



City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	June 27, 2019	Application ID:	SP 2019-06
Project:	Diversified Aviation Phase IIA	Project Number:	PRJ 2019-08
Project Planner:	Joseph Yaciuk, Planning Administrator		
Owner:	Cary Goldberg	Agent:	Barranco Gonzalez Architecture
Location:	North of Pembroke Road and west of Southwest 72 Avenue		
Existing Zoning:	A-1 (Limited Agricultural)* (Existing Airport)	Existing Land Use:	Transportation
Reference Applications:	SP 2011-18, ZV 2011-50, SP 2012-12, SP 2014-23		
Applicant Request:	Amending a previous site plan to allow for the construction of two new Hangars to replace three previously approved and unbuilt hangars.		
Staff Recommendation:	Approval, subject to the applicant providing LED lighting fixtures that do not exceed 3000k Correlated Color Temperature (CCT) in compliance with City of Pembroke Pines lighting code.		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director:  Planning Administrator: 		

Project Description / Background

Cary Goldberg, agent for Diversified Companies., submitted a development application to amend a previously approved site plan for the subject Diversified Aviation site generally located north of Pembroke Road and west of Southwest 72 Avenue on North Perry Airport. The applicant contemplates the construction of two new airplane hangars to replace three previously approved and un-built T-hangars with associated parking, landscape, traffic circulation, lighting, and signage.

The Planning and Zoning Board previously approved the following applications for this site:

- Variance Application (ZV 2011-50) – November 10, 2011 meeting approved a parking variance for the site.
- Site Plan Application (SP 2011-18) – January 26, 2012 meeting approved the construction of airplane hangars / offices, a pilot office, fuel and plane wash and associated signage, traffic circulation, parking, and landscaping to be built in three phases.
- Site Plan Amendment Application (SP 2012-12) – September 27, 2012 meeting approved various modifications Hangar design changes and hangar additions to previously approved plan (SP 2011-18).
- Site Plan Amendment Application (SP 2014-23) – Various modifications to phase 2 and 3 hangars and the addition of the Broward College Aviation building to phase 2 (total 14 buildings over the three phase project).

To date, only the phase 1 buildings (Buildings #1, 2,,3, 4, 13) and the Broward College Building (Phase 2 – Building #14) of the approved three phase project have been constructed. The subject site plan amendment will only amend the building and site plan for phase 2 as depicted on the plan.

Phase 3 (Former Border Patrol site at south east corner of airport) will not be built as previously approved. The applicant will be required to submit a new site plan for phase 3 at a later date once a new plan is finalized.

BUILDINGS / STRUCTURES:

The applicant proposes two hangar buildings to be located to the north of the existing Broward College Aviation building. Both metal hangar buildings will be positioned parallel to the Broward College facility. The southernmost building (Hangar #5) will be 16,407 square feet in size where the northern building (Hangar #6) will be 16,711 square feet. Both buildings will be 24'-4" in height (highest point) and are designed to look similar architecturally. Hangar #5 will contain three hangar bays with associated office facilities. Hangar #6 will contain five hangar bays and associate office areas. The applicant proposes the following color selections for the buildings which match the colors of the existing Broward College building:

- Base Color – Snow White, Samovar Silver
- Standing Seam Metal Roof – Harbor Blue
- Canvas and Metal Awnings – Tricorn Black
- Swing Hangar Metal Doors – Snow White
- Entry Doors – Glass / Slate Gray Metal Frames

ACCESS:

Access to this site will be through existing driveways along airport road. No off-site roadway changes are proposed as a result of this application.

PARKING:

The applicant proposes 60 parking spaces on site. Phase 1, 2 and 2A provide for 134 parking spaces where 134 are required based on use.

SIGNAGE:

Signage will be required to comply with the Uniform Sign Plan which was approved in the original site plan submittal.

LANDSCAPING:

Landscape for the amended site consists of the following:

- Installation of 50 trees, 18 palms, and 1,009 shrubs is proposed on the property. Primary species of trees include Japanese Blueberry Tree and High Rise Live Oak. Primary species of palms is Sabal Palm and Double Alexander Palm. Primary species of shrubs include Green Island Ficus and Burle Marx.

OTHER SITE FEATURES:

The proposed parking areas will be illuminated by a series of full cut off LED fixtures mounted upon 20 feet high foot high tapered concrete poles. Additional lighting will be located on the buildings at varying heights (10 feet, 16 feet, and 23 feet). All LED fixtures must be 3000K or less Correlated Color Temperature (CCT) per Section 116 of the Code of Ordinances.

Staff has reviewed the proposed changes and finds that the proposal meets code requirements. Staff therefore recommends approval of this application subject to the applicant providing LED lighting fixtures that do not exceed 3000k Correlated Color Temperature (CCT) in compliance with City of Pembroke Pines lighting code.

Enclosed:

Site Plan Application
Email from SBDD (6/20/19)
Memo from Zoning Administrator (6/19/19)
Memo from Planning Division (6/18/19)
Memo from Fire Prevention Bureau 6/12/19)
Memo from Environmental Services (6/12/19)
Memo from SBDD (6/6/19)
Memo from Fire Prevention Bureau 6/5/19)

Memo from Landscape Planner (6/4/19)
Memo from Planning Division (5/30/19)
Site Plan
Subject Site Aerial Photo

MEMORANDUM

June 19, 2019

To: Joe Yaciuk
Planning Administrator

From: Dean A. Piper
Zoning Administrator

Re: SP 2019-06 (Diversified Aviation)

All of my comments regarding the above Miscellaneous Plan have been satisfied.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: June 18, 2019
To: SP 2019-06 file
From: Joseph Yaciuk, Planning Administrator
Re: Diversified Aviation

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

Staff recommends approval of this application subject to the applicant providing LED lighting fixtures that do not exceed 3000k Correlated Color Temperature (CCT) in compliance with City of Pembroke Pines lighting code.

Recommendations: N/A

DRC REVIEW FORM

PEMBROKE PINES FIRE RESCUE

FIRE PREVENTION BUREAU

FIRE PLANS EXAMINER BY: Sandra Lluís, Fire Marshal
(954) 499-9560

PROJECT NAME: Diversified Aviation at NPA – Ph. IIA

REFERENCE #: SP 2019-06

DATE REVIEWED: June 12, 2019

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

Site Plan review approved contingent the following:

1. COPP Engineering verification of:
 - a. Fire Hydrant installation on a minimum of an eight – inch looped water line in city rights-of-way or easement.
 - b. Turning Radius and T-Turn
 - c. All-weather driving surface to support the imposed load of fire apparatus weight a minimum of 32 tons.
2. BCAD review: Must provide a set of plans with BCAD's comments along with your response letter demonstrating where comments have addressed on final set of plans.
3. Must provide a detail of T-Turn demonstrating the type of pavement that will be provided support the fire apparatus. Detail must include striping as a fire lane. The fire lane must be provided with a method to prevent unwanted parking or storage. Acceptable method may be bollards and chain with FD Knox pad lock or similar. (Must be approved by our office.)
4. If fire hydrants are located within the wing span of aircrafts, you must provide a detail showing that the fire hydrants will clear aircraft wing span.
5. Must demonstrate that fire flow requirements for manual firefighting operations is met with the proposed fire hydrants. This must be provided by the engineer of record on company letterhead, signed and sealed.

NOTE to Fire: Proposed hanger type Group III Type II (000) – storage only.

**DRC REVIEW COMMENTS
CITY OF PEMBROKE PINES**

AGENCY: SOUTH BROWARD DRAINAGE DISTRICT
CONTACT: KEVIN HART, P.E. (954)680-3337

PROJECT NAME: Diversified Aviation at North Perry Airport –Phase IIA;
SP2019-06

DATE: 6/6/2019

**THE SITE PLAN FOR THE ABOVE-REFERENCED PROJECT HAS BEEN
REVIEWED BY THE DISTRICT AND THE FOLLOWING COMMENTS MUST
BE MET ADDRESSED/SATISFIED/NOTED:**

1. A Paving and Drainage Permit will be required from SBDD.
Response - Acknowledged
2. Provide drainage calculations to include:
 - Land Use breakdown
 - Pre-development/post-development analysis
 - Pre-treatment calculations
 - Flood routing calculations demonstrating that the parking lot is protected during the 10-year, 3-day storm and the buildings are protected during the 100-year, 3-day storm.Response - Drainage calculations will be submitted for review as part of the permit review.
3. Upon completion of the project, provide an overall drainage plan for the entire Diversified Aviation site.
Response - Acknowledged
4. Indicate the size of all proposed drainage structures in the SBDD permit set.
Response - Acknowledged
5. All new connections to existing drainage structures shall be core-drilled.
Response - Acknowledged
6. Verify that the existing manhole structure (proposed to be converted to a grate inlet) meets SBDD criteria for sumps and clearances taking into account the proposed new pipe connection.
Response - This will be verified as part of the permit review.
7. How is roof drainage being handled?
Response - This will be clarified as part of the permit review.
8. Include an Erosion Control Plan in the SBDD permit set.
Response - Acknowledged
9. Please note that portions of the existing drainage system may need to be cleaned upon completion of construction. To be determined in the field by SBDD's inspector.
Response - Acknowledged
10. Please note that Broward County (property owner) will be responsible for the

maintenance of the on-site drainage system.

Response - Acknowledged

11. Additional comments may be issued upon receipt of the final Paving & Drainage Plans and drainage calculations.

Response - Acknowledged

(REGARDLESS OF APPLICABLE COMMENTS, THE PETITIONER IS NOT EXEMPT FROM MEETING ALL STORMWATER MANAGEMENT REGULATIONS, STANDARDS AND PROCEDURES AS OUTLINED IN THE SBDD DESIGN CRITERIA MANUAL DATED MAR. 26, 2015.)

(ALL STANDARD COMMENTS WILL BE GIVEN TO THE PETITIONER ON A SEPARATE HANDOUT. THE PETITIONER WILL ONLY BE REQUIRED TO RESPOND TO THE COMMENTS RAISED ON THE DRC REVIEW FORM.)

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU
FIRE PLANS EXAMINER BY: Sandra Lluís, Fire Marshal
PH: (954) 499-9560
EMAIL: slluis@ppines.com**

**PROJECT NAME: Diversified Aviation at NPA – Ph. IIA
REFERENCE #: SP2019-06
DATE REVIEWED: June 5, 2019**

ITEMS WHICH DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS:

This site plan was previously approved as part of SP2011-18 and SP2014-23. This site plan submittal eliminates buildings 8 thru 12 and replaces buildings 5, 6, & 7 for buildings 5 and 6 named Phase IIA.

Please address the following comments:

1. Has this revision been reviewed by BCAD? Provide BCAD's comments.
2. On page A101 show Fire Codes in effect: Florida Fire Prevention Code (FFPC) 6th edition with Broward County Amendments, which includes NFPA 101, 2015 edition, NFPA 1, 2015 edition, & State Statutes, 2018 edition. NFPA 409, 2011 edition, FBC 6th edition. (Adopted referenced publications found herein.)
3. Insufficient building data information provided on plans. On sheet A101, please declare Aircraft Hanger Classification Group Type and Construction Type on Plans. (NFPA 409: Chapter 4 and 5, 2011 Edition).
4. Declare on sheet A101 of strictly storage or will there be servicing of aircrafts as well.
5. Show fire hydrant placement on sheet A101.
6. Fire hydrant show on the north side of building 6 appears to be on the airside of the building; if so, provide detail of height clearance for aircraft wing span.
7. I am unclear if these buildings are to be provided with fire sprinkler systems. Page C5 has multiple references to fire sprinklers, fire department connections, and a DDCV detail, but yet Point of Service is not declared, and FDC & DDCV placement not shown. If a sprinkler system is not required in accordance with NFPA 409, please remove references or indicate not used.
8. Dead end fire department access roads in excess of 150 feet in length shall be provided with approved provision for the fire apparatus to turn around. See the north side of building 6. Please address. NFPA 1: 18.2.3.4.4.
9. Fire flow requirements for buildings not provided. Please demonstrate how fire flow requirements are met in accordance with NFPA 1: 18.4.

For questions with this review, please email Assistant Fire Marshal Daniel Almaguer at dalmaguer@ppines.com and you may copy me as well.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



June 12, 2019

PROJECT: *DIVERSIFIED AVIATION*

CITY REFERENCE NUMBER: *SP 2019-06/PRJ 2019-08*

**To: To: Joe Yaciuk, Planning Administrator
Planning and Economic Development Department**

**From: John L. England, P.E.
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046**

RECOMMENDATIONS:

As any remaining Environmental Services/Engineering Division 'DRC Comments' are related to "constructability" issues/items and/or plans/design clarifications, which can be addressed at Construction Permit, we hereby recommend the proposed project for 'Consideration' by the Planning and Zoning Board.

The issuance of any still remaining "constructability" and/or plans/design clarification related 'Comments' is being deferred to the Construction Permit phase and will be issued at that time as part of the plans review for permit.

NOTE that an Engineering Construction Permit is required for construction of the proposed project site related improvements. Submittal of appropriate signed and sealed plans/details and Plans Review Fee will be required, as a minimum, by the Environmental Services/Engineering Division for acceptance of the proposed project for initiation of the plans review for Construction Permit.

DRC REVIEW FORM

PEMBROKE PINES FIRE RESCUE

FIRE PREVENTION BUREAU

FIRE PLANS EXAMINER BY: Sandra Lluís, Fire Marshal
(954) 499-9560

PROJECT NAME: Diversified Aviation at NPA – Ph. IIA

REFERENCE #: SP 2019-06

DATE REVIEWED: June 12, 2019

**CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT
STANDARDS**

Site Plan review approved contingent the following:

1. COPP Engineering verification of:
 - a. Fire Hydrant installation on a minimum of an eight – inch looped water line in city rights-of-way or easement.
 - b. Turning Radius and T-Turn
 - c. All-weather driving surface to support the imposed load of fire apparatus weight a minimum of 32 tons.
2. BCAD review: Must provide a set of plans with BCAD's comments along with your response letter demonstrating where comments have addressed on final set of plans.
3. Must provide a detail of T-Turn demonstrating the type of pavement that will be provided support the fire apparatus. Detail must include striping as a fire lane. The fire lane must be provided with a method to prevent unwanted parking or storage. Acceptable method may be bollards and chain with FD Knox pad lock or similar. (Must be approved by our office.)
4. If fire hydrants are located within the wing span of aircrafts, you must provide a detail showing that the fire hydrants will clear aircraft wing span.
5. Must demonstrate that fire flow requirements for manual firefighting operations is met with the proposed fire hydrants. This must be provided by the engineer of record on company letterhead, signed and sealed.

NOTE to Fire: Proposed hanger type Group III Type II (000) – storage only.

Yaciuk, Joseph

Subject: FW: Diversified Aviation at NP Airport - Phase IIA; SP 2019-06

From: Kevin Hart [mailto:kevin@sbdd.org]

Sent: Friday, June 07, 2019 5:17 PM

To: Yaciuk, Joseph <jyaciuk@ppines.com>

Cc: Dennis Shultz <dshultz@flynnengineering.com>; Pam Walsh <Pam@SBDD.org>

Subject: RE: Diversified Aviation at NP Airport - Phase IIA; SP 2019-06

Joe,

Please be advised that the applicant has addressed SBDD's DRC comments on the site plan for this project.

A Paving & Drainage Permit will be required from SBDD and all District criteria will need to be met.

Thanks.

Kevin Hart, P.E., CFM

District Director

South Broward Drainage District

6591 Southwest 160th Avenue

Southwest Ranches, FL 33331

954-680-3337 (office)

e-mail: kevin@sbdd.org

MEMORANDUM

June 4th, 2019

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner/ Designer

Re: (SP2019-06/PRJ2019-08) Diversified Aviation

The City of Pembroke Pines Planning Division has conducted a landscape review for Diversified Aviation as per documents provided. The following items need to be addressed prior to this project being found in compliance:

1. As per City of Pembroke Pines Landscape Ordinance 153.03 (M)(4), "All trees shall be planned to ensure that there is adequate root and canopy space at maturity. Trees planted within ten feet of a paved surface or a form of infrastructure (determined to have an invasive root system) shall require an approved root barrier system."
2. Irrigation must be repaired/installed properly to ensure that all new and existing landscape material is properly being irrigated. A "wet-check" shall be done at time of final inspection to ensure all irrigation heads are working properly etc.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Kristen Jensen

Landscape Planner/Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) • kjensen@ppines.com
Please consider the environment before printing this email.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: May 30, 2019
To: SP 2019-06 file
From: Joseph Yaciuk, Planning Administrator
Re: Diversified Aviation

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Remove the word non-conforming from the site data table. You may write existing airport use.
2. Building signs do not appear to meet Uniform Sign Plan requirements. Please remove.
3. Provide light pole / fixture cut sheet. Include pole detail / height / material / color / light fixture details including illumination specs and fixture color. If LED fixtures to be used, maximum Correlated Color Temperature is 3,000K. All lights must be full cut off type.
4. Provide details of any attached building light fixture color / light fixture type. If LED fixtures to be used, maximum Correlated Color Temperature is 3,000K. All lights must be full cut off type.
5. Verify that all parking terminal islands contain at least 10 feet wide of green area.

Recommendations: N/A

SUBJECT SITE AERIAL PHOTO

DIVERSIFIED AVIATION

(SP 2019- 06)

(PRJ 2019-08)



LEGAL DESCRIPTION:

PHASE I

PARCEL "A"

A PARCEL OF LAND BEING A PORTION OF TRACT "A", NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 113, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST;

THENCE N.88°50'18"E., ALONG THE SOUTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4), A DISTANCE OF 1,612.29 FEET;

THENCE N.00°01'03"W., A DISTANCE OF 135.03 FEET, TO A POINT ON A LINE 135.00 FEET NORTH AND PARALLEL WITH THE SAID SOUTH LINE, SAID POINT BEING THE POINT OF BEGINNING;

THENCE N.00°01'03"W., A DISTANCE OF 654.95 FEET;

THENCE S.89°36'12"E., A DISTANCE OF 226.45 FEET;

THENCE S.00°00'00"E., A DISTANCE OF 601.02 FEET;

THENCE S.90°00'00"E., A DISTANCE OF 130.90 FEET;

THENCE S.00°00'00"E., A DISTANCE OF 55.66 FEET;

THENCE S.88°50'18"W., A DISTANCE OF 335.00 FEET;

THENCE N.01°09'42"W., A DISTANCE OF 10.00 FEET;

THENCE S.88°50'18"W., A DISTANCE OF 6.95 FEET, TO THE POINT OF BEGINNING;

SAID LAND SITUATE WITHIN NORTH PERRY AIRPORT, CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

AND

PARCEL "B"

A PARCEL OF LAND BEING A PORTION OF TRACT "A", NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 113, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST;

THENCE N.88°50'18"E., ALONG THE SOUTH LINE OF SAID NORTHEAST ONE-QUARTER (NE 1/4), A DISTANCE OF 1,612.29 FEET;

THENCE N.00°01'03"W., A DISTANCE OF 789.98 FEET;

THENCE S.89°36'12"E., A DISTANCE OF 342.67 FEET;

THENCE S.00°01'03"E., A DISTANCE OF 54.07 FEET; TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST; A RADIAL LINE OF SAID CURVE THROUGH SAID POINT HAVING A BEARING OF N.59°51'21"E.;

THENCE SOUTHEASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 32°22'23" AND A RADIUS OF 107.56 FEET FOR AN ARC DISTANCE OF 60.77 FEET TO A POINT ON A NON-TANGENT LINE;

THENCE N.89°59'52"E., A DISTANCE OF 74.30 FEET;

THENCE N.00°01'03"W., A DISTANCE OF 151.65 FEET, TO THE POINT OF BEGINNING;

THENCE N.89°36'12"W., A DISTANCE OF 302.03 FEET, TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE NORTHEAST;

THENCE WESTERLY, NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 89°31'49" AND A RADIUS OF 13.50 FEET FOR AN ARC DISTANCE OF 21.10 FEET, TO A POINT OF TANGENCY;

THENCE N.00°04'23"W., ALONG A LINE TANGENT TO THE LAST DESCRIBE CURVE, A DISTANCE OF 52.76 FEET;

THENCE N.89°59'52"E., A DISTANCE OF 315.48 FEET;

THENCE S.00°01'03"E., A DISTANCE OF 68.35 FEET, TO THE POINT OF BEGINNING;

SAID LAND SITUATE WITHIN NORTH PERRY AIRPORT, CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

AND

PARCEL "C"

A PARCEL OF LAND BEING A PORTION OF TRACT "A", NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 113, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.¼) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST;

THENCE N.88°50'18"E., ALONG THE SOUTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.¼), A DISTANCE OF 1,612.29 FEET;

THENCE N.00°01'03"W., A DISTANCE OF 828.72 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUE N.00°01'03"W., A DISTANCE OF 66.60 FEET;

THENCE ~~S.89°36'12"E.~~, A DISTANCE OF 38.93 FEET;

THENCE S.00°04'23"E., A DISTANCE OF 52.76 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE NORTHWEST;

THENCE SOUTHERLY, SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 89°31'49" AND A RADIUS OF 13.50 FEET FOR AN ARC DISTANCE OF 21.10 FEET TOT POINT OF TANGENCY;

THENCE S.89°27'25"W., ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE A DISTANCE OF 23.61 FEET TO THE POINT OF BEGINNING;

SAID LAND SITUATE WITH NORTH PERRY AIRPORT, CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA. CONTAINING 7.00 ACRES (305,218 SQUARE FEET), MORE OR LESS.

