





**City of Pembroke Pines
 Planning & Economic Development Department
 601 City Center Way 3rd Floor
 Pembroke Pines FL, 33025**

Summary

Agenda Date:	February 13, 2025	Application ID:	SP2024-0010
Project:	Memorial Urgent Care	Project Number:	PRJ2024-0014
Project Planner	Cole Williams, Senior Planner		
Owner:	South Broward Hospital District	Agent:	Hope Calhoun
Location:	10175 Pines Boulevard	Commission District	2
Existing Zoning:	B-3 (General Business)	Existing Land Use:	Commercial
Reference Applications:	ZV 2012-02, ZV 2012-01, SP 2011-22		
Applicant Request:	Architectural and site modifications		
Staff Recommendation:	Approval		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director: <u></u>	Assistant Director: <u></u>	

Project Description / Background

Hope Calhoun, agent, is requesting approval of architectural and site modifications to convert a former Chase Bank to the Memorial Healthcare Urgent & Primary Care Center. The subject property is generally located at 10175 Pines Boulevard.

The existing building, formerly Chase Bank was approved through Site Plan SP 2011-22. No modifications have been made to the site since then, and the building has been vacant since 2021.

BUILDINGS / STRUCTURES:

The existing footprint of 4,320 square foot building shall remain. The applicant shall repaint the building the existing colors:

- Main Body: SW 6108 (Latte)
- Parapet / Trim: SW 7036 (Accessible Beige)
- Base Stone: Rockcast Bone
- Dumpster Enclosure: SW 6108 (Latte)

The existing drive-thru canopy shall remain for site circulation. All former banking equipment shall be removed. The north elevation shall be patched and infilled to match.

SIGNAGE:

No signage is proposed at this time. The applicant is aware that signage proposed in the future is subject to additional review and approval. Any signage shown is for illustrative purposes only.

PARKING:

Code requires the proposed use to have 5.75 parking spaces per 1,000 square feet of building area; therefore, 25 parking spaces are required. Currently, 28 parking spaces existing on site leaving a surplus of 3 parking spaces.

The applicant is proposing ADA improvements to bring the site into compliance with current standards.

LANDSCAPING:

The following landscape is being proposed for this site:

- Installation of 10 trees, 1 palms, 241 shrubs, and 368 groundcovers.
 - Primary species of trees include: *Chrysophyllum oliviforme* - Satin leaf, *Elaeocarpus decipiens* - Japanese blueberry, and *Myrcianthes fragrans* - Simpson stopper.
 - Primary species of palms include: *Veitchia montgomeryana* - Montgomery palms

- Primary species of shrubs include: *Chrysobalanus icaco* - Red-tip cocoplum, *Podocarpus macrophyllus* 'Maki' - Podocarpus Maki, *Codiaeum variegatum* - Sloppy painter croton, *Clusia rosea* - Pitch apple, and *Jasminum volubile* - Wax jasmine.
- Primary species of groundcovers include: *Liriope muscari* 'Evergreen giant' - Liriope Evergreen Giant, *Liriope muscari* 'Variegata' - Variegated Evergreen Giant, *Schefflera arboricola* 'Trinette' - Variegated Trinette, and *Crinum asiaticum* - Crinum lily.
- Trees that will remain on site include: *Quercus virginiana* – Live oak, *Bursera simaruba* - Gumbo limbo, *Elaeocarpus decipiens* - Japanese blueberry, *Swietenia mahogany* - Mahogany tree, and *Tabebuia heterophylla* - Pink trumpet tree.

Staff has reviewed the proposed changes and finds that the proposal meets all code requirements. Staff therefore recommends approval of this application.

Enclosed:

- Unified Development Site Plan Application
- Memo from Engineering Division (2/4/2025)
- Memo from Planning Division (2/3/2025)
- Memo from Landscape Planner (1/30/2025)
- Memo from Zoning Division (1/30/2025)
- Memo from Zoning Division (1/27/2025)
- Memo from Fire Prevention Bureau (1/27/2025)
- Memo from Landscape Planner (1/23/2025)
- Memo from Planning Division (1/14/2025)
- Memo from Engineering Division (11/13/2024)
- Memo from Landscape Planner (11/4/2024)
- Memo from Fire Prevention Bureau (10/30/2024)
- Memo from Zoning Division (10/29/2024)
- Memo from Planning Division (10/22/2024)
- Site Plan
- Subject Site Aerial Photo



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____ Planner: _____

Indicate the type of application you are applying for:

- | | |
|--|---|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan* |
| <input checked="" type="checkbox"/> Delegation Request | <input type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input checked="" type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

- All questions must be completed on this application. If not applicable, mark *N/A*.
- Include all submittal requirements / attachments with this application.
- All applicable fees are due when the application is submitted (Fees adjusted annually).
- Include mailing labels of all property owners within a 500 foot radius of affected site with signed affidavit (Applications types marked with *).
- All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
- Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
- The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
- Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: _____ Project #: PRJ 20____ - _____ Application #: _____

Date Submitted: ____/____/____ Posted Signs Required: (____) Fees: \$_____

SECTION 1-PROJECT INFORMATION:

Project Name: Memorial Healthcare System

Project Address: 10175 Pines Blvd.

Location / Shopping Center: Pembroke Place

Acreage of Property: 0.76 Building Square Feet: 4,320

Flexibility Zone: _____ Folio Number(s): 514118060011

Plat Name: Pines-Palm West Traffic Analysis Zone (TAZ): _____

Legal Description: All of Pines-Palm West, according to the plat thereof, as recorded in Plat Book 126, Page 30, of the Public Records of Broward County, Florida

Has this project been previously submitted? Yes No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Memorial Healthcare System

Owner's Address: 3501 Johnson St. Hollywood, FL 33021

Owner's Email Address: mgreenspan@mhs.net

Owner's Phone: 954-265-8674 Owner's Fax: _____

Agent: Hope Calhoun/Miskel Backman, LLP

Contact Person: Hope Calhoun

Agent's Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432

Agent's Email Address: hcalhoun@miskelbackman.com

Agent's Phone: 561-405-3324 Agent's Fax: _____

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning: B-3

Land Use / Density: Commercial

Use: Bank

Plat Name: Pines-Palm West

Plat Restrictive Note: _____

See attached narrative

PROPOSED

Zoning: B-3

Land Use / Density: Commercial

Use: Urgent Care Center

Plat Name: Pines-Palm West

Plat Restrictive Note: _____

see attached narrative

ADJACENT ZONING

North: B-3

South: MXD

East: B-3

West: B-3

ADJACENT LAND USE PLAN

North: Commercial

South: Commercial

East: Commercial

West: Commercial

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

City Amendment Only City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

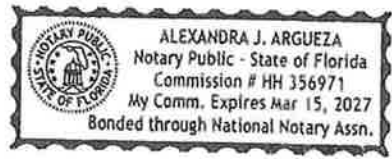
SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] _____ Date 8/27/24

Sworn and Subscribed before me this 27th day
of August, 2024



Fee Paid _____ Signature of Notary Public [Signature] My Commission Expires _____

AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] _____ Date 08/27/2024

Sworn and Subscribed before me this 27th day
of August, 2024



Fee Paid _____ Signature of Notary Public [Signature] My Commission Expires 03/16/2026

Waiver of Florida Statutes Section 166.033, Development Permits and Orders

Applicant: Memorial Healthcare System

Authorized Representative: Mark Greenspan

Application Number: _____

Application Request: Misc. Site Plan/Delegation Request

I, Mark Greenspan (print Applicant/Authorized Representative name), on behalf of Memorial Healthcare System (Applicant), hereby waive the deadlines and/or procedural requirements of Florida Statute Section 166.033 as the provisions of said statute apply to the above referenced application, including, but not limited to the following:

- a. 30-day requirement for Applicant Response to Staff determination of incompleteness as described in DRC Comments and/or Letter to Applicant;
- b. 30-day Staff review of Applicant Response to DRC Comments and/ or Letter to Applicant;
- c. Limitation of three (3) Staff Requests for Additional Information;
- d. Requirement of Final Determination on Applicant's application approving, denying, or approving with conditions within 120 or 180 days of the determination of incompleteness, as applicable.



8/27/24

Signature of Applicant or Applicant's
Authorized Representative

Date

Mark Greenspan

Print Name of Applicant/Authorized Representative

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**



DRC REVIEW FORM

February 4, 2025

Project: *MEMORIAL URGENT CARE FACILITY (10175 Pines Boulevard)*
City Reference Number: *SP2024-0010*

To: Cole Williams, Senior Planner
Planning and Economic Development Department
From: John L. England, P.E., Assistant City Engineer
Engineering Division/Public Services Department
(954) 518-9046

RECOMMENDATION:

The Engineering Division's DRC 'Comments' have been satisfied, and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed project site related improvements. Submittal of a completed and executed Engineering Permit application, one (1) signed and sealed set of Site Engineering Plans along with copy in PDF format, Plans Review Fee payment and Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance of the proposed project for initiation of the plans review for Engineering Permit.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: February 3, 2025
To: SP 2024-0010 file
From: Cole Williams, Senior Planner
Re: Memorial Urgent Care

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS REGARDING

MEMORANDUM

January 30, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2024-0010) Memorial Urgent Care

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- 1. All landscape comments have been addressed.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
City of Pembroke Pines
601 City Center Way
954.392.2100 (Office) • yhall@ppines.com
City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday

MEMORANDUM

January 30, 2025

To: Cole Williams, AICP
Senior Planner

From: Julia Aldridge
Planner/ Zoning Tech

Re: SP 2024-0010 (Memorial Urgent Care)

All of my comments regarding the above Site Plan have been satisfied.

MEMORANDUM

January 27, 2025

To: Cole Williams, AICP
Senior Planner

From: Julia Aldridge
Planner/ Zoning Tech

Re: SP 2024-0010 (Memorial Urgent Care)

The following are my comments regarding the above Site Plan:

1. Provide color elevations of all sides, showing color names, color numbers, finishes, materials, etc. on all. 1/27/25- Not provided.
- ~~2. Provide signage details if any wall signage is being proposed.~~
- ~~3. Provide details for monument sign (height, length, type of material, etc.).~~
- ~~4. If directional signs are proposed, they cannot exceed 1.5 sq. ft. in size.~~
- ~~5. Provide detail showing roof mounted equipment. All air conditioning units, mechanical equipment, and the like, whether roof mounted or at grade shall be shielded and hidden so that they shall not be visible from a point six feet above the ground from any abutting public or private right of way and/or property line.~~
- ~~6. Provide physical material board.~~
7. If desired, contact Sherrell Jones-Ruff (954-628-3725 or at sjonesruff@cgsolutions) in the Building Department to set up Pre-Application meeting to review submittal and review of Building Permits.
8. If you have any questions, you can contact me icastanoarcila@ppines.com



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: Memorial Primary Care
REFERENCE #: SP 2024 - 10
DATE REVIEWED: 01/27/2025

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THIS REVIEW.

MEMORANDUM

January 23, 2025

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2024-0010) Memorial Urgent Care v2

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

- 1. Please show clear trunk requirement for all canopy trees proposed within the Plant Schedule.** Japanese blueberry tree can be standard with clear trunk or full-to-the-bottom, however, staff only accounts for trees with clear trunk, towards the Code requirements. **This comment referred to the proposed trees for planting. Code requires a minimum of 40% of clear trunk on the bottom half of the tree for clearance.**
- 2. Only one (1) fire hydrant noted on the plans, please confirm, as per Fire COPP CO 93.25 (F) - No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street. Plans note a 15 foot radius clearance, when its meant to be a 15 foot diameter. Please revise the plans.**
- 3. The number of trees proposed, in addition to the trees which are slated to remain, the site does not appear to meet Code requirements. As per LDC SEC. 155.664 (P) 3. Palms are counted at 3:1 ratio. As per the Code Calculations Table, 27 canopy trees are required. From trees to remain, I accounted for 10 trees and 2 palms. From the proposed plant list, I accounted for 10 trees and 1 palm. With all that added up, I am only accounting for a total of 21 canopy trees. Please provide the canopy measurements for the two (2) Live oaks on the Southern buffer, provided in SF. Staff should be able to provide come canopy credits.**
- 4. Please add a memo to the plans to reference the new Code amendment requirements pertaining to the maintenance of plant materials within interior parking islands. As per LDC SEC. 155.663 (E) - Individual interior parking lot areas shall be a minimum of 100 square feet total adequately landscaped with shrubs, groundcover, or other authorized landscape material not to exceed 24 inches in height in addition to requirements listed below. Unable to locate the memo on L-2.**
- 5. Please add the existing trees to remain to the TD, along with the required specs and condition rating.**
- 6. Additional comments may apply.**

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining DRC comments please contact me directly.

YELENA HALL
LIAF Certified Landscape Inspector #21-259
Planning and Economic Development Department
City of Pembroke Pines
601 City Center Way
954.392.2100 (Office) • yhall@ppines.com

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		
<p><u>SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.</u></p> <p>1. All properties three stories and below minimum: (a) 20% of required trees meet 14-16' H with 3" diameter at breast height. (b) 20% of required trees meet 12-14' H with 2" diameter at breast height. (c) 60% of required trees required meet 155.664 (M).</p> <p>2. All properties four stories and above minimum: (a) 30% of required trees meet 14-16' H with 3" diameter at breast height. (b) 30% of required trees meet 12-14' H with 2" diameter at breast height. (c) 40% of required trees required meet 155.664 (M).</p>		
<p><u>SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways – All Properties.</u> One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.</p>		
<p><u>SEC 155.661 (J) Landscaping Adjacent to Abutting Properties – All Properties.</u> The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.</p>		
<p><u>SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.</u></p> <p>1. For non-residential properties the planting requirement shall be calculated on the following basis; (a) One tree every 5,000 square feet of gross area. (b) Ten shrubs every 5,000 square feet of gross area.</p>		
<p><u>SEC. 155.663 (F) Interior parking and paved area landscaping.</u> Parking lots shall comply with the following minimum requirements:</p> <p>1. One tree: (a) Every five parking spaces; and (b) Every 100 square feet of interior landscaping;</p> <p>2. Ten square feet of interior landscaping every parking space up to 50 spaces;</p> <p>3. One hundred square feet of landscaping every ten parking spaces over 50 spaces;</p> <p>4. One square foot of landscaping: (a) Every 100 square feet of paved areas up to 50,000 square feet; and (b) Every 200 square feet of paved area over 50,000 square feet; and</p>		
<p>City of Pembroke Pines Landscape Code Requirements</p>		
<p><u>SEC 155.631 Meet minimum bufferyard requirements.</u></p>		

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: January 14, 2025
To: SP 2024-0010 file
From: Cole Williams, Senior Planner
Re: Memorial Urgent Care

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide notification per Code Requirements. Section 155.302.
 - HOA notice must be provided to the following communities.
 - Charleston in the Pines, Hillary, 1945 SW 60 Avenue North Lauderdale, FL 33068 954-745-0899 Hillary@selectpropertiesfl.com Select Properties
2. Provide material board with physical samples of all colors and materials used.
3. Clarify the color of the dumpster enclosure and gates.
4. ~~Are the dumpster enclosure gates being replaced, if so provide details.~~
5. ~~Clarify if there is any new rooftop equipment, if so provide details of all rooftop equipment. Equipment must be screened from view. Reference 155.637.~~
6. ~~Any ground mounted mechanical equipment? If so, provide locations.~~
7. ~~Clarify if the existing light fixtures will be replaced, if so provide details.~~
8. ~~Provide details of the monument sign face. Vinyl lettering on a flat background is not permitted.~~
9. ~~Landscape is a minimum of 24" in height is required around the base of the monument sign.~~
10. ~~Clarify if any wall signage is being proposed, if so provide details.~~
11. Provide elevations and details (in color and black and white) of the removal and infill of the existing drive-thru equipment.
12. Ensure all colors and materials are labeled on elevations.
13. ~~Parking spaces marked for employee parking only cannot be counted towards the required parking for the site.~~
14. ~~Provide letter detailing the sustainable practices utilized. Reference 155.6120—155.6123.~~
15. ~~Provide a letter detailing the economic impact the proposed development will have on the City.~~
16. ~~Provide a business operations statement detailing services provided and the hours of operation.~~
17. ~~Will there be any above ground or underground tanks? (oxygen etc...). If so, please provide locations.~~
18. ~~Provide details of how medical waste will be disposed of.~~
19. Further comments may apply as more details are provided.
20. **Label colors instead of stating to match. Below are the previously approved colors for the building.**

The applicant proposes the following color selections for the building:

- Base Colors – Latte (SW 6108)
- Parapet / Trim – Accessible Beige (SW 7036)
- Soffits, Egress Door / Railing – Intellectual Grey
- Bollards / Trim Under Canopies – CVB Blue
- Base Stone – Rockcast Bone
- Roof – Berridge Metal Roof Zinc Cote
- Storefront – Clear Annodized

21. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENGINEERING DIVISION**



DRC REVIEW FORM

November 13, 2024

Project: MEMORIAL URGENT CARE FACILITY (10175 Pines Boulevard)
City Reference Number: SP2024-0010

To: Cole Williams, Senior Planner
Planning and Economic Development Department
From: Jose Rodriguez, Engineering Assistant
Engineering Division/Public Services Department
(954) 518-9095

COMMENTS/RECOMMENDATIONS:

SITE PLAN, (SHT. AS1.0)

1. Provide 10' Wide 'Special Emphasis Crosswalk' markings (Thermoplastic) for the proposed Accessible Crossing of the access drive at the southwest corner of the existing building per FDOT Standard Plans Index 711-001.
2. Provide 25 LF of 6" Double Yellow Centerline markings with Yellow/Yellow RPM's at 20' O.C. for the 'Stop' condition at the northeast access drive and southwest parking access drive.
3. Note that all proposed/required 'Stop Bars' as 24" Stop Bar (Thermoplastic) as per BCTED standards.
4. Depict and denote/label the required "Lane Directional Channelization" markings at the southeast On-Way Exit drive and entrance into the so called "Drive-Thru" area as 8" White Edge Lines with 18" White Chevrons at 10' O.C. with White/Red RPMS per BCTED standards.
5. Depict and denote/label the lane delineator markings in the so called "Drive-Thru" area as an 8" White Lane Separator Line with White/Red RPMs at 20' O.C. and the "Lane Directional Channelization" south of the existing Concrete Separator as 8" White Edge

Lines with 18" White Chevrons at 10' O.C. with White/Red RPMS per BCTED standards. ‘

6. Wheel Stops for the existing parking space 19' in length are required to be placed 3'(min) from the face of Wheel Stop to front of the parking spaces or face of the sidewalk at the front of the parking spaces per City Standard R-32 and R-41.
7. Accessible Access Aisle marking for all Accessible Parking Spaces are to be depicted as Three (3) Equally Spaced 4" White Diagonals per City Standard R-32.
8. For the existing Pedestrian Crossing and the southwest corner of the building, denote the existing Pedestrian Warning Crossing Sign Panel (W11-2) and existing Arrow Plaque (W16-7p) to be replaced with new W11-9, Accessible Warning Crossing Signs (30"x30") and new W16-7p Arrow Plaques (24"x12").
9. All existing parking spaces are to be striped with 4" reflective paint markings per City Standard R-32 and R-41. All parking spaces are to have two (2) stripes, including those parking spaces abutting a terminal landscape island on the side of the parking space. Parking spaces are not permitted to be striped with two (2) parallel stripes as current depicted on the Site Plan.

General Comments

10. The attached ‘City Accessibility and Pavement Markings and Signage Requirements Notes’ must be reflected on the Site Plan and on a separate required Pavement Markings and Signage Plan for DRC Sign-Off.
11. The attached Three (3) latest BCTED Details Sheets are required to be included on a “Details” sheet in the plans set for DRC Sign-Off.
12. City Standards referenced in the Comments above and/or Plans Mark-Ups can be downloaded from the City’s website by way of the following link:

<https://www.ppines.com/1434/Engineering-Design-Standards-Manual>

NOTE: All resubmittals must include ‘Responses’ to all ‘Comments’ in letter format. Based upon the ‘Responses’ and/or ‘Plan Revisions’, additional ‘Comments’ may be forthcoming prior to Engineering DRC approval/sign-off of the proposed project for Planning and Zoning Board presentation.

NOTE that an Engineering Permit is required for construction of the proposed project’s site-related improvements. Submittal of one (1) digitally signed and sealed set of Site Engineering Plans and Details sheets, PDF copy of the completed Engineering Permit Application and an accompanying Transmittal/Cover Letter will be required, as a minimum, by the Engineering Division for acceptance and placement of the proposed project into the “Engineering Review Queue” pending receipt of the Plans Review Fee based an Invoice issued by the Engineering administrative staff after receipt of the initial permit submittal package.

MEMORANDUM

November 4, 2024

From: Yelena Hall
Landscape Planner/ Inspector

Re: (SP2024-0010) Memorial Urgent Care

The City of Pembroke Pines Planning Division has conducted a landscape plan review for the above-referenced property. The following items need to be addressed prior to this project being approved.

