

Zoning Map

SCALE 1/2" = 1'-0"



Land Use Map

SCALE 1/2" = 1'-0"



Aerial

SCALE 1/2" = 1'-0"



project info :

**MedSquare
 Pembroke Pines**

MAS AJP
 NEW CONSTRUCTION
 Pembroke Pines, Florida

seal :

Digitally signed
 by Robert K
 Morissette
 Date:
 2024.09.19
 13:33:03-04'00'

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CC
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev. #	Description	Date
1	Rezoning Submittal	06/30/20
2	Site Plan Review	11/01/20
3	Site Plan Resubmittal	03/15/20

drawing data :

Site Context

project number : #2123

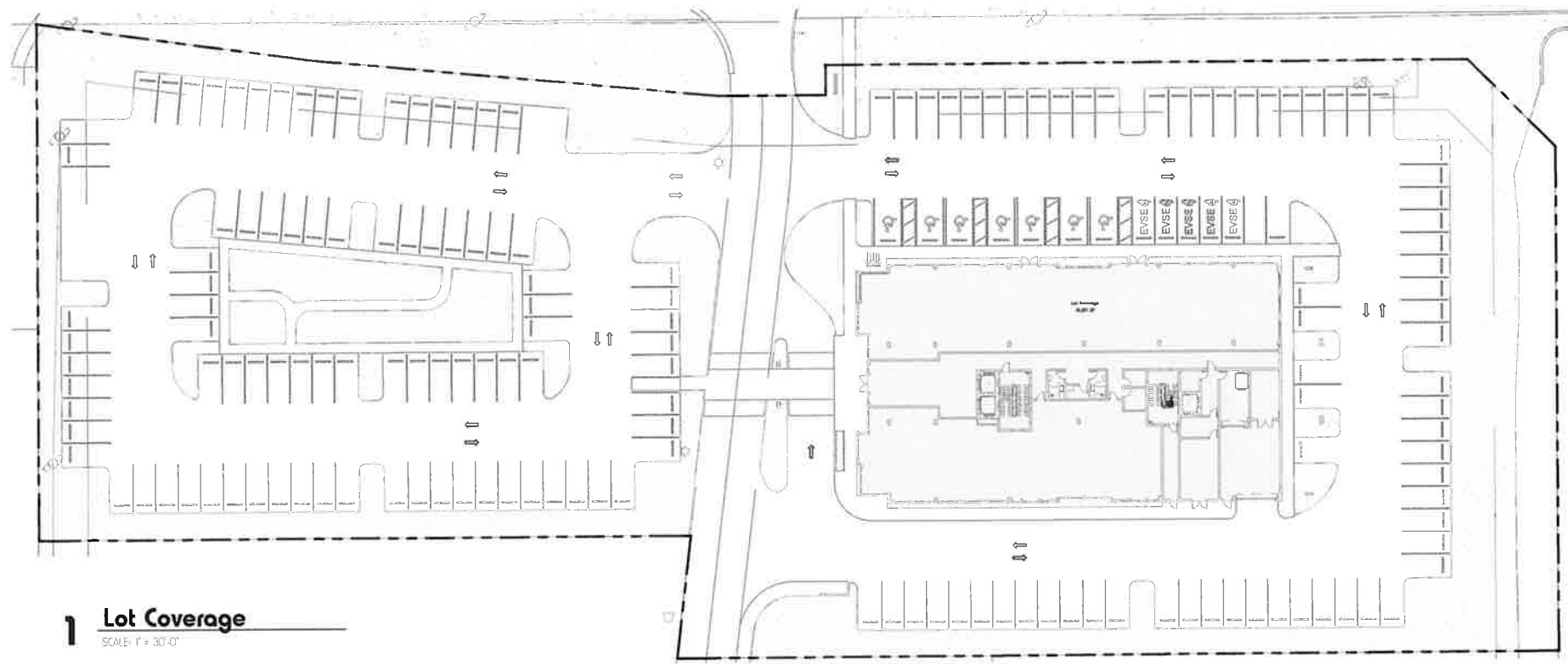
drawing scale : 1/2" = 1'-0"

drawing date : 06/14/202

phase : Site Plan Resubmittal

sheet number :

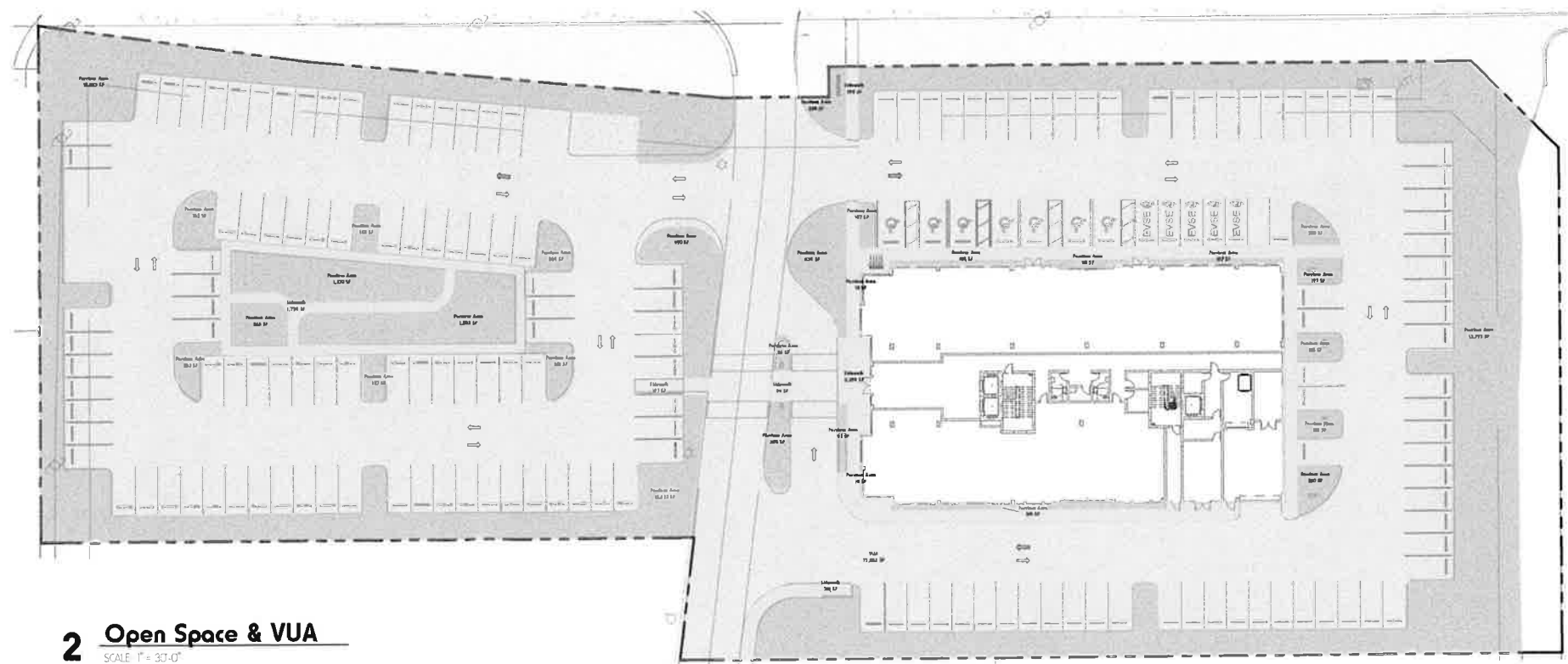
A001



1 Lot Coverage
SCALE: 1" = 30'-0"

Legend

□ Lot Coverage



2 Open Space & VUA
SCALE: 1" = 30'-0"

Legend

□ Pervious Area
□ Sidewalk
□ VUA

SITE CALCULATIONS (BASED ON NET AREA)			
NET AREA	130,909.00 SF	3.01 AC	
LOT COVERAGE	30%	57,841 SF	12% 16,011 SF
OPEN SPACE	10%	13,091 SF	30% 39,573 SF
VUA	N/A		55% 72,052 SF
PERVIOUS AREA	N/A		26% 33,718 SF

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drawing data :
Site Diagrams

project number : #2123
 drawing scale : 1" = 30'-0"
 drawing date : 06/14/2024
 phase :
 Site Plan Resubmittal
 sheet number :

A002



Master Site Plan

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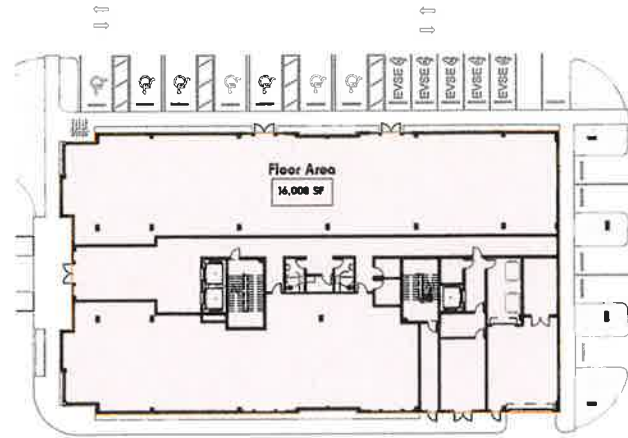
revisions :

Rev. #	Description	Date
1	Rezoning Submittal	06/30/20
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3	Site Plan Resubmittal	03/15/20

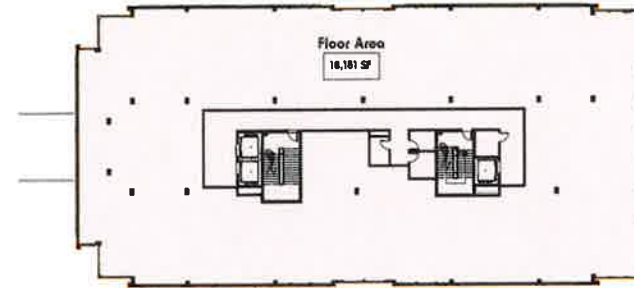
drawing data :
**Grass Site
 Parking Diagram
 Layout Plan**

project number : #2123
 drawing scale :
 drawing date : 06/14/2024
 phase :
 Site Plan Resubmittal
 sheet number :

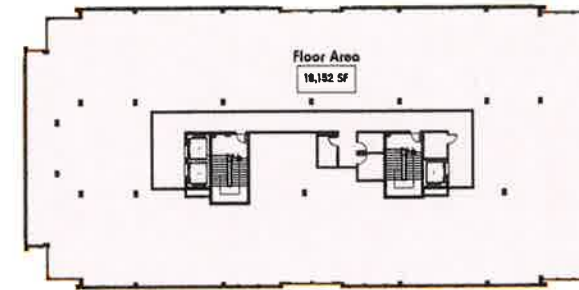
A002A



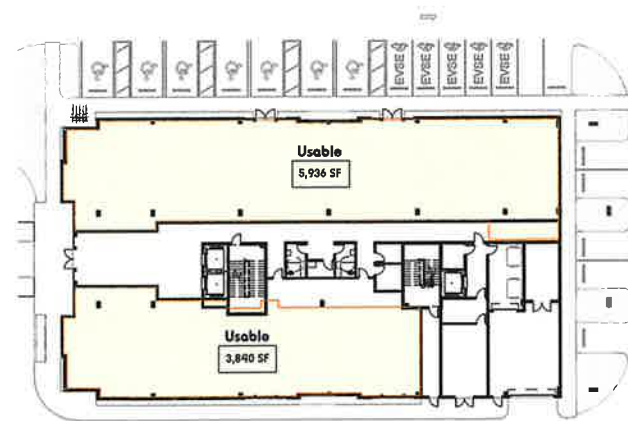
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SCALE: 1" = 30'-0"



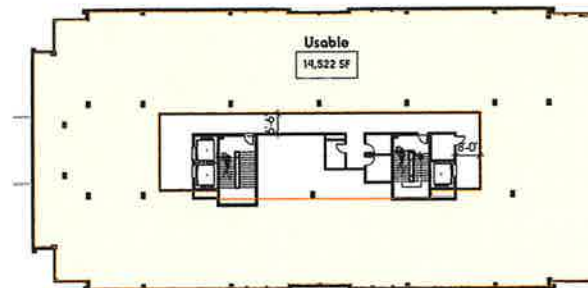
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SCALE: 1" = 30'-0"



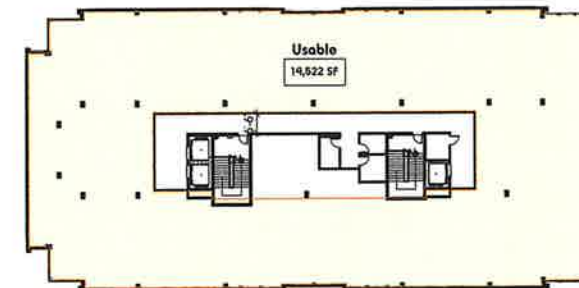
3 Level 3
SCALE: 1" = 30'-0"



4 Level 1
SCALE: 1" = 30'-0"



5 Level 2
SCALE: 1" = 30'-0"



6 Level 3
SCALE: 1" = 30'-0"

Area Schedule (Gross Building)

Level	Name	Area
Level 1	Floor Area	16008 SF
Level 2	Floor Area	18151 SF
Level 3	Floor Area	18152 SF
Grand Total:		52311 SF

Area Schedule (Usable)

Level	Name	Area
Level 1	Usable	9776 SF
Level 2	Usable	14522 SF
Level 3	Usable	14522 SF
Grand Total:		38819 SF

project info :

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FLORIDA REGISTERED ARCHITECT # AR 93255

revisions :

Rev. #	Description	Date
	Rezoning Submittal	06/30/20
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :

Building Areas

project number : #2123

drawing scale : 1" = 30'-0"

drawing date : 06/14/202

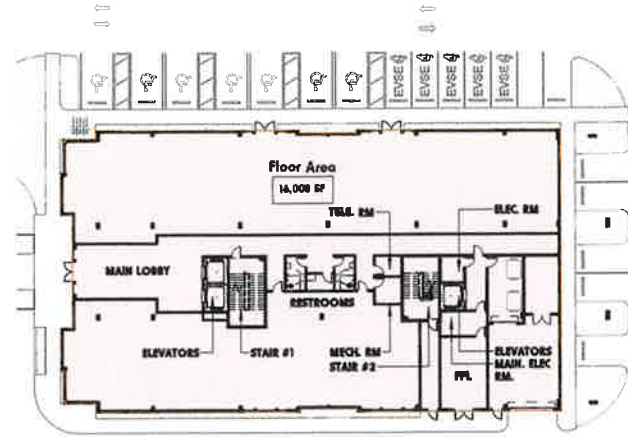
phase : Site Plan Resubmittal

sheet number :

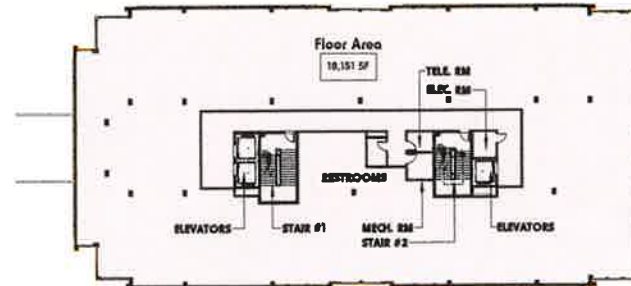
A003

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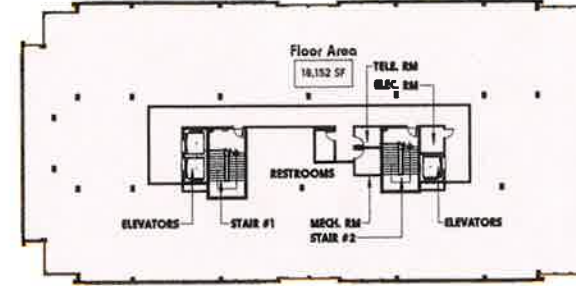
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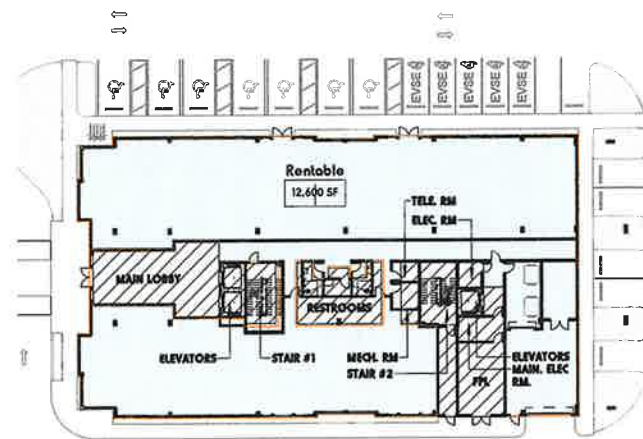
1 Level 1 - Gross Area
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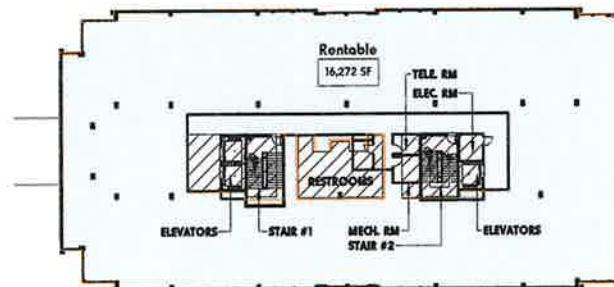
2 Level 2 - Gross Area
SCALE: 1" = 30'-0"



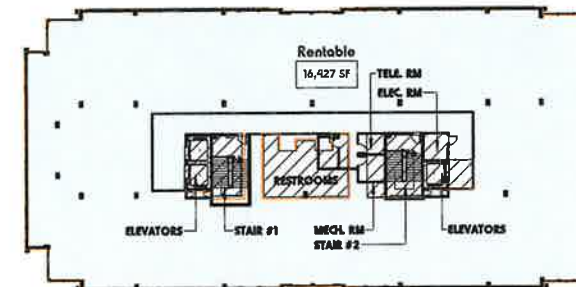
3 Level 3 - Gross Area
SCALE: 1" = 30'-0"



4 Level 1 - Rentable Area
SCALE: 1" = 30'-0"



5 Level 2 - Rentable Area
SCALE: 1" = 30'-0"



6 Level 3 - Rental Area
SCALE: 1" = 30'-0"

Area Schedule (Gross Building)		
Level	Name	Area
Level 1	Floor Area	16008 SF
Level 2	Floor Area	18151 SF
Level 3	Floor Area	18152 SF
		52311 SF

Area Schedule (Rentable)		
Level	Name	Area
Level 1	Rentable	12600 SF
Level 2	Rentable	16272 SF
Level 3	Rentable	16427 SF
Grand Total Rentable		45298 SF

project info :

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FLORIDA REGISTERED ARCHITECT #AB 93259

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	Rezoning Submittal	06/30/20
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :

Building Areas

project number : #2123

drawing scale : 1" = 30'-0"

drawing date : 06/14/2024

phase : Site Plan Resubmittal

sheet number :

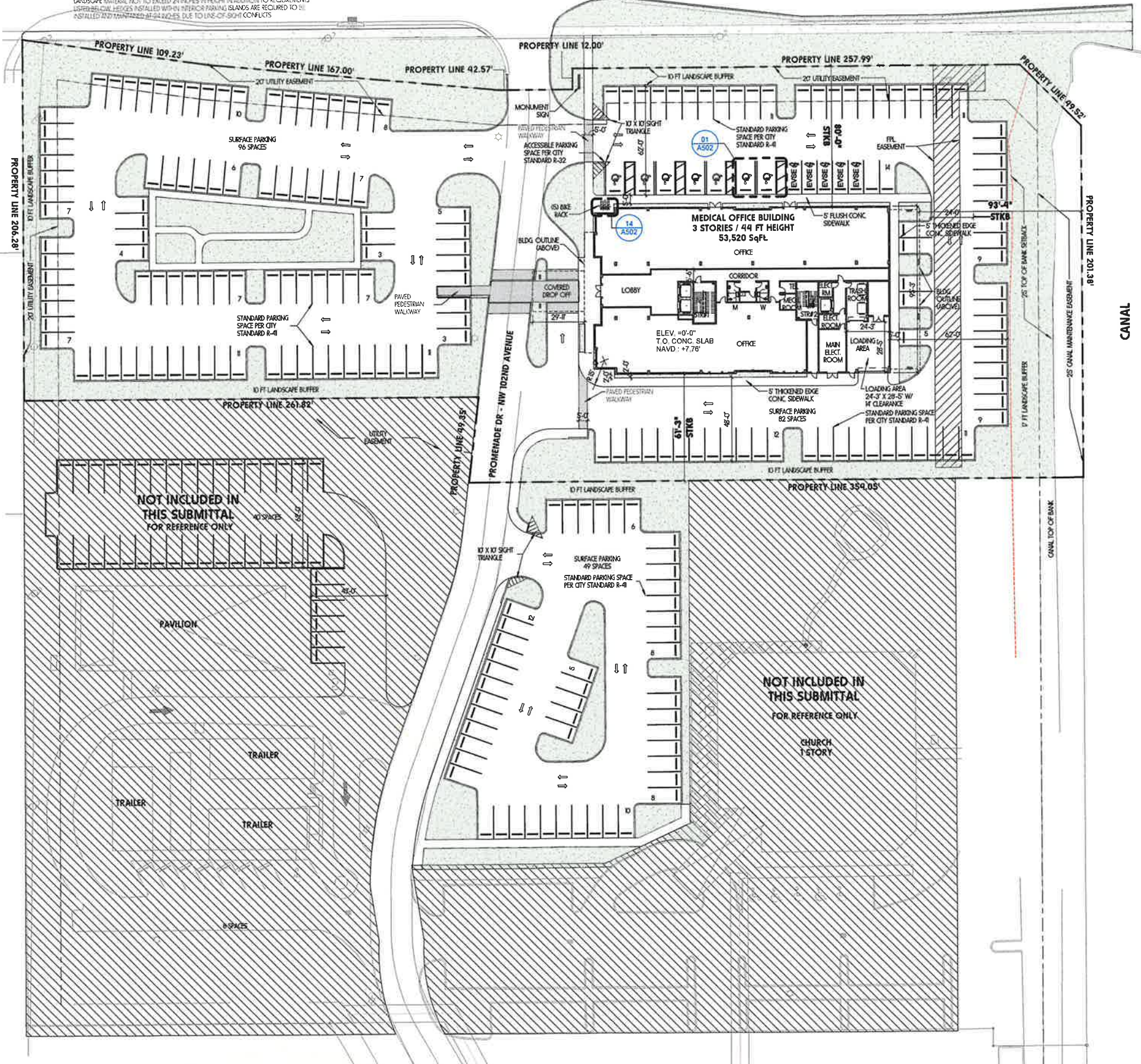
A003A

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NOTE: LANDSCAPE MAINTENANCE REQUIREMENT AS PER LDC SEC. 65.603 (1) - INDIVIDUAL INTERIOR PARKING LOT AREAS SHALL BE A MINIMUM OF 100 SQUARE FEET TOTAL, REGULARLY LANDSCAPED WITH 9-18 IN. DROPPED OR OTHER AUTHORIZED LANDSCAPE MATERIAL NOT TO EXCEED 24 INCHES IN HEIGHT IN ADDITION TO REQUIREMENTS LISTED BELOW. VEGETATION INSTALLED WITHIN INTERIOR PARKING ISLANDS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT 24 INCHES DUE TO LINE-OF-SIGHT CONFLICTS.

**JOHNSON STREET
(NW 9TH STREET)**



ZONING DATA							
PROPERTY INFORMATION							
FOLIO / PARCEL ID	5141810001						
SITE AREA:	SQUARE FOOTAGE (SF)	ACRES (AC)					
NET AREA	130,909.00 SF	3.01 AC					
GROSS AREA	192,802.00 SF	4.43 AC					
ZONING:	PROFESSIONAL OFFICE						
LAND USE:	OFFICE PARK						
REGULATORY GUIDELINES							
BUILDING PLACEMENT	REQUIRED	PROVIDED					
FRONT - JOHNSON STREET	30FT + 38FT = 68FT MIN.	80'-0"					
SIDE STREET - PALM AVENUE	30FT + 38FT = 68FT MIN.	93'-4"					
SIDE INTERIOR (SOUTH)	20FT + 38FT = 58FT MIN.	61'-3"					
SIDE INTERIOR (WEST)	20FT + 38FT = 58FT MIN.	65'-9"					
OPEN SPACE	10% 13,090.90 SF	30% 39,573.00 SF					
BUILDING HEIGHT	50 FEET (NOTE1)	3 STORIES/44'-0"					
NOTE 1: WHERE A BUILDING EXCEEDS 25 FEET IN HEIGHT, ALL SETBACKS SHALL BE INCREASED TWO FEET OVER THE INITIAL SETBACK DISTANCE FOR EVERY ONE FOOT IN HEIGHT. 44FT - 25FT = 38FT							
BICYCLE PARKING							
	REQUIRED	PROVIDED					
1 SP / 10,000 SF	4.5 BIKE	5.0 BIKE					
LOADING							
	REQUIRED	PROVIDED					
FROM 20,000 SF TO 40,000 SF	1 SPACE 10'X25'	1 SPACE 10'X25'					
PARKING DATA							
PARKING							
PROPERTY	ADJ BLDG SF	REQ PARKING PK	TOTAL REQUIRED SPACES	PROVIDED VIA SURFACE PARKING	PROVIDED VIA LAWN	PROVIDED VIA NEW PARKING	TOTAL PROVIDED
PINES BAPTIST CHURCH - CHURCH	17,094	8.5	153	82	4.8	4.0	170
PINES BAPTIST CHURCH - OFFICE	1,300	3.5	5	0	0	0	0
PINES BAPTIST CHURCH - STORAGE	3,900	1.0	4	0	0	0	0
MEDSQUARE BUILDING - SPECIALIZED	36,456	3.5	128	128	0	0	128
MEDSQUARE BUILDING - GENERAL	8,600	5.75	50	50	0	0	50
TOTAL			340	260	4.8	4.0	357

Master Site Plan
SCALE: 1" = 30'-0"

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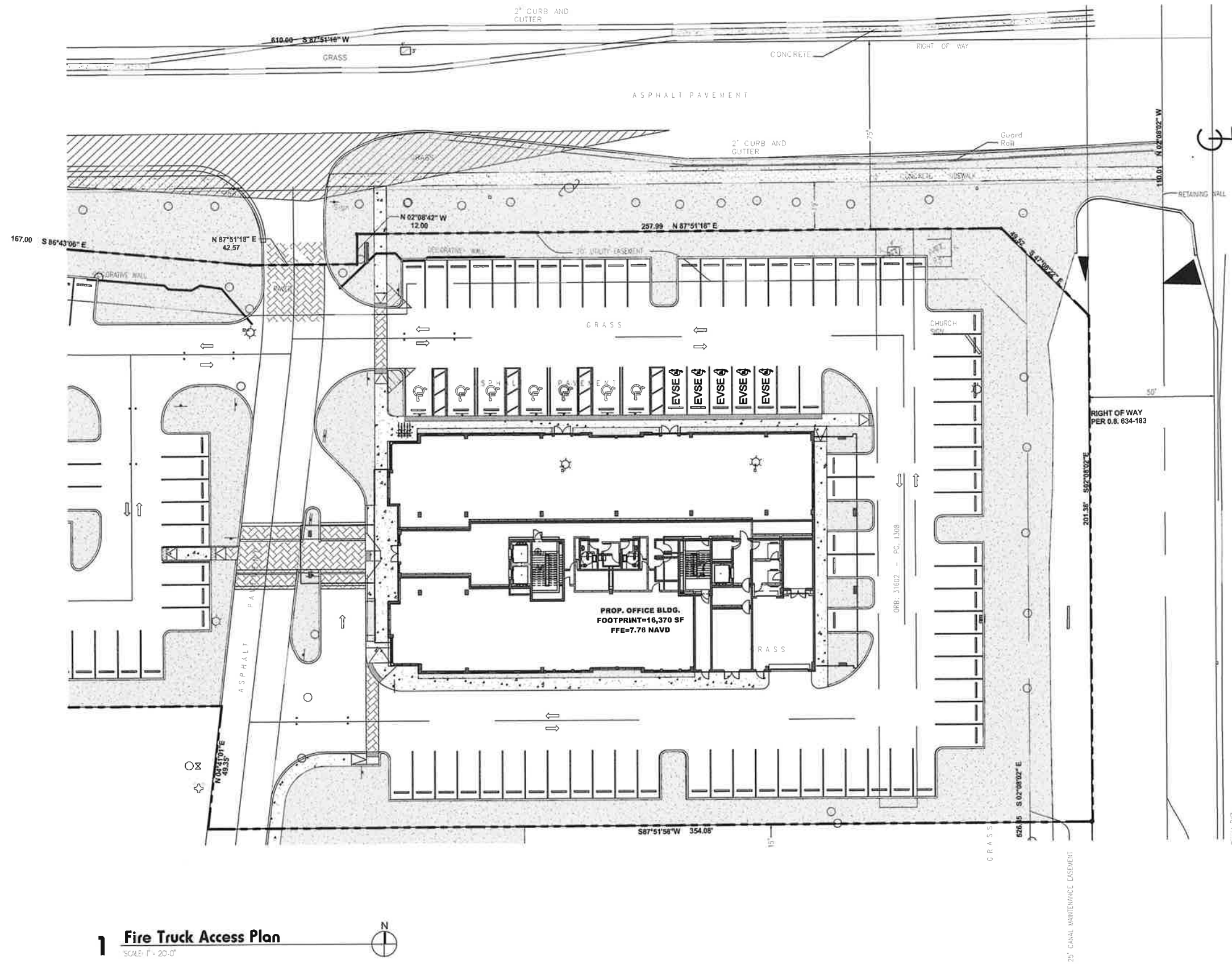
revisions:

Rev. #	Description	Date
	Rezoning Submittal	06/30/20
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data:
Site Plan & Site Data

project number: #2123
drawing scale: 1" = 30'-0"
drawing date: 06/14/2024
phase: Site Plan Resubmittal
sheet number:

A100



1 Fire Truck Access Plan
SCALE: 1" = 20'-0"

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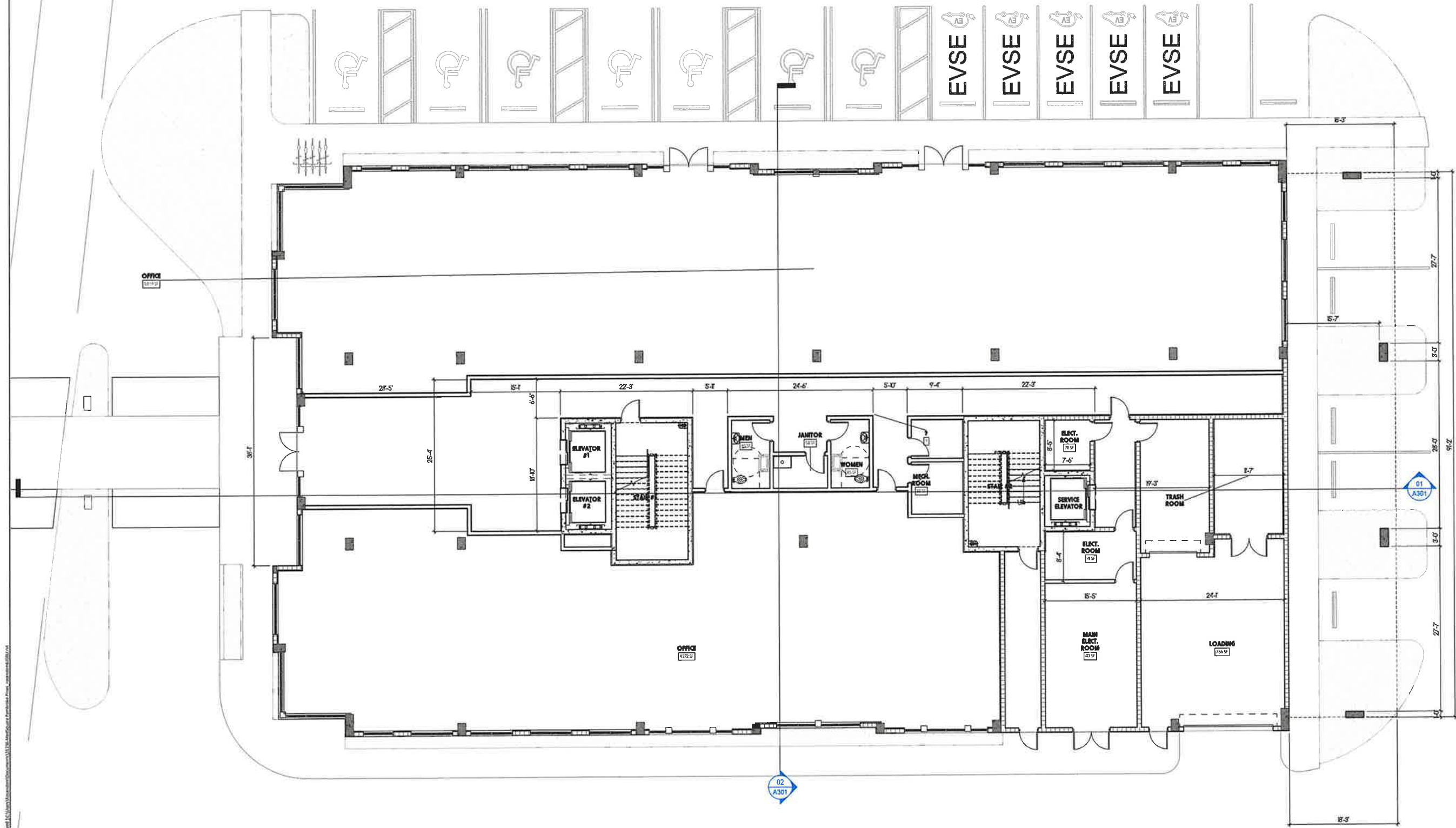
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revisions :

Rev. #	Description	Date
	Rezoning Submittal	06/30/20
	Site Plan Review	11/01/20
	Site Plan Resubmittal	09/15/20

drawing data :
Fire Truck Access Plan
 project number : #2123
 drawing scale : 1" = 20'-0"
 drawing date : 06/14/2024
 phase : Site Plan Resubmittal
 sheet number : **A100A**



1 Ground Level
SCALE 1/8" = 1'-0"



project info :
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 FLORIDA REGISTERED ARCHITECT # AR 93255

revisions :

Rev. #	Description	Date
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :
Ground Level

project number : #2123
 drawing scale : 1/8" = 1'-0"
 drawing date : 06/14/202
 phase :
 Site Plan Resubmittal
 sheet number :

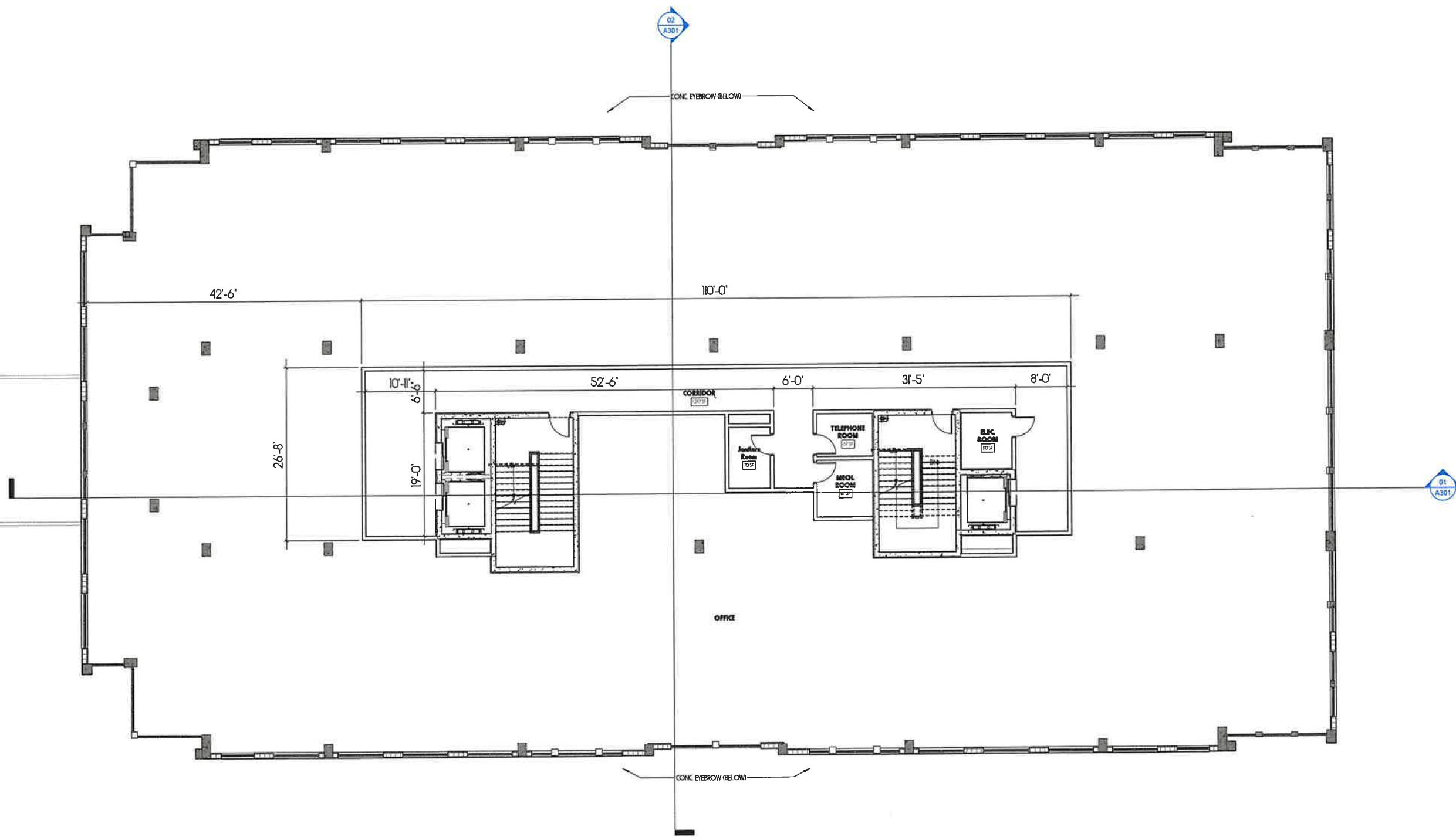
A101

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1 Levels 2 & 3

SCALE: 1/8" = 1'-0"



