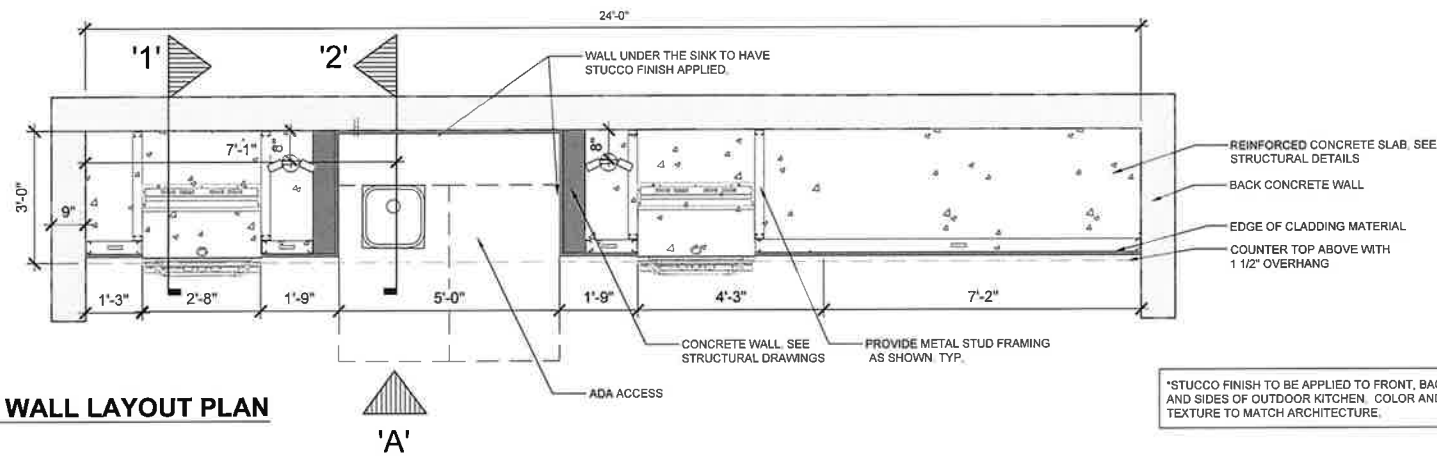
DESIGN INTENT ONLY.
 CONTRACTOR TO VERIFY AND COORDINATE ALL DETAILS WITH ARCHITECT, STRUCTURAL, AND MEP PRIOR TO FABRICATION AND INSTALLATION.



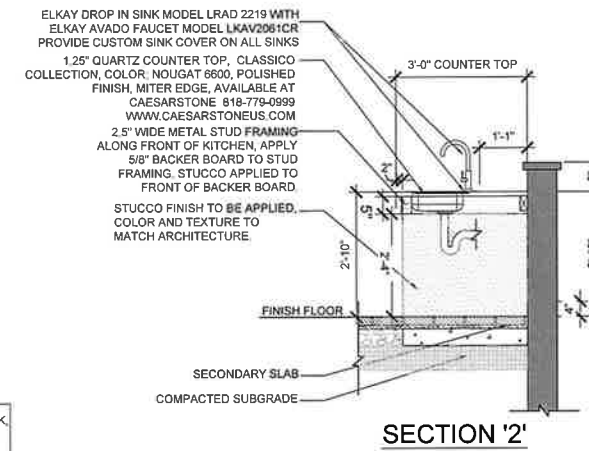
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 2. DRC RESUBMITTAL 04-16-2024



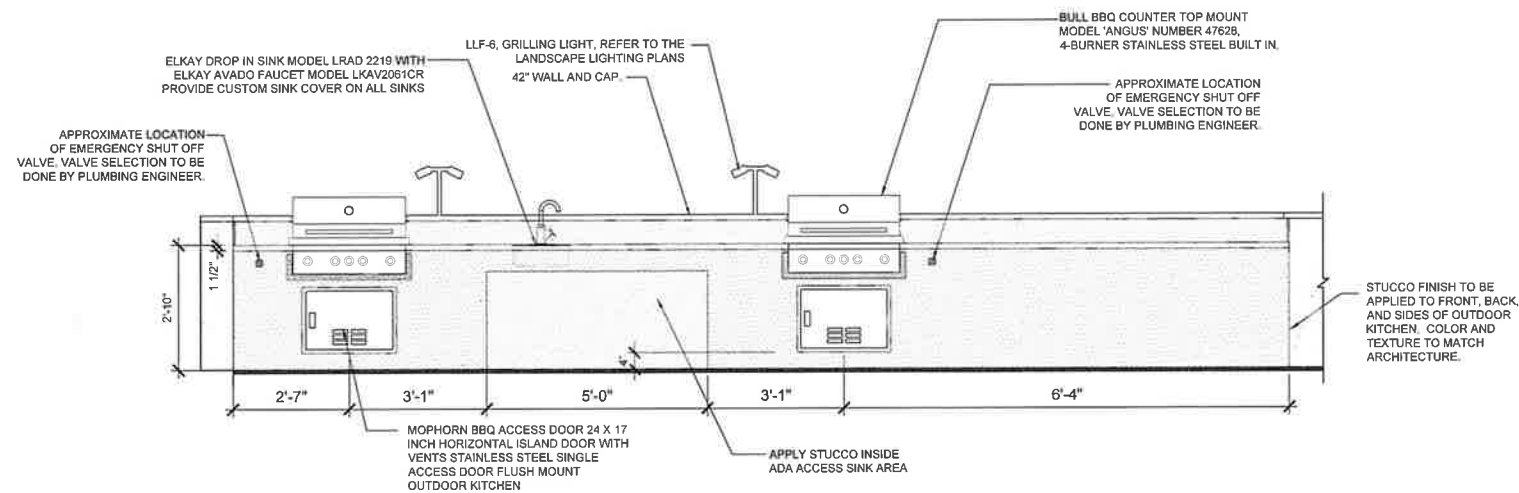
PLAN



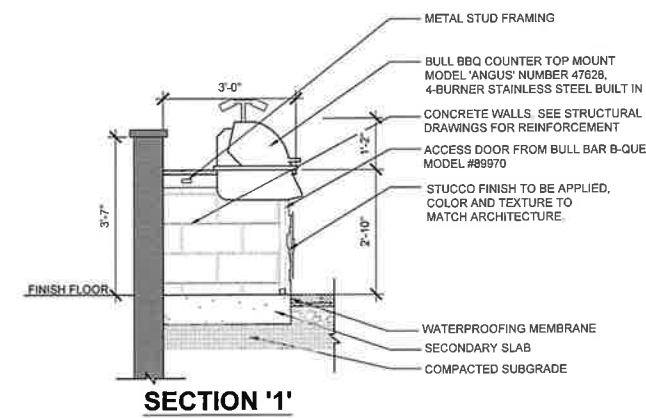
SLAB / WALL LAYOUT PLAN



SECTION '2'



ELEVATION 'A'



SECTION '1'

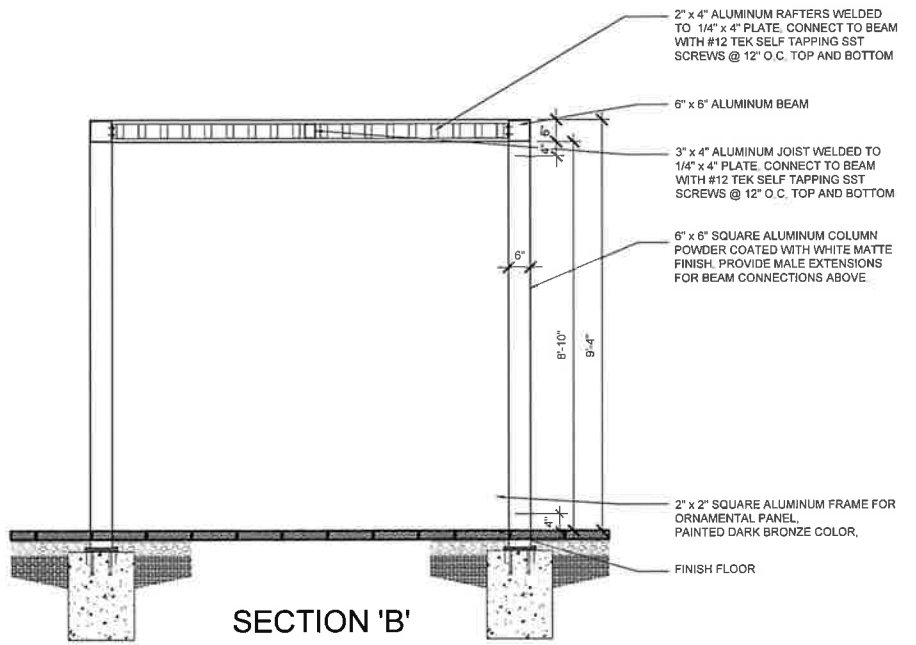
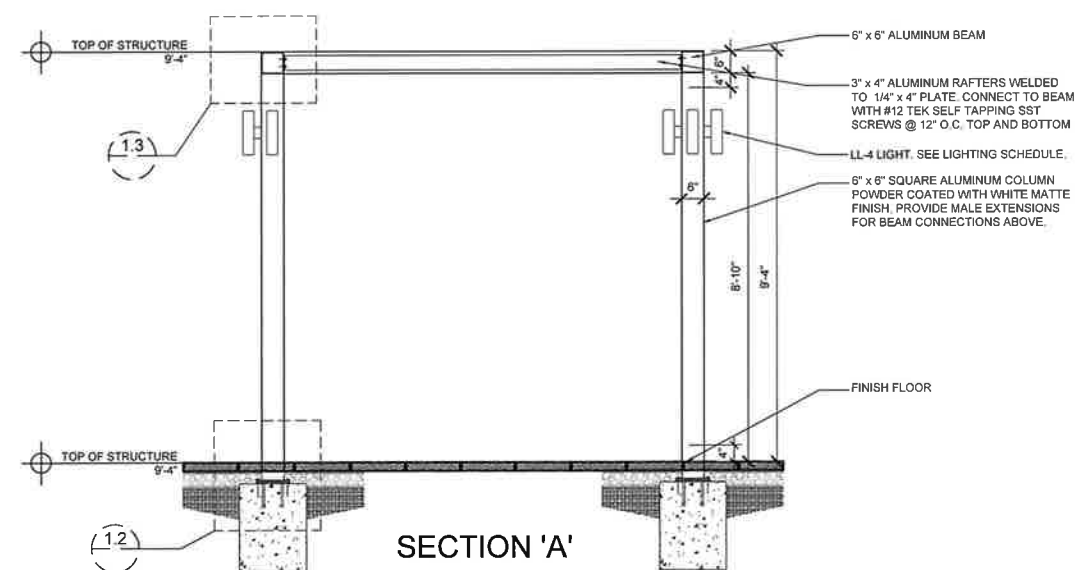
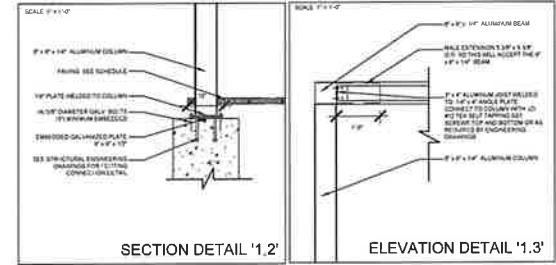
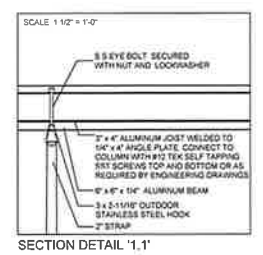
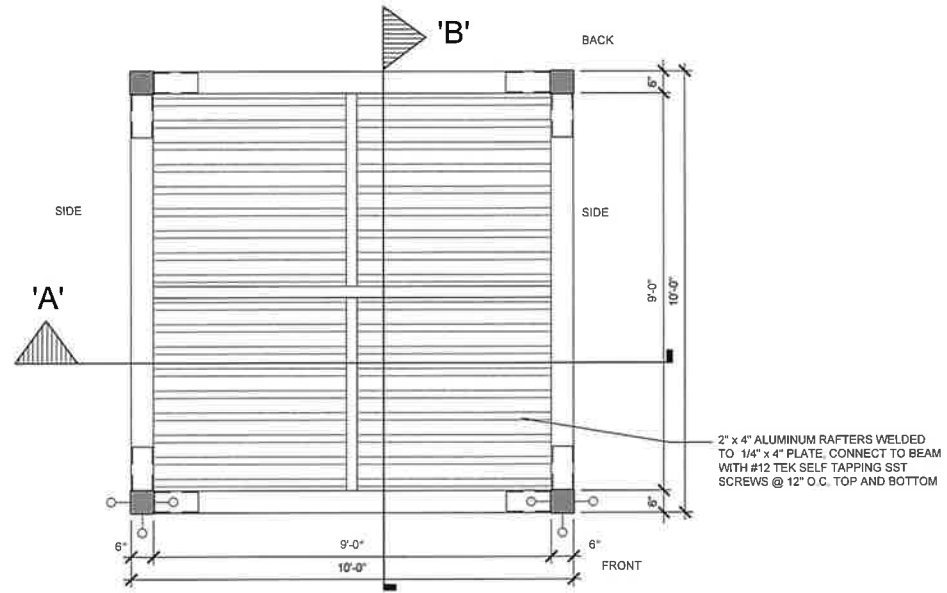