NEW PHASE 2

A PARCEL OF LAND BEING A PORTION OF TRACT "A", NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 113, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.¼) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST;

THENCE N.88°50'18"E., ALONG THE SOUTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.¼), A DISTANCE OF 1,612.29 FEET;

THENCE N.00°01'03"W. A DISTANCE OF 135.03 FEET, TO A POINT ON A LINE 135.00 FEET NORTH OF AND PARALLEL WITH THE SAID SOUTH LINE;

THENCE N.88°50'18"E., A DISTANCE OF 6.95 FEET;

THENCE S.01°09'42"E., A DISTANCE OF 10.00 FEET;

THENCE N.88°50'18"E., A DISTANCE OF 335.00 FEET;

THENCE S.89°06'37"E., A DISTANCE OF 15.06 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE S.89°06'37"E., A DISTANCE OF 166.38 FEET;

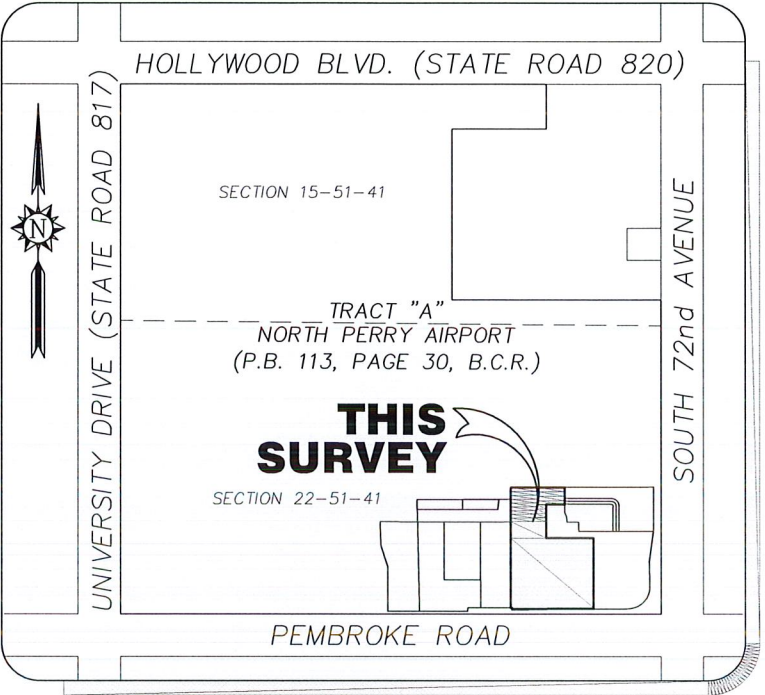
THENCE N.00°00'00"W., A DISTANCE OF 225.14 FEET;

THENCE S.90°00'00"W., A DISTANCE OF 297.25 FEET;

THENCE S.00°00'00"E., A DISTANCE OF 166.90 FEET;

THENCE S.90°00'00"E., A DISTANCE OF 130.89 FEET;

THENCE S.00°00'00"E., A DISTANCE OF 55.66 FEET TO THE POINT OF BEGINNING;



LOCATION MAP

(NOT TO SCALE)

CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 6283468 EFFECTIVE DATE MARCH 19, 2017 @ 11:00P.M., REVISED APRIL 3, 2017					
No.	Instrument Type	Description	Recording Data	Affects	Plotted
1-3	Standard Exceptions			Not Addressed	
4	Plat	All matters contained on the Plat of NORTH PERRY AIRPORT	Plat Book 113, Page 30 ORB 10597, Page 165 ORB 19758, Page 855 ORB 32919, Page 1206	YES	NOT BLANKET IN NATURE (EASEMENTS PER PLAT ARE SHOWN ON THE SURVEY)
5	Official Records Book	Covenants and Easements contained in Quit Claim Deed from the United States of America to Broward County, State of Florida	ORB 1064, Page 509 ORB 2294, Page 97 Instrument No. 113828371	YES	NO BLANKET IN NATURE
6	Official Records Book	Easement in favor of Florida Power & Light Company	ORB 5010, Page 467	YES	YES
7	Official Records Book	Easement in favor of Florida Power & Light Company	ORB 7844, Page 820	NO	NO
8	Official Records Book	Ordinance No. 82-75	ORB 10676, Page 650	YES	NO BLANKET IN NATURE
9	Official Records Book	Easement in favor of Broward County	ORB 15550, Page 88	YES	YES
10	Official Records Book	Indemnification Agreement	ORB 15550, Page 99	YES	YES
11	Official Records Book	Airport Canal Easement in favor of South Broward Drainage District	ORB 20627, Page 479	NO	NO
12	Official Records Book	Canal No. 1 Easement	ORB 20627, Page 485	NO	NO
13	Official Records Book	Perpetual Easement in favor of the State of Florida Department of Transportation	ORB 22909, Page 10	NO	NO
14	Official Records Book	South Broward Drainage District Resolution No. 2000-06	ORB 31125, Page 1113	YES	NO BLANKET IN NATURE
15	Official Records Book	Restrictions and Reservations contained in County Deeds	ORB 31563, Page 1773 ORB 32878, Page 1804 ORB 40210, Page 38	NO	NO
16	Official Records Book	License	ORB 40210, Page 38	NO	NO
17	Official Records Book	Unrecorded Lease between Broward County to Diversified Aviation, NP, LLC	ORB 50595, Page 1270 Instrument No. 113789983	YES	NO BLANKET IN NATURE
18	Official Records Book	Easement in favor of Florida Power & Light Company	ORB 50843, Page 139	YES	YES
19	Official Records Book	Utility Maintenance License	Instrument No. 113162959	YES	NO BLANKET IN NATURE
20	Official Records Book	Declaration of Covenants, Restrictions and Easements	Instrument No. 113798885	NO	NO BLANKET IN NATURE
21	Official Records Book	Terms, covenants, conditions and other matters contained in any unrecorded lease(s)	UNRECORDED		NOT A MATTER OF SURVEY

NEW PHASE 2A

A PARCEL OF LAND BEING A PORTION OF TRACT "A", NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 113, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER (N.E.¼) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST;

THENCE N.88°50'18"E., ALONG THE SOUTH LINE OF SAID NORTHEAST ONE-QUARTER (N.E.¼), A DISTANCE OF 1,612.29 FEET;

THENCE N.00°01'03"W. A DISTANCE OF 135.03 FEET, TO A POINT ON A LINE 135.00 FEET NORTH OF AND PARALLEL WITH THE SAID SOUTH LINE;

THENCE N.88°50'18"E., A DISTANCE OF 6.95 FEET;

THENCE S.01°09'42"E., A DISTANCE OF 10.00 FEET;

THENCE N.88°50'18"E., A DISTANCE OF 335.00 FEET;

THENCE S.89°06'37"E., A DISTANCE OF 181.44 FEET;

THENCE N.00°00'00"W., A DISTANCE OF 225.14 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE N.00°00'00"W., A DISTANCE OF 220.05 FEET;

THENCE S.90°00'00"W., A DISTANCE OF 297.25 FEET;

THENCE S.00°00'00"W., A DISTANCE OF 220.05 FEET;

THENCE S.90°00'00"E., A DISTANCE OF 297.25 FEET TO THE POINT OF BEGINNING;

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

2. THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCEL OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS. (2) THE LOCATION OF SURFACE IMPROVEMENTS WITHIN LIMITS SPECIFIED BY THE CLIENT.

3. THE BEARINGS SHOWN HEREON ARE BASED ON N.88°50'17"E., ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER (N.E. 1/4) OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 41 EAST, AS SHOWN ON THE PLAT OF NORTH PERRY AIRPORT, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 113, PAGE 30 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

4. THE STATE PLANE COORDINATES SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM OF 1983 WITH 1990 ADJUSTMENT (N.A.D. 1983/90).

5. THE ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988), ESTABLISHED FROM NATIONAL GEODETIC SURVEY BENCHMARK PID NO. AD2522 (APP), TOPOGRAPHIC STATION DISK SET ON TOP OF CONCRETE MONUMENT AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF RUNWAYS 9L-27R AND 18L-36R, ELEVATION= 6.080 FEET.

6. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.

7. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X AND ZONE AH 8, AS SHOWN IN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12011C0226 H, COMMUNITY NUMBER 120053, CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA. MAP EFFECTIVE DATE: AUGUST 18, 2014.

8. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.

9. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.

10. THE PROPERTY SHOWN HEREON MAY BE SUBJECT TO HEIGHT RESTRICTIONS, AVIATION EASEMENTS, RUNWAY PROTECTION ZONES, BUILDING RESTRICTION LINES OR OTHER MATTERS RELATING TO NORTH PERRY AIRPORT. FOR INFORMATION RELATING TO THE ABOVE, CONTACT THE BROWARD COUNTY AVIATION DEPARTMENT AND THE FEDERAL AVIATION ADMINISTRATION.

11. FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.

12. THIS FIRM HAS IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 3 CALIPER INCHES IN DIAMETER OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON. ORNAMENTAL PLANTS, HEDGES, IRRIGATION EQUIPMENT WERE NOT LOCATED OR SHOWN HEREON.

13. SUBSURFACE UTILITIES WERE MARKED ON THE GROUND BY WANTMAN GROUP, INC. STONER & ASSOCIATES IS NOT RESPONSIBLE FOR THE IDENTIFICATION, ACCURACY AND COMPLETENESS OF SAID MARKS. FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION OR EXCAVATION, CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (811 OR 1-800-432-4770) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.

14. STONER & ASSOCIATES, INC., DID NOT SEARCH THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

15. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REMOVED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A DIRECTLY FOR VERIFICATION OF ACCURACY.

16. THE HORIZONTAL AND VERTICAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.15'.

17. THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1/40 OR SMALLER.

18. THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.

19. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

20. THE PROPERTY AND EASEMENTS SHOWN HEREON ARE BASED UPON CHICAGO TITLE INSURANCE COMPANY, TITLE ORDER NO. 4609561, EFFECTIVE DATE, MARCH 19, 2017 AT 11:00 P.M., REVISED APRIL 3, 2017, (REVISION A). STONER & ASSOCIATES, INC., DID NOT SEARCH THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S REFERENCES:

1. PLAT OF NORTH PERRY AIRPORT, RECORDED IN P.B. 113, PG. 30, B.C.R.
2. STONER & ASSOCIATES, INC. PROJECT NO. 03-6414

CERTIFICATION

TO: DIVERSIFIED AVIATION NP, LLC, A FLORIDA LIMITED LIABILITY COMPANY
VALLEY NATIONAL BANK, ITS SUCCESSORS AND/OR ASSIGNS
BROWARD COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA
CHICAGO TITLE INSURANCE COMPANY
MOSKOWITZ, MANDELL, SALMI & SIMOWITZ, P.A.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

DATE OF SIGNATURE: 5/16/19

RICHARD G. CRAWFORD, JR.
PROFESSIONAL SURVEYOR AND MAPPER NO. 53711
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 6633
rcrowford@stonesurveyors.com

5/24/16	DRL	FORWARD SURVEY (F.B. 840, PG. 49)
11/04/15	DRL	BROWARD COLLEGE AVIATION SCHOOL #14
10/23/14	RGC	REVISED LEGAL DESCRIPTION AND BOUNDARY
8/19/14	DWS	PER NEW LEASE AREAS
7/24/14	RGC	PER NEW SITE PLAN
6/24/14	RGC	FINAL AS-BUILT SURVEY
5/24/14	RGC	REVISIONS TO SPOT SURVEY

TEL (954) 585-0997
FAX (954) 585-3927

STONER & ASSOCIATES, Inc.
SURVEYORS & MAPPERS
and Mapping Business No. 6833

4341 S.W. 62nd AVENUE, TOWN OF DAVIE, FLORIDA 33314

BOUNDARY SURVEY OF:
DIVERSIFIED AVIATION NP, LLC
NORTH PERRY AIRPORT
P.B. 113, PG. 30, B.C.R.
CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA

DATE OF SURVEY	8/19/14
DRAWN	DWS
CHECKED	RGC
BOOK/PAGE(S)	935/92, 840/92-93, 140/95-97, 940/92-93

SEAL
NOT VALID UNLESS
SEALED HERE WITH AN EMBOSSED
SURVEYOR'S SEAL

PROJECT
11-7651

SHEET NO.
1 OF 2

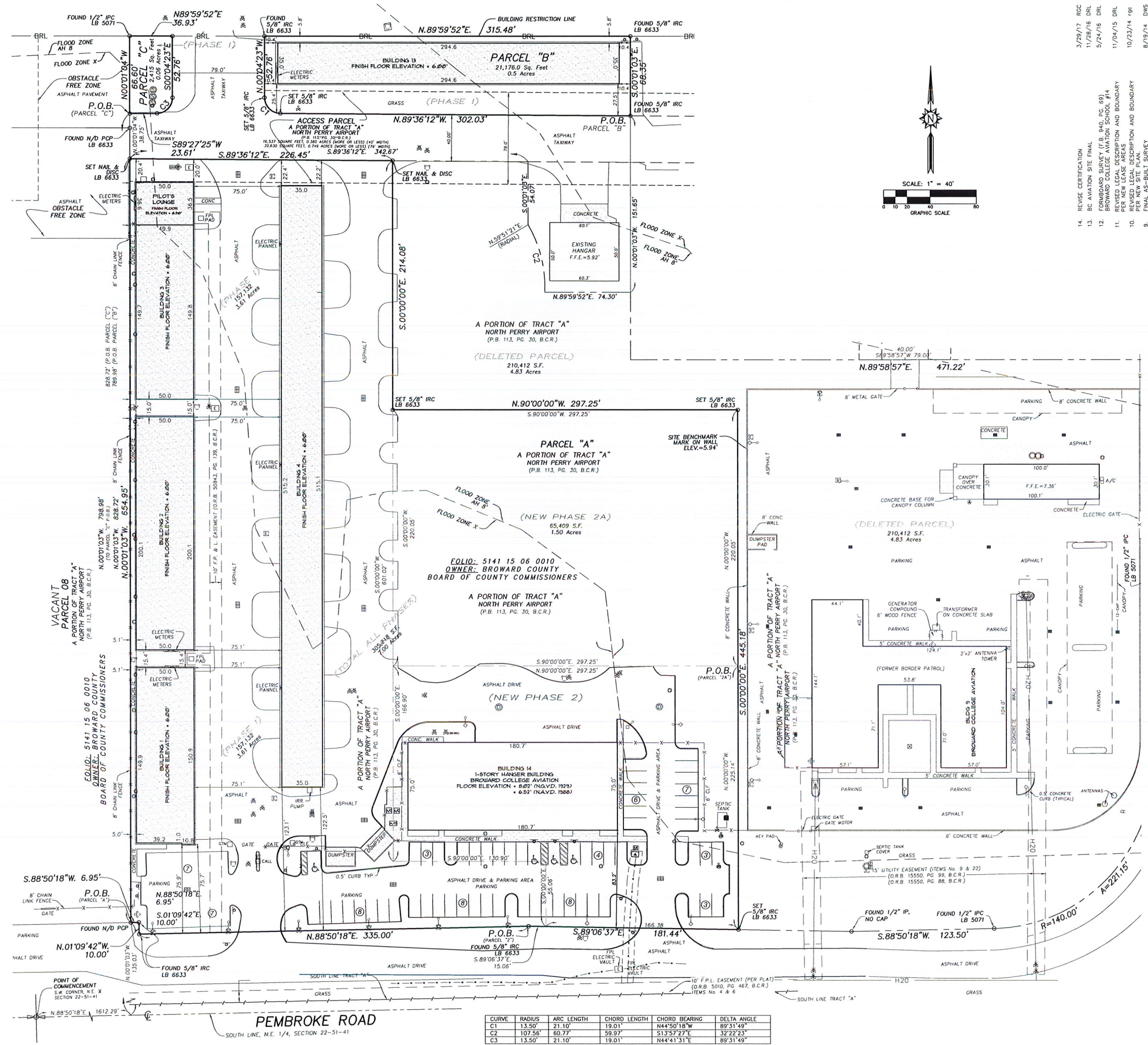
LEGEND:

- BACK FLOW PREVENTOR
- BOLLARD / GUARD POST
- CATCH BASIN
- CLEANOUT
- GATE MOTOR
- FIRE HYDRANT
- SANITARY SINKER MANHOLE
- WATER METER
- SIGN
- WATER VALVE
- ELECTRIC MRE PULL BOX
- HANDICAP PARKING SPACE
- BELLSOUTH RISER
- CONCRETE LIGHT POLE
- CALL BOX & KEY PAD
- BURIED STREET LIGHT WIRE
- BURIED ELECTRIC
- BURIED TELEPHONE
- WATER MAIN
- UNKNOWN UNDERGROUND UTILITY
- WATER LINE
- BREAK IN LINE SCALE
- CHAIN-LINK FENCE

ABBREVIATIONS:

- P.B.C.R. PALM BEACH COUNTY RECORDS
- B.C.R. BROWARD COUNTY RECORDS
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- P.G.(S) PAGE(S)
- L.B. LICENSED BUSINESS
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FND. FOUND
- ID. IDENTIFICATION
- PRM. PERMANENT REFERENCE MARKER
- IRC. IRON ROD AND CAP
- N/D. NAIL AND DISC
- R/W. RIGHT OF WAY
- FPL. FLORIDA POWER & LIGHT COMPANY
- FDOT. CENTERLINE
- FL. FLORIDA DEPARTMENT OF TRANSPORTATION
- (P). DATA SHOWN ON PLAT (BEARING AND DISTANCE; EASEMENT)
- (R). DATA PER LEGAL DESCRIPTION
- (C.T). PER CALCULATED FIELD TRAVERSE AND FIELD BOUNDARY SURVEY
- PVC. POLYVINYL CHLORIDE
- RCP. REINFORCED CONCRETE PIPE
- CWP. CORRUGATED METAL PIPE
- N.A.V.D. 88. NORTH AMERICAN VERTICAL DATUM

F:\Draw\02-Master\2012_blueprint.png



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	13.50'	21.10'	19.01'	N44°50'18\"W	89°31'49\"
C2	107.56'	60.77'	59.97'	S13°57'27\"E	32°22'23\"
C3	13.50'	21.10'	19.01'	N44°41'31\"E	89°31'49\"

- REVISE CERTIFICATION
- BC AVIATION SITE FINAL
- FORWARD SURVEY (F.B. 940, PG. 69)
- BROWARD COLLEGE AVIATION SCHOOL #14
- REVISED LEGAL DESCRIPTION AND BOUNDARY
- REVISED LEGAL DESCRIPTION AND BOUNDARY
- PER NEW SITE PLAN
- FINAL AS-BUILT SURVEY
- REVISIONS TO SPOT SURVEY
- SPOT SURVEY DUMPSTER
- SPOT SURVEY NEW HANGAR #13