Landscape Inspection Comments:

1. As per LDC SEC. 155.657 (A) 8. - A proposed plant list by **symbol**, quantity, required specifications, native or non-native, drought tolerance, mature canopy spread, total mature canopy spread proposed on site, and botanical and common names. The plant list shall be indicated on all planting sheets. **Please add symbols to the Plant Schedule, matching the proposed tree species on the plans.**
2. The Plant Schedule on L-2 proposes 7 Black ironwood trees, **while five (5) are noted on the plans.**
 - a. **Additionally, black ironwood trees are very limited in availability, within the acceptable 50-mile range. Please select a backup species, in case this species isn't available upon approval.**
3. **Please show clear trunk requirement for all canopy trees proposed within the Plant Schedule.** Japanese blueberry tree can be standard with clear trunk or full-to-the-bottom, however, staff only accounts for trees with clear trunk, towards the Code requirements.
4. Proposed Category 2 trees must be a minimum of 12-feet tall at planting, to satisfy Code.
5. As per LDC SEC. 155.657 (A) 4. - Tree survey bearing the seal of a landscape architect or qualified personnel indicating the location, number, species, DBH, size, and condition of all existing trees and vegetation on-site to be preserved, relocated, or removed. **Please add the tree disposition list to L-1. List all existing trees on site, as well as all the required information as per the LDC SEC. referenced above. Two (2) crape myrtles noted on the Southern buffer, not noted on the plans. Both in poor condition and to be removed.**
6. Two monument signs noted on site. **It is noted that the Chase bank monument sign will be modified, please confirm and clarify the changes. The secondary, shared monument sign, will it remain?** Please note monument signs are required to have two (2) layers of plant material, planted at the base, where sod may not be used as one of the two (2) layers, as per LDC SEC. 155.662 (C) 3. (a).
7. Three (3) green buttonwoods proposed on the NW corner of the lot where a streetlight appears to be within close proximity, additionally mature canopies noted in the existing areas. Please note that as per LDC SEC. 155.664 (P) 5. All shade trees must be located at a minimum of 15 feet from streetlight, and palms and small trees must be located at a minimum of 7 feet 6 inches away from streetlight. Category 3 trees are recommended in the said area, although three (3) won't be accepted, due to limited space and existing conflicts.
8. Only one (1) fire hydrant noted on the plans, **please confirm**, as per Fire **COPP CO 93.25 (F)** - No tree, bush, hedge, or shrub, shall be planted within 15 feet diameter of a hydrant and located such that the hydrant shall be fully visible from the street.
9. As per LDC. SEC. 155.657 (A) 15. - Sight triangles shall be depicted on landscape plans.
10. As per LDC SEC. 155.664 (I) 3. - Sod areas shall be identified and labeled on the Landscape plans. This must be noted on all areas on landscape plans where SOD is required. Please provide an additional callout for SOD installation on the Northern buffer.

11. As per LDC SEC. 155.657 (A) 11. - All planting and staking details, including but not limited to planting/staking specifications, general notes, and tree protection details. **Please move the tree protection detail from L-1 to L-2.**
12. Mulching details noted on L-2, please revise the existing note, to reflect that mulch is required to be a minimum of 6 inches away from the tree trunk/root flare. Also, please include the details to require the mulch ring to extend two-three feet from the tree trunk.
13. The parking calculation provided for LDC SEC. 155.663 (F) 1., on L-2, appears to be incorrect due to the quantity of proposed parking spaces. The calculation provided is for 32 parking spaces, **staff notes only 28 spaces.** Please advise/revise.
14. The Code Calculation section 155.661 (I & J) appears to have been filled in incorrectly due to internal boundary lines; only the Southern buffer (ROW) calculation applies. Please change the number of required trees from 7 to 3.
15. The number of trees proposed, in addition to the trees which are slated to remain, the site does not appear to meet Code requirements.
16. Please add a memo to the plans to reference the new Code amendment requirements pertaining to the maintenance of plant materials within interior parking islands. As per LDC SEC. 155.663 (E) - **Individual interior parking lot areas** shall be a minimum of 100 square feet total adequately landscaped with **shrubs**, groundcover, or other authorized landscape material **not to exceed 24 inches in height** in addition to requirements listed below. **Amendments to the landscape Code requirements, now require hedges within interior parking areas not to surpass the height of 24 inches. Please add a note to the plans relating to the maintenance requirement.**
17. Dumpsters, as per LDC SEC. 155.637, are required to be screened on three (3) of the four (4) sides; please add supplemental shrubs to the proposed area to meet the Code required screening.
18. A significant amount of dieback is noted in the mature canopies throughout the site. Please provide proper, structural pruning for existing trees. Please note that as per the Fire Code, vertical clearance is required for 10 feet above parking isles and 15 feet over roadways.
19. Upon the site visit, an accent plant was noted on site, which is not shown on the plans. Please add a Jatropha accent tree behind the already existing Live oak, on the NW interior parking island, abutting the building.
20. On sheet L-2, the Southern buffer, there is one (1) symbol (next to queen palm and existing cocoplum) but no callout. Symbol appears to be the same as a multi-trunk palm, however, no multi-trunk palm noted in said location. Please clarify.
21. On sheet L-2, the Southern buffer has a callout which is identified as "miscellaneous berm shrubs", staff is unable to accept this, as the plans must show all existing materials on site, by species. Please have all shrubs remaining or to be installed in the said area, identified and shown on the plans.
22. The existing EIC on the Northern buffer, is improperly identified, please have this tree species revised to be the pink tabebuia tree.
23. EQV located within the interior parking island, located on the SW corner of the lot, appears to be improperly identified. Additionally, the tree appears to have been struck by lightning and decay is noted in the trunk. Remove and replace the tree.
24. Tree #3 proposed for the removal appears to be in great condition but is slated for removal. Staff suggests keeping the specimen, and removing and replacing the species, which require removals.
25. The closest Mahogany tree abutting the existing FDC appears to be very chlorotic, and staff noted decay throughout the trunk and canopy. An arborist assessment for tree condition may be necessary, although staff suggests removing and replacing the tree species with those that suit the site better.
26. A site visit was performed to assess and address current site/plant material conditions and staff concerns. The existing to remain shrubs are not lush and continuous, with existing gaps noted. Poor

performing areas to be filled in or removed and replaced with better suited plant materials for the specific location. Alternatively, a secondary layer of shrubs may be added in front of the deficient areas.
27. Additional comments may apply.

Plant diversification is important for the project to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Should you have any questions pertaining DRC comments please contact me directly.

YELENA HALL
 LIAF Certified Landscape Inspector #21-259
 Planning and Economic Development Department
 City of Pembroke Pines
 601 City Center Way
 Pembroke Pines, FL 33025
 954.392.2100 (Office) • yhall@ppines.com
 City Hall Hours: Monday to Thursday 7am to 6pm – Closed Friday
 Online Access: [Pines Web Services](#)
 Consider the environment before printing this email.

City of Pembroke Pines Landscape Code Requirements	Required	Proposed
<u>SEC 155.631 Meet minimum bufferyard requirements.</u>		
<u>SEC 155.661 (G) Trees in excess of five shall have no more than 20% of a single species.</u> 1. All properties three stories and below minimum: (a) 20% of required trees meet 14-16' H with 3" diameter at breast height. (b) 20% of required trees meet 12-14' H with 2" diameter at breast height. (c) 60% of required trees required meet 155.664 (M). 2. All properties four stories and above minimum: (a) 30% of required trees meet 14-16' H with 3" diameter at breast height. (b) 30% of required trees meet 12-14' H with 2" diameter at breast height. (c) 40% of required trees required meet 155.664 (M).		
<u>SEC 155.661 (I) Landscape Adjacent to Public Right-of-Ways – All Properties.</u> One tree for each 50 lineal feet or fraction thereof, or one tree for every 250 square feet.		
<u>SEC 155.661 (J) Landscaping Adjacent to Abutting Properties – All Properties.</u> The required number of trees shall be calculated as one tree provided for every 50 lineal feet or fractional part thereof.		
<u>SEC. 155.662 (C) Minimum Landscape Requirements for Non-Residential Properties.</u> 1. For non-residential properties the planting requirement shall be calculated on the following basis; (a) One tree every 5,000 square feet of gross area. (b) Ten shrubs every 5,000 square feet of gross area.		

SEC. 155.663 (F) Interior parking and paved area landscaping.

Parking lots shall comply with the following minimum requirements:

1. One tree:

(a) Every five parking spaces; and

(b) Every 100 square feet of interior landscaping;

2. Ten square feet of interior landscaping every parking space up to 50 spaces;

3. One hundred square feet of landscaping every ten parking spaces over 50 spaces;

4. One square foot of landscaping:

(a) Every 100 square feet of paved areas up to 50,000 square feet; and

(b) Every 200 square feet of paved area over 50,000 square feet; and

City of Pembroke Pines Landscape Code Requirements

SEC 155.631 Meet minimum bufferyard requirements.

<p><u>SEC. 155.663 (F) Interior parking and paved area landscaping.</u> Parking lots shall comply with the following minimum requirements: 1. One tree: (a) Every five parking spaces; and (b) Every 100 square feet of interior landscaping; 2. Ten square feet of interior landscaping every parking space up to 50 spaces; 3. One hundred square feet of landscaping every ten parking spaces over 50 spaces; 4. One square foot of landscaping: (a) Every 100 square feet of paved areas up to 50,000 square feet; and (b) Every 200 square feet of paved area over 50,000 square feet; and</p>		
<p>City of Pembroke Pines Landscape Code Requirements</p>		
<p><u>SEC 155.631 Meet minimum bufferyard requirements.</u></p>		



DRC REVIEW FORM

FIRE PLANS EXAMINER Brian Nettina, Asst. Fire Marshal
Bnettina@ppines.com
954.499.9566

PROJECT NAME: Memorial Primary Care
REFERENCE #: SP 2024 - 10
DATE REVIEWED: 10/30/2024

THE LIST OF ITEMS BELOW DO NOT CONFORM TO THE CITY OF PEMBROKE PINES CODE OF ORDINANCES OR OTHER GOVERNMENTAL REGULATIONS

Note: Please Place All Notes Below On a Separate Fire Access (FA) Sheet

1. Place Note on Plan: Review and approval by the AHJ shall not relieve the applicant of the responsibility of compliance with this Code per NFPA 1:1.14.4

2. Place Note on Plan: Fire Codes in effect: Florida Fire Prevention Code (FFPC) 8th Edition, effective December 31, 2023 with Broward County Amendments, which includes NFPA 101, 2021 edition, NFPA 1, 2021 edition, & State Statutes, 2019 edition (Adopted referenced publications found herein.)

3. Access Box(s). The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL 1037. A Knox Box shall be provided on all buildings that have required sprinkler systems, standpipes systems or fire alarm systems. *Please order on-line at www.knoxbox.com.*

NFPA 1-18.2.2.1

4. On Fire Access Sheet (Auto-turn plan sheet) for fire truck access, depict the attached Fire Truck and Vehicle specifications (See attached Fire Truck Specs).

5. Place notes on plan and depict on requested Fire Access Sheet: Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter construction or relocated. **NFPA-1:18.2.3.1.1**

a. Fire apparatus access roads shall consist of roadway, fire lanes, parking lot lanes, or a combination thereof. **NFPA-1:18.2.3.1.2**

b. Fire lanes shall be provided for all buildings which are a setback of more than 150' from a public roadway, or which exceed 30' in height and are setback over 50' from a public road. Fire lanes shall be at least 20 feet in width with road edge closest to the building at least ten feet from the building. **COPP CO 93.11 (B)**

6. Fire Access: More than one fire apparatus access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climate conditions, or other factors that could limit access. **NFPA-1:18.2.3.3**

a. Fire apparatus access roads for fire department use only shall have an unobstructed width of not less than 20ft. **NFPA-1:18.2.3.5.1.1**

Note: The minimum 20ft. width required by **NFPA-1:18.2.3.4.1.1** allows for two-way vehicular traffic and for one fire apparatus to pass while another is working at a fire hydrant or conducting aerial operations.

b. Driving lanes shall have a minimum clear width of 24 feet for two-way traffic, 15 feet for one-way traffic. **COPP CO 154.35 (5)**

NOTE: Fire apparatus access roads shall have an unobstructed width on not less than 20ft. **NFPA-1:18.2.3.4.1.1**

7. Place notes on plan and demonstrate: Fire access roads shall be a minimum centerline turning radius of 50'. Show min. 38' inside radius and min 62' outside radius throughout area. Show a shaded truck route including entering and leaving the site with the above turning radius numerals on plans shown throughout.

COPP Engineering department verification is required

Note: "All centerline turning radii must be a minimum 50 feet." **COPP CO 154.35 (3)**

Note: A separate sheet must be provided when the plans are submitted demonstrating the fire apparatus ability to maneuver throughout the fire access road using the fire apparatus specifications provided.

8. Place note on plan: The required width of a fire apparatus access road shall not be obstructed in any manner, including by the parking of vehicles.

NFPA-1:18.2.5.1.1

9. Place note on plan and depict: Fire apparatus access roads shall have an unobstructed vertical clearance of not less than **13ft. 6in.** **NFPA-1:18.2.3.5.1.2**

Note: Permanent, weatherproof signage will be required for fire apparatus access routes.

Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus. **NFPA-1:18.2.3.4.1.2.2**

a. There shall be a **14' minimum width at level 6' to 8'** from roadway to accommodate vehicle mirrors where applicable.

b. Minimum required widths and clearances established under 18.2.3.5 shall be maintained at all times. **NFPA 1-18.2.4.1.2**

10. Place note on plan: The angle of approach and departure for any means of the fire apparatus access road shall not exceed 1 ft drop in 20 ft or design limitations of the fire apparatus of the fire department and shall be subject to approval by the AHJ.

NFPA-1:18.2.3.5.6.2

11. Place note on plan: Fire department access roads connecting to roadways shall be provided with curb cuts extending at least 2 ft beyond each edge of the fire apparatus access road. **NFPA-1:18.2.3.5.3.3**

12. Place note on plan: The design and use of traffic calming devices shall require approval by the AHJ and COPP Engineering Department. **NFPA-1:18.2.3.5.7**

Note: The AHJ will not approve successive traffic calming devices such as rumble strips or speed humps that cause a delay in response time and or alter patient care.

13. Place notes on plan: Where required by the AHJ, approved signs, approved roadway surface marking, or other approved notices shall be provided and maintained to identify fire apparatus access roads or to prohibit the obstruction thereof or both. **NFPA-1:18.2.3.6.1**

a. The designation of fire lanes or fire zones on private property shall be accomplished as specified by the City Fire Chief or a subordinate appointed by him to perform this duty. Signs shall be posted designating such fire lanes or zones.

COPP CO 93.12

b. Fire lanes shall be designated by yellow thermoplastic paint, striping, or marking of curbs and roadway between each fire lane; sign(s) shall be provided.

See Fire Lane Detail.

c. Fire Lane Sign(s) shall be 18" by 24" and shall be marked with freestanding signs with the wording "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" or similar wording. Such signs shall be 12 in by 18 in with white background and red letters and shall be a maximum of seven feet in height from the roadway to be the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet apart. **NFPA-1:18.2.3.6.3**

14. Place note on plans: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of building are hereafter constructed or moved into the jurisdiction. The approved water supply shall be in accordance with Section 18.4. **NFPA-1:18.3.1**

Fire flow calculations for manual fire suppression purposes are required to be provided in accordance with **NFPA-1:18.4**.

Note: Fire flow calculations must be provided on separate sheets prior to approval on engineering permits. Fire Flows must be signed and sealed by a Professional Engineer.

Note: The Fire Flow Test must be witnessed by a Pembroke Pines Fire Inspector. Please call **(954) 499-9560** to coordinate a test date and time.

15. Place note on plan: All Support/Sign Posts Shall Conform To Current Broward County Traffic Engineering Division (BCTED) Standards For Square Tube Sign Posts With Either A Square Anchor Or Triangular Slip Base per BCTED 'Ground Sign Assembly Details'.

NOTE: Detail Provided Below

16. Place note on plan: In all **new** and **existing** buildings, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ.

NFPA-1:11.10.2

The Owner's Rep or GC shall conduct a Preliminary Initial Assessment to determine if the minimum radio signals strength for fire department communication is in compliance with Broward County standards.

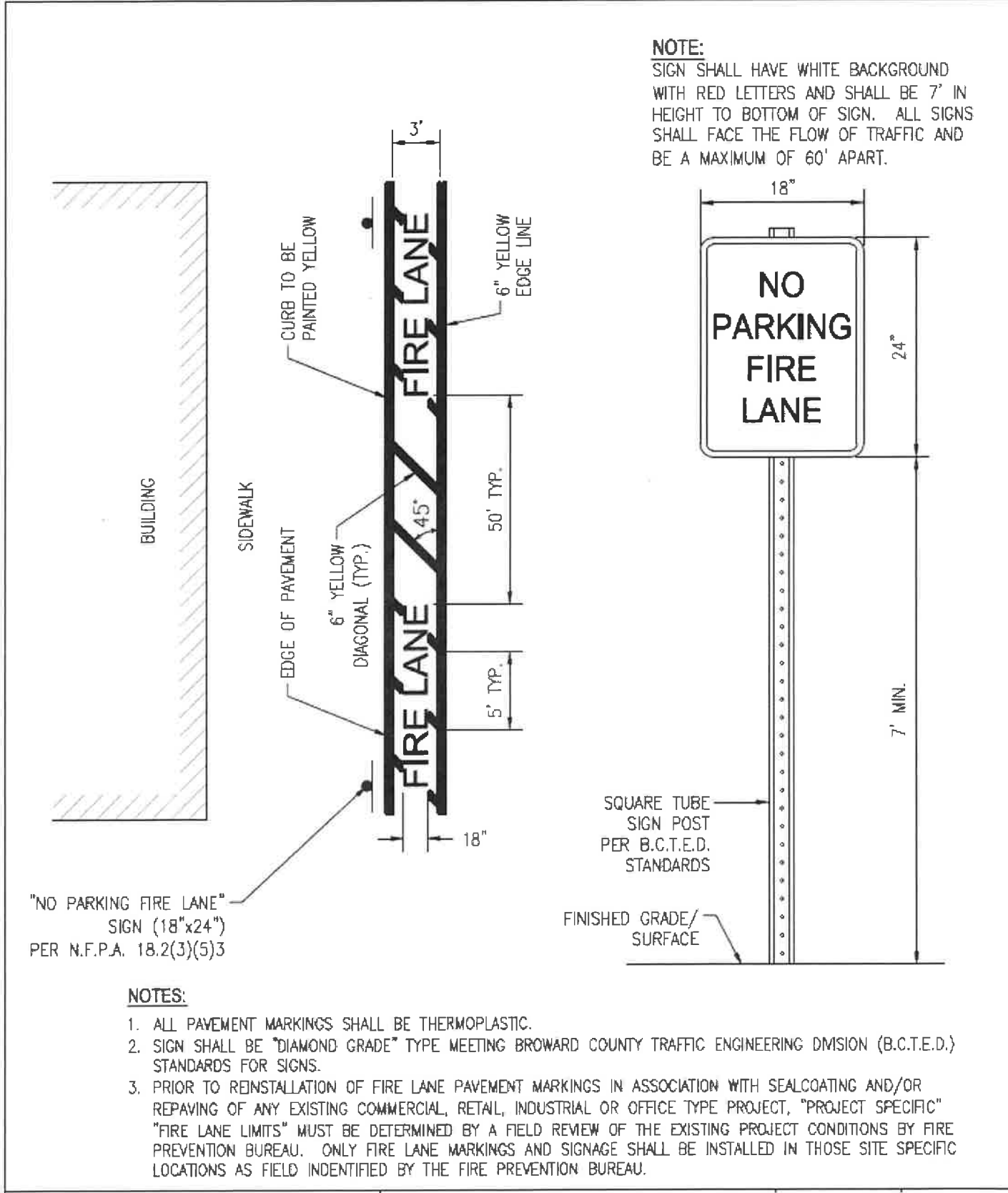
Prior to any testing, the occupancy shall be structurally completed with all interior partitions, windows and doors installed. It is recommended that the structure is equipped with an infrastructure to allow for installation if it is later determined that a BDA is required.

An assessment will be conducted by the Owner's Rep or GC to determine if the minimum radio signals strength for fire department communication in the occupancy is in compliance, in accordance with **NFPA-1:11.10.1** and **NFPA-72:24.5.2.2.1** through **NFPA-72:24.5.2.2.3**.

Radio coverage shall be provided throughout the building as a percentage of floor area as specified below in accordance with **NFPA-72:14.4.12.1.2** through **NFPA-72:14.4.12.1.4** and **NFPA-24.5.2.3**.

NOTE: A test grid (Heat Map) plan shall be produced to ensure testing throughout the building.

NOTE: Signal levels shall be measured to ensure the system meets the criteria of NFPA 24.5.2.3 with a minimum inbound signal strength of -95 dBm and a minimum outbound signal on -95 dBm at the donor site.

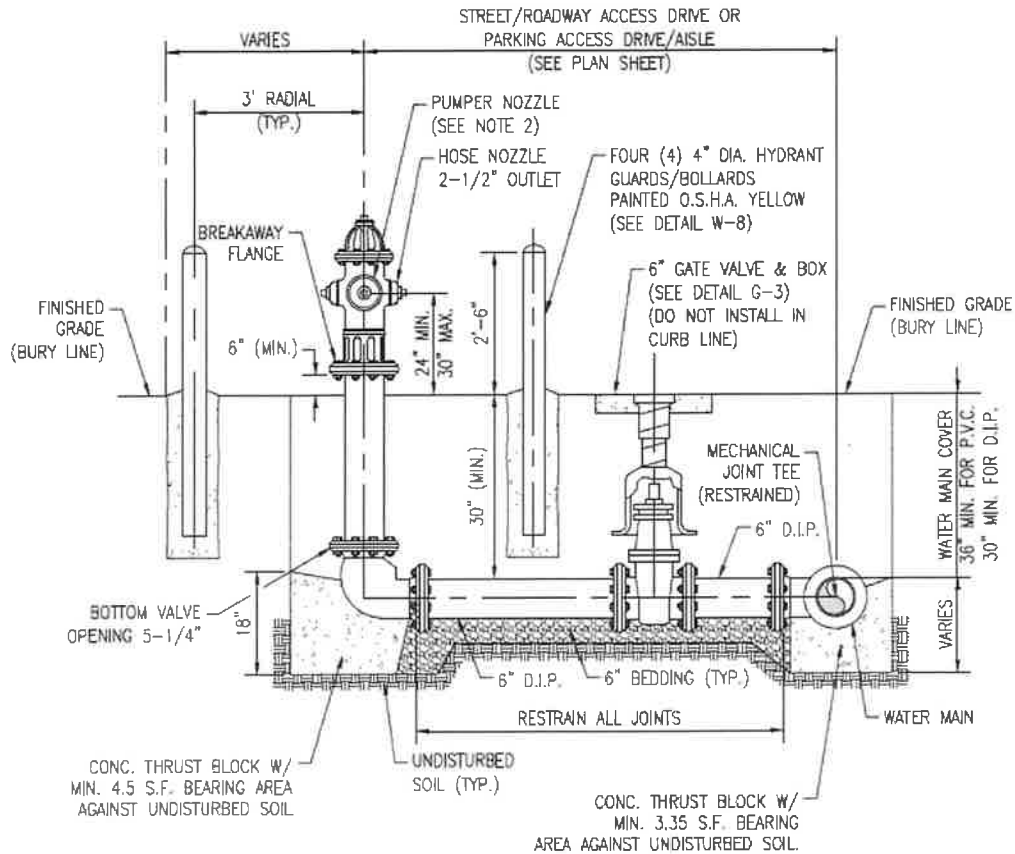


NOTE:
SIGN SHALL HAVE WHITE BACKGROUND WITH RED LETTERS AND SHALL BE 7' IN HEIGHT TO BOTTOM OF SIGN. ALL SIGNS SHALL FACE THE FLOW OF TRAFFIC AND BE A MAXIMUM OF 60' APART.