Revision	Revision Dates
1	DRC RESUBMITTAL 1/22/2023
2	DRC RESUBMITTAL 04/19/2024

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
PEMBROKE PINES, FLORIDA

Sheet Description	SITE DETAILS
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-504
Sheet 5 of 10	

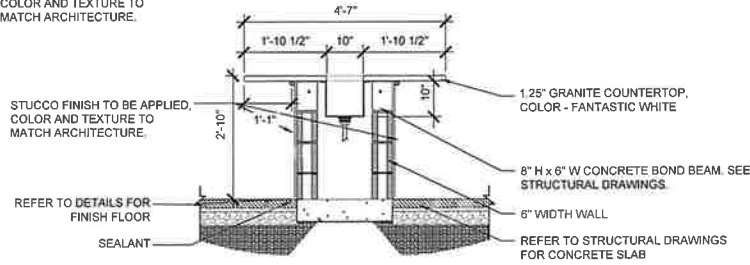
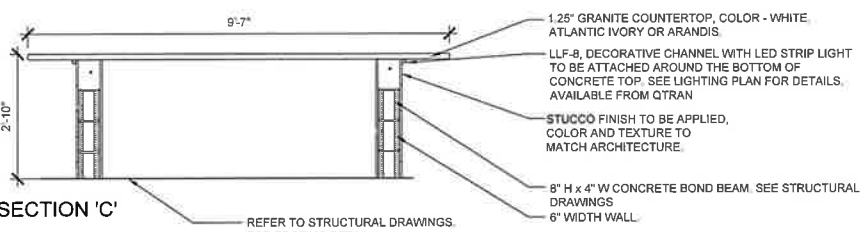
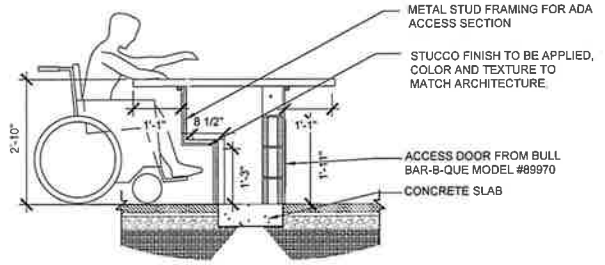
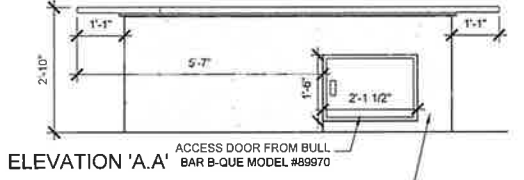
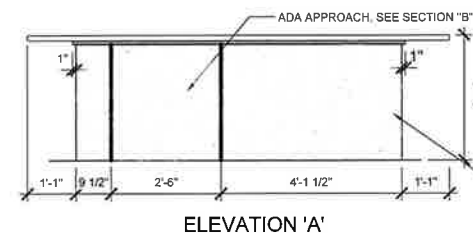
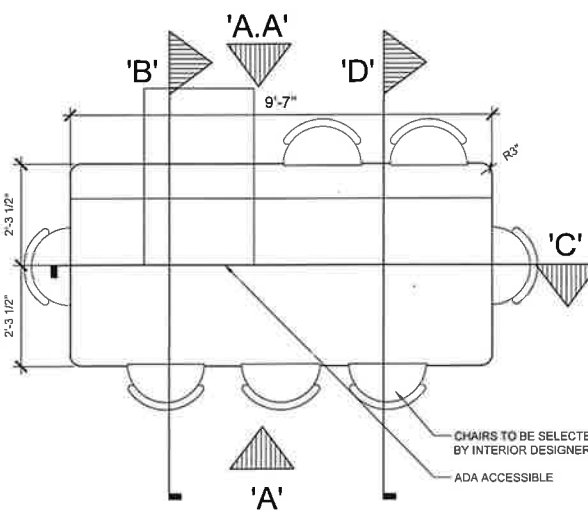
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01 - CABANA

PLAN/ELEVATION

SCALE 1/2" = 1'-0"



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02 - DINING TABLE

PLAN / SECTION / ELEVATION

SCALE 1/2" = 1'-0"



1	DRC RESUBMITTAL	03-23
2	DRC RESUBMITTAL	04-16-2024

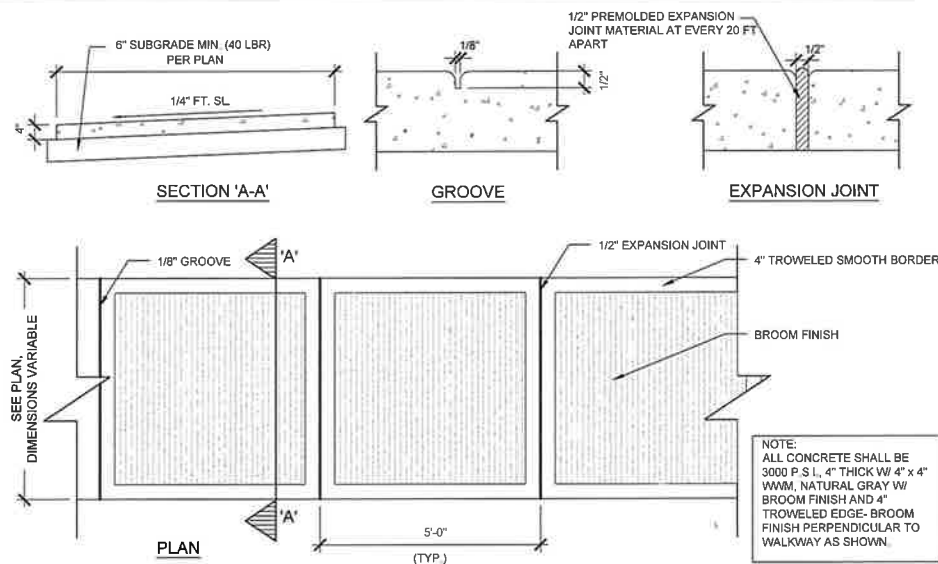
Revision Dates

SITE PLAN SUBMITTAL SET

THE EDISON APARTMENTS

PEMBROKE PINES, FLORIDA

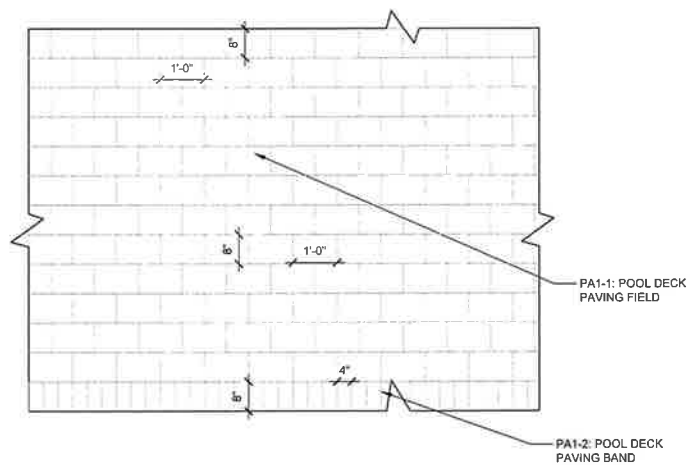
Sheet Description	SITE DETAILS
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-505
Sheet 6 of 10	



01 - CONCRETE SIDEWALK

PLAN/SECTION

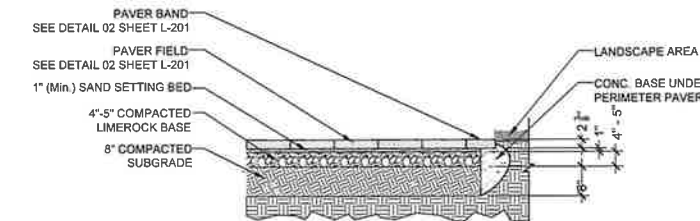
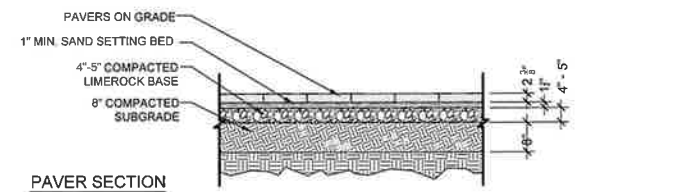
SCALE 1/2" = 1'-0"



02 - TYPICAL POOL DECK PAVER

PLAN

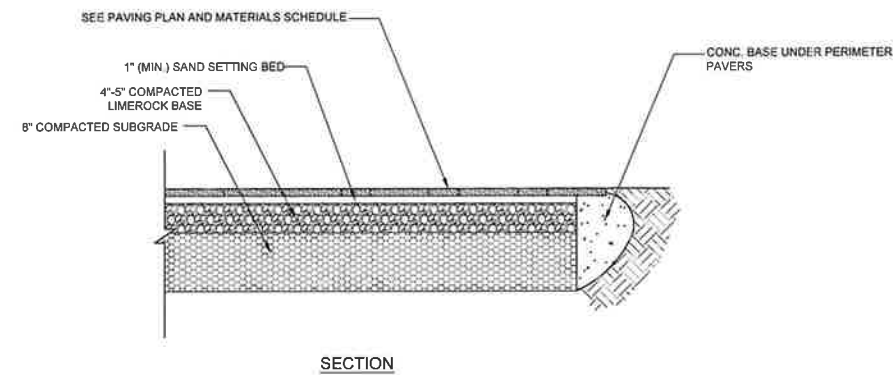
SCALE 1/2" = 1'-0"



03 - TYPICAL POOL DECK PAVER EDGE

SECTION

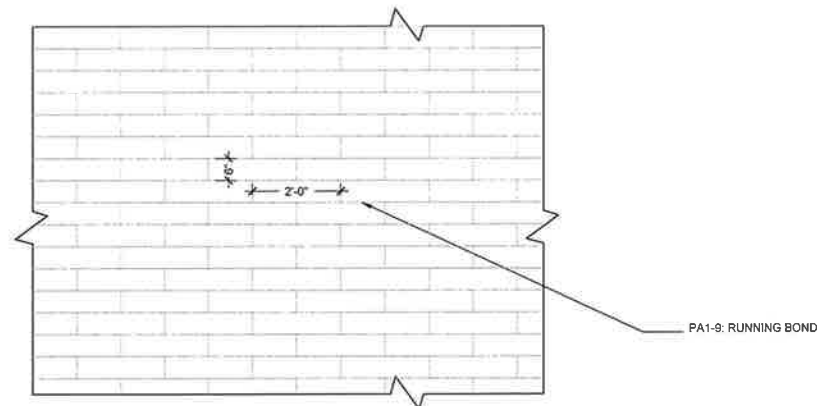
SCALE 1/2" = 1'-0"



04 - PAVER AT LANDSCAPE EDGE

SECTION

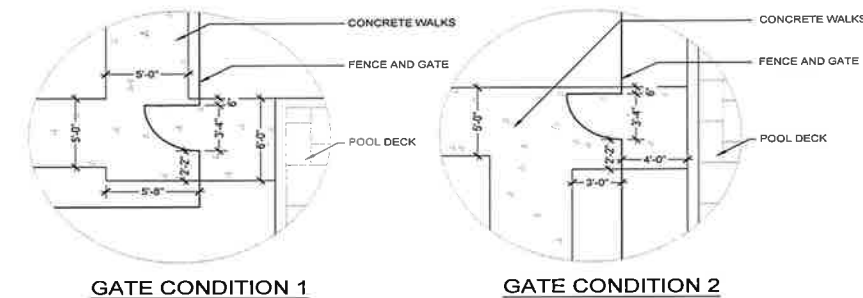
SCALE 1/2" = 1'-0"



05 - PORCELAIN PAVING

PLAN

SCALE 1/2" = 1'-0"

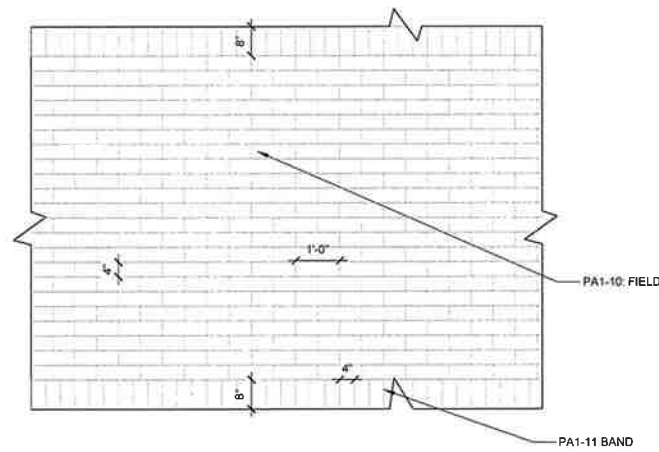


06 - GENERIC FENCE DOOR LAYOUT

SECTION

SCALE 3/16" = 1'-0"

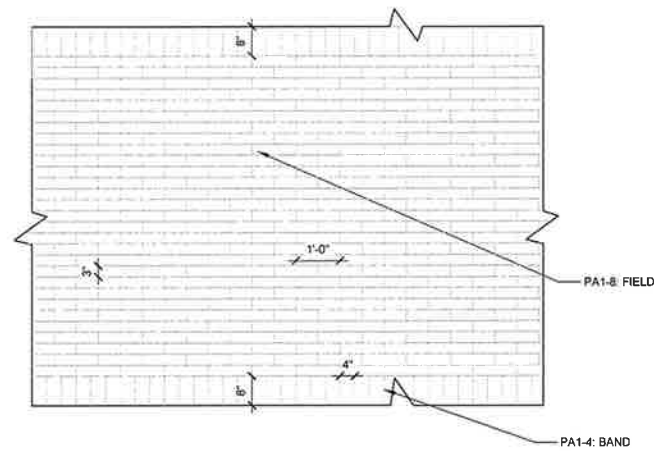
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AND MEP PRIOR TO FABRICATION AND
INSTALLATION.