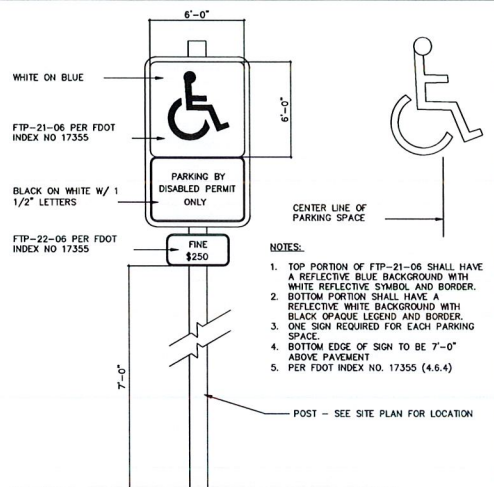
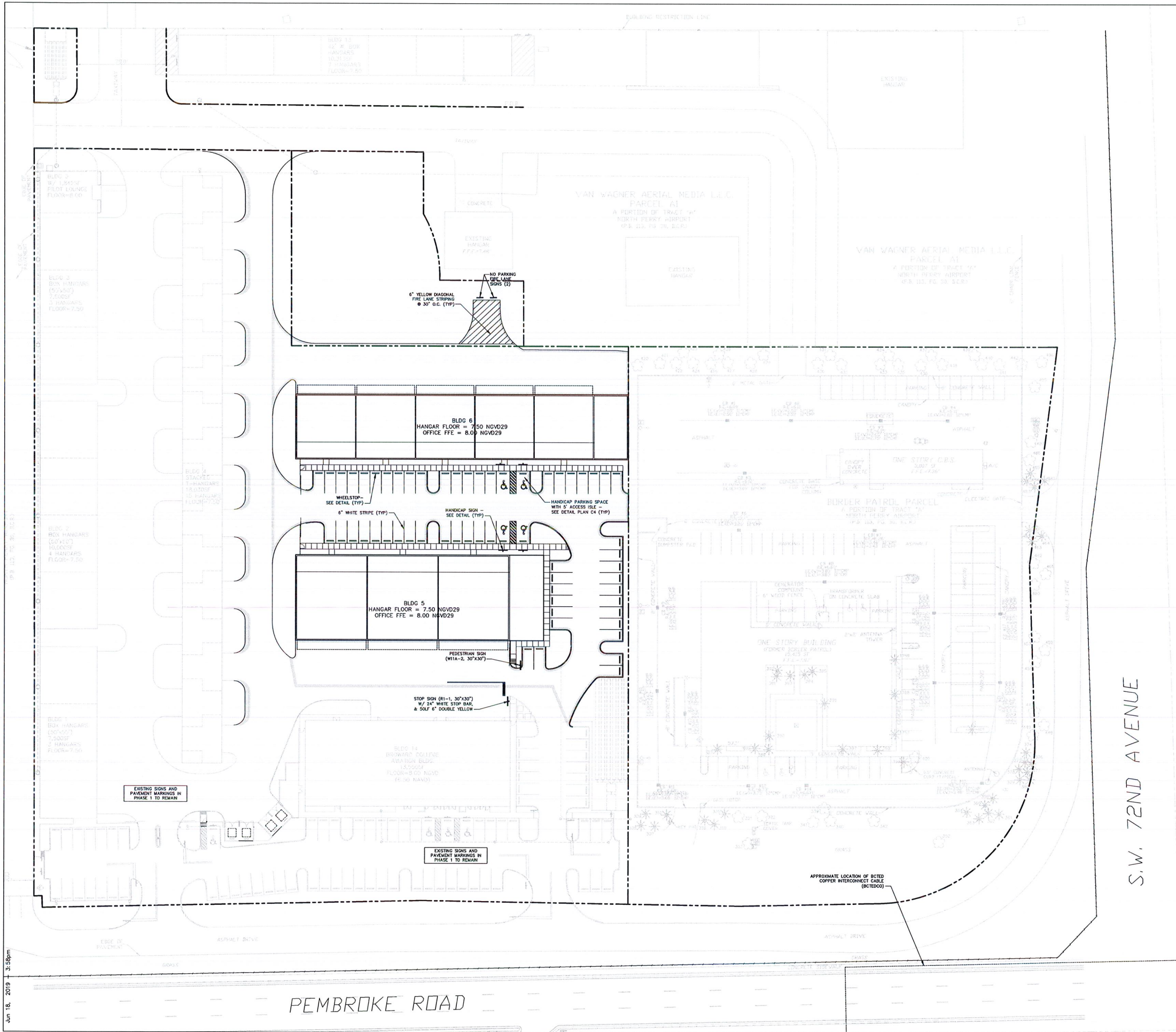
STONER & ASSOCIATES, INC.
SURVEYORS - MAPPERS
Florida Licensed Survey No. 6633
and Mapping Business No. 6633
4341 S.W. 62nd AVENUE TOWN OF DAVIE, FLORIDA 33314
TEL (954) 585-0957
FAX (954) 585-3927

BOUNDARY SURVEY
DIVERSIFIED AVIATION NP, LLC
NORTH PERRY AIRPORT
P.B. 113, PG. 30, B.C.R.
CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA

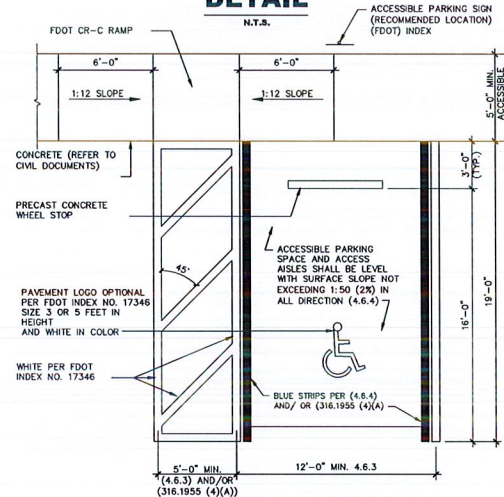
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BOOK/PAGES: 180/72-86
(O.R.B. 15550, PG. 99, B.C.R.)
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740/55-61, 940/62-63

PROJECT
11-7651

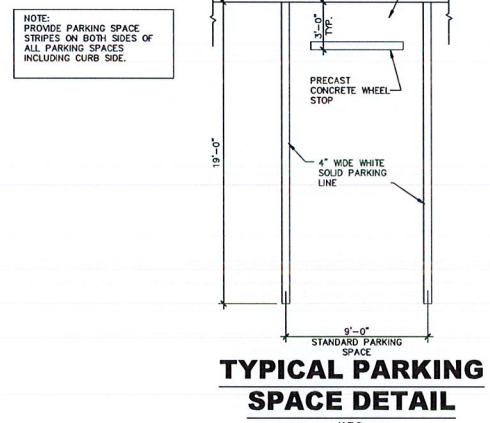
SHEET NO.
2 OF 2



HANDICAP SIGN DETAIL



HANDICAP PARKING SPACE DETAIL



PAVEMENT MARKING AND SIGNAGE NOTES:

1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (BCTED) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE 6" THERMOPLASTIC MATERIAL MEETING BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE 4" WHITE REFLECTORIZED PAINT MEETING BCTED STANDARDS.
3. ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ISLES, SIDEWALK CURB RAMP, RAMPS, AND ACCESSIBLE ROUTES MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, FIFTH EDITION, ACCESSIBILITY.
4. PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS INDEX NOS 17346 AND 17355.
5. ALL SIDEWALK CURBS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT DESIGN STANDARDS INDEX 304.
6. ANY PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING AND FDOT STANDARDS.
7. ALL SIGN POSTS SHALL BE BCTED STANDARD SQUARE POSTS.
8. ALL SIGNS SHALL BE MADE WITH TYPE XI SHEETING MATERIAL.
9. RPMs SHALL BE INSTALLED ACCORDING TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DETAIL SHEET AND INDEX 17352.

PAVEMENT MARKING & SIGNAGE PLAN

Sheet Title

DIVERSIFIED AVIATION NP PHASE 2A

NORTH PERRY AIRPORT
7201 PEMBROKE ROAD
PEMBROKE PINES, FLORIDA 33023

Job Title

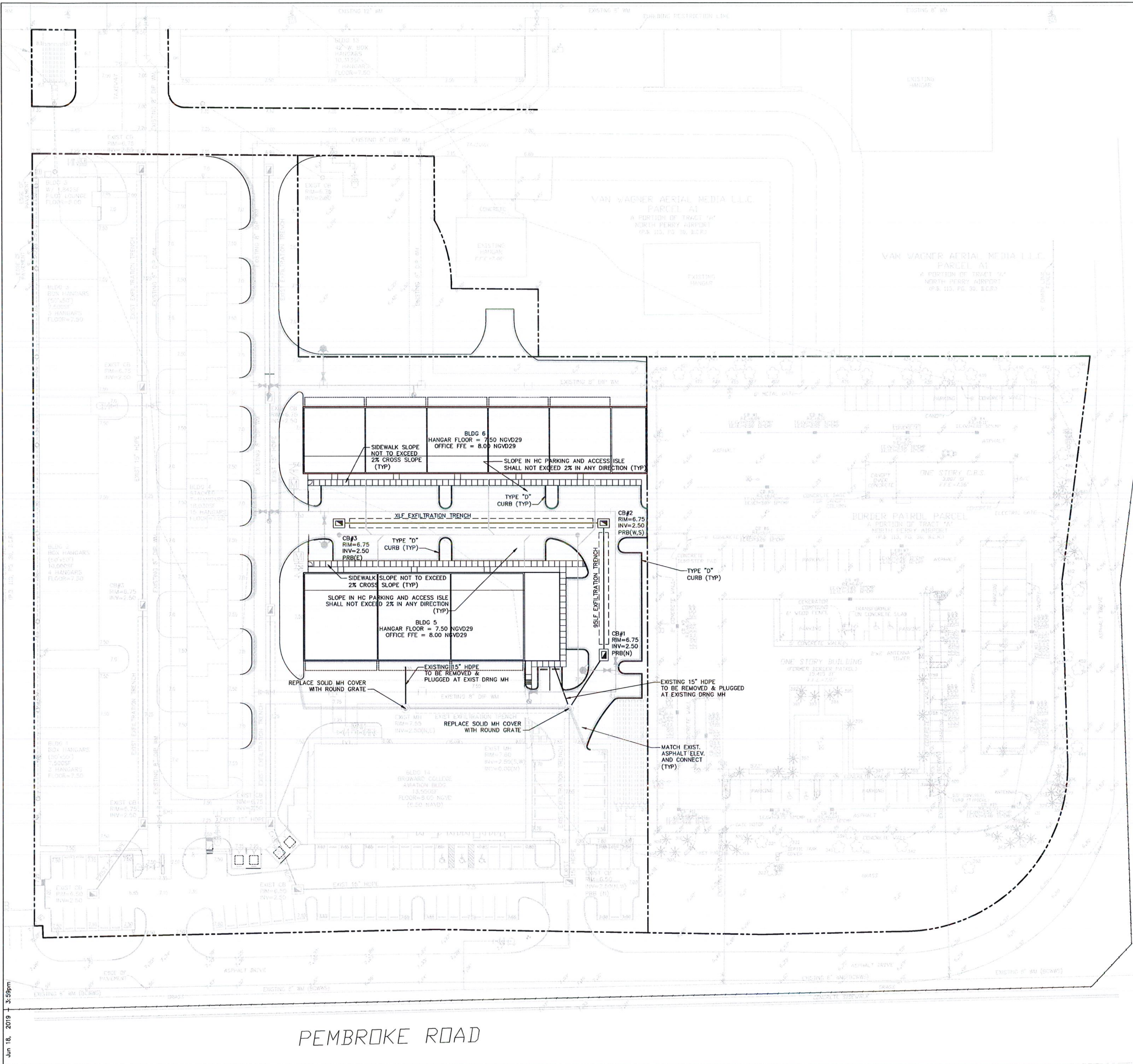


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PERMITTING
DOCUMENTS

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Appr. by DRS	1 of 5

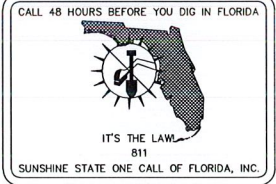
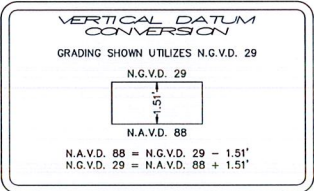


PAVING AND DRAINAGE GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PEMBROKE PINES.
- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- 3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
- 5. MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1.
- 6. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
- 7. ALL UTILITIES INCLUDING TELEPHONE, ELECTRICAL, CABLE, ETC. MUST BE INSTALLED UNDERGROUND.
- 8. DESIGN BASE FILE UTILIZED IS FLYNN ENGINEERING DESIGN FILE FOR DIVERSIFIED AVIATION PHASES 1 & 2.
- 9. ELEVATIONS SHOWN ARE NGVD 88 DATUM.

FLOOD ZONE "X". ELEV N/A NAVD
ON FIRM MAP #12086C0726H,
DATE 08/18/14 WITH LOMR 15-04-4500P
EFF 11/12/15.

PROPERTY IS IN SBDD BASIN S-1
BASIN CWE=2.50 NGVD / 1.0 NAVD
BASIN ROAD CROWN=6.5 NGVD / 5.0 NAVD
BASIN MIN FFE=8.0 NGVD / 6.5 NAVD



LEGEND:

- | | | | |
|------|--|-------------------------------|-----------------------------------|
| 0.00 | PROPOSED ELEVATION (NGVD) | - W - | WATER MAIN |
| 1.50 | EXISTING ELEVATION (NGVD) | - FM - | SANITARY FORCE MAIN |
| 1.50 | PROPOSED CATCH BASIN | VALVE | VALVE |
| 1.50 | PROPOSED PLUG | FIRE HYDRANT | FIRE HYDRANT |
| 1.50 | TEE | SIAMENSE CONNECTION | SIAMENSE CONNECTION |
| 1.50 | WATER METER | CLEANOUT | CLEANOUT |
| 1.50 | DOUBLE DETECTOR CHECK W/ WATER | EDGE OF NEW ASPHALT PAVEMENT | EDGE OF NEW ASPHALT PAVEMENT |
| 1.50 | CHECK VALVE ON DOWNSTREAM SIDE | ASPHALT PAVEMENT RESTORATION | ASPHALT PAVEMENT RESTORATION |
| 1.50 | REDUCED PRESSURE BACKFLOW PREVENTOR | DIRECTION OF SURFACE DRAINAGE | DIRECTION OF SURFACE DRAINAGE |
| 1.50 | DIRECTIONAL FLOW ARROW AND GRAVITY SEWER | SAMPLE POINT | SAMPLE POINT |
| 1.50 | PROPOSED MANHOLE | -W- | EXIST. WATER MAIN |
| | | XXX | EXIST. UTILITY LINE TO BE REMOVED |

FLYNN ENGINEERING

241 COMMERCIAL BVD., LAUDERDALE-BY-DE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
E# 6578

Sheet Title

PAVING & DRAINAGE PLAN

Job Title

DIVERSIFIED AVIATION NP
PHASE 2A

NORTH PERRY AIRPORT
7201 PEMBROKE ROAD
PEMBROKE PINES, FLORIDA 33023



Revisions

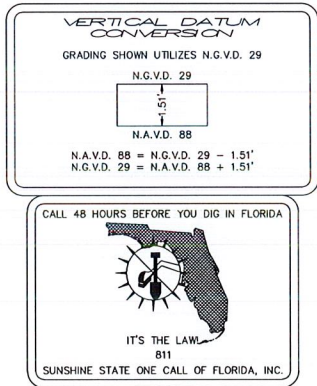
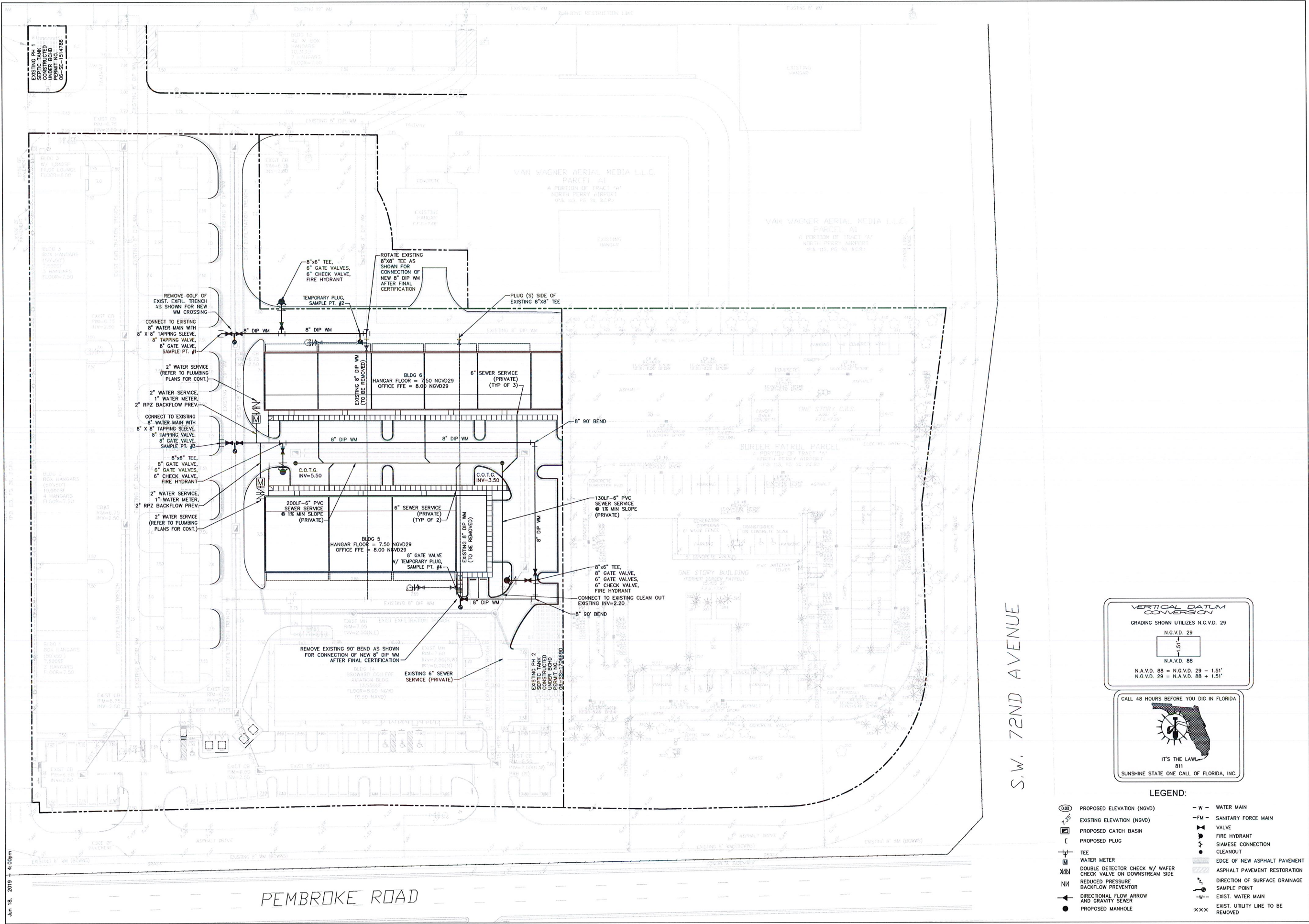
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Phase:

PERMITTING
DOCUMENTS

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DRS	C2
Proj. Mgr.	
DRS	
Appr. by	2 of 5
DRS	



LEGEND:

- | | |
|---|-----------------------------------|
| PROPOSED ELEVATION (NGVD) | - W - WATER MAIN |
| EXISTING ELEVATION (NGVD) | - FM - SANITARY FORCE MAIN |
| PROPOSED CATCH BASIN | VALVE |
| PROPOSED PLUG | FIRE HYDRANT |
| TEE | SIAMSE CONNECTION |
| WATER METER | CLEANOUT |
| DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE | EDGE OF NEW ASPHALT PAVEMENT |
| REDUCED PRESSURE BACKFLOW PREVENTOR | ASPHALT PAVEMENT RESTORATION |
| DIRECTIONAL FLOW ARROW AND GRAVITY SEWER | DIRECTION OF SURFACE DRAINAGE |
| PROPOSED MANHOLE | SAMPLE POINT |
| | -W-- EXIST. WATER MAIN |
| | EXIST. UTILITY LINE TO BE REMOVED |

Sheet Title

WATER AND SEWER PLAN

Job Title

**DIVERSIFIED AVIATION NP
PHASE 2A**

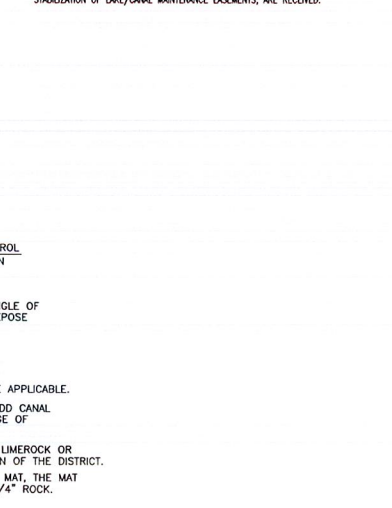
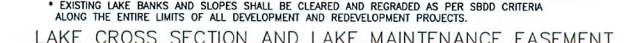
NORTH PERRY AIRPORT
7201 PEMBROKE ROAD
PEMBROKE PINES, FLORIDA 33023



Revisions

Phase:
PERMITTING
DOCUMENTS

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Proj. Mgr. DRS
Appr. by DRS
Date 05/13/19
Plt Date 06/18/19
Sheet No. C3
3 of 5



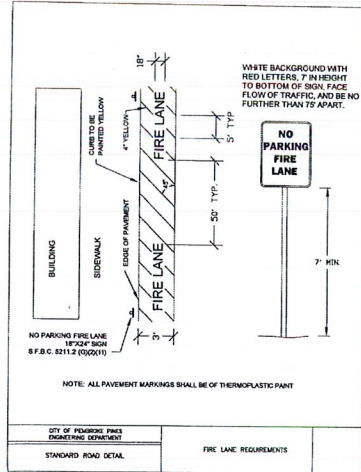
* EXISTING LAKE BANKS AND SLOPES SHALL BE CLEARED AND REGRADED AS PER SBDD CRITERIA ALONG THE ENTIRE LIMITS OF ALL DEVELOPMENT AND REDEVELOPMENT PROJECTS.