"NO PARKING FIRE LANE"
SIGN (18"x24")
PER N.F.P.A. 18.2(3)(5)3

- NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
 2. SIGN SHALL BE "DIAMOND GRADE" TYPE MEETING BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (B.C.T.E.D.) STANDARDS FOR SIGNS.
 3. PRIOR TO REINSTALLATION OF FIRE LANE PAVEMENT MARKINGS IN ASSOCIATION WITH SEALCOATING AND/OR REPAVING OF ANY EXISTING COMMERCIAL, RETAIL, INDUSTRIAL OR OFFICE TYPE PROJECT, "PROJECT SPECIFIC" "FIRE LANE LIMITS" MUST BE DETERMINED BY A FIELD REVIEW OF THE EXISTING PROJECT CONDITIONS BY FIRE PREVENTION BUREAU. ONLY FIRE LANE MARKINGS AND SIGNAGE SHALL BE INSTALLED IN THOSE SITE SPECIFIC LOCATIONS AS FIELD IDENTIFIED BY THE FIRE PREVENTION BUREAU.

FIRE HYDRANT DETAIL



NOTES :

1. FIRE HYDRANT SHALL HAVE A MINIMUM 5 1/4" BOTTOM VALVE WITH A 4 1/2" PUMPER NOZZLE AND TWO (2) 2 1/2" HOSE NOZZLE OUTLETS. FIRE HYDRANT SHALL BE FACTORY PAINTED O.S.H.A. YELLOW.
2. BURY DEPTH FOR FIRE HYDRANT IS 3 FEET & 6 INCHES ABOVE THE FINISHED FLOOR LEVEL.
3. PUMPER NOZZLE OF THE FIRE HYDRANT TO FACE THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS DRIVE / ISLE AND A BLUE REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE INSTALLED IN THE CENTER OF THE TRAVEL LANE OF THE NEAREST ADJACENT STREET / ROADWAY, ACCESS DRIVE OR PARKING ACCESS / DRIVE.
4. HYDRANT GUARDS / BOLLARDS SHALL BE PROVIDED AROUND THE FIRE HYDRANT AS SHOWN WHEN THE FIRE HYDRANT IS LOCATED WITHIN SIX (6') FEET OF THE EDGE OF PAVEMENT OF A PUBLIC / FACE OF CURB OF AN ACCESS DRIVE, PARKING ACCESS DRIVE / AISLE OR "TURNING RADIUS".
5. A SEVEN AND A HALF (7 1/2) FOOT CLEAR RADIUS AROUND THE FIRE HYDRANT SHALL BE MAINTAINED AT ALL TIMES.

6. FIRE HYDRANT GATE VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE "SUPPLY MAIN". SHOULD THE DISTANCE FROM THE "SUPPLY MAIN" TO THE FIRE HYDRANT LOCATION EXCEED TWENTY (20) FEET THEN A SECOND GATE VALVE IS REQUIRED TO BE INSTALLED AT THE HYDRANT.

4. PIPING AND ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE COATING OR CITY APPROVED EQUAL BASED UPON MANUFACTURER'S RECOMMENDATION PER APPLICATION.

5. ALL CONTROL VALVES OR GATES TO BE CHAINED AND LOCKED.

Pembroke Pines Fire Truck Specifications

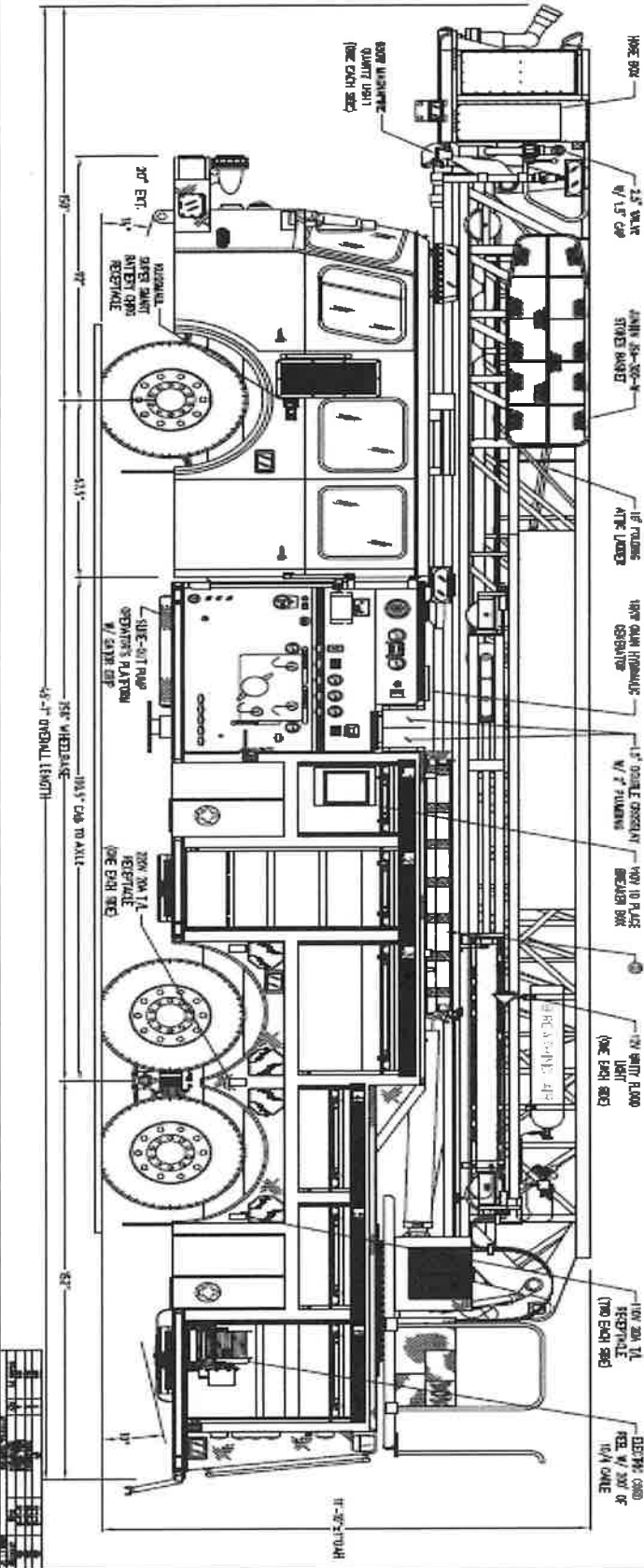


**PEMBROKE PINES FIRE DEPT.
PEMBROKE PINES, FL**

SO.128635
L105 AERIAL BODY
F715 HOVLAKE CHASSIS
1495 105 PLATFORM

APPROVED FOR PRODUCTION

DESIGNED BY: **BEH** DATE: **05-12-04**



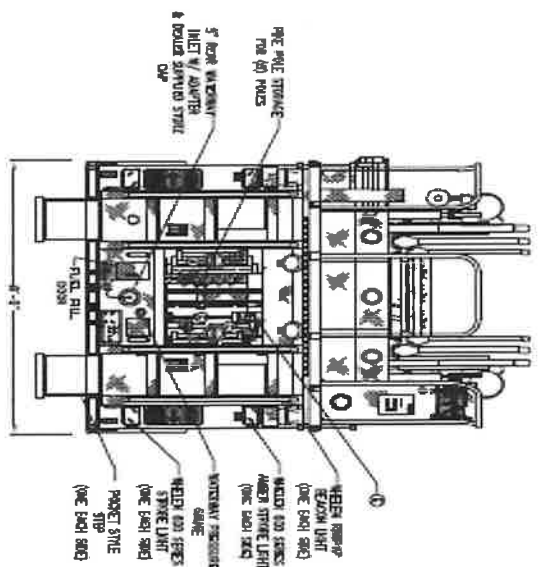
1750 GPM. HALF G-WAY PUMP
150 GALLON WATER TANK

COMP.	ORDERING	INITIALS	DESCRIPTION
L1	24W 20H	20W	24H 100
R1	24W 25H	20W	24H 100
L2/R2	27W 50H	30W	27H 100
L3/R3	46W 29H	30W	46H 100
L4/R4	38W 31H	40W	38H 100
L5/R5	38W 31H	40W	38H 100
L6/R6	32W 42H	30W	32H 100

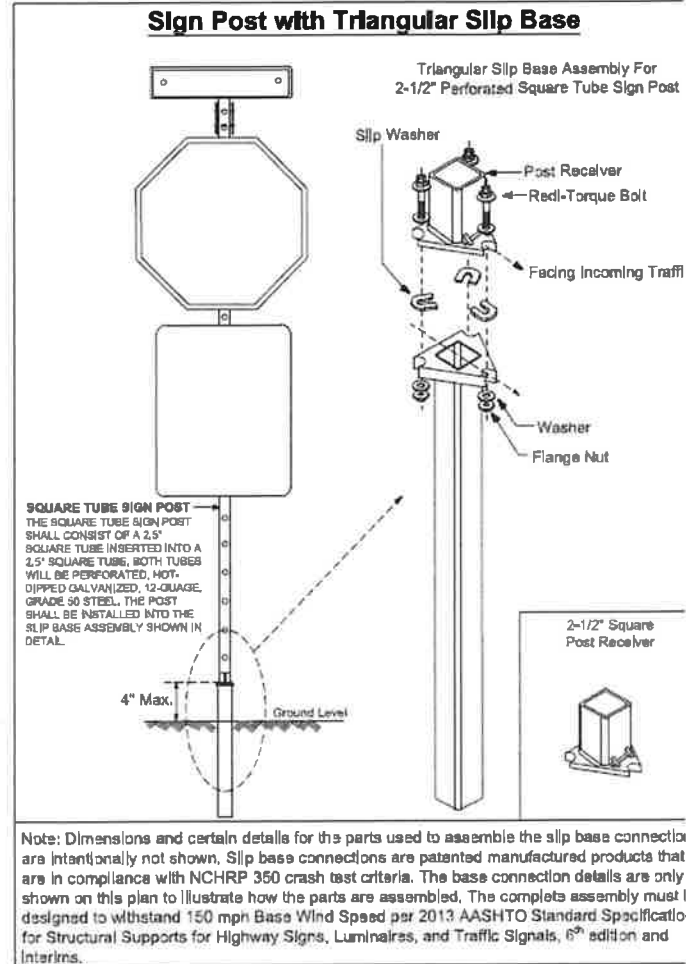
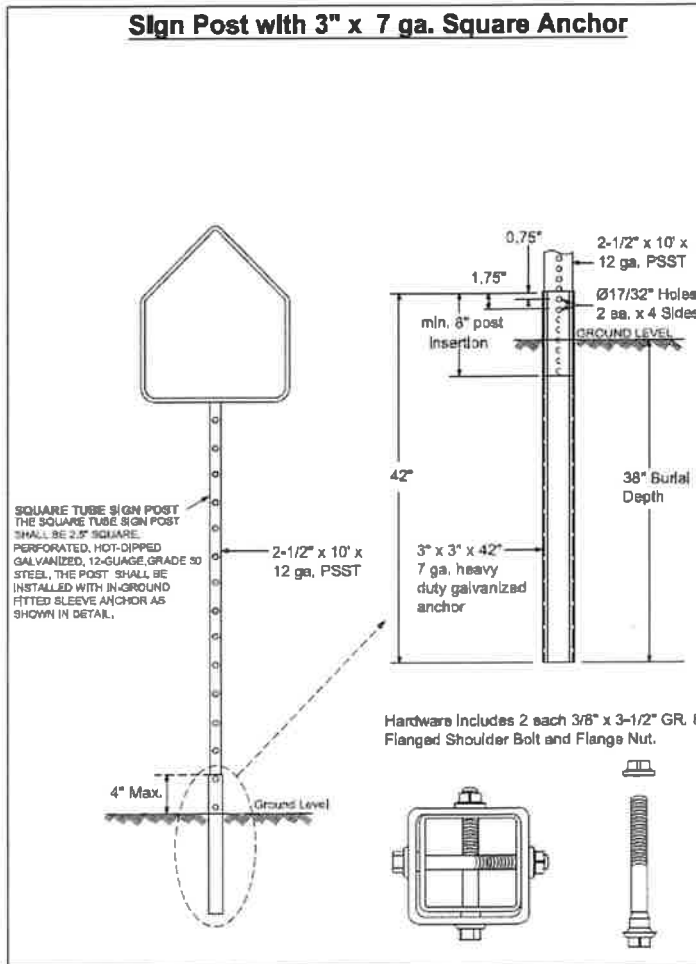
THIS DRAWING IS FOR PEMBROKE FIRE DEPT. ALL DIMENSIONS ARE SUBJECT TO HOVLAKE VARIATION DUE TO MANUFACTURING PRACTICES.

TYPE	LAUNDRY NUMBER	WASHING	QUANTITY
A	30" 3-SECT.	PH-3-38	1
B	30" 3-SECT.	PH-38	1
C	1/2" ROOF	PH-16	2
D	1/2" COILS	CL-14	1
E	1/2" FOLDING	FL-90	1

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Ground Sign Assembly Details



MEMORANDUM

October 29, 2024

To: Cole Williams, AICP
Senior Planner

From: Laura Arcila Bonet
Planner/ Zoning Tech

Re: SP 2024-0010 (Memorial Urgent Care)

The following are my comments regarding the above Site Plan:

1. Provide color elevations of all sides, showing color names, color numbers, finishes, materials, etc. on all.
2. Provide signage details if any wall signage is being proposed.
3. Provide details for monument sign (height, length, type of material, etc.).
4. If directional signs are proposed, they cannot exceed 1.5 sq. ft. in size.
5. Provide detail showing roof mounted equipment. All air-conditioning units, mechanical equipment, and the like, whether roof mounted or at grade shall be shielded and hidden so that they shall not be visible from a point six feet above the ground from any abutting public or private right- of-way and/or property line.
6. Provide physical material board.
7. If desired, contact Sherrell Jones-Ruff (954-628-3725 or at sjonesruff@cgasolutions) in the Building Department to set up Pre-Application meeting to review submittal and review of Building Permits.
8. If you have any questions, you can contact me lcastanoarcila@ppines.com

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: October 22, 2024
To: SP 2024-0010 file
From: Cole Williams, Senior Planner
Re: Memorial Urgent Care

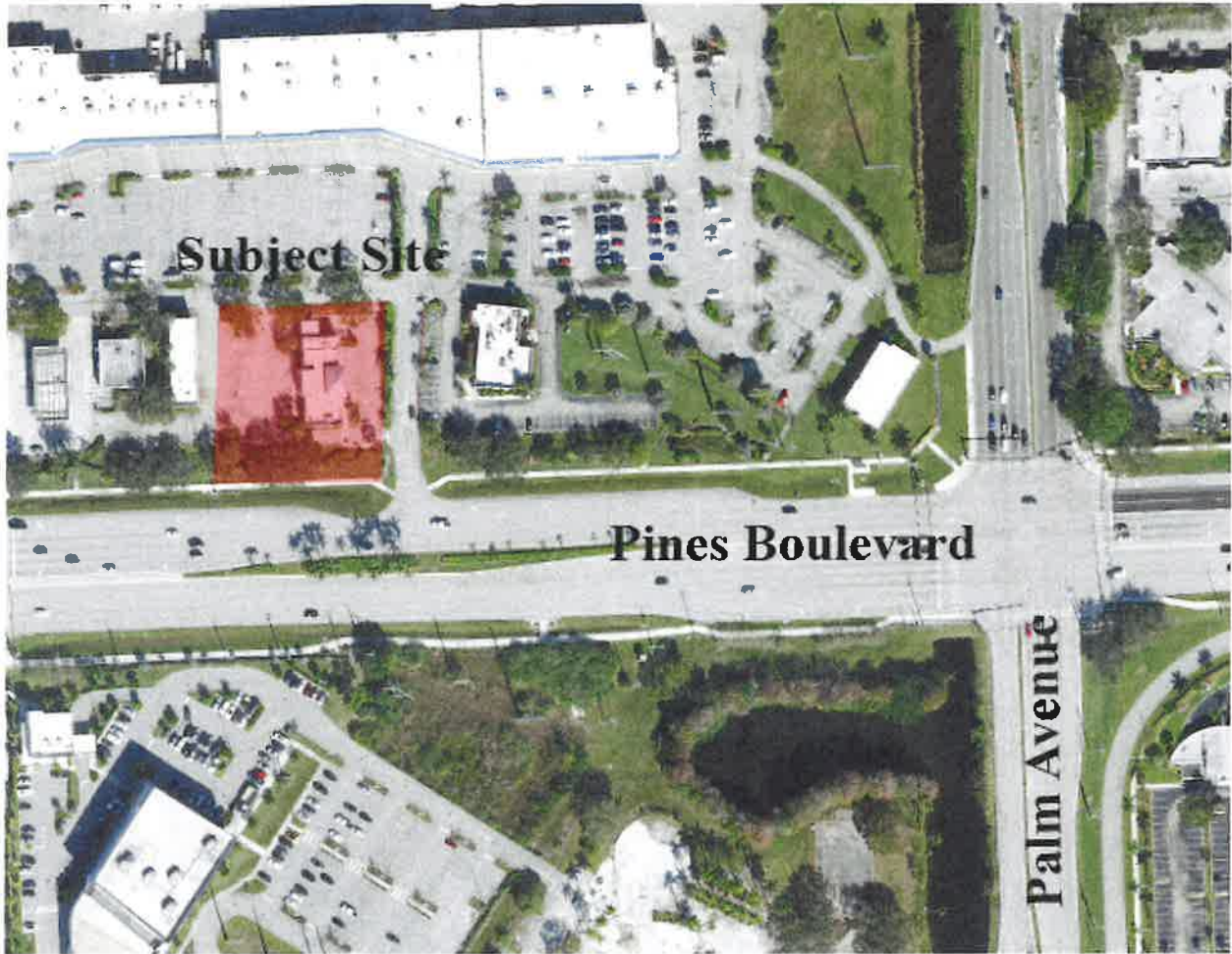
Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide notification per Code Requirements. Section 155.302.
 - HOA notice must be provided to the following communities.
 - Charleston in the Pines, Hillary, 1945 SW 60 Avenue North Lauderdale, FL 33068 954-745-0899 Hillary@selectpropertiesfl.com Select Properties
2. Provide material board with physical samples of all colors and materials used.
3. Clarify the color of the dumpster enclosure and gates.
4. Are the dumpster enclosure gates being replaced, if so provide details.
5. Clarify if there is any new rooftop equipment, if so provide details of all rooftop equipment. Equipment must be screened from view. Reference 155.637.
6. Any ground mounted mechanical equipment? If so, provide locations.
7. Clarify if the existing light fixtures will be replaced, if so provide details.
8. Provide details of the monument sign face. Vinyl lettering on a flat background is not permitted.
9. Landscape is a minimum of 24" in height is required around the base of the monument sign.
10. Clarify if any wall signage is being proposed, if so provide details.
11. Provide elevations and details (in color and black and white) of the removal and infill of the existing drive-thru equipment.
12. Ensure all colors and materials are labeled on elevations.
13. Parking spaces marked for employee parking only cannot be counted towards the required parking for the site.
14. Provide letter detailing the sustainable practices utilized. Reference 155.6120 – 155.6123.
15. Provide a letter detailing the economic impact the proposed development will have on the City.
16. Provide a business operations statement detailing services provided and the hours of operation.
17. Will there be any above ground or underground tanks? (oxygen etc...). If so, please provide locations.
18. Provide details of how medical waste will be disposed of.
19. Further comments may apply as more details are provided.
20. Resubmittal must include an itemized response to all comments made by DRC members. In your resubmittal you must restate the comment, give an explanation of

what you have done to alleviate the comment and show where the comment was addressed on the plans (page number and the details which may help staff identify revisions quickly). The DRC will not review your resubmittal if you fail to provide this response.

SUBJECT SITE AERIAL PHOTO
(SP2024-0010, PRJ2024-0014)

Memorial Healthcare Urgent & Primary Care Center



Memorial Healthcare System URGENT & PRIMARY CARE CENTER MEMORIAL HEALTHCARE SYSTEM

10175 PINES BLVD PEMBROKE PINES, FLORIDA

URGENT & PRIMARY CARE CENTER MEMORIAL HEALTHCARE SYSTEM

CLIENT/PROJECT TEAM

OWNER/CLIENT: MEMORIAL HEALTHCARE SYSTEM... ARCHITECT: SALTZ MICHELSON ARCHITECTS... CIVIL: HOLLAND ENGINEERING, INC.