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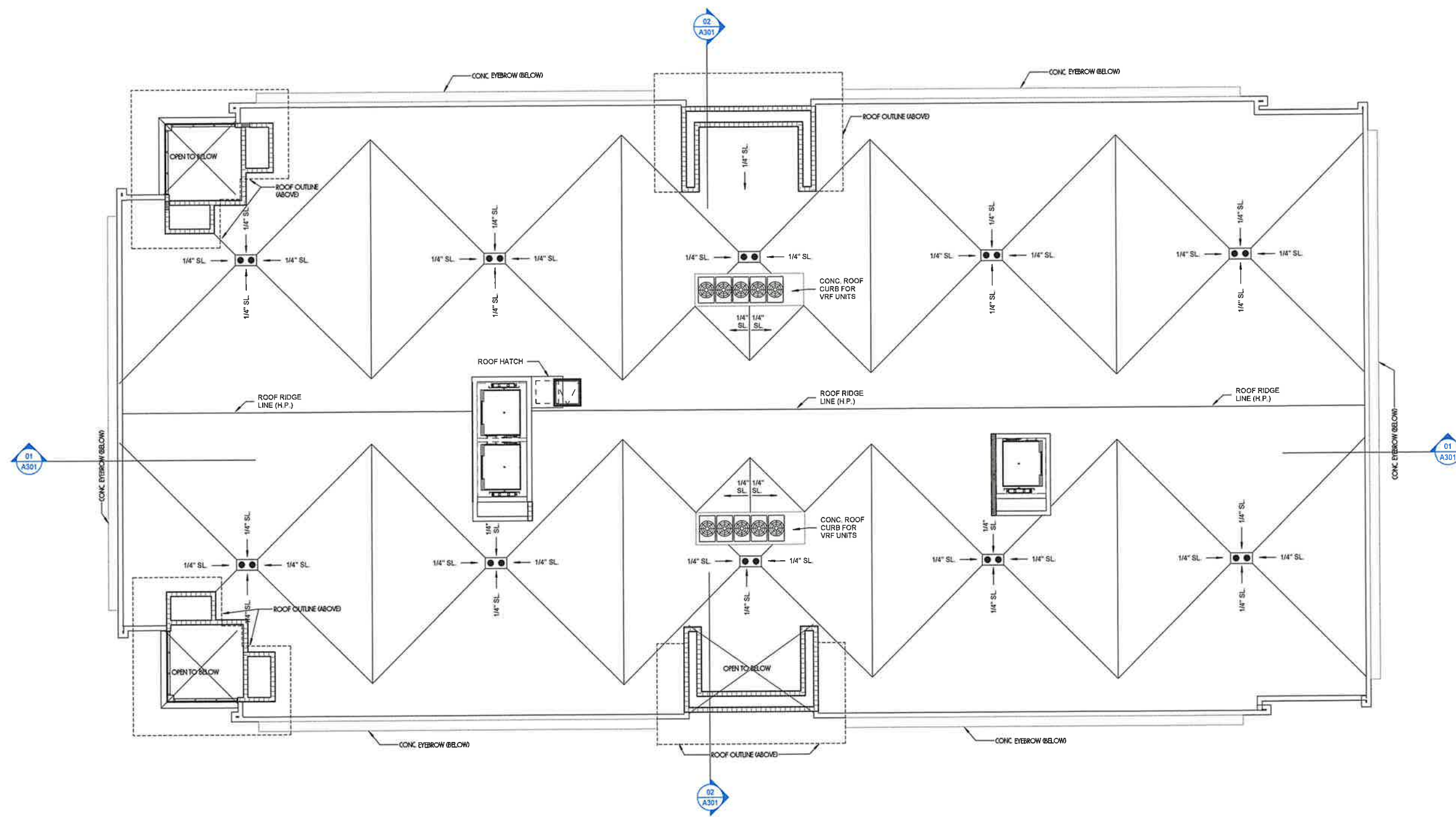
revisions :

Rev. #	Description	Date
1	Site Plan Review	11/01/20
2	Site Plan Resubmittal	03/15/20

drawing data :
Levels 2 & 3

project number : #2123
 drawing scale : 1/8" = 1'-0"
 drawing date : 06/14/202
 phase :
 Site Plan Resubmittal
 sheet number :

A102



1 Roof Level
SCALE: 1/8" = 1'-0"

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revisions :

Rev. #	Description	Date
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :

Roof Plan

project number : #2123

drawing scale : 1/8" = 1'-0"

drawing date : 06/14/202

phase :

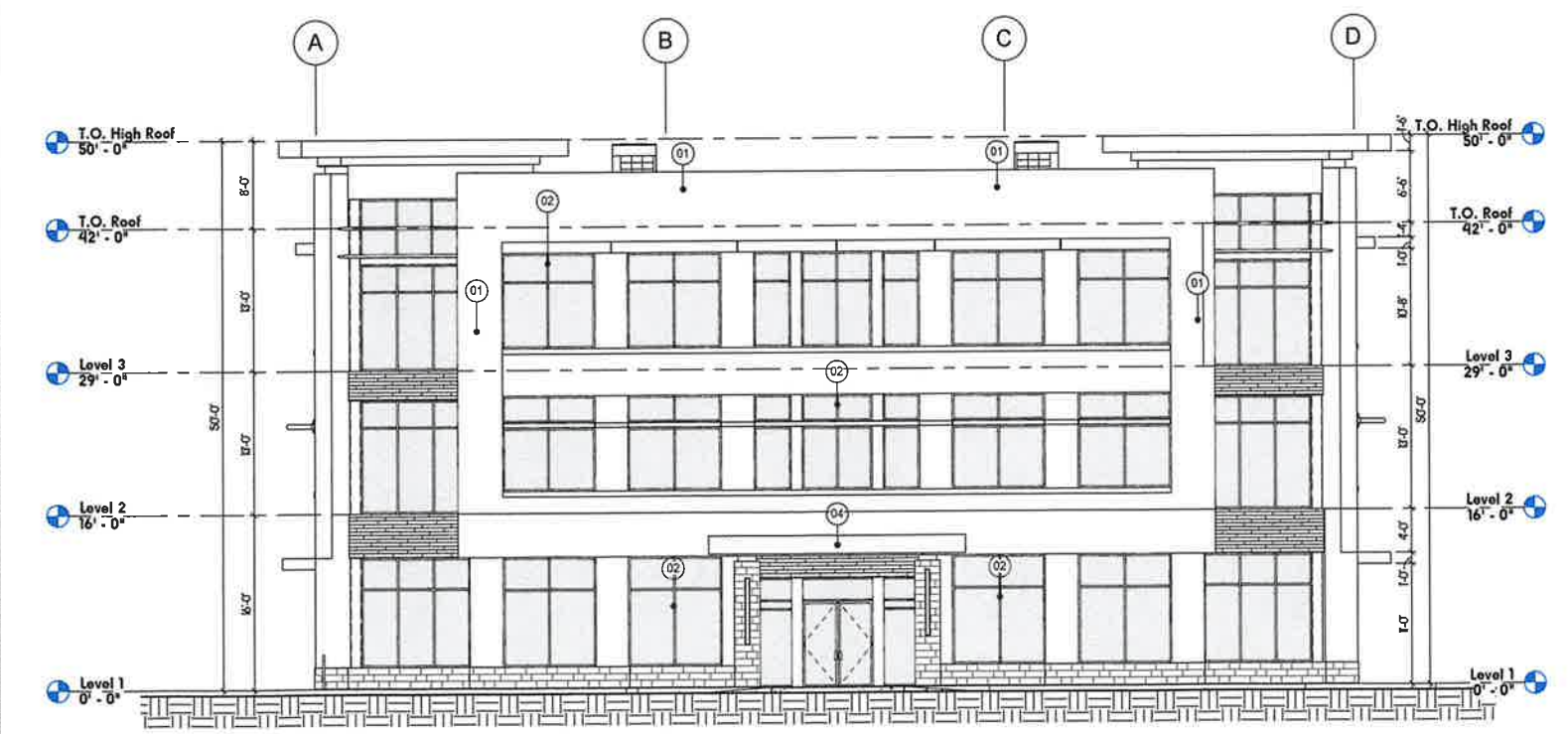
Site Plan Resubmittal

sheet number :

A103










1 North Elevation - Becker Rd
SCALE: 1/8" = 1'-0"



2 West Elevation - Promenade Drive
SCALE: 1/8" = 1'-0"

COLOR SCHEME

 PT-1 BM - 872 WHITE CHRISTMAS	 PT-2 BM - 2108-60 ABALONE	 PT-3 BM - 2112-50 STORMY MONDAY	 PT-4 BM - 2134-30 IRON MOUNTAIN	 06 RESYSTA, WOOD- LOCK CLADDING PROFILE: GOLD
			 07 MARMOL LIMESTONE CLADDING PROFILE: PALOMA	 04 ALUCOBOND PLUS, SUNRISE SILVER METALLIC II

Keynote :

Key Value	Description
01	PAINTED LITE TEXTURED STUCCO OVER CONCRETE SUBSTRATE
02	BROWN EPDM FINISH ALUMINUM IMPACT GLASS STOREFRONT SYSTEM
04	4MM ALUCOBOND ALUMINUM COMPOSITE PANELS
05	RESYSTA, WOOD-LOCK CLADDING, PROFILE GOLD

seal :
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Morissette
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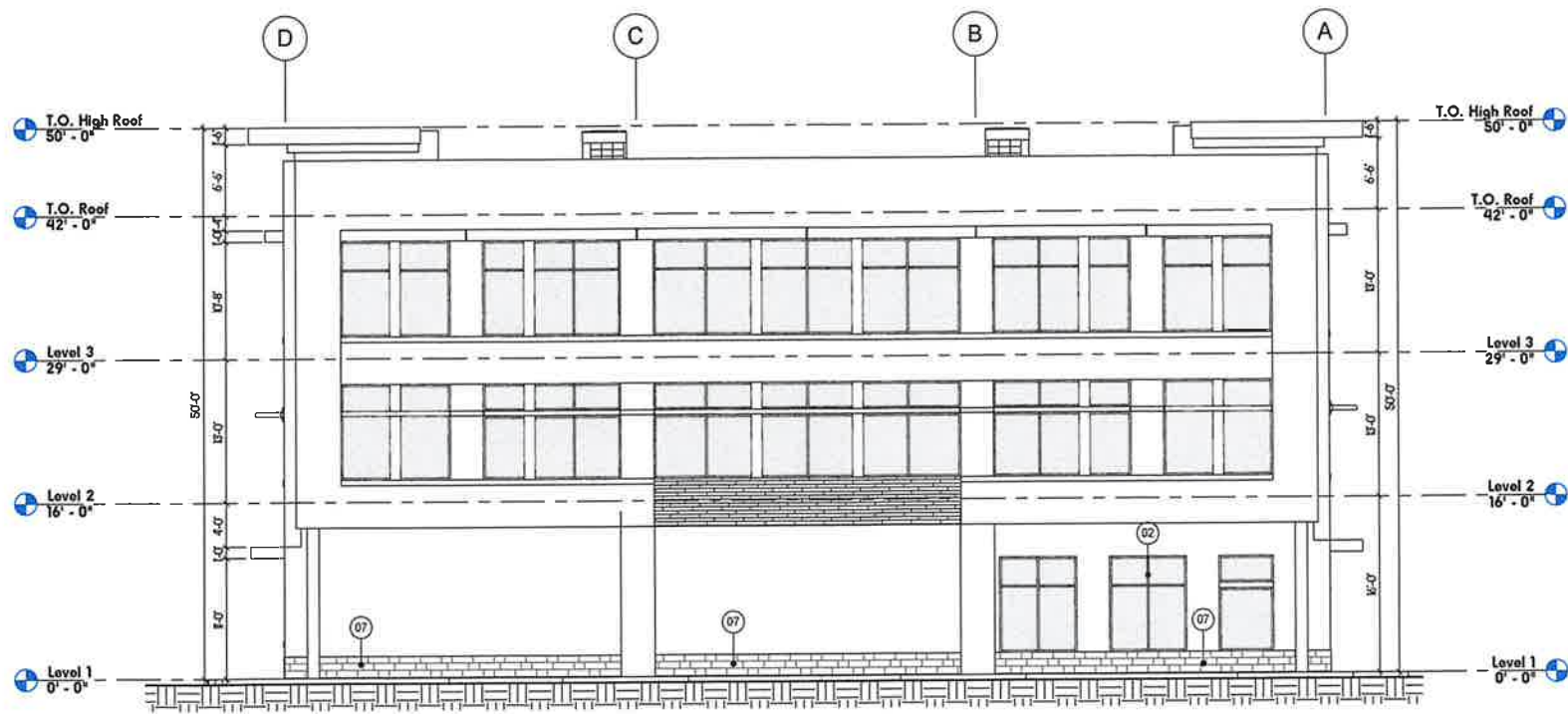
Rev. #	Description	Date
	Site Plan Review	11/01/2024
	Site Plan Resubmittal	03/15/2025

drawing data :
Elevations

project number : #2123
drawing scale : As indicate
drawing date : 06/14/2024
phase :
Site Plan Resubmittal
sheet number :










1 South Elevation.
SCALE: 1/8" = 1'-0"



2 East Elevation.
SCALE: 1/8" = 1'-0"

COLOR SCHEME

 PT-1 BM - 072 WHITE CHRISTMAS	 PT-2 BM - 2108-40 ABALONE	 PT-3 BM - 2112-50 STORMY MONDAY	 PT-4 BM - 2134-30 IRON MOUNTAIN	 08 RESYSTA WOOD- LOCK CLADDING PROFILE: GOLD
			 07 MARMOL LIMESTONE CLADDING PROFILE: PALOMA	 04 ALUCOBOND PLUS SUNRISE SILVER METALLIC II

Keynote :

Key Value	Description
01	PAINTED LITE TEXTURED STUCCO OVER CONCRETE SUBSTRATE
02	BROWN EPDM FINISH ALUMINUM IMPACT GLASS STOREFRONT SYSTEM
05	RESYSTA WOOD-LOCK CLADDING, PROFILE GOLD
07	MARMOL LIMESTONE CLADDING, PROFILE PALOMA

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Elevations

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Elevations

project number : #2123

drawing scale : As indicated

drawing date : 06/14/2024

phase :

Site Plan Resubmittal

sheet number :

A203



01 North Elevation - Becker Road
 SCALE: 1/8" = 1'-0"



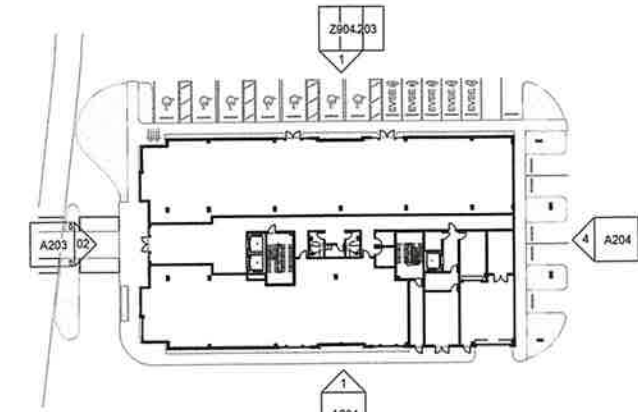
02 West Elevation - Promenade Drive
 SCALE: 1/8" = 1'-0"

COLOR SCHEME

- PT-1 BM - 872 WHITE CHRISTMAS
- PT-2 BM - 2109-60 ABALONE
- PT-3 BM - 2112-50 STORMY MONDAY
- PT-4 BM - 2134-30 IRON MOUNTAIN
- 08 RESYSTA WOOD-LOCK CLADDING PROFILE: GOLD
- 07 MARMOL LIMESTONE CLADDING PROFILE: PALOMA
- 04 ALUCOBOND PLUS. SUNRISE SILVER METALLIC II

Keynote :

Key Value	Description
01	PAINTED LITE TEXTURED STUCCO OVER CONCRETE SUBSTRATE
02	BROWN EPDM FINISH ALUMINUM IMPACT GLASS STOREFRONT SYSTEM
04	4MM ALUCOBOND ALUMINUM COMPOSITE PANELS
05	RESYSTA WOOD-LOCK CLADDING, PROFILE GOLD.
06	6" HORIZONTAL RAISED (2") STUCCO BAND
07	MARMOL LIMESTONE CLADDING, PROFILE PALOMA.



00 Key Plan
 SCALE: 1" = 40'-0"

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project info :

**MedSquare
 Pembroke Pines**
 MAS AJP
 NEW CONSTRUCTION
 Pembroke Pines, Florida

seal :

Digitally signed
 by Robert K
 Morissette
 Date:
 2024.09.19
 13:32:58-04'00'

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CFP
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev. #	Description	Date
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :

Elevations

project number : #2123

drawing scale : As indicated

drawing date : 06/14/2024

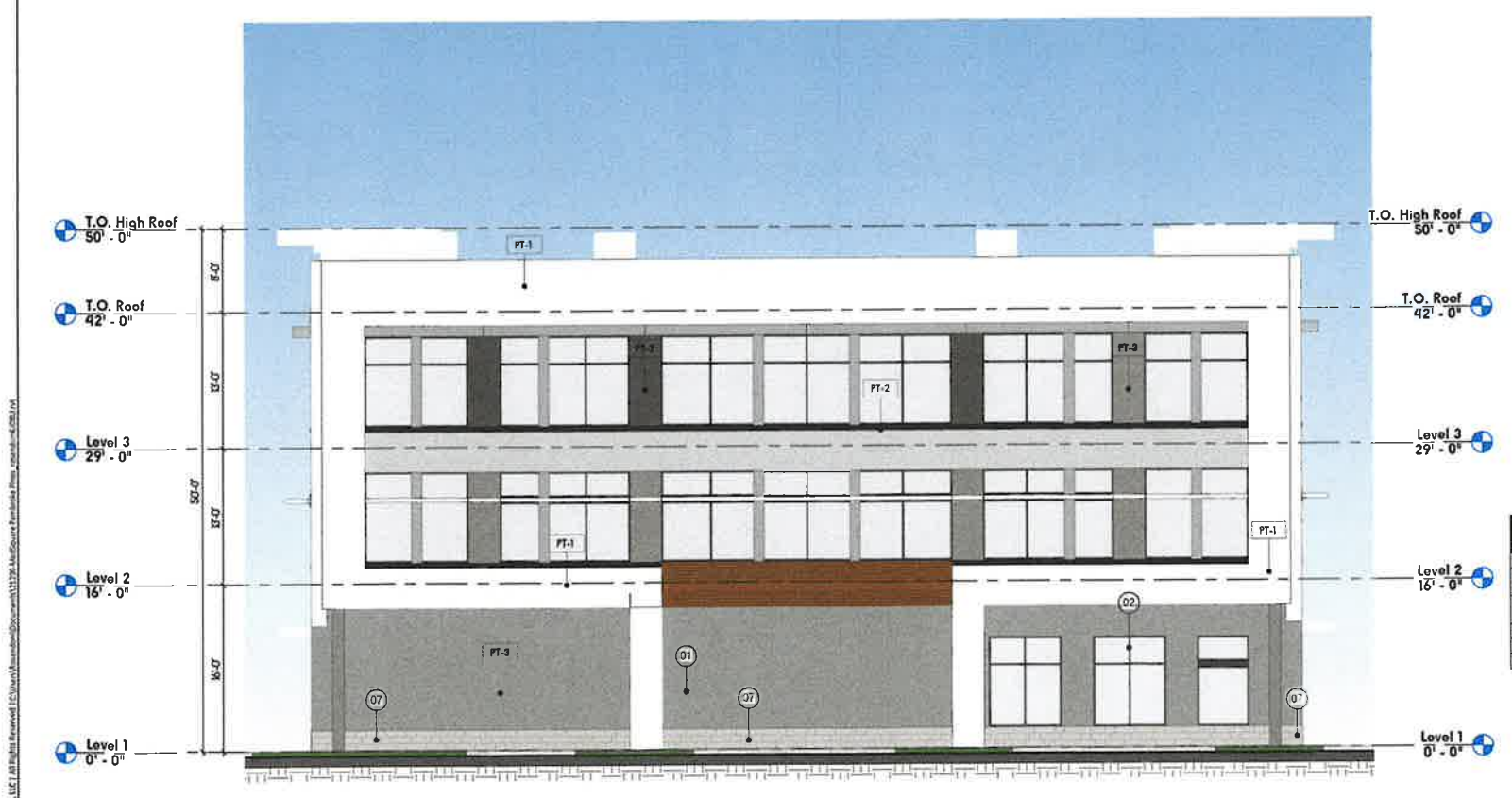
phase : Site Plan Resubmittal

sheet number :

A204










03 South Elevation
 SCALE: 1/8" = 1'-0"



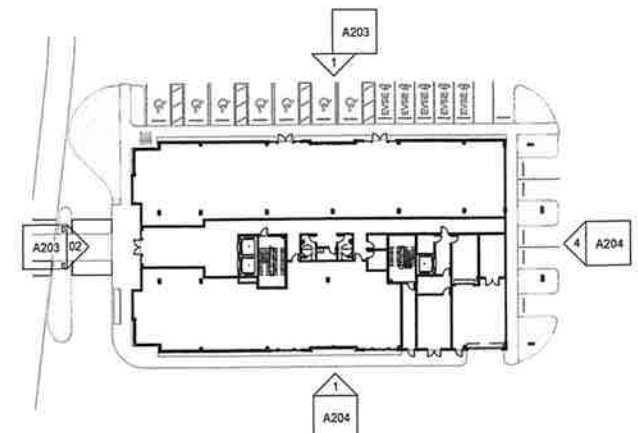
4 East Elevation
 SCALE: 1/8" = 1'-0"

COLOR SCHEME

 PT-1 BM - 872 WHITE CHRISTMAS	 PT-2 BM - 2108-60 ABALONE	 PT-3 BM - 2112-50 STORMY MONDAY	 PT-4 BM - 2134-30 IRON MOUNTAIN	 08 RESYSTA, WOOD- LOOK CLADDING PROFILE: GOLD
			 07 MARMOL, LIMESTONE CLADDING PROFILE: PALOMA	 04 ALUCOBOND PLUS, SUNRISE SILVER METALLIC II

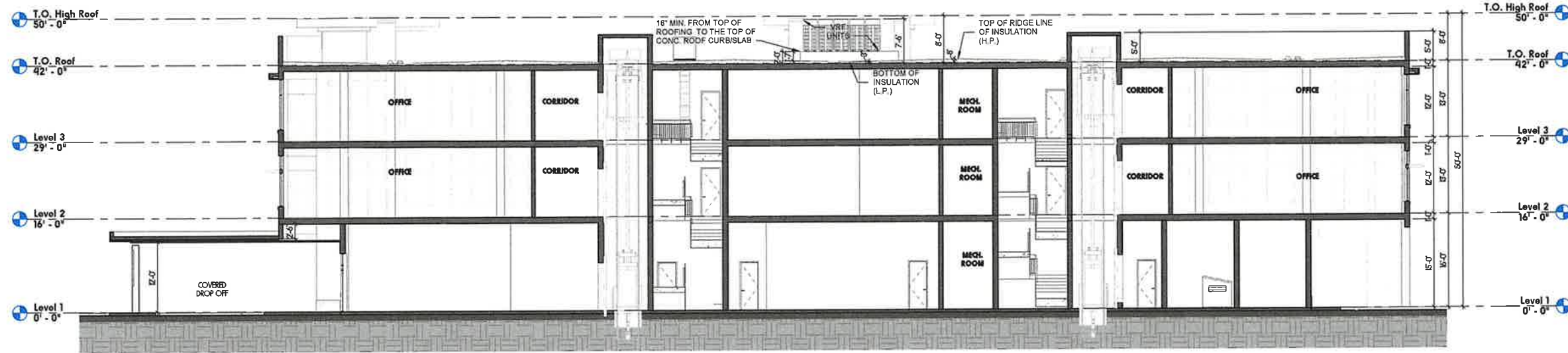
Keynote :

Key Value	Description
01	PAINTED LITE TEXTURED STUCCO OVER CONCRETE SUBSTRATE
02	BROWN EPDM FINISH ALUMINUM IMPACT GLASS STOREFRONT SYSTEM
04	4MM ALUCOBOND ALUMINUM COMPOSITE PANELS
05	RESYSTA, WOOD-LOCK CLADDING, PROFILE GOLD.
07	MARMOL, LIMESTONE CLADDING, PROFILE PALOMA.

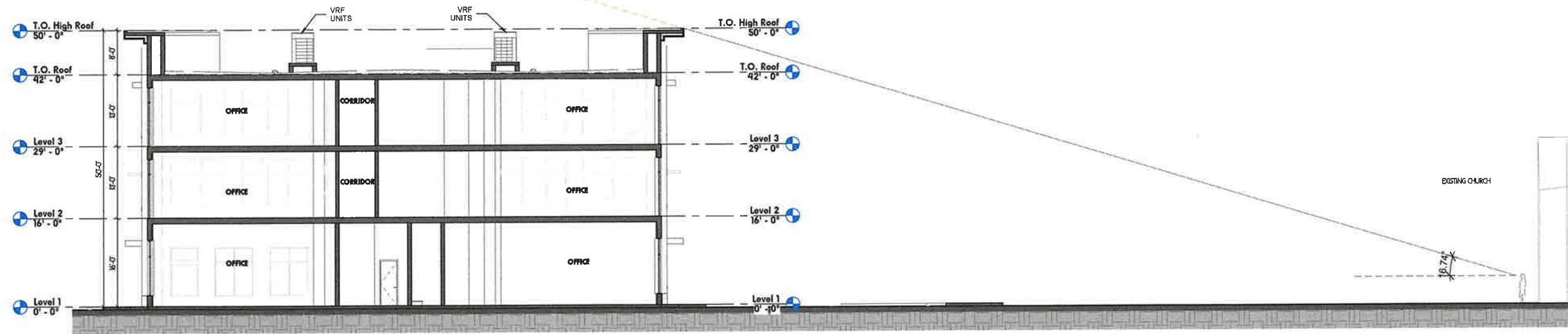


00 Key Plan
 SCALE: 1" = 40'-0"

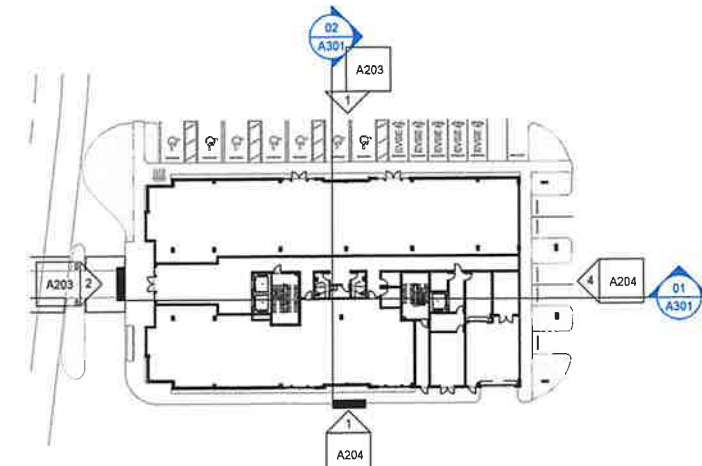
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01 Section A
SCALE: 1" = 10'-0"



02 Section B
SCALE: 1" = 10'-0"



00 Key Plan
SCALE: 1" = 40'-0"

seal :
 Digitally signed
 by Robert K
 Morissette
 Robert K Morissette
 Date:
 2024.09.19
 13:32:58-04'00"

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CC
 FLORIDA REGISTERED ARCHITECT # AR 93259

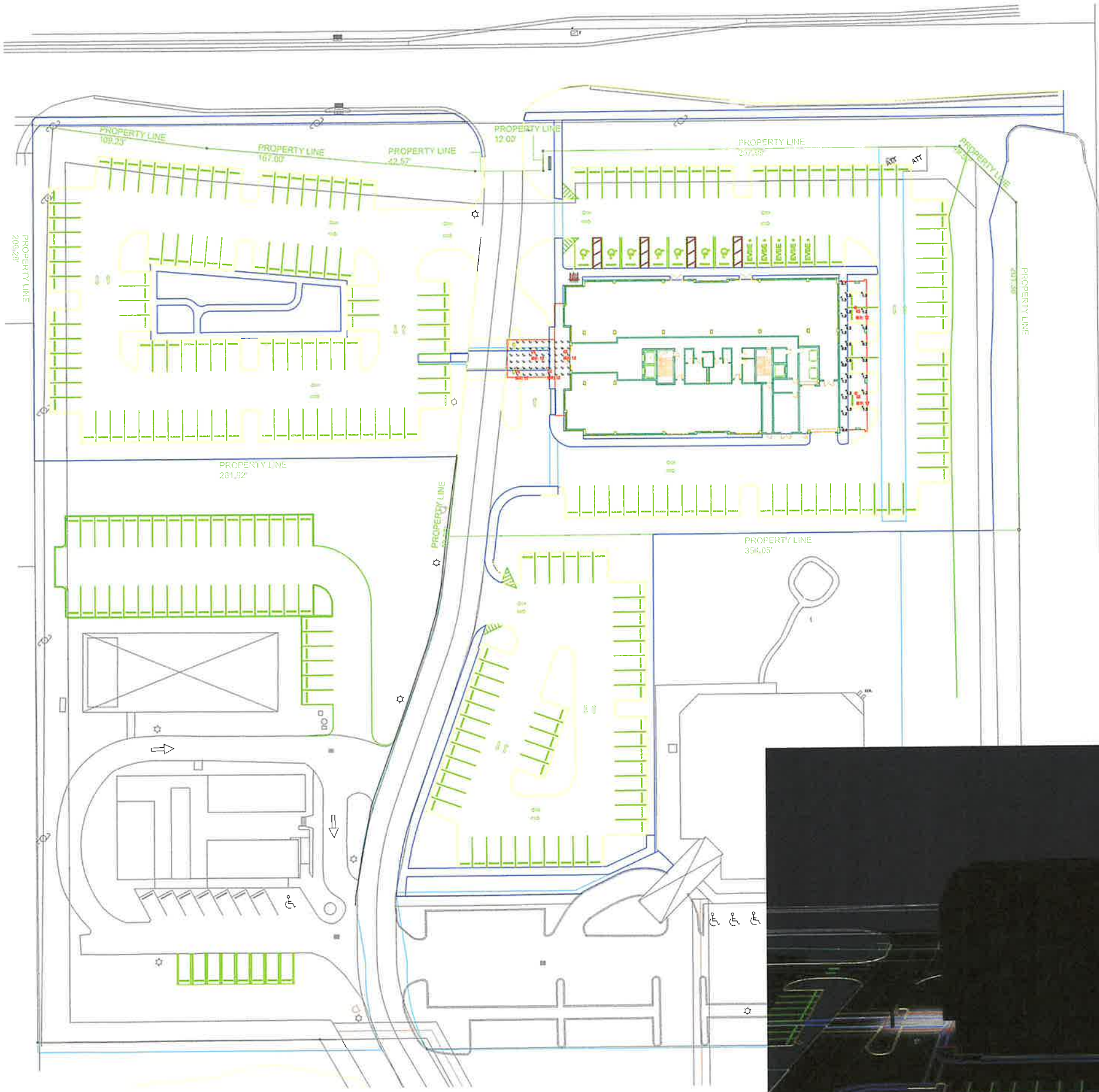
revisions :

Rev. #	Description	Date
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

drawing data :
Sections

project number : #2123
 drawing scale : As indicated
 drawing date : 06/14/2024
 phase : Site Plan Resubmittal
 sheet number :

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Legend Schedule

Project: 7_24_2024 MEDSQUARE PEMBROKE PINES - 071 - 01 - 001

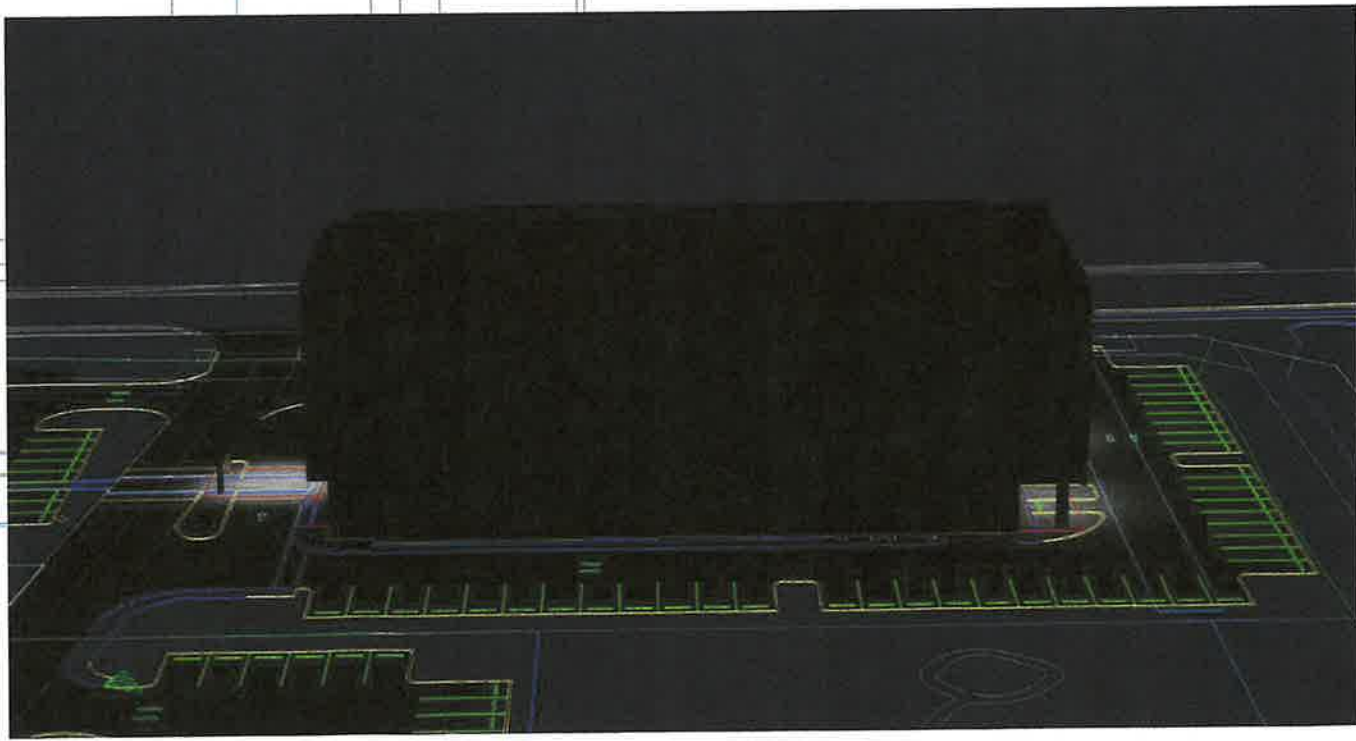
Symbol	Qty	Label	Arrangement	Description
(Symbol)	1	01	None	LANDSCAPE: 04X04 POLYCARBONATE GLASS OR ALUMINUM
(Symbol)	1	02	None	LANDSCAPE: 04X04 POLYCARBONATE GLASS OR ALUMINUM

ALL FIXTURES ARE IN A CCT OF 3000K

Calculation Summary

Project: 7_24_2024 MEDSQUARE PEMBROKE PINES - 071 - 01 - 001

Label	CalcType	Units	Qty	Min	Max	Height	Mount	SWL
LIGHT FIXTURE	Recessed	Ft.	2,17	4.0	11.0	11.0	FLUSH	0
OUTDOOR FIXTURE	Recessed	Ft.	1,11	1.0	8.0	1.0	FLUSH	0



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modis architects

4955 SW 75th Avenue
Miami, Florida 33155
MODIS ARCHITECTS, LLC
MODIS@MODISARCHITECTS.COM

t. 786.879.8882
f. 786.350.1515

project info :

**MedSquare
Pembroke Pines**

MAS AJP
NEW CONSTRUCTION
Pembroke Pines, Florida

seal :

Digitally signed
by Robert K
Morissette
Date:
2024.09.19
13:32:59-04'00'

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CC
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev. #	Description	Date
1	Site Plan Review	11/01/20
2	Site Plan Resubmittal	03/15/20

drawing data :

**Site EM
Photometrics**

project number : #2123

drawing scale : 1/32" = 1'-0"