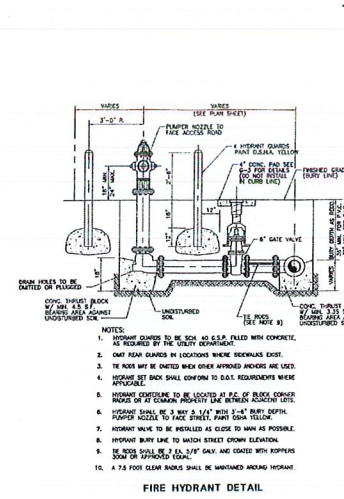
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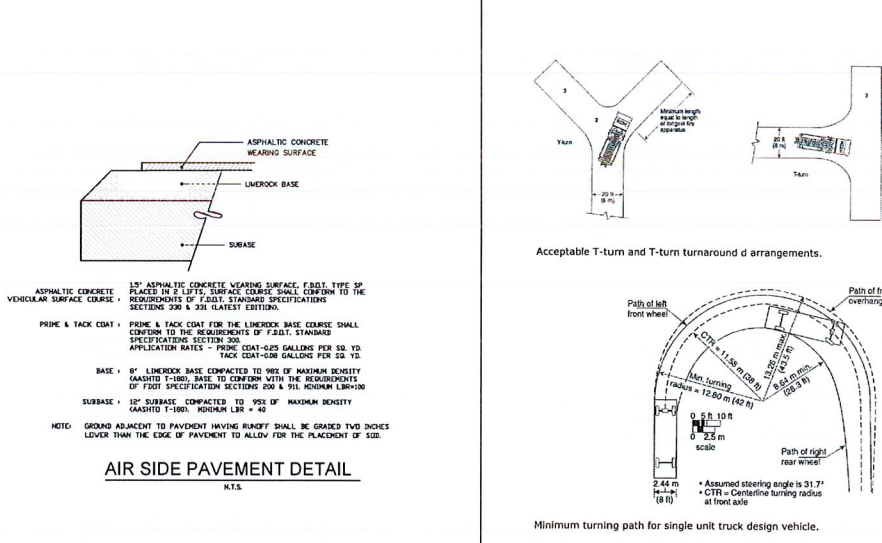
Fire Lane Detail.



Fire Hydrant Detail.



Turnarounds and Turning Radii Exhibits.



ATTENTION CONTRACTORS & DESIGN PROFESSIONALS

EFFECTIVE IMMEDIATELY

NFPA 1.11.10 Requires minimum radio signal strength for fire department communications to be maintained at a level determined by the AHJ for all new and existing buildings.

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed.

An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signal's strength for fire department communication in the occupancy is in compliance, in accordance with NFPA 1: 11.10.1 and NFPA 72: 24.5.2.2.1 through 24.5.2.2.3.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with NFPA 72: 24.5.2.2.1 through 24.5.2.2.3.

- A test "grid" plan shall be produced to ensure testing throughout the building.
- Signal levels shall be measured to ensure the system meets the criteria of 24.5.2.3 according to parameters as follows:
 - 24.5.2.3.1 Inbound
 - A minimum inbound signal strength of -95 dBm, or other signal strength as required by the authority having jurisdiction, shall be provided throughout the coverage area.
 - 24.5.2.3.2 Outbound
 - A minimum outbound signal strength of -95 dBm at the donor site, or other signal strength as required by the authority having jurisdiction, shall be provided for the coverage area.
 - Critical areas, such as the emergency command center(s), the fire pump room(s), exit stairs, exit passageways, elevator lobbies, standpipe cabinets, sprinkler sectional valve locations, and other areas deemed critical by the authority having jurisdiction, shall be provided with 99 percent floor area radio coverage.
 - General building areas shall be provided with 90 percent floor area radio coverage.

ACCEPTANCE

- If three nonadjacent areas fail the test with less than -95 decibels per milliwatt (-95 dBm), and for a DAQ3 or below; or if two adjacent areas fail with less than -93 decibels per milliwatt (-93 dBm), and/or a DAQ3 or below, the GC will be required to pull separate plans and permit and install an IPSRES, In-Building Public Safety Radio Enhancement System; and/or
- If there is less than 99 percent floor area radio coverage to all Critical areas, or less than 90 percent floor area coverage to all General building areas, the GC will be required to pull separate plans and permit and install an IPSRES, In-Building Public Safety Radio Enhancement Systems.

Rev: 10/30/2015

Applicant Responsibility

Compliance with the Code. Review and approval by the AHJ shall not relieve the applicant from the responsibility of compliance with this Code. NFPA 1-1.8.4

Fire Apparatus Access Plans. Plans for fire apparatus access roads shall be submitted to the fire department for review and approval prior to construction. NFPA 1-18.1.1.1

Fire Hydrant Systems. Plans and specifications for fire hydrant systems shall be submitted to the fire department for review and approval prior to construction. NFPA 1-18.1.3.2

Change of Use. In any building or structure, whether or not a physical alteration is needed, a change from one occupancy classification to another shall be permitted only where such a structure, building, or portion thereof conforms with the requirements of this Code that apply to new construction. NFPA 1-4.5.7

Fire Department Access

Door / Door Assembly. When used for the fire service provider access as referred to in this code or the NFPA, except in chapters where other configurations are specifically permitted, shall mean a side hinged, swinging type egress exterior door / door assembly that can be opened from the outside and that provides access to the of the dwelling unit or building. Broward County Local Amendments to NFPA 1-101.2.2

Access Box(es). The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. Please contact the Division of Fire Prevention for a Knox Box application form at 954-495-9560. NFPA 1-18.2.3.1

Access to Gated Subdivisions or Developments. The AHJ shall have the authority to require fire department access be provided to gated subdivision or developments through the use of an approved device or system. NFPA 1-18.2.3.2

Marking of Fire Apparatus Access Road. Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and prohibit the obstruction thereof as both. NFPA 1-18.2.3.1.1

Fire Lane Marking. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones. COFF CO 93.12

Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane, sign(s) shall be provided. See Fire Lane Detail.

Fire Lane Sign(s) shall be 18" by 24", shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. Such signs shall be 12" by 18" with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. NFPA 1-18.2.3.3

Water Supply, Fire Flows and Fire Hydrants

Fire Protection during Construction

A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material accumulates. NFPA 1-15.4.3.1.1

Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to commencing construction work on any structure. NFPA 1-18.4.3.3.3 and NFPA 241-8.7.2.3

Note: It is not intended to prohibit the construction of noncombustible structure foundation elements, such as foundations and footings, prior to the completion of underground water mains and hydrants. NFPA 1-18.4.3.1.3

Water Supplies. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4 Fire Flow Requirements for Buildings. NFPA 1-18.3.1

Fire flow calculations for manual fire suppression purposes are required to be provided in accordance with NFPA 1-18.4. Fire flow calculation must be provided on separate sheets, signed and sealed by a Professional Engineer.

Note: Fire Flow Test is required and to be witnessed by a Pembroke Pines Fire Inspector. Please call (954) 499-9560 to coordinate a test.

Fire Hydrant Spacing and Installation. The number and type of fire hydrant and connections to other approved water supplies shall be capable of delivering the required fire flow and shall be provided at approved locations. NFPA 1-18.5.1

Commercial and Residential Entry and Interior Gates. All gates requiring Fire Department Access serving access to any residential or commercial building that be electrical gates and shall be operated by an electrical key operated knox switch mounted at 48" AFF with Fire Department detail with dust cover AND A RADIO FREQUENCY SERVICE BY REMOTE CONTROL.

The Radio Frequency products shall be compatible to Access Pro Controller, Model ABR-1 and can be obtained through EDI / Gate Master's Service Department @ 954-525-0386. Programming of the Radio Frequency product must be performed by Gate Masters. NFPA 1-18.2.2.1; COFF CO 93.11 (A) and 155.079

NOTE: Manual, swinging non-electrical gates for areas not accessing buildings requires approval of location by the AHJ and required to provide KNOX padlocks.)

Fire Department Access Roads

Where possible, a building shall be accessible to all elevations for Fire Department emergency use. In all cases a minimum of one elevation shall be made accessible for Fire Department Access and must be located on the main entrance elevation, longest side.

All premises which the Fire Department may be called on to protect in case of fire and which are not readily accessible from public roads shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. COFF CO 93.11 (A)

Required Access. Approved fire department access roads shall be provided for every facility, building, or portion of a building heretofore constructed or relocated. NFPA 1-18.2.3.1.1

When fire department access roads cannot be installed due to location on property, topography, waterways, nonnegotiable grades, or other similar conditions, the AHJ shall be authorized to require additional fire protection features. NFPA 1-18.2.3.1.4

Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building. COFF CO 93.11

Access to Building. A fire department access road shall extend to within 50 ft. of a single exterior door that can be opened from the outside and that provides access to the interior of the building. NFPA 1-18.2.3.2.1

Where a one-or-family dwelling, or townhouse, is protected with an approved automatic sprinkler system that is installed in accordance with NFPA 13D or NFPA 13R, as applicable, the distance in 18.2.3.2.1 shall be permitted to be increased to 150ft. NFPA 1-18.2.3.2.1.1

Fire hydrants and connection to other approved water supplies shall be accessible to the fire department. Fire hydrants and connection to approved water supplies must be installed and maintained in a manner that allows the fire department to access the water supply point without being delayed by fences, signs, and other obstructions. NFPA 1-18.2.3

A 15 ft. clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. NFPA 1-18.5.3

Where required by the AHJ, Fire Hydrants subject to vehicular damage shall be protected unless located within public right-of-way. NFPA 1-18.5.5

Marking of Hydrants. Fire hydrants shall be marked with an approved reflector affixed to or proximate to the fire hydrant where required by AHJ. NFPA 1-18.5.7

Fire hydrants in zoning classifications with lower residential zoning than R-3 shall be installed on a minimum of a six inch looped water line in city rights-of-way or easements within 400 feet of the entrance of any future building as measured along streets or alleys. COFF CO 93.25 (A)

Fire hydrants in zoning classifications R-3 and all residential classifications with greater density than R-3 shall be installed on a minimum of an eight-inch looped water line in city rights-of-way or easements and within 300 feet of the entrance of any future building as measured along streets or alleys. COFF CO 93.25

Fire Hydrants in all commercially and business zoned areas shall be installed on a minimum of an eight-inch looped water line in city rights-of-way or easements and shall not be spaced not further than 500 feet apart as measured along street or alleys. COFF CO 93.25

Note: Where new hydrants are required to meet spacing, hydrants shall be placed at the entrances to access roads and entrances to the complex. Measurements taken as the fire truck travels. Engineering department verification required.

Fire hydrants 4 1/2 inch streamer cap shall face the nearest roadway, shall be between 24" and 30" above ground, and require a blue reflector in center of roadway in front of the hydrant. COFF CO 93.25 (B) - Fire Hydrant Detail to be provided on submittal.

No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. COFF CO 93.25 (C)

In every case, at least two fire hydrant shall be within 400 feet of the entrance of any future building, and be spaced 500 feet apart throughout. Measurements taken as the fire truck travels. COFF CO 93.25 (C) (6)

AIR SIDE PAVEMENT DETAIL

N.T.S.

When required by the AHJ, road(s) or parking lots providing access to main entrance door(s) shall be considered access roads and shall comply with the requirements of NFPA 1-18.2.3.1.1.1 and NFPA 1-18.2.3.1.2

Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft. (45.7 m) from sprinklered building(s) from fire department access roads as measured by an approved route around the exterior of the building or facility. NFPA 1-18.2.3.2.2 and NFPA 1-18.2.3.2.2.1

Multiple Access Roads. More than one fire department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access. NFPA 1-18.2.3.3

Dimensions. Fire department access roads for areas not accessing buildings require an unobstructed width of not less than 20ft. NFPA 1-18.2.3.4.1.1

Note: The minimum 20ft. width required by 18.2.3.4.1.1 allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

Driving Lanes. Driving lanes shall have a minimum clear width of 24 feet for two-way traffic, 15 feet for one-way traffic. COFF CO 154.35 (5)

Turning Radius. Fire access roads shall be a minimum centerline turning radius of 50'; Show min. 38' inside radius and min. 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numbers on plans shown throughout. COFF Engineering department verification is required. COFF CO 154.35 (3)

Note: The end of the paragraph states "All centerline turning radii must be a minimum 50 feet."

On a separate page demonstrate fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

Vertical Clearance. Fire department access roads shall have an unobstructed vertical clearance of not less than 13ft. 6in. NFPA 1-18.2.3.4.1.2 (Pavement, weatherproof signage) where applicable. (Applicable areas are truck access routes.)

Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. NFPA 1-18.2.3.4.1.2.2

There shall be a 14' minimum width at level of 8' from roadway to accommodate vehicle mirrors where applicable. (Applicable areas are truck access routes.)

Departments Connections for Sprinklered, and / or Standpipes

Buildings with standpipes / sprinklers require a fire hydrant within 300 feet of each standpipe / sprinkler Fire Department connection. COFF CO 93.25 (D) and NFPA 14-4.4.5.4 (2010)

Location of Fire Department Connection. Fire department connections should be located and arranged so that hose lines can be readily and conveniently attached without interfering with nearby objects, including buildings, fences, or other department connections. NFPA 14-4.4.5.1 (2010)

Fire department connections shall be visible and recognizable from the street of nearest point of fire department apparatus access to the building. NFPA 14-4.4.5.1 (2010)

Note: Fire department connections shall be shown on same side of the street as the fire hydrant.

Each fire department connection to sprinkler system shall be designed by a permanent sign constructed of weather resistant metal or rigid plastic with red and white letters, having raised or engraved letters at least 1" in height on plate of fire department connection sign that shall be attached to the exterior of the building adjacent to the connection. The connection shall be secured with substantial and corrosion resistant fasteners - for example COFFRAC, OPEN SPRINKLER, and STANOPHIE as applicable. NFPA 14-4.4.5.2.1 (2010)

The fire department connection should be located not less than 18" or more than 4' above grade. Pembroke Pines Fire Department requires FDC to be installed at 3' above grade. NFPA 14-4.4.6 (2010)

Point of Service Show and label point of service on water Control plans, the tie in to the water is being used as evidence for the sprinkler / standpipe system.

A Licensed Certified Sprinkler Contractor shall pull permits and begin work from the point of connection. FAC 64-6.000 (2)

Signage

Light Weight Construction Identification Placard. Notice Required for Structures with Light-Frame Truss-type Construction for new and existing structures, effective 12-13-09. Declare if structure(s) are to be constructed with light-frame truss-type Construction. (Please provide a detail on site plans addressing type of construction and placard to be posted) FAC 68A-00-0081

All apartment buildings, commercial buildings, industrial buildings, and multi-story buildings within the city shall be numbered with the street address, front and rear and / or side doors, with the numbers not less than six, nor more than nine inches in height. The numbers shall contrast with their background and be kept free of obstructions. COFF CO 52.10

Numbers to be maintained in a conspicuous place where they can be seen and read from the street. COFF CO 52.10 (D)

Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus (weighing a minimum of 32 tons) and shall be provided with an all-weather driving surface. NFPA 1-18.2.3.4.2

Note: Roads during Construction. Hard compacted surface supporting 32 tons shall be provided on roads for fire rescue vehicles to access of buildings under construction.

Dead Ends. Dead end streets shall be prohibited, except where appropriate as studs to permit future street extension into adjoining un-subdivided tracts, or when designed as cul-de-sacs. COFF CO 154.32 (6)

Dead-end fire department access roads in excess of 150 ft. in length shall be provided with approved provisions for the fire apparatus to turn around. NFPA 1-18.2.3.4.4

Acceptable turnaround can include a cul-de-sac, a T-turn, or a Y-turn.

Cul-De-Sacs. Cul-de-sacs, permanently designed as such, shall not exceed 400' in length except on finger islands. Cul-de-sacs shall be provided at the closed end with a circular dedicated area not less than 80 feet in diameter for turnaround purposes, except that on finger islands the diameter of a turnaround may be reduced to 70 feet. COFF CO 154.33 (1) (11)

Bridges, Ramps, and Elevated Roadways. When a bridge is required to be used as part of a fire department access road, it shall be constructed and maintained in accordance with nationally recognized standards. The bridge shall be designed for live load sufficient to carry the imposed loads of fire apparatus. NFPA 1-18.2.3.4.5.1 and NFPA 1-18.2.3.4.5.2

Vehicle load limits shall be posted at both entrances to bridges where required by the AHJ. NFPA 1-18.2.3.4.5.3

Grade. The angle of approach and departure for any means of the fire department access road shall not exceed 1 ft. drop in 20 ft. or design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. NFPA 1-18.2.3.4.6.2

Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft. beyond each of the fire lane. NFPA 1-18.2.3.4.6.3

Traffic Calming Devices. The design and use of traffic calming devices shall require approval by the AHJ and COFF Engineer. NFPA 1-18.2.3.4.7

Two-Way Radio Communication Enhancement Systems

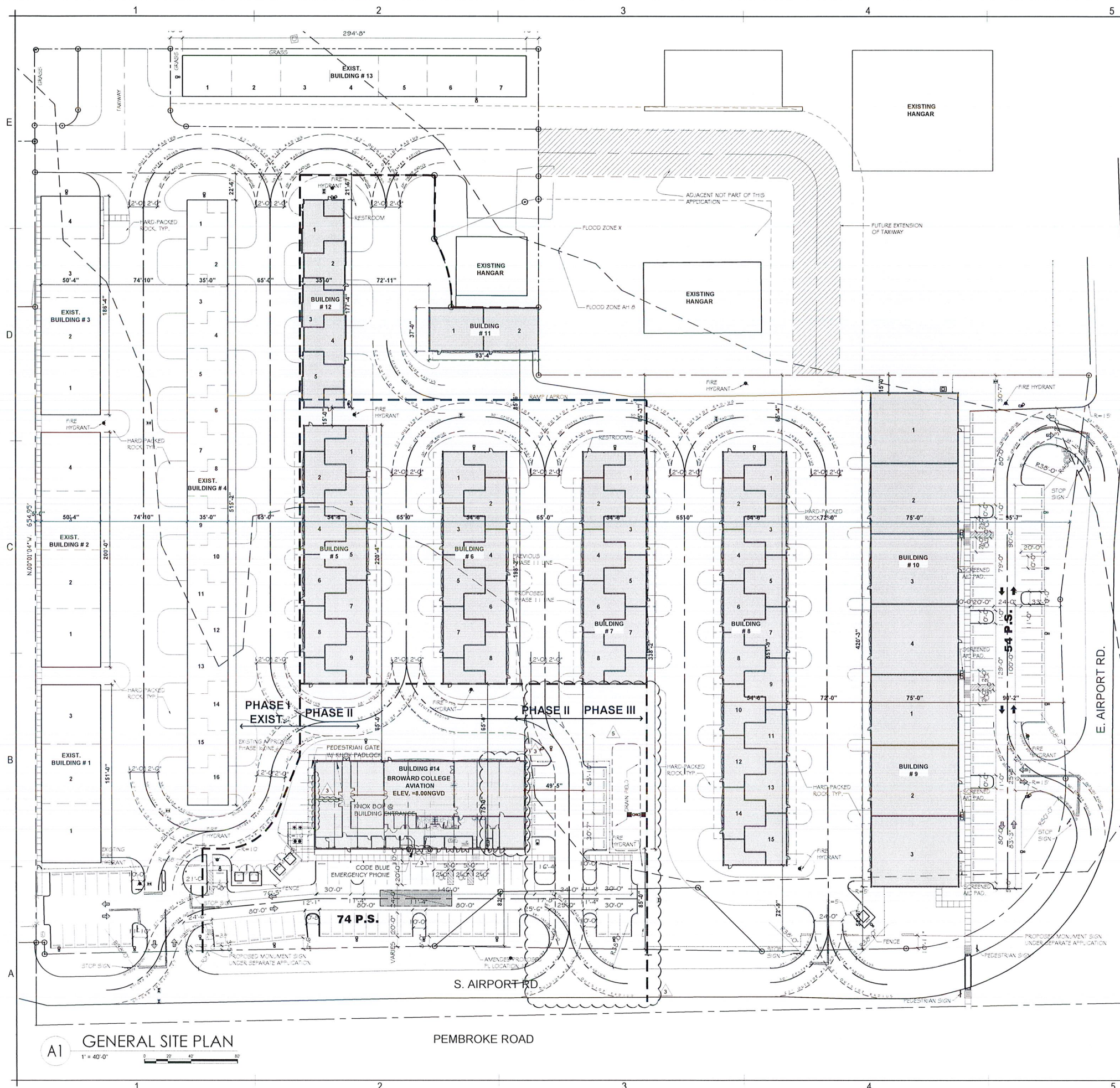
Two-Way Radio Communication Enhancement Systems. NFPA 1-11.10, 2012 edition