01 - VEHICULAR ENTRY PAVING

PLAN

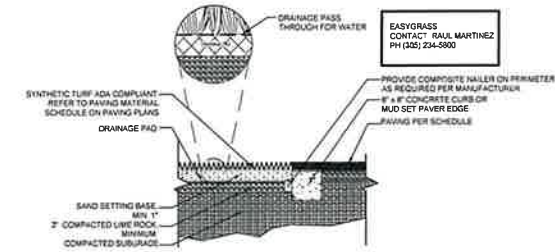
SCALE 1/2" = 1'-0"



02 - ENTRY PAVING

PLAN

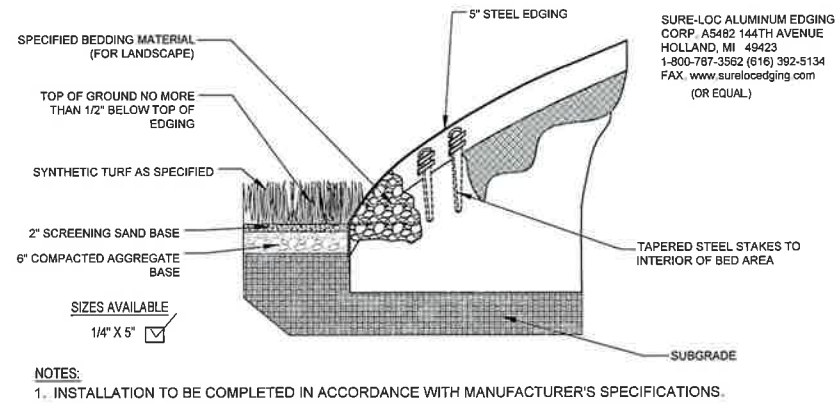
SCALE 1/2" = 1'-0"



03 - SYNTHETIC TURF AT GRADE

SECTION

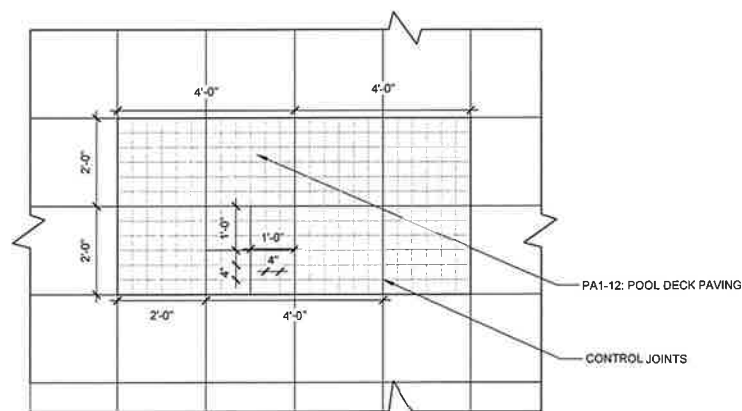
N.T.S.



04 - SYNTHETIC LAWN @ LANDSCAPE EDGE

SECTION

SCALE 1/2" = 1'-0"



05 - PEDESTRIAN PAVING @ POOL DECK RECREATION AREA

PLAN

SCALE 1/2" = 1'-0"

SYNLAWN
2680 ABUTMENT ROAD SE
DALTON, GA 30721
TOLL FREE: 1-866-SYNLAWN
FAX: (706) 277-1128
www.synlawn.com

SYNLAWN CLASSIC PUTTING GREEN GRASS FIBER

SYNLAWN CLASSIC PUTT - INSTALLED OVER AGGREGATE BASE

SPECIFICATIONS
 YARN TYPE: GRASS ZONE™: TEXTURIZED HIGH BULK NYLON HB
 YARN TYPE: THATCH ZONE™: N/A
 YARN COLOR: GRASS ZONE™: VERDE
 PILE HEIGHT: GRASS ZONE™: 1/2" +/- 5%
 PILE HEIGHT: THATCH ZONE™: N/A
 YARN FACE WEIGHT: 34 OZ
 ROLL WIDTH: 15' WIDTH
 MAXIMUM DRAIN RATE: DRAINS FROM TOP

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS BY FACTORY AUTHORIZED INSTALLERS.
 2. DO NOT SCALE DRAWINGS.
 3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 1437-133.

1437-133 PROTECTED BY COPYRIGHT ©2024 CADDETAILS.COM LTD. REVISION DATE 04/18/2024 CADdetails.com

06 - SYNTHETIC LAWN @ GAME AREA SL-3



1 DRC RESUBMITTAL 1/22/2023
2 DRC RESUBMITTAL 04/18/2024

Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS

PEMBROKE PINES, FLORIDA

Sheet Description

SITE DETAILS

Release Date
09-01-2023

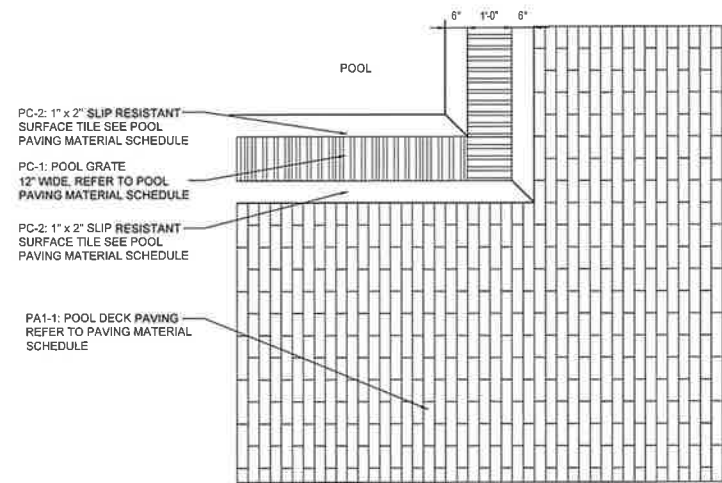
Project Number
2124/2305

Drawing Number

L-507

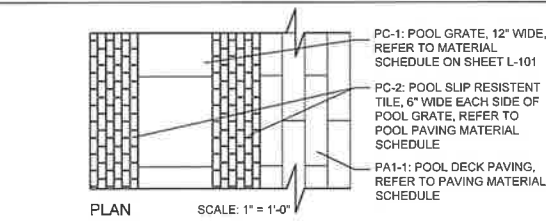
Sheet 8 of 10

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AND MEP PRIOR TO FABRICATION AND
INSTALLATION.



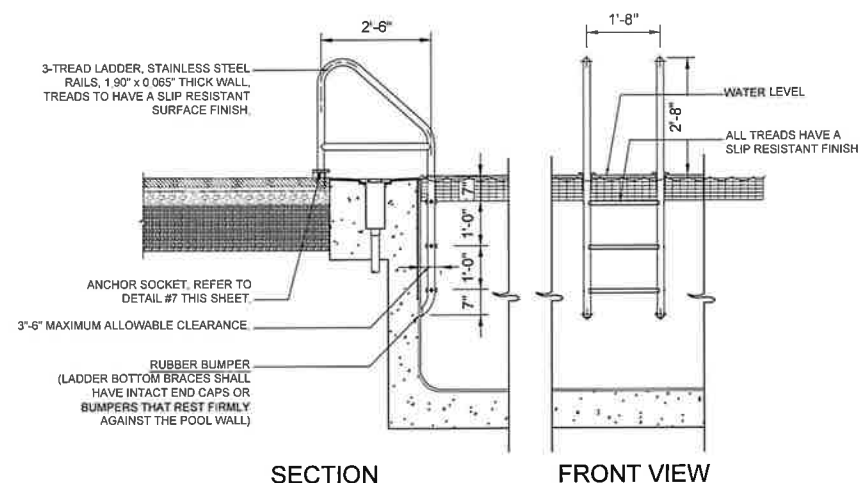
01 - POOL DECK PAVING

PLAN SCALE 1/2" = 1'-0"



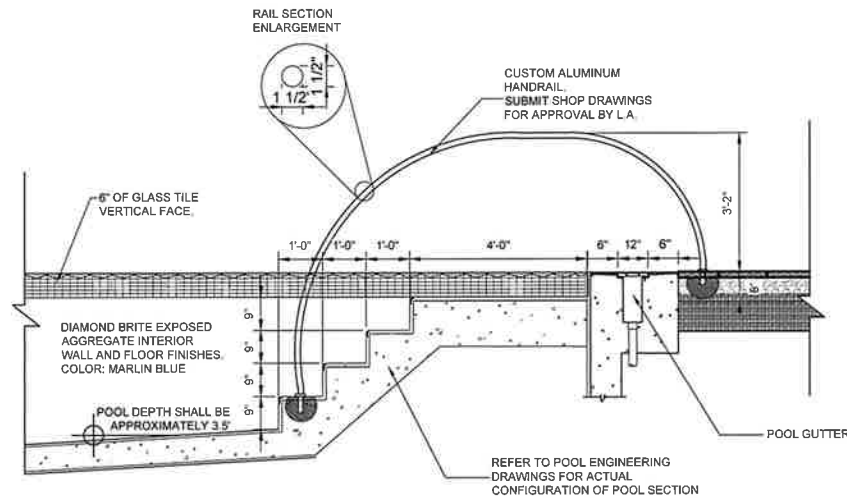
02 - POOL GUTTER DETAIL

SECTION SCALE 1/2" = 1'-0"



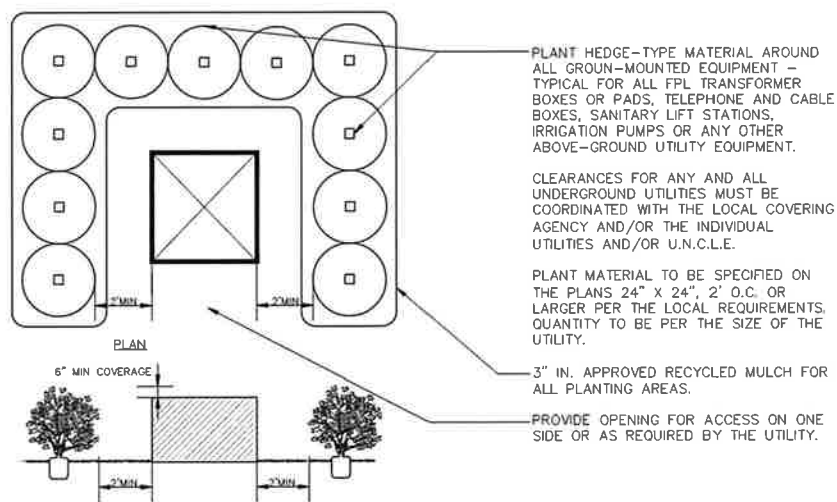
03 - POOL LADDER DETAIL

SECTION / ELEVATION SCALE 1/2" = 1'-0"



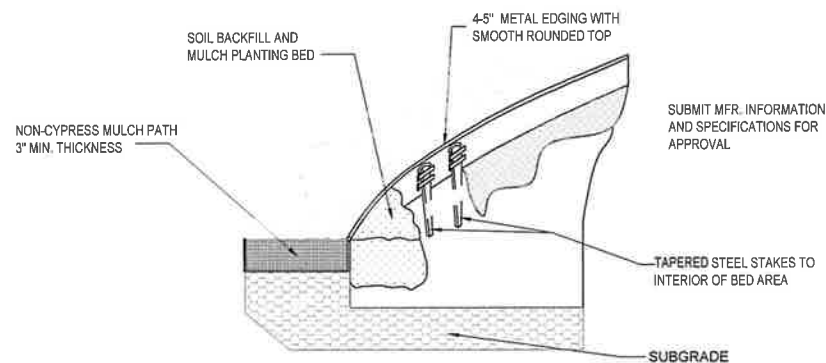
04 - POOL STEP DETAIL

SECTION SCALE 1/2" = 1'-0"