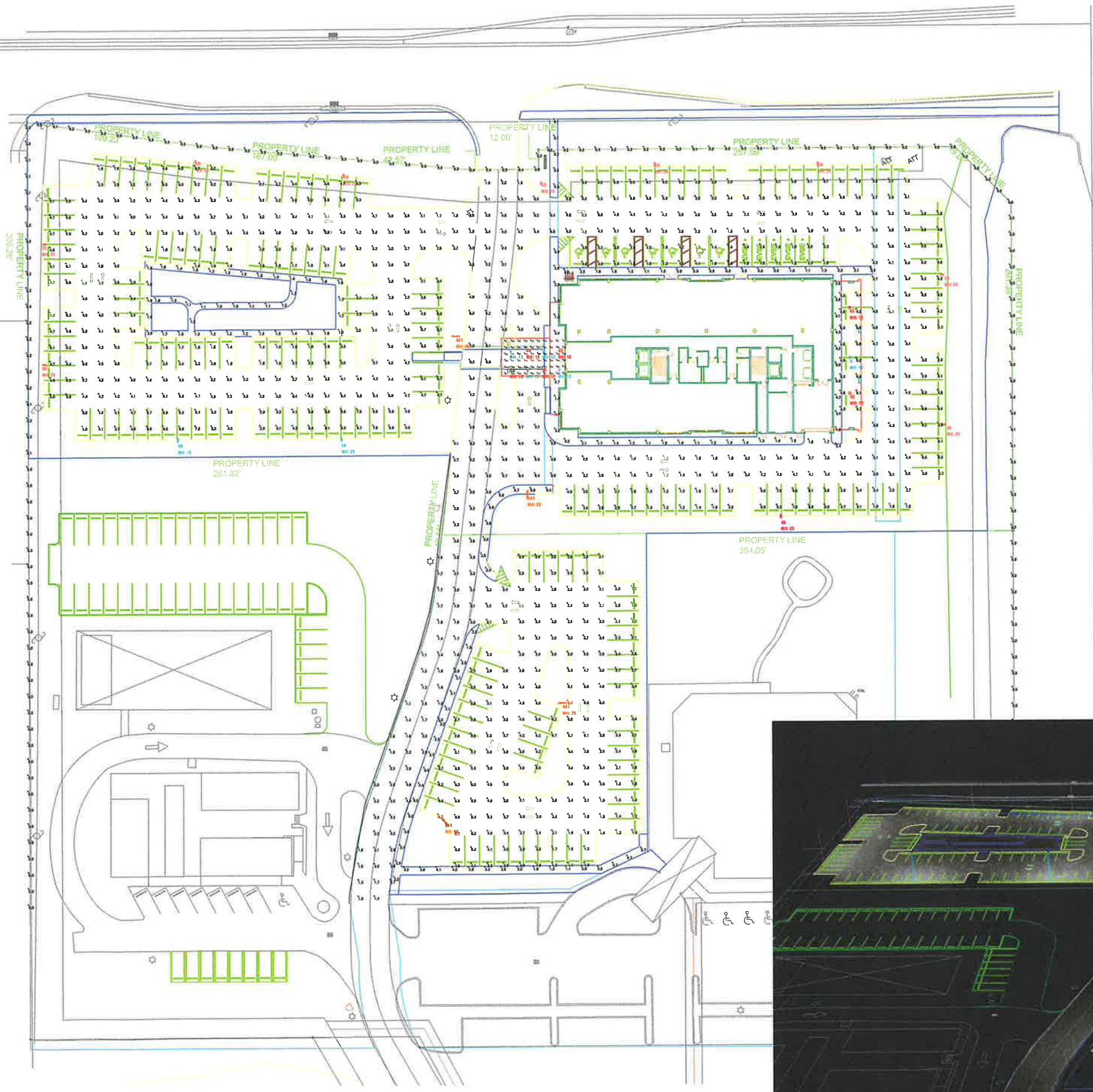
drawing date : 06/14/2024

phase : Site Plan Resubmittal

sheet number :

A501.1

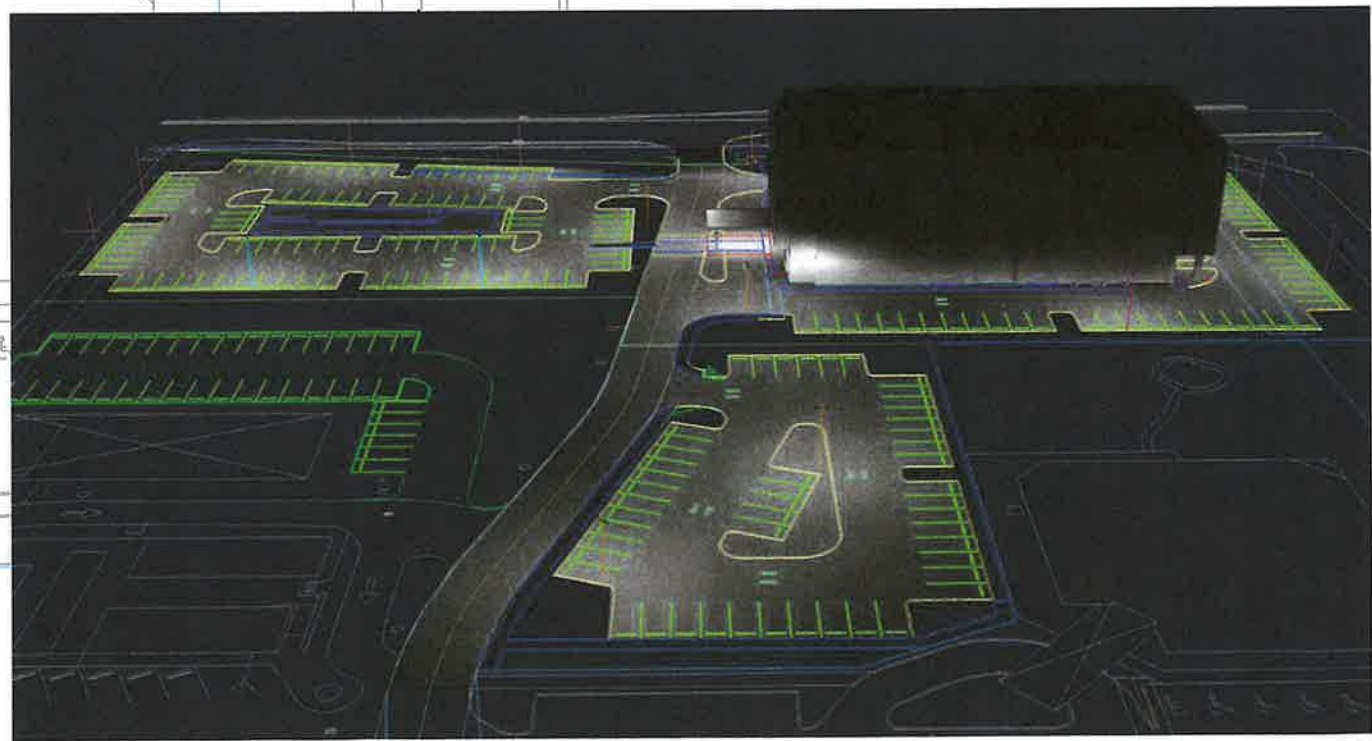
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Symbol	Qty	Label	Arrangement	Lin. Length	LED	Luminaire Width	Total Width	Description
	2	Single	2070	0.000	18.0	73.0		LIGHTFIX 2'x2' SQUARE 2070
	10	Single	2070	0.000	18.0	73.0		LIGHTFIX 2'x4' RECTANGULAR 2070
	1	Single	1811	0.000	61	61		OSRAM 4'x4' SQUARE 1811
	10	Single	1811	0.000	61	104		OSRAM 4'x8' RECTANGULAR 1811
	1	Bank-Bank	11500	0.000	20.0	101.4		OSRAM 4'x8' RECTANGULAR 11500 BANK-BANK
	1	Single	32007	0.000	20.0	101.4		OSRAM 4'x8' RECTANGULAR 32007
	1	Single	21541	0.000	20.0	101.4		OSRAM 4'x8' RECTANGULAR 21541
	1	Single	32228	0.000	20.0	101.4		OSRAM 4'x8' RECTANGULAR 32228

ALL FIXTURES ARE IN A CCT OF 3000K
 NOTE: All lighting is full cut off and angled at 90 degrees.
 Lighting cannot exceed 24-foot candles under canopy and 12-foot candles not under canopy.
 Lighting cannot exceed 0.5 Footcandles at the property line.

Label	Qty	Unit	Area	Per Sq Ft	Per Sq Ft	Per Sq Ft	Per Sq Ft	Per Sq Ft	Per Sq Ft
ENTRY CANOPY	1	Canopy	14.0	19.3	3.7	0.21	0.36	0	
PARK & DRIVE	1	Canopy	3.82	6.3	1.6	0.32	0.38	0	
PROPERTY LINE	1	Canopy	0.11	0.4	0.2	0.4	0.4	0.4	
CYBERB PARKING	1	Canopy	0.25	0.8	0.5	1.25	1.75		



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 MODIS@MODISARCHITECTS.COM

project info :
MedSquare Pembroke Pines
 MAS AJP
 NEW CONSTRUCTION
 Pembroke Pines, Florida

seal :
 Digitally signed by Robert K Morissette
 Robert K Morissette
 Date: 2024.09.19 13:32:59-04'00'
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDO
 FLORIDA REGISTERED ARCHITECT # AR 93259

Rev. #	Description	Date
	Site Plan Review	11/01/20
	Site Plan Resubmittal	03/15/20

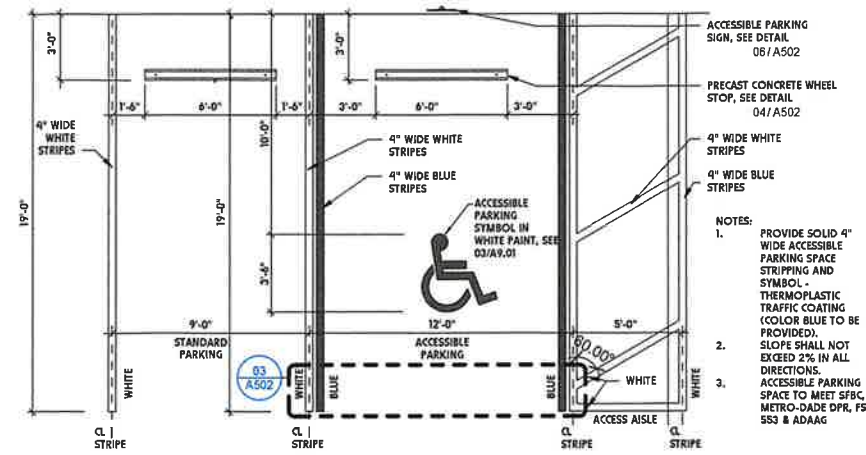
drawing data :
Site Photometrics

project number : #21230
 drawing scale : 1/32" = 1'-0"
 drawing date : 06/14/2024
 phase : Site Plan Resubmittal
 sheet number :

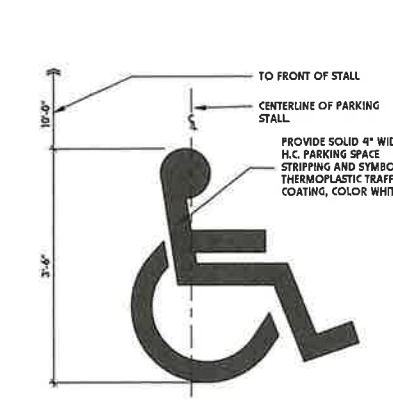
A501

revisions :

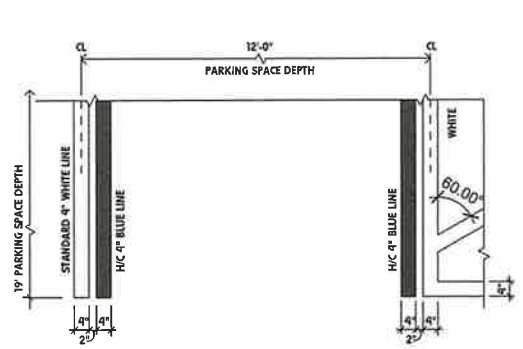
Rev. #	Description	Date
	Site Plan Review	11/01/2024
	Site Plan Resubmittal	03/15/2025



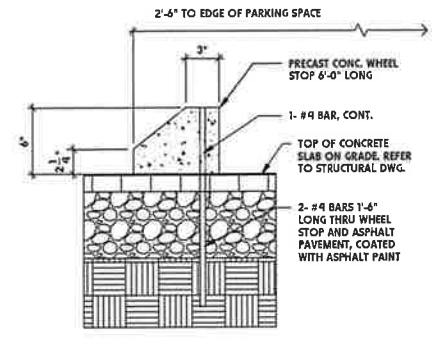
01 Standard and Accessible Parking Stall Detail
 SCALE: 1/4" = 1'-0"



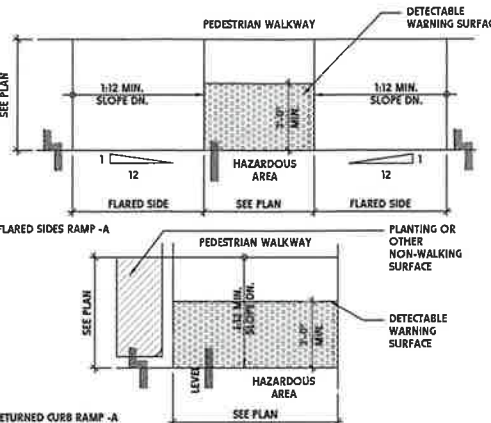
02 H.C. Parking Symbol
 SCALE: 3/4" = 1'-0"



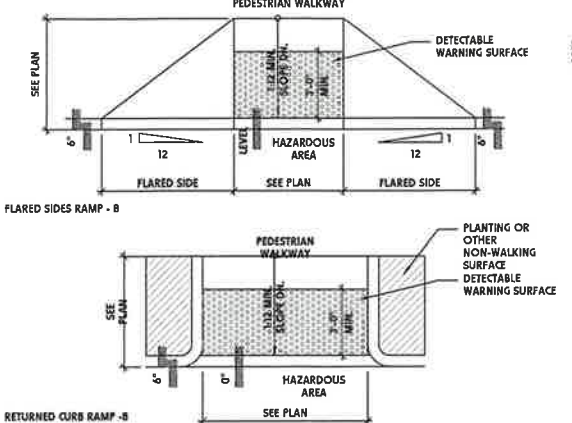
03 Parking Stall Striping
 SCALE: 1/2" = 1'-0"



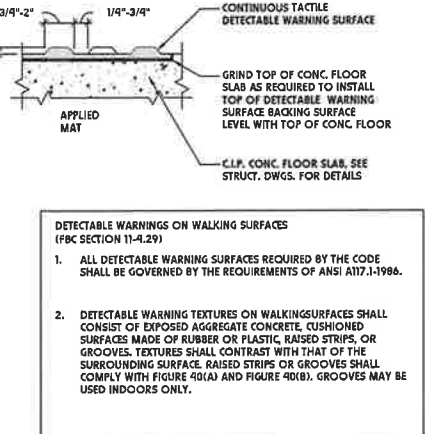
04 Wheel Stop Detail
 SCALE: 1/2" = 1'-0"



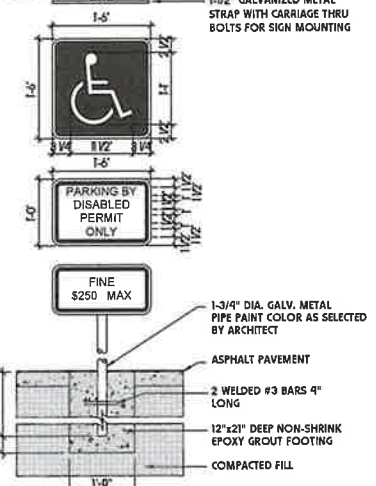
05 Accessible Curb Details
 SCALE: 1/4" = 1'-0"



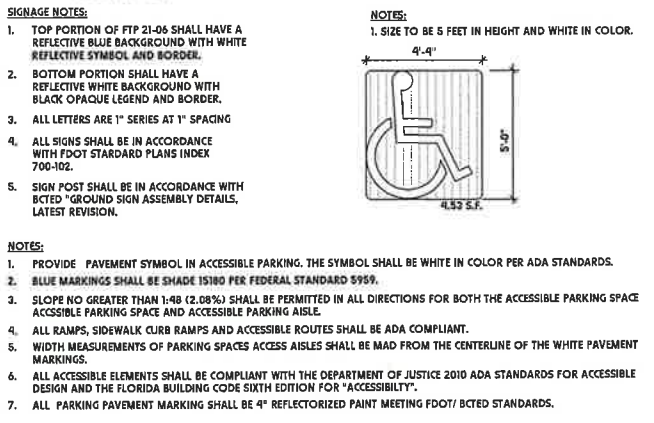
05 Accessible Curb Details
 SCALE: 1/4" = 1'-0"



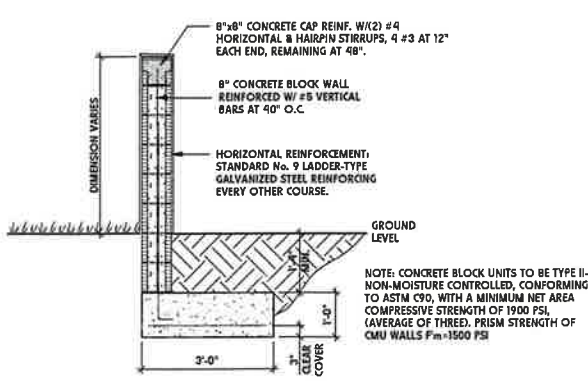
DETECTABLE WARNINGS ON WALKING SURFACES (FBC SECTION 11-4.29)
 1. ALL DETECTABLE WARNING SURFACES REQUIRED BY THE CODE SHALL BE GOVERNED BY THE REQUIREMENTS OF ANSI A117.1-1998.
 2. DETECTABLE WARNING TEXTURES ON WALKING SURFACES SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS, OR GROOVES. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE. RAISED STRIPS OR GROOVES SHALL COMPLY WITH FIGURE 40(A) AND FIGURE 40(B). GROOVES MAY BE USED INDOORS ONLY.



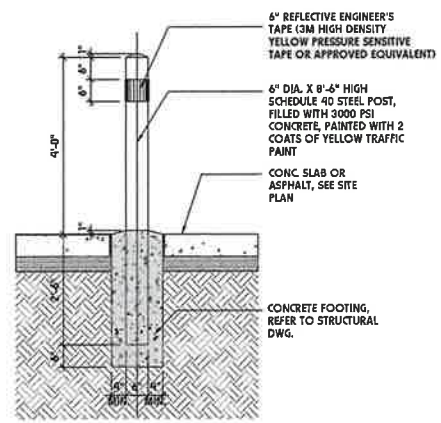
06 Typ. Handicap Sign Van Accessible
 SCALE: 3/4" = 1'-0"



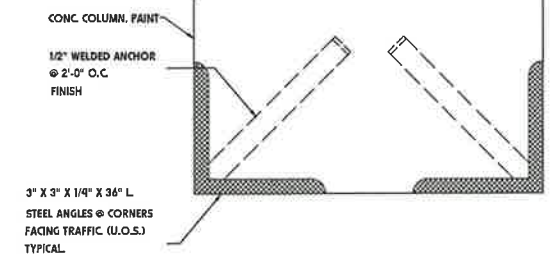
07 Accessible Pavement Symbol
 SCALE: 1/6" = 1'-0"



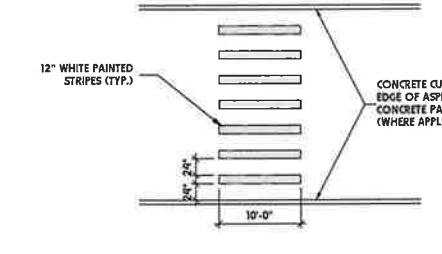
08 Masonry Fence Wall
 SCALE: 1/2" = 1'-0"



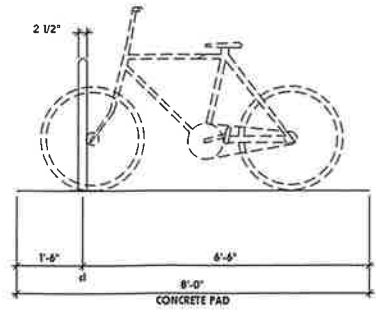
09 Safety Post Detail
 SCALE: 1/2" = 1'-0"



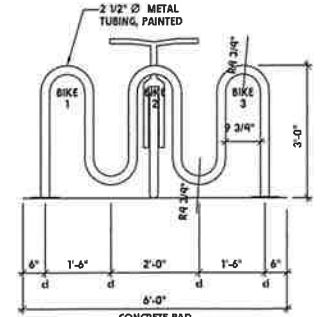
10 Column Guard Section
 SCALE: 3/32" = 1'-0"



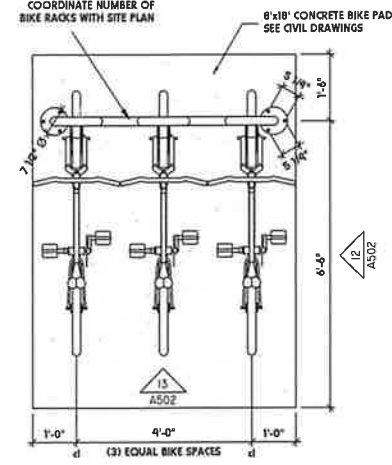
11 Typical Pedestrian Crosswalk Detail
 SCALE: 3/32" = 1'-0"



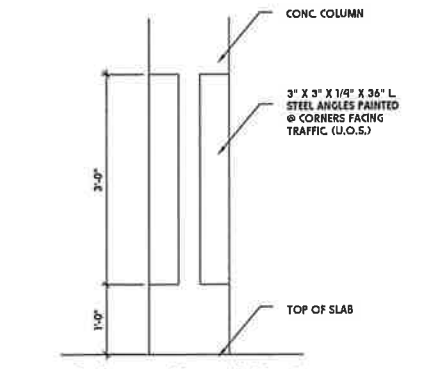
12 Bike Rack Side View
 SCALE: 1/2" = 1'-0"



13 Bike Rack Front View
 SCALE: 1/2" = 1'-0"



14 Bike Rack Top View
 SCALE: 1/2" = 1'-0"

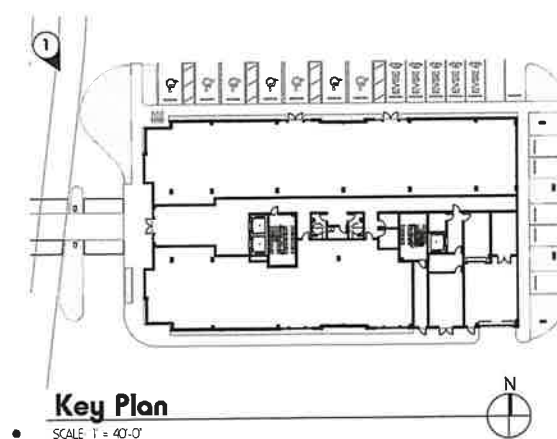


15 Column Guard Section
 SCALE: 3/32" = 1'-0"

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1 Rendering - Main Entry
SCALE: 1/2" = 1'-0"



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 4955 SW 75th Avenue
 Miami, Florida 33155
 MODIS Architects, LLC
 MODIS@MODISarchitects.com
 t. 786.879.8882
 f. 786.350.1515

project info :
**MedSquare
 Pembroke Pines**
 MAS AJP
 NEW CONSTRUCTION
 Pembroke Pines, Florida

seal :
 Digitally signed
 by Robert K
 Morissette
 Date:
 2024.09.19
 13:33:01-04'00'
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CC
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

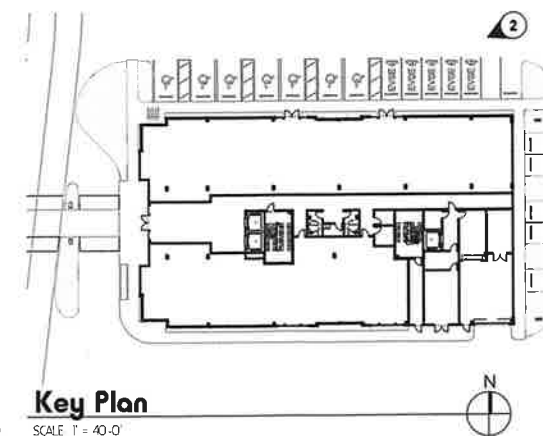
Rev. #	Description	Date
1	Site Plan Review	11/01/20
2	Site Plan Resubmittal	03/15/20

drawing data :
Rendering
 project number : #2123
 drawing scale : As indicate
 drawing date : 06/14/202
 phase :
 Site Plan Resubmittal
 sheet number :
A901

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2 Rendering - View From Johnson Street
SCALE 1/2" = 1'-0"



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project info :

**MedSquare
Pembroke Pines**

MAS AJP
NEW CONSTRUCTION
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seal :

Digitally signed
by Robert K
Morissette
Date:
2024.09.19
13:33:01-04'00'

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CO
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev. #	Description	Date
1	Site Plan Review	11/01/2020
2	Site Plan Resubmittal	03/15/2021

drawing data :

Rendering

project number : #21234

drawing scale : As indicated

drawing date : 06/14/2024

phase : Site Plan Resubmittal

sheet number :

A902

MEDSQUARE PEMBROKE PINES

SEC OF JOHNSON STREET & NW 101ST AVENUE

CITY OF PEMBROKE PINES, FLORIDA

FOR

AJP VENTURES, CORP.

Sunshine 811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

SHEET INDEX:

SHEET NO.	SHEET TITLE
CS-1	COVER SHEET
DM-1	DEMOLITION PLAN
SPM-1	SIGNAGE AND PAVEMENT MARKINGS PLAN
SPM-2	SIGNAGE AND PAVEMENT MARKINGS DETAILS
SPM-3	BCTED DETAILS
PD-1	PAVING AND DRAINAGE PLAN
PD-2	PAVING AND DRAINAGE PLAN
PD-3	PAVING AND DRAINAGE DETAILS
PD-4	PAVING AND DRAINAGE DETAILS
PD-5	CROSS-SECTIONS AND DETAILS
PD-6	SBDD DETAILS
SWPPP-1	STORMWATER POLLUTION PREVENTION PLAN
SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN DETAILS
SWPPP-3	STORMWATER POLLUTION PREVENTION PLAN NOTES
WS-1	WATER AND SEWER PLAN
WS-2	WATER AND SEWER PLAN
WS-3	WATER AND SEWER DETAILS
WS-4	WATER AND SEWER DETAILS
WS-5	WATER AND SEWER DETAILS
WS-6	SEWER MAIN PROFILES
FT-1	FIRE CIRCULATION PLAN
FT-2	FIRE PATH PLAN
FT-3	FIRE ACCESS NOTES AND DETAILS
WM-1	WASTE MANAGEMENT PLAN



LOCATION MAP

SCALE: 1" = 300'

SECTION 18 / TOWNSHIP 51 / RANGE 41E

BROWARD COUNTY TAX FOLIO NUMBERS:
 5141-18-10-0011 & 5141-18-10-0010

SITE DEVELOPMENT PLANS



HSQ GROUP, LLC.

Engineers · Planners · Surveyors
 4577 N Nob Hill Road, Suite 205
 Sunrise, Florida 33351 · 954.440.6990
 C26258 · LB7924

LEGAL DESCRIPTION

ALL OF PARCEL "A" OF PROMENADE SQUARE", AS RECORDED IN PLAT BOOK 134, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL "A", RUN ALONG THE SOUTHERLY LINE OF PARCEL A THE FOLLOWING TWO COURSES: (1) S 87°51'18" WEST 73.00 FEET; (2) N 70°08'42" WEST 105.79 FEET; THENCE NORTH 19°51'18" EAST 49.00 FEET; THENCE NORTH 70°08'42" WEST 125.92 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 38°12'25", AN ARC DISTANCE OF 66.68 FEET TO A POINT OF TANGENCY; THENCE NORTH 31°56'17" WEST 102.49 FEET; THENCE NORTH 87°51'58" EAST 315.77 FEET; THENCE SOUTH 02°08'02" EAST 10.00 FEET; THENCE NORTH 87°51'58" EAST 54.01 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL A; THENCE SOUTH 02°08'02" EAST ALONG SAID EAST LINE 254.14 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

ALL EASEMENT RIGHTS UNDER THAT CERTAIN EASEMENT, CROSS PARKING, ACCESS AND MAINTENANCE AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 18258, PAGE 585 AND AS RE-RECORDED IN OFFICIAL RECORDS BOOK 18497, PAGE 55, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ENGINEER'S CERTIFICATION

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREET AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

COVER SHEET

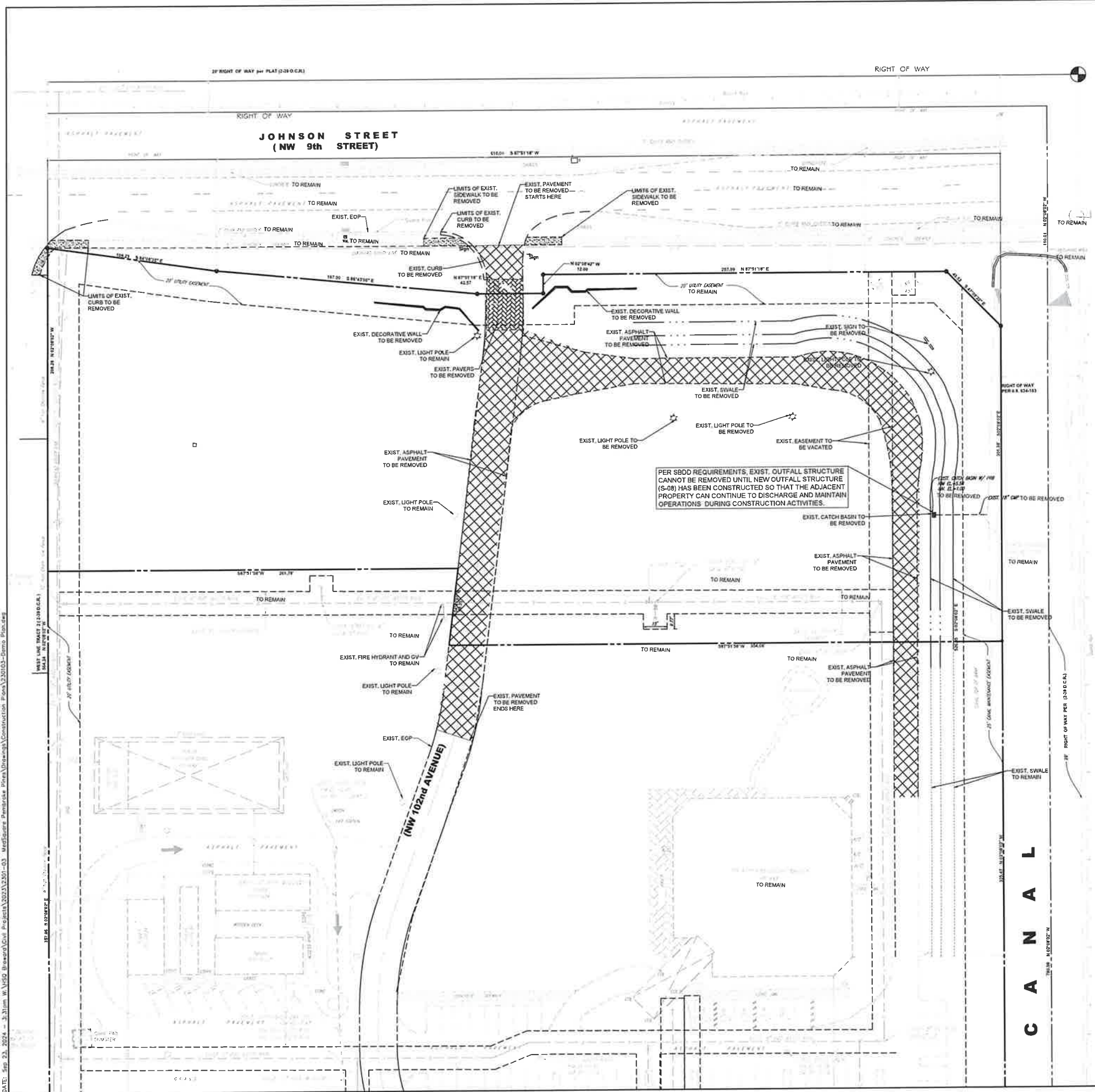
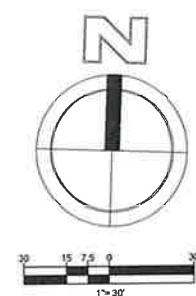
DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB



DATE: 06/23/24
 KEVIN A. BENANCOURT P.E.
 FLORIDA REGISTRATION NO. - 83361

PROJECT: 2301-03

SHEET: CS-1



HATCH LEGEND

	EXIST. CONCRETE PAVEMENT TO REMAIN
	EXIST. CONCRETE PAVEMENT TO BE REMOVED
	EXIST. ASPHALT PAVEMENT TO BE REMOVED
	EXIST. PAVERS TO BE REMOVED
	EXIST. PAVERS TO BE REMAIN



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

DEMOLITION PLAN

DATE: 09/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB

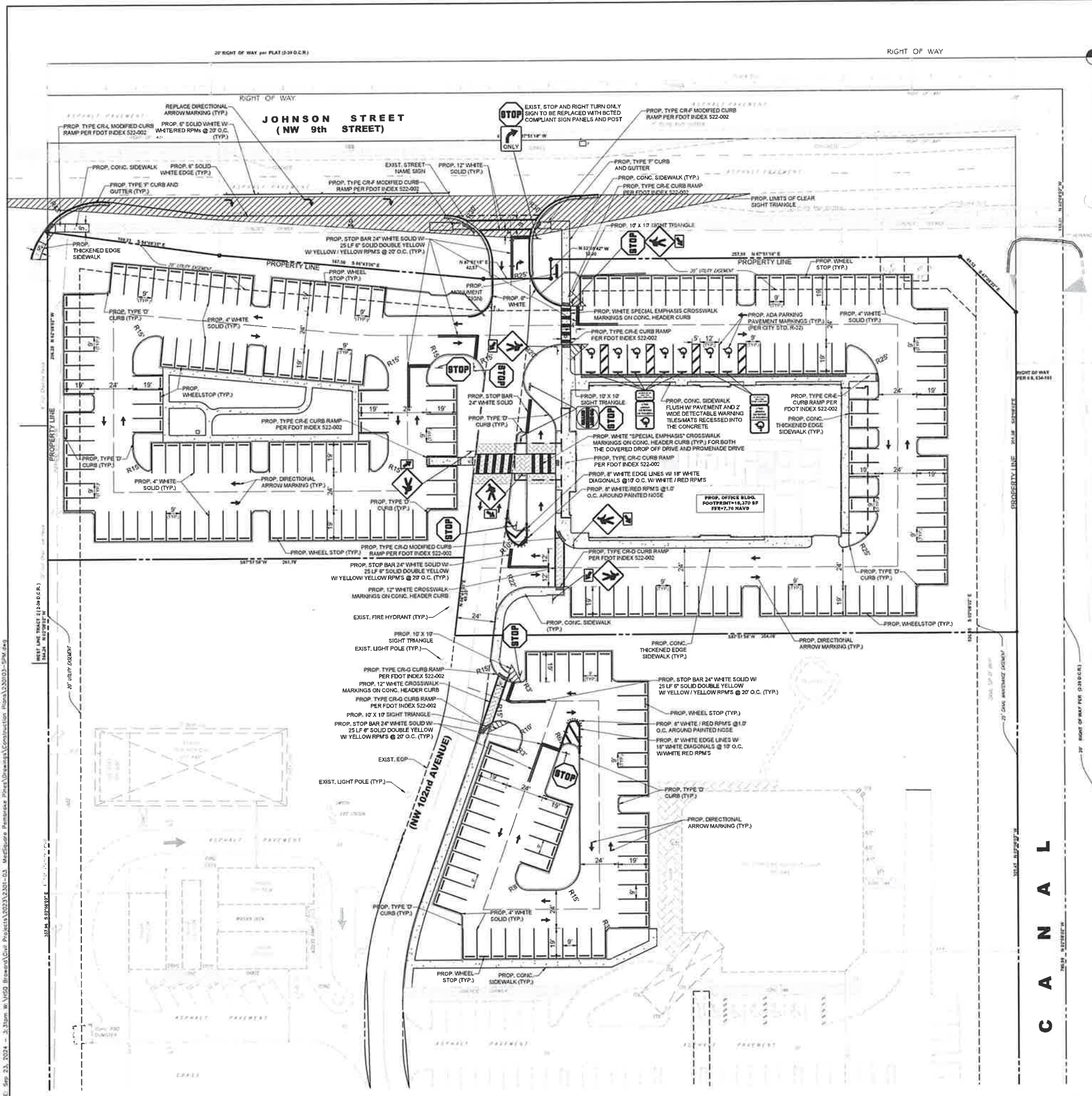
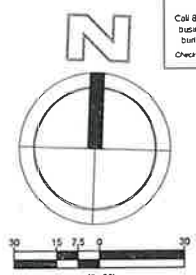


DATE: 9/23/24
 KEVIN A. BETANCOURT P.E.
 FLORIDA REGISTRATION NO. - 83361

PROJECT: 2301-03
 SHEET: DM-1

NO	DATE	BY	REVISIONS

DATE: Sep 23, 2024 - 3:31pm W:\1550 B\medsquare\proj\2301-03_Medsquare_Pembroke_Pines\Drawings\Construction\Plan\230103-Demo_Plan.dwg



SIGN LEGEND

- R1-1 "STOP SIGN" (30" X 30")
- HANDICAP PARKING ONLY SIGN (REFER TO CITY STANDARD R-32, SHEET 4 of 4 FOR SIGN DETAILS)
- W1-42 "PEDESTRIAN CROSSING SIGN" W/W16-07PL ARROW
- W1-42 "PEDESTRIAN CROSSING SIGN" (30"X30") W/W16-07PR ARROW (24"x12")
- W1-09 "ACCESSIBLE CROSSING SIGN" (30"X30") W/W16-07P ARROW (24"x12")
- "DO NOT ENTER SIGN" (30" X 30")
- R7-B "NO PARKING ANYTIME" SIGN (12"x18")

NOTE:
 ALL SIGNS TO BE MOUNTED IN ACCORDANCE WITH FDOT INDEX 700-101 ON B.C.T.D. COMPLIANT SIGN POSTS.