In all new and existing buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. NFPA 1-11.10.1

Revisions	

Phase:
DRC
DOCUMENTS

SEAL	
Scale: NTS	Date 05/13/19
Job No. 11-0968.06	Plot Date 06/18/19
Drawn by DRS	Sheet No. C5
Proj. Mgr. DRS	
Appr. by DRS	5 of 5



AREA CALCULATIONS			
BUILDING DESCRIPTION		ACRES	AREA (SF)
GROSS SITE AREA		11.83	515,650
MAIN SITE AREA	492,057 SF (PER SURVEY)		
PARCEL B	21,176 SF (PER SURVEY)		
PARCEL C	2,417 SF (PER SURVEY)		
BUILDING "1"	7,523 SF.		
BUILDING "2"	10,017 SF.		
BUILDING "3"	9,333 SF.		
BUILDING "4"	18,030 SF.		
BUILDING "5"	12,008 SF.		
BUILDING "6"	10,800 SF.		
BUILDING "7"	10,787 SF.		
BUILDING "8"	19,172 SF.		
BUILDING "9/10"	31,519 SF.		
BUILDING "11"	3,453 SF.		
BUILDING "12"	6,206 SF.		
BUILDING "13"	10,313 SF.		
TOTAL HANGAR	149,161 SF.		
BUILDING "14"	13,550 SF.		
GROSS BUILDING AREA		162,711	31.55
PERVIOUS		113,866	22.08
IMPERVIOUS		239,073	46.36
MAX. BUILDING HEIGHT ALLOWED + 60'-0"			
MAX. BUILDING HEIGHT PROPOSED + 28'-0"			
ZONING	A-1 (NON-CONFORMING)		
LAND USE	AGRICULTURE		
OCCUPANCY	STORAGE (HANGAR) S-2		
PARKING:			
REQUIRED: HANGAR = 1 SPACE PER HANGAR: 88 HANGAR = 88 SPACES			
(NOTE: 1/2 REQUIRED PARKING MAY BE ALLOWED INSIDE THE HANGARS)			
= 44 PARKING SPACES			
PLUS ANCILLARY OFFICE USE (1,800 S.F. PILOTS MEETING ROOM) = 3.5 SPACES PER 1,000 S.F. (1,800 / 1,000 = 1.8 X 3.5)			
= 7 PARKING SPACES			
PLUS ADDITIONAL OFFICE SPACE (8,000 S.F.) = 3.5 SPACES PER 1,000 S.F. (8,000 / 1,000 = 8.0 X 3.5)			
= 28 PARKING SPACES			
PLUS COLLEGE UNIVERSITY BASED ON 35% POPULATION = 120 PERSONS X .35			
= 42 PARKING SPACES			
TOTAL PARKING REQUIRED:	121 SPACES		
TOTAL PARKING PROVIDED:	128 SPACES		
ACCESSIBLE PARKING SPACES REQUIRED:	4 SPACES		
ACCESSIBLE PARKING SPACES PROVIDED:	8 SPACES		

ANY STRUCTURE 20 FEET OR MORE IN HEIGHT SHALL BE SETBACK FROM ALL PLOT LINES AT LEAST ONE FOOT FOR EACH TWO FEET BY WHICH THE HEIGHT OF THE STRUCTURE EXCEEDS 20 FEET.

OCCUPANCY TO BE S-2 STORAGE FOR APPLICABLE ZONING CODES, AS PER CITY OF PEMBROKE PINES/BROWARD COUNTY FIRE REQUIREMENTS, OCCUPANCY TO BE BASED UPON "F-1" FACTORY/INDUSTRIAL. ALL HANGAR BUILDINGS TO BE DESIGNED TO THIS REQUIREMENT.

B6 AREA CALCULATIONS

1. PROPOSED SITE PLAN MODIFICATION ON PHASE II AND PHASE III.
2. 31 PARKING SPACES ADDED TO THE SITE PLAN - PREVIOUSLY APPROVED 96 SPACES + 31 ADDITIONAL SPACES = 127 TOTAL PARKING SPACES
3. ADULT COLLEGE UNIVERSITY USE PROPOSED - BUILDING 14 13,550 SQ. FT. BUSINESS/ADULT COLLEGE UNIVERSITY.
4. CHANGE ON EXISTING PROPERTY LINE TO THE PARCEL'S SOUTH BOUNDARY.

A6 SCOPE OF WORK

BROWARD COLLEGE AVIATION
AT NORTH PERRY AIRPORT

101 SW 77th WAY
PEMBROKE PINES, FL 33023

barranco gonzalez *architecture *planning *interior design

1915 southeast 4th avenue fort lauderdale, fl 33316 phone: (954) 961-7675 fax: (954) 961-7685 mail: info@barrancogonzalez.com

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REVISIONS		

1. 09.21.15 CITY COMMENTS
3. 11.12.15 REVISION
5. 2.11.16 REVISION

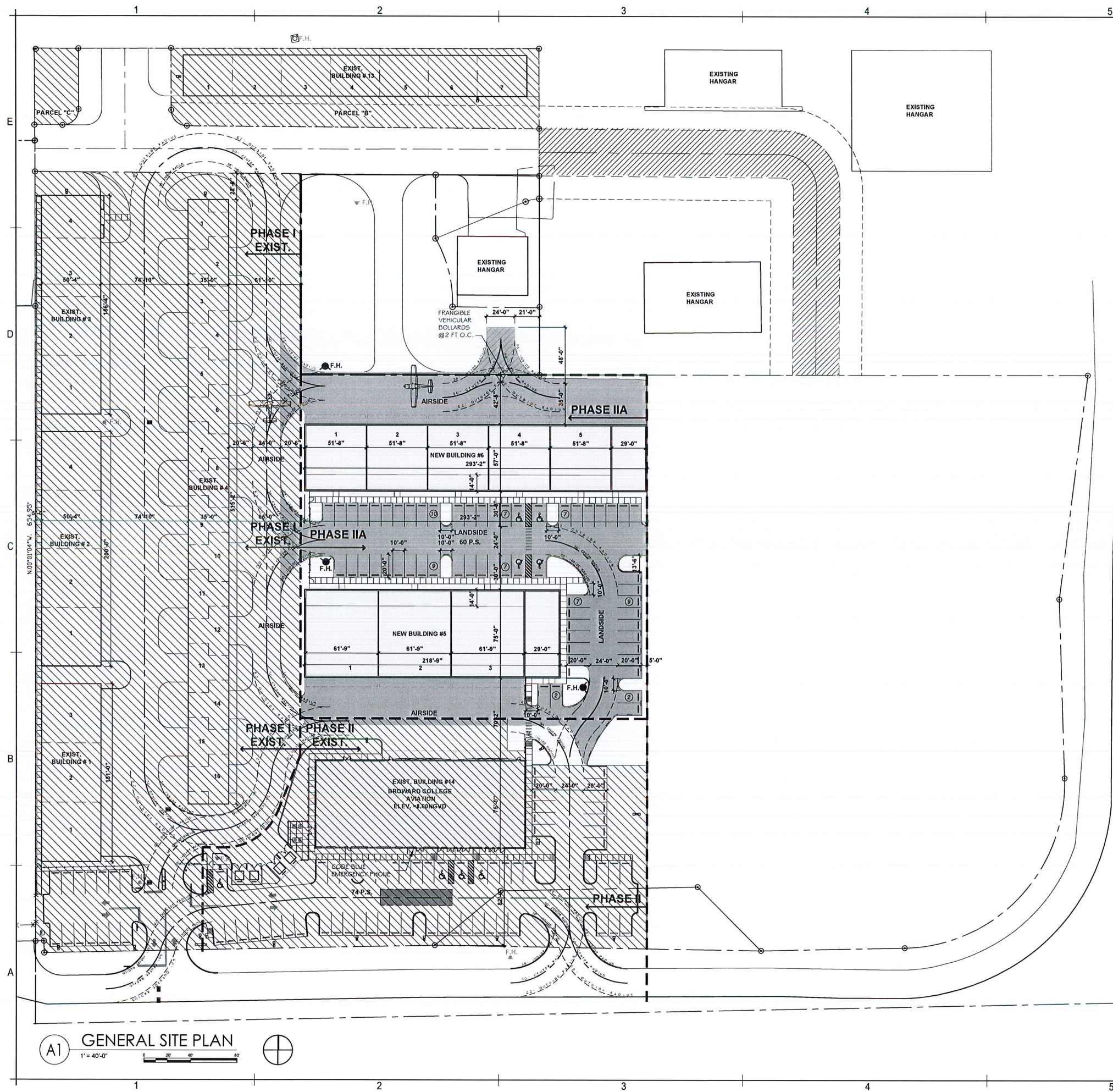
APPROVED SITE PLAN
FOR REFERENCE ONLY

ARCHITECTURAL
SITE PLAN

CONSTRUCTION DOCUMENTS

AS-101

1 REVISED SHEET



AREA CALCULATIONS					
BUILDING DESCRIPTION			ACRES	AREA (SF)	COVERAGE (%)
GROSS SITE AREA			7.3	305,218	100%
MAIN SITE AREA	281,627	SF (PER SURVEY)			
PARCEL D	21,176	SF (PER SURVEY)			
PARCEL C	2,415	SF (PER SURVEY)			
EXIST. BUILDING "1"	7,523	SF.			
EXIST. BUILDING "2"	10,017	SF.			
EXIST. BUILDING "3"	9,333	SF.			
EXIST. BUILDING "4"	18,030	SF.			
PROPOSED BUILDING "5"	16,407	SF.			
PROPOSED BUILDING "6"	16,711	SF.			
BUILDING "7"	N/A	SF.			
BUILDING "8"	N/A	SF.			
BUILDING "9/10"	N/A	SF.			
BUILDING "11"	N/A	SF.			
BUILDING "12"	N/A	SF.			
EXIST. BUILDING "13"	10,313	SF.			
TOTAL	88,334	SF.			
EXIST. BUILDING "14"	13,550	SF.			
GROSS BUILDING AREA				101,884	33.38
PERVIOUS				48,450	15.87
IMPERVIOUS				154,884	50.75
MAX. BUILDING HEIGHT ALLOWED + 60'-0"					

C6 AREA CALCULATIONS			
YEAR EDITION OF CODE:			
FLORIDA BUILDING CODE 2017 - FLORIDA FIRE PREVENTION CODE (FFPC) 6TH EDITION, EFFECTIVE DECEMBER 31, 2017 WITH BROWARD COUNTY AMENDMENTS: HPPA 101, 2015 EDITION; HPPA 409, 2011 EDITION; HPPA 409, 2017 EDITION; 2 STATE STATUTES, 2017 EDITION			
■ New Construction □ Renovation (Existing Bldg) □ Uplift □ Alteration			
BUILDING DATA FBC 2017 / NFPA 220 / NFPA 409 CHPT. 8			
BUILDINGS #5 & #6 Construction Type: GROUP III AIRCRAFT HANGAR			
TYPE II PER NFPA 409 TABLE 4.1.3 MAX. FIRE AREAS OF 12,000 S.F.			
TYPE II B PER F.B.C. CHPT. 6 TABLE 601			
Sprinklers: ■ No □ Yes □ NFPA 13 □ NFPA 13R □ NFPA 13D			
Foam Fire: ■ No □ Yes □ NFPA 409 □ NFPA 409 □ NFPA 409			
Suppression: ■ No □ Yes □ 6.1.1 (1) □ 6.1.1 (2) □ 6.1.1 (3)			
Standpipes: ■ No □ Yes Type: □ I □ II □ III □ Wet □ Dry			
Fire District: ■ No □ Yes			
Building Height: 24 Feet 4" Number of Stories 1 REFER TO MAIN FLOOR SHOP DWGS.			
Mezzanine: ■ No □ Yes			
High Rise: ■ No □ Yes			
ANY STRUCTURE 20 FEET OR MORE IN HEIGHT SHALL BE SETBACK FROM ALL PLOT LINES AT LEAST ONE FOOT FOR EACH TWO FEET BY WHICH THE HEIGHT OF THE STRUCTURE EXCEEDS 20 FEET.			
OCCUPANCY TO BE S-1 STORAGE FOR APPLICABLE ZONING CODES, AS PER CITY OF PEMBROKE PINES-BROWARD COUNTY FIRE REQUIREMENTS. OCCUPANCY TO BE BASED UPON "F-1" FACTORY INDUSTRIAL. ALL HANGAR BUILDINGS TO BE DESIGNED TO THIS REQUIREMENT. THE INTENDED USE OF PROPOSED AIRCRAFT HANGAR BUILDINGS #5 & #6 IS FOR AIRCRAFT STORAGE ONLY. NO AIRCRAFT MAINTENANCE, AIRCRAFT PAINTING SHALL BE ALLOWED. NO STORAGE OF HAZARDOUS MATERIALS.			

B6 CODE ANALYSIS			
1. PROPOSED SITE PLAN MODIFICATION ON PHASE IIA.			
2. NO CHANGES TO ANY OF THE OTHER EXISTING PHASES			
3. 60 PARKING SPACES ADDED TO THE SITE PLAN			
EXISTING 74 PARKING SPACES + 60 ADDITIONAL SPACES = 134 TOTAL PARKING SPACES			
4. NEW HANGAR & OFFICE BUILDINGS #5 & #6			

A6 SCOPE OF WORK			
1. PROPOSED SITE PLAN MODIFICATION ON PHASE IIA.			
2. NO CHANGES TO ANY OF THE OTHER EXISTING PHASES			
3. 60 PARKING SPACES ADDED TO THE SITE PLAN			
EXISTING 74 PARKING SPACES + 60 ADDITIONAL SPACES = 134 TOTAL PARKING SPACES			
4. NEW HANGAR & OFFICE BUILDINGS #5 & #6			

AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA

PEMBROKE PINES, FL

barranco gonzalez architecture planning interior design

phone: (954) 961-7675 fax: (954) 961-7675 mail: mail@barrancogonzalez.com

1915 southeast 4th avenue

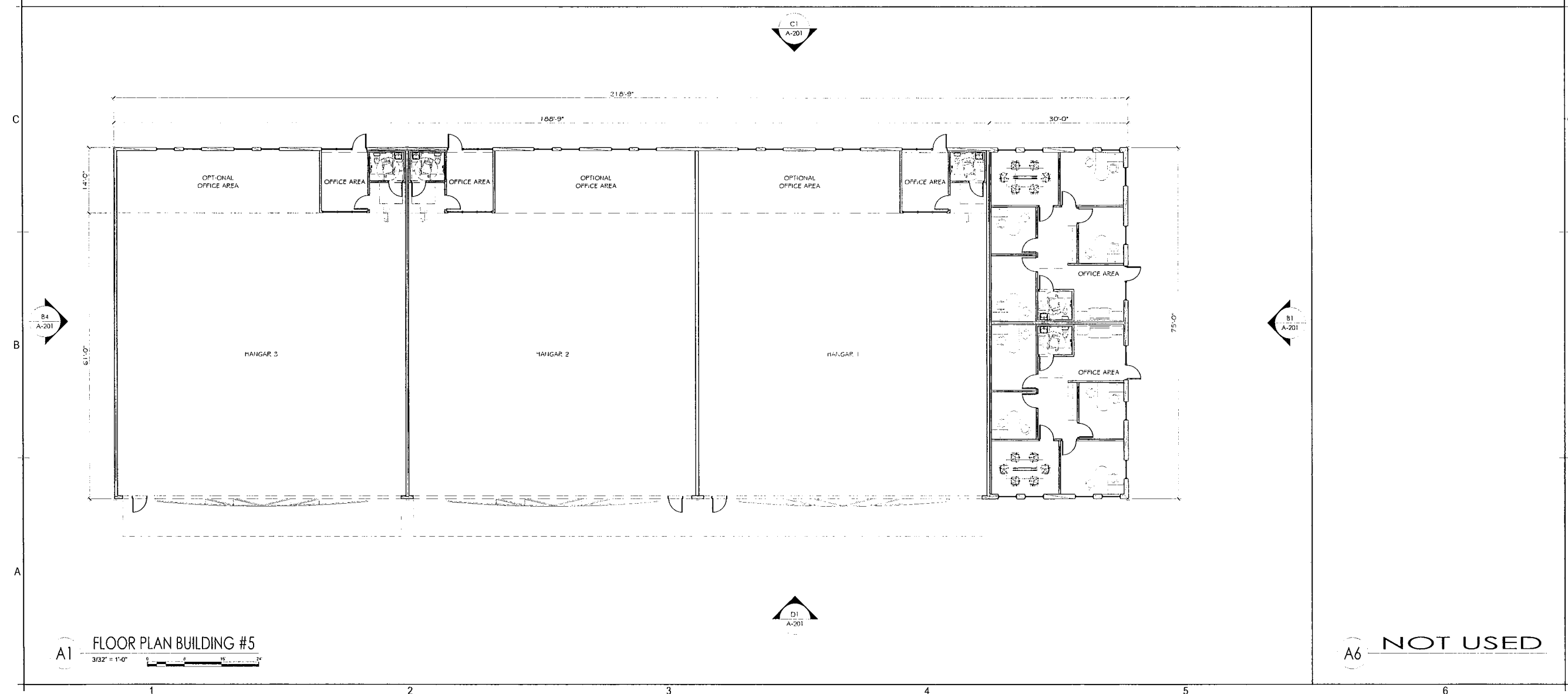
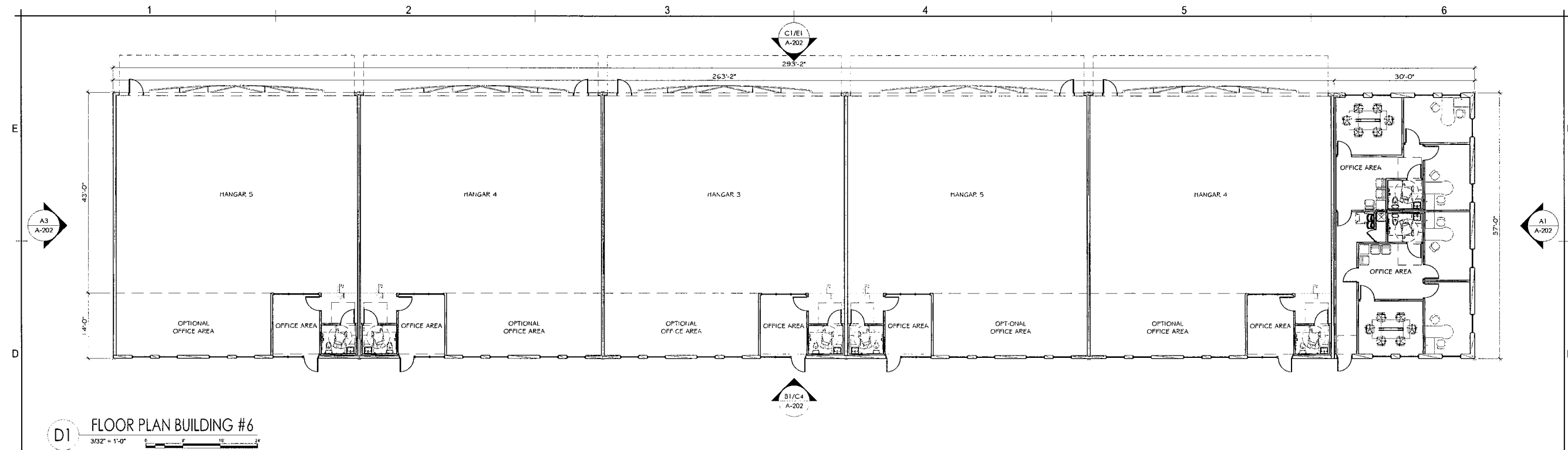
STATE OF FLORIDA
JOHN P. BARRANCO
REGISTERED ARCHITECT
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DATE:	COMM:	
05/23/19	180406	
R E V I S I O N S		