LANDSCAPE: LANDART PLANNING & DESIGN, LLC... MECHANICAL/ELECTRICAL/PLUMBING: MILLWORK DESIGN ENGINEERING, LLC

GENERAL NOTES

GENERAL WORK AND CONSTRUCTION NOTES

- 1. DO NOT SCALE DRAWINGS. 2. THIS SET OF DRAWINGS FOR PERMIT WORK ONLY. 3. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND EXAMINE THE PLANS... 10. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK AND OCCUPANCY.

GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK. 2. THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR REVIEW... 10. UTILITY SERVICES: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.

REFLECTED CEILING NOTES

- 1. SPRINKLER HEAD LOCATIONS ARE NOT INDICATED ON THE REFLECTED CEILING PLANS. THE CONTRACTOR SHALL INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE COMPLETE AUTOMATIC SPRINKLER COVERAGE AS DEFINED IN NFPA STANDARD 13 AND SECTION 15500 IN THE PROJECT MANUAL... 5. THE CONTRACTOR SHALL ADVISE THE OWNER AND TENANTS THAT AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.

GENERAL PARTITION NOTES

- 1. ALL PARTITIONS SHALL BE INSTALLED ABOVE CEILING LINE PER WALL TYPES. SEE WALL TYPES. 2. METAL STUDS SHALL BE 20GA METAL STUDS (SIZE AS SCHEDULED) @ 16" MAX O.C. (UNLESS OTHERWISE NOTED)... 5. SEAL PARTITION TO FLOOR WITH FLEXIBLE SEALANT.

ONE HOUR RATED PARTITION

- 3/8" 20GA METAL STUDS (MIN) @ 16" MAX O.C. (UNLESS OTHERWISE NOTED), W/ ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE, APPLIED VERTICALLY, FROM FLOOR SLAB TO DECK ABOVE STAGGER ALL VERTICAL JOINTS 16" O.C. MINIMUM... 14. ALL MATERIALS AND WORK TO CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS.

NON-RATED PARTITION TO DECK

- 3/8" 20GA METAL STUDS (MIN) @ 16" MAX O.C. (UNLESS OTHERWISE NOTED), W/ ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE, APPLIED VERTICALLY, FROM FLOOR SLAB TO DECK ABOVE STAGGER ALL VERTICAL JOINTS 16" O.C. MINIMUM... 4. VERIFY WITH MHS SERVICE REPRESENTATIVE THE REQUIREMENTS FOR ACCESS CONTROLLED EGRESS DOORS.

NON-RATED SMOKE TIGHT PARTITION

- 3/8" 20GA METAL STUDS (MIN) @ 16" MAX O.C. (UNLESS OTHERWISE NOTED), W/ ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE, APPLIED VERTICALLY, FROM FLOOR SLAB TO DECK ABOVE STAGGER ALL VERTICAL JOINTS 16" O.C. MINIMUM... 4. VERIFY WITH MHS SERVICE REPRESENTATIVE THE REQUIREMENTS FOR ACCESS CONTROLLED EGRESS DOORS.

SOUND ATTENUATION BLANKETS

- R11 SOUND ATTENUATION BLANKETS SHALL BE INSTALLED IN ALL METAL STUD INTERIOR WALL CAVITIES... 6. DURING ITS SWING, ANY DOOR IN A MEANS OF EGRESS SHALL LEAVE NOT LESS THAN ONE-HALF OF THE REQUIRED WIDTH OF AN AISLE, CORRIDOR OR PASSAGEWAY UNOBSTRUCTED AND SHALL NOT PROJECT MORE THAN 7 INCHES INTO THE REQUIRED WIDTH OF AN AISLE, CORRIDOR OR PASSAGEWAY OR LANDING, WHEN FULLY OPEN.

SCOPE OF WORK

- 1. INTERIOR DEMOLITION OF SELECTED AREAS OF EXISTING BANK. 2. TENANT INTERIOR BUILDOUT TO ACCOMMODATE NEW MEDICAL FACILITIES INCLUSIVE OF: A. URGENT CARE FACILITY. B. PRIMARY CARE MEDICAL PRACTICE.

MANUFACTURER'S INSTRUCTIONS

MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN...

UNLESS OTHERWISE NOTED, ALL OWNER PROVIDED ITEMS SHALL BE INSTALLED BY THE CONTRACTOR. THE INSTALLING CONTRACTOR OF ALL OWNER PROVIDED ITEMS SHALL PREPARE COORDINATION SHOP DRAWINGS TO CONFIRM INSTALLATION REQUIREMENTS PRIOR TO RECEIVING EQUIPMENT...

NATIONAL ACCOUNTS PROGRAM

MEMORIAL HEALTHCARE SYSTEM HAS A NATIONAL ACCOUNTS PROGRAM WITH SELECTED MANUFACTURERS AND/OR DISTRIBUTORS THROUGH PREMIER PURCHASING PARTNERS, LP... PREMIER TRACKING NUMBER: MEMORIAL FL 0085

DRAWING INDEX

Table with columns: SHEET NUMBER, SHEET NAME, SHEET ISSUE DATE, REV #, DATE, SHEET REVISIONS DESCRIPTION. Includes sheets for GENERAL, CIVIL, LANDSCAPE, ARCHITECTURAL, MECHANICAL, FIRE PROTECTION, PLUMBING, and ELECTRICAL.



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COUNTY LOCATION MAP



Charles Michelson AR0009976

AERIAL MAP



SITE LOCATION



Project No.: 2023-177 Drawn By: ER Checked By: ER Date: 07.25.24 REVISIONS

COVER SHEET

G001

ARCHITECTURAL ABBREVIATIONS

A	AND
@	AT
Ø	DIAMETER
AB	ANCHOR BOLT
AC	AIR CONDITIONER
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
A.F.S.	ABOVE FLOOR SLAB
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
ANGD	ANGLED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APPROX.	APPROXIMATE OR APPROXIMATELY
ARCH	ARCHITECTURE, ARCHITECTURAL
AVG	AVERAGE
A.W.I.	ARCHITECTURAL WOODWORK INSTITUTE
B.H.M.I.	BUILDER'S HARDWARE MANUFACTURER'S ASSOCIATION, INC.
BIM	BUILDING INFORMATION MODELING
BLDG.	BUILDING
BM	BEAM
B.O.	BOTTOM OF
B.U.R.	BUILT-UP ROOFING
C	CENTERLINE
G.O.T.S.	CENTERLINE OF TENANT SEPARATION
C.J.	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CLD	CLOSED
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COLS	COLUMNS
CONC	CONCRETE
CONT.	CONTINUOUS
D.S.	DOWNSPOUT
DIA.	DIAMETER
DR	DOOR
DTL. OR DET.	DETAIL
DWG	DRAWING
EA	EACH
E.F.S.	EXTERIOR FACE OF SHEATHING
E.J.	EXPANSION JOINT
ELEC	ELECTRIC, ELECTRICAL
ELEV.	ELEVATION
E.O.S.	EDGE OF SLAB
ENG	ENGINEER, ENGINEERING
E.P.	ELECTRICAL PANEL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQUIP.	EQUIPMENT
E.R.D.	EMERGENCY ROOF DRAIN
E.T.D.	ESTIMATED TRAVEL DISTANCE
E.W.C.	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPANSION, EXPOSED
EXT.	EXTERIOR
F.D.	FIRE DAMPER, FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEQ	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
FHC	FIRE HOSE CABINET
F.N.	FINISH, FINISHED
FLR	FLOOR
F.O.	FACE OF
F.O.B.	FACE OF BRICK
F.O.P.	FACE OF POST
FT	FEET
FTG	FOOTING
F.V.	FIELD VERIFY
FRP	FIBER REINFORCED PANEL
GA	GAUGE
GALV.	GALVANIZED
GBF	GYP. BOARD FURRING
GL	GLASS
G.P.	GLOSSY PAINT
GYP.	GYP. BOARD
GWB	GYP. BOARD
HB	HOSE BIBB
HDW.	HARDWARE
HST. OR HT.	HEIGHT
HKS	HOOKS
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HVAC	HEATING VENTILATION & AIR CONDITIONING
I.D.	INSIDE DIAMETER
I.F.S.	INTERIOR FACE OF STUD
ie	THAT IS, SUCH AS
IN	INCH, INCHES
INSUL	INSULATION
INT.	INTERIOR
JT.	JOINT
JAN	JANITOR
JST.	JOIST
K.P.	KICK PLATE
LAM	LAMINATE
LAV	LAVATORY
LB	POUND
LDG.	LANDING
LONG	LONGITUDINAL
LT	LIGHT
L.TG.	LIGHTING
LRV.	LOUVER
LVT	LUXURY VINYL TILE
LVP	LUXURY VINYL PLANK

MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MFGR.	MANUFACTURER
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MOD.	MODIFIED
MTL.	METAL
MWP.	METAL WALL PANEL
NO	NUMBER
NIA	NOT APPLICABLE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OPG	OPENING
OPP.	OPPOSITE
OSHA	OCCUPATIONAL SAFETY AND HEALTH ACT
OVHD	OVERHEAD
PDU	POWER DISTRIBUTION UNIT
P.LAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PNL.	PANEL
FR	FABRICATION
PRE-FAB	PRE-FABRICATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT, PRESURE TREATED
PVC	POLYVINYL CHLORIDE
Q.T.	QUARRY TILE
R	RADIUS
R.A.F.	RAISED ACCESS FLOOR
R.A.G.	RETURN AIR GRILLE
RB	RUBBER BASE
RECEP.	RECEPTION, RECEPTIONIST
REF.	REFRIGERATOR, REFER, REFERENCE
REFR.	REFRIGERATING, REINFORCEMENT
REQ'D.	REQUIRED
REV.	REVISED, REVISION
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
SC	SEALED CONCRETE
SCHED.	SCHEDULE
SCW	SOLID CORE WOOD
SECT.	SECTION
S.F.	SQUARE FEET
SFRM	SPRAYED FIRE RESISTIVE MATERIAL
S.G.P.	SEMI-GLOSS PAINT
SQ. IN.	SQUARE INCHES
SHT.	SHEET
SHTS.	SHEETS
SIM	SIMILAR
SPECS	SPECIFICATIONS
S.S.	SERVICE SINK
STC	SOUND TRANSMISSION CLASS
STD.	STANDARD
STL	STEEL
STOR.	STORAGE
STRUCT	STRUCTURE, STRUCTURE
SUSP.	SUSPENDED
SQ.	SQUARE
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TG	TEMPERED GLASS
T.O.STL	TOP OF STEEL
T.O.B.	TOP OF BRICK, TOP OF BEAM
T.O.S.	TOP OF STEEL, TOP OF SLAB
T.O.SH	TOP OF SHEATHING
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORIES
U.O.N	UNLESS OTHERWISE NOTED
VCT OR VT	VINYL COMPOSITION TILE
VB	VAPOR BARRIER
VDC	VIRTUAL DESIGN & CONSTRUCTION
VERT.	VERTICAL
VR	VIRTUAL REALITY
W	WITH
W.C.	WATER CLOSET
WCO	WALL CLOSURE
WMP	WIRE MESH PARTITION
WD	WOOD
WWF	WELDED WIRE FABRIC
YD	YARD

PLAN SYMBOLS

BUILDING SECTION	CALLOUT HEAD & REGION
DETAIL SECTION	DOOR TAG
ELEVATION - EXTERIOR	ELEVATION - INTERIOR
KEYNOTE	LEVEL HEAD
NORTH ARROW	REVISION TAG
ROOM TAG	ROOM TAG W/ AREA
SPECIALTY EQUIPMENT TAG	VIEW REFERENCE
VIEW TITLE	WALL & CURTAIN WALL TAG
WINDOW SECTION	WINDOW & LOUVER TAG

DRAWING TITLE
SCALE: 1/8" = 1'-0"

MATERIAL SYMBOLS

		AR0009976



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Charles Michelson AR0009976

Project No.:
2023-177
Drawn By:
ER
Checked By:
ER
Date:
07.25.24

REVISIONS

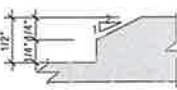
SYMBOLS AND ABBREVIATIONS

G002

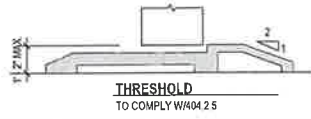
URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
PEMBROKE PINES, FL



VERTICAL LEVEL CHANGE TO COMPLY W903.2



BEVELED CHANGE IN LEVEL TO COMPLY W903.3



THRESHOLD TO COMPLY W904.2.5

303.2 VERTICAL CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL (FIG. 303.2)

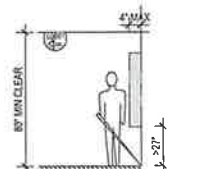
303.3 BEVELED CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (FIG. 303.3)

303.4 RAMPED CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND SHALL COMPLY WITH 405 AND 406

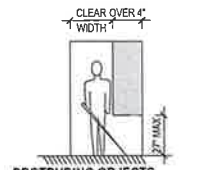
404.2.5 THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2" HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH 302 AND 303

1 CHANGES IN LEVEL (FAC 303)

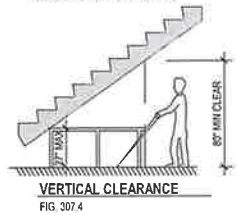
G004 SCALE: N.T.S.



LIMITS OF PROTRUDING OBJECTS FIG. 307.2



PROTRUDING OBJECTS



VERTICAL CLEARANCE FIG. 307.4

2 PROTRUDING OBJECTS (FAC 307)

G004 SCALE: N.T.S.

DOOR ACCESSIBILITY NOTES

404.2.3 CLEAR WIDTH DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (815 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES (610 MM) DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES (915 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES (865 MM) ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES (865 MM) AND 60 INCHES (1520 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES

EXCEPTIONS: 1. IN ALTERATIONS, A PROJECTION OF 5/8 INCH (16 MM) MAXIMUM INTO THE REQUIRED CLEAR WIDTH SHALL BE PERMITTED FOR THE LATCH SIDE STOP 2. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 7/8 INCH (1980 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND

404.2.4 MANEUVERING CLEARANCES MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH TABLE 404.2.4.1 MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE

404.2.5 THRESHOLDS THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH (13 MM) HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH 302 AND 303

EXCEPTION: EXISTING OR ALTERED THRESHOLDS 3/4 INCH (19 MM) HIGH MAXIMUM THAT HAVE A BEVELED EDGE ON EACH SIDE WITH A SLOPE NOT STEEPER THAN 1:2 SHALL NOT BE REQUIRED TO COMPLY WITH 404.2.5

404.2.6 DOOR CLOSERS AND GATE CLOSERS DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM

404.2.8 DOOR AND GATE OPENING FORCE FIRE DOORS SHALL HAVE A MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:

- 1. INTERIOR HINGED DOORS AND GATES: 5 POUNDS (22.2 N) MAXIMUM
2. SLIDING OR FOLDING DOORS: 5 POUNDS (22.2 N) MAXIMUM

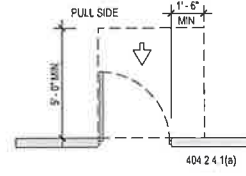
THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION

CONTROL & DEVICE ACCESSIBILITY

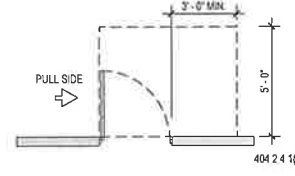
302.2 CLEAR FLOOR SPACE A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 SHALL BE PROVIDED

303.3 HEIGHT OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES SPECIFIED IN 308

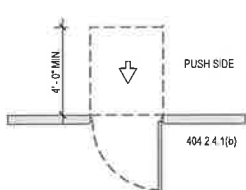
303.4 OPERABLE PARTS OPERATION OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM



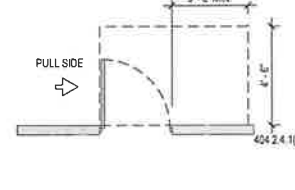
404.2.4.1(a)



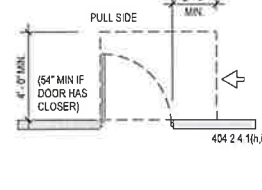
404.2.4.1(c)



404.2.4.1(b)



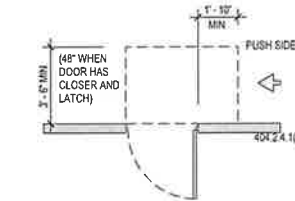
404.2.4.1(d)



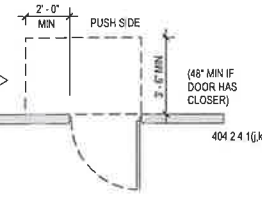
404.2.4.1(e)



404.2.4.1(f)



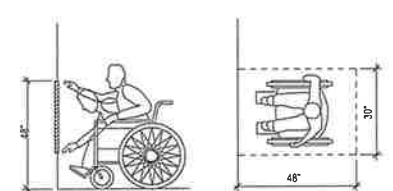
404.2.4.1(g)



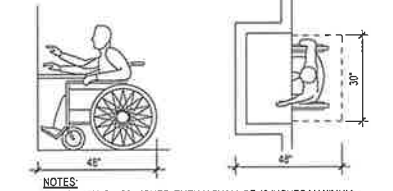
404.2.4.1(h)

4 ACCESSIBLE DOORS & CLEARANCES (FAC 404)

G004 SCALE: N.T.S.



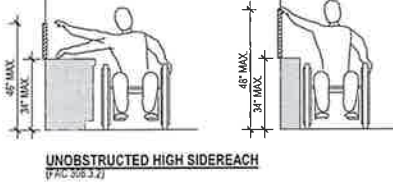
UNOBSTRUCTED FORWARD REACH (FAC 308.2.1)



UNOBSTRUCTED HIGH FORWARD REACH (FAC 308.2.2)



UNOBSTRUCTED SIDE REACH (FAC 308.3.1)



UNOBSTRUCTED HIGH SIDEREACH (FAC 308.3.2)

3 REACH RANGES (FAC 308)

G004 SCALE: N.T.S.

THE ACCESSIBLE DRINKING FOUNTAIN MEETS ALL OF THE REQUIREMENTS PER FAC 602 & ANSI 602

- 1. AT THE LO ACCESSIBLE DRINKING FOUNTAIN, A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A FORWARD APPROACH, SHALL BE PROVIDED. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE DRINKING FOUNTAIN.
A. THE SPOUT SHALL BE LOCATED 15 INCHES MINIMUM FROM THE VERTICAL SUPPORT AND 5 INCHES MAXIMUM FROM THE FRONT EDGE OF THE DRINKING FOUNTAIN, INCLUDING BUMPERS.
B. THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES MINIMUM IN HEIGHT. THE ANGLE OF THE WATER STREAM FROM SPOUTS WITHIN 3 INCHES OF THE FRONT OF THE DRINKING FOUNTAIN SHALL BE 30 DEGREES MAXIMUM, AND FROM SPOUTS BETWEEN 3 INCHES AND 5 INCHES FROM THE FRONT OF THE DRINKING FOUNTAIN SHALL BE 15 DEGREES MAXIMUM

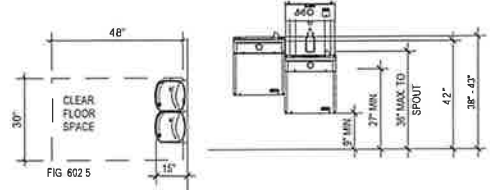


FIG. 602.5 PLAN

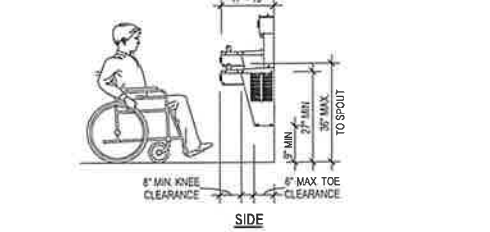
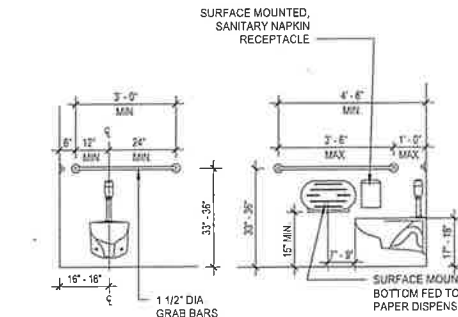


FIG. 602.5 SIDE

5 DRINKING FOUNTAINS (FAC 602)

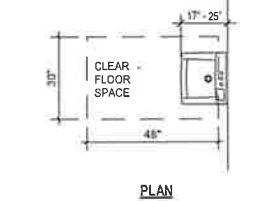
G004 SCALE: N.T.S.



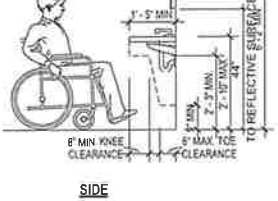
WATER CLOSETS & TOILET COMPARTMENTS (FAC 604)

G004 SCALE: N.T.S.

NOTE: HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER FAC 606.5. WATER TEMPERATURE AT ALL LAVATORIES (TOILET AND PANTRY) SHALL NOT BE GREATER THAN 110 DEGREES



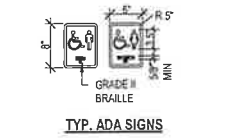
PLAN



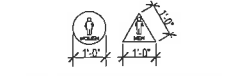
SIDE

7 LAVATORIES & SINKS (FAC 606)

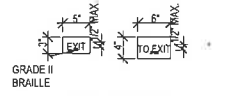
G004 SCALE: N.T.S.