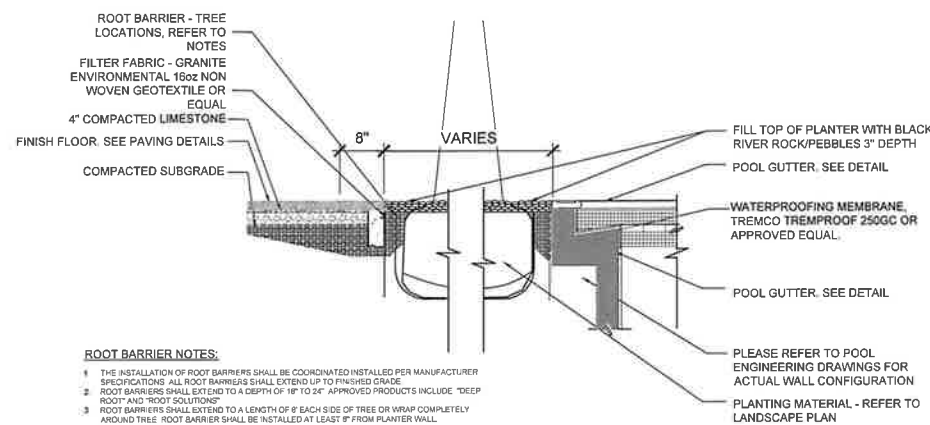
05 - MECHANICAL EQUIPMENT SCREENING DETAIL

PLAN NTS



06 - PERIMETER MULCH PATH

SECTION SCALE 1/2" = 1'-0"



07 - POOL DECK FLUSH PLANTER

SECTION SCALE 1/2" = 1'-0"

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1	DRG RESUBMITTAL	1-22-2023
2	DRG RESUBMITTAL	04-18-2024

Revision Dates

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
 PEMBROKE PINES, FLORIDA

Sheet Description

SITE DETAILS

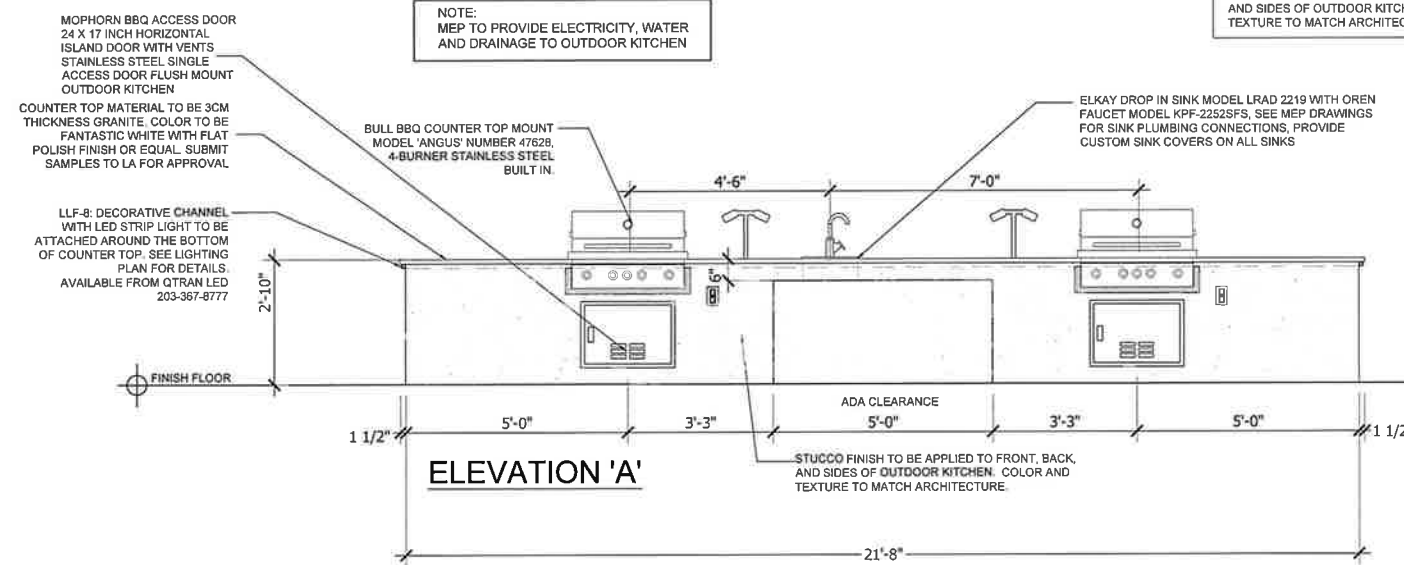
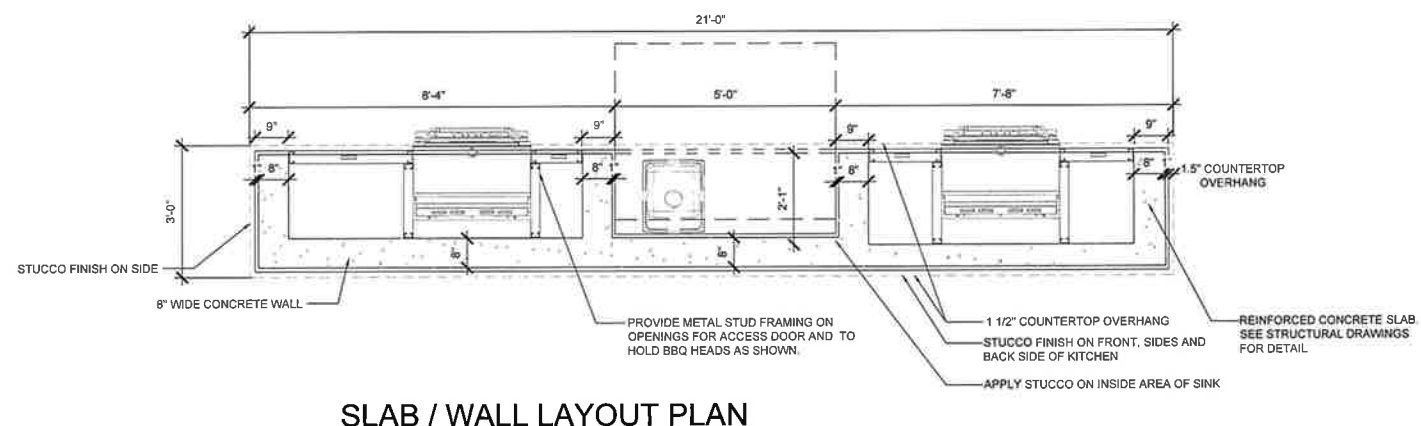
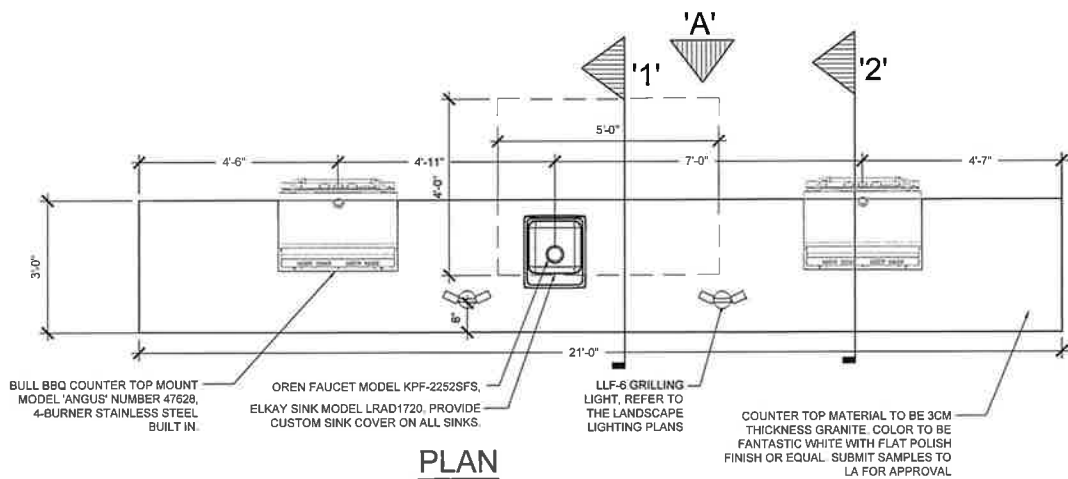
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Project Number
2124/2305

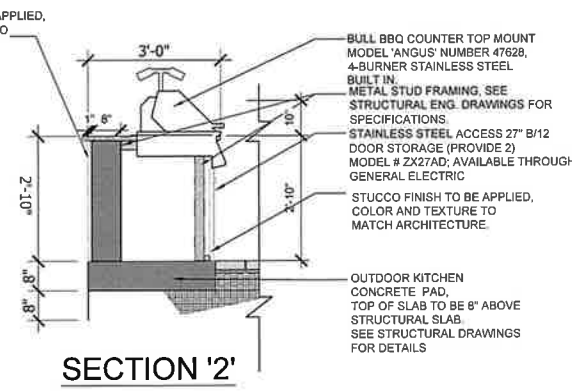
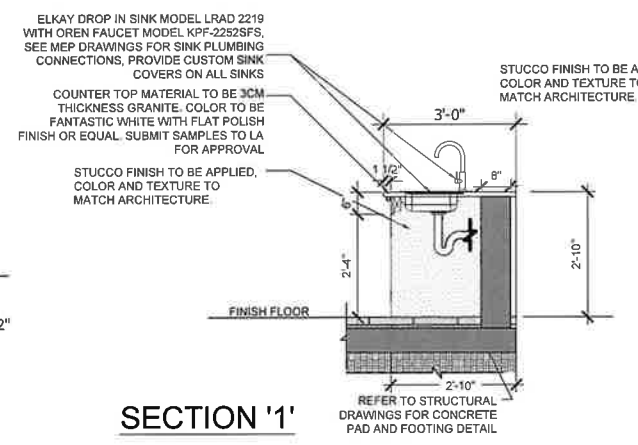
Drawing Number

L-509

Sheet 10 of 10



*STUCCO FINISH TO BE APPLIED TO FRONT, BACK AND SIDES OF OUTDOOR KITCHEN. COLOR AND TEXTURE TO MATCH ARCHITECTURE.



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01 - OUTDOOR KITCHEN @ COURTYARD

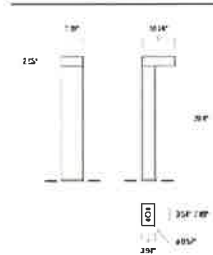
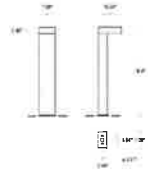
PLAN / SECTION / ELEVATION

SCALE 1/2" = 1'-0"



PSY424 LED
Bollards and Pathway Luminaires

26



Description
IP66, Class 1, IK10 Marine-grade, all aluminum construction. Pole section features galvanneal steel reinforcement core. SCE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. Polycarbonate main lens. CAD-optimized optics for superior illumination and glare control. Integral driver. DLC® One LED Concept. Factory-installed LED circuit board. 0-10V dimming comes standard with luminaire. Pre-wired post complies with 10V surge protector in cable connection box. Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX(Accessory 1)



PSY424 LED
Bollards and Pathway Luminaires

36

Specifications

Material Specifications

Body: Marine-grade, all aluminum construction. Pole section features galvanneal steel reinforcement core.
Lens: RFL-Reflection Free Curved main lens.
Colors: RAL9004 Black, RAL9007 Gray Metallic, RAL9016 White, RAL8019 Dark Bronze

ETL: ETL, UL-1598 equivalent, CSA-C22.2/250.0 Suitable for Wet Locations.
Quick Ship: QuickShip features a one week ship time for Steplights and two week ship time for the rest of our Core products. All applicable information must be included for orders to be processed and orders must be in one of our 4 standard finishes. A maximum order quantity of 20 pieces applies.

Gasket: Silicone CCG® Controlled Compression Gasket
Fasteners: PCS Polymer Coated Stainless Steel Hardware

Ingress protection: IP66/IP67
Impact protection: IK10
Corrosion protection: SCE

License: ETL, UL-1598 equivalent, CSA-C22.2/250.0 Suitable for Wet Locations.

Electrical Specifications

Power supply: Integral (ECG) electronic driver 120V-277V 0-10V dimmable, to be specified with order.
Power factor: > 0.9
Driver / Ballast: Integral EC electronic converter
Lifetime: T₉₀25°/40° L70B50 > 50000h

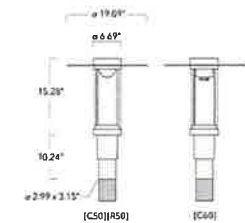


WE-EF LIGHTING USA, LLC
410-D Keystone Drive, 15086 Wrentham, PA 15086 U.S.A. | Tel: +1 724 742 0030 | info@we-eef.com | www.we-eef.com | 14-09-2022 0:14
Technical modifications and errors accepted

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Technical modifications and errors accepted



ZAT430-FT LED
Street and Area Lighting



Description
IP66, Class 1, IK09, Marine-grade, die-cast aluminum alloy. SCE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. PMMA main lens. CAD-optimized indirect optics for superior illumination and glare control. Integral driver in thermally separated compartment. Factory-installed LED circuit board. 0-10V dimming comes standard with luminaire. Luminaire is factory-sealed and does not need to be opened during installation.