SITE PLAN

SITE PLAN APPROVAL

AS-101



**AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA**

barranco gonzalez architecture planning interior design
PEMBROKE PINES, FL
phone: (954) 961-7675 fax: (954) 961-7685 email: info@barrancogonzalez.com

**STATE OF FLORIDA
JOHN P. BARRANCO
REGISTERED ARCHITECT
AR02471**

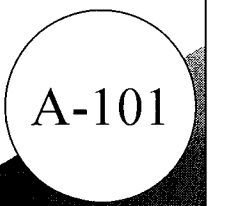
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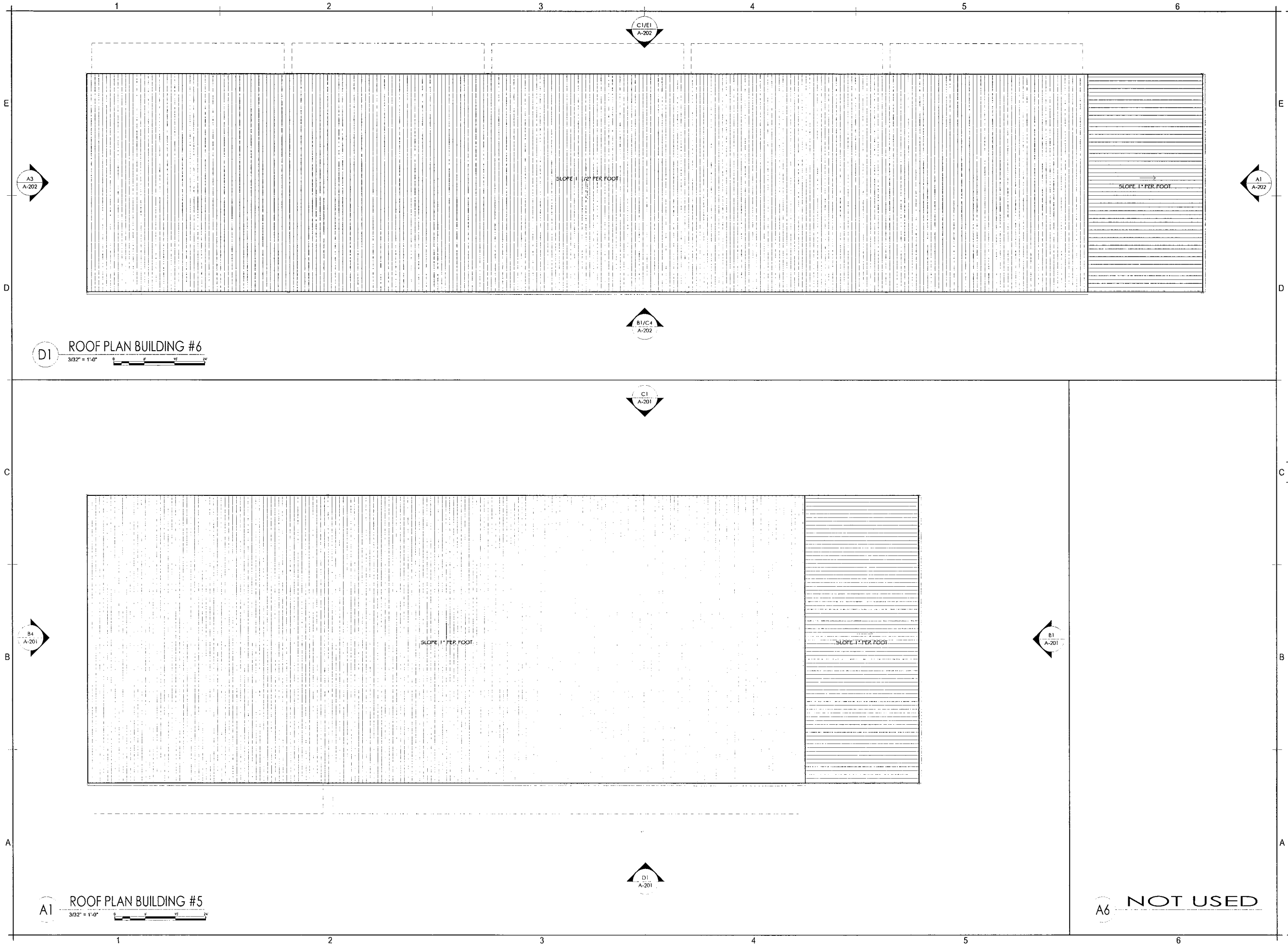
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CVG	EJB	CVG
DATE:	COMM:	
05/23/19	180406	


REVISIONS

FLOOR PLANS

SITE PLAN APPROVAL








AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA

PEMBROKE PINES, FL
barranco gonzalez *architecture planning interior design*

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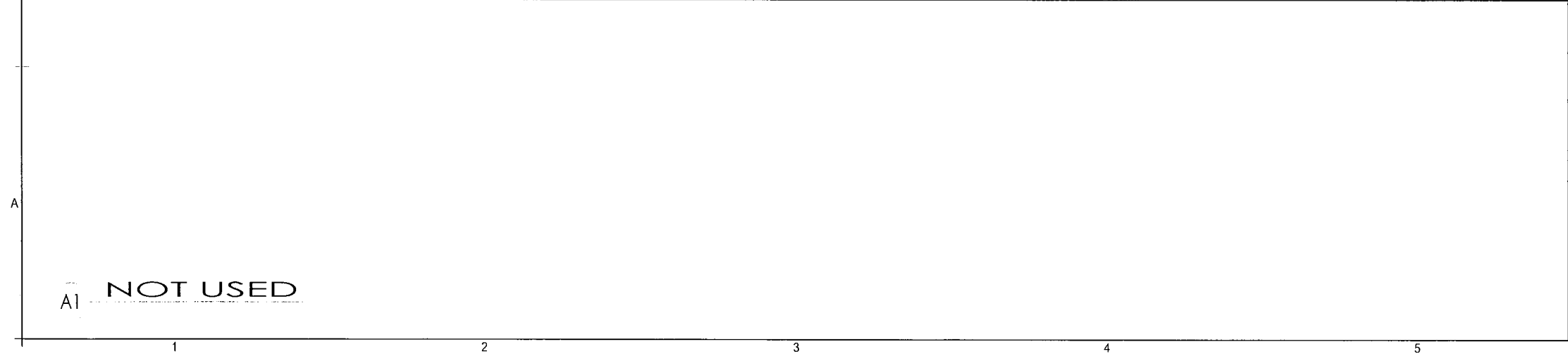
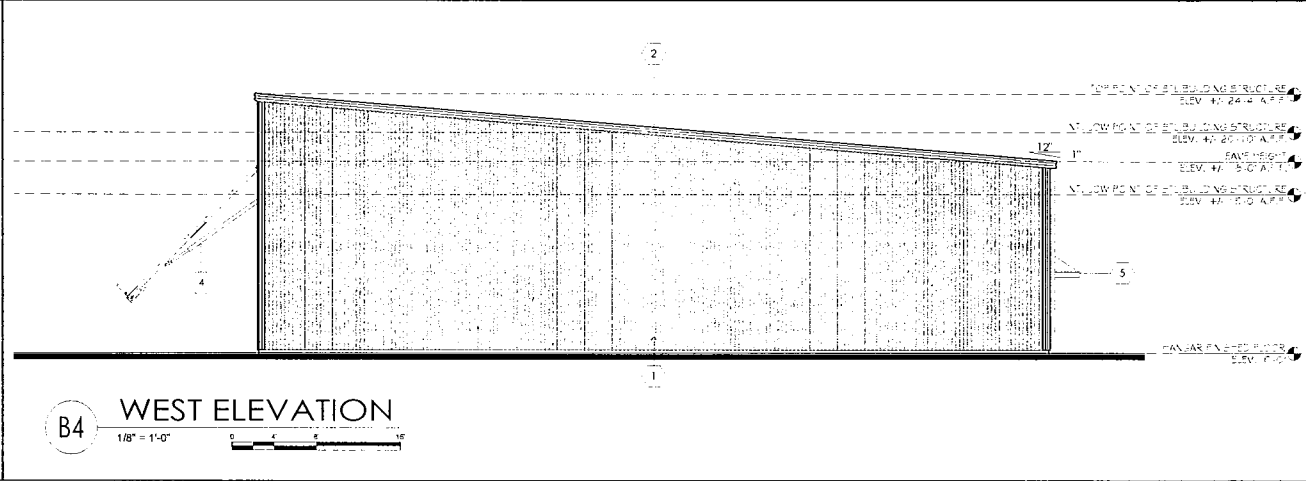
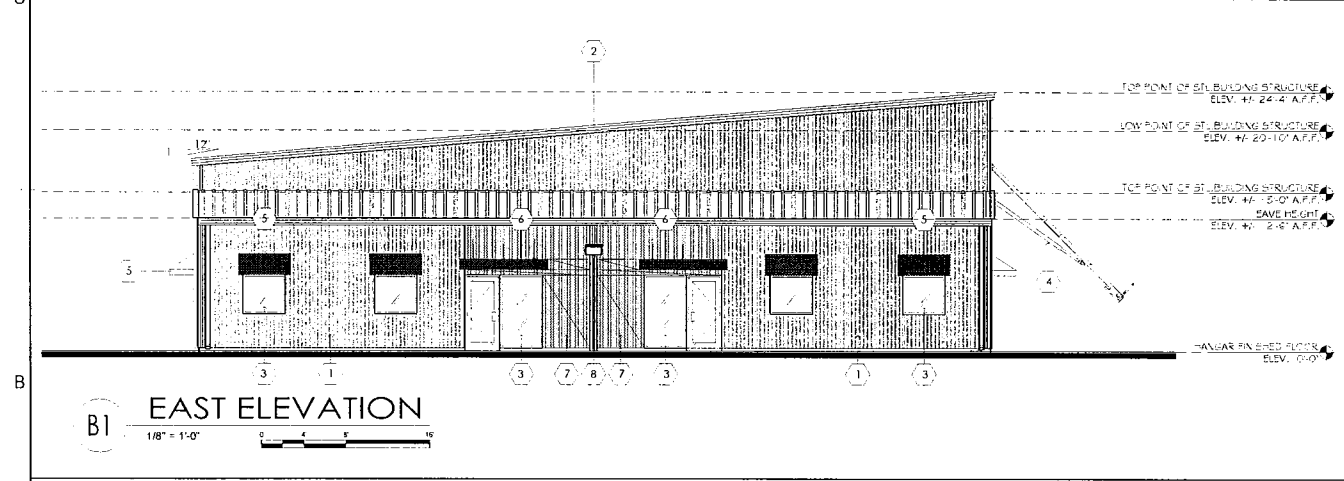
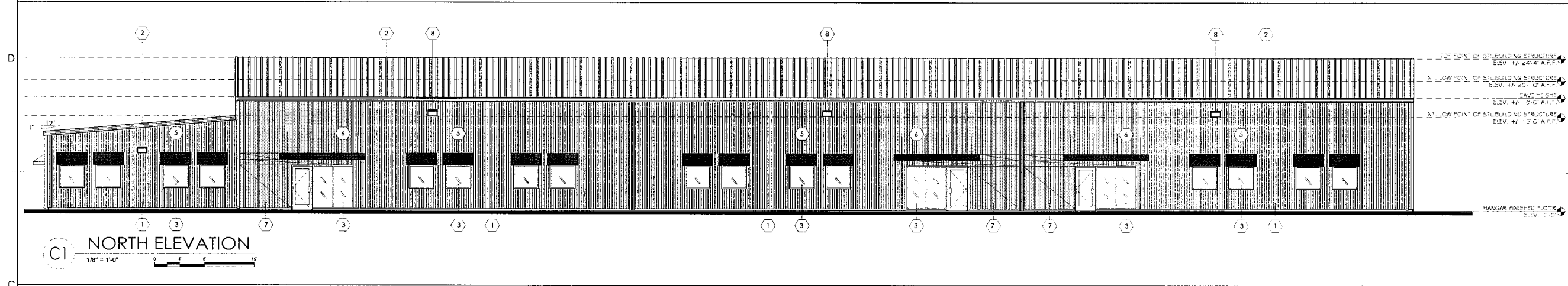
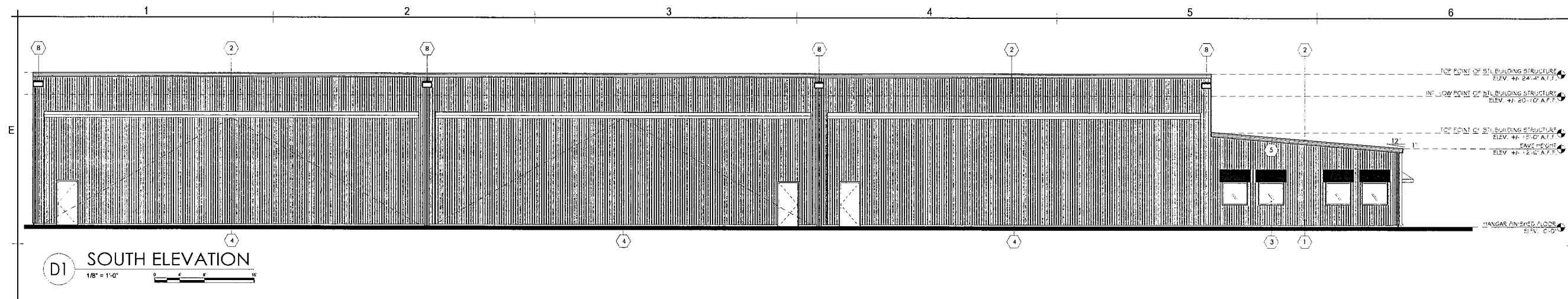
REVISIONS

ROOF PLANS

SITE PLAN APPROVAL



A-102



- A6 ELEVATION NOTES**
1. METAL BUILDING Siding COLOR: SNOW WHITE SR. 45, SR. 77
 2. HANGAR BEAM METAL ROOF COLOR: HANGAR BLUE SR. 26, SR. 30
 3. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
 4. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
 5. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
 6. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
 7. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
 8. HANGAR ROOF LINER: 1/2" CORRUGATED GALVALUME 55, SR. 41
- NOTE: ALL COLORS ARE SUBJECT TO BE APPROVED BY OWNER PRIOR TO FINAL SELECTION.

AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA

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STATE OF FLORIDA
JAMES P. BARRANCO
ARCHITECT
AJ02471

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fort lauderdale, fl 33316

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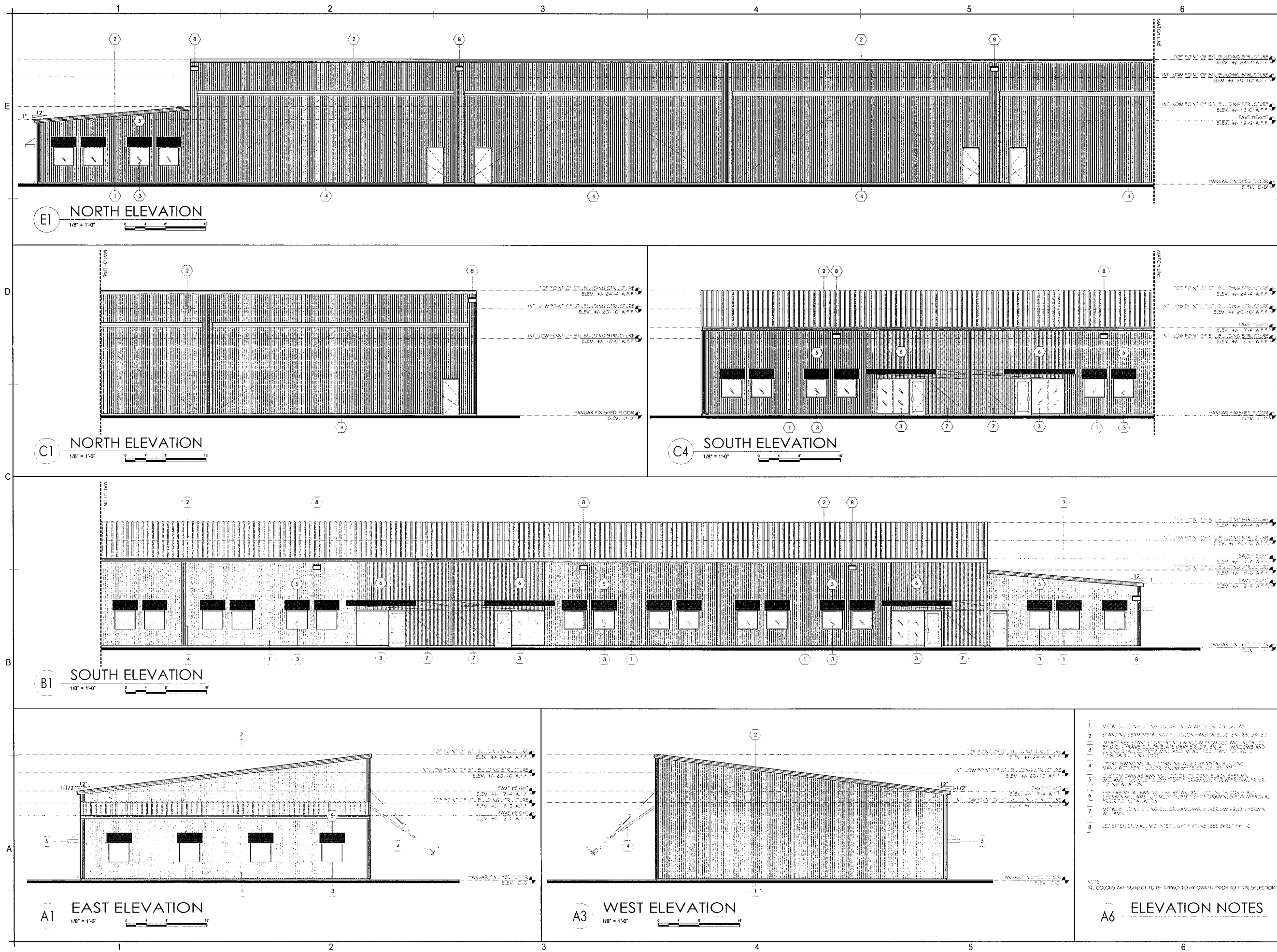
DATE: 05/23/19 COMM: 180406