TYP. ADA SIGNS



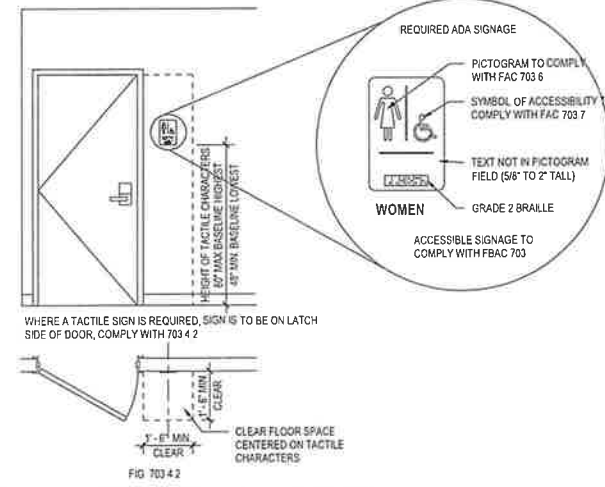
TYP. IDENTIFICATION SYMBOLS



TYP. EXIT SIGNS

8 SIGNS (FAC 703)

G004 SCALE: N.T.S.



WHERE A TACTILE SIGN IS REQUIRED, SIGN IS TO BE ON LATCH SIDE OF DOOR, COMPLY WITH 703.4.2

FIG. 703.4.2

- REQUIRED ADA SIGNAGE: PICTOGRAM TO COMPLY WITH FAC 703.6, SYMBOL OF ACCESSIBILITY TO COMPLY WITH FAC 703.7, TEXT NOT IN PICTOGRAM FIELD (5/8" TO 2" TALL), GRADE 2 BRAILLE, ACCESSIBLE SIGNAGE TO COMPLY WITH FBAC 703.
SIGNAGE NOTES: 1. CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. 2. CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM & SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8" AND A MAXIMUM OF 2" HIGH. 3. PICTOGRAMS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT. 4. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM OF 3/8" AND A MAXIMUM OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED WHEN TACTILE TEXT IS MULTILINED. ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT. 5. CONTRACTED BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED. DOTS SHALL BE 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND. BRAILLE DOTS SHALL BE DOMED OR ROUNDED. BRAILLE SHOWN IS FOR PLACEMENT ONLY. USE CORRECT BRAILLE FOR SIGN PRODUCTION. 6. WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. 7. MOUNTING HEIGHT SHALL BE 60" AFF TO THE CENTER LINE OF THE SIGNS. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WHO ENCOUNTERING PROTRUDING OBJECTS. 8. EXIT SIGN LOCATION REQUIREMENTS: 8.1 EACH GRADE LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". 8.2 EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STARWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN. 8.3 EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE". 8.4 EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE". 8.5 EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "TO EXIT". 9. ALL SIGNS SHALL COMPLY WITH STATE AND LOCAL CODES AND/OR ORDINANCES. INSTALL INTERNATIONAL SIGN OF ACCESSIBILITY AT ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE



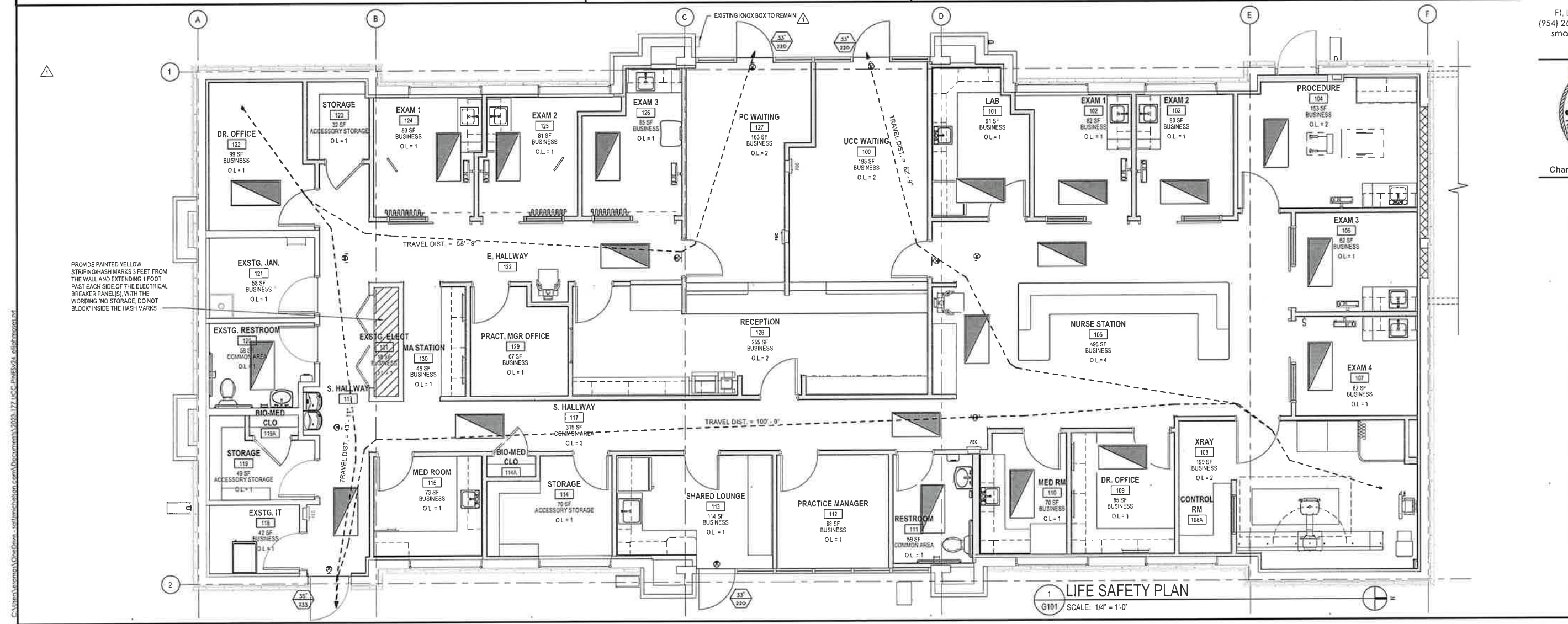
3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com



Charles Michelson AR0009976

Project No.: 2023-177 Drawn By: ER Checked By: ER Date: 07.25.24 REVISIONS

PROJECT DATA/ CODE ANALYSIS		2023 FLORIDA PLUMBING CODE		LIFE SAFETY PLAN LEGEND & SHEET NOTES																																		
<p>1 JURISDICTION CITY OF PEMBROKE PINES, FL</p> <p>2 ADDRESS: 10175 PINES BOULEVARD</p> <p>3 TENANT AREA 4,320 GROSS SQ FT</p> <p>APPLICABLE BUILDING CODES:</p> <p>BUILDING: 2023 FLORIDA BUILDING CODE (8th EDITION)</p> <p>FIRE/FARE SAFETY: 2023 FLORIDA BUILDING CODE - EXISTING BUILDING (8th EDITION) W/ 2023 EDITION FLORIDA FIRE PREVENTION CODE (FFPC - 8th EDITION) W/ BROWARD COUNTY RULES & APPEALS (BORA) AMENDMENTS (INCLUSIVE OF NFPA 1 - 2021 EDITION, NFPA 101 - 2021 EDITION & STATE STATUTES - 2019 EDITION)</p> <p>ACCESSIBILITY: 2023 FLORIDA BUILDING CODE - ACCESSIBILITY</p> <p>PLUMBING: 2023 FLORIDA PLUMBING CODE</p> <p>MECHANICAL: 2023 FLORIDA MECHANICAL CODE</p> <p>ELECTRICAL: 2023 FLORIDA ENERGY CODE</p> <p>2023 FLORIDA BUILDING CODE - BUILDING / FLORIDA FIRE PREVENTION CODE (8TH ED)</p> <p>CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION</p> <p>BUILDING OCCUPANCY TYPE: BUSINESS (GROUP 'B') - SPRINKLERED (PREVIOUS BUSINESS USE = BANK)</p> <p>CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS</p> <p>BUILDING LIMITATIONS: BUSINESS (B), TYPE II B EXISTING 1-STORY BUILDING</p> <p>CHAPTER 6 - TYPES OF CONSTRUCTION</p> <p>TYPE OF CONSTRUCTION: II-B (SPRINKLERED)</p> <p>FIRE RESISTIVE RATING REQUIREMENTS (TABLE 603.1)</p> <p>EXISTING FIRE RESISTIVE RATINGS TO REMAIN - NO CHANGE TO FIRE RATINGS</p> <p>CHAPTER 8 - INTERIOR FINISHES</p> <p>INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLE 803.1)</p> <p>GROUP "B" (SPRINKLERED)</p> <p>CHAPTER 9 - FIRE PROTECTION SYSTEMS</p> <p>(903.3.1.1) BUILDING IS EQUIPPED W/ AUTOMATIC FIRE SPRINKLER SYSTEM & WILL BE MODIFIED IN ACCORDANCE WITH NFPA 13</p> <p>(903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING & ALARMS SHALL BE PROVIDED</p> <p>(903.3.1.1) PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED TYPE 2-A MIN. RATED SINGLE FIRE EXTINGUISHER SHALL BE INSTALLED EVERY 3,000 SQ. FT. FOR CLASS A FIRES @ MAX. TRAVEL DISTANCE OF 75 FT. EXTINGUISHERS SHALL BE INSTALLED NOT LESS THAN 4in AFF AND NOT MORE THAN 5FT AFF</p>		<p>CHAPTER 4 - FIXTURES, FAUCETS, & FIXTURE SETTINGS</p> <p>OCCUPANT LOADS BY GENDER (REFER TO OCCUPANT LOADS)</p> <table border="1"> <thead> <tr> <th>BUSINESS (B)</th> <th>OCCUPANT LOAD</th> <th># FEMALE</th> <th># MALE</th> </tr> </thead> <tbody> <tr> <td></td> <td>29</td> <td>15</td> <td>15</td> </tr> </tbody> </table> <p>REQUIRED PLUMBING FIXTURES (FBC-PLUMBING TABLE 403.1)</p> <table border="1"> <thead> <tr> <th rowspan="2">BUSINESS (B)</th> <th colspan="2">WATER CLOSETS</th> <th colspan="2">LAVATORIES</th> <th rowspan="2">DRINK FOUNTAIN</th> <th rowspan="2">SERVICE SINK</th> </tr> <tr> <th>1 PER 25 (1st 50)</th> <th>1 PER 50 THEREAFTER (JURISDICTIONS PER 419.2)</th> <th>1 PER 40 (1st 80)</th> <th>1 PER 80 THEREAFTER</th> </tr> </thead> <tbody> <tr> <td>15 MALE / 15 FEMALE</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> </tr> <tr> <td>TOTAL PROVIDED</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> </tr> </tbody> </table> <p>TENANT SIGNAGE NOTES</p> <p>PROVIDE TENANT SPACE SIGNAGE AS FOLLOWS:</p> <ol style="list-style-type: none"> "FIRE EXTINGUISHER INSIDE" AT THE MAIN ENTRY DOOR OR ROOMS CONTAINING FIRE EXTINGUISHERS STORAGE NOT PERMITTED AT ELECTRICAL AND IT ROOM ADA RESTROOMS AND OTHER RESTROOMS "FIRE ALARM PULL STATION INSIDE" (IF AND WHERE APPLICABLE) <p>THESE ARE GENERAL SIGNS. CONTRACTOR TO COORDINATE WITH MPM-IF OTHER SIGNAGE WILL BE PROVIDED BY GC AND/OR INSTALLED</p> <p>CLASSIFICATION OF HAZARDOUS CONTENT</p> <ol style="list-style-type: none"> THE CONTENTS OF BUSINESS OCCUPANCIES SHALL BE CLASSIFIED AS ORDINARY HAZARD IN ACCORDANCE WITH SECTION 6.2 OF THE FLORIDA FIRE PREVENTION CODE, 2023 EDITION AND NFPA 101 SECTION 38.1.5 - NEW BUSINESS OCCUPANCIES, 2021 EDITION. THERE ARE NO AREAS WITHIN THE BUSINESS OCCUPANCY HAVING A DEGREE OF HAZARD GREATER THAN ORDINARY FOR A BUSINESS OCCUPANCY. NO MEDICAL GASES WILL BE USED IN THIS FACILITY. <p>FIRE DEPARTMENT COMMENTS</p> <ol style="list-style-type: none"> MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ PER NFPA-11.10.2 THE GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MIN. RADIO SIGNAL STRENGTH FOR FIRE DEPT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITIONS, WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRASTRUCTURE TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED AN ASSESSMENT SHALL BE CONDUCTED TO DETERMINE IF THE MIN. RADIO SIGNAL STRENGTH FOR FIRE DEPT COMMUNICATION IN THE OCCUPANCY IS IN COMPLIANCE WITH NFPA-11.10.1 & NFPA-72: 24.5.2.1 - NFPA-72: 24.5.2.3 RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72: 14.4.12.1.2 - NFPA-72: 14.4.12.1.4 & NFPA-72: 24.5.2.3 A TEST GRID (HEAT MAP) PLAN SHALL BE PRODUCED TO ENSURE TESTING THROUGHOUT THE BLDG SIGNAL LEVELS SHALL BE MEASURED TO ENSURE THE SYSTEM MEETS THE CRITERIA OF NFPA 24.5.2.3 WITH A MIN. INBOUND SIGNAL STRENGTH OF -85 DBM AND A MIN OUTBOUND SIGNAL ON -85 DBM AT THE DONOR SITE 		BUSINESS (B)	OCCUPANT LOAD	# FEMALE	# MALE		29	15	15	BUSINESS (B)	WATER CLOSETS		LAVATORIES		DRINK FOUNTAIN	SERVICE SINK	1 PER 25 (1st 50)	1 PER 50 THEREAFTER (JURISDICTIONS PER 419.2)	1 PER 40 (1st 80)	1 PER 80 THEREAFTER	15 MALE / 15 FEMALE	1	1	1	1	1	1	TOTAL PROVIDED	1	1	1	1	1	1	<p>LEGEND</p> <p>EGRESS TRAVEL PATH/ESCAPE ROUTE</p> <p>EXIT SIGN</p> <p>FIRE EXTINGUISHER CABINET (SEE G101 FOR ADDITIONAL INFORMATION)</p> <p>NEW EMERGENCY LIGHT FIXTURE (SEE ELEC DWGS FOR ADDITIONAL INFORMATION)</p> <p>EGRESS WIDTH PROVIDED (INCHES)</p> <p>EGRESS LOAD CAPACITY (PERSONS)</p> <p>GENERAL LIFE SAFETY PLAN NOTES</p> <ol style="list-style-type: none"> BUILDING IS EQUIPPED WITH A NEW AUTOMATIC SPRINKLER MONITORING & SHALL BE MODIFIED ACCORDINGLY. A LICENSED & CERTIFIED FIRE SPRINKLER CONTRACTOR SHALL SUBMIT FIRE SPRINKLER SHOP DRAWINGS COMPLYING WITH NFPA 13 (2019 ED.) & HYDRAULIC CALCULATIONS IF REQUIRED, AND APPLICATION TO BUILDING DEPARTMENT FOR REVIEW. SEE SHEET AT 0 DOOR SCHEDULES SEE SHEET G101 FOR CODE & LIFE SAFETY ANALYSIS SEE DETAIL 2, SHEET A1.0 FOR SLAB REPAIR & THERMIT TREATMENT NOTES COORDINATE FIRE ALARM DEVICES & PANELS W/ ELECTRICAL DRAWINGS. REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. ALL PENETRATIONS IN RATED PARTITIONS SHALL BE PROTECTED PER FBC 2020 SECTION 714. PENETRATIONS FOR CABLES, CABLE TRAYS, CONDUITS, PIPES, TUBES, COMBUSTION VENTS AND EXHAUST VENTS, WIRES, AND SIMILAR ITEMS TO ACCOMMODATE ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS SYSTEMS THAT PASS THROUGH A WALL, FLOOR, OR FLOOR/CEILING ASSEMBLY CONSTRUCTED AS A FIRE BARRIER SHALL BE PROTECTED BY A FIRE STOP SYSTEM OR DEVICE AT NON-RATED WALLS. FILL ALL VOIDS BETWEEN TOP OF PARTITION TRACK AND UNDERSIDE OF DECK OR SLAB WITH INSULATION FULL HEIGHT INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED TO RESIST LATERAL LIVE LOAD OF NOT LESS THAN 6 POUNDS PER SQUARE FOOT WITH A DEFLECTION OF NOT LESS THAN L/240 PROVIDE FIRE SEALANT OR FIRE SAFING AS REQUIRED BETWEEN THE TOP OF WALL AND UNDERSIDE OF STRUCTURE AT FIRE RATED PARTITION LOCATIONS SET GYPSUM WALL BOARD INTO CONTINUOUS BEAD OF ACOUSTICAL SEALANT ALONG FLANGES OF TOP AND BOTTOM TRACKS, TYPE: AT PARTITIONS WITH SOUND ATTENUATION/BATT INSULATION. PROVIDE CONTINUOUS FIRE CALK AT UNDERSIDE OF FLOOR SLABS AT ALL FLOORWALL CONNECTIONS PROVIDE ACOUSTICAL SEALANT AT ALL OPENINGS AND PENETRATIONS WITH SOUND ATTENUATION/BATT INSULATION TO CREATE SOUND TIGHT CONSTRUCTION PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED FOR THE ANCHORAGE OF FIXTURES AND ACCESSORIES REVIEW AND APPROVAL BY AHJ SHALL NOT RELIEVE APPLICANT FROM RESPONSIBILITY OF COMPLIANCE WITH NFPA 1.11.4.4 COORDINATE FINAL EXIT SIGNS & EMERGENCY LIGHT LOCATIONS & QUANTITIES WITH OWNER & FIRE INSPECTOR. ADDITIONAL EXIT SIGNS & EMERGENCY LIGHTS MAY BE REQUIRED BY FIRE INSPECTOR @ FINAL INSPECTION MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURER'S INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMENTS OF THE WORK. CONTRACTOR SHALL CONFIRM ALL EQUIPMENT DIMENSIONS, ELECTRICAL REQUIREMENTS AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION WITH ACTUAL EQUIPMENT'S MAKE AND MODEL UNLESS OTHERWISE NOTED ALL OWNER PROVIDED ITEMS SHALL BE INSTALLED BY THE CONTRACTOR. THE INSTALLING CONTRACTOR OF ALL OWNER PROVIDED ITEMS SHALL PREPARE COORDINATION SHOP DRAWINGS TO CONFIRM INSTALLATION REQUIREMENTS PRIOR TO RECEIVING EQUIPMENT. INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING AND MOVING EQUIPMENT FROM DELIVERY LOCATION TO INSTALLATION SITE DOORS SHALL BE ARRANGED TO BE OPENED READILY IN THE DIRECTION OF EGRESS WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. ALL DOORS TO BE SINGLE ACTION RELEASE PER NFPA 101-7.2.1.5 THIS BUILDING SHALL COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE (8TH EDITION) FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT, DESIGNED IN ACCORDANCE WITH NFPA 72 (2016 EDITION) COORDINATE FIRE ALARM DEVICES AND PANELS WITH ELECTRICAL DRAWINGS. CONTRACTORS SHALL SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS FOR REVIEW AND APPROVAL REFER TO MECHANICAL DRAWINGS FOR DUCT, SMOKE, & HEAT DETECTOR LOCATIONS (IF ANY) ALL EMERGENCY AND EXIT LIGHTS SHALL COMPLY WITH NFPA 101-38.2 AND 38.2.9.1 DOORS SHALL COMPLY WITH FLORIDA ACCESSIBILITY CODE (7TH EDITION) SECTION 404.2.9. MAXIMUM OPENING FORCE FOR INTERIOR HINGED, SLIDING OR FOLDING DOORS SHALL BE 5 LBS MAX. EXTERIOR HINGED DOORS SHALL BE DESIGNED SO THAT SUCH DOORS CAN BE PUSHED OR PULLED OPEN WITH A FORCE NOT EXCEEDING 8.5 LBS ALL HARDWARE/LOCKS SHALL BE ADA APPROVED LEVER TYPE AND EASY TO GRASP HANDLE AS PER FBC 1010.1.9.2 AND FCBA 404.2 AND MOUNTED AT LEAST 34" AND NOT MORE THAN 48" ABOVE THE FINISHED FLOOR CONTRACTOR TO UNDERCUT ALL WOOD DOORS (IF ANY) AS REQUIRED PROVIDE THRESHOLD HT. OF 1/4" (MAX) FOR VERTICAL CHANGE IN LEVEL AND 1/4" (MIN) TO 1/2" (MAX) FOR BEVELED CHANGE IN LEVEL. IN ACCORDANCE WITH FAC 303 ALL FIRE RATED DOORS SHALL BE SELF CLOSING DOORS WITH CLOSERS SHOULD TAKE A MINIMUM OF 5 SECONDS TO MOVE FROM OPEN POSITION OF 90° TO A POSITION OF 12° PER FAC 404.2.8 DOORS WITHOUT WEATHERSTRIPPING SHALL BE PROVIDED WITH NEOPRENE SEALERS ON STOPS TO PREVENT METAL TO METAL CONTACT DO NOT USE ANY EXISTING FIRE EXTINGUISHERS AND SHALL ADD NEW FIRE EXTINGUISHERS AS REQUIRED. WHEN MOUNTING ADJACENT TO DOOR OPENING, MAINTAIN 12" CLEAR TO DOOR OPENING FOR ADA COMPLIANCE. REFER TO G101 FOR PREFERRED LOCATIONS - FINAL LOCATION, MOUNTING HEIGHT AND QUANTITY BY FIRE INSPECTOR. GC TO VERIFY MARSHALL REQUIREMENTS FOR INSPECTION AND TAGGING. GO TO PROVIDE INSPECTION AND TAG IF NECESSARY NUMERICAL ADDRESS NUMBERS SHALL BE PROVIDED ON ALL EXTERIOR DOORS (IF NONE EXISTS) PER CITY ORDINANCE 52.10. NUMBERS SHALL BE WEATHERPROOF AND CONTRASTING 6" NUMBERS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBERS SHALL BE "WHITE" IF THEY ARE TO BE ON A LIGHT COLORED BACKGROUND THEY SHALL BE "BLACK" THE FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 50LBS TO SET THE DOOR IN MOTION AND 15LBS TO CLOSE THE DOOR OR OPEN IT TO THE MINIMUM REQUIRED WIDTHS PER FFPC/NFPA101.2.2.1.9.1.1 ALL CEILING TILES ARE NEW AND MUST BE INSTALLED PRIOR TO FIRE INSPECTION ALL ELECTRICAL OUTLETS MUST HAVE COVER PLATES THERE SHALL BE NO EXTENSION CORDS RUNNING ABOVE THE CEILING, THROUGH WALLS, AND UNDER FLOORING. ONLY UL LISTED SURGE PROTECTORS CAN BE USED ALL EMERGENCY LIGHTS AND EXIT SIGNS MUST BE CONNECTED TO EMERGENCY BATTERY BACKUP ELECTRICAL BREAKER THAT CONTROLS THE EXIT SIGNS AND EM LIGHTS SHOULD BE LABELED ALL "FURNITURE/FIXTURES" MUST BE INSTALLED AT THE TIME OF FIRE INSPECTION 	
BUSINESS (B)	OCCUPANT LOAD	# FEMALE	# MALE																																			
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<p>CHAPTER 10 - MEANS OF EGRESS</p> <p>ALLOWABLE OCCUPANT LOADS (TABLE 1004.5 / FFPC TABLE 7.3.1.2)</p> <p>BUSINESS (B) ACCESSORY STORAGE: 1 PERSON PER 150 SQ. FT. / 1 PERSON PER 500 SQ. FT.</p> <p>*PER FBC 303.1.2, A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY</p> <p>ACTUAL OCCUPANT LOADS (FBC TABLE 1004.5 / FFPC TABLE 7.3.1.2)</p> <p>BUSINESS (OFFICE AREA): 4,320 SF / 150 PERSONS = 29 OCCUPANTS</p> <p>EGRESS WIDTH PER OCCUPANT: 0.15in OTHER COMPONENTS (1005.3.2 Exception 1)</p> <p>TOTAL EGRESS WIDTH REQUIRED: 29 OCCUPANTS x 0.15 in. = 4.35in</p> <p>TOTAL EGRESS WIDTH PROVIDED: 101 in. CLEAR EGRESS WIDTH (101 in / 0.15 = 674 OCCUPANTS)</p> <p>COMMON PATH OF EGRESS TRAVEL (FBC TABLE 1006.2.1)</p> <table border="1"> <thead> <tr> <th>BUSINESS (SPRINKLERED)</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td></td> <td>100 FT. MAX</td> <td>N/A</td> </tr> </tbody> </table> <p>MINIMUM NUMBER OF EXITS (FBC TABLE 1006.3.2)</p> <table border="1"> <thead> <tr> <th>OCCUPANT LOAD PER STORY (1-500)</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>"PER 1006.3.3, EXCEPT 1"</td> <td>1</td> <td>3</td> </tr> </tbody> </table> <p>MAXIMUM TRAVEL DISTANCE (FBC TABLE 1017.2 / FFPC TABLE 4.1.6)</p> <table border="1"> <thead> <tr> <th>BUSINESS (SPRINKLERED)</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td></td> <td>250 FT.</td> <td>100'-0" MAX</td> </tr> </tbody> </table> <p>MINIMUM CORRIDOR WIDTH (FBC TABLE 1002.3)</p> <table border="1"> <thead> <tr> <th>OCCUPANT LOAD LESS THAN 50</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td></td> <td>36"</td> <td>48" MIN</td> </tr> </tbody> </table> <p>2023 FLORIDA BUILDING CODE - EXISTING BUILDING</p> <p>CHAPTER 6 - CLASSIFICATION OF WORK</p> <p>LEVEL OF ALTERATION: LEVEL 3 CRITERIA PER THE FLORIDA BUILDING CODE 2023 - EXISTING BUILDING. THE REQUIREMENTS FOR THE LEVEL 3 CRITERIA ALTERATION APPLY WHERE THE WORK EXCEEDS 50% OF THE BUILDING AREA</p>		BUSINESS (SPRINKLERED)	REQUIRED	PROVIDED		100 FT. MAX	N/A	OCCUPANT LOAD PER STORY (1-500)	REQUIRED	PROVIDED	"PER 1006.3.3, EXCEPT 1"	1	3	BUSINESS (SPRINKLERED)	REQUIRED	PROVIDED		250 FT.	100'-0" MAX	OCCUPANT LOAD LESS THAN 50	REQUIRED	PROVIDED		36"	48" MIN	<p>ROOM NAME → ROOM NAME</p> <p># SF → ROOM NUMBER</p> <p>OL = # → ROOM AREA OCCUPANCY LOAD</p>												
BUSINESS (SPRINKLERED)	REQUIRED	PROVIDED																																				
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URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
 10175 PINES BLVD
 PEMBROKE PINES, FL