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL MEETING THE BCTED AND FDOT STANDARDS. EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR "STANDARD PAINT".
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH "STOP BARS" ARE TO HAVE YELLOW/YELLOW RPMS AT 20' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPMS) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EXPOXY OR BITUMINOUS PAVEMENT FOR FDOT'S APPROVED PRODUCTS LIST (APL). PLACEMENT OF RPMS SHALL BE IN ACCORDANCE WITH FDOT "STANDARD PLANS" INDEX NO. 706-01. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPMS) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
 BLUE (FIRE HYDRANTS)
 WHITE (WATER MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
 ORANGE (SEWER FORCE MAIN VALVES IN ADJACENT GREENLANDSCAPE AREAS)
 RED (FC - FIRE DEPARTMENT CONNECTIONS)
- ALL PEDESTRIAN ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. "MID-BLOCK" TYPE PEDESTRIAN ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT DESIGN MANUAL, SECTION 230 AND MUTCD STANDARDS. IF A "CROSSING" STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-9) SIGNAGE IS RECOMMENDED INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-2) SIGNAGE. THERMOPLASTIC MATERIAL FOR "SPECIAL EMPHASIS" PAVEMENT MARKINGS (CROSSWALKS) SHALL BE "PREFORMED OR HIGH FRICTION THERMOPLASTIC" COMPLYING WITH FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711".
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY".
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING SLOPING. NON-COMPLYING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-COMPLYING PAVEMENT MARKINGS AND SIGNAGE, INCLUDING THE SUPPORT POSTS, WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.

DATE: Sep 23, 2024 - 3:30pm W:\1050 Brimwood\Site Projects\2023\23-01-03 - 03 - Medispa\Site Plan\Drawings\Construction\Plan\230103-SPM.dwg



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL
 SIGNAGE AND PAVEMENT MARKINGS PLAN

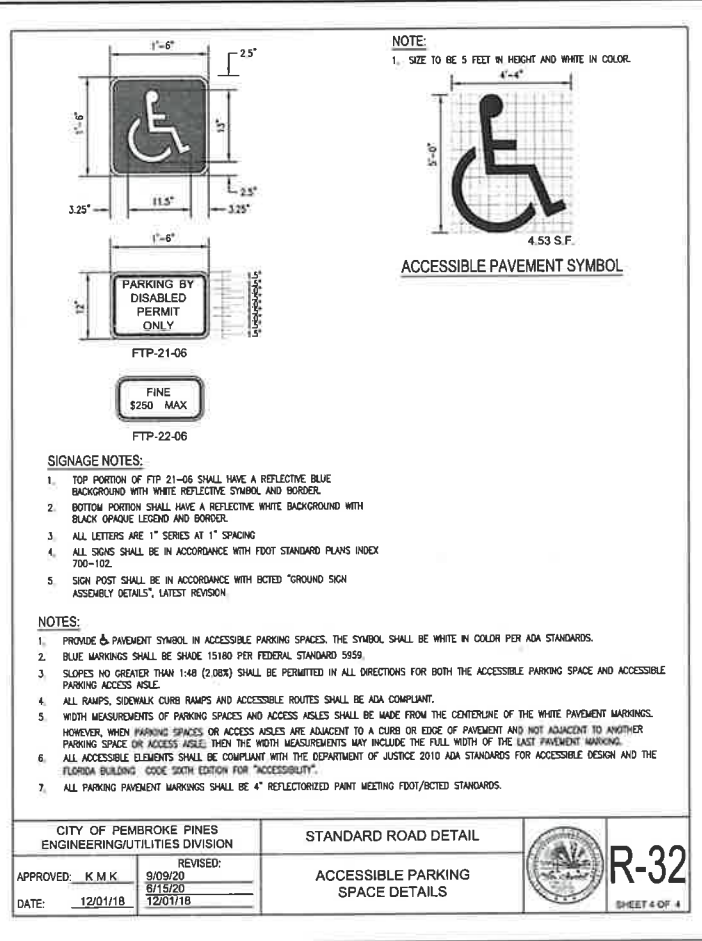
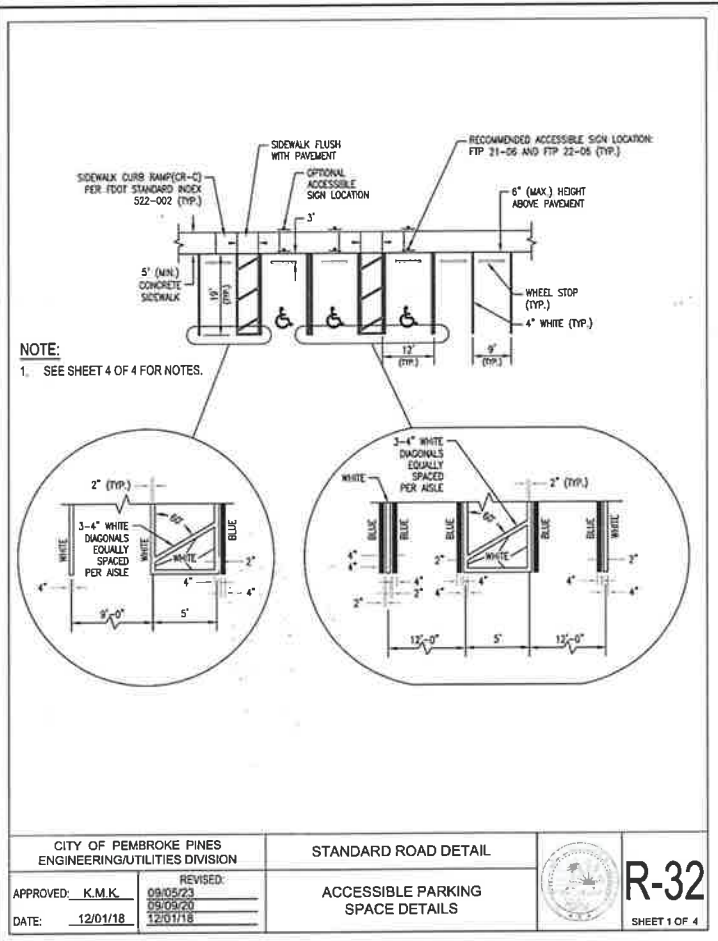
DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB



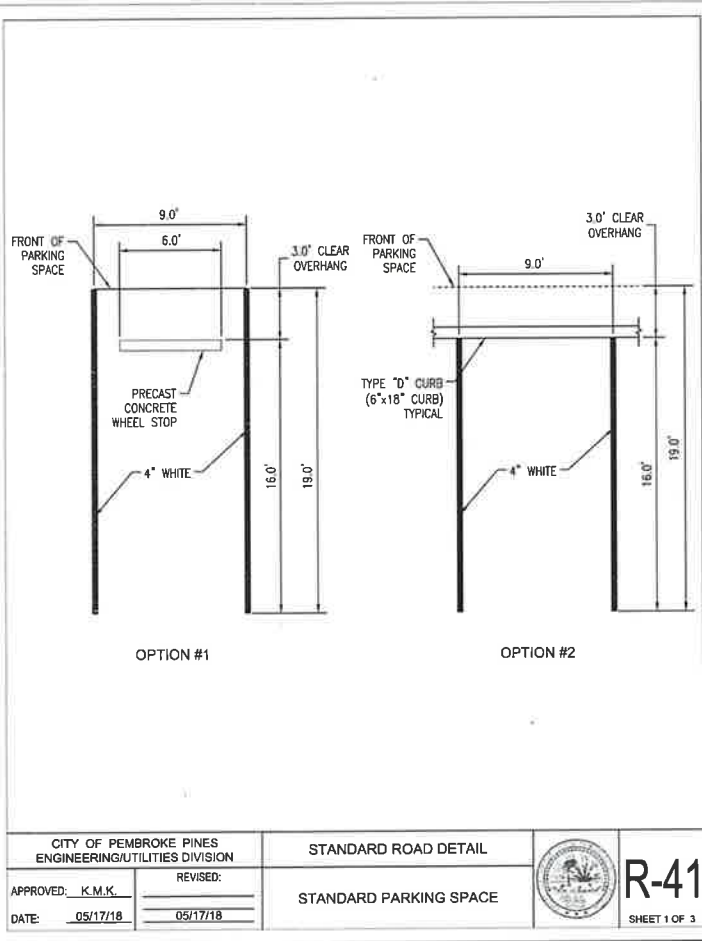
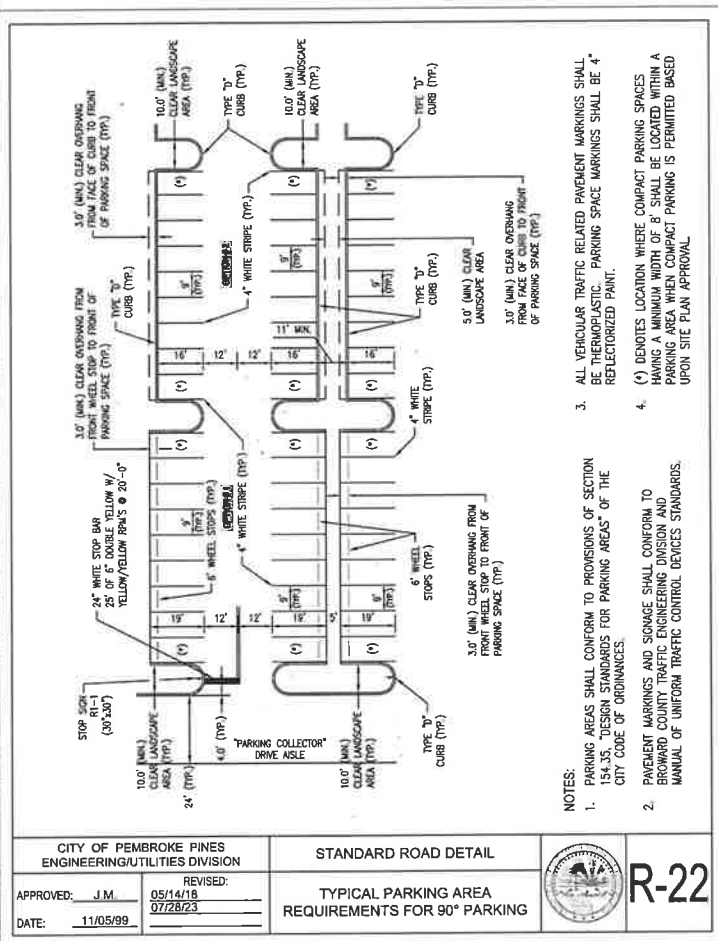
PROJECT: 2301-03
 SHEET: SPM-1

NO.	DATE	BY	REVISIONS

Sunshine
 Call Bill or visit sunshine@ill.com two full business days before digging to have buried facilities located and marked. Check positive location codes before you dig!



- GENERAL TRAFFIC NOTES AND CONDITIONS:**
- ALL STOP BARS ARE TO BE INSTALLED 4' MIN. BEHIND ADJACENT TRAVEL LANES OR PEDESTRIAN CROSS WALKS.
 - ALL STOP SIGNS AND DO NOT ENTER SIGNS ARE TO BE COLUMN MOUNTED AT A HEIGHT OF 7'-0" MINIMUM.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PAVEMENT MARKINGS AND SIGNS AS SHOWN IN THE PLANS PER APPLICABLE TRAFFIC DESIGN STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND MATCHING EXISTING PAVEMENT MARKINGS AND REFLECTIVE PAVEMENT MARKERS WHERE REQUIRED.
 - ANY SIGNING MATERIAL, INCLUDING SUPPORTS TO BE REMOVED, SHALL BE DELIVERED BY THE CONTRACTOR TO DADE COUNTY'S TRAFFIC SIGNALS AND SIGNS MAINTENANCE FACILITY LOCATED AT 7100 NORTHWEST 38th STREET, MIAMI, FLORIDA.
 - SIGN ASSEMBLY LOCATIONS SHOWN IN THE PLANS WHICH ARE IN CONFLICT WITH STREET LIGHTING UTILITIES, DRIVEWAYS, PEDESTRIAN RAMPS, ETC. MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER AND/OR INSPECTOR.
 - CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED RECONFIGURATION BY WATER JETTING METHOD OR APPROVED EQUAL.



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

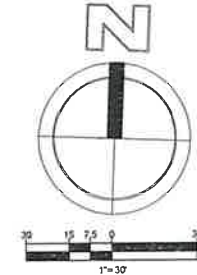
SIGNAGE AND PAVEMENT MARKINGS DETAILS

DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB

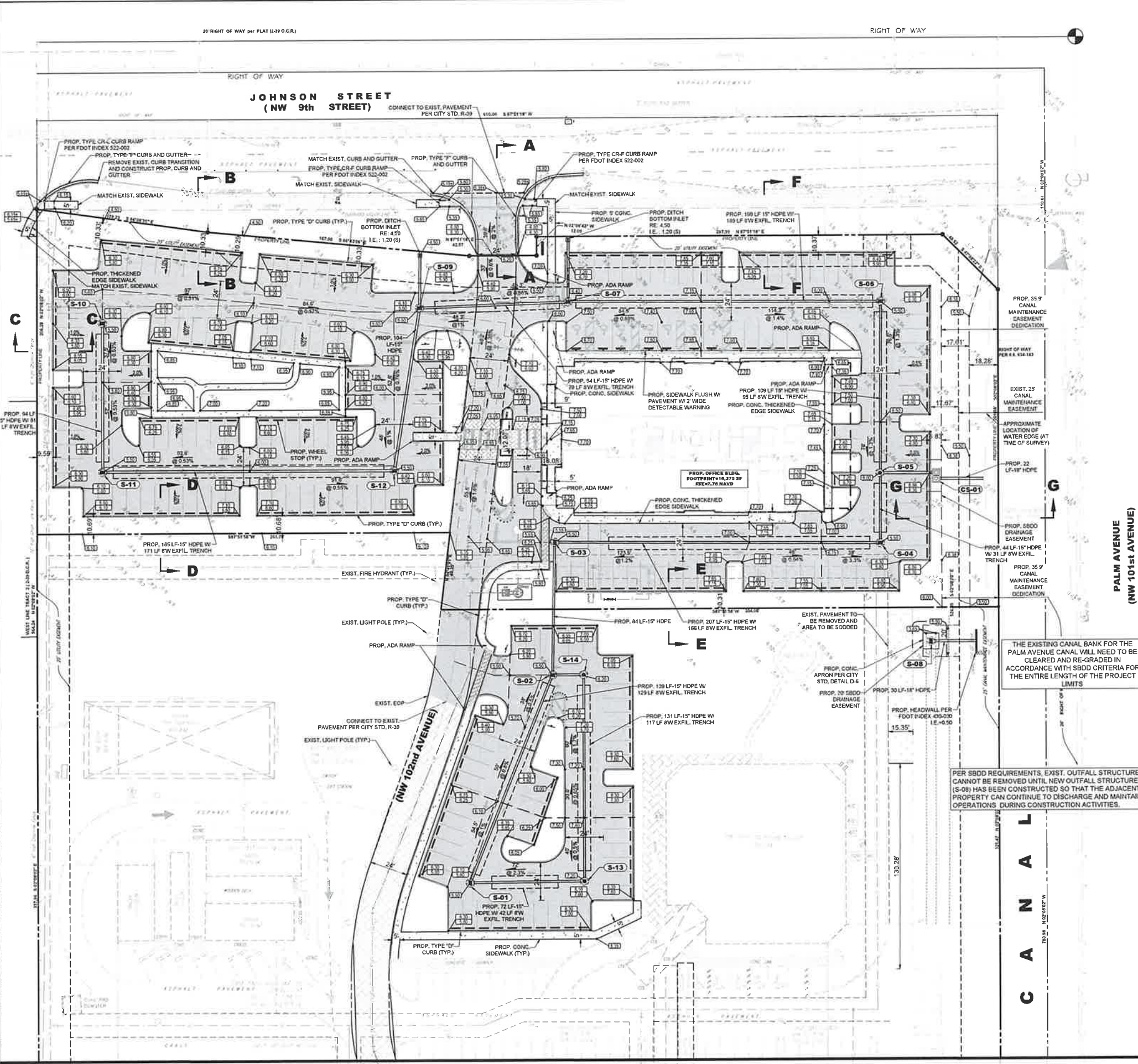
KEVIN BETANCOURT
 No. 83361
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

DATE: 8/23/24
 KEVIN A. BETANCOURT P.E.
 FLORIDA REGISTRATION NO. - 83361

PROJECT: 2301-03
 SHEET: SPM-2



DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). TO CONVERT TO NGVD 29 ADD 1.51 FEET (NGVD 29 = NAVD 88 + 1.51).



DRAINAGE STRUCTURE SCHEDULE

- S-01** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 N (PRB)
I.E.: 1.50 E (PRB)
- S-02** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 S (PRB)
I.E.: (-) 0.40 N
I.E.: 1.50 E
- S-03** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.20 E (PRB)
I.E.: (-) 0.40 S
- S-04** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 N (PRB)
I.E.: 1.20 W (PRB)
- S-05** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 420C RING AND COVER)
R.E.: 6.00
I.E.: 1.50 N (PRB)
I.E.: 1.50 S (PRB)
I.E.: 1.00 E
- S-06** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 S (PRB)
I.E.: 1.50 W (PRB)
- S-07** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 6.40
I.E.: 1.50 W (PRB)
I.E.: 1.50 E (PRB)
I.E.: 1.50 S
- S-08** DITCH BOTTOM INLET TYPE "C" PER CITY DETAIL D-5 W/ U.S.F. 4160 FRAME & GRATE)
R.E.: 3.40
I.E.: 0.50 E
- S-09** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 E (PRB)
I.E.: (-) 0.40 S
I.E.: 1.50 S
- S-10** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 S (PRB)
- S-11** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: 1.50 N (PRB)
I.E.: 1.50 E (PRB)
- S-12** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 4155-6213 FRAME & GRATE)
R.E.: 5.50
I.E.: (-) 0.40 N
I.E.: 1.50 W (PRB)
- S-13** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 420C RING & COVER)
R.E.: 7.20
I.E.: 1.50 W (PRB)
I.E.: 1.50 N (PRB)
- S-14** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER CITY DETAIL D-2 W/ U.S.F. 420C RING & COVER)
R.E.: 6.20
I.E.: 1.50 S (PRB)
I.E.: 1.50 W
- CS-01** PROPOSED CONTROL STRUCTURE (SEE DETAILS FOR STRUCTURE DIMENSIONS)
R.E.: 8.50
I.E.: 0.50 E
I.E.: 1.00 W (P.R.B.)
WEIR EL.: 5.50

UTILITY LEGEND

- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. SINGLE WATER METER
- PROP. SANITARY MANHOLE
- EXIST. SANITARY MANHOLE
- PROP. SANITARY CLEANOUT
- EXIST. WATER VALVE
- PROP. WATER VALVE
- EXIST. PLUG/REDUCER
- PROP. BACKFLOW PREVENTER
- PROP. DOUBLE DETECTOR CHECK VALVE
- PROP. FIRE DEPARTMENT CONNECTION
- WATER MAIN
- GRAVITY SEWER MAIN
- PROP. STORM PIPE
- PROP. FORCE MAIN
- PROP. FIRE LINE
- PROP. EXFILTRATION TRENCH
- EXIST. UTILITY POLE

HATCH LEGEND

- PROPOSED ASPHALT PAVEMENT (SEE PD-3 FOR SECTION DETAILS)
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE PAVEMENT (SEE PD-3 FOR SECTION DETAILS)
- PROPOSED MILL AND RESURFACE

PER SBDD REQUIREMENTS, EXIST. OUTFALL STRUCTURE (S-08) HAS BEEN CONSTRUCTED SO THAT THE ADJACENT PROPERTY CAN CONTINUE TO DISCHARGE AND MAINTAIN OPERATIONS DURING CONSTRUCTION ACTIVITIES.

THE EXISTING CANAL BANK FOR THE PALM AVENUE CANAL WILL NEED TO BE CLEARED AND RE-GRADED IN ACCORDANCE WITH SBDD CRITERIA FOR THE ENTIRE LENGTH OF THE PROJECT LIMITS

C
A
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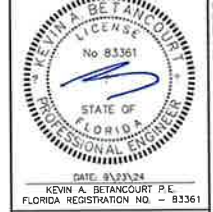
MATCH LINE SEE SHEET PD-2



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

PAVING AND DRAINAGE PLAN

DATE: 06/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB

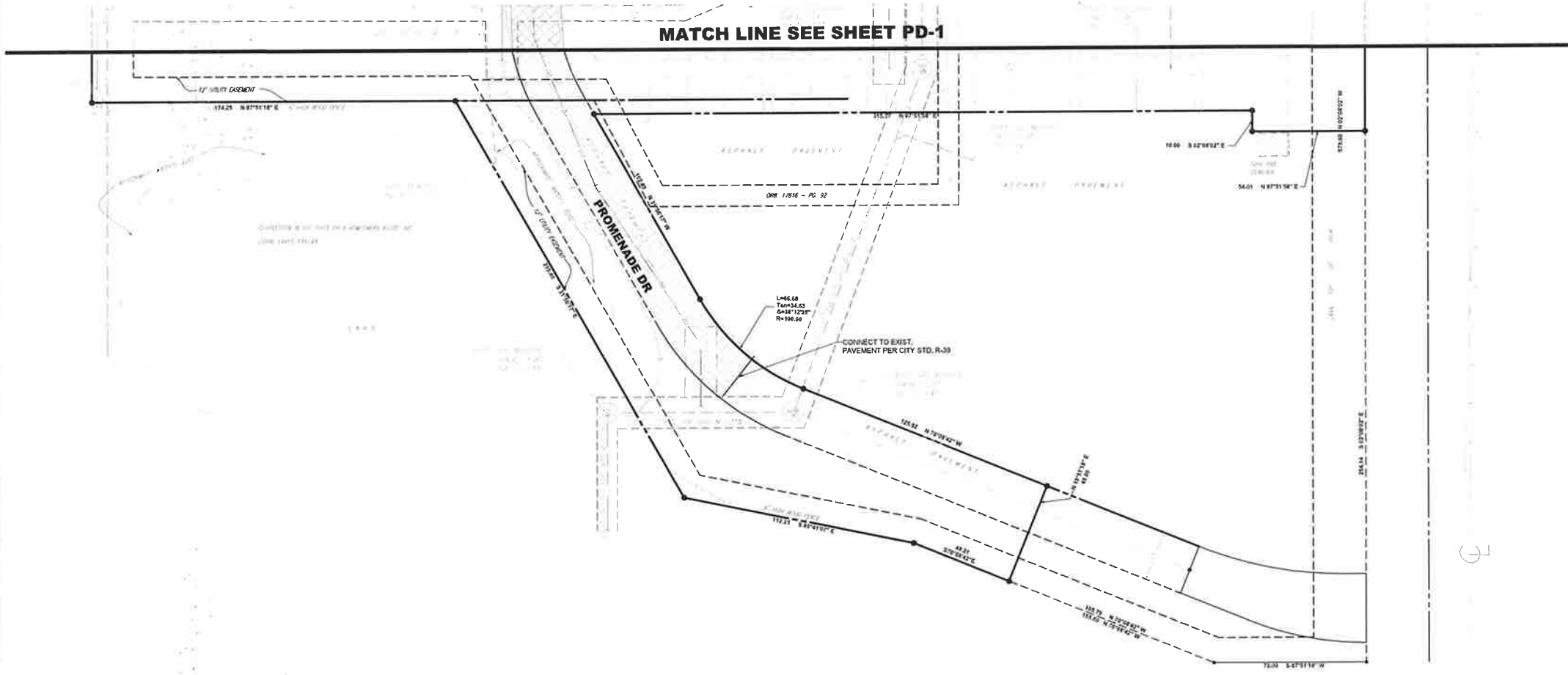


PROJECT: 2301-03
SHEET: PD-1

NO.	DATE	BY	REVISIONS

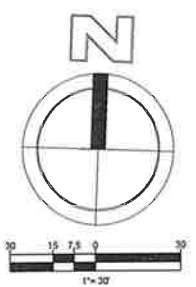
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DATE: Sep 23, 2024 3:33pm W:\680 - Riverside\City - Project\1\2301-03 - HSQ\Subarea - Pembroke - Plans\Drawings\Construction - Plans\230103-03 - PD - Plan.dwg



- UTILITY LEGEND**
- PROP. EXFILTRATION TRENCH
 - PROP. STORM MANHOLE
 - PROP. CATCH BASIN
 - PROP. SINGLE WATER METER
 - PROP. SANITARY MANHOLE
 - EXIST. SANITARY MANHOLE
 - PROP. SANITARY CLEANOUT
 - EXIST. WATER VALVE
 - PROP. WATER VALVE
 - EXIST. PLUG/REDUCER

- HATCH LEGEND**
- PROPOSED ASPHALT PAVEMENT (SEE PD-3 FOR SECTION DETAILS)
 - EXISTING CONCRETE TO REMAIN
 - PROPOSED CONCRETE PAVEMENT (SEE PD-3 FOR SECTION DETAILS)



DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

Sunshine
Call 888 or visit sunshinefl.com for full business days before digging to have buried utilities located and marked. Check your local regulations before you dig!



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

PAVING AND DRAINAGE PLAN

DATE: 06/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB



DATE: 8/23/24
PROJECT: 2301-03
SHEET: PD-2

NO	DATE	BY	REVISIONS

DATE: Sep 23, 2024 11:30am W:\1950\Browns\CLU\Projects\2023\2301-03_MedSquare_Pembroke_Pines\Drawings\Construction\Plans\230103-P3_Details.dwg

TYPE "F"

NOTE: (1) WHEN USED ON HIGH OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE UP SHALL BE 6". UNLESS OTHERWISE SHOWN ON PLANS.

VALLEY GUTTER

TYPE "D" CURB

NOTE: MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR ALL CURB TYPES SHALL BE 3,500 PSI.

HEADER CURB

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: J.M. REVISD: 10/20/22
DATE: 11/05/99

CONCRETE CURBS

R-26

SECTION A-A

PLAN

SIDEWALK JOINTS

LOCATION/USE	THICKNESS - "T"
PRIVATE STREETS AND PRIVATE DEVELOPMENT	4"
CITY STREETS AT INTERSECTION OF SIDEWALK, STREET AND CITY PARALLEL	6"

NOTE: (1) CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR CITY STREETS AND CITY PROJECTS. (2) CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR PRIVATE STREETS AND PRIVATE DEVELOPMENT. (3) SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET A.D.A. STANDARDS. (4) SIDEWALK CURB RAMP SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT THE VERTICAL ALIGNMENT OF THE CURB/EDGE OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN 4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE AND SHALL BE "PEDESTRIAN FRIENDLY APPROVED".

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: J.M. REVISD: 12/01/20
DATE: 11/05/99

CONCRETE SIDEWALK

R-28

SECTION

NOTE: 1. REFER TO CITY STANDARDS C-1 AND R-44 FOR ADDITIONAL INFORMATION ON TRENCH BACKFILL.

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: J.M. REVISD: 12/15/22
DATE: 11/05/99

PAVEMENT RESTORATION FOR LOCAL ROADS AND PARKING LOTS

R-38

SECTION

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: J.M. REVISD: 10/18/18
DATE: 11/05/99

PAVEMENT CONNECTION

R-39

SECTION

NOTE: (1) MAXIMUM COMPACTION DENSITY SHALL BE DETERMINED BY AASHTO T-180. (2) MAXIMUM WATER LEVEL IN TRENCH SHALL BE MAINTAINED AT BOTTOM OF "BEDDING MATERIAL" UNLESS SOIL AND WATER TABLE CONDITIONS DICTATE OTHERWISE, THEN AN ALTERNATE METHOD OF CONTROLLING THE WATER LEVEL IN THE TRENCH AND/OR AN ALTERNATE METHOD OF INSTALLATION IN "WET CONDITIONS" SHALL BE PROPOSED BY CONTRACTOR AND ENGINEER AND APPROVED BY THE CITY'S FIELD REPRESENTATIVE FOR FIELD USE. (3) WHERE SOIL CONDITIONS CANNOT BE MAINTAINED PER TRENCH SECTION SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION. (4) WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY. (5) MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED WITHIN TRENCH SECTION. (6) WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. #57 STONE, 3/4" WASHED ROCK, CRUSHED STONE, PEA ROCK OR COARSE SAND SHALL BE USED TO PROVIDE UNIFORM BEDDING. (7) JOINTS ARE REQUIRED TO BE WRAPPED WITH FILTER FABRIC.

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD ROAD DETAIL

APPROVED: K.M.K. REVISD: 12/15/22
DATE: 10/30/19

TYPICAL TRENCH BACKFILL

R-44

TOP SLAB FOR MANHOLE

TOP SLAB FOR CATCH BASIN

SECTION

CITY OF PEMBROKE PINES
ENGINEERING/UTILITIES DIVISION

STANDARD DRAINAGE DETAIL

APPROVED: J.M. REVISD: 02/05/20
DATE: 11/05/99

PRECAST CIRCULAR DRAINAGE MANHOLE AND CATCH BASIN

D-2

Sunshine
Call 811 or visit sunshine811.com two full business days before digging to find buried facilities located and marked. Check your response system before you dig!



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

PAVING AND DRAINAGE DETAILS

DATE: 02/09/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB



DATE: 01/23/24
PROJECT: 2301-03
SHEET: PD-3

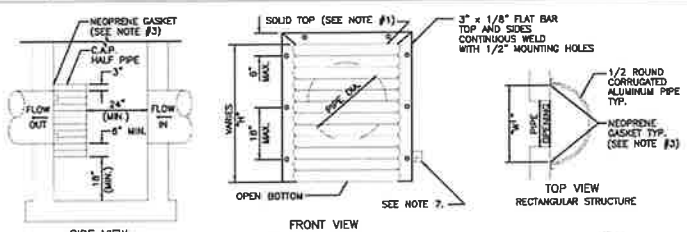
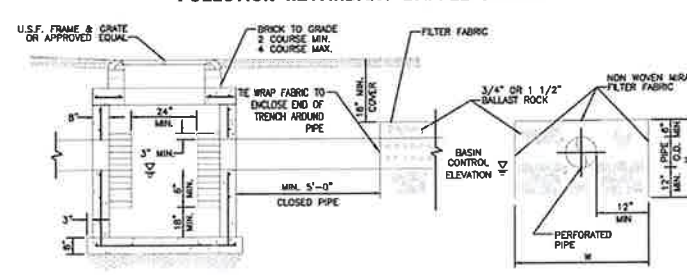
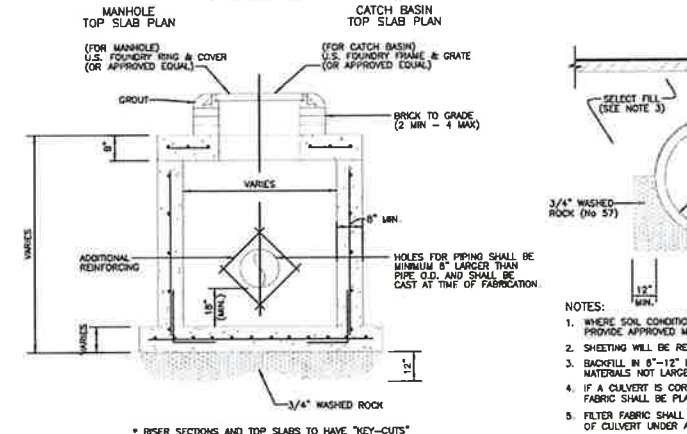
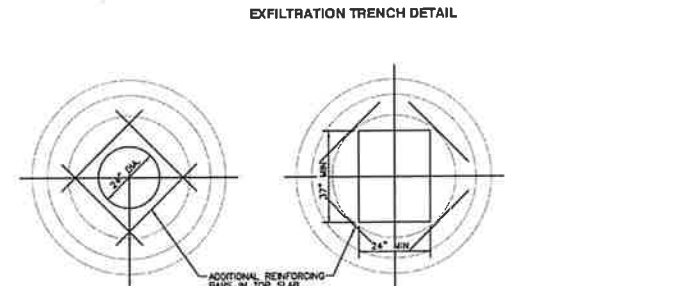


TABLE 1: RECTANGULAR STRUCTURE POLLUTION RETARDANT BAFLE STRUCTURE

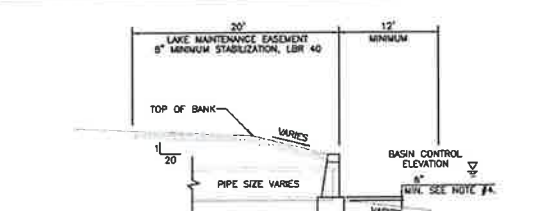
PIPE DIA. (IN)	W (IN)	H (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIES
18"	24"	24"	16	VARIES
21"	30"	30"	16	VARIES
24"	30"	36"	16	VARIES
30"	36"	42"	14	VARIES
36"	42"	48"	14	VARIES
42"	48"	54"	14	VARIES
48"	54"	60"	14	VARIES
54"	60"	66"	14	VARIES



- NOTES:
- SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC. OVERLAP LINDER A MINIMUM OF 2' AT THE TOP OF THE TRENCH.
 - BALLAST ROCK SHALL BE FROM FRESH WATER, WASHED AND FREE OF DELETERIOUS MATTER.
 - ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL). THE BOTTOM OF THE BAFLE SHALL BE A MIN. OF 12" BELOW C.W.L.
 - GASKETS SHALL BE USED WITH RCP IN EXFILTRATION TRENCH.

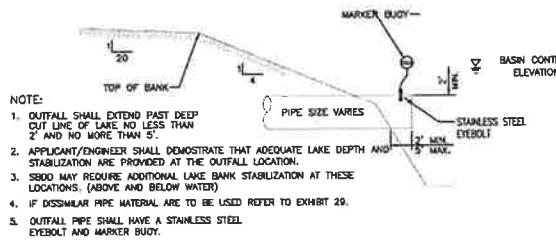


PRECAST CATCH BASIN AND MANHOLE DETAIL



- NOTES:
- TOP OF CAP TO BE 1' ABOVE THE BASIN CONTROL ELEVATION FOR LAKES AND 3" ABOVE BASIN CONTROL ELEVATION FOR CANALS, UNLESS OTHERWISE APPROVED BY THE DISTRICT.
 - HEADWALLS ARE REQUIRED FOR ALL LAKE AND CANAL INTERCONNECTS.
 - CONCRETE AND RP-RAP ENDWALLS ARE ACCEPTED PER FOOT INDEX 250-255 AND INDEX 258 WITH EXCEPTIONS AS NOTED IN SECTION 3.7.7 OF THE SBDD DESIGN CRITERIA MANUAL.
 - CHANNEL IN FRONT OF PIPE TO BE MIN 8" BELOW THE INVERT OF THE PIPE AND AT LEAST 1 1/2 TIMES THE DIA. OF THE PIPE TO THE DEEP CUT LINE AND CENTERED ON THE PIPE.
 - FACE OF HEADWALL TO BE LOCATED AT DESIGN EDGE OF WATER.

LAKE OUTFALL DETAIL WITH HEADWALL



- NOTE:
- OUTFALL SHALL EXTEND PAST DEEP CUT LINE OF LAKE NO LESS THAN 2' AND NO MORE THAN 5'.
 - APPLICANT/ENGINEER SHALL DEMONSTRATE THAT ADEQUATE LAKE DEPTH AND STABILIZATION ARE PROVIDED AT THE OUTFALL LOCATION.
 - SBDD MAY REQUIRE ADDITIONAL LAKE BANK STABILIZATION AT THESE LOCATIONS (ABOVE AND BELOW WATER).
 - IF DISSIMILAR PIPE MATERIALS ARE TO BE USED REFER TO EXHIBIT 29.
 - OUTFALL PIPE SHALL HAVE A STAINLESS STEEL EYEBOLT AND MARKER BUOY.