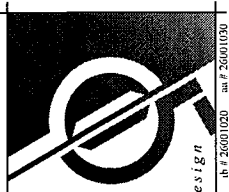
REVISIONS

BUILDING #5
EXTERIOR ELEVATIONS

SITE PLAN APPROVAL

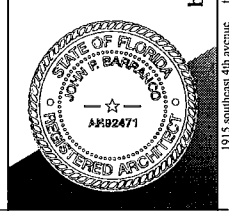
A-201





AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA

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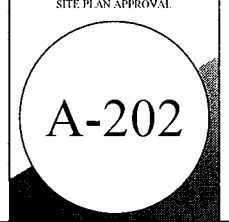
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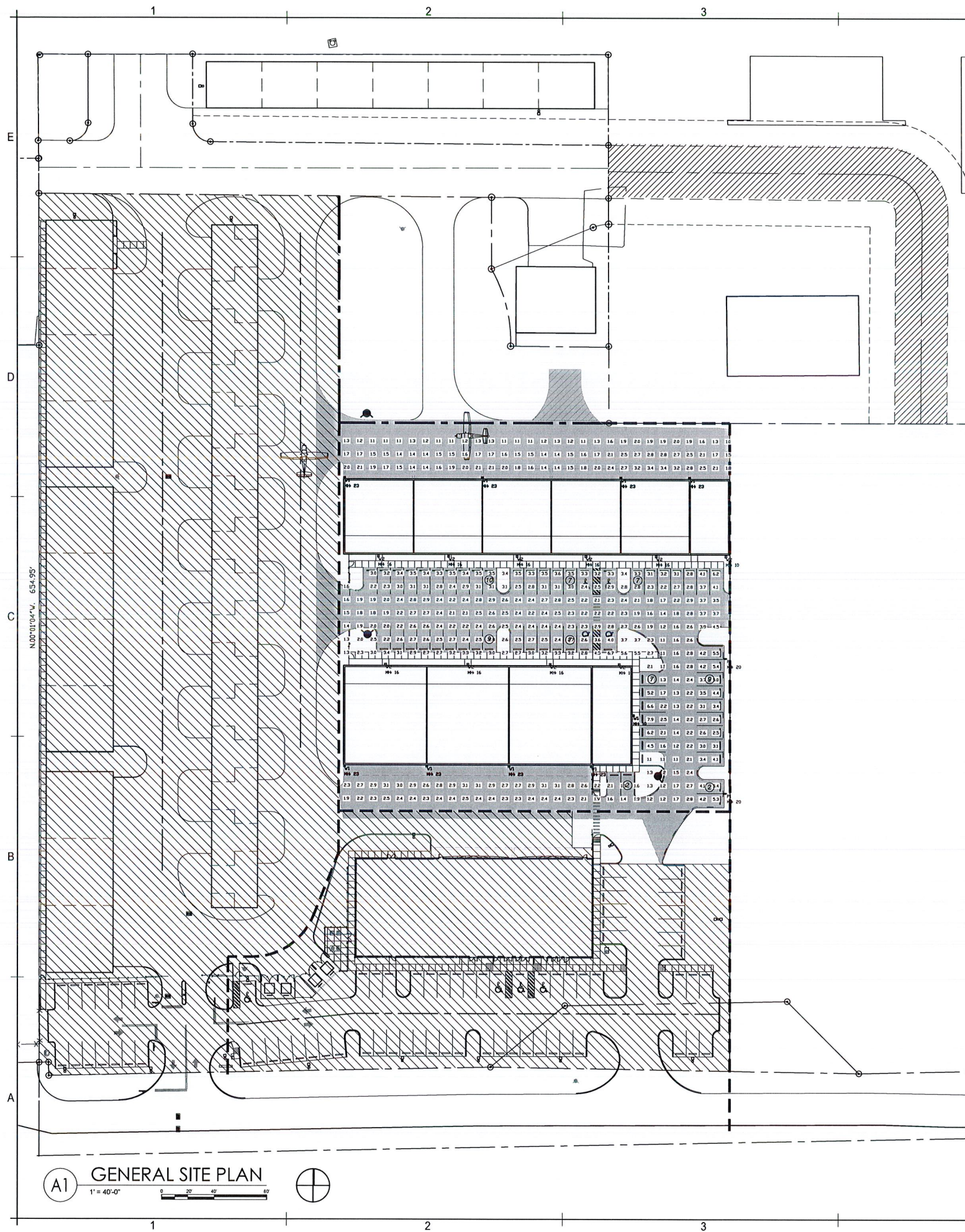
DESIGNED	DRAWN	CHECKED
CVG	EJB	CVG
DATE:	05/23/19	COMM:
		180406

REVISIONS

BUILDING #6
EXTERIOR ELEVATIONS

SITE PLAN APPROVAL





A1 GENERAL SITE PLAN
1" = 40'-0"

B4 NOT USED

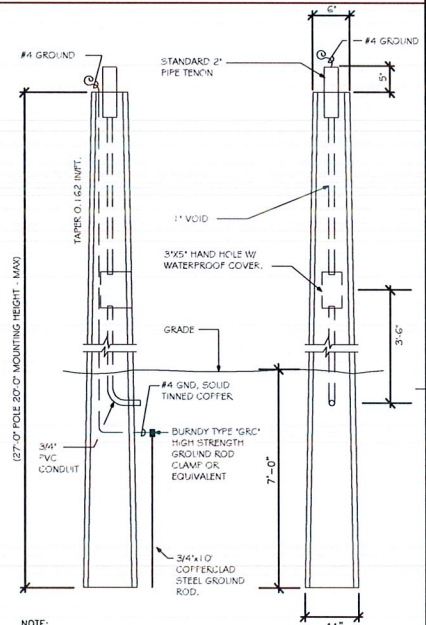
Luminaire Schedule							
Project: DIVERSIFIED AVIATION AT NORTH PERRY AIRPORT - SITE_REV 6 PEMBROKE PINES, FL 05/21/2019							
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Luminaire Lumens	LLF Luminaire Watts Assembly Watts
	2	P1	SINGLE	U.S. Architectural Lighting	VRS-LED/PLED-III-M/80LED-700mA/NW/277/1/RAL9003S MH: POLE MOUNT A.F.G.	21864	0.855 173.6 173.6
	9	W1	SINGLE	U.S. Architectural Lighting	VRS-LED/PLED-III-M/40LED-700mA/NW/277/1/RAL9003S MH: WALL MOUNT A.F.G.	11327	0.855 86.8 86.8
	10	W2	SINGLE	U.S. Architectural Lighting	VRS-LED/PLED-IV-F/40LED-700mA-NW/277/1/RAL9003S MH: WALL MOUNT A.F.G.	10240	0.855 86.8 86.8

Calculation Summary							
Project: DIVERSIFIED AVIATION AT NORTH PERRY AIRPORT - SITE_REV 6 PEMBROKE PINES, FL 05/21/2019							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	2.48	7.9	1.0	2.48	7.90

A4 LIGHTING SCHEDULE



D6 SITE LIGHTING FIXTURE DETAIL
NOT TO SCALE



B6 CONCRETE POLE DETAIL
NOT TO SCALE

AMENDMENT TO SITE PLAN APPROVAL FOR:
DIVERSIFIED AVIATION
AT NORTH PERRY AIRPORT - PHASE IIA

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1915 southeast 4th avenue
Fort Lauderdale, FL 33316

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DATE:		COMM:
05/23/19		180406
R E V I S I O N S		

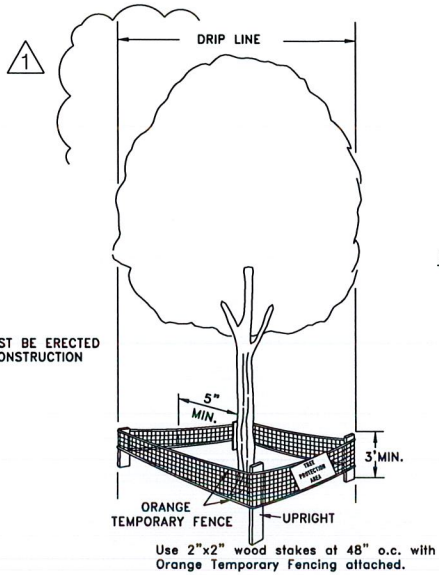
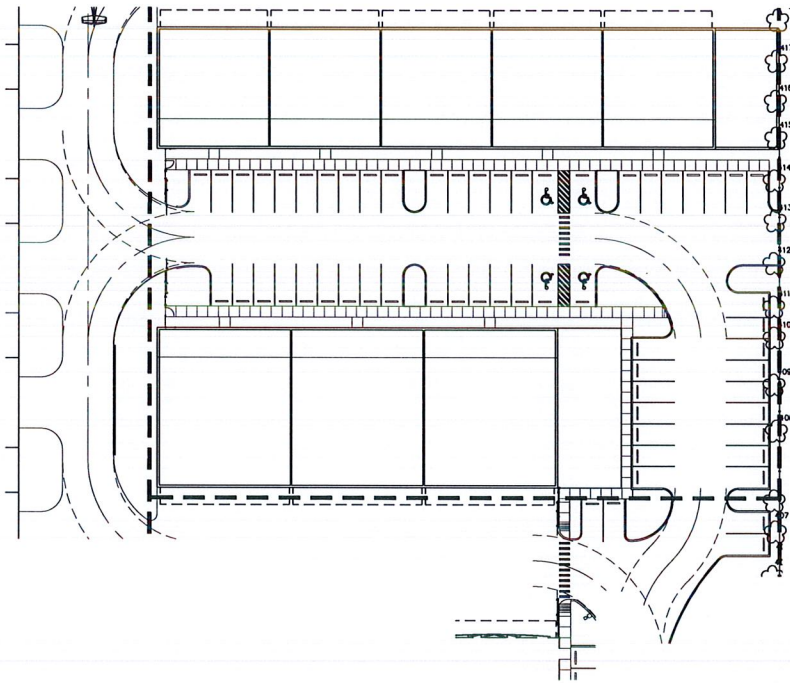
PHOTOMETRIC
SITE PLAN

SITE PLAN APPROVAL

PH-101

TREE TABLE			
TREE NO.	NAME	DIAMETER	DISPOSITION
405	OAK	24"	T.B.R.
406	UNKNOWN	6"	T.B.R.
407	UNKNOWN	12"	T.B.R.
408	OAK	12"	T.B.R.
409	UNKNOWN	12"	T.B.R.
410	UNKNOWN	18"	T.B.R.
411	UNKNOWN	12"	T.B.R.
412	OAK	30"	T.B.R.
413	OAK	12"	T.B.R.
414	UNKNOWN	16"	T.B.R.
415	UNKNOWN	16"	T.B.R.
416	UNKNOWN	8"	T.B.R.
417	UNKNOWN	12"	T.B.R.
418	OAK	16"	T.B.R.

R.U. = REMAIN UNCHANGED
T.B.R. = TO BE REMOVED
RELOCATE = RELOCATE ON SITE



NOTE:
BARRIER MUST BE ERECTED
PRIOR TO CONSTRUCTION

NOTES:

1. NO HEAVY EQUIPMENT ALLOWED INSIDE BARRIER, ONLY HAND LABOR
2. NO CONSTRUCTION MATERIALS OR TEMPORARY SOIL DEPOSITS ALLOWED INSIDE THIS AREA

BY OBSERVING THESE TWO SIMPLE PRINCIPLES, A TREES' CHANCE FOR SURVIVAL IS GREATLY ENHANCED

SPECIFICATIONS FOR WOOD BARRIER

1. MINIMUM RADIUS TO BE PROTECTED IS ENTIRE DRIP LINE
2. MINIMUM 3' IN HEIGHT
3. UPRIGHTS- THE EQUIVALENT OF 2"x4" LUMBER ON 6' MINIMUM CENTERS
4. HORIZONTAL- ORANGE TEMPORARY FENCING ATTACH "TREE PROTECTION AREA" SIGNS EVERY 30' O.C. AND MIN. 1 PER SIDE
5. BARRIERS TO BE ERECTED AROUND TREES TO REMAIN BEFORE CONSTRUCTION OR NEARBY TREES ARE REMOVED
6. BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA

5
6

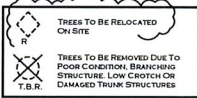
Revised 05-20-19 per Revised site	SP
Revised 06-06-19 per City Review Dated 06-04-19 & Site update	SP

1
2
3

REVISIONS	BY
Revised 10-20-11 Per City Cmtns & Site Plan	
Revised 11-07-11 Per Civil Eng'r Mods	
Revised 11-10-12 to show as Phased Const.	TE
Revised 9-10-14 per Owner changes	TE
Revised 10-24-14 per Owner changes	TE
Revised 01-26-16 per Revised Site Plan	PL
Revised 02-16-16 per City Comments	PL

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th AVE. Delray Beach, FL 33483
561-272-9621 dnc@clainc.net LA. 831

Landscape & Irrigation for:
North Perry Airport
Broward County
Pembroke Pines, Florida

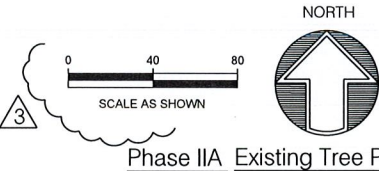


1

1

EXISTING LIVE OAK TRIMMING NOTE:

Existing Live Oak Trees to be trimmed to provide adequate clear trunk for airplane taxi clearance. All trimming to be performed by a certified Arborist and in accordance with National Arborist Standards and per City Code.



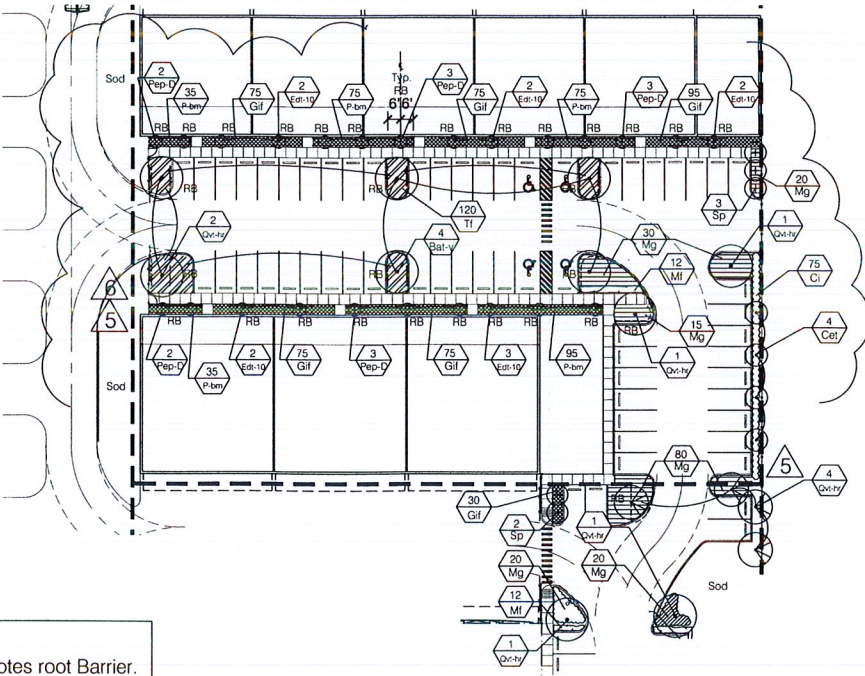
Phase IIA Existing Tree Plan

DRAWN
SKP / PL
CHECKED
D.H.C.
DATE
01.18.16
SCALE
1" = 40'
JOB NO.
12.10.07
SHEET
L-1
OF 6 SHEETS

MATERIAL SCHEDULE (Phase 2 - A)

QTY	KEY	BOTANICAL/COMMON NAME	SIZE
13	Pep-d	Ptychosperma elegans/ Alexander palm, dble	16ft.o.a.dble.
11	Edt-10*	Elaeocarpus decipens/ Japanese blueberry tree	12x5ft.6ft.ct.,columnar shaped, mtchg
5	Sp*	Sabal palms	16,18,20ft.oa.
10	Qvt-hr*	Quercus virginiana, Highrise/High rise live oak tree	14-16"oa.x7"sp. 4"calip@6" off ground
4	Bat-v*	Bulnesia arborea/ Verawood tree	12x6ft. 6ft.ct. 3"calip@ 6" off ground
4	Cet*	Conocarpus erectus/ Green buttonwood tree	12x6ft. 6ft.ct. 3"calip@ 6" off ground
425	Glf*	Ficus macrocarpa/ Green island ficus	15-18"3g.@18"oc.
185	Mg*	Muhlenbergia capilaris/ Muhly grass, pink	15-18"3g.@18"oc.
310	P-bm	Philodendron, Buple marx	15-18"3g.@18"oc.
120	Tf*	Tripsacum floridanum/ Dwf. Fakahatchee grass	18"3g.@18"oc.
12	Ml*	Myrcianthes fragrans/Simpson stopper	24" 3g.@2'oc.
Planting soils, see specs & details			
Mulch, brown, see details & specs.			
Sod, solid Palmetto St.Augustine			

* - Indicates native, or highly drought toloernat materials, per the FI.Friendly Guidelines.



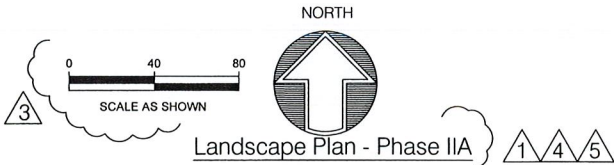
Note:
RB :- Denotes root Barrier.
See Sheet L-3 For Details

FLORIDA FRIENDLY LANDSCAPE TABULAR DATA:

DESIGN OPTIONS:	POINTS:
1. Utilization of moisture sensing controller other than a rain switch	5 / 5
2. Plan submitted with low, moderate, and high water usage zones indicated	5 / 0
3. Grass: 25%-50% of the grass areas are made up of natural drought tolerant grass species 51% or more of the grass areas are made up of natural drought tolerant species from the list	5 / 0 10 / 10
4. Shrubs: 25%-50% of the required shrubs areas are made up of natural drought tolerant shrub species 51% or more of the required shrubs are made up of natural drought tolerant species from the list	5 / 0 10 / 10
5. Trees: 25%-50% of the required trees are made up of natural drought tolerant tree species 51% or more of the required trees areas are made up of natural drought tolerant species from the list	5 / 0 10 / 10
6. Extra shade trees in vehicular use areas: 25% more than the required shade trees planted in the vehicular use areas 50% more than the required shade trees planted in the vehicular use areas	5 / 5 10 / 0 10 / 10
7. Natural sod area less than 50% of landscape area.	10 / 10
8. Utilization of compacted mulched planting beds at least 3" in depth in all planting areas except ground covers	10 / 0
TOTAL:	50 Points

CONTRACTOR TO UTILIZE "BEST MANAGEMENT PRACTICES"
PER FLORIDA FRIENDLY LANDSCAPE STANDARDS

ALL VEGETATION MUST CONFORM TO USDA STANDARDS



Revised 03-22-16 per City Comments	PL
Revised 05-20-19 per Revised site	SP
Revised 06-06-19 per City Review Dated 06-04-19 & Site update	SP

REVISED 6.14.19 PHASE 2-A MATERIAL SCHEDULE ON SHT.L-2. Per City Rqst

1
2
3

REVISIONS	BY
Revised 10-20-11 Per City Cmmts & Site Plan	
Revised 11-07-11 Per Civil Eng'r Mods	
Revised 11-10-12 to show as Phased Const.	TE
Revised 9-10-14 per Owner changes	TE
Revised 10-24-14 per Owner changes	TE
Revised 01-26-16 per Revised Site Plan	PL
Revised 02-16-16 per City Comments	PL

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Landscape & Irrigation for:
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Broward County
Pembroke Pines, Florida

DRAWN
SKP / PL
CHECKED
D.H.C.
DATE
01.18.16
SCALE
1" = 40'
JOB NO.
12.10.07
SHEET
L-2
OF 6 SHEETS

MATERIAL SCHEDULE

Qty.	Key	Botanical / common name	Size
6	Dct*	Senna mexicana / Dessert cassia Tree	9'-10' x 4'-5' B & B
180	Pil	Pellaphorum pterocarpus/ yellow poinciana tree	14 x 7' w/ 6' cl 2" Dbh
6	Cest*	Conocarpus E. Serceus / Silver buttonwood tree	10' - 12' x 5' w/ 5' cl
19	Qvt-hr	Quercus virginiana/ High rise Live oak tree	14' - 16' o.a. x 7'-8' spr 4" Caliper @ 6" off ground
7	Bst*	Bursera Simaruba/ Gumbo limbo tree	14' x 7' 6" Caliper @ 6" off ground
1	Bst-R*	Bursera Simaruba/ Gumbo limbo tree Relocated	16x7', 8' cl, mltg.
16	Cat	Chrysophyllum oliviforme/ Satin leaf	16' o.a. hvy. Caliper
13	Vmp-S	Veitchia Montgomeryana/ Montgomery Palm	12' x 6', w/ 6' cl, Matching
8	Eph1	East Palatka Holly Tree	12' x 6'
7	Cet*	Conocarpus erectus/green buttonwood tree	10'-12'x4'
4	Bat-v*	Bulnesia arborea/ Verawood tree	16' - 18' o.a. size - Relocated, refer to plan
37	Sp-R*	Sabal Palm	16' oa, Triple
7	Pep-T	Ptychosperma elegans / Alexander palm triple	16' oa, double
13	Pep-d	Ptychosperma elegans / Alexander palm double	14' oa
3	Pep-S	Ptychosperma elegans / Alexander palm	14x6' w/ 6' cl, 2" Dbh
9	Cdt*	Coccoloba diversifolia/ Pigeon Plum Tree	14x7' w/ 6' cl, 2" Dbh
2	Dlt*	Delonix reggea/ Royal poinciana tree	12' x 6', w/ 6' cl, Matching
20	Edt-10*	Elaeocarpus decipiens/Japanese blueberry tree	16' - 18' o.a.
3	Sp*	Sabal Palm	
681	Ct*	Chrysobalanus icaco / Cocoplum	24" x 24" 3g. @ 30" o.c.
180	Ivs*	Ilex vomitoria / Dwarf Youpon	15" @ 24" o.c.
905	Mg*	Muhlenbergia capilaris/ Muhly grass	15" 3g. @ 15" o.c.
60	Hp-d*	Hamelia patens, dwf. / Dwf. firebush	18" 3g. @ 30" o.c.
20	Hp-r*	Hamelia patens, dwf. / Dwf. firebush, Relocated	18" 3g. @ 30" o.c.
630	Wt*	Polypodium scop. / Warf fern	10" 1g. @ 1' o.c.
100	Az-V	Alpinia zerumbet, variegated / Variegated ginger	30" 3g. @ 30" o.c.
140	Tt*	Tripsacum floridana / Dwf. lakahatchee grass	15" 3g. @ 15" o.c.
715	Glt*	Ficus microcarpa / Green island fig	18" 3g. @ 15" o.c.
80	D-bf	Dianella tasmanica / Blue flax lily	15-18" 3g. @ 20" o.c.
265	Jc-p*	Juniperus chinensis, Parsonii / Parson's Juniper	15" 3g. @ 24" o.c.
260	Ce*	Conocarpus erectus / Green buttonwood	4' x 2' @ 36" o.c.
68	Ce-7*	Conocarpus erectus / Green buttonwood	3 1/2' - 4', Full to base @ 30" o.c.
200	A	Annuals	4" Pot
150	Ch	Codiaeum variegatum/ Croton bravo	15" 3g. @ 18" o.c.
142	Mt*	Myrcianthes fragrans/ Simpson stopper	24" 3g. @ 2' o.c.
32.5	WCR	White crushed rock, on tyar filter fabric	cubic yards
72	Fm-7	Podocarpus makii / Yew	6x3"
3	Ca-qe	Crinum Augustum/ Quee emma	30" 30"
315	P-bm	Philodendron hastatum/ Burle Marx	15" 3g. @ 20" oc
20	H-ld	Heliconia/ Lady Di	3'-4' oa

* - Denotes native, or highly drought tolerant plant materials, per SFWMD, "Waterwise Manual".