Recommended mounting height 10-20 ft.

Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX(Accessory 1)



ZAT430-FT LED
Street and Area Lighting

Specifications

Material description
Body: Marine-grade, die-cast aluminum alloy
Lens: PMMA
Colors: RAL9004 Black, RAL9007 Gray Metallic, RAL9016 White, RAL8019 Dark Bronze

Gasket: Silicone CCG® Controlled Compression Gasket
Fasteners: PCS Polymer Coated Stainless Steel Hardware
Ingress protection: IP66
Impact resistance: IK09
Corrosion resistance: SCE
Windage: 0.130 m²

Electrical description

Power supply: Integral (ECG) LED driver in 120-277V
Driver / Ballast: Integral EC electronic converter
Power factor: > 0.9

Additional information

Lifetime: T₉₀25°/40° L70B50 > 50000h
Listings: ETL, UL-1598, CSA-C22.2/250.0 Suitable for Wet Locations



ZAT430-FT LED
Street and Area Lighting

Configurations

Light distribution	Part ID	Light source	Rated lumens	Rated input power	CRI	Weight
[CS] type V-shape	115-1646	LED-F12W(2700K)	1456.5	14 W	80	17.0
	115-1647	LED-F12W(3000K)	1555.1	14 W	80	17.0
	115-1648	LED-F12W(4000K)	1638.5	14 W	80	17.0
	115-1649	LED-F17W(2700K)	2226.4	20 W	80	19.97
	115-1652	LED-F17W(3000K)	2072.2	27 W	80	17.0
	115-1653	LED-F17W(4000K)	2201.2	27 W	80	17.0
	115-1654	LED-F12W(4000K)	3237.7	27 W	80	17.0
	115-1658	LED-F12W(2700K)	1274.6	14 W	80	17.0
	115-1659	LED-F12W(3000K)	1360.9	14 W	80	17.0
	115-1660	LED-F12W(4000K)	1433.9	14 W	80	17.0
symmetric distribution [CS]	115-1661	LED-F17W(2700K)	1948.4	20 W	80	55.10
	115-1664	LED-F17W(3000K)	2688.6	27 W	80	17.0
	115-1665	LED-F17W(4000K)	2901.4	27 W	80	17.0
	115-1666	LED-F12W(4000K)	2920.9	27 W	80	17.0
rectangular [SC]	115-1881	LED-F12W(2700K)	1468	14 W	80	19.97
	115-1884	LED-F12W(3000K)	2096.6	27 W	80	19.97
	115-1974	LED-F17W(2700K)	2244.1	20 W	80	19.97
	115-2082	LED-F17W(2700K)	4678.4	42 W	80	19.97

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customersupport.usa@we-eef.com - https://we-eef.com/us
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Subject to technical changes and errors - Generated on 07/02/2024

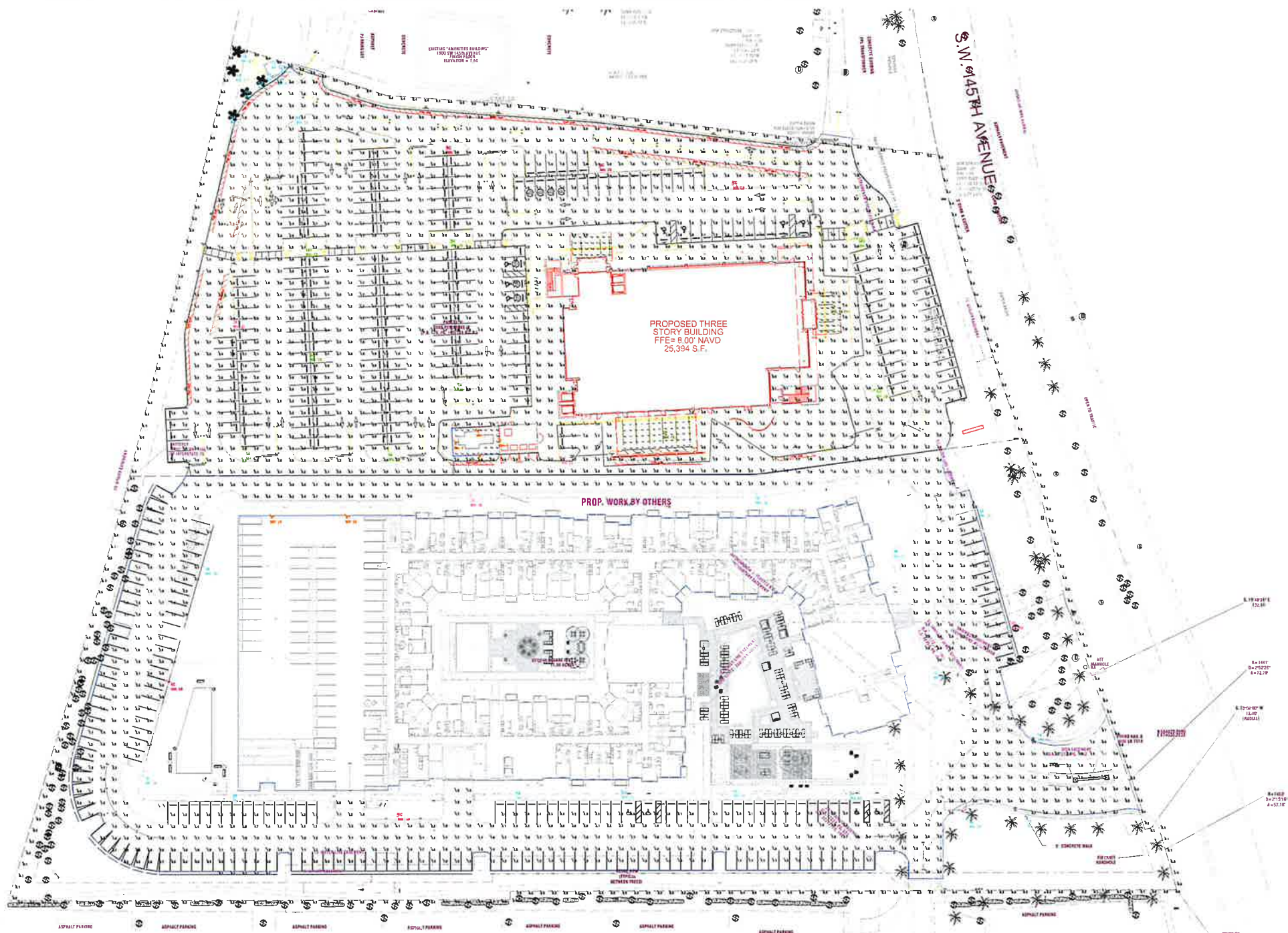


Revision	Revision Dates
1	DRC RESUBMITTAL 04-15-2024
2	DRC RESUBMITTAL 04-15-2024
3	DRC RESUBMITTAL 07-05-2024

SITE PLAN SUBMITTAL SET
THE EDISON APARTMENTS
PEMBROKE PINES, FLORIDA

Sheet Description	LIGHTING SPECIFICATIONS
Release Date	09-01-2023
Project Number	2124/2305
Drawing Number	L-510
Sheet 11 of 11	

DESIGN INTENT ONLY.
CONTRACTOR TO VERIFY AND COORDINATE ALL DETAILS WITH ARCHITECT, STRUCTURAL, AND MEP PRIOR TO FABRICATION AND INSTALLATION.



PARCEL ID:
PEMBROKE PINES #14
FA 14-11-10-00-A
ORANGE GROVE #01 ST04
FACILITY FOR P.E. USE, P.L.
11 11 17 S.E.C.A.
CONSTRUCTION SUBJECT P.E.D. 0.
43172, AC 521, S.C.E.

PROPOSED THREE
STORY BUILDING
FFE= 8.00' NAVD
25,394 S.F.

PROP. WORK BY OTHERS

NOISE CONT.
OFFICIAL
MINUTE TRUCKS

POINT OF RECORDING
FOR THE
CORNER
OF PARCEL "B"

SPG HOTELS L.L.S
"PEMBROKE PINES GARDEN"
HOTEL
PLAN WITH "V" AND "P" FOR
RESPECTIVE "V" AND "P" LOCATIONS

Equipment Schedule

Project: B_14_2024_BHSF_PEMBROKE PINES & EDISON APARTMENTS - SITE - REV12

Symbol	Qty	Label	Arrangement	Lot Location	Lot	Land Use Area	Total Area	Description
[Symbol]	14	CP	Single	1527	0.000	14	252	METALWORKER [M1000]-1/4"X 1/4" (A-B) [SHOW IN APT SECTION]
[Symbol]	4	603	Single	2281	0.000	24	84	W/4-EP [EP120-40 (L2)-(W-2)X2]
[Symbol]	8	603	Single	2087	0.000	21	126	W/4-EP [EP120-40 (L2)-(W-2)X2]
[Symbol]	8	5A	Single	19113	0.000	210	1050	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	8	5A1	Single	19193	0.000	140	140	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	8	5A2	Back-Rack	19118	0.000	210	420	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	8	5A3	Back-Rack	19193	0.000	140	280	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	18	5B	Single	19181	0.000	140	2520	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	8	5C	Single	19177	0.000	140	240	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	4	5D	Single	19143	0.000	140	140	VIDEORECORD [A1_5-750-200-40-000] POLE MOUNT 30' AP
[Symbol]	4	5E	Single	2353	0.000	14	56	VIDEORECORD [A1_5-750-200-40-000]
[Symbol]	8	5F	Single	12331	0.000	105	840	VIDEORECORD [A1_5-750-200-40-000]

Calculations Summary

Project: B_14_2024_BHSF_PEMBROKE PINES & EDISON APARTMENTS - SITE - REV12

Label	Calc-Type	Watts	App	Max	Min	Avg	Max/W	Min/E
EAST CORRIDOR - BUSP	Displacement	Ft	13.31	18.8	8.5	1.40	1.70	0
LABORATOR EXCLUSIVE - BUSP	Displacement	Ft	7.31	11.8	6.8	1.97	2.53	0
SOUTH CORRIDOR - BUSP	Displacement	Ft	15.83	16.1	8.0	1.27	1.70	0
PARK & DRIVE - COCCO LPTS	Displacement	Ft	2.08	6.8	0.5	4.12	17.00	0
PROPERTY LIME - BUSP	Displacement	Ft	6.38	0.5	0.1	0.80	0.00	N.A.
PROPERTY LIME - COCCO LPTS	Displacement	Ft	6.33	0.8	0.0	N.A.	N.A.	N.A.
SOUTH CORRIDOR - BUSP	Displacement	Ft	16.83	18.7	8.1	1.82	2.42	0
PARK & DRIVE - BUSP	Displacement	Ft	0.11	8.0	0.5	6.27	12.00	0

Scale: 1 inch= 40 Ft.