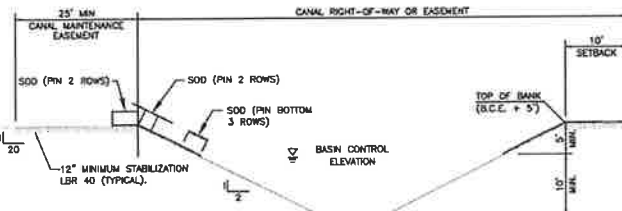
LAKE OUTFALL DETAIL WITHOUT HEADWALL



TABLE 2: LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT

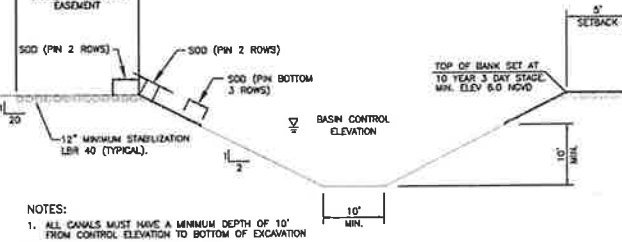
BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)	BASIN No.	B.C.E. (FT-NGVD)	T.O.B. (FT-NGVD)	L (FT)
S-1	2.50	8.50	18.00	S-8	3.30	8.00	10.00
S-2 & S-7	2.70	8.00	13.20	S-9 & S-10	4.00	8.50	12.00
S-3	3.00	8.50	14.00	S-12	3.00	8.30	14.00
S-4	3.50	8.00	10.00	S-13	3.00	8.50	14.00
S-5	4.00	8.00	8.00				
	4.25	8.50	9.00				
	4.50	8.50	8.00				

LAKE CROSS SECTION AND LAKE MAINTENANCE EASEMENT



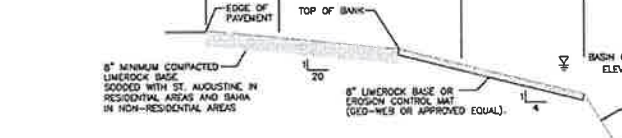
- NOTES:
- ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10" FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION
 - MINIMUM CANAL BOTTOM IS 10" WIDE
 - ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
 - THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
 - SOD PINS MUST BE WOOD.

PRIMARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



- NOTES:
- ALL CANALS MUST HAVE A MINIMUM DEPTH OF 10" FROM CONTROL ELEVATION TO BOTTOM OF EXCAVATION
 - MINIMUM CANAL BOTTOM IS 10" WIDE
 - ALL PROPERTIES ADJACENT TO THE CANAL MUST SLOPE BANKS, SOD AND PROVIDE AS-BUILTS TO THE ABOVE DESIGN.
 - THERE SHALL BE NO MUCK WITHIN THE CANAL RIGHT OF WAY AND MAINTENANCE EASEMENT.
 - SOD PINS MUST BE WOOD.

SECONDARY CANAL MINIMUM DESIGN SECTION AND CANAL MAINTENANCE EASEMENT



- NOTES:
- WHERE SOIL CONDITION CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED MEANS OF CONSTRUCTION.
 - WHERE REQUIRED SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENTAL AGENCY.
 - MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
 - WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" LIMESTONE GRAVEL SHALL BE USED TO PROVIDE UNIFORM BEDDING.
 - JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.
 - BACKFILL MATERIAL SHALL BE NON-COHESIVE AND NON-PLASTIC SOIL THAT IS FREE OF ALL DEBRIS, LIMBS, WOOD BROKEN PAVING OR ANY ORGANIC OR UNSUITABLE MATERIAL. BACKFILL MATERIAL PLACED WITHIN 12" OF THE PIPE SHALL CONTAIN NO ROCKS OR STONES LARGER THAN 3-1/2" IN DIAMETER. NO ROCKS OR STONES LARGER THAN 1/4" IN DIAMETER MAY BE PERMITTED IN THE REMAINING BACKFILL UNLESS OTHERWISE SPECIFIED.
 - TRENCH BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D-1557. BACKFILL AND COMPACTED SHALL BE IN ACCORDANCE TO THE STANDARD ENGINEERING DESIGN REQUIRED BY THE LOCAL GOVERNMENTAL AGENCY.

BOAT RAMP DETAIL

GENERAL NOTES

- THE FOLLOWING GENERAL NOTES ARE REQUIRED BY THE SOUTH BROWARD DRAINAGE DISTRICT (SBDD). THEY ARE NOT MEANT TO BE ALL INCLUSIVE. IT IS THE ENGINEER'S RESPONSIBILITY TO ADD ANY NOTES WHICH WILL INFORM THE OWNER AND THE CONTRACTOR OF ANY ADDITIONAL REQUIREMENTS OF DESIGN.
- THE CONTRACTOR SHALL CONTACT SBDD 48 HOURS OR TWO (2) WORKING DAYS PRIOR TO ANY REQUIRED INSPECTION. TO SCHEDULE INSPECTIONS, PLEASE CALL SBDD AT (904) 333-1100. VISITING HOURS ARE FROM 8:00 AM TO 4:30 PM, MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS.
 - ANY REVISIONS TO PLANS PERMITTED BY SBDD MUST BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
 - A PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND HELD AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING CONSTRUCTION.
 - A SET OF SHOP DRAWINGS SHALL BE SUBMITTED TO SBDD AFTER APPROVAL BY THE DISTRICT ENGINEER, PRIOR TO BEGINNING CONSTRUCTION.
 - URING CONSTRUCTION, SBDD PERSONNEL WILL INSPECT THE FOLLOWING:
 - REGULATION OF ALL UNDERGROUND DRAINAGE FACILITIES BEFORE BACKFILLING.
 - BACKFILL OF DRAINAGE TRENCHES.
 - SHAPING OF CANAL AND LAKE BANKS FROM THE DEEP CUT TO THE UPRAMP EXHAUSTION LINE OR AS REQUIRED BY SBDD.
 - AND ANY OTHER DRAINAGE RELATED CONSTRUCTION WORK.
 RE-INSPECTIONS, EXTRAORDINARY INSPECTIONS AND FINAL INSPECTIONS WILL BE SUBJECT TO ADDITIONAL FEE CHARGES BY SBDD.
 - THE CONTRACTOR CONSTRUCTING OR EXCAVATING LAKES OR OTHER WATER BODIES SHALL EXERCISE EXTREME CARE TO ENSURE THAT THE SEE SLOPES AND DEEP CUT LINES ARE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS FOR THE DEVELOPMENT. THE CONTRACTOR OR OTHER SHALL PERIODICALLY, OR AS REQUIRED BY SBDD, OBTAIN A SURVEY FROM A FLORIDA REGISTERED SURVEYOR OF THE LOCATION OF THE DEEP CUT LINES PRIOR TO FORMING THE SEE SLOPES. THIS SURVEY SHALL BE PERFORMED PRIOR TO THE ONSET/CONSTRUCTION BEGINNING CONSTRUCTION OF ANY BUILDING PILES ADJACENT TO THE WATER BODY. IN THE EVENT THAT THE CONTRACTOR OVER DIGS THE WATER BODY, THE OWNER/CONTRACTOR SHALL SUBMIT TO SBDD ITS SOLUTION TO CORRECT THE OVER DIGGING. ANY SUGGESTED REMEDY OR CORRECTION MUST BE APPROVED BY SBDD BEFORE THE CONSTRUCTION BEGINS THE PROPOSED CORRECTION/REMEDY.
 - PAVING AND DRAINAGE "AS-BUILT" PLANS CONTROLLED BY THE ENGINEER OF RECORD AND APPROVED BY THE DISTRICT ENGINEER SHALL BE REQUIRED BEFORE THE RELEASE OF THE BOND OR LETTER OF CREDIT. AS-BUILTS SHALL BE PROVIDED AS AN OVERLAY OF THE APPROVED CONSTRUCTION DRAWINGS AND AT THE SAME SCALE AS ORIGINALLY SUBMITTED. AS-BUILT SUBMITTALS SHALL CONFORM TO THE REQUIREMENTS OF SBDD'S DESIGN MANUAL. AS-BUILTS SHALL ALSO BE PROVIDED IN ELECTRONIC FORMAT.
 - AS-BUILT DRAWINGS OF WATER BODIES SHALL INCLUDE THE DATA REQUIRED UNDER EXHIBIT 38 OF SBDD'S DESIGN MANUAL. THE AS-BUILT CROSS SECTIONS SHALL BE PROVIDED AT NOT MORE THAN 100 FOOT INTERVALS AND AT ALL OUTFALL PIPES CONSTRUCTED UNDER HEADWALLS.
 - SBDD WILL NOT COMPLETE THE FINAL INSPECTION UNTIL RECEIPT OF THE AS-BUILT PACKAGE WHICH MUST INCLUDE THE ENGINEER'S CERTIFICATION AND TEST RESULTS FOR STABILIZATION OF LAKE/CANAL MAINTENANCE EASEMENTS, ARE RECEIVED.

UPDATED 3/26/2015



SOUTH BROWARD DRAINAGE DISTRICT
DESIGN CRITERIA MANUAL
STANDARD DETAIL SHEET



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

HSQ GROUP, LLC.
Engineers - Planners - Surveyors

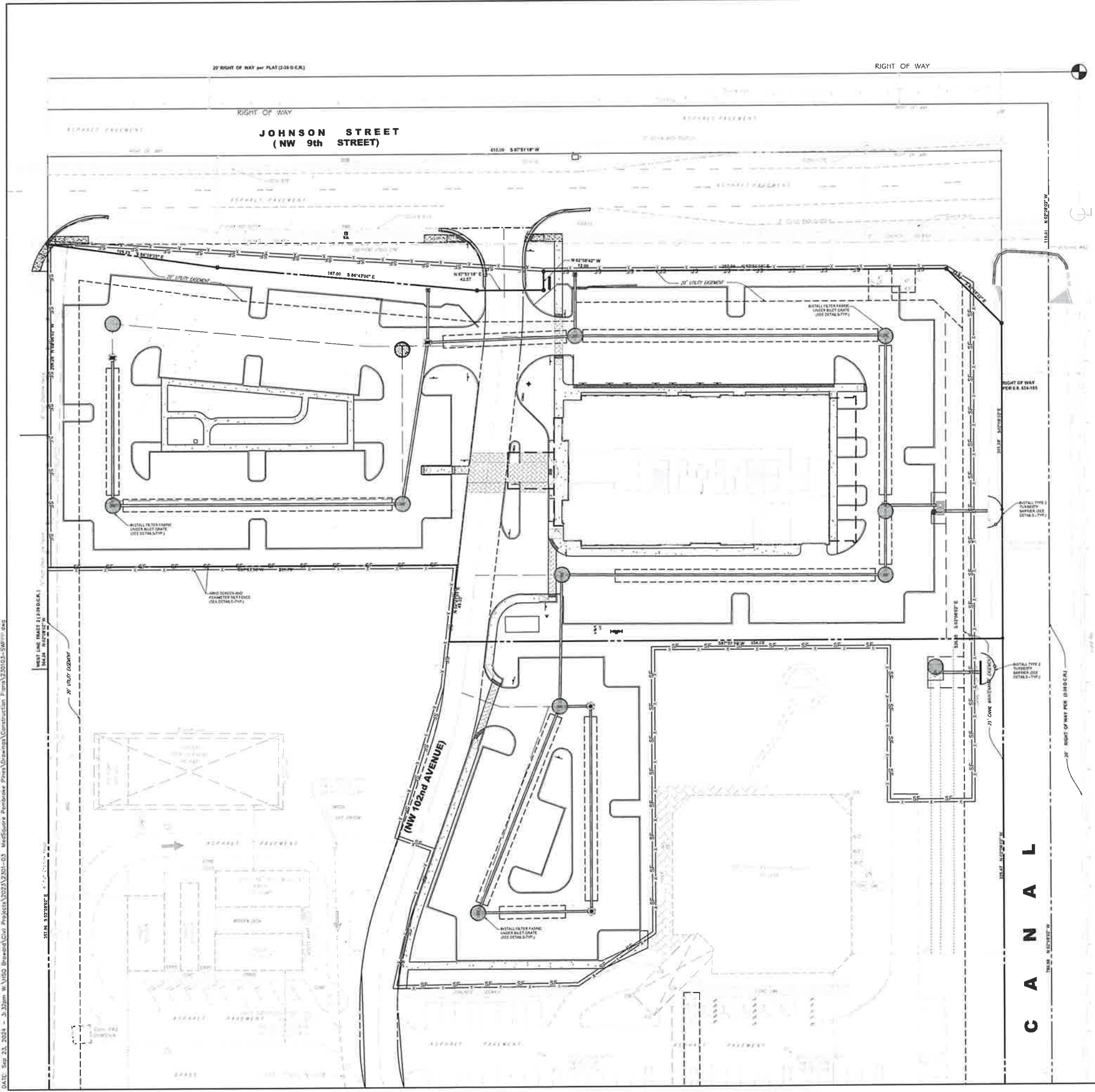
DATE: 02/28/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB



PROJECT: 2301-03
SHEET: PD-6

NO. DATE BY REVISIONS

SBDD DETAILS



LEGEND

	PROP. WIND SCREEN (REFER TO SHEET SWPP-2 FOR DETAIL)
	PROP. SILT FENCE (REFER TO SHEET SWPP-2 FOR DETAIL)
	PROP. TURBIDITY BARRIER (REFER TO SHEET SWPP-2 FOR DETAIL)
	PROP. FILTER FABRIC (REFER TO SHEET SWPP-2 FOR DETAIL)



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL
 STORMWATER POLLUTION
 PREVENTION PLAN

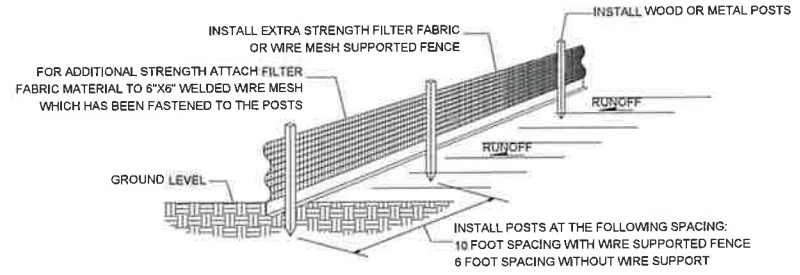
DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
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PROJECT: 2301-03
 SHEET: SWPPP-1

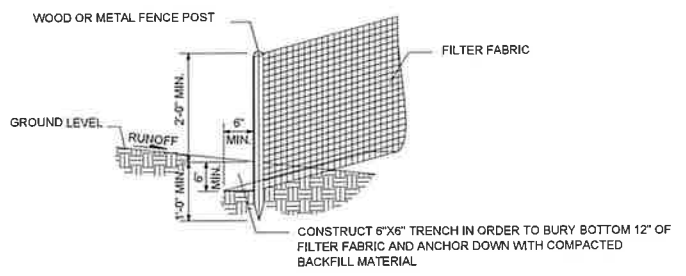
NO.	DATE	BY	REVISIONS

DATE: Sep 23, 2024 - 3:30pm W:\VISO\Inroad\Clear Projects\2301-03 - MedSquare Pembroke Pines\Drawings\Construction Plans\2301-03-SWPPP-01.dwg

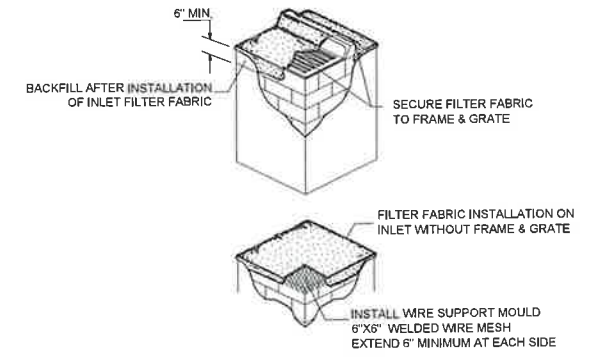


SILT FENCE INSTALLATION DETAIL
N.T.S.

- SILT FENCE & POST INSTALLATION NOTES**
1. THE HEIGHT OF THE SILT FENCE SHALL BE INSTALLED AT A MINIMUM OF 24 INCHES BUT SHALL NOT EXCEED 36 INCHES.
 2. THE FILTER FABRIC MATERIAL SHALL BE PURCHASED IN A CONTINUOUS ROLL IN ORDER TO BE ABLE TO CUT THE ENTIRE REQUIRED LENGTH IN ONE PIECE AND AVOID THE USE OF JOINTS.
 3. WHEN STANDARD STRENGTH FILTER FABRIC MATERIAL IS USED, A WELDED WIRE MESH SUPPORT SHALL BE FASTENED SECURELY TO THE UP SLOPE SIDE OF THE FENCE POSTS BY USING EITHER HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 4. THE FILTER FABRIC MATERIAL SHALL BE EITHER STAPLED OR WIRED TO THE FENCE POSTS AND 12 INCHES OF THE FABRIC SHALL BE EXTENDED AT THE BOTTOM INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE GROUND SURFACE.
 5. A 6"x6" TRENCH SHALL BE CONSTRUCTED ALONG THE BOTTOM OF THE ENTIRE LINE OF FENCE POSTS AND UP SLOPE FROM THE BARRIER IN ORDER TO BURY THE BOTTOM 12 INCHES OF THE FILTER FABRIC MATERIAL. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 6. THE FENCE POSTS SHALL BE INSTALLED AT A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND FOR A MINIMUM OF 12 INCHES WHEN THE FILTER FABRIC IS USED WITHOUT WIRE MESH SUPPORT. IF WIRE SUPPORT IS USED THEN THE FENCE POSTS SHALL BE SPACED AT A MAXIMUM OF 6 FEET APART.
 7. WHEN INSTALLING TWO SILT FENCES AROUND THE PERIMETER, PLACE THE POSTS OF THE SECOND FENCE INSIDE THE POSTS OF THE FIRST FENCE. ROTATE BOTH FENCE POSTS AT A CLOCKWISE DIRECTION IN ORDER TO CREATE A TIGHT SEAL. FOLLOW ALL OTHER STANDARD INSTALLATION REQUIREMENTS.

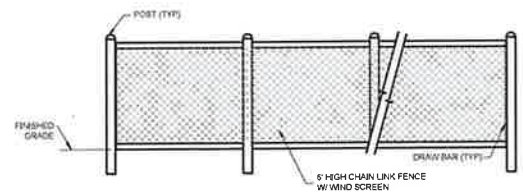


POST & FILTER FABRIC INSTALLATION DETAIL
N.T.S.

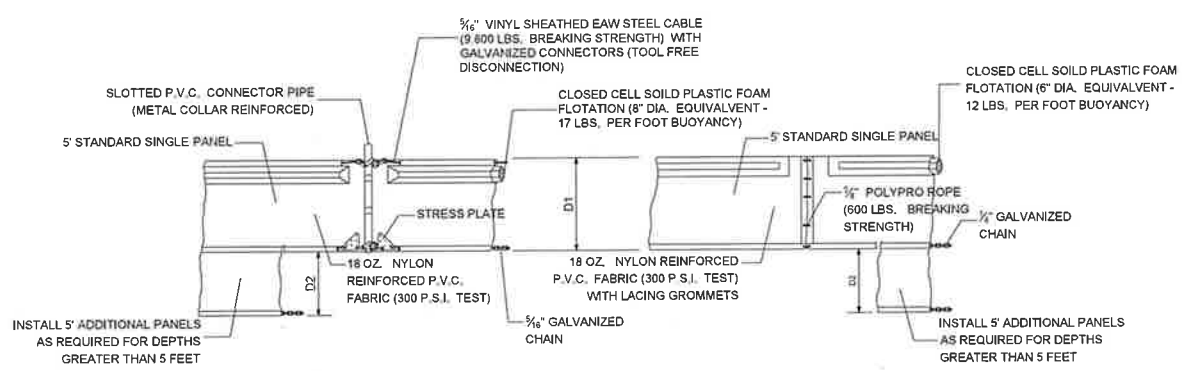


FILTER FABRIC INSTALLATION DETAIL
N.T.S.

- FILTER FABRIC INSTALLATION NOTES**
1. CONTRACTOR SHALL CLEAN OUT DRAINAGE INLET AND FILTER FABRIC AFTER EVERY STORM EVENT OR AS NEEDED.
 2. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DAMAGED FILTER FABRIC WITHIN INLETS DURING CONSTRUCTION OPERATIONS.
 3. CONTRACTOR SHALL REMOVE FILTER FABRIC FROM DRAINAGE INLETS PRIOR TO STARTING FINAL PAVING OPERATIONS.



WIND SCREEN DETAIL
N.T.S.

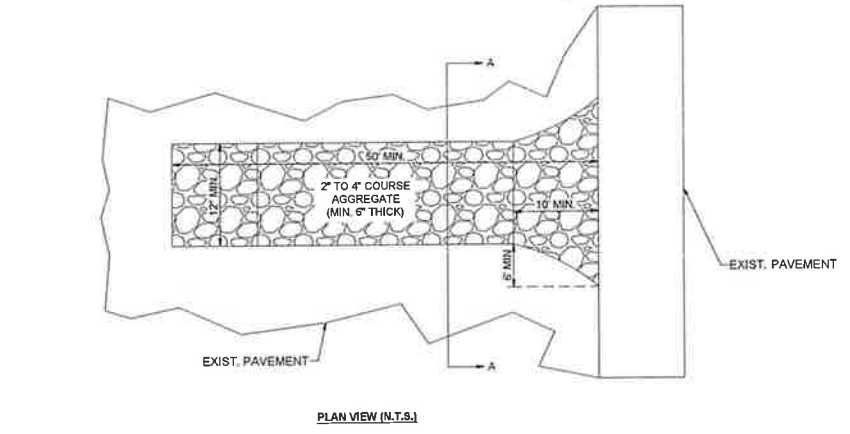


FLOATING TURBIDITY BARRIER INSTALLATION DETAIL
N.T.S.

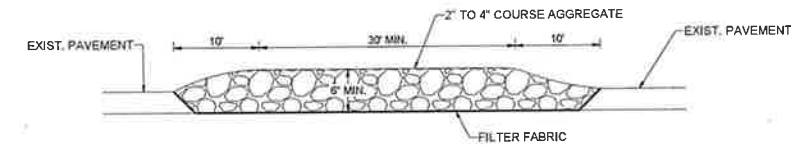
- FLOATING TURBIDITY BARRIER INSTALLATION NOTES**
1. FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED WITHIN EXISTING LAKES AND/OR CANALS. REFER TO STORMWATER POLLUTION PREVENTION PLANS FOR EXACT LOCATIONS.
 2. CONTRACTOR MAY INSTALL A SUBSTITUTION FOR THE TYPE 1 AND TYPE 2 FLOATING TURBIDITY BARRIERS ONLY IF APPROVED BY BOTH THE ENGINEER-OF-RECORD AND THE APPLICABLE GOVERNMENTAL AGENCIES.
 3. THE TURBIDITY BARRIER CURTAIN BOTTOM SHALL REACH A MINIMUM DEPTH OF 10 FEET FROM THE EXISTING WATER ELEVATION. MULTIPLE PANELS OR SPECIAL DEPTH CURTAINS SHALL BE USED IF THE PLANS OR ENGINEER-OF-RECORD SPECIFY DEPTHS GREATER THAN 10 FEET.

GENERAL EROSION AND TURBIDITY CONTROL NOTES

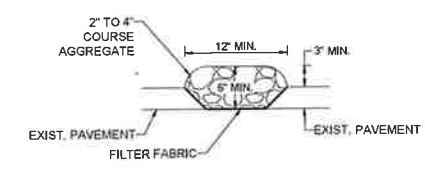
1. ALL EROSION AND TURBIDITY CONTROL DEVICES AND TEMPORARY BARRIERS SHALL BE INSTALLED WITHIN THE LIMITS OF THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING.
2. A TEMPORARY BARRIER SHALL BE INSTALLED AROUND ALL WETLAND AND/OR NATURAL PRESERVATION AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES COMMENCING.
3. NO CONSTRUCTION VEHICLES SHALL ENCRANCH WITHIN THESE AREAS. CONTRACTOR SHALL HAVE ALL EXISTING UNDERGROUND UTILITIES LOCATED BY APPROPRIATE AGENCIES PRIOR TO INSTALLATION OF ANY EROSION AND TURBIDITY CONTROL DEVICES AND BARRIERS.
4. DURING CONSTRUCTION ACTIVITIES, EXISTING PERIMETER NATIVE VEGETATION SHALL REMAIN IN ORDER TO ACT AS A BUFFER BETWEEN ADJACENT PROPERTIES, AND TO MINIMIZE NUISANCE DUST, NOISE, AND/OR AIR POLLUTION.
5. PRACTICES SUCH AS SEEDING, MULCHING AND WETTING WHICH MINIMIZE AIRBORNE DUST AND PARTICULATE EMISSIONS GENERATED DURING CONSTRUCTION ACTIVITIES SHALL BE USED AS DIRECTED BY BOTH THE ENGINEER-OF-RECORD AND/OR APPLICABLE GOVERNMENTAL AGENCIES.
6. ALL AREAS DISTRIBUTED DURING CONSTRUCTION ACTIVITIES, WHICH ARE NOT GOING TO BE PAVED OR LANDSCAPED, SHALL BE SEEDDED AND MULCHED.



PLAN VIEW (N.T.S.)



SIDE VIEW (N.T.S.)



SECTION A-A (N.T.S.)

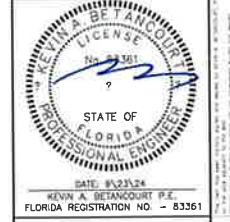
CONSTRUCTION ENTRANCE DETAIL
N.T.S.



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

STORMWATER POLLUTION PREVENTION PLAN DETAILS

DATE: 06/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB



PROJECT: 2301-03
SHEET: SWPPP-2

DATE: Sep 23, 2024 - 3:25pm W:\VCS - Research\CS - Proj\2301\2301-03 - Medsquare Pembroke Pines\Drawings\Construction - Plan\330103-03\SWPPP-2.dwg



PROJECT LOCATION:	800 NW 5TH AVENUE, CITY OF MIAMI, FLORIDA, 33136
TOTAL AREA OF THE SITE:	13.86 ACRES
TOTAL AREA OF THE SITE TO BE DISTURBED:	3.70 ACRES
DESCRIBE THE NATURE OF THE CONSTRUCTION ACTIVITY:	CONSTRUCTION OF: <ul style="list-style-type: none"> A 7-STORY TOWER AND 4-STORY PARKING GARAGE INCLUDING 119 DWELLING UNITS AND 250 PARKING SPACES, 7-STORY TOWER A 120 DWELLING UNITS AND 26 AT GRADE PARKING SPACES, AND A 5,000 S.F. CLUBHOUSE BUILDING WITH COMMUNITY.
DESCRIBE THE INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:	<ol style="list-style-type: none"> CLEAR & GRUB EXISTING VEGETATION WITHIN THE SITE. HAUL OFF SITE CLEARED MATERIAL. EXPORT FILL OFF SITE START SITE EARTHWORK GRADING.
EXISTING DATA DESCRIBING THE SOIL OR QUALITY OF ANY STORMWATER DISCHARGE FROM THE SITE:	EXISTING SOILS ARE CLASSIFIED AS MEDIUM SAND (SP) WITH LIMESTONE UNDERNEATH.
ESTIMATE THE DRAINAGE AREA SIZE FOR EACH DISCHARGE POINT:	ALL DRAINAGE AND DEWATERING TO REMAIN ON SITE
LATITUDE AND LONGITUDE OF EACH DISCHARGE POINT AND IDENTIFY THE RECEIVING WATER OR MS4 FOR EACH DISCHARGE POINT:	DISCHARGE POINTS: N/A RECEIVING WATER BODY: N/A

THE PROPER APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES USED AT THE CONSTRUCTION SITE:	NO FERTILIZERS, HERBICIDES, AND/OR PESTICIDES TO BE USED DURING THE CONSTRUCTION OPERATIONS.
THE STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES:	NO TOXIC SUBSTANCES WILL BE STORED ON THE PROJECT SITE DURING THE CONSTRUCTION OPERATIONS.
WASTE DISPOSAL, THIS MAY INCLUDE CONSTRUCTION DEBRIS, CHEMICALS, LITTER, AND SANITARY WASTES:	TEMPORARY WASTE DISPOSAL SERVICES, INCLUDING SANITARY WASTES, WILL BE PROVIDED BY LOCAL SERVICE COMPANY.
OFFSITE VEHICLE TRACKING FROM CONSTRUCTION ENTRANCES /EXITS:	CONSTRUCT TEMPORARY GRAVEL ENTRANCE (REFER TO EROSION CONTROL DETAILS ON SHEET #####)
OTHER:	N/A

GIVE A DETAILED DESCRIPTION OF ALL CONTROLS, BEST MANAGEMENT PRACTICES (BMPs) AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE FOR EACH ACTIVITY IDENTIFIED IN THE INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES SECTION. PROVIDE TIME FRAMES IN WHICH THE CONTROLS WILL BE IMPLEMENTED. NOTE ALL CONTROLS SHALL BE CONSISTENT WITH PERFORMANCE STANDARDS FOR EROSION AND SEDIMENT CONTROL AND STORMWATER TREATMENT SET FORTH IN S. 62-40.432, F.A.C., THE APPLICABLE STORMWATER OR ENVIRONMENTAL RESOURCE PERMITTING REQUIREMENTS OF THE DEPARTMENT OR A WATER MANAGEMENT DISTRICT, AND THE GUIDELINES CONTAINED IN THE FLORIDA DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP, 1988) AND ANY SUBSEQUENT AMENDMENTS.

- A SILT FENCE SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE CONSTRUCTION SITE.
- ROCK BAGS SHALL BE INSTALLED ON ALL OPEN GRATE DRAINAGE INLETS.

DESCRIBE ALL TEMPORARY AND PERMANENT STABILIZATION PRACTICES. STABILIZATION PRACTICES INCLUDE TEMPORARY SEEDING, MULCHING, PERMANENT SEEDING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, VEGETATIVE PRESERVATIONS, ETC.

THE PERIMETER SILT FENCE AND WIND SCREEN SHALL BE MAINTAINED AROUND THE ENTIRE CONSTRUCTION SITE UNTIL THE PERMANENT PERIMETER BERM HAS BEEN CONSTRUCTED AND STABILIZED.

DESCRIBE ALL STRUCTURAL CONTROLS TO BE IMPLEMENTED TO DIVERT STORMWATER FLOW FROM EXPOSED SOILS AND STRUCTURAL PRACTICES TO STORE FLOWS, RETAIN SEDIMENT ON-SITE OR IN ANY OTHER WAY LIMIT STORMWATER RUNOFF. THESE CONTROLS INCLUDE SILT FENCES, EARTH DIKES, DIVERSIONS, SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM DRAIN INLET PROTECTION, ROCK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS, GABIONS, COAGULATING AGENTS AND TEMPORARY OR PERMANENT SEDIMENT BASINS.

- SILT FENCES
- ROCK BAGS
- TURBIDITY BARRIERS

INSPECTIONS: DESCRIBE THE INSPECTION AND INSPECTION DOCUMENTATION PROCEDURES, AS REQUIRED BY PART V.D.4. OF THE PERMIT. INSPECTIONS MUST OCCUR AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.50 INCHES OR GREATER (SEE ATTACHED FORM).

- PROJECT/DEVELOPER SUPERINTENDENT WILL CONDUCT DAILY INSPECTIONS.
- INSPECTION REPORTS WILL BE MAINTAINED ON-SITE BY PROJECT/DEVELOPER SUPERINTENDENT.

IDENTIFY AND DESCRIBE ALL SOURCES OF NON-STORMWATER DISCHARGES AS ALLOWED IN PART IV.A.3. OF PERMIT. FLOWS FROM FIGHTING ACTIVITIES DO NOT HAVE TO BE LISTED OR DESCRIBED.

NONE

DESCRIBE ALL SEDIMENT BASINS TO BE IMPLEMENTED FOR AREAS THAT WILL DISTURB 10 OR MORE ACRES AT ONE TIME. THE SEDIMENT BASINS (OR EQUIVALENT ALTERNATIVE) SHOULD BE ABLE TO PROVIDE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE DRAINED. TEMPORARY SEDIMENT BASINS (OR AN EQUIVALENT ALTERNATIVE) ARE RECOMMENDED FOR DRAINAGE AREAS UNDER 10 ACRES.

- NO TEMPORARY SEDIMENT BASINS WILL BE USED DURING THE CONSTRUCTION OF THIS PROJECT.
- DEWATERING OPERATIONS WILL BE HANDLED THROUGH TWO (2) TEMPORARY ON-SITE DISCHARGE WELLS. ALL CONSTRUCTION EFFLUENT WILL BE DISCHARGED INTO AN APPROVED G-III AQUIFER PER FLORIDA ADMINISTRATIVE CODE (FAC) 62-520.410.

DESCRIBE ALL PERMANENT STORMWATER MANAGEMENT CONTROLS SUCH AS, BUT NOT LIMITED TO, DETENTION OR RETENTION SYSTEMS OR VEGETATED SWALES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS.

- THE STORMWATER MANAGEMENT CONTROLS FOR THIS DEVELOPMENT WILL CONSIST OF THREE (3) PERMANENT ON-SITE STORMWATER DISCHARGE WELLS. THESE WELLS WILL DISCHARGE INTO AN APPROVED G-III AQUIFER PER FLORIDA ADMINISTRATIVE CODE (FAC) 62-520.410.

PROVIDE A DETAILED DESCRIPTION OF THE MAINTENANCE PLAN FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS TO ENSURE THAT THEY REMAIN IN GOOD AND EFFECTIVE OPERATING CONDITION.

- THE EROSION AND TURBIDITY CONTROL DEVICES WILL BE INSPECTED BY THE PROJECT/DEVELOPER SUPERINTENDENT ON A DAILY BASIS.
- ALL REQUIRED REPAIRS TO THE EROSION AND TURBIDITY CONTROL DEVICES SHALL BE MADE BY THE CONTRACTOR AND/OR DEVELOPER WITHIN A 24 HOUR PERIOD.