88.5% Native plant materials used.
Planting soils, see specs. & details
Mulch, see specs. & details
Sod Saki Floratam
(DBH) Diameter @ Breast Height

GENERAL LANDSCAPE NOTES:

- All plant material shall be F1, #1, or better, as per the latest addition of F1, Grades & standards. All "specimen" quality materials shall be F, Fancy, and shall be pre-approved by the Landscape Architect.
- All plant materials shall be true to name & size, as per F1, Grades & Standards. Plant materials which do not meet, or exceed these standards will not be accepted.
- Quantities, sizes, and locations of plants will be determined by the plan and material schedule. Sizes of the specified plants shall take precedence over the container size. Spacing of the ground covers will be determined by the material schedule. Quantities shown on the material schedule are to be used as a guideline. The landscape contractor shall be responsible for the actual quantities shown on the plan. The plans will take precedence over the material schedule. Discrepancies shall be brought to the attention of the Landscape Architect, prior to bidding the project, and commencing any work.
- No substitutions shall be accepted without the Landscape Architect's written approval. All substitution requests shall be made in writing.
- Planting soils shall be clean, sterile, and free of debris. Soil shall consist of 40% F1, muck % 60% existing native soils, mixed thoroughly together, clean sand. Tree's shall be installed with a minimum of 6" on sides & bottom of root balls. Shrubs, plants & ground covers shall be installed with a minimum of 6" on sides & bottom of root balls. Rooted cuttings shall be installed with a minimum of 4" of planting soils worked into the top 6" of the existing soils. Sabal palms and Phoenix specie shall be installed with a clean well drained sand.
- Milorganite, or equal, fertilizer shall be applied to all plantings, per manufactures recommendations. In addition, "Agriform" tablets (20-10-5) shall also be applied to all plants 1 gal., and above, per manufactures recommendations.
- All tree's & palms shall be mulched with a 3ft. diameter circle. 3" minimum depth. All planting beds shall receive 3" finished depth, mulch upon completion of planting process. Mulch shall "Eucalyptus", or approved equal. NO CYPRESS MULCH SHALL BE UTILIZED ON THE PROJECT.
- All plants shall be planted at soil levels which they were previously grown. Shrubs and hedges are to be planted 2ft. away from any wall, or structures. Materials with a six greater than overhangs shall be planted so as not to impede the natural growth habit of the plant.
- All materials are to be watered-in immediately after planting, so as to remove all air pockets. B18 materials are to be hand-watered for a minimum of 1 week after installation, and there-after as required. Contractor shall advise the owner of any additional hand-watering requirements.
- All tree's 8ft., or larger, are to be staked, or guyed, to provide ample support such that materials remain straight & true in an up-right position through the guarantee period. Staking & guying shall be performed at the option of the landscape contractor, except where required by code. However, the landscape contractor shall be responsible for all tree's & palms remaining straight & true through the guarantee period. In the event that a material shifts after it has been properly staked, or guyed, the landscape contractor shall not be held responsible.
- All sod shall be "Floratam", unless otherwise specified. Sod shall be dense, green, well-rooted, and free of debris, weeds, disease, or insects. A complete 6-6-6 fertilizer shall be applied at a rate of 10lbs. per 1,000sq.ft.. Sod is to be watered to a depth of 3" immediately after installation. Grades are to be raked smooth, and all debris removed, prior to installation.
- All tree's, plants & ground-covers shall be guaranteed for a period of 120 days, and all palms are for a period of one year, after the date of substantial completion. Phoenix canariensis & dactylifera palms are to be maintained, per growers/suppliers recommendations, by a qualified person, or firm. Said maintenance program shall be the responsibility of the owner.
- The landscape invoice will be deemed as rejection of the plant materials. The landscape contractor shall remove any, or all of the rejected materials from the site as their discretion.
- The removal of "base rock" is not included in the landscape contract.
- All grades are to be within 2" of finished grades, prior to the landscape contractor commencing work.

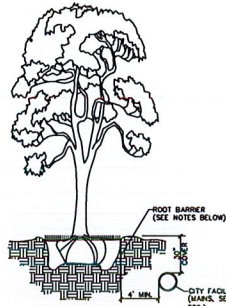
EXISTING MATERIAL TO REMAIN/RELOCATE

QTY.	DESCRIPTION
1	Cpp Syagrus romanzoffiana / Queen Palm
4	Bbt Bucida buceras / Black Olive Tree
18	Qvt-hr Quercus virginiana / Live Oak Tree
35	Sp Sabal palms (18'-22' oa.) - 27 Relocated 8 to Remain

TOTAL NUMBER OF EXISTING MATERIALS TO REMAIN ON SITE = 59
SEE PLANTING PLANS FOR LOCATIONS

NOTE:

THE LANDSCAPE INSTALLATION SHALL UTILIZE BEST MANAGEMENT PRACTICES SET FORTH BY FLORIDA FRIENDLY LANDSCAPE STANDARDS



NOTES:

- ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
- THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- ROOT BARRIERS SHALL BE MINIMUM 3/4" DEEP. APPROVED PRODUCTS INCLUDE "TARP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 3/4" PANELS MANUFACTURED BY BOMBARDS.
- ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Any Trees or shrubs placed within water, sewer or drainage easements shall conform to the City Standard Detail requirements.

Note:

RB :- Denotes root Barrier.
See Sheet L-2 For Designated Trees

MATURE CANOPY CALCULATIONS

QTY	MATERIAL CODE	CANOPY SIZE	SQ. FT. CANOPY
6	DCT	@ 10' x 10' / 100 SQ. FT. =	600 SQ. FT.
7	PIT	@ 30' x 30' / 900 SQ. FT. =	6,300 SQ. FT.
6	CEST	@ 15' x 15' / 225 SQ. FT. =	1,350 SQ. FT.
10	Qvt-hr	@ 40' x 40' / 1600 SQ. FT. =	16,000 SQ. FT.
7	BST	@ 40' x 40' / 1600 SQ. FT. =	11,200 SQ. FT.
1	BST-R	@ 40' x 40' / 1600 SQ. FT. =	1,600 SQ. FT.
13	VMP-S	@ 12' x 12' / 144 SQ. FT. =	1,872 SQ. FT.
18	EPHT	@ 12' x 12' / 144 SQ. FT. =	2,592 SQ. FT.
37	SP-R	@ 10' x 10' / 100 SQ. FT. =	3,700 SQ. FT.
7	PEP-T	@ 12' x 12' / 144 SQ. FT. =	1,008 SQ. FT.
1	PEP-D	@ 12' x 12' / 144 SQ. FT. =	144 SQ. FT.
3	PEP-S	@ 12' x 12' / 144 SQ. FT. =	432 SQ. FT.
25	Cdt	@ 30' x 30' / 900 SQ. FT. =	22,500 SQ. FT.
6	DRT	@ 40' x 40' / 1600 SQ. FT. =	9,600 SQ. FT.
TOTAL MATURE CANOPY PROVIDED			= 78,898 SQ. FT.

NOTE:
Remove All Exotic Nuisance Species, Including But Not Limited To (Fl. Holly, Australian Pine, Melaleuca, etc.) Per Pembroke Pines Code.

EXISTING MATERIAL REMOVAL SCHEDULE

TOTAL NUMBER OF EXISTING MATERIALS TO BE REMOVED = 61
TREES TO BE REMOVED DUE TO HEALTH, SAFETY & WELFARE OF AIRCRAFT OPERATIONS.

NOTES:

- All Trees, Shrubs & Plants used on this site shall conform to the requirements of "Low watering needs" materials as specified in the South Florida Water Management District's "Waterwise" publication.
- All proposed utility structures shall be planted on three sides with "Waterwise" Cocoplum hedges
- All landscape areas containing trees and vegetation shall be first filled with city inspected clean fill soil.
- Clean fill. All planted areas on the site shall first be filled with clean fill to a depth of one foot from the surface along the entire length of the green space, island, or landscape buffer.
- Inspection. The city shall inspect all clean fill, irrigation systems and landscape improvements prior to installation.

Automatic irrigation system to provide 100% irrigation coverage, with 100% overlap minimum, with a programmable controller and rain sensor. Shrub & Turf zones are to be separated.
THERE SHALL BE NO TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS

NOTE: All Landscape Within Sight Triangles Shall Provide Unobstructed Cross-visibility At A Horizontal Level Between 30 Inches And 8 Feet, Including Trunks From Pavement.

ALL VEGETATION MUST CONFORM TO USDA STANDARDS

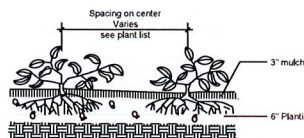
CONTRACTOR TO UTILIZE "BEST MANAGEMENT PRACTICES" PER FLORIDA FRIENDLY LANDSCAPE STANDARDS

EXISTING MATERIAL (Perimeter Buffer East Airport Road)

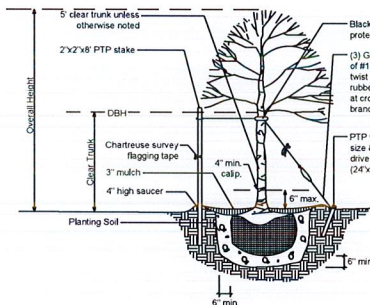
DESCRIPTION
Cs Chlorisia speciosa/ Silk floss tree
Bst Bursera Simaruba/ Gumbo limbo tree
Dr Delonix regia/ Royal poinciana
Ts Tecoma stans/ Yellow elder
Ce Conocarpus erectus 'sericeus'/ Silver buttonwood
Li Ligustrum lucidum/ Glossy privet
Sp Sabal palms
Bn Bismarkia nobilis/ Silver lantan palm

NOTE:

Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see detail). A suitable planting soil mixture of fifty/fifty (50/50), sixty/forty (60/40) (sand / planting soil) shall eith be backfilled in place of the native soil or efficiently mixed with the native soil create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



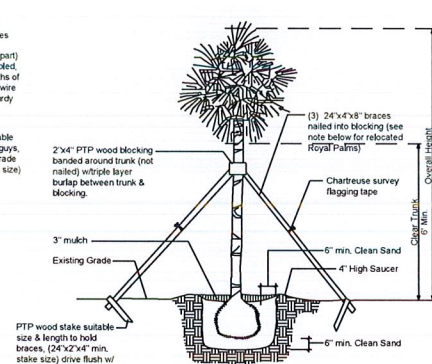
Groundcovers



NOTE: Stake all trees up to 2' cal. @ 2 per tree. Guy all trees larger than 2' cal. Pull burlap from top of root ball. Remove all non-biodegradable materials such as wire, twine, etc. on rootball

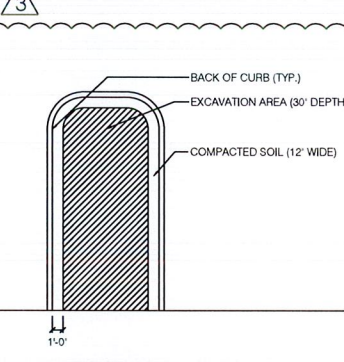
Trees

Shrubs



Straight Trunk Palms

NOTE:



Parking Area Soil Replacement Detail

Landscape Data

Pembroke Pines / (North Perry Airport)

ROW	REQUIRED	PROVIDED
Trees 1/80 Lin Ft. (1100') Hedge Cont.	22	47 (including existing) Provided
PERIMETER: Abutting Prop.	N/A	
PARKING LOT:		
1 Tree / 3 Parking Spaces(113) Industrial Zoning (50% Less Requirements)	37 TREES	38 TREES

DESIGNED BY:

CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.

74 N.E. 5th AVE. Delray Beach, FL 33483
561-272-9621 dclainc@bellsouth.net

LA. 831

Landscape & Irrigation for:

North Perry Airport

Broward County
Pembroke Pines, Florida

DRAWN

SKP / PL

CHECKED

D.H.C.

DATE

01.18.16

SCALE

1" = 40'

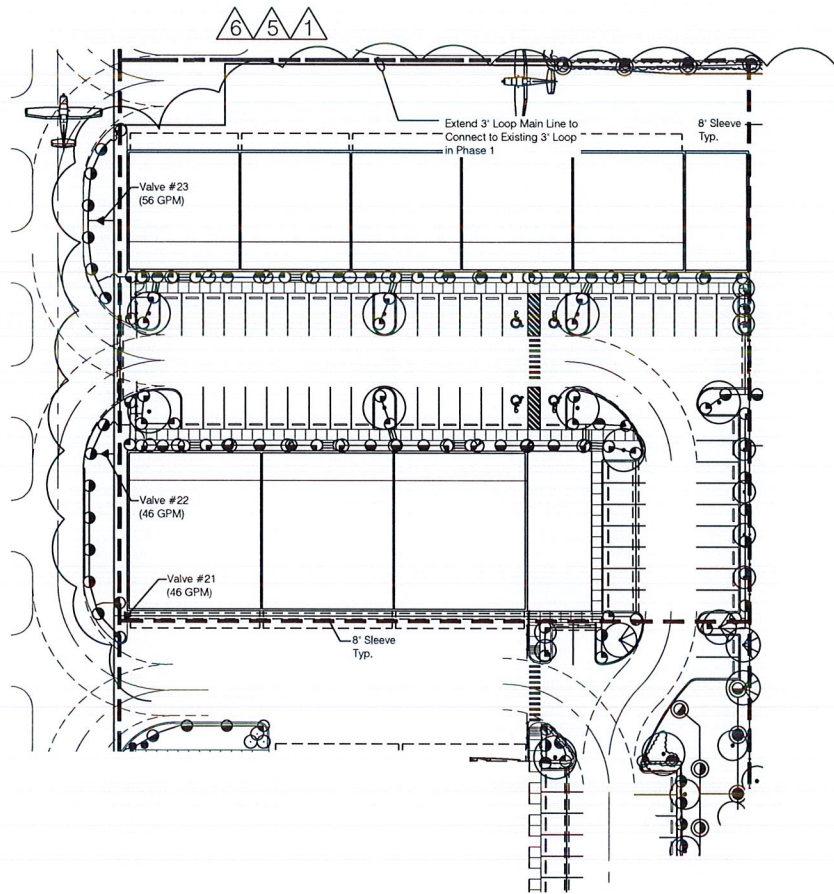
JOB NO.

12.10.07

SHEET

L-3

OF 6 SHEETS



Phase IIA
Irrigation Plan



5
6

Revised 05-20-19 per Revised site	SP
Revised 06-06-19 per City Review Dated 06-04-19 & Site update	SP

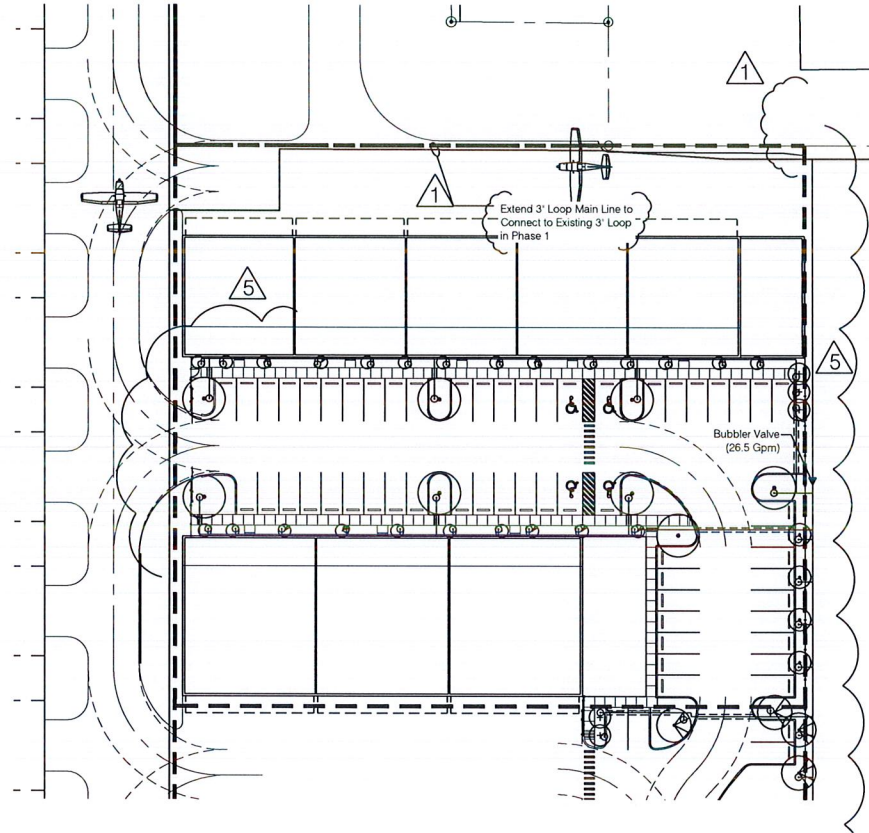
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REVISIONS	BY
Revised 10-20-11 Per City Cmmts & Site Plan	
Revised 11-07-11 Per Civil Eng'r Mods	
Revised 11-10-12 to show as Phased Const.	TE
Revised 9-10-14 per Owner changes	TE
Revised 10-24-14 per Owner changes	TE
Revised 01-26-16 per Revised Site Plan	PL

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Landscape & Irrigation for:
North Perry Airport
Broward County
Pembroke Pines, Florida

DRAWN SKP / PL
CHECKED D.H.C.
DATE 01.18.16
SCALE 1" = 40'
JOB NO. 12.10.07
SHEET L-4
OF 6 SHEETS



5
6

Revised 05-20-19 per Revised site	SP
Revised 06-06-19 per City Review Dated 06-04-19 & Site update	SP

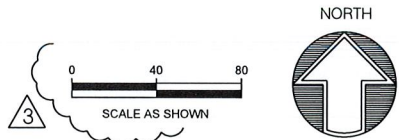
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REVISIONS		BY
Revised 10-20-11 Per City Cmmts & Site Plan		
Revised 11-07-11 Per Civil Eng'r Mods		
Revised 11-10-12 To show as Phased Const.	TE	
Revised 9-10-14 per Owner changes	TE	
Revised 10-24-14 per Owner changes	TE	
Revised 01-26-16 per Revised Site Plan	PL	
Revised 02-16-16 per City Comments	PL	

DESIGNED BY:
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Landscape & Irrigation for:
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Pembroke Pines, Florida

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CHECKED D.H.C.
DATE 01.18.16
SCALE 1" = 40'
JOB NO. 12.10.07
SHEET L-5
OF 6 SHEETS



Phase IIA Bubbler Plan