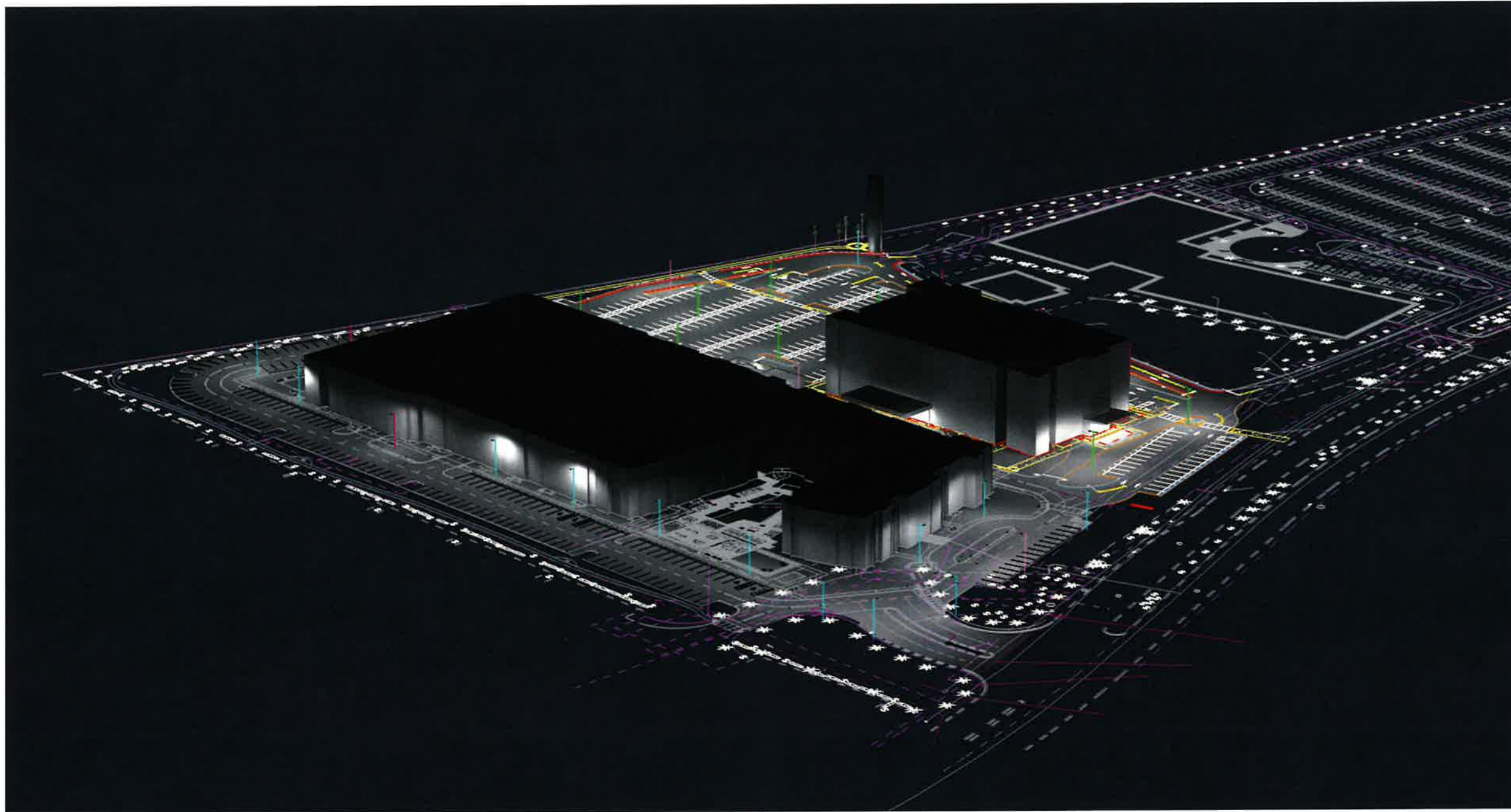
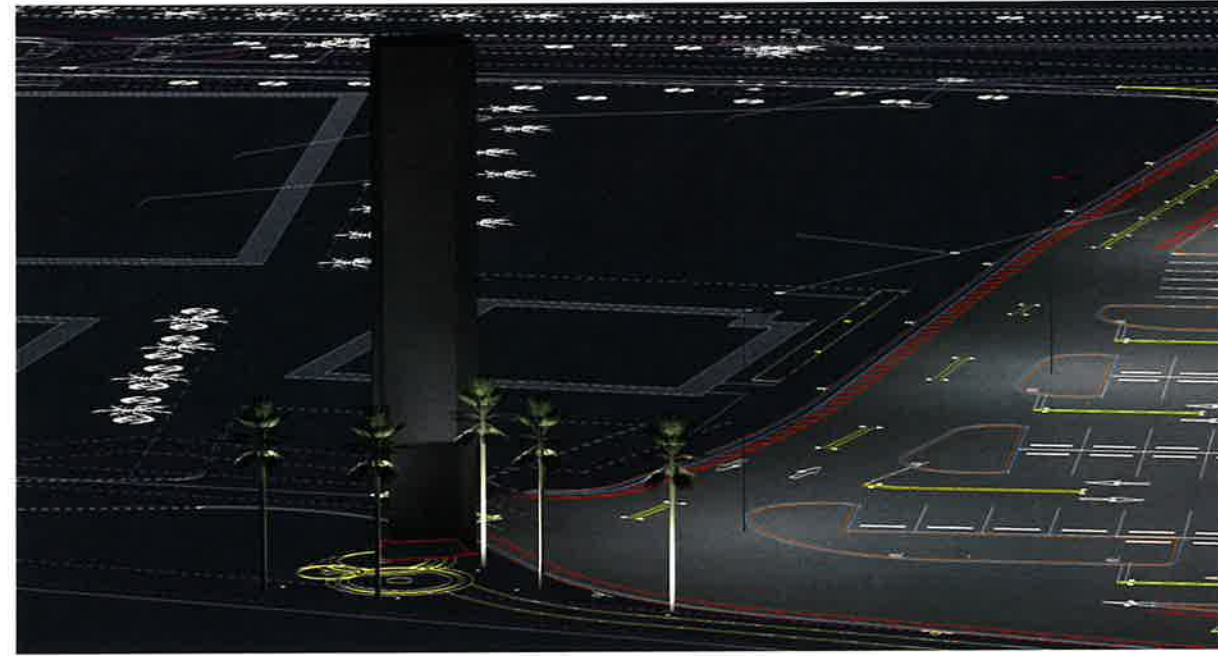


Disclaimer:
SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures.
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)
In general, SESCO Lighting considers numerical studies to be predictive in nature and not a guarantee of performance. Actual field performance may vary or deviate from the predicted performance based on the design, installation, or operation. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: Peter Farinas
Office: Ft. Lauderdale
Contact: (305) 219-0799
Photometrics: L. Zemanian

**BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11**

Date: 9/11/2024



**BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11**

Date:9/11/2024

Sales Rep: Peter Farinas

Office: Ft. Lauderdale

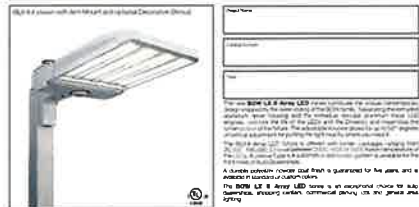
Contact: (305) 219-0799

Photometrics: L. Zemanian

Disclaimer: SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures.
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lumping, recoverable and non-recoverable light loss factors, etc.)
In general, SESCO Lighting considers numerical studies to be predictive in nature and not a guarantee of performance. All specifications, drawings, or proposals. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.



BLX-II ARRAY LED Specifications



Ordering Information

MODEL	OPTICS	LUMENS	KEELPS	VOLTAGE	WARRANTY	FINISH	OPTIONS
BLX-II-1	T1	720	2K	120V	5Y	Black	PCB-120
BLX-II-2	T2	1440	4K	120V	5Y	Black	PCB-240
BLX-II-3	T3	2160	6K	120V	5Y	Black	PCB-360
BLX-II-4	T4	2880	8K	120V	5Y	Black	PCB-480
BLX-II-5	T5	3600	10K	120V	5Y	Black	PCB-600

VISIONAIRE LIGHTING
VL 174-182 (REV 11/22)

V-Source-II LED Specifications



Ordering Information

MODEL	OPTICS	SOURCE	CURRENT	KEELPS	VOLTAGE	WARRANTY	FINISH	OPTIONS
VSC-II-1	T1	18.2	3	200mA	120V	5Y	Black	PCB-120
VSC-II-2	T2	36.4	6	400mA	120V	5Y	Black	PCB-240
VSC-II-3	T3	54.6	9	600mA	120V	5Y	Black	PCB-360
VSC-II-4	T4	72.8	12	800mA	120V	5Y	Black	PCB-480
VSC-II-5	T5	91.0	15	1000mA	120V	5Y	Black	PCB-600

VISIONAIRE LIGHTING
VL 174-183 (REV 11/22)

RAIL 4 RM4DOD
OUTDOOR, LED, RECESSED, DIRECT

PERFORMANCE SUMMARY @ 2500K

Light Output	1.2	1.2	1.2
Beam Spread	45°	45°	45°
Mounting Height	10'	10'	10'

OTHER RAIL WET SERIES PRODUCTS

ORDERING LOGIC

Example Part Number: RM4DOD-T1-200-120V-5Y-Black-PCB-120

ai Metalumen

Utilities Structures, Inc.
PO Box 5303
2700 Evans Ave.
Fort Myers, FL 33901

US140TIIJ-11688

Distressed Concrete Pole

- Pole Weight: 3,280lbs
- Wind Speed: 170mph Vail
- Exposure: "C"
- Risk Category: II
- Wind Gust: 3 seconds
- SP Edition: 2023 FRC: 1500, 1620 HVHZ, 1608
- ASCE: 7-22
- Min. DR: Strength: 3,000#
- Concrete: 6,500psi @ 28 days
- Grid: Wire #6 Copper
- Strands: 500' @ 70% Ultimate + (4) 500' dormant
- Tenon: 2.315" x 5"

Select Structural LLC.
Ears Paradisa P.E.

2.315" OD x 5" H galv tenon
Tenon is grounded Internal of concrete via grounding clamp
30'
40'
Tapered cone
Hand Hole located 11" from pole butt
2" x 5" slots located 8" from butt of pole. Available prior to backfilling
Grade
12.84" x 4.8"

PROJECT:
This pole embedded 10' in to soils with an ultimate compressive strength of 3600psi is structurally adequate to resist the lateral wind loads of Structures Co. with the 4.8-inch size attached.

ETC130-G8 LED
Inground Luminaire



ETC LIGHTING USA, LLC
4150 Corporate Drive, 12066 Warrenville, IL 60556 | Phone: +1 724 742 0020
customersupport@etc-lighting.com | <https://www.etc-lighting.com>
Subject to technical change and errors. Last updated on 04/25/2024

we-ef

BHSF & EDISON APARTMENTS
PEMBROKE PINES, FL
SITE - REV11

Date: 9/11/2024

Sales Rep: Peter Farinas
Office: Ft. Lauderdale
Contact: (305) 219-0799
Photometrics: L. Zemanian

Disclaimer: SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures.
This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)
In general, SESCO Lighting considers numerical studies to be predictive in that they provide an estimate of what performance may be achieved based upon our understanding of the technical characteristics of the lighting system. However, expansion, consultation with the manufacturer, and, above all, common sense



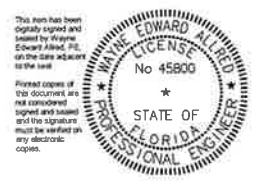
The Edison Apartments

Consultants:

Revisions:

No.	Date	Description
11.13.23		SITE PLAN SUBMITTAL

Seal

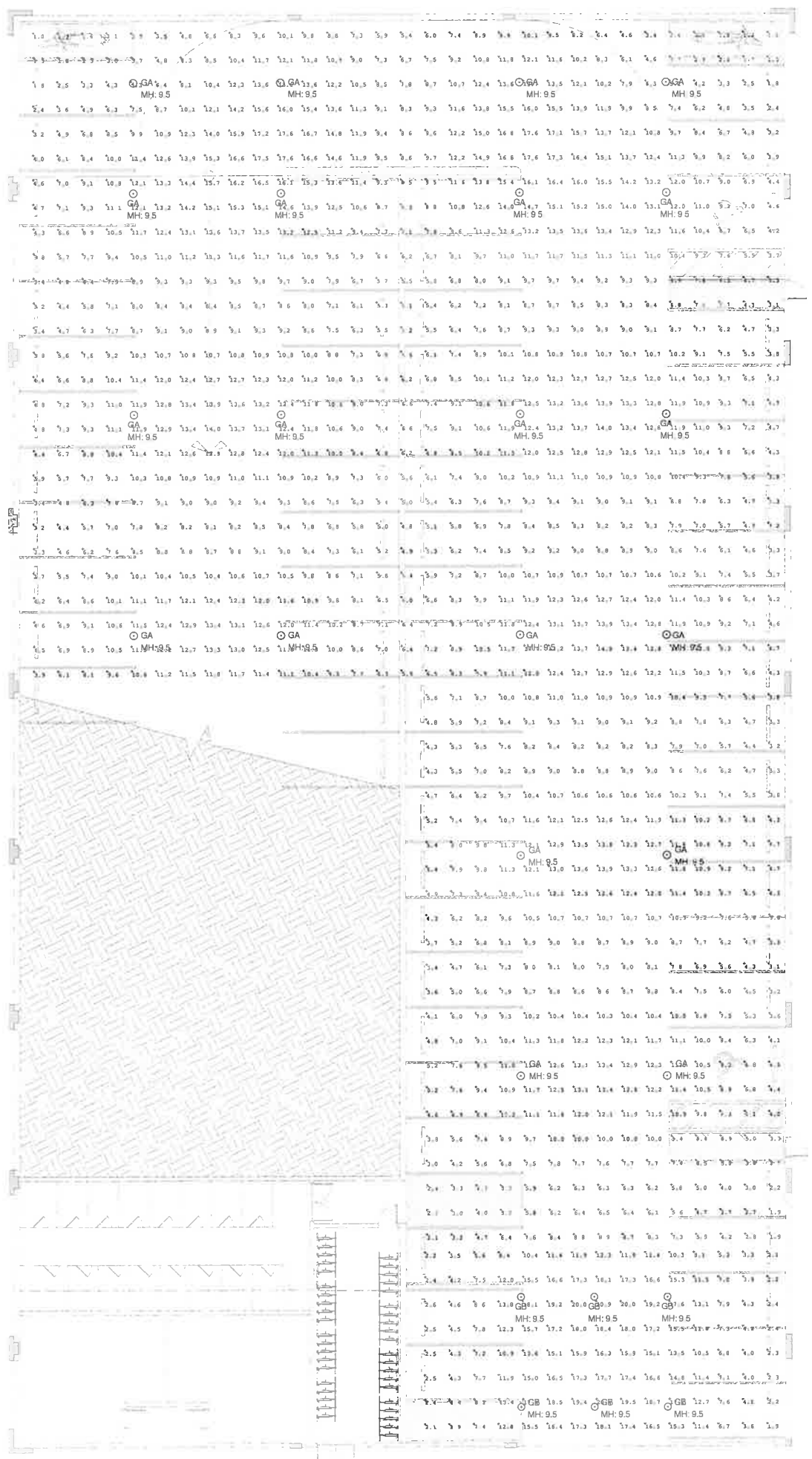


Project No.:	121089
Issue Date:	11.13.23
Drawn By:	HLN
Approved By:	WEA
Scale:	3/32" = 1'-0"
Drawing Title:	PARKING GARAGE LEVEL 1 - PHOTOMETRICS
Drawing No.:	E111