CONTRACTOR CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

NAME / TITLE	SIGNATURE	COMPANY NAME ADDRESS & PHONE NUMBER	DATE

OPERATOR AND RESPONSIBLE AUTHORITY CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

NAME / TITLE	SIGNATURE	COMPANY NAME ADDRESS & PHONE NUMBER	DATE



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

STORMWATER POLLUTION
 PREVENTION PLAN NOTES

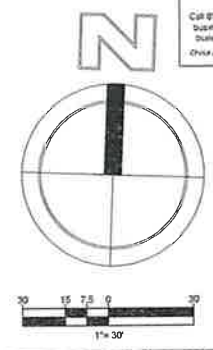
DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB



PROJECT: 2301-03
 SHEET: SWPPP-3

DATE: Sep 23, 2024 - 3:15pm, W:\MSO\Broward\Clear Projects\2301\2301-03_Medsquare Pembroke Pines\Drawings\Construction Plans\230103-SWPPP.dwg

NO. DATE BY REVISIONS



DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SANITARY SEWER STRUCTURE SCHEDULE

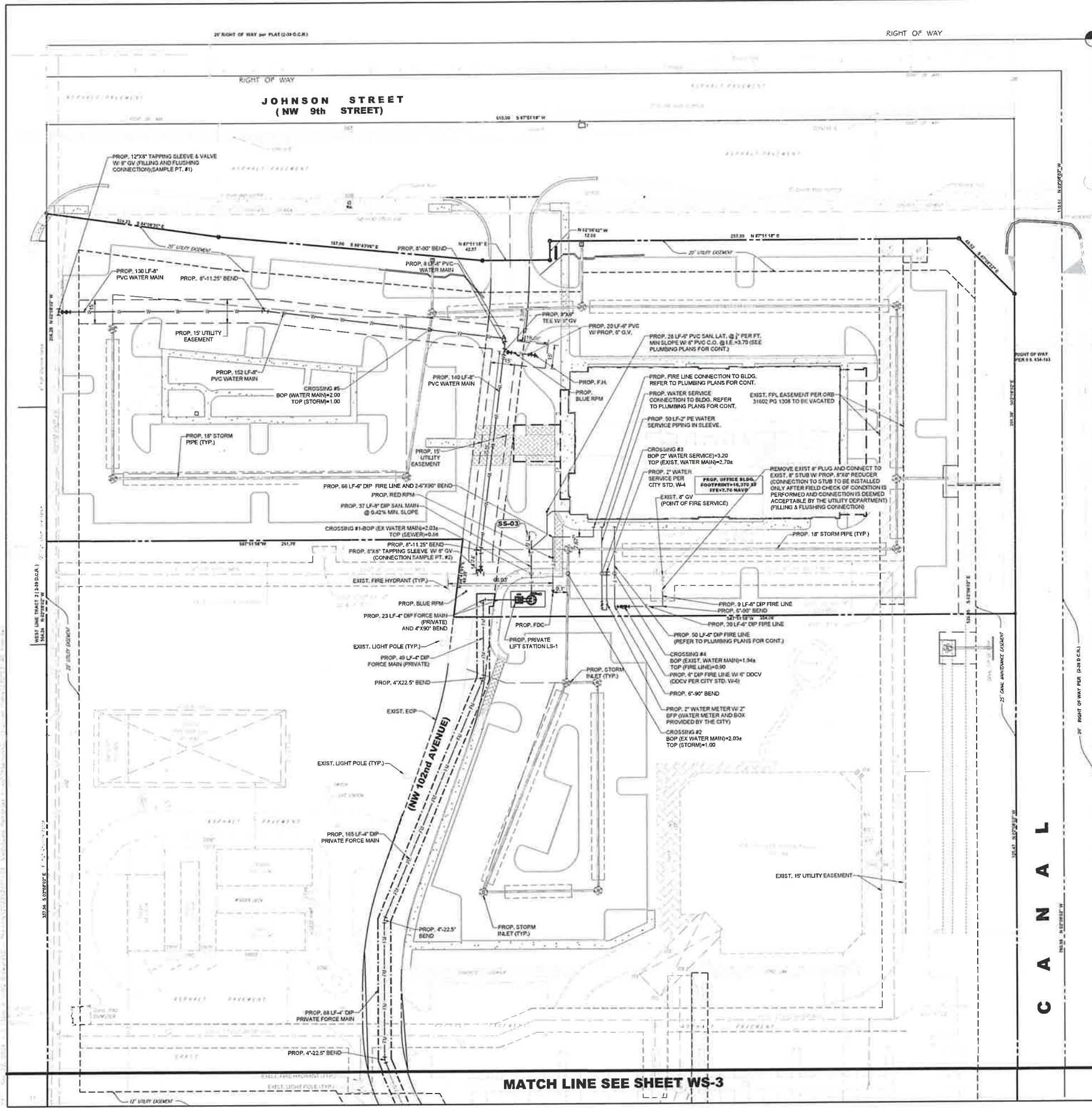
- SS-03** PROPOSED SANITARY SEWER MANHOLE (PRIVATE)
R.E. : 8.00
I.E. : 0.30 S
- LS-01** PROPOSED PRIVATE LIFT STATION
R.E. : 8.00
I.E. 0.15 N (8" PVC)
I.E. 2.60 (4" DIP FM)

HATCH LEGEND

- PROPOSED PAVEMENT RESTORATION (SEE PD-3 FOR SECTION DETAILS)

UTILITY LEGEND

- PROP. STORM MANHOLE
- PROP. CATCH BASIN
- PROP. SINGLE WATER METER
- PROP. SANITARY MANHOLE
- EXIST. SANITARY MANHOLE
- PROP. SANITARY CLEANOUT
- EXIST. WATER VALVE
- PROP. WATER VALVE
- EXIST. PLUG/REDUCER
- PROP. BACKFLOW PREVENTER
- PROP. DOUBLE DETECTOR CHECK VALVE
- PROP. FIRE DEPARTMENT CONNECTION
- WATER MAIN
- GRAVITY SEWER MAIN
- PROP. STORM PIPE
- PROP. FORCE MAIN
- PROP. FIRE LINE
- PROP. EXFILTRATION TRENCH
- EXIST. UTILITY POLE



MATCH LINE SEE SHEET WS-3

PALM AVENUE
(NW 101st AVENUE)

C A N A L



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

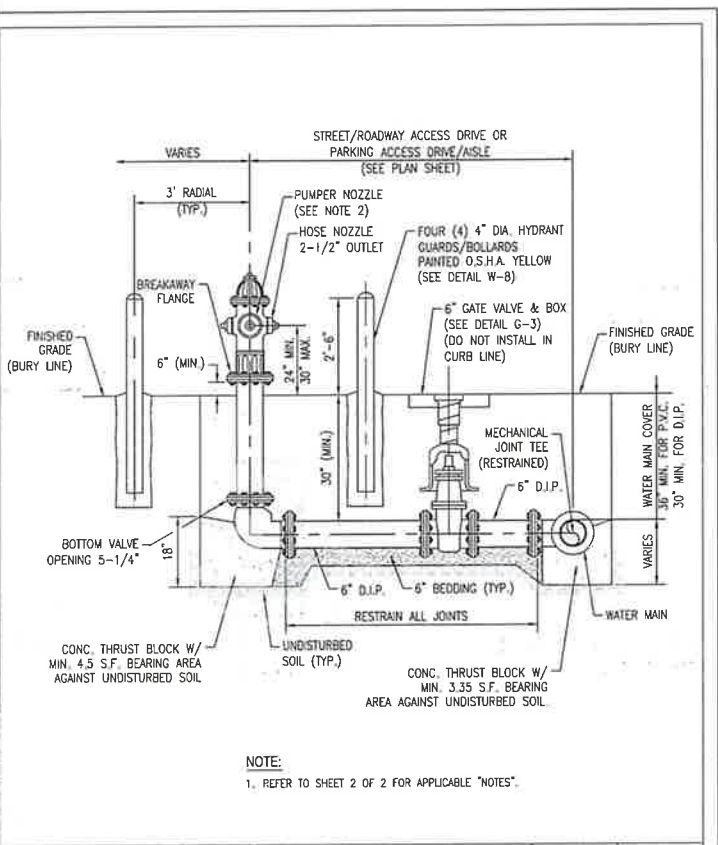
WATER AND SEWER PLAN

DATE:	06/23
DESIGNED BY:	JAL
DRAWN BY:	MR
CHECKED BY:	KB



PROJECT:	2301-03
SHEET:	WS-1

NO.	DATE	BY	REVISIONS



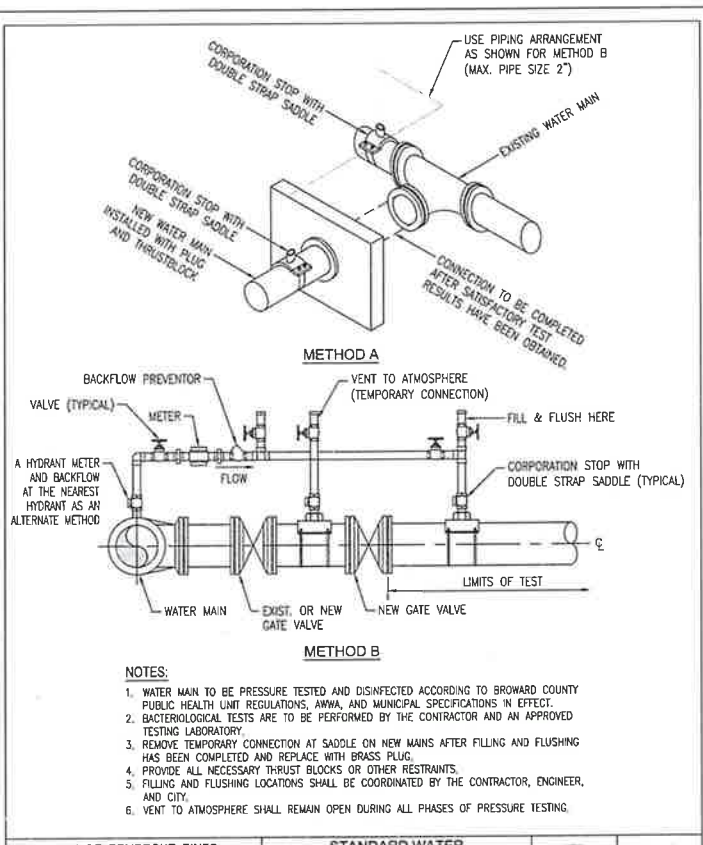
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: <u>K.M.K.</u> REVISIONS: _____	FIRE HYDRANT		
DATE: <u>04/23/19</u>			SHEET 1 OF 2

NOTES:

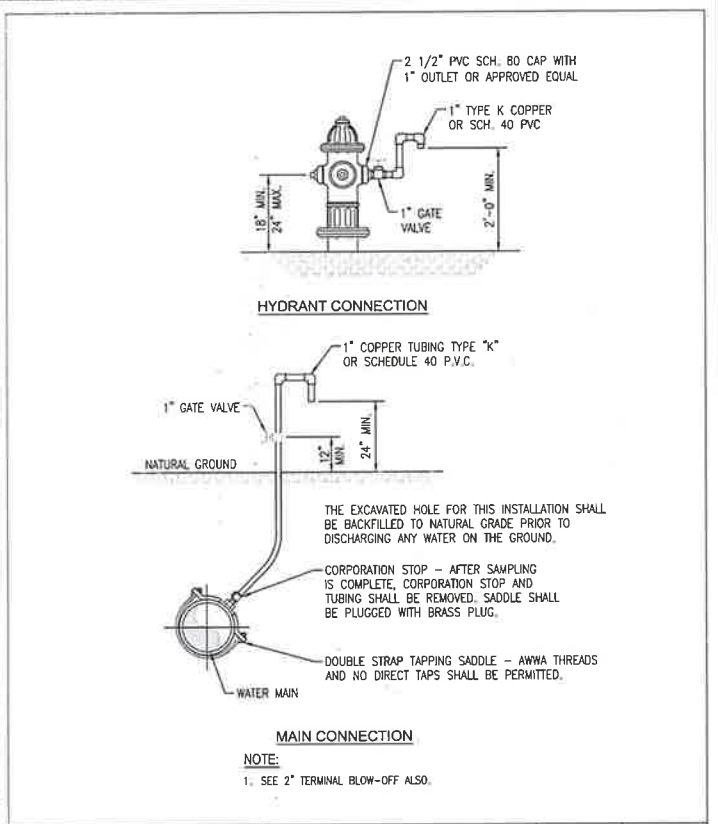
- FIRE HYDRANT SHALL BE "AMERICAN DARLING" OR "WUELLER" TYPE HAVING A MINIMUM 5/4" BOTTOM VALVE OPENING WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
- PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET/ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ASILE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET/ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ASILE.
- FIRE HYDRANT BURY LINE TO MATCH ADJACENT STREET/ROADWAY CROWN ELEVATION, AS MAY BE APPLICABLE, AND THE CLEARANCE BETWEEN THE BOTTOM OF THE BREAKAWAY FLANGE AND GRADE SHALL BE 6" MINIMUM.
- FIRE HYDRANTS SHALL BE LOCATED RELATIVE TO THE EDGE OF PAVEMENT FOR STREETS/ROADWAYS BASED UPON "LATERAL OFFSET" REQUIREMENTS PER CHAPTER 4, "ROADSIDE SAFETY", OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) "PLANS PREPARATION MANUAL", LATEST EDITION.
- FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 6' FROM THE EDGE OF THE PAVEMENT/FACE OF CURB OF AN ACCESS DRIVE OR PARKING ACCESS DRIVE/ASILE AND A MINIMUM OF 5' FROM THE FACE OF CURB OF THE SIDE OF ANY TERMINAL OR INTERIOR PARKING LANDSCAPE ISLAND.
- HYDRANT GUARDS/BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITH SIX (6) FEET OF THE EDGE OF PAVEMENT OF A PUBLIC/PRIVATE STREET/ROADWAY, ACCESS DRIVE, PARKING ACCESS DRIVE/ASILE OR "TURNING RADIUS".
- A SEVEN AND HALF (7.5) FOOT RADIUS AROUND THE FIRE HYDRANT CLEAR OF ALL IMPROVEMENTS SHALL BE MAINTAINED.
- ALL WATER MAIN PIPING FITTINGS BACK TO THE "SUPPLY MAIN" SHALL BE CLASS 52 DUCTILE IRON PIPE (D.I.P.) AND FITTINGS/SPOOL PIECES SHALL BE CLASS 350 DUCTILE IRON.
- ALL D.I.P. AND FITTINGS/SPOOL PIECES SHALL BE RESTRAINED WITH "MEGALUGS" OR CITY APPROVED EQUIV.
- FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.
- DEPTH OF COVER TO THE TOP OF THE D.I.P. WATER MAIN SHALL BE 30" MINIMUM.
- FIRE HYDRANTS SHALL HAVE THEIR TOP COLOR CODED TO INDICATE THE "FLOW CAPACITY" IN GALLONS PER MINUTE (GPM) OF FLOW, AS FOLLOWS:

FLOW	COLOR OF BONNET AND CAP
1,500 GPM OR GREATER	BLUE
1,000 GPM OR GREATER	GREEN
500 - 1,000 GPM	ORANGE
LESS THAN 500 GPM	RED

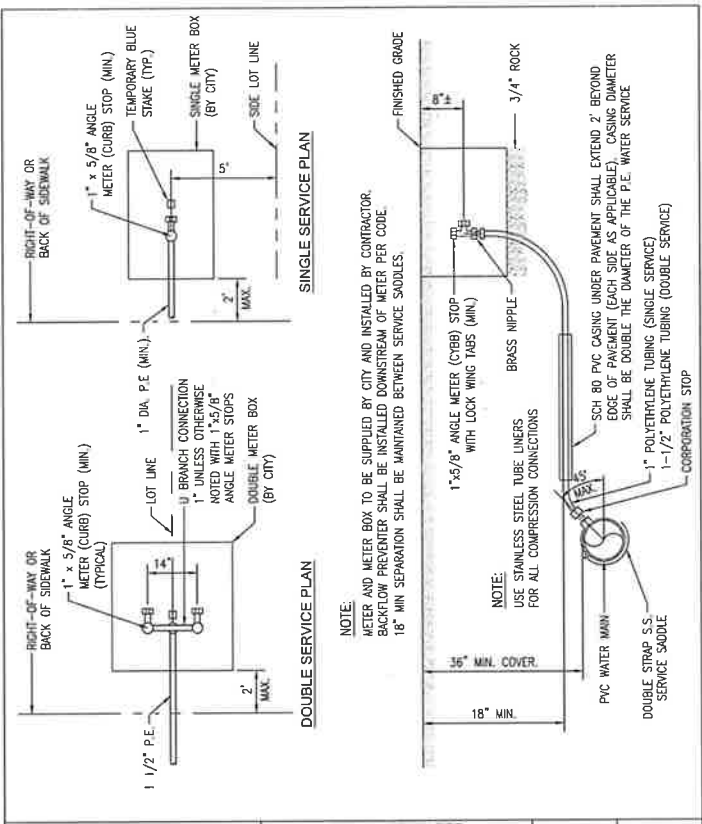
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: <u>K.M.K.</u> REVISIONS: _____	FIRE HYDRANT		
DATE: <u>04/23/19</u>			SHEET 2 OF 2



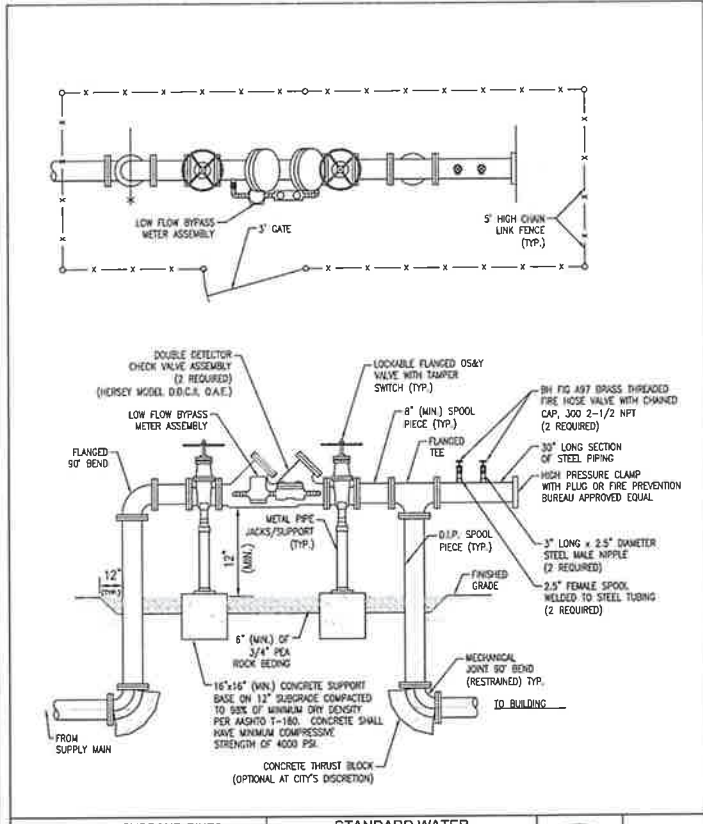
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-2
APPROVED: <u>J.M.</u> REVISIONS: _____	FILLING AND FLUSHING		
DATE: <u>11/05/99</u>			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-3
APPROVED: <u>J.M.</u> REVISIONS: _____	TYPICAL SAMPLE POINTS		
DATE: <u>11/05/99</u>			



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-4
APPROVED: <u>J.M.</u> REVISIONS: _____	TYPICAL SINGLE & DOUBLE SERVICE CONNECTION		
DATE: <u>11/05/99</u>			



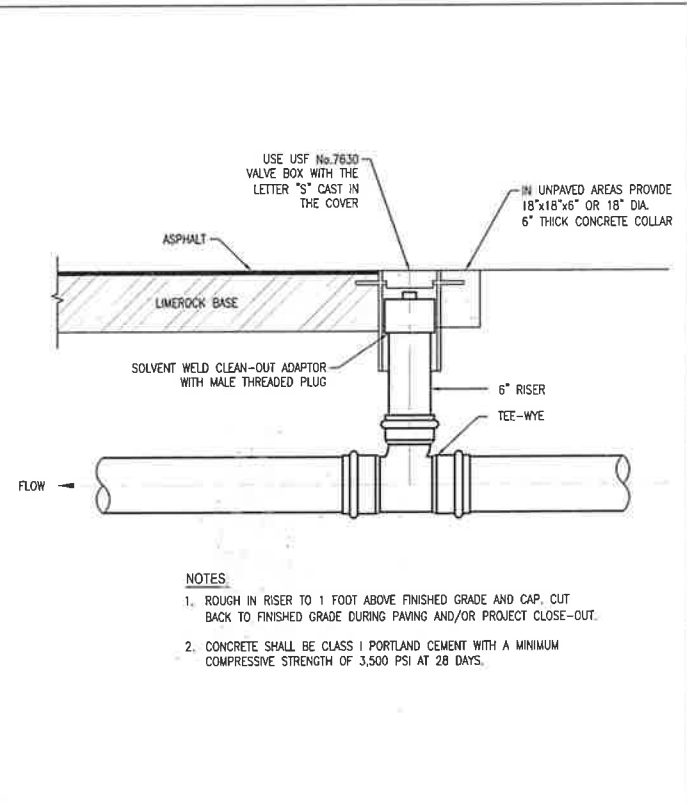
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION	STANDARD WATER DISTRIBUTION DETAIL		W-6
APPROVED: <u>K.M.K.</u> REVISIONS: _____	DOUBLE DETECTOR CHECK VALVE FOR FIRE LINE		
DATE: <u>05/13/19</u>			SHEET 1 OF 2



MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

WATER AND SEWER DETAILS

DATE:	06/23
DESIGNED BY:	JAL
DRAWN BY:	MR
CHECKED BY:	KB
DATE:	8/23/24
PROJECT:	2301-03
SHEET:	WS-3



- NOTES:**
- ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND CAP. CUT BACK TO FINISHED GRADE DURING PAVING AND/OR PROJECT CLOSE-OUT.
 - CONCRETE SHALL BE CLASS I PORTLAND CEMENT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

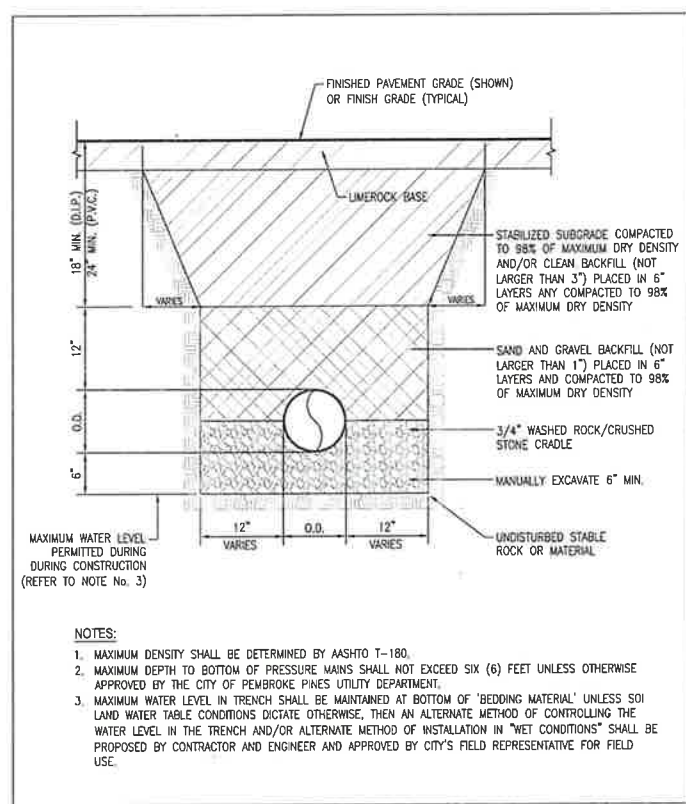
CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY
 SEWER DETAIL

APPROVED: J.M. REVISOR: _____
 DATE: 11/05/99 10/20/22

CLEAN OUT

S-10



- NOTES:**
- MAXIMUM DENSITY SHALL BE DETERMINED BY ASHTO T-180.
 - MAXIMUM DEPTH TO BOTTOM OF PRESSURE MAINS SHALL NOT EXCEED SIX (6) FEET UNLESS OTHERWISE APPROVED BY THE CITY OF PEMBROKE PINES UTILITY DEPARTMENT.
 - MAXIMUM WATER LEVEL IN TRENCH SHALL BE MAINTAINED AT BOTTOM OF 'BEDDING MATERIAL' UNLESS SOI LAND WATER TABLE CONDITIONS DICTATE OTHERWISE, THEN AN ALTERNATE METHOD OF CONTROLLING THE WATER LEVEL IN THE TRENCH AND/OR ALTERNATE METHOD OF INSTALLATION IN "WET CONDITIONS" SHALL BE PROPOSED BY CONTRACTOR AND ENGINEER AND APPROVED BY CITY'S FIELD REPRESENTATIVE FOR FIELD USE.

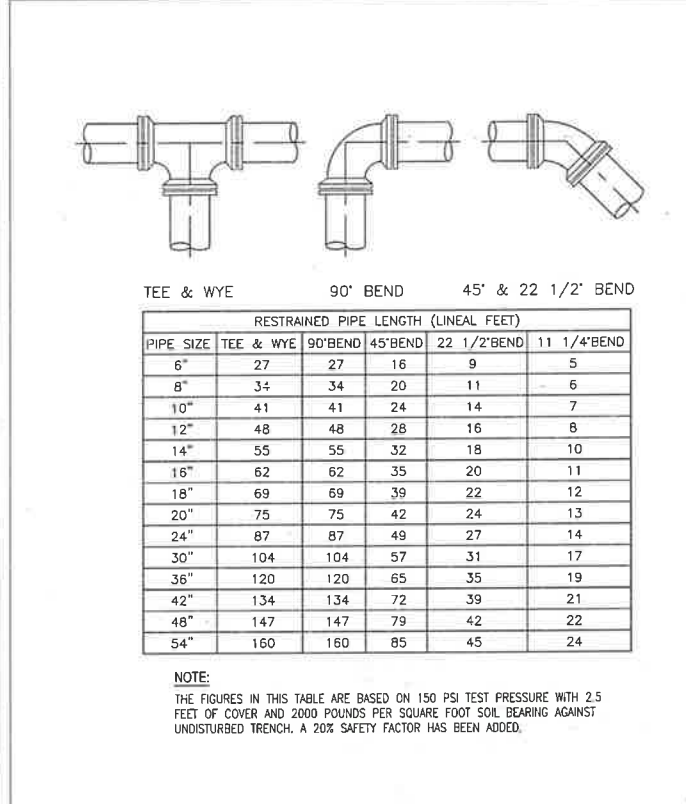
CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD GENERAL DETAIL

APPROVED: J.M. REVISOR: _____
 DATE: 11/05/99 8/15/20

WATER AND SEWER
 TRENCH BACKFILL

G-1



RESTRAINED PIPE LENGTH (LINEAL FEET)

PIPE SIZE	TEE & WYE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
6"	27	27	16	9	5
8"	34	34	20	11	6
10"	41	41	24	14	7
12"	48	48	28	16	8
14"	55	55	32	18	10
16"	62	62	35	20	11
18"	69	69	39	22	12
20"	75	75	42	24	13
24"	87	87	49	27	14
30"	104	104	57	31	17
36"	120	120	65	35	19
42"	134	134	72	39	21
48"	147	147	79	42	22
54"	160	160	85	45	24

NOTE:
 THE FIGURES IN THIS TABLE ARE BASED ON 150 PSI TEST PRESSURE WITH 2.5 FEET OF COVER AND 2000 POUNDS PER SQUARE FOOT SOIL BEARING AGAINST UNDISTURBED TRENCH. A 20% SAFETY FACTOR HAS BEEN ADDED.

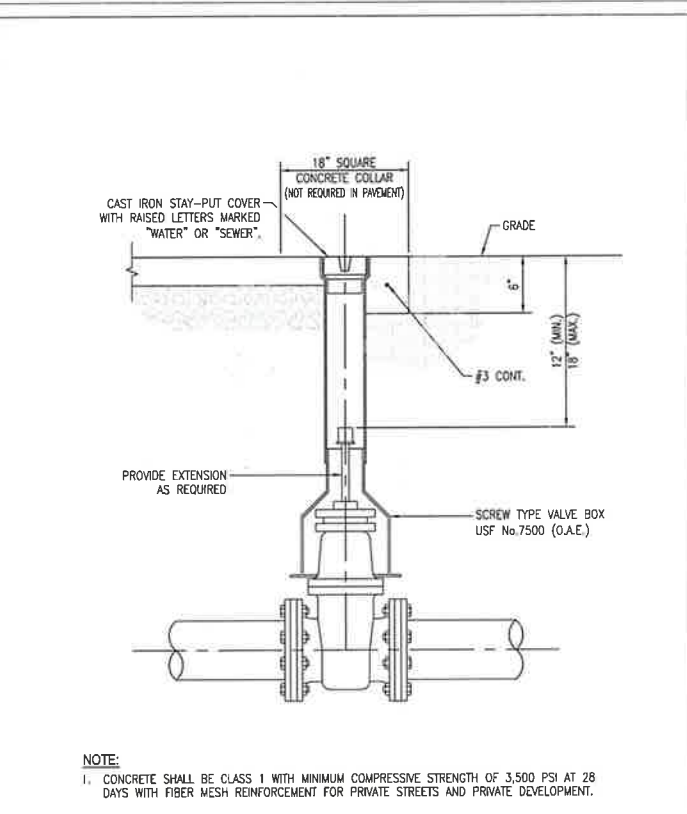
CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD GENERAL DETAIL

APPROVED: J.M. REVISOR: _____
 DATE: 11/05/99

RESTRAINED JOINTS

G-2



NOTE:
 1. CONCRETE SHALL BE CLASS I WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS WITH FIBER MESH REINFORCEMENT FOR PRIVATE STREETS AND PRIVATE DEVELOPMENT.

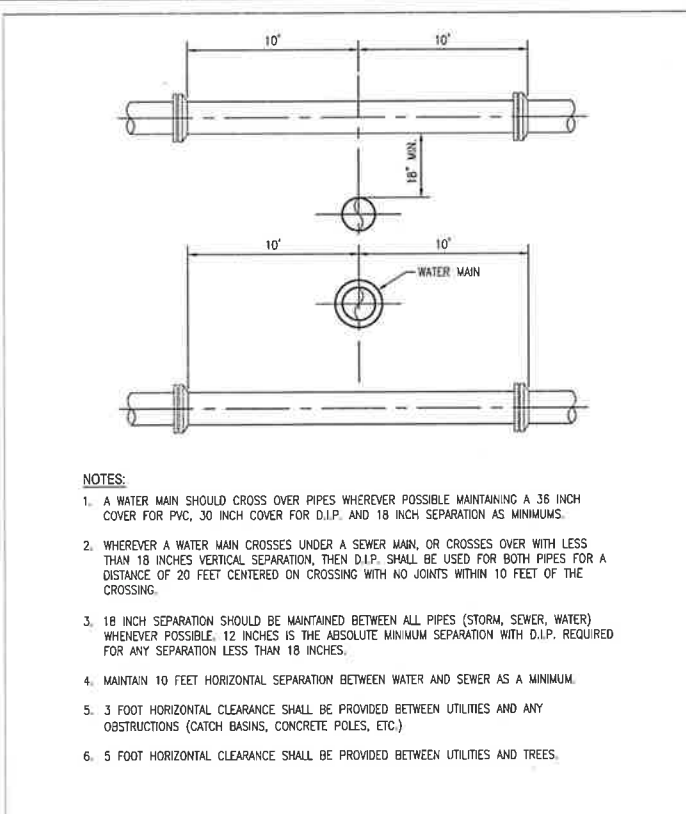
CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD GENERAL DETAIL

APPROVED: J.M. REVISOR: 1/23/23
 DATE: 11/05/99

VALVE AND BOX

G-3



- NOTES:**
- A WATER MAIN SHOULD CROSS OVER PIPES WHEREVER POSSIBLE MAINTAINING A 36 INCH COVER FOR PVC, 30 INCH COVER FOR D.I.P. AND 18 INCH SEPARATION AS MINIMUM.
 - WHEREVER A WATER MAIN CROSSES UNDER A SEWER MAIN, OR CROSSES OVER WITH LESS THAN 18 INCHES VERTICAL SEPARATION, THEN D.I.P. SHALL BE USED FOR BOTH PIPES FOR A DISTANCE OF 20 FEET CENTERED ON CROSSING WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING.
 - 18 INCH SEPARATION SHOULD BE MAINTAINED BETWEEN ALL PIPES (STORM, SEWER, WATER) WHENEVER POSSIBLE. 12 INCHES IS THE ABSOLUTE MINIMUM SEPARATION WITH D.I.P. REQUIRED FOR ANY SEPARATION LESS THAN 18 INCHES.
 - MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN WATER AND SEWER AS A MINIMUM.
 - 3 FOOT HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN UTILITIES AND ANY OBSTRUCTIONS (CATCH BASINS, CONCRETE POLES, ETC.)
 - 5 FOOT HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN UTILITIES AND TREES.

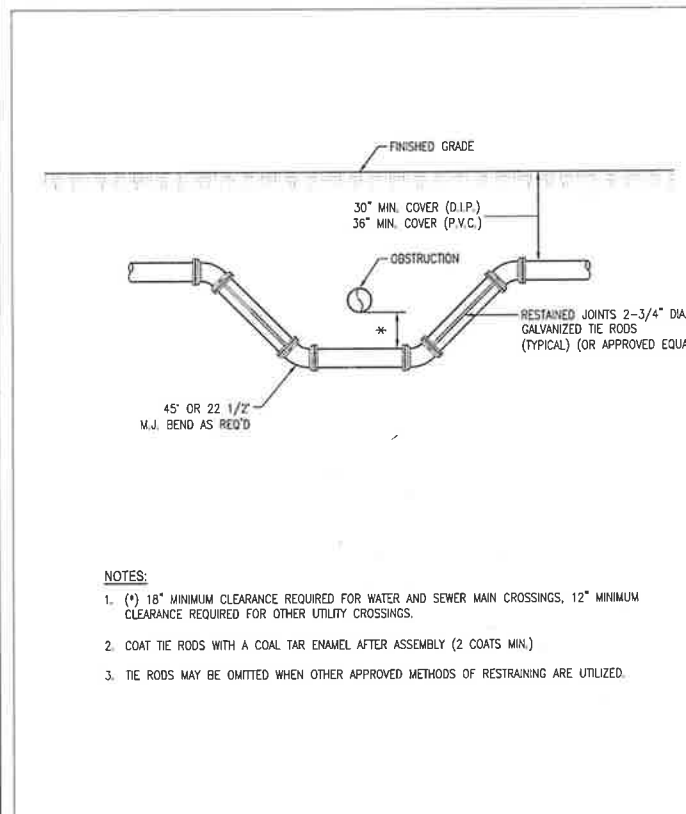
CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD GENERAL DETAIL

APPROVED: J.M. REVISOR: _____
 DATE: 11/05/99

UTILITY CROSSING
 GENERAL REQUIREMENTS

G-4



- NOTES:**
- (*) 18" MINIMUM CLEARANCE REQUIRED FOR WATER AND SEWER MAIN CROSSINGS, 12" MINIMUM CLEARANCE REQUIRED FOR OTHER UTILITY CROSSINGS.
 - COAT TIE RODS WITH A COAL TAR ENAMEL AFTER ASSEMBLY (2 COATS MIN.)
 - TIE RODS MAY BE OMITTED WHEN OTHER APPROVED METHODS OF RESTRAINING ARE UTILIZED.

CITY OF PEMBROKE PINES
 ENGINEERING/UTILITIES DIVISION

STANDARD GENERAL DETAIL

APPROVED: J.M. REVISOR: _____
 DATE: 11/05/99

UTILITY CROSSING
 FITTING TYPE

G-6



MESQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

WATER AND SEWER DETAILS

DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB

STATE OF FLORIDA
 PROFESSIONAL ENGINEERS
 KEVIN A. BETANCOURT P.E.
 FLORIDA REGISTRATION NO. - 83351

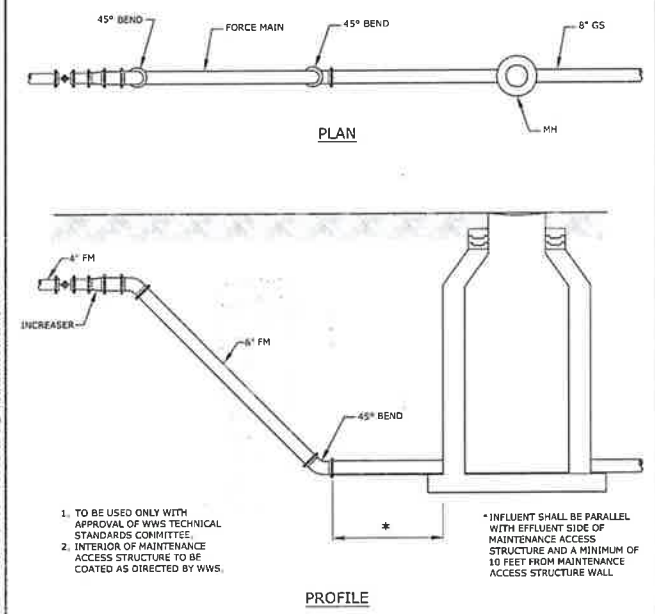
PROJECT: 2301-03
 SHEET: WS-4

DATE: Feb. 23, 2024 - 3:33pm W:\V\65 Bruesel\City Projects\2023\2301-03 MesSquare Pembroke Pines\Drawings\Construction Plans\230103-05 Notes.dwg

BROWARD COUNTY
PUBLIC WORKS DEPARTMENT

WATER & WASTEWATER SERVICES
ENGINEERING DIVISION
2515 WOOD COVING ROAD
POMPANNO BEACH, FL 33069
PHONE NO. 954-831-0716
FAX NO. 954-831-0923

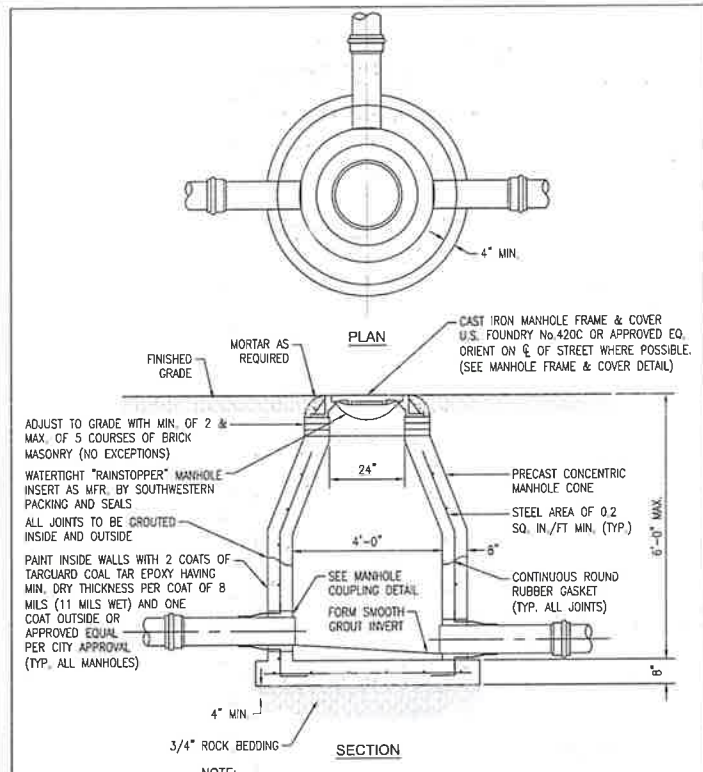
STANDARD DETAIL



REPLACES FORMER DWG NO. 22
REVISED 3/9/2012

FORCE MAIN CONNECTION TO GRAVITY SEWER

FIGURE 411



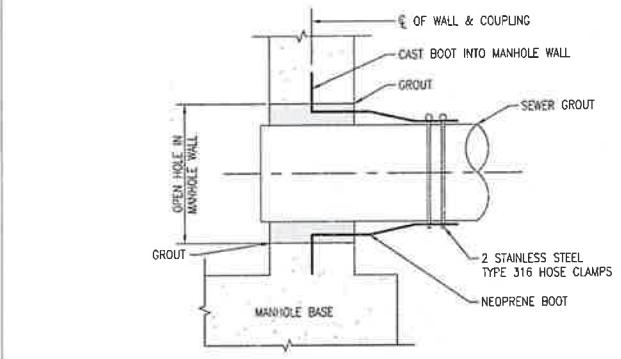
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY SEWER DETAIL

APPROVED: J.M. REVISOR: DATE: 11/05/99 02/08/23

CONCENTRIC PRECAST MANHOLE - 6 FEET AND UNDER

S-1



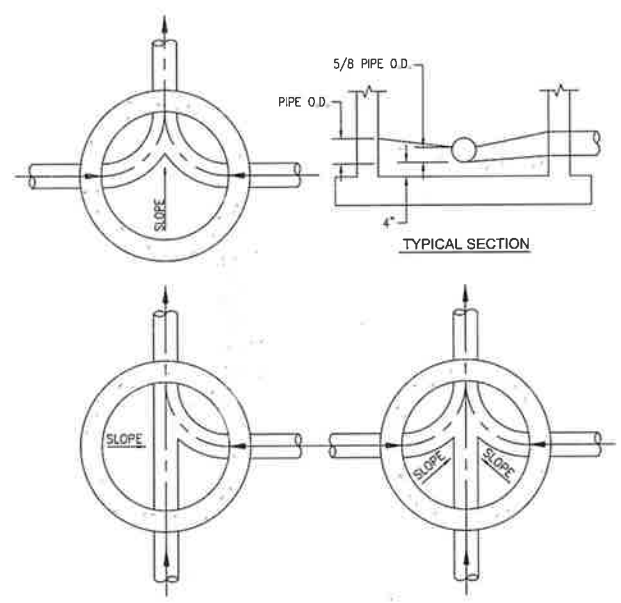
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY SEWER DETAIL

APPROVED: J.M. REVISOR: DATE: 11/05/99

MANHOLE COUPLING

S-5



NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
3. CHANNELS TO BE FORMED IN ALL MANHOLES TO ACCEPT T.V. CAMERA.
4. WHEN DIRECTIONAL CHANNELS EXCEEDING 45° OCCUR, AN EXTRA FLOW LINE ELEVATION DROP OF 0.05' ACROSS MANHOLE SHALL BE PROVIDED.