SALTZ MICHELSON ARCHITECTS
 3501 Griffin Road
 Ft. Lauderdale, FL 33312
 (954) 266-2700 Fx: (954) 266-2701
 sma@saltzmichelson.com

AR0009976
 REGISTERED ARCHITECT
 Charles Michelson AR0009976

Project No.: 2023-177
 Drawn By: ER
 Checked By: CM, SW, ER
 Date: 07.25.24

REVISIONS
 12.17.24 BLDG DEPT COMMENT

LIFE SAFETY PLAN
G101
 SCALE: 1/4" = 1'-0"

NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.
- CONTRACTOR TO APPLY TO CITY OF PEMBROKE PINES FOR A PERMIT. PERMIT FEES TO BE PAID BY OWNER.
- CONTRACTOR RESPONSIBLE TO REPAIR/REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO REPAIR DAMAGED ASPHALT AND DEPRESSIONS.
- ALL BROKEN WHEEL STOPS LOCATED IN PARKING LOT ARE REQUIRED TO BE REPLACED AND SUCH REPLACEMENT MUST BE IN ACCORDANCE WITH WHEEL STOP DETAIL ON SHEET C-4.

LEGAL DESCRIPTION:
 A PORTION OF TRACT "A", AS SHOWN ON "PINES-PALM WEST", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 126, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF TRACT "A" OF SAID "PINES-PALM WEST"; THENCE NORTH 87°49'48" EAST, ALONG THE SOUTH LINE OF SAID TRACT "A", FOR A DISTANCE OF 1458.69 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°07'41" WEST, A DISTANCE OF 200.00 FEET; THENCE NORTH 87°49'48" EAST, ALONG A LINE PARALLEL WITH THE SAID SOUTH LINE OF TRACT "A", FOR A DISTANCE OF 166.02 FEET; THENCE SOUTH 02°07'41" EAST, TO A POINT ON THE SAID SOUTH LINE OF TRACT "A", FOR A DISTANCE OF 200.00 FEET; THENCE SOUTH 87°49'48" WEST, ALONG SAID SOUTH LINE OF TRACT "A", FOR A DISTANCE OF 166.02 FEET TO THE POINT OF BEGINNING.
 SAID LANDS LYING AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

FLOOD INFORMATION:
 COMMUNITY #120053; PANEL #12011C0545H
 FLOOD ZONE: X
 MAP DATE: 05/16/14
 BASE FLOOD ELEVATION: N/A
 CITY OF PEMBROKE PINES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

LEGEND

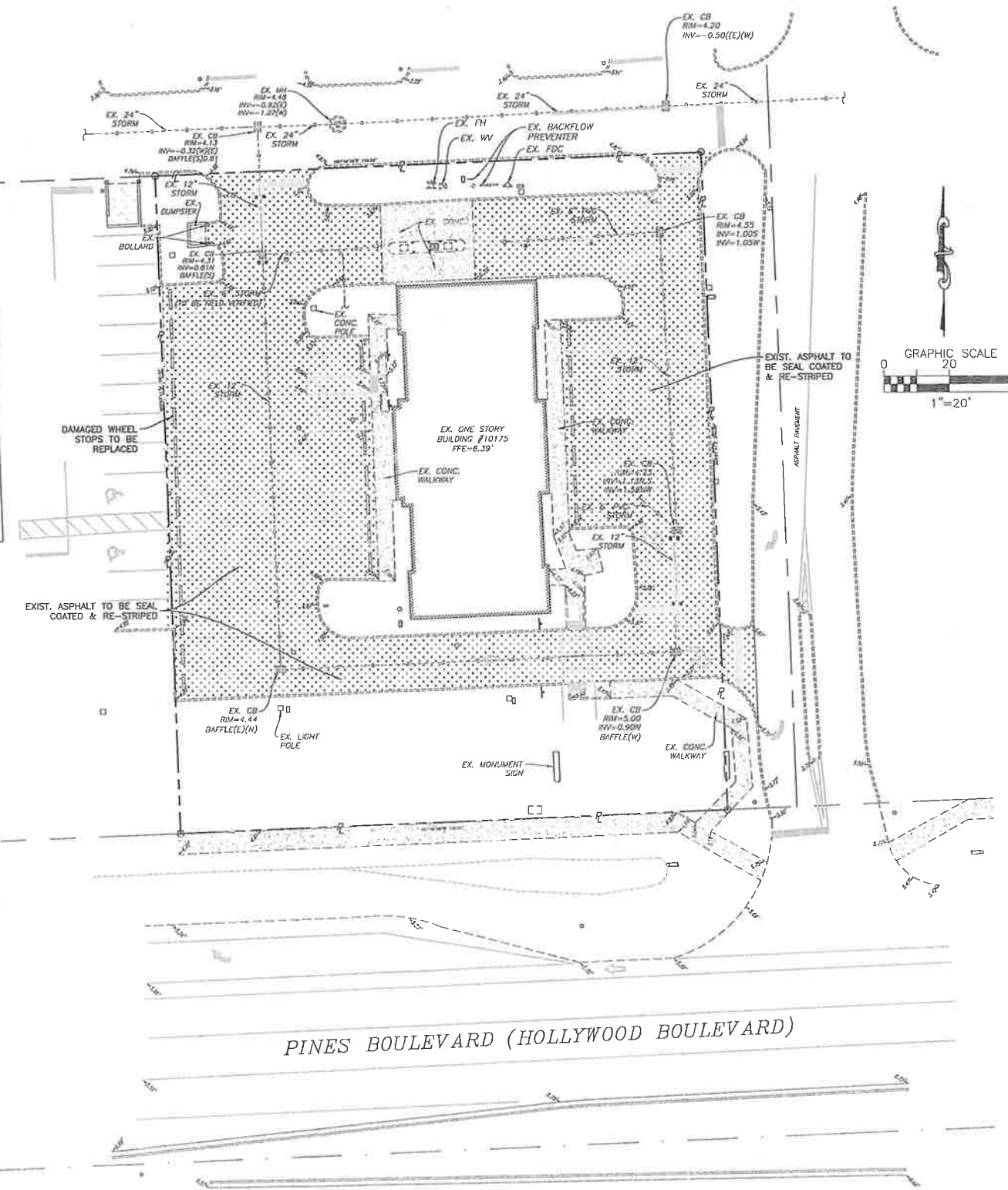
- | | |
|-------------------------------------|------------------------------|
| PROPOSED ASPHALT | EXISTING CLEANOUT |
| PROPOSED SEAL COATING PARKING LOT | EXISTING ELEVATION |
| PROPOSED 4" THICK CONCRETE | EXISTING BOLLARDS |
| PROPOSED 6" THICK CONCRETE | EXISTING GREASE TRAP |
| PROPOSED ELEVATION | EXISTING CONCRETE LIGHT POLE |
| PROPOSED PIPING | EXISTING STORM MANHOLE |
| PROPOSED FIRE HYDRANT | EXISTING FIRE HYDRANT |
| PROPOSED WATER METER | EXISTING MONITORING WELL |
| PROPOSED DOCV | EXISTING SIGN (AS INDICATED) |
| PROPOSED VALVE | EXISTING VALVE BOX |
| PROPOSED FIRE DEPARTMENT CONNECTION | EXISTING WATER METER |
| PROPOSED BACKFLOW PREVENTER | EXISTING WATER POWER POLE |
| PROPOSED CLEANOUT | EXISTING FENCE |
| PROPOSED CATCH BASIN | EXISTING WATER MAIN PIPE |
| PROPOSED SURFACE FLOW | EXISTING STORM PIPE |
| PROPOSED SILT FENCE | EXISTING SANITARY SEWER PIPE |
| PROPOSED BOLLARD | EXISTING OVERHEAD WIRES |
| EXISTING PIPING AND APPURTENANCES | EXISTING CONCRETE POLE |
| EXISTING BACKFLOW PREVENTOR | |
| EXISTING CATCH BASIN | |



LOCATION MAP
 N.T.S.
 SEC 18, TWP 51S, RNG 41E

NOTE:
 ALL ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988

- GENERAL NOTES:**
- MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%
 - CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
 - CONTRACTOR RESPONSIBLE FOR REMOVING & RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
 - CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
 - CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
 - CONTRACTOR TO ADJUST ALL UTILITY BOXES & COVERS LOCATED WITHIN THE CONSTRUCTION AREA TO BE LEVEL WITH ASPHALT PAVEMENT.
 - REFER TO ARCHITECT'S PLAN FOR SITE LAYOUT & DIMENSIONS.
 - ELEVATIONS ARE REFERENCED TO NAVD 1988.
 - CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. AVOID CONFLICT WITH NEW CONSTRUCTION AS REQUIRED. CONTRACTOR RESPONSIBLE FOR RELOCATING EXIST. UTILITIES AS REQUIRED. CONTRACTOR TO FIELD LOCATE EXISTING UTILITIES AND DETERMINE SIZE AND DEPTH OF SERVICES.
 - CONTRACTOR RESPONSIBLE FOR REPAIRING ANY ASPHALT, LANDSCAPING & ALL UTILITIES DAMAGED DURING CONSTRUCTION.
 - ANY PROPOSED WORK WITHIN THE RIGHT OF WAY MUST BE PERFORMED BY A LICENSED UNDERGROUND CONTRACTOR AND PAVEMENT RESTORATION BY A LICENSED ENGINEERING CONTRACTOR.
 - UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE ENGINEERING PERMIT APPLICATION, REVIEW, AND APPROVAL. UNDERGROUND WORK IN THE PUBLIC RIGHT OF WAY MUST BE PERFORMED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR.



PINES BOULEVARD (HOLLYWOOD BOULEVARD)

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URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTH CARE SYSTEM
 10175 PINES BLVD.
 PEMBROKE PINES, FLORIDA



3501 Griffin Road
 Ft. Lauderdale, FL 33312
 (954) 266-2700 Fx (954) 266-2701
 sma@saltzmichelson.com

AA-00029976

Project No.: 24-06
 Drawn By: HS
 Checked By: SCH
 Date: 03.04.24

REVISIONS

PAVING, GRADING &
 DRAINAGE PLAN
 SCALE: 1"=20'

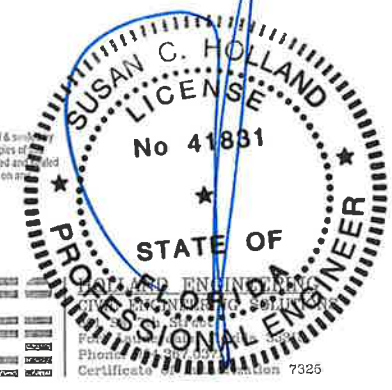
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C-1

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SUSAN C. HOLLAND
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 41831

FEB 03 2025

CITY ACCESSIBILITY AND PAVEMENT MARKINGS & SIGNAGE REQUIREMENTS NOTES:

- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO "BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS" (BCTED) AND "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- ALL MARKINGS SHALL BE THERMOPLASTIC MATERIAL, MEETING THE BCTED STANDARDS, EXCEPT FOR THE PARKING SPACE MARKINGS WHICH MAY BE REFLECTORIZED PAINT MEETING THE BCTED STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS FOR "STANDARD PAINT".
- ALL DOUBLE YELLOW PAVEMENT MARKINGS ASSOCIATED WITH "STOP BARS" ARE TO HAVE YELLOW/YELLOW RPM'S AT 20' O.C.
- REFLECTIVE PAVEMENT MARKERS (RPM'S) SHALL BE CLASS "B" OR EQUIVALENT APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE PER FDOT'S "APPROVED PRODUCTS LIST" (APL). PLACEMENT OF RPM'S SHALL BE IN ACCORDANCE WITH FDOT "STANDARD PLANS" INDEX NO. 705-001. PROVIDE THE FOLLOWING REFLECTIVE PAVEMENT MARKERS (RPM'S) IN THE CENTER OF THE NEAREST TRAVEL/STREET LANE:
 BLUE (FIRE HYDRANTS)
 WHITE (WATER MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
 ORANGE (SEWER MANHOLES IN ADJACENT GREEN/LANDSCAPE AREAS)
 GREEN (SEWER FORCE MAIN VALVES IN ADJACENT GREEN/LANDSCAPE AREAS)
- PAVEMENT MARKINGS AND SIGNAGE FOR ALL ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARD PLANS", INDEX NOS. 711-001 AND 700-102 AND LATEST CITY STANDARD DETAIL R-32, "ACCESSIBLE PARKING SPACE DETAILS".
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MEASURED FROM THE CENTERLINE OF THE WHITE MARKINGS, EXCEPT WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST SPACE MARKING.
- ALL PARKING SPACES MUST HAVE A PAVEMENT MARKING ON EACH SIDE OF EACH SPACE TO IDENTIFY THE LIMITS OF THE SPACE.
- ALL SIDEWALK CURB RAMPS 5' OUTSIDE AND BEYOND THE BUILDING ENVELOPE SHALL BE PER FDOT "STANDARD PLANS", INDEX NO. 322-002.
- ALL PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL COMPLY WITH FDOT AND MUTCD STANDARDS. "WID-BLOCK" TYPE PEDESTRIAN/ACCESSIBLE CROSSINGS SHALL BE 10' IN WIDTH AND HAVE "SPECIAL EMPHASIS" PAVEMENT MARKINGS AND PEDESTRIAN/ACCESSIBLE CROSSING SIGNAGE AND PEDESTRIAN/ACCESSIBLE CROSSING ADVANCE WARNING SIGNAGE PER FDOT "DESIGN MANUAL", SECTION 230 AND MUTCD STANDARDS. IF A "CROSSING" STRICTLY SERVES OR IS DESIGNATED FOR ACCESS TO ACCESSIBLE PARKING SPACES, THE USE OF ACCESSIBLE CROSSING (W11-9) SIGNAGE IS RECOMMENDED IN INSTEAD OF THE TYPICAL PEDESTRIAN CROSSING (W11-2) SIGNAGE.
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS MUST BE ADA COMPLIANT PER FLORIDA BUILDING CODE, SIXTH EDITION, "ACCESSIBILITY".
- ALL ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, SIDEWALK CURB RAMPS, ACCESSIBLE ROUTES AND RAMPS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH ADA STANDARDS/REQUIREMENTS, INCLUDING SLOPING, NON-COMFORMING ACCESSIBLE PARKING SPACES, ACCESSIBLE PARKING ACCESS AISLES, ACCESSIBLE ROUTES AND RAMPS WILL BE REQUIRED TO BE CORRECTED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- ALL VEHICULAR TRAFFIC/PEDESTRIAN PAVEMENT MARKINGS AND SIGNAGE WITHIN THE ONSITE AND OFFSITE PROJECT LIMITS SHALL BE FIELD CHECKED AT THE TIME OF FINAL INSPECTION TO CONFIRM COMPLIANCE WITH BCTED STANDARDS/REQUIREMENTS. ALL NON-COMFORMING PAVEMENT MARKINGS AND SIGNAGE WILL BE REQUIRED TO BE REPLACED FOR ACCEPTANCE OF THE PERMITTED WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.
- A FINAL INSPECTION OF THE COMPLETED SITE ENGINEERING IMPROVEMENTS/WORK MUST BE SCHEDULED THROUGH THE CITY ENVIRONMENTAL SERVICES/ENGINEERING DIVISION FOR ACCEPTANCE OF THE WORK AND CLOSE-OUT OF THE ENGINEERING CONSTRUCTION PERMIT.