Symbol	MANUFACT	Qty	Label	Description	LLF	Lum. Wals	Lum. Columns
⊙	Urban Lighting	33	MA	VCP4 LED 25 40X 120 W/OUT PM ALUMINUM FINISH, SUSPENDED TO FLUSH WITH BOTTOM OF JOIST	1.00	88.14	1084
⊙	Urban Lighting	8	GB	VCP4 LED 25 40X 120 W/OUT PM ALUMINUM FINISH, SUSPENDED TO FLUSH WITH BOTTOM OF JOIST	1.00	33.96	449

Landscape Lighting Calculation Summary							
Color	Quantity	Watts	Volts	Max	Min	W/M2	W/M2
White LED Flood	100000	75	120	17.6	1.0	3.90	17.6
Spotlight	75	110	20.9	1.9	1.90	11.0	11.0

PARKING GARAGE LEVEL 1 - PHOTOMETRICS
3/32" = 1'-0"



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Consultants:

Revisions:		
No.	Date	Description
11.13.23		SITE PLAN SUBMITTAL

Seal

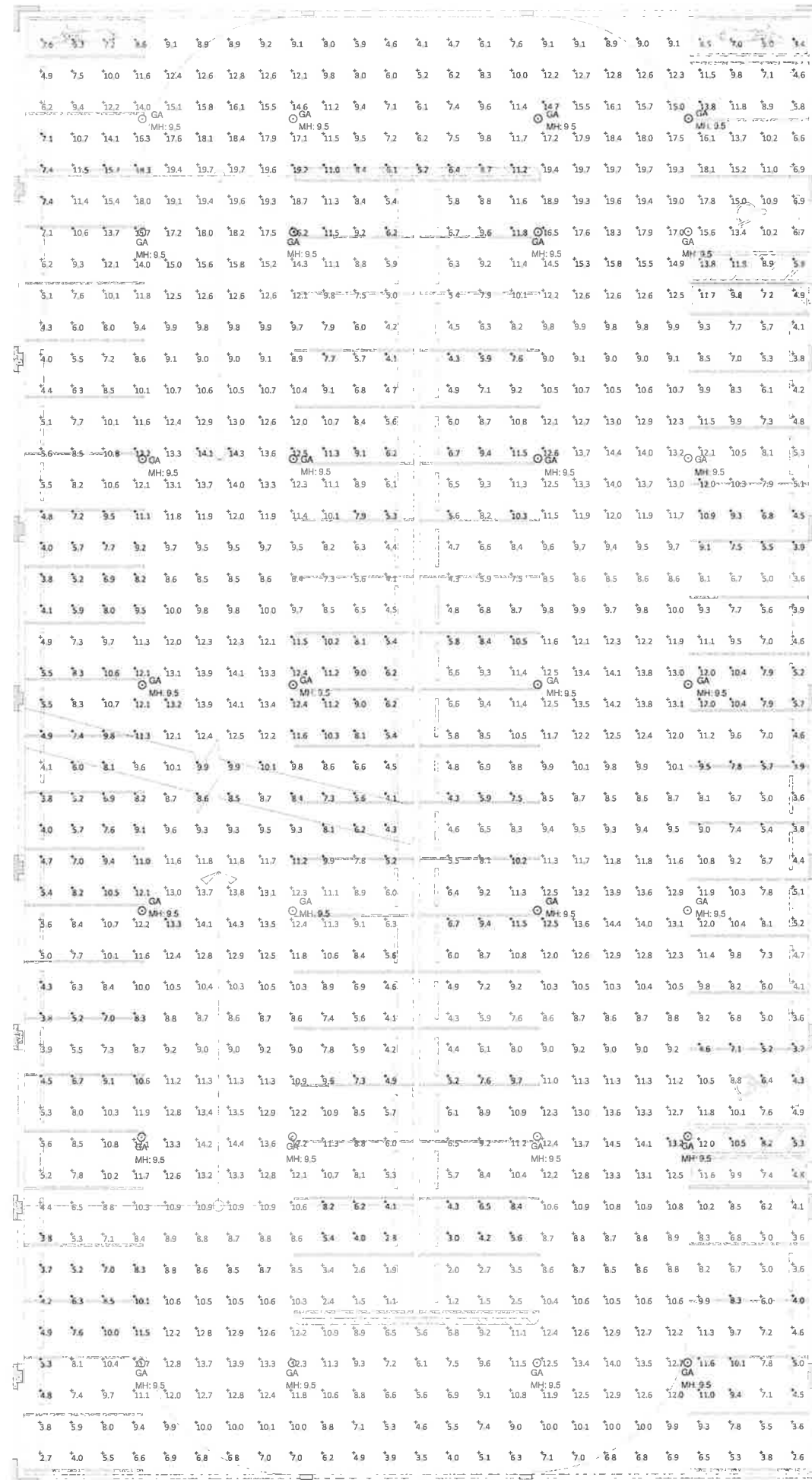


Project No.: 121089
Issue Date: 11.13.23
Drawn By: HLN
Approved By: WEA
Scale: 3/32" = 1'-0"

Drawing Title:
**PARKING GARAGE
LEVEL 2-5 (TYPICAL) -
PHOTOMETRICS**

Drawing No.:

E112



Landscape Lighting Luminaire Schedule						
Symbol	(MANUFACT)	Qty	Label	Description	LLF	Lum. Watts
○	Arco Lighting	28	GA	VICOR LED FS-40K 12W 12VOLT IP65 POLYCARBONATE FINISH, SUSPENDED TO FLUSH WITH BOTTOM OF JOIST	1.000	80.14

Landscape Lighting Calculation Summary						
Label	Category	Units	Avg	Max	Min	Asp/Mnt
SCENE LABEL TYPE	WATTAGE	70	11.4	16.5	9.3	1.2

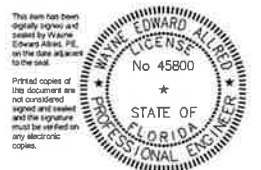
PARKING GARAGE LEVEL 2-5 (TYPICAL) - PHOTOMETRICS
3/32" = 1'-0"

Consultants:

Revisions:

No.	Date	Description
11.13.23		SITE PLAN SUBMITTAL

Seal

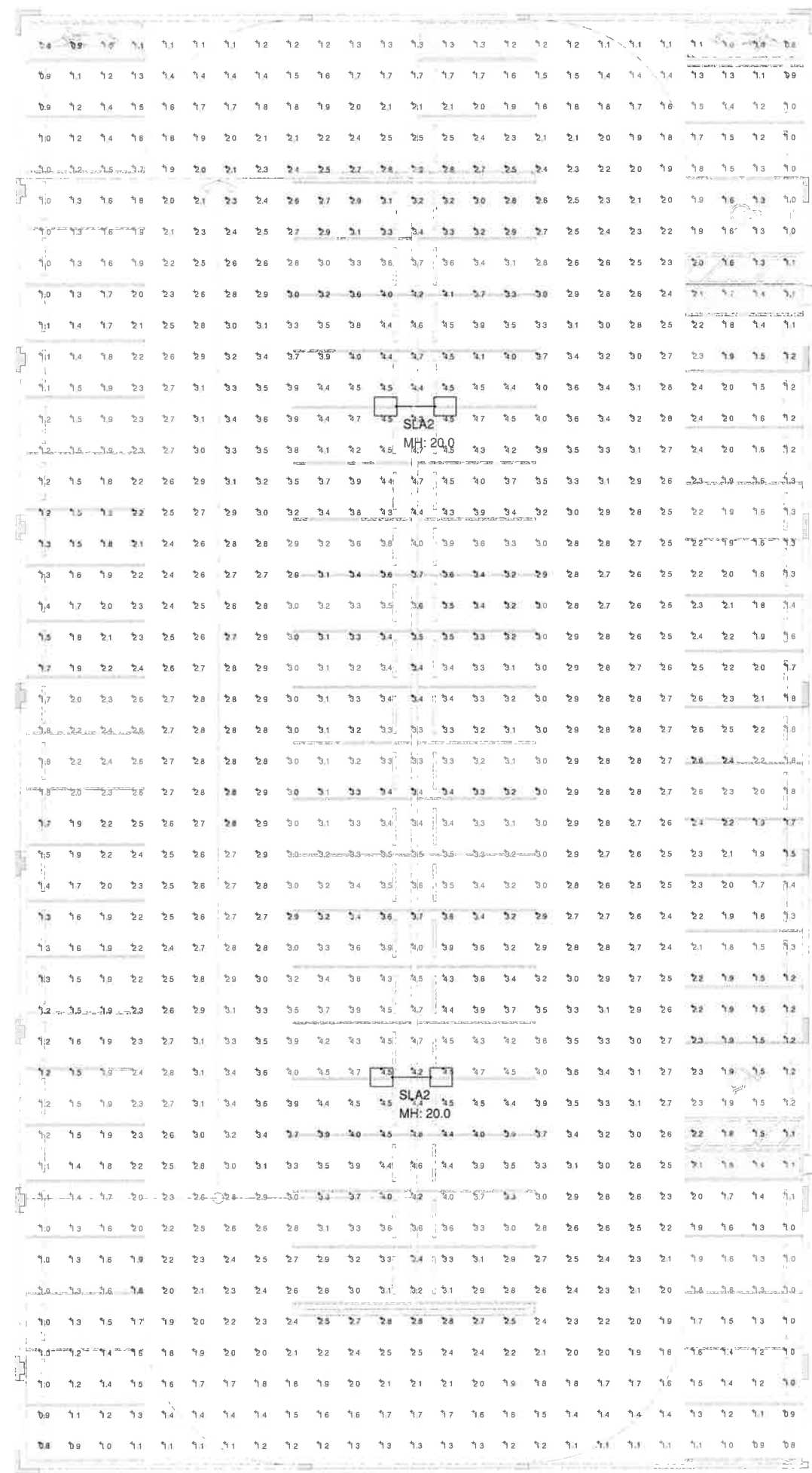


This seal has been digitally signed and sealed by Wayne Edward Alford, P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Project No.: 121089
Issue Date: 11.13.23
Drawn By: HLN
Approved By: WEA
Scale: 3/32" = 1'-0"

Drawing Title:
**PARKING GARAGE
LEVEL 6 -
PHOTOMETRICS**

Drawing No.: E113



Symbol	MANUFACT	Qty	Label	Description	LED	Lum. Watts	Lum. Lumens
□	Custom Lighting	2	SLA2	2500 LED P1 40X 100X 15W MACUL RPA/STAR2 FWH FROST T80, POLE MOUNTED @ 20' AFF	Y	150 W	21000

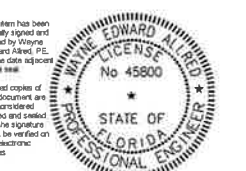
Room	Area	Footcandle	Watts	Wattage	Wattage	Wattage	Wattage
est floor garage	1400	2.5	3500	3500	3500	3500	3500

The Edison Apartments

Consultants:

Revisions:

Table with 3 columns: No., Date, Description. Row 11: 11.13.23, SITE PLAN SUBMITTAL.



Project No: 121089

Issue Date: 11.13.23

Drawn By: HLN

Approved By: WEA

Drawing Title: LIGHTING FIXTURE CUTSHEETS

Drawing No: E804

Lighting fixture cutsheet for Parking Garage. Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage Entrance. Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage (GA). Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage (GB). Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

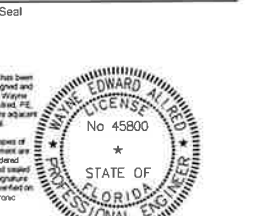
Lighting fixture cutsheet for Parking Garage. Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage Entrance. Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage (GA). Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Lighting fixture cutsheet for Parking Garage (GB). Includes photos of the fixture, Performance Data table, Up-Light Lumen Output table, Lumen Multiplier for 80CRI table, Electrical Load table, Projected LED Lumen Maintenance table, Motion/Ambient Sensor Default Settings table, Mounting Options & Accessories, Features & Specifications, and Installation notes.