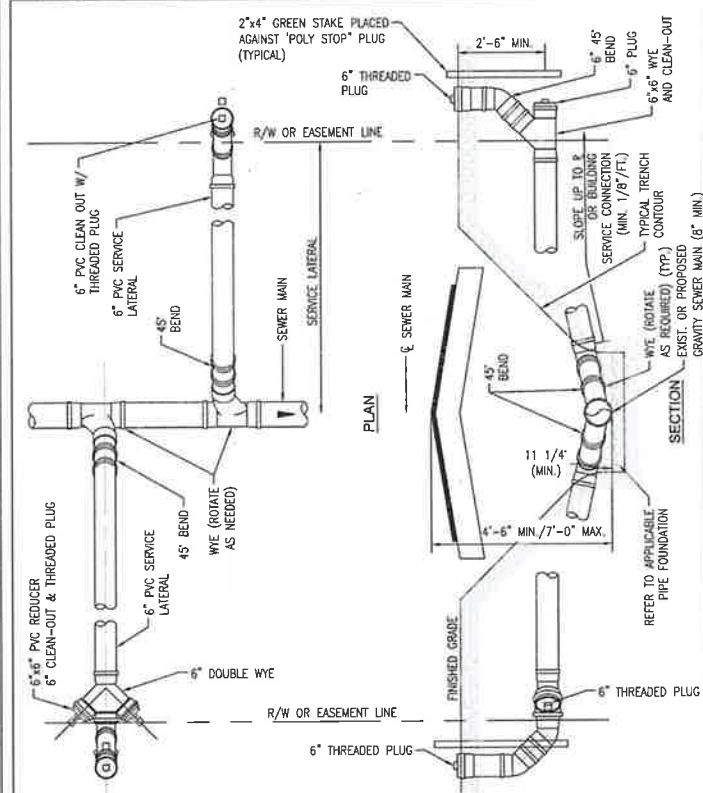
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY SEWER DETAIL

APPROVED: J.M. REVISOR: DATE: 11/05/99

MANHOLE FLOW CHANNELS

S-6



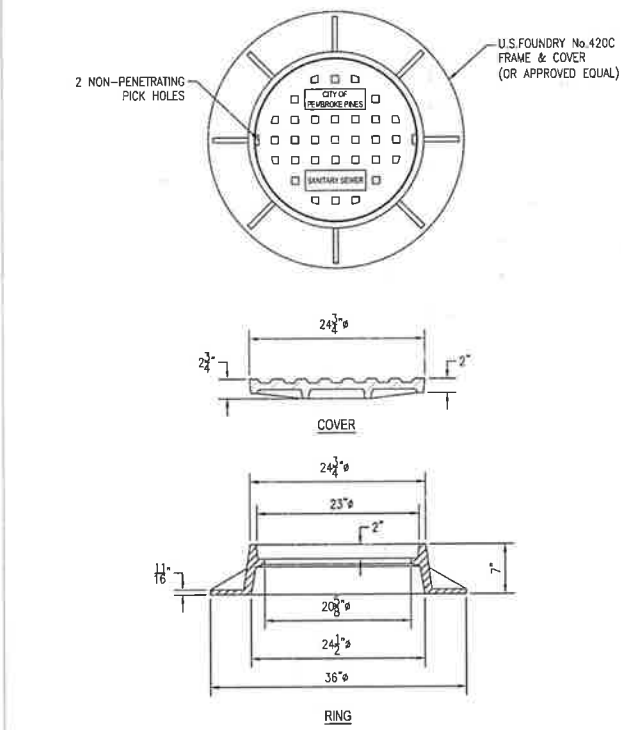
CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY SEWER DETAIL

APPROVED: J.M. REVISOR: DATE: 11/05/99 04/20/23

SHALLOW SERVICE LATERAL

S-7



CITY OF PEMBROKE PINES ENGINEERING/UTILITIES DIVISION

STANDARD SANITARY SEWER DETAIL

APPROVED: J.M. REVISOR: DATE: 11/05/99

MANHOLE FRAME AND COVER

S-9



MEDSQUARE PEMBROKE PINES
SEC OF JOHNSON ST & NW 101ST AVE
PEMBROKE PINES, FL

WATER AND SEWER DETAILS

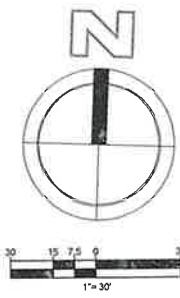
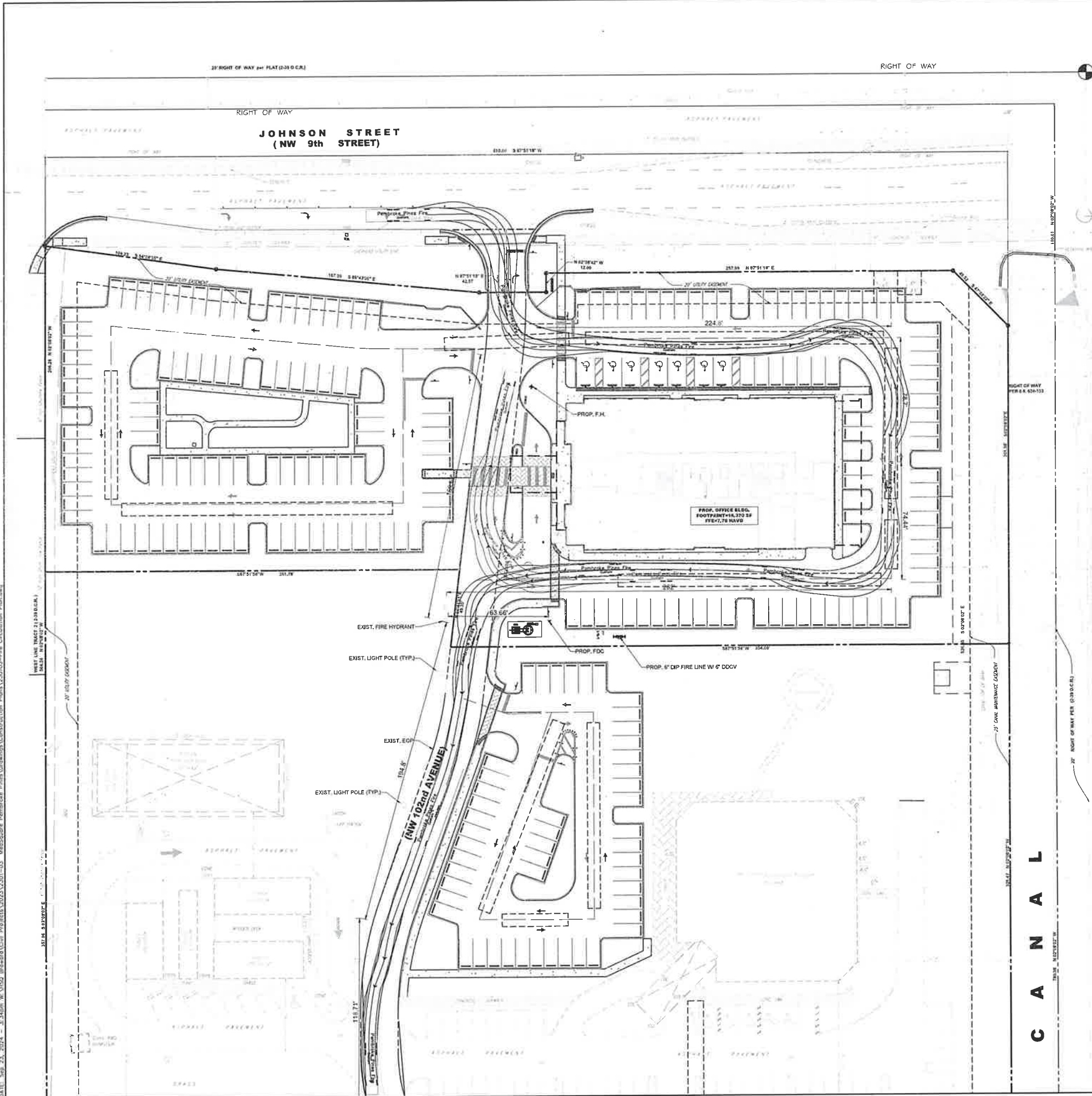
DATE: 06/23
DESIGNED BY: JAL
DRAWN BY: MR
CHECKED BY: KB



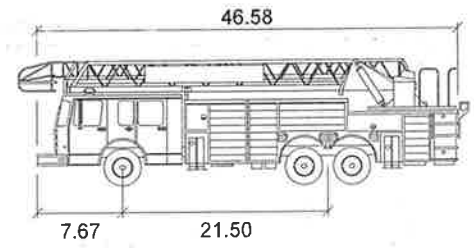
PROJECT: 2301-03
SHEET: WS-5

NO	DATE	BY	REVISIONS

DATE: Sep 23, 2024 - 3:43pm W:\1659_Brains\CL\Projects\32023\3201-03_Medsquare Pembroke Pines\Drawings\Construction_Plan\320103-Fire_Circulation_Plan.dwg



Sunshine
 Call 800 or visit sunshine.com for full
 business days before stepping to Park
 Sun of Florida is a business and pleasure
 Over your fire insurance costs before you die!



Pembroke Pines Fire

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 41.7

**PALM AVENUE
 (NW 101st AVENUE)**

C A N A L



**MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL**

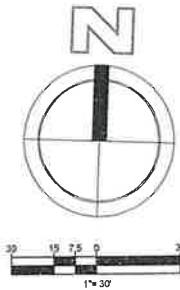
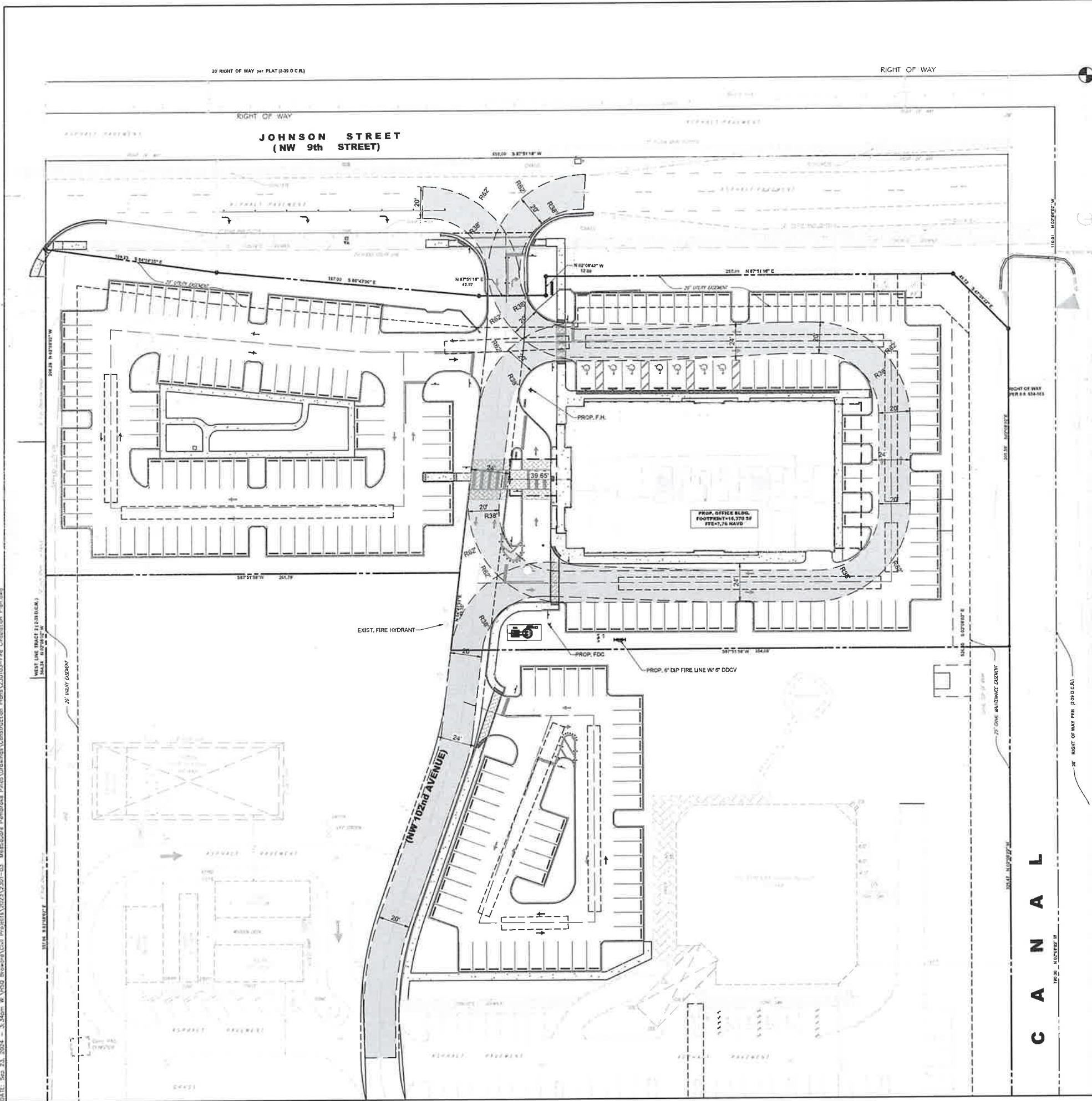
FIRE CIRCULATION PLAN

DATE:	06/23
DESIGNED BY:	JAL
DRAWN BY:	MR
CHECKED BY:	KB

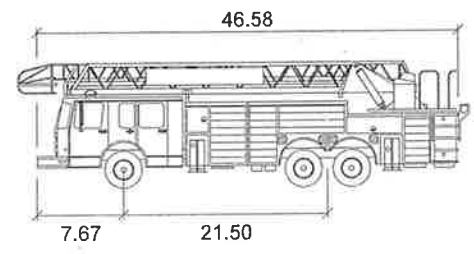


DATE:	9/23/24
DESIGNED BY:	KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO.:	83361
PROJECT:	2301-03
SHEET:	FT-1

DATE: Sep 23, 2024 - 3:46pm W:\VSD_Review\Civil Projects\2301-03_MedSquare_Pembroke_Pines\Drawings\Construction Plans\230103-Fire_Circulation_1.pia.dwg



Sunshine
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check your response codes before you dig!



Pembroke Pines Fire

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 41.7

**PALM AVENUE
(NW 101st AVENUE)**

C A N A L



**MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL**

FIRE PATH PLAN

DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB



PROJECT: 2301-03
 SHEET: FT-2

NO.	DATE	BY	REVISIONS

PEMBROKE PINES FIRE NOTES:

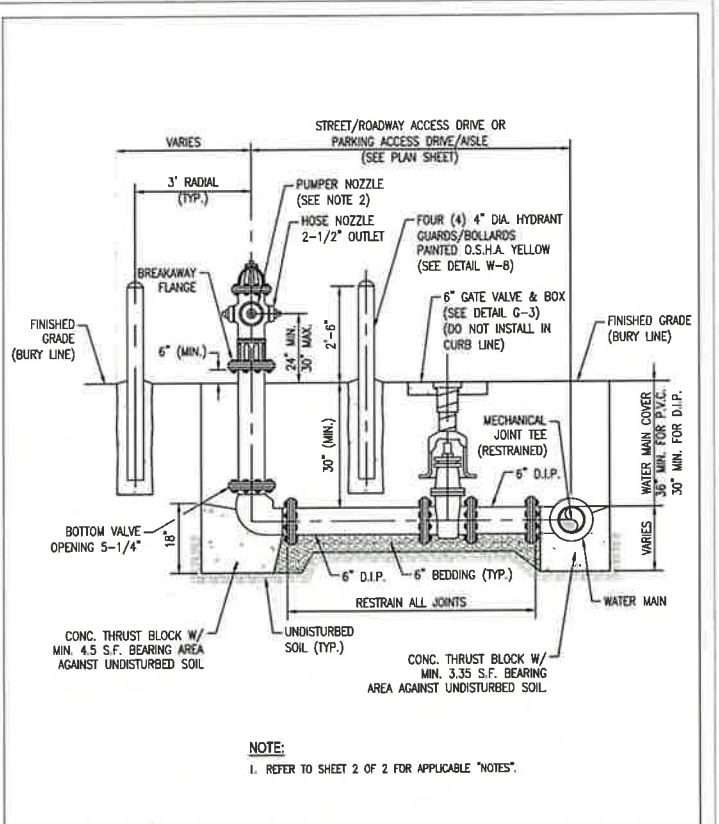
- REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1:1.14.4
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 6TH EDITION, EFFECTIVE DECEMBER 31, 2021 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2021 EDITION, NFPA 1, 2021 EDITION, & STATE STATUTES, 2019 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
- THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE AN ACCESS BOX(ES) TO BE INSTALLED IN AN ACCESSIBLE LOCATION WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS DIFFICULT BECAUSE OF SECURITY. THE ACCESS BOX(ES) SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037. A KNOX BOX SHALL BE PROVIDED ON ALL BUILDINGS THAT HAVE REQUIRED SPRINKLER SYSTEMS, STANDPIPE SYSTEMS OR FIRE ALARM SYSTEMS. PLEASE ORDER ON-LINE AT WWW.KNOXBOX.COM
- APPROVED FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTION OR RELOCATED, NFPA-1:18.2.3.1.1
 - A FIRE DEPARTMENT ACCESS ROAD SHALL CONSIST OF ROADWAY, FIRE LANES, PARKING LOT LANES, OR A COMBINATION THEREOF, NFPA-1:18.2.3.1.2
 - FIRE LANES SHALL BE PROVIDED FOR ALL BUILDINGS WHICH ARE A SETBACK OF MORE THAN 150' FROM A PUBLIC ROADWAY, OR WHICH EXCEED 30' IN HEIGHT AND ARE SETBACK OVER 50' FROM A PUBLIC ROAD. FIRE LANES SHALL BE AT LEAST 20 FEET IN WIDTH WITH ROAD EDGE CLOSEST TO THE BUILDING AT LEAST TEN FEET FROM THE BUILDING. COPP CO 93.11 (B)
 - A FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT. OF A SINGLE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING. NFPA-1:18.2.3.2.1
 - WHEN REQUIRED BY THE AHJ, ROADS(S) OR PARKING LOTS PROVIDING ACCESS TO MAIN ENTRANCE DOOR(S) SHALL BE CONSIDERED ACCESS ROADS AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 1-18.2.3.4.1.1 AND NFPA 1-18.2.3.4.1.2. NFPA-1:18.2.3.2.1.2
 - FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT. (450 FT. FOR SPRINKLERED BUILDINGS) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OR THE BUILDING OR FACILITY. NFPA-1:18.2.3.2.2 AND NFPA-1:18.2.3.2.2.1
 - MORE THAN ONE FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS. NFPA-1:18.2.3.3
 - FIRE DEPARTMENT ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT. NFPA-1:18.2.3.4.1.1
 - DRIVING LANES SHALL HAVE A MINIMUM CLEAR WIDTH OF 24 FEET FOR TWO-WAY TRAFFIC, 15 FEET FOR ONE-WAY TRAFFIC, COPP CO 154.35 (5)
 - FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH ON NOT LESS THAN 20FT. NFPA-1:18.2.3.4.1.1
 - FIRE ACCESS ROADS SHALL BE A MINIMUM CENTERLINE TURNING RADIUS OF 50'. SHOW MIN. 38' INSIDE RADIUS AND MIN 62' OUTSIDE RADIUS THROUGHOUT AREA. SHOW A SHADED TRUCK ROUTE INCLUDING ENTERING AND LEAVING THE SITE WITH THE ABOVE TURNING RADIUS NUMERALS ON PLANS SHOWN THROUGHOUT.
 - THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
 - FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13FT. 6IN. NFPA-1:18.2.3.4.1.2
 - THERE SHALL BE A 14" MINIMUM WIDTH AT LEVEL 6" TO 8" FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE.
 - MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.4 SHALL BE MAINTAINED AT ALL TIMES. NFPA 1-18.2.4.1.2
 - FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (WEIGHTING A MINIMUM OF 32 TONS) AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. NFPA-1:18.2.3.4.2
 - FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13FT. 6IN. NFPA-1:18.2.3.4.1.2
 - THERE SHALL BE A 14" MINIMUM WIDTH AT LEVEL 6" TO 8" FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE.
 - MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.4 SHALL BE MAINTAINED AT ALL TIMES. NFPA 1-18.2.4.1.2
 - THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT, AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ. NFPA-1:18.2.3.4.6.2
 - FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT BEYOND EACH OF THE FIRE LANE. NFPA-1:18.2.3.4.6.3
 - THE DESIGN AND USE OF TRAFFIC CALMING DEVICES SHALL REQUIRE APPROVAL BY THE AHJ AND COPP ENGINEERING DEPARTMENT, NFPA-1:18.2.3.4.7
 - WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND PROHIBIT THE OBSTRUCTION THEREOF OR BOTH. NFPA-1:18.2.3.5.1
 - THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED BY HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES. COPP CO 93.12
 - FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING, OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE; SIGN(S) SHALL BE PROVIDED.
 - FIRE LANE SIGN(S) SHALL BE 18" BY 24", SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" OR SIMILAR WORDING. SUCH SIGNS SHALL BE 12 IN BY 18 IN WITH WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF SEVEN FEET IN HEIGHT FROM THE ROADWAY TO BE THE BOTTOM PART OF THE SIGN. THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FEET APART. NFPA-1:18.2.3.5.3
 - A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLES MATERIAL ACCUMULATES. NFPA-1:16.4.3.1.1
 - WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. NFPA-1:16.4.3.1.3
 - AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION. THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 18.4 FIRE FLOW REQUIREMENTS FOR BUILDINGS. NFPA-1:18.3.1 FIRE FLOW CALCULATIONS FOR MANUAL FIRE SUPPRESSION PURPOSES ARE REQUIRED TO BE PROVIDED IN ACCORDANCE WITH NFPA-1:18.4.
 - THE NUMBER AND TYPE OF FIRE HYDRANT AND CONNECTIONS TO OTHER APPROVED WATER SUPPLIES SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW AND SHALL BE PROVIDED AT APPROVED LOCATIONS. NFPA-1:18.5.1
 - FIRE HYDRANTS AND CONNECTION TO APPROVED WATER SUPPLIES MUST BE INSTALLED AND MAINTAINED IN A MANNER THAT ALLOWS THE FIRE DEPARTMENT TO ACCESS THE WATER SUPPLY POINT WITHOUT BEING DELAYED BY FENCES, SIGNS, AND OTHER OBSTRUCTIONS. NFPA-1:18.5.2
 - FIRE HYDRANTS SHALL BE LOCATED NOT MORE THAN 12 FT. FROM THE FIRE DEPARTMENT ACCESS ROAD. NFPA-1:18.5.1.6
 - WHERE REQUIRED BY THE AHJ, FIRE HYDRANTS SUBJECT TO VEHICULAR DAMAGE SHALL BE PROTECTED UNLESS LOCATED WITHIN A PUBLIC RIGHT OF WAY. NFPA-1:18.5.1.8
 - FIRE HYDRANTS SHALL BE MARKED WITH AN APPROVED REFLECTOR AFFIXED TO OR PROXIMATE TO THE FIRE HYDRANT WHERE REQUIRED BY THE AHJ. NFPA-1:18.5.1.10.1
 - FIRE HYDRANTS IN ZONING CLASSIFICATIONS WITH LOWER RESIDENTIAL ZONING THAN R-3 SHALL BE INSTALLED ON A MINIMUM OF A SIX-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING AS MEASURED ALONG STREETS OR ALLEYS. COPP CO 93.25 (A)
 - FIRE HYDRANTS IN ZONING CLASSIFICATIONS R-3 AND ALL RESIDENTIAL CLASSIFICATIONS WITH GREATER DENSITY THAN R-3 SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS AND WITHIN 300 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING AS MEASURED ALONG STREETS OR ALLEYS. COPP CO 93.25 (B)
 - FIRE HYDRANTS IN ALL COMMERCIAL AND BUSINESS ZONED AREAS SHALL BE INSTALLED ON A MINIMUM OF AN EIGHT-INCH LOOPED WATER LINE IN CITY RIGHTS-OF-WAY OR EASEMENTS AND SHALL NOT BE SPACED NOT FURTHER THAN 500 FEET APART AS MEASURED ALONG STREET OR ALLEYS. COPP CO 93.25 (C)
 - H.NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND LOCATED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. COPP CO 93.25 (F)
 - I.NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND LOCATED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. COPP CO 93.25 (F)
 - J. IN EVERY CASE, AT LEAST TWO FIRE HYDRANTS SHALL BE WITHIN 400 FEET OF THE ENTRANCE OF ANY FUTURE BUILDING, AND BE SPACED 500 FEET APART THROUGHOUT.
 - K. BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITHIN 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION. COPP CO 93.25 (D) AND NFPA-14.6.4.5.4 (2019 ED.)
 - FIRE DEPARTMENT CONNECTIONS SHOULD BE LOCATED AND ARRANGED SO THAT HOSE LINES CAN BE READILY AND CONVENIENTLY ATTACH WITHOUT INTERFERENCE FROM NEARBY OBJECTS, INCLUDING BUILDINGS, FENCES POSTS, OR OTHER DEPARTMENT CONNECTIONS. NFPA-14.6.4.5.1.1 (2019 ED.)
 - FIRE DEPARTMENT CONNECTIONS SHALL BE VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY OR ON THE STREET SIDE OF BUILDING. NFPA-14.6.4.5.1 (2019 ED.)
 - EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNED BY A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL OR RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS, HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1 IN. IN HEIGHT ON PLATE OF FITTED READING SERVICE SIGN THAT SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS- FOR EXAMPLE, AUTOSPKR, OPEN SPRINKLER, AND STANDPIPE AS APPLICABLE. NFPA-14.6.4.5.2.1 (2019 ED.)
 - THE FIRE DEPARTMENT CONNECTION SHOULD BE LOCATED NOT LESS THAN 18 IN. NOR MORE THAN 48 IN. ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE. NFPA-14.6.4.5.2 (2019 ED.)
 - THE POINT OF SERVICE FOR THE FIRE LINE MUST BE SHOWN AND LABELED ON THE WATER CIVIL SHEETS (THIS IS THE TIE IN WHERE THE WATER IS BEING USED EXCLUSIVELY FOR THE SPRINKLER/STANDPIPE SYSTEM).
 - ANY UNDERGROUND WORK COMMENCING AT THE POINT OF SERVICE SHALL BE PERFORMED BY A LICENSED CONTRACTOR AS SPECIFIED IN FSS 933.102.
 - BACKFLOW PREVENTION VALVES, MEANS SHALL BE PROVIDED DOWNSTREAM OF ALL BACKFLOW PREVENTION VALVES FOR FLOW TESTS AT SYSTEM DEMAND. NFPA-13.8.17.4.6.1
 - THE FULL FLOW TEST OF THE BACKFLOW PREVENTION VALVE CAN BE PERFORMED WITH A TEST HEADER OR OTHER CONNECTION DOWNSTREAM OF THE VALVE. A BYPASS AROUND THE CHECK VALVE IN THE FIRE DEPARTMENT CONNECTOR LINE WITH A CONTROL VALVE IN THE NORMALLY CLOSED POSITION CAN BE AN ACCEPTABLE ARRANGEMENT. WHEN FLOW TO A VISIBLE DRAIN CANNOT NOT BE ACCOMPLISHED, CLOSED LOOP FLOW CAN BE ACCEPTABLE IF A FLOWMETER OR SITE GLASS IS INCORPORATED INTO THE SYSTEM TO ENSURE FLOW. NFPA-13.8.17.4.6.1
 - ALL SUPPORT/SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED "GROUND SIGN ASSEMBLY DETAILS".
 - IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ. NFPA-1:11.10.1

THE OWNER'S REP OR GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS.

PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITIONS, WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRASTRUCTURE TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED.

AN ASSESSMENT WILL BE CONDUCTED BY THE OWNER'S REP OR GC TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH NFPA-1:11.10.1 AND NFPA-72:24.5.2.2.1 THROUGH NFPA-72:24.5.2.2.3.

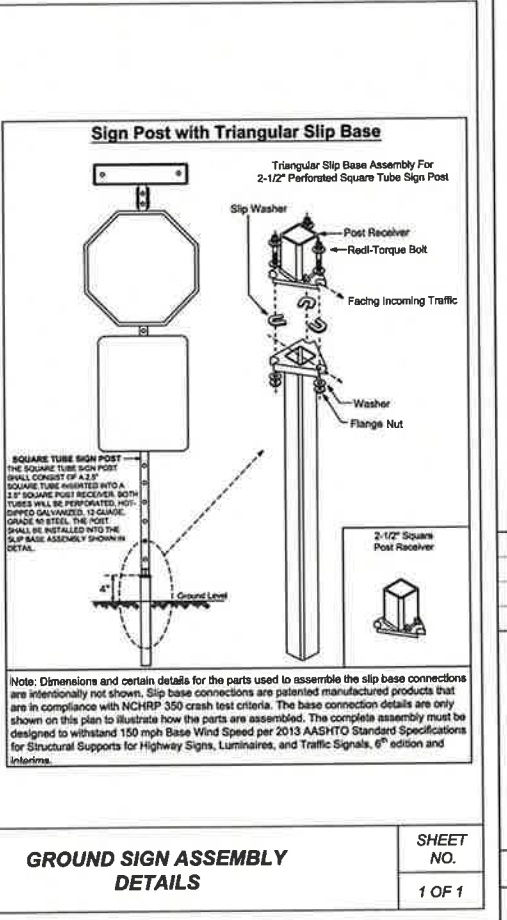
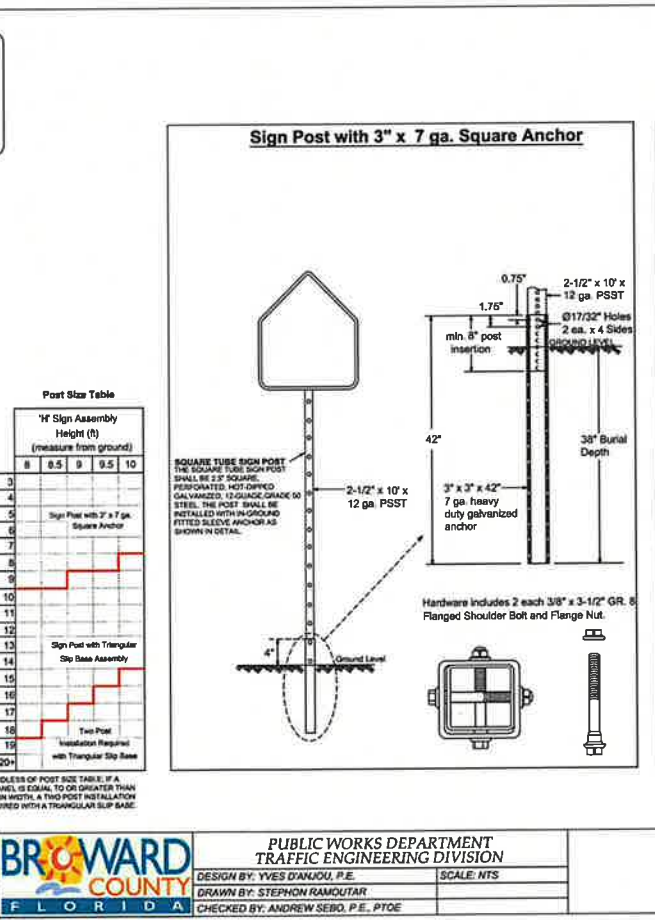
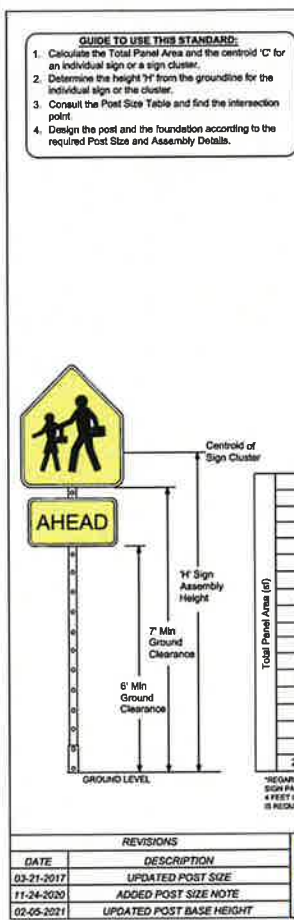
RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72:14.4.12.1.2 THROUGH NFPA-72:14.4.12.1.4 AND NFPA-24.5.2.3.