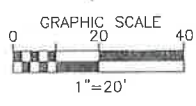
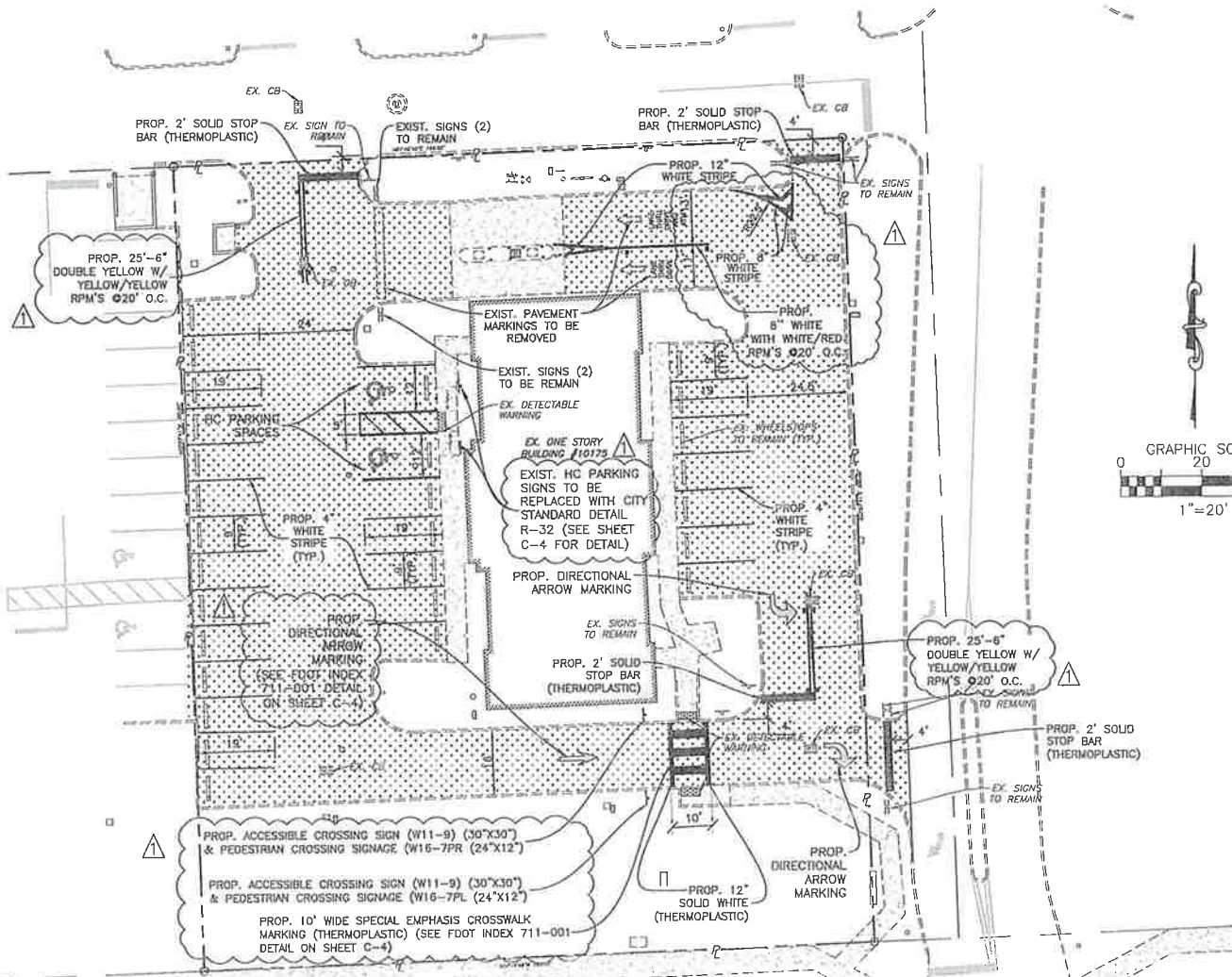
LOCATION MAP
N.T.S.

SEC 18, TWSP 51S, RNG 41E

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LEGEND

	PROPOSED ASPHALT		EXISTING CLEANOUT
	PROPOSED SEAL COATING PARKING LOT		EXISTING ELEVATION
	PROPOSED 4" THICK CONCRETE		EXISTING BOLLARDS
	PROPOSED 6" THICK CONCRETE		EXISTING GREASE TRAP
	PROPOSED ELEVATION		EXISTING CONCRETE LIGHT POLE
	PROPOSED PIPING		EXISTING STORM MANHOLE
	PROPOSED FIRE HYDRANT		EXISTING FIRE HYDRANT
	PROPOSED WATER METER		EXISTING MONITORING WELL
	PROPOSED DDOV		EXISTING SIGN (AS INDICATED)
	PROPOSED VALVE		EXISTING VALVE BOX
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING WATER METER
	PROPOSED BACKFLOW PREVENTER		EXISTING WOOD POWER POLE
	PROPOSED CLEANOUT		EXISTING FENCE
	PROPOSED CATCH BASIN		EXISTING WATER MAIN PIPE
	PROPOSED SURFACE FLOW		EXISTING STORM PIPE
	PROPOSED SILT FENCE		EXISTING SANITARY SEWER PIPE
	PROPOSED BOLLARD		EXISTING OVERHEAD WIRES
	EXISTING PIPING AND APPURTENANCES		EXISTING CONCRETE POLE
	EXISTING BACKFLOW PREVENTOR		
	EXISTING CATCH BASIN		

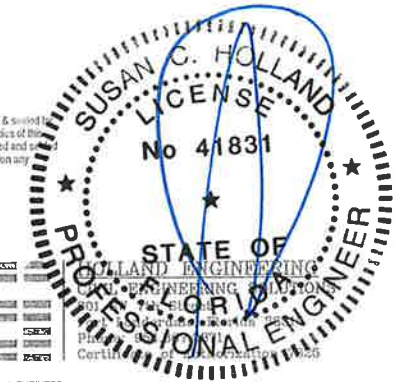


PINES BOULEVARD (HOLLYWOOD BOULEVARD)

Sunshine811
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MEMORIAL HEALTH CARE SYSTEM
10175 PINES BLVD.
PEMBROKE PINES, FLORIDA



3501 Griffin Road
Fl. Lauderdale, FL 33312
(954) 266-2700 Fx (954) 266-2701
sma@saltmichelson.com

AA-00029976

Project No.: 24-06
Drawn By: HS
Checked By: SCH
Date: 03.04.24

REVISIONS
OWNER COMMENTS
12.09.2024

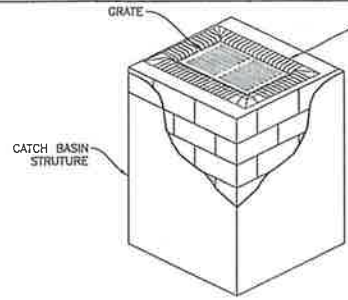
PAVEMENT MARKING & SIGNAGE PLAN
SCALE: 1"=20'

24-06

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FEB 03 2025

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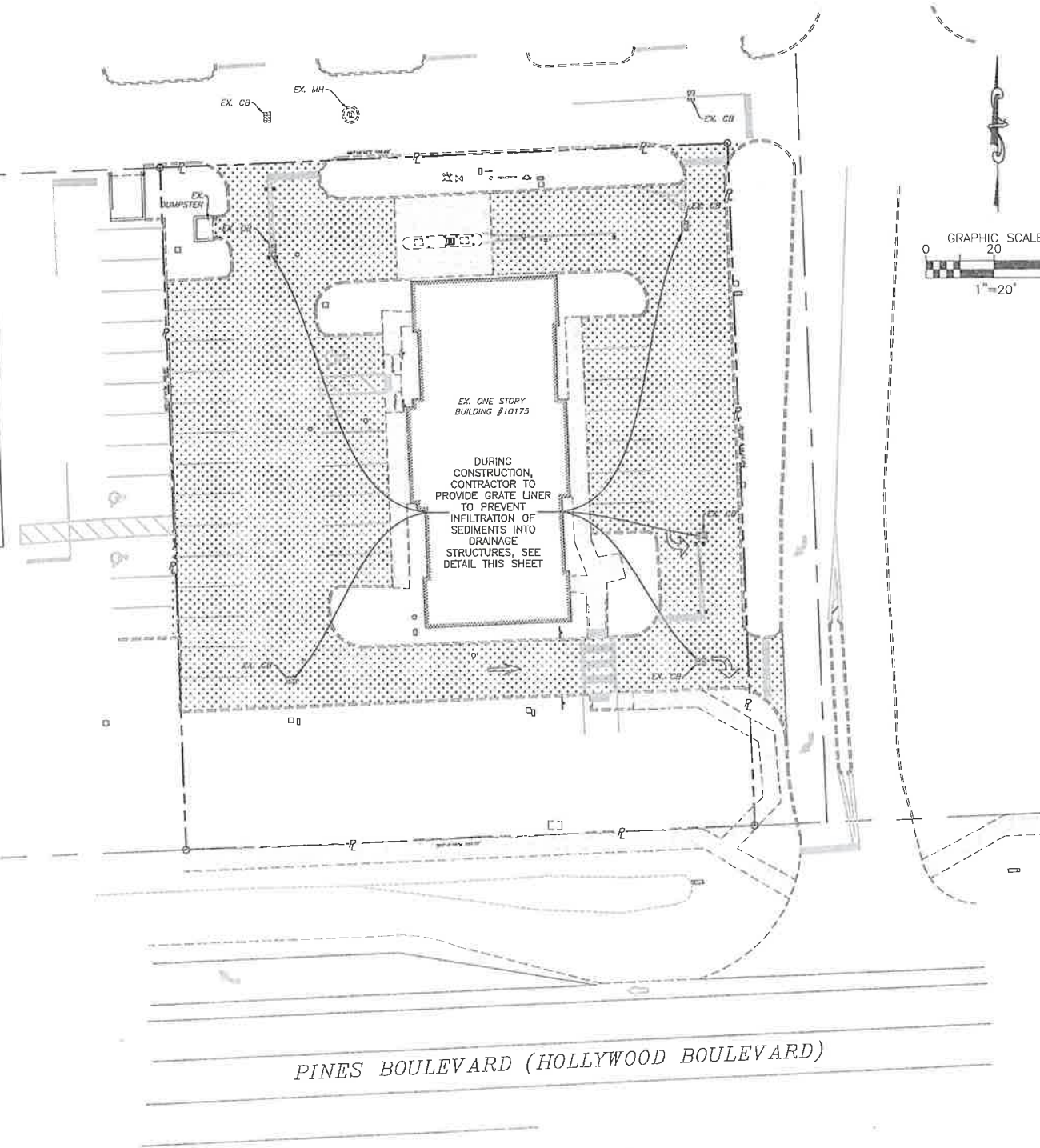
CONTRACTOR TO LIFT GRATE OFF CATCH BASINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE.

NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING

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POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.



LEGEND

PROPOSED ASPHALT	EXISTING CLEANOUT
PROPOSED SEAL COATING PARKING LOT	EXISTING ELEVATION
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PROPOSED PIPING	EXISTING STORM MANHOLE
PROPOSED FIRE HYDRANT	EXISTING FIRE HYDRANT
PROPOSED WATER METER	EXISTING MONITORING WELL
PROPOSED DDCV	EXISTING SIGN (AS INDICATED)
PROPOSED VALVE	EXISTING VALVE BOX
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PROPOSED SURFACE FLOW	EXISTING STORM PIPE
PROPOSED SILT FENCE	EXISTING SANITARY SEWER PIPE
PROPOSED BOLLARD	EXISTING OVERHEAD WIRES
EXISTING PIPING AND APPURTENANCES	EXISTING CONCRETE POLE
EXISTING BACKFLOW PREVENTOR	
EXISTING CATCH BASIN	

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DENATURING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



LOCATION MAP
N.T.S.
SEC 18, TWSP 51S, RNG 41E

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTH CARE SYSTEM
10175 PINES BLVD.
PENSACOLA, FLORIDA

SALTZ MICHELSON ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 F: (954) 266-2701
sma@saltzmichelson.com

AA-00029976

Project No.: 24-06
Drawn By: HS
Checked By: SCH
Date: 03.04.24

REVISIONS

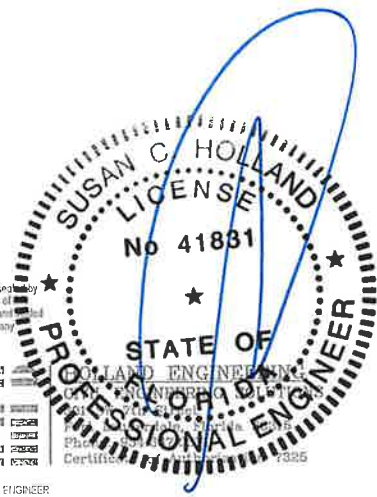
STORMWATER POLLUTION PREVENTION PLAN
SCALE: 1"=20'

24-06

C-3



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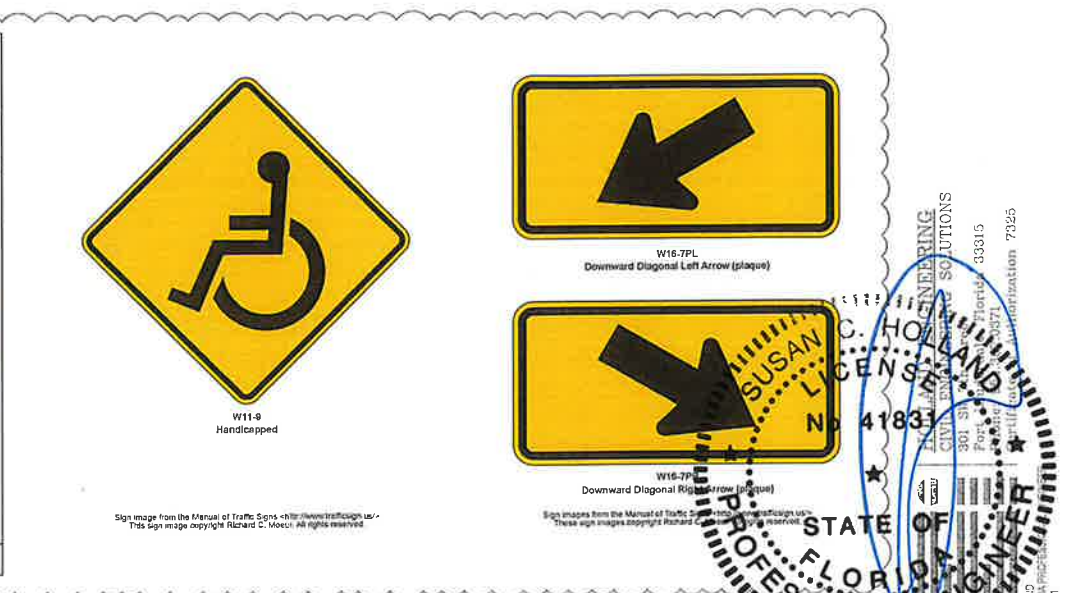
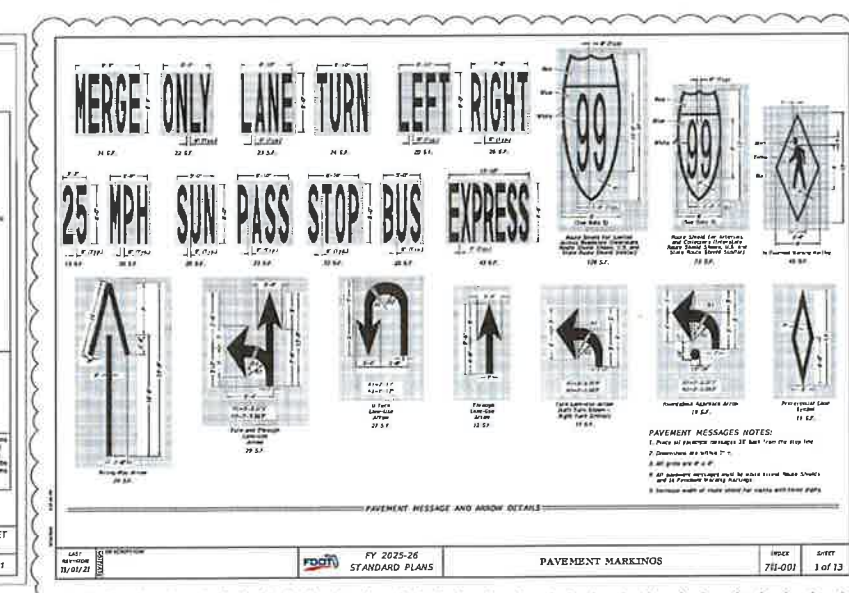
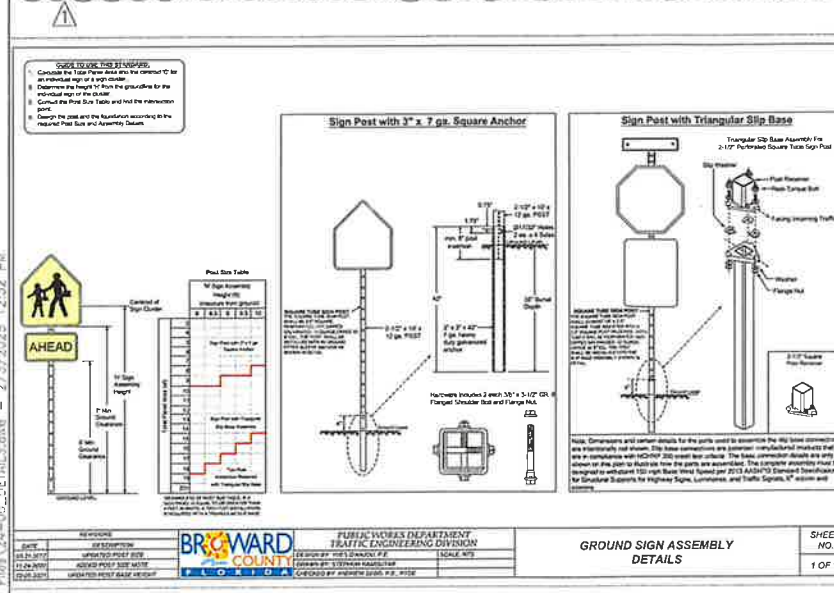
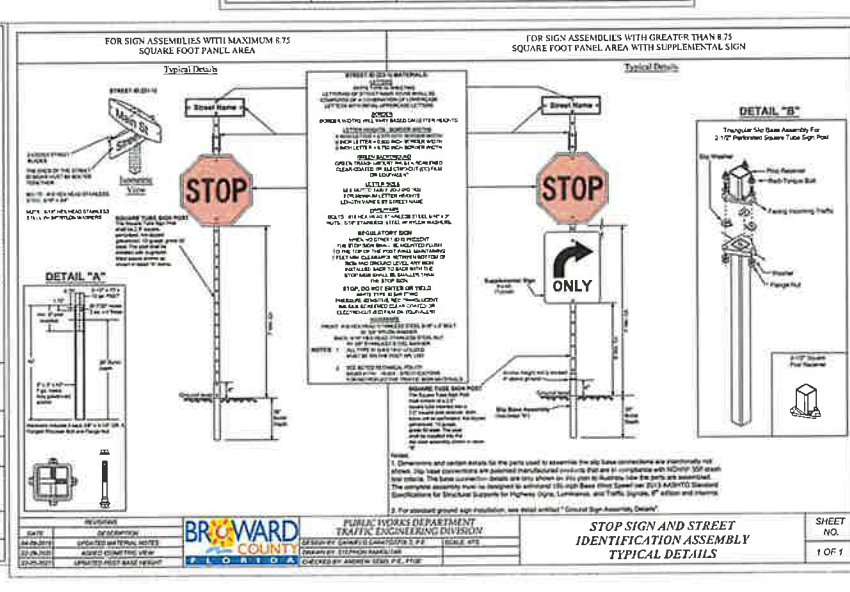
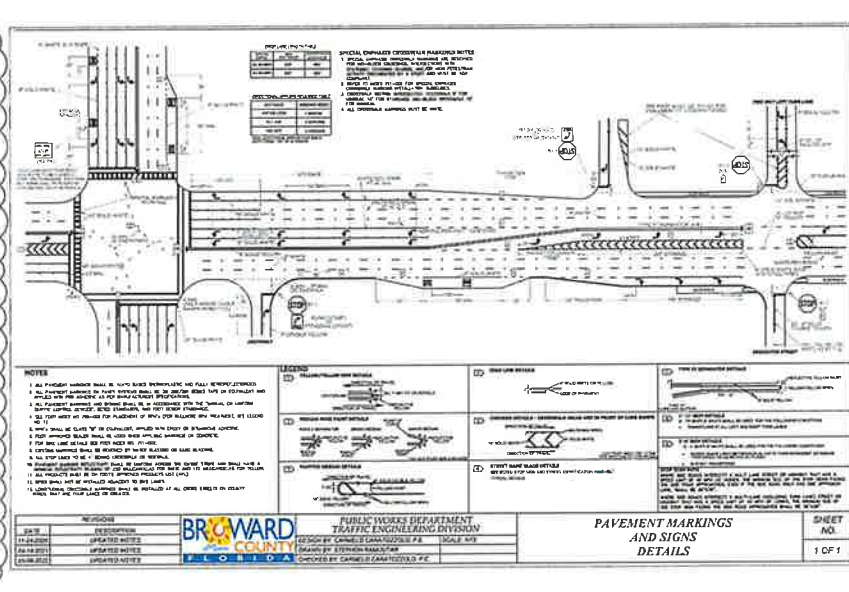
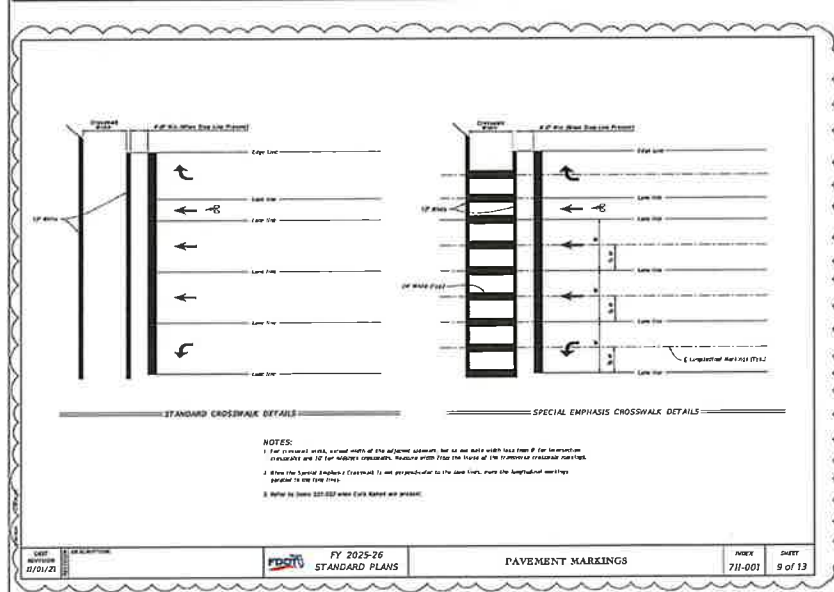
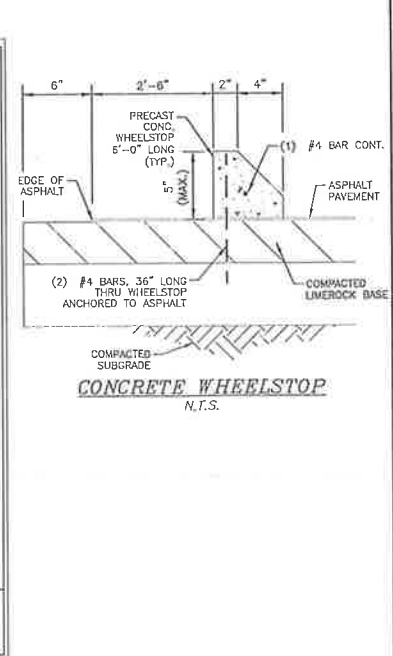
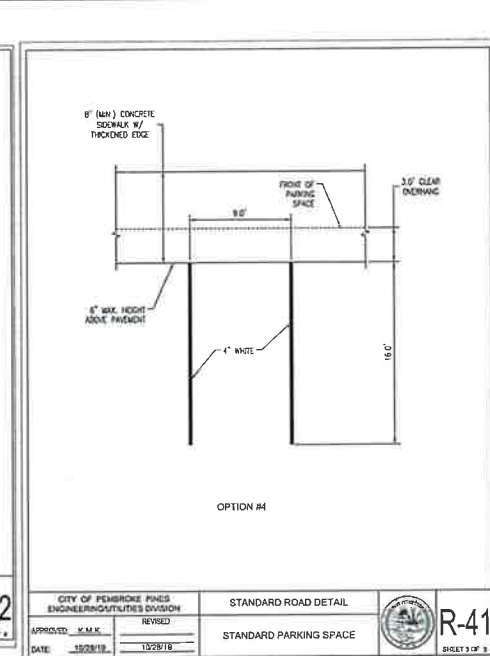
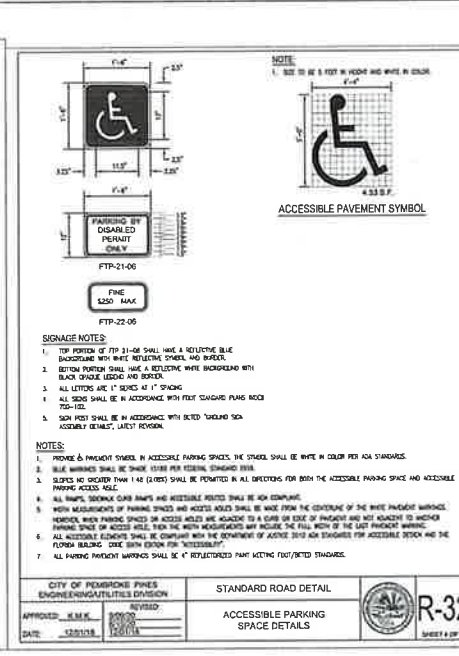
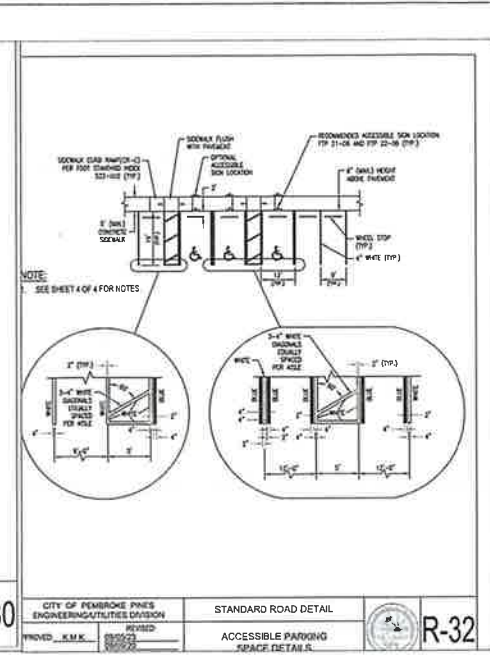
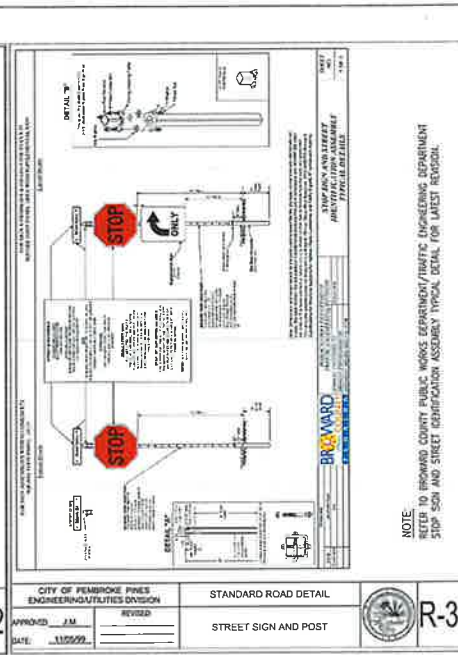
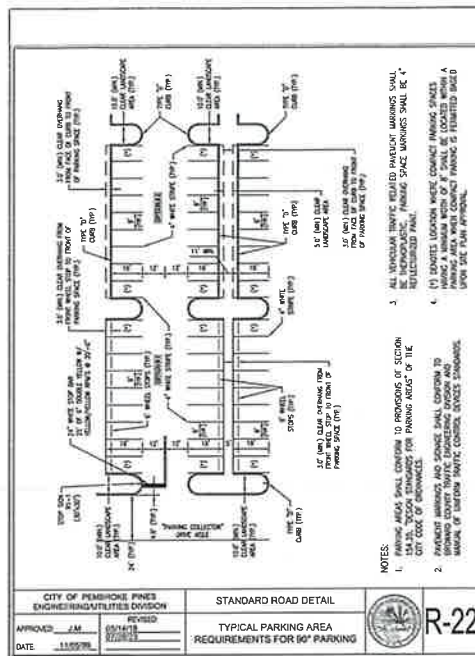