Table with 3 columns: No, Date, Description. Row 1: 11-13-23 SITE PLAN SUBMITTAL



Project No: 121089 Issue Date: 11.13.23

Drawn By: HLN Approved By: WEA Scale:

Drawing Title: LIGHTING FIXTURE CUTSHEETS Drawing No: E805

D-Series Size 0 LED Area Luminaire product page. Includes specifications (EPA: 0.44 ftc, Length: 2x 18", Width: 14.06", Height H1: 2.28", Height H2: 7.40", Weight: 23 lbs), ordering information table, and accessories list.



Ordering Information for D-Series Size 0 LED Area Luminaire. Includes accessories, external glare shield, house side shield, tonen mounting slipfitter, and detailed specifications for the DSXO Area Luminaire - EPA.



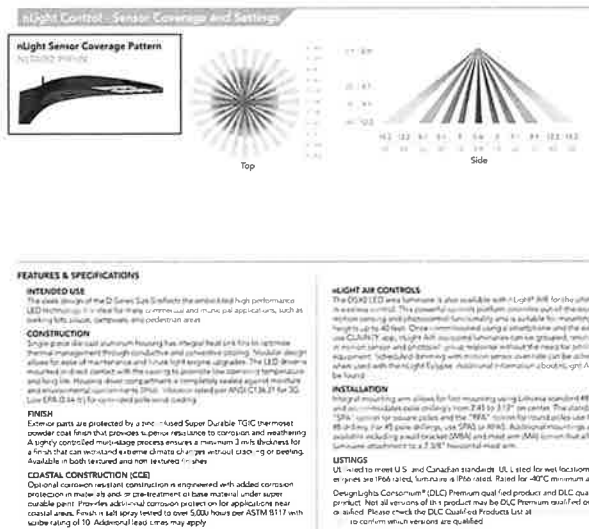
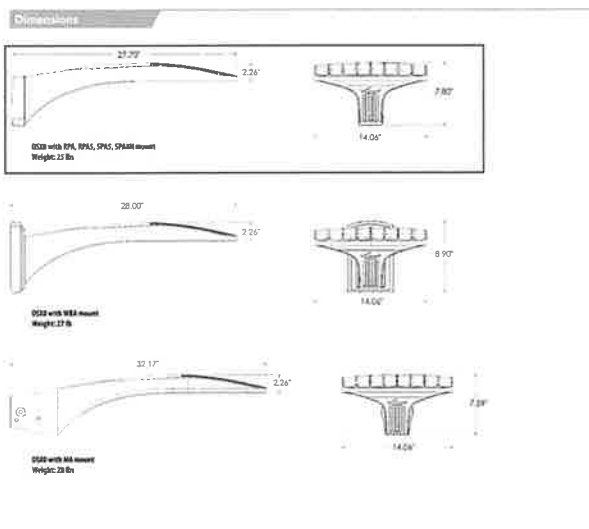
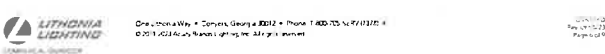
Photometric Diagrams. Includes a grid of beam spread diagrams for various beam angles (10°, 15°, 20°, 30°, 40°, 50°, 60°, 70°, 80°, 90°).



Performance Data. Includes tables for Lumen Ambient Temperature (LAT) Multipliers, Electrical Load, Projected LED Lumen Maintenance, LED Color Temperature / Color Rendering Multipliers, FAO Dimming Settings, Motion Sensor Default Settings, and Controls Options.



Performance Data table showing Lumen Output vs. Beam Angle (10° to 90°) and Mounting Height (10' to 20').



LAND DESCRIPTION - TPA GROUP
MULTI-FAMILY

THAT PORTION OF PARCEL 'A' OF "DUKE PEMBROKE 'B'", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 179, PAGES 100-101 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID PARCEL 'A';
 THENCE NORTH 90°00'00" WEST, ALONG THE SOUTH LINE OF SAID PARCEL 'A', A DISTANCE OF 566.88 FEET;
 THENCE SOUTH 0°00'00" WEST, A DISTANCE OF 7.00 FEET;
 THENCE NORTH 90°00'00" WEST, A DISTANCE OF 425.37 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'A', BEING A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 7,874.44 FEET, AND WHOSE CENTER BEARS NORTH 72°37'49" WEST FROM SAID POINT;
 THENCE NORTHERLY AND TO THE LEFT, ALONG THE WEST LINE OF SAID PARCEL 'A', THROUGH A CENTRAL ANGLE OF 2°43'42", AN ARC DISTANCE OF 374.97 FEET;
 THENCE NORTH 90°00'00" EAST, A DISTANCE OF 528.35 FEET;
 THENCE NORTH 82°29'27" EAST, A DISTANCE OF 230.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 145 AVENUE;
 THENCE SOUTH 19°48'26" EAST, A DISTANCE OF 43.77 FEET;
 THENCE SOUTH 12°54'54" EAST, A DISTANCE OF 100.00 FEET;
 THENCE SOUTH 19°48'26" EAST, A DISTANCE OF 132.61 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1,441 FEET;
 THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 2°52'26", AN ARC DISTANCE OF 72.28 FEET;
 THENCE NORTH 73°04'00" EAST, RADIAL TO THE PRECEDING COURSE A DISTANCE OF 12.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 1,453 FEET;
 THENCE SOUTHERLY AND TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 2°15'16", AN ARC DISTANCE OF 57.18 FEET TO THE POINT OF BEGINNING.
 (THE PRECEDING SIX (6) COURSES BEING ON THE WEST RIGHT-OF-WAY LINE OF S.W. 145th AVENUE)

SAID LAND SITUATED, LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA, CONTAINING 314379.26 SQUARE FEET (7.22 ACRES), MORE OR LESS.

MULTI-FAMILY BOUNDARY SURVEY

SURVEYORS NOTES:

- 1.) THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 2.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- 3.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 4.) EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR REPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OF INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WETLANDS, ROADWAYS OR STREETS, PROPOSED USES, HISTORICALLY SENSITIVE LAND ARCHEOLOGICALLY SENSITIVE LANDS, OR RIGHT OF ACCESS.
- 5.) NO WETLAND MARKERS WERE OBSERVED BY THE UNDERSIGNED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
- 6.) BENCHMARK REFERENCE - BROWARD COUNTY ENGINEERING DEPT. B.M. #3700
- 7.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 8.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- 9.) FLOOD INSURANCE RATE MAP PANEL 12011C0705 SUFFIX H
 MAP DATE: AUGUST 18, 2014
 CITY OF PEMBROKE PINES, FL COMMUNITY NUMBER 120053
 FLOOD ZONES FOR THIS PROPERTY: AH BASE EL 5
 AH BASE EL 4, AND;
 ZONE X - NO BASE ELEVATION



LOCATION MAP
NOT TO SCALE

SURVEY CERTIFICATION:

TO: PEMBROKE 145 OFFICE, LLC
 PEMBROKE 2 OWNER, LLC
 BAY POINT CAPITAL PARTNERS II, LP
 FIRST AMERICAN TITLE INSURANCE COMPANY



STEPHEN K SEELEY Digitally signed by
 Date: 2024.05.03
 08:00:41 -04'00'

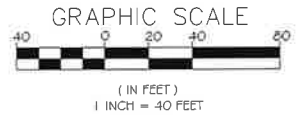
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN K SEELEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NOTES

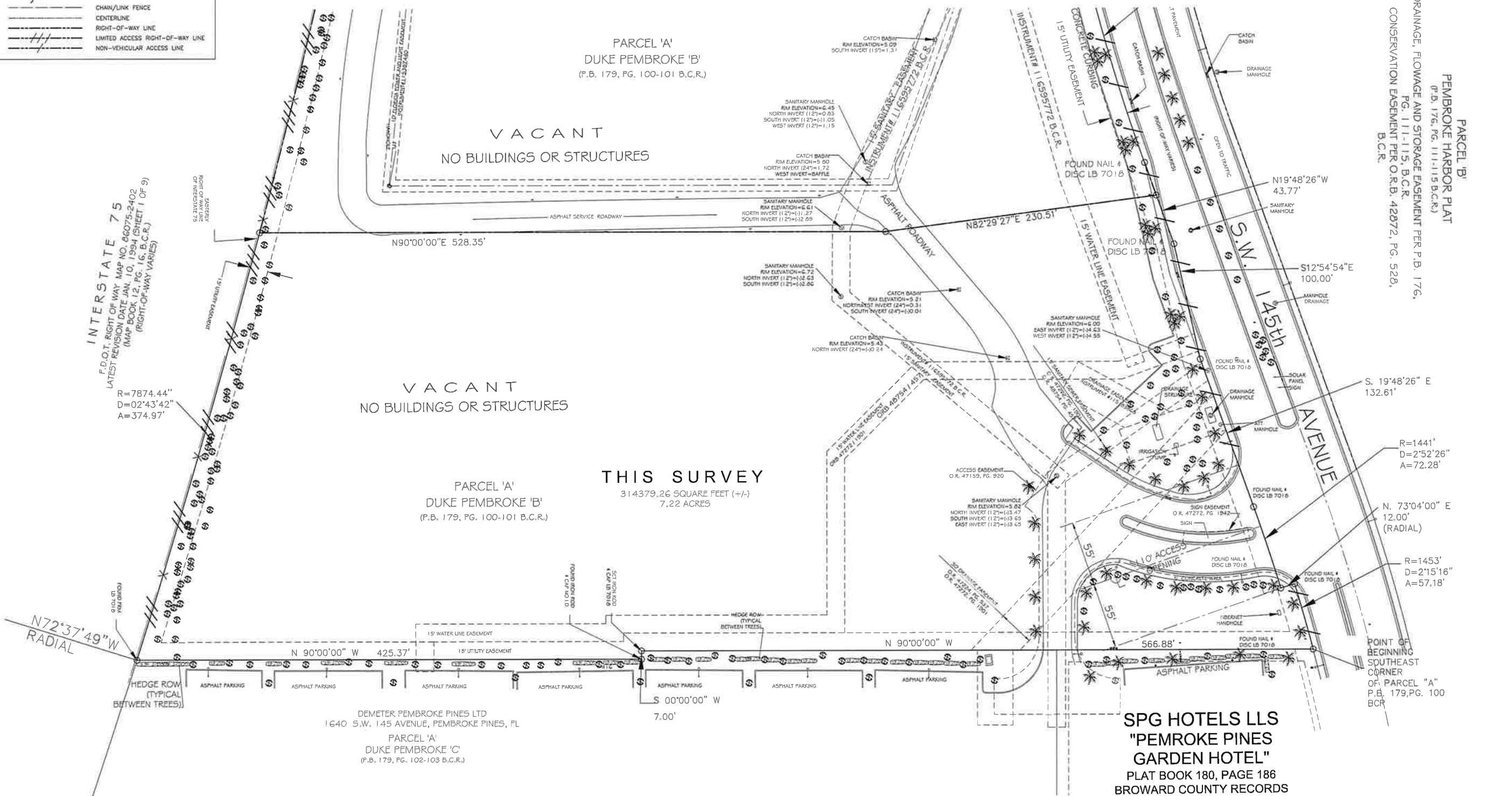
- 1) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE REJECTED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 2) NORTH ARROW RELATIVE TO EAST ALONG THE NORTH LINE OF PARCEL 'A' DUKE PEMBROKE 'B' PER PLAT.
- 3) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

REVISION	DATE	BY	MULTI-FAMILY BOUNDARY SURVEY			STEPHEN K. SEELEY, FOR THE FIRM PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574	GIBBS LAND SURVEYORS 2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018
			JOB #: RN9331	DATE: 04-30-24	DRAWN BY: CM		
			SCALE: 1"=100'	SHEET 1 OF 2	CHECKED BY: SKS		
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER							

MULTI-FAMILY BOUNDARY SURVEY



- ELECTRIC BOX
- BACKFLOW PREVENTOR
- SIAMESE CONNECTION
- BOLLARD
- METAL LIGHT POLE
- GATE VALVE
- WATER METER
- FIRE HYDRANT ASSEMBLY
- MANHOLE - SEE SURVEY
- CATCH BASIN
- CONCRETE POWER POLE
- ANCHOR/GUY WIRE
- CONCRETE LIGHT POLE
- TRAFFIC SIGN POST
- TREE
- HEDGE
- PALM
- CHAIN/LINK FENCE
- CENTERLINE
- RIGHT-OF-WAY LINE
- LIMITED ACCESS RIGHT-OF-WAY LINE
- NON-VEHICULAR ACCESS LINE



REVISION	DATE	BY

MULTI-FAMILY BOUNDARY SURVEY		
JOB #: RN9331	DATE: 04-30-2024	DRAWN BY: CM
SCALE: 1"=40'	SHEET 2 of 2	CHECKED BY: SKS
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER		

GIBBS LAND SURVEYORS	
2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018	