CITY OF PEMBROKE PINES ENGINEERING DEPARTMENT	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: <u>K.M.K.</u>	REVISOR:	FIRE HYDRANT	
DATE: <u>04/23/19</u>			SHEET 1 OF 2

- NOTES:**
- FIRE HYDRANT SHALL BE 'AMERICAN DARLING' OR 'MUELLER' TYPE HAVING A MINIMUM 5/4" BOTTOM VALVE OPENING WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
 - PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET/ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ASLE AND A BLUE REFLECTIVE PAINTED MARKER (RFM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET/ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE/ASLE.
 - FIRE HYDRANT BURY LINE TO MATCH ADJACENT STREET/ROADWAY CROWN ELEVATION, AS MAY BE APPLICABLE, AND THE CLEARANCE BETWEEN THE BOTTOM OF THE BREAKAWAY FLANGE AND GRADE SHALL BE 6" MINIMUM.
 - FIRE HYDRANTS SHALL BE LOCATED RELATIVE TO THE EDGE OF PAVEMENT FOR STREETS/ROADWAYS BASED UPON "LATERAL OFFSET" REQUIREMENTS PER CHAPTER 4, "ROADSIDE SAFETY", OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), "PLANS PREPARATION MANUAL", LATEST EDITION.
 - FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 6' FROM THE EDGE OF THE PAVEMENT/FACE OF CURB OF AN ACCESS DRIVE OR PARKING ACCESS DRIVE/ASLE AND A MINIMUM OF 5' FROM THE FACE OF CURB OF THE SIDE OF ANY TERMINAL OR INTERIOR PARKING LANDSCAPE ISLAND.
 - HYDRANT GUARDS/BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITH SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC/PRIVATE STREET/ROADWAY, ACCESS DRIVE, PARKING ACCESS DRIVE/ASLE OR TURNING RADIUS.
 - A SEVEN AND HALF (7.5') FOOT RADIUS AROUND THE FIRE HYDRANT CLEAR OF ALL IMPROVEMENTS SHALL BE MAINTAINED.
 - ALL WATER MAIN PIPING FITTINGS BACK TO THE 'SUPPLY MAIN' SHALL BE CLASS 52 DUCTILE IRON PIPE (D.I.P.) AND FITTINGS/SPOOL PIECES SHALL BE CLASS 350 DUCTILE IRON.
 - ALL D.I.P. AND FITTINGS/SPOOL PIECES SHALL BE RESTRAINED WITH 'MEGALUGS' OR CITY APPROVED EQUAL.
 - FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE 'SUPPLY MAIN'. SHOULD THE DISTANCE FROM THE 'SUPPLY MAIN' TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20') FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.
 - DEPTH OF COVER TO THE TOP OF THE D.I.P. WATER MAIN SHALL BE 30" MINIMUM.
 - FIRE HYDRANTS SHALL HAVE THEIR TOP COLOR CODED TO INDICATE THE 'FLOW CAPACITY' IN GALLONS PER MINUTE (GPM) OF FLOW, AS FOLLOWS:
- | FLOW | COLOR OF BONNET AND CAP |
|----------------------|-------------------------|
| 1,500 GPM OR GREATER | BLUE |
| 1,000 GPM OR GREATER | GREEN |
| 500 - 1,000 GPM | ORANGE |
| LESS THAN 500 GPM | RED |

CITY OF PEMBROKE PINES ENGINEERING DEPARTMENT	STANDARD WATER DISTRIBUTION DETAIL		W-1
APPROVED: <u>K.M.K.</u>	REVISOR:	FIRE HYDRANT	
DATE: <u>04/23/19</u>			SHEET 2 OF 2



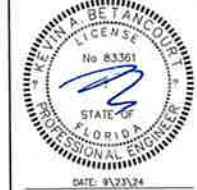
		PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION DESIGN BY: <u>YVES DIANOU, P.E.</u> DRAWN BY: <u>STEPHEN RAMOUTAR</u> CHECKED BY: <u>ANDREW SEBO, P.E., PTOE</u>	SCALE: NTS SHEET NO. 1 OF 1
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MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL

FIRE ACCESS NOTES AND DETAILS

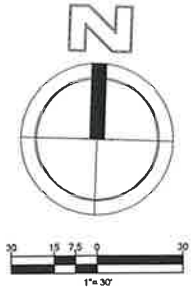
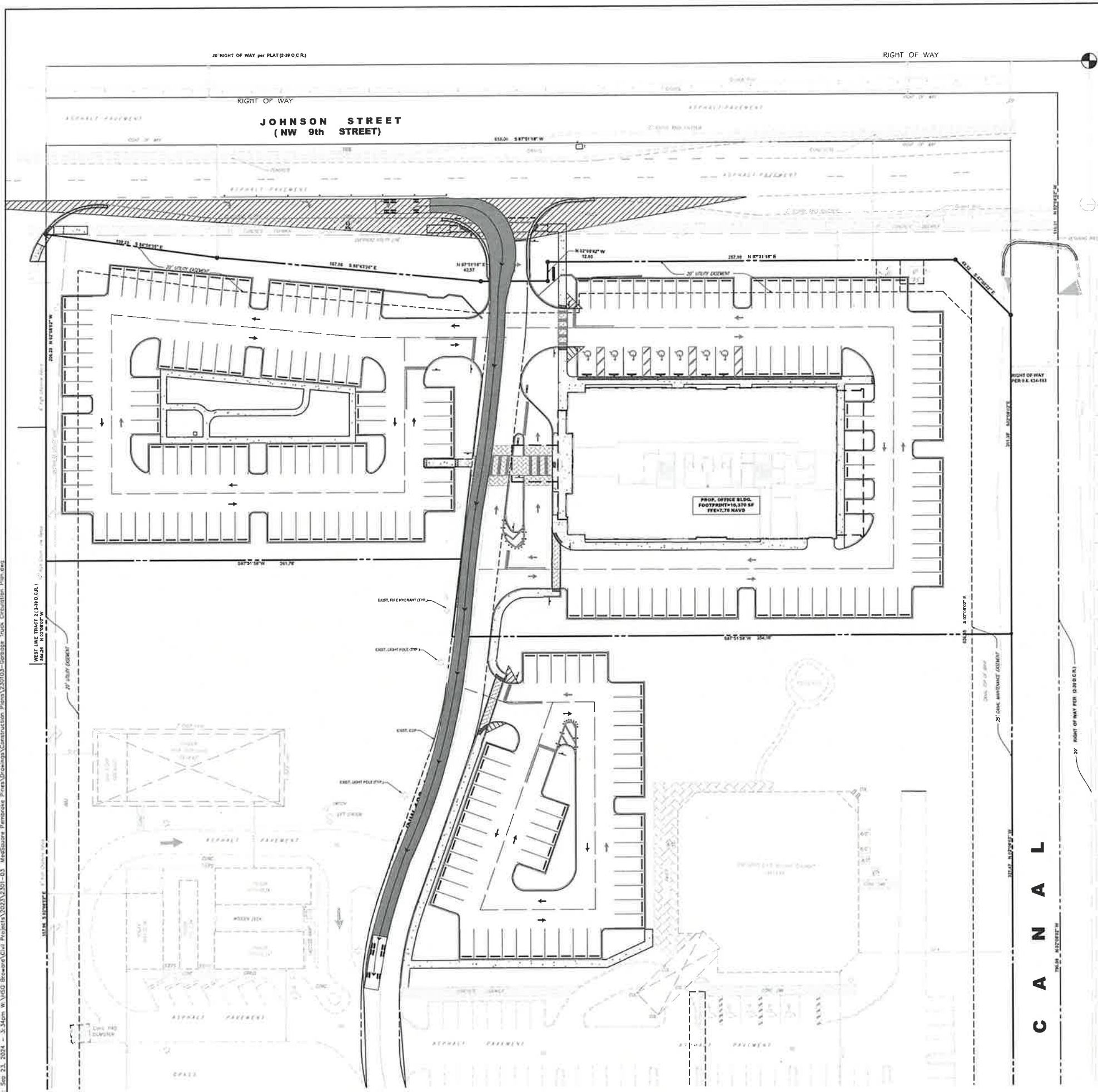
DATE: 06/23
 DESIGNED BY: JAL
 DRAWN BY: MR
 CHECKED BY: KB



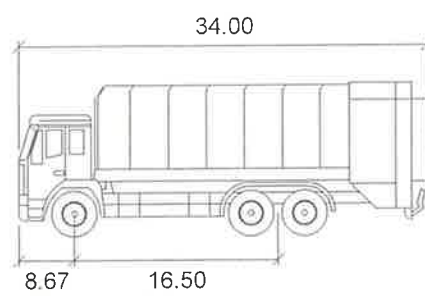
DATE: 8/23/24
 KEVIN A. BETANCOURT P.E.
 FLORIDA REGISTRATION NO. - 83361
 PROJECT: 2301-03
 SHEET: FT-3

DATE: Sep. 23, 2024 - JJ-Mon, W. VHSO, Broward County, Project: 2301-03 - Medsquare Pembroke Pines Construction, Plans 230103-Fire, Circulation, Plan-148

DATE: Sep 23, 2024 - 3:34pm W:\1603_Broward\Civil Projects\2301\2301-03_MedSquare Pembroke_Plan\Drawings\Construction Plans\230103-03p003 - Garbage Truck Circulation_Plan.dwg



Sunshine
 Call Bill or visit sunshine811.com two full business days before digging to have buried utilities located and marked. Check your insurance code before you dig!



Refuse-Front Loader

	feet
Width	8.67
Track	16.50
Lock to Lock Time	6.0
Steering Angle	29.0

**PALM AVENUE
(NW 101st Avenue)**

C A N A L

NO	DATE	BY	REVISIONS



**MEDSQUARE PEMBROKE PINES
 SEC OF JOHNSON ST & NW 101ST AVE
 PEMBROKE PINES, FL**

WASTE MANAGEMENT PLAN

DATE:	09/23/24
DESIGNED BY:	JAX
DRAWN BY:	MR
CHECKED BY:	KB



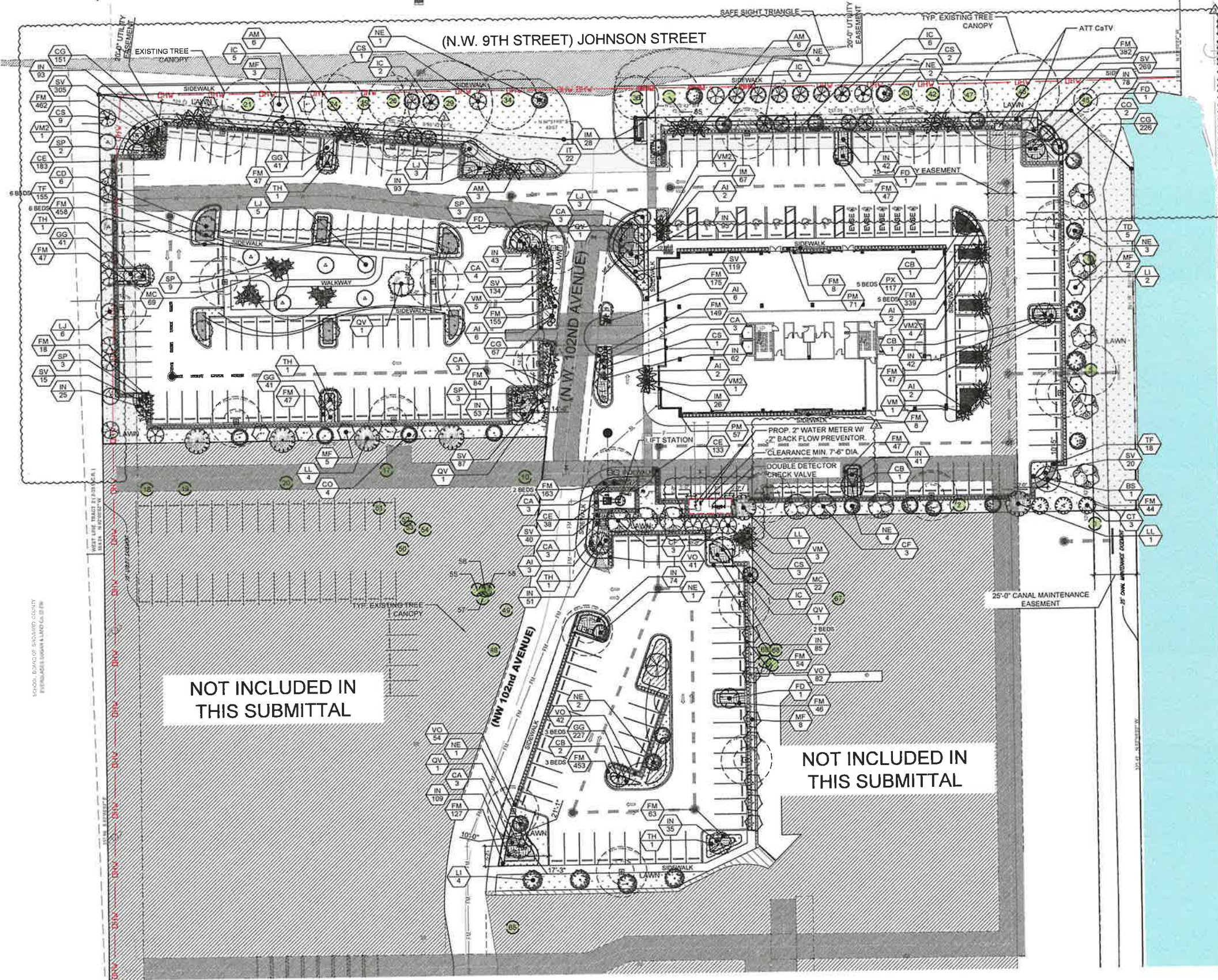
DATE: 9/23/24
 KEVIN A. BETANCOURT P.E.
 FLORIDA REGISTRATION NO. - 63361

PROJECT:	2301-03
SHEET:	WM-1

JOHNSON STREET
(NW 9th STREET)

610 00 5 875118" W

(N.W. 9TH STREET) JOHNSON STREET



NOT INCLUDED IN THIS SUBMITTAL

NOT INCLUDED IN THIS SUBMITTAL

LANDSCAPE PLAN NORTH

Scale: 1"=30'-0"



symbol to show on landscape plan as a relocated tree



SYMBOL LEGEND

Tree to Remain



SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	NOTES	DESIGN/PLANTING	PLANT
AS	1	1	Bursaria serotina Gumbo Limbo	14'-18" HT. X 6" SPR. 3" DBH	YES		HIGH	FCT
CB	5	5	Calophyllum brasiliense Brazilian Beautyleaf	14'-18" HT. X 6" SPR. 3" DBH	NO		MEDIUM	FCT
CF	5	5	Cassa Faba Gumbo Shower Tree	14'-18" HT. X 6" SPR. 3" DBH	YES		MEDIUM	FCT
LL	8	8	Lycium latifolium Wild Tamarind	14'-18" HT. X 6" SPR. 3" DBH	YES		HIGH	FCT
OV	5	5	Quercus virginiana Live Oak	14'-18" HT. X 6" SPR. 3" DBH	YES		MEDIUM	FCT
TD	5	5	Taxodium distichum Bald Cypress	14'-18" HT. X 6" SPR. 3" DBH	YES		MEDIUM/LOW	FCT
CO	6	6	Chrysophyllum olivaceum Sour Apple	12'-14" HT. X 4" SPR. 2.5" DBH	YES		MEDIUM	FCT
CO	6	6	Coccoloba diversifolia Pigeon Palm	12'-14" HT. X 4" SPR. 2.5" DBH	YES		HIGH/MEDIUM	FCT
CT	3	3	Conocarpus teretifolius Orange Ginger Tree	12'-14" HT. X 4" SPR. 2.5" DBH	YES		HIGH	FCT
FD	4	4	Ficus drooping Japanese Firm Tree	12'-14" HT. X 4" SPR. 2.5" DBH	NO		HIGH/MEDIUM	FCT
LI	6	6	Ligustrum indica Crash Myrtle	12'-14" HT. X 4" SPR. 2.5" DBH	NO		HIGH	FCT
TH	5	5	Tabebuia heterophylla Pink Tabebuia	12'-14" HT. X 4" SPR. 2.5" DBH	NO		MEDIUM	FCT
CS	16	16	Conocarpus erectus Silver Cholla	10'-12" HT. X 4" SPR. 1.5" DBH	YES		MEDIUM	FCT
IC	16	16	Ipomoea Crown Glory	10'-12" HT. X 4" SPR. 1.5" DBH	YES		HIGH	FCT
LI	17	17	Ligustrum japonicum Japanese Privet	10'-12" HT. X 4" SPR. 1.5" DBH	NO	MULTI TRUNK	HIGH	FCT
MF	16	16	Myrsine fragrans Singapore Shrimp	10'-12" HT. X 4" SPR. 1.5" DBH	YES		HIGH	FCT
NE	16	16	Nerium indicum Mourning Glory	10'-12" HT. X 4" SPR. 1.5" DBH	NO		HIGH	FCT
AM	15	15	Agave americana Century Plant	14' O.A. HT.	NO		MEDIUM	FCT
SP	20	20	Sabal palm Sabal Palm	20' O.A. HT. 6" G.W.	YES		MEDIUM/LOW	FCT
VA	7	7	Vanilla planifolia Vanilla	20' O.A. HT. MN	NO	STAGGERED HTS	MEDIUM	FCT
VM	8	8	Vanilla planifolia Vanilla	20' O.A. HT.	NO		MEDIUM	FCT
AI	23	23	Agave americana Century Plant	16" HT. X 38" SPR.	NO		MEDIUM	FCT
CO	444	444	Conocarpus erectus Silver Cholla	24" HT. X 24" SPR. 1/24" O.C.	YES		HIGH	FCT
CE	354	354	Conocarpus erectus Silver Cholla	36" HT. X 24" SPR. 1/24" O.C.	YES		HIGH	FCT
CA	22	22	Conocarpus erectus Silver Cholla	36" HT. X 36" SPR.	NO		MEDIUM/LOW	FCT
PA	219	219	Portulaca oleraceae Moss Rose	5" HT. X 30" SPR. 1/24" O.C.	NO		MEDIUM	FCT
VO	128	128	Viburnum coccineum Viburnum	24" HT. X 24" SPR. 1/24" O.C.	YES		MEDIUM	FCT
OG	350	350	Ornithoglossum Star of Bethlehem	18" HT. X 18" SPR. 1/18" O.C.	NO		MEDIUM	FCT
IT	22	22	Ipomoea Crown Glory	18" HT. X 18" SPR. 1/18" O.C.	NO		HIGH	FCT
HI	1021	1021	Hibiscus Hibiscus	18" HT. X 18" SPR. 1/18" O.C.	NO		HIGH	FCT
MC	81	81	Muhlenbergia Muhlenbergia	24" HT. X 24" SPR. 1/24" O.C.	YES		HIGH	FCT
PX	117	117	Phlox Phlox	18" HT. X 18" SPR. 1/18" O.C.	NO		MEDIUM	FCT
SV	969	969	Sida Sida	18" HT. X 18" SPR. 1/18" O.C.	NO		HIGH	FCT
TF	173	173	Tropaeolum Tropaeolum	24" HT. X 24" SPR. 1/24" O.C.	YES		HIGH	FCT
FM	3470	3470	Ficus Ficus	15" HT. X 15" SPR. 1/15" O.C.	NO		HIGH	FCT
M	121	121	Mimosa Mimosa	15" O.C.	NO	FULL	MEDIUM	FCT
LAWN	2411	2411	St. Augustine Grass	SOLID EVEN 500	NO		MEDIUM	FCT

City of Pembroke Pines Landscape Code Requirements	DIMENSIONS	REQUIRED	PROPOSED
SEC 155.631 Meet minimum buffer requirements.			
Zoning: Professional Office Land Use: Office Park			
SEC 155.661 (c) Trees in excess of five shall have no more than 20% of a single species.		148	148
1 All properties three stories and below minimum:			
(a) 20% of required trees meet 14'-16" H with 3" diameter at breast height		30	30
(b) 20% of required trees meet 12'-14" H with 2" diameter at breast height		68	67
(c) 60% of required trees required meet 155.664 (M)			
SEC 155.661 (f) Landscape Adjacent to Public Right-of-Ways - All Properties.			
Johnson St + Palm Ave (L) + and East Buffer: One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.	1,097 lf	22	22
SEC 155.661 (i) Landscaping Adjacent to Abutting Properties - All Properties.			
West Buffer + South Buffer: The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.	672 lf	18	18
SEC 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.			
1. For non-residential properties the planting requirement shall be calculated on the following basis:			
(a) One tree every 1,000 square feet of gross area.	152,802 sf	30	30
(b) Ten shrubs every 5,000 square feet of gross area.	152,802 sf	300	3,966
SEC 155.663 (F) Interior parking and paved area landscaping.			
Parking lots shall comply with the following minimum requirements:			
1. One tree:			
(a) Every five parking spaces; and	231 spaces	46	46
(b) Every 100 square feet of interior landscaping;			
2. One hundred square feet of landscaping every ten parking spaces over 50 spaces;	2,300 sf	35	35
3. One square foot of landscaping.			
(a) Every 100 square feet of paved areas up to 50,000 square feet; and			
(b) Every 200 square feet of paved areas over 50,000 square feet; and			
*Includes 2 existing Trees to remain and 3 relocated Palms			

WITKIN HULTS + PARTNERS
307 South 21st Avenue
Hollywood, Florida
phone: 954.923.9691
www.witkinhults.com

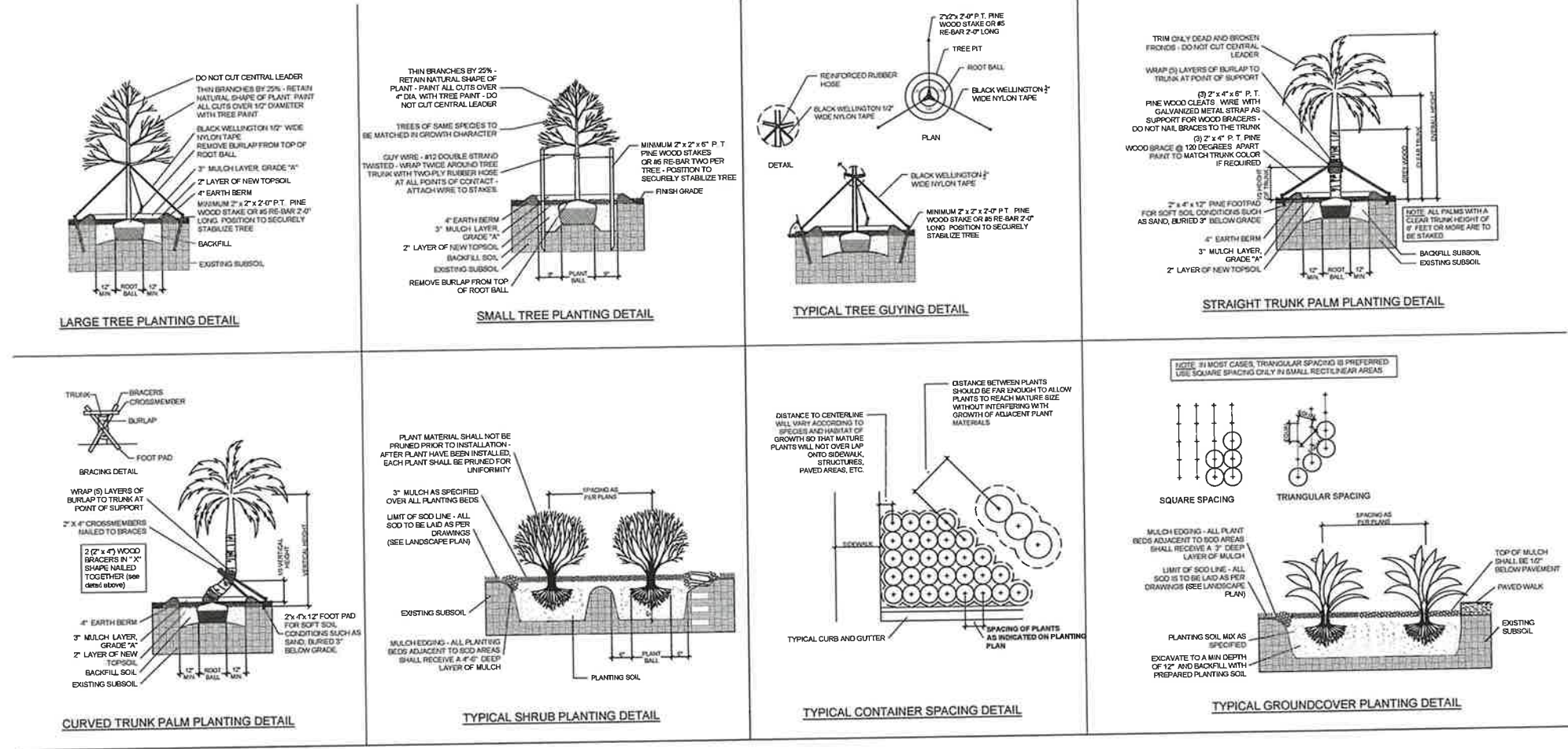
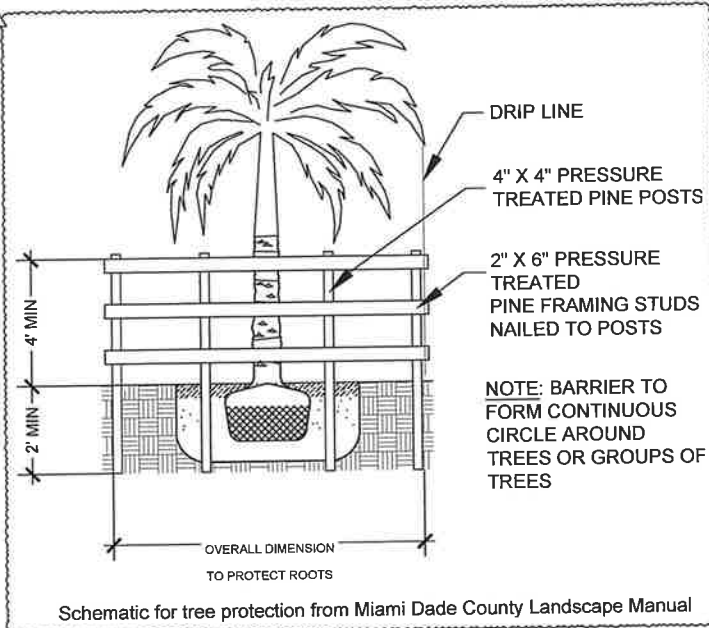
MedSquare + The Contemporary
PEMBROKE PINES, FLORIDA
LANDSCAPE PLAN

Revisions:	Date:	By:
1. [REDACTED]	03.14.2024	MAV
2. [REDACTED]	04.30.2024	MAV
3. [REDACTED]	05.22.2024	MAV

Seal:
[Signature]
SEP 24 2024
Lic # [REDACTED]
Member, F.S. L.A.

Drawing: Landscape Plan
Date: 12/21/2023
Scale: See Left
Drawn by: DA
Sheet No.:
L-1
Cad Id.: 2023-035

PER LDC SEC. 155.663 (E): INDIVIDUAL INTERIOR PARKING LOT AREAS SHALL BE A MINIMUM OF 100 SQUARE FEET TOTAL ADEQUATELY LANDSCAPED WITH SHRUBS, GROUND COVER, OR OTHER AUTHORIZED LANDSCAPE MATERIAL NOT TO EXCEED 24 INCHES IN HEIGHT IN ADDITION TO REQUIREMENTS LISTED BELOW. HEDGES INSTALLED WITHIN INTERIOR PARKING ISLAND ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT 24 INCHES, DUE TO LINE OF SIGHT CONFLICTS.



PLANTING NOTES:

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- As per ANSI 300 standards, mulch shall not be placed against tree trunks or cover the root flares. Mulch shall be applied and maintained with at least 6-inches of diameter clearance, free of mulch at the base of the tree trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

SOD NOTES:

- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratum' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.
- Provide a 2" deep blanket of planting soil as described in planting notes on this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.
- Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.
- Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.
- Sod Shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

WITKIN HULTS + PARTNERS
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 Phone: 561.922.9881 Fax: 561.922.9889
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MedSquare + The Contemporary
 PEMBROKE PINES, FLORIDA
 LANDSCAPE DETAILS

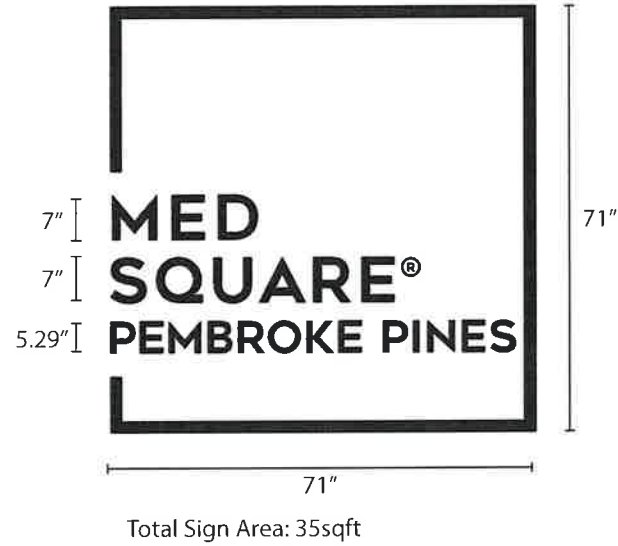
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11 CONC. COMMENTS	03.12.2024	MAV
12 CONC. COMMENTS	04.18.2024	MAV
13 CONC. COMMENTS	05.23.2024	MAV

Seal: *[Signature]*
 Lic. No. 7290
 Member S.F.S.A.

Drawing: Landscape Details
 Date: 12/21/2023
 Scale: See Left
 Drawn by: DA
 Sheet No.:
 Cad Id : 2023-035

Exterior Sign

TYPE: Illuminated Reverse Channel Letters



NIGHT VIEW, BACKLIT ILLUMINATION



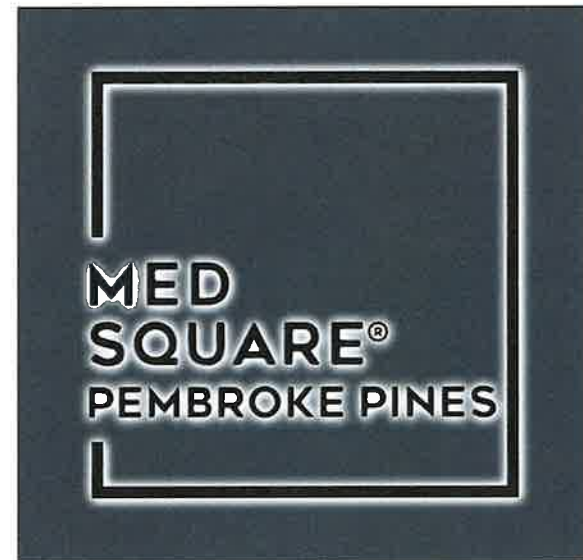
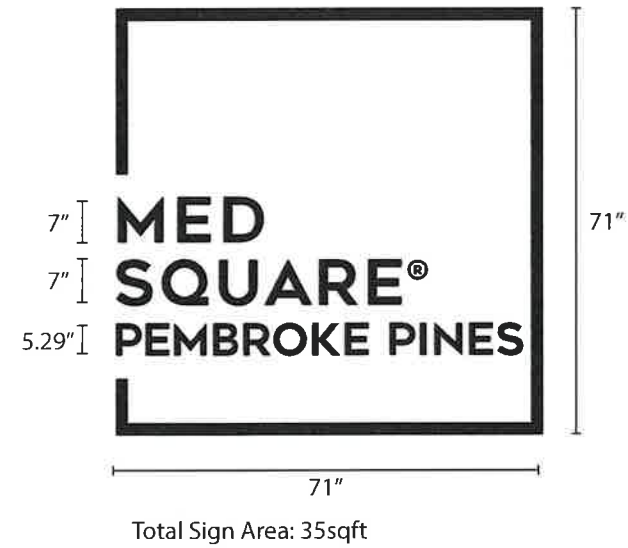
01 North Elevation
SCALE 1/8" = 1'-0"

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	<p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Revisions</p>	<p>Print: _____</p> <p>Signature: _____</p> <p>Date: _____</p>			

Exterior Sign

TYPE: Illuminated Reverse Channel Letters



NIGHT VIEW, BACKLIT ILLUMINATION



4 East Elevation
SCALE 1/8" = 1'-0"

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DATE CREATED:	3-11-24	QC
SALES REP:	GABRIEL	
SURVEYED BY:	PLANS	
TEMPLATE BY:	N/A	
DESIGNED BY:	EV	
PROOF BY:	EV	

PROJECT: AJP VENTURES-MEDSQUARE PEMBROKE PINES EXTERIOR AND MONUMENT SIGN

ADDRESS:

Approved

Print: _____

Revisions

Signature: _____

Date: _____

REVISIONS	
①	⑤ 9-3-24
②	⑥ 9-11-24
③	⑦
④	⑧

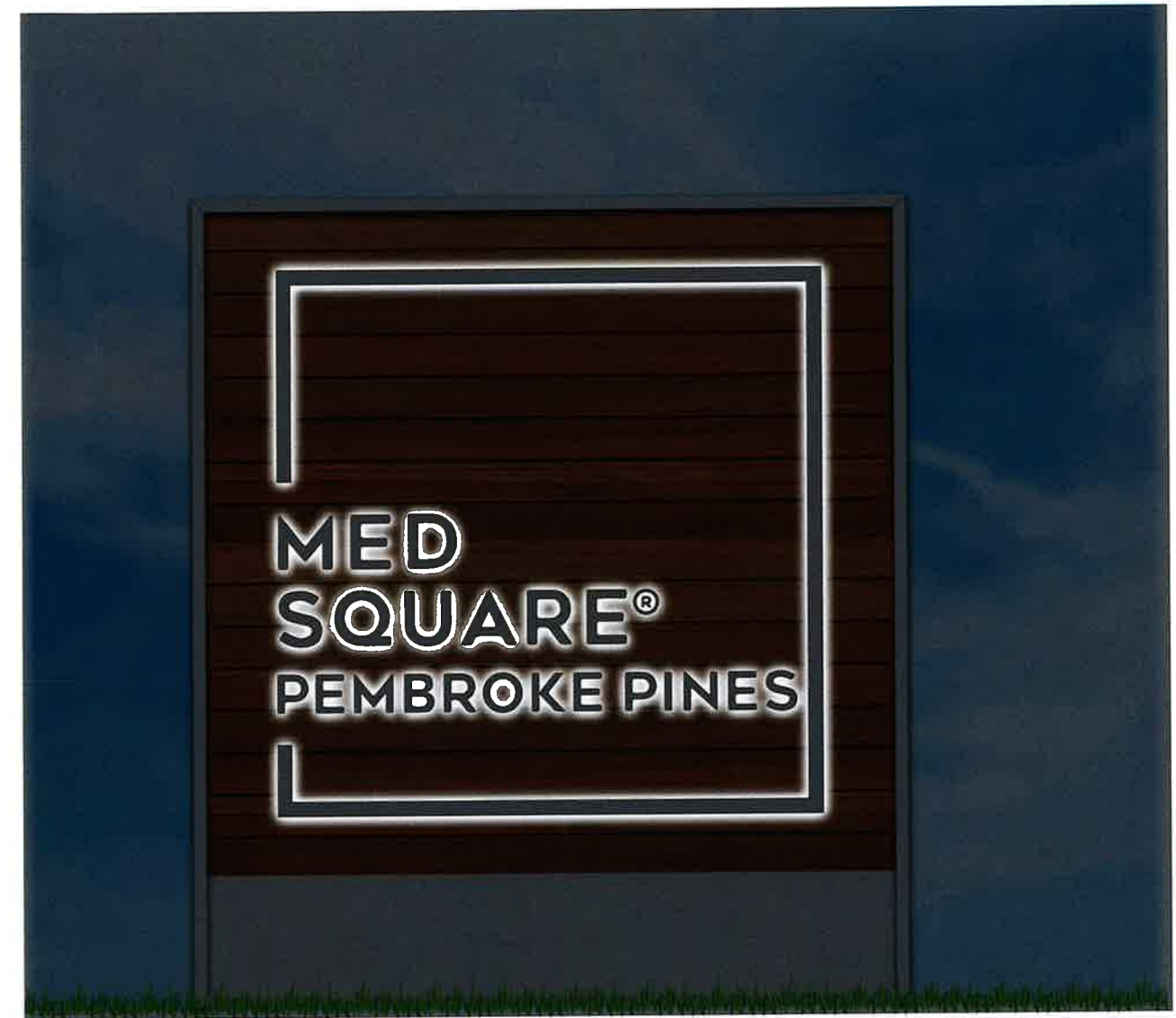
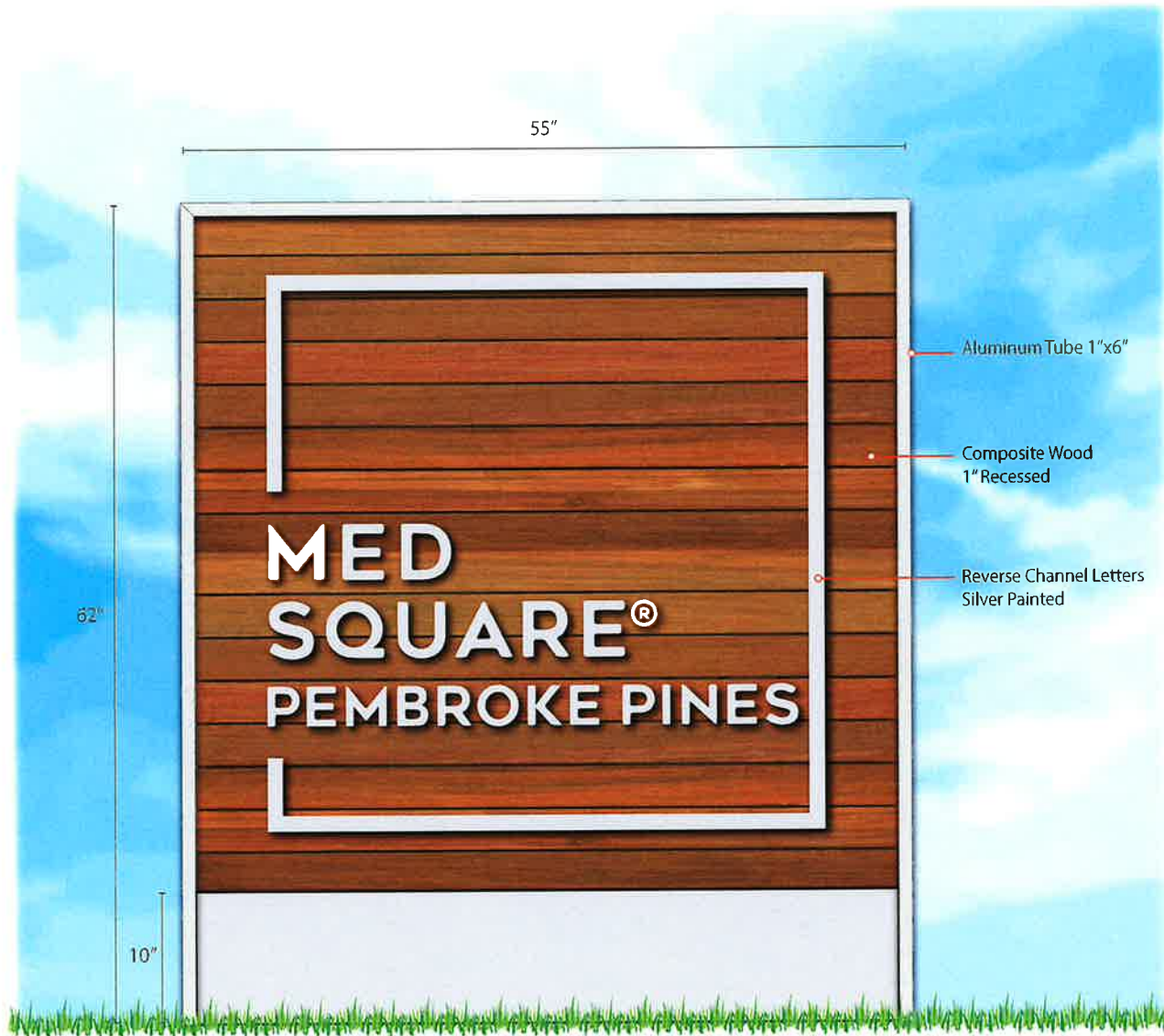
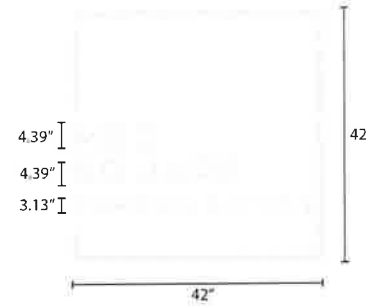


Exterior Sign

TYPE: Illuminated Monument Sign

Total Sign Area: 23.6sqft

Landscaping around Sign provided for and detailed in Landscape Plans



NIGHT VIEW

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ADDRESS:	

Approved Print: _____
 Revisions Signature: _____
 Date: _____

REVISIONS	
①	⑤ 9-3-24
②	⑥
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