SUSAN C. HOLLAND
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 41881

FEB 03 2025

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URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTH CARE SYSTEM
 10175 PINES BLVD.
 PEMBROKE PINES, FLORIDA

SALTZ MICHELSON ARCHITECTS
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Project No.: 24-06
 Drawn By: HS
 Checked By: SCH
 Date: 03/14/24

REVISIONS
 OWNER COMMENTS
 12.09.2024

DETAILS
 SCALE: N.T.S.

24-06
 C-4

FEB 03 2025

Existing Trees / Palms To Remain List

Code	Drought	QTY.	Botanical Name / Common Name	Specifications	Canopy S F	Total S F	Condition	Condition %	Category	
EBS	(N)	V	1	Exist. <i>Bursera simarouba</i> / Gumbo Limbo	30' OA Ht., 25' Spr., 12" DBH	490	490	Good	0.75	1
EED		V	1	Exist. <i>Elaeocarpus decipiens</i> / Japanese Blueberry	10' OA Ht., 6' Spr., 2" DBH			Good	0.75	2
EQV1	(N)	V	2	Exist. <i>Quercus virginiana</i> / Live Oak	35' OA Ht., 40' Spr., 20" DBH	1,256	2,512	Good	0.75	1
EQV2	(N)	V	2	Exist. <i>Quercus virginiana</i> / Live Oak	18' OA Ht., 12' Spr., 8" DBH			Good	0.72	1
ESM	(N)	V	3	Exist. <i>Swietenia mahogany</i> / Mahogany	Average 16-20' OA Ht., 40' Spr., 8" DBH			Fair	0.80	1
ESR		V	1	Exist. <i>Syagrus romerzoffiana</i> / Queen Palm	18' CT			Good-Fair	0.82	4
ETH		V	1	Exist. <i>Tabebuia heterophylla</i> / Pink Trumpet Tree	18' OA Ht., 5" DBH			Good	0.75	2
EVM		V	1	Exist. <i>Vecthia montgomeryana</i> / Montgomery Palm, Triple Trunk	25' CT			Good-Fair	0.85	4

Condition:

Specimen	100-80	%
Good-Healthy	75-60	%
Fair	50-40	%
Poor	30-20	%
Very Poor	19-1	%
Dead-Cull	0	

Existing Tree Demo List

Guide for Plant Appraisal, 9th Edition
 Location: 10175 Pines Blvd., Pembroke Pines, FL
 Date: 3/2/2024
 Appraiser: Thomas White, ASLA-ISA
 Landscape Architect FL #LA1100
 ISA Arborist FL-5248A

Tree #	Species (Botanical Name / Common Name)	Height (Feet)	Spread (Feet)	Class	Caliper (Inches)	Condition	Disposition	Tree Replacement
1	<i>Lagerstroemia indica</i> / Crape Myrtle	8	6	C	3	80% Dead	Remove	0
2	<i>Lagerstroemia indica</i> / Crape Myrtle	8	6	C	3	Dead	Remove	0
4	<i>Ilex cassine</i> / Dahoon Holly	10	6	B	3	Very Poor	Remove - 1	0
5	<i>Swietenia mahogany</i> / Mahogany	10	8	C	5	Poor	Remove	1
6	<i>Jatropha integrifolia</i> / Jatropha	10	8	C	5	Poor	Remove	0
7	<i>Ilex cassine</i> / Dahoon Holly	10	8	C	5	Poor	Remove	1

i This Holly blew over one day and was never straightened, it's at a 50 degree lean and in very poor health.

Existing Palm Demo List

Guide for Plant Appraisal, 9th Edition
 Location: 10175 Pines Blvd., Pembroke Pines, FL
 Date: 3/2/2024
 Appraiser: Thomas White, ASLA-ISA
 Landscape Architect FL #LA1100
 ISA Arborist FL-5248A

Palm #	Species (Botanical Name / Common Name)	CT (In Feet)	Condition	Disposition	Palm Replacement
3	<i>Washingtonia robusta</i> / Washington Palm	6	Good	Remove	1

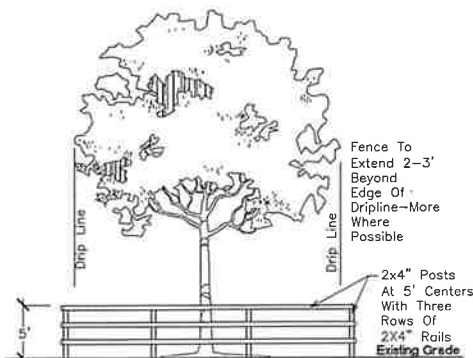
TREE TRIMMING / ROOT PRUNING SCOPE OF WORK

Per the City of Pembroke Pines: A significant amount of dieback is noted in the mature canopies throughout the site. Please provide proper, structural pruning for existing trees. Note that as per the Fire Code, vertical clearance is required for 10 feet above parking isles and 15 feet over roadways.

TRIMMING: Selectively trim the canopy removing dead limbs, cross branching over crowned areas, lower undesirable limbs and open up any unusually thick canopies. Tree crew must have at least one ISA Certified Arborist at the job site present at all times and supervising all non-certified tree trimmers. All trimming as per ISA and National Arborist Association ANSI-A300 pruning standards.

Contractor is responsible for acquiring and paying for all tree permits.

The contractor is responsible for locating all underground utilities prior to the landscape contractor's work start date.

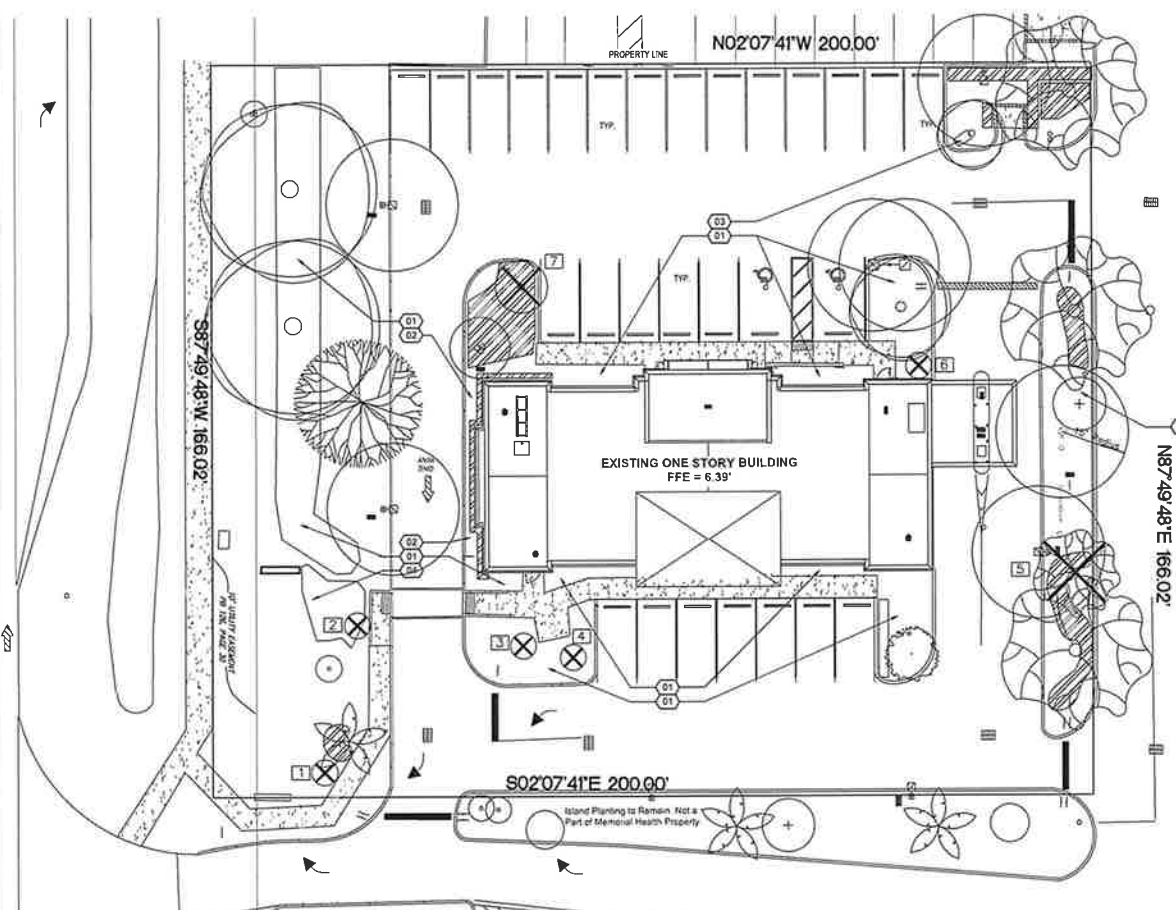


NOTE:
 From The Start And Throughout The Duration Of The Project: Contractor To Install A Wood Fence Barrier To Form A Continuous Circle Around The Tree Or All Existing Trees To Remain.

Contractor Shall Take Extra Care During Earthwork And Utility Operations To Protect All Existing Trees And Shall Be Responsible To Replace Any Damaged Trees During Construction.

EXISTING TREE PROTECTION DETAIL

NTS



LANDSCAPE DEMO KEY NOTES

1. Remove All Shrubs and Ground Covers This Area
2. Remove All Dwarf Schefflera, (Podocarpus To Remain)
3. Remove the 2 Cocoplum
4. Remove Ilex and Misc. This Area.
5. Remove Cocoplum 15' from the Existing Fire Hydrant per City Code

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

Thomas White

Digitally signed by Thomas White
 Date: 2025.01.29 14:35:11 -05'00'

LAND ART PLANNING & DESIGN, LLC
 DR. THOMAS WHITE, ASLA-ISA
 LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
 twhite@bellsouth.net
 954-253-2265

REVISIONS

4-28-2024: Original Drive Thru Added Block In.
 12-17-2024: Per City Comments Dated 11-13-24
 1-29-2025: Per City Comments Dated 1-23-25

Tree Survey / Landscape Demo Plan
Urgent and Primary Care Center
 10175 Pines Blvd.
 Pembroke Pines, Florida



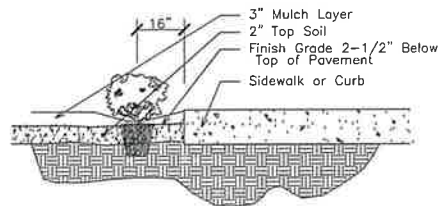
DRAWN TW
 CHECKED TW
 DATE 11-20-2023
 SCALE 1"=20'
 Sheet No. L-1
 Sheet 1 Of 2

PLANT LIST

Code	Drought	QTY.	Botanical Name / Common Name	Specifications	Canopy S.F	Total S.F	Estimated Mature Canopy Spread (Feet)	Category
EXISTING TREES / PALMS TO REMAIN								
EBS (N)	V	1	Exist. <i>Bursera simarubra</i> / Gumbo Limbo	30' OA Ht., 25" Spr., 12" DBH	490	490	50	1
EED	V	1	Exist. <i>Elaeocarpus decipiens</i> / Japanese Blueberry	10' OA Ht., 6" Spr., 2" DBH			25	2
EOV1 (N)	V	2	Exist. <i>Quercus virginiana</i> / Live Oak	35' OA Ht., 40" Spr., 20" DBH	1,256	2,512	60	1
EOV2 (N)	V	2	Exist. <i>Quercus virginiana</i> / Live Oak	16' OA Ht., 12" Spr., 8" DBH			60	1
ESM (N)	V	3	Exist. <i>Swietenia mahogany</i> / Mahogany	Average 16-20' OA Ht., 40" Spr., 6" DBH			60	1
ESR	V	1	Exist. <i>Syagrus romanzoffiana</i> / Queen Palm	18' CT			20	4
ETH	V	1	Exist. <i>Tabebuia heterophylla</i> / Pink Trumpet Tree	18' OA Ht., 5" DBH			35	2
EVM	V	1	Exist. <i>Veitchia montgomeryana</i> / Montgomery Palm, Triple Trunk	25' CT			20	4
						3,002		
PROPOSED TREES / PALMS								
CO (N)	V	5	<i>Chrysophyllum oliviforme</i> / Sain Leaf	12' Ht. X 8" Spr., 2" DBH, 5 CT			30	2
ED	V	1	<i>Elaeocarpus decipiens</i> / Japanese Blueberry	12' Ht. X 8" Spr., 2" DBH, 5 CT			25	2
MF (N)	V	4	<i>Myrcianthes fragrans</i> / Simpson Stopper	10' Ht. X 5" Spr., 1.5" DBH, 4 CT			20	3
VM	V	1	<i>Veitchia montgomeryana</i> / Montgomery Palm, Triple Trunk	12' OA Ht., 8" CT			20	4
							425	
EXISTING SHRUBS / ACCENTS								
ECIR (N)	V	64	Exist. <i>Chrysobalanus icaco</i> / 'Red Tip' Cocoplum	3' OA Ht.				
EJW	V	25	Exist. <i>Jasminum volubile</i> / Wax Jasmine	2' OA Ht.				
EPMP	V	40	Exist. <i>Podocarpus maki</i> / Podocarpus 'Pringles'	3' OA Ht.				
EPRT	V	2	Exist. <i>Phoenix roebelenii</i> / Pygmy Date Palm, Trip	5-8' CT				
ESAT	V	5	Exist. <i>Schefflera arboricola</i> 'Trinette' / Variegated Arboricola	3' OA Ht.				
PROPOSED SHRUBS								
CIR (N)	V	19	<i>Chrysobalanus icaco</i> / 'Red Tip' Cocoplum	3 Gal., 24x24", 2 OC				
CRF (N)	V	32	<i>Crinum asiaticum</i> / Tree Crinum	3 Gal., 24" Spr.				
CRO	V	29	<i>Codiaeum variegatum</i> / 'Sloppy Painter' Croton	3 Gal., 24x24", 2 OC				
CRS (N)	V	43	<i>Clusia rosea</i> / Pitch Apple	3 Gal., 24x24", 2 OC				
JWV	V	97	<i>Jasminum volubile</i> / Wax Jasmine	3 Gal., 18" Spr., 2 OC				
PMC	V	8	<i>Podocarpus maki</i> / Podocarpus Columns	5 OA Ht., FTB				
PMP	V	45	<i>Podocarpus maki</i> / Podocarpus 'Pringles'	3 Gal., 18x18", 2 OC				
EXISTING GROUND COVERS								
ELME	V	22	Exist. <i>Liriope muscari</i> 'eg' / Liriope Evergreen Giant	12" OA Ht.				
PROPOSED GROUND COVER / TURF								
LME	V	300	<i>Liriope muscari</i> 'eg' / Liriope Evergreen Giant	1 Gal., 12" OA Ht., 10-12" OC				
LMV	V	68	<i>Liriope muscari</i> 'eg' / Variegated Liriope Evergreen Giant	1 Gal., 12" OA Ht., 10-12" OC				
SOD	M		S.F. <i>Stenotaphrum secundatum</i> / St. Augustine 'Palmetto'	Solid application - no gaps between seams				
(N)			Florida Native Plant Species					
(M)			Moderate Drought Tolerance					
(V)			Very Drought Tolerant					

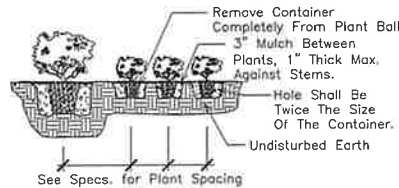
GENERAL LANDSCAPE NOTES

- The plan takes precedence over the plant list.
- 2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
- General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.
- All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.
- All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- All planting beds shall be free of all rocks 2" or larger, sticks, and all objectionable non-native material including weeds, weed seeds. All limestone, road rock, asphalt shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be lifted into the existing soil after the existing soil has been cleaned of all rocks, concrete, asphalt, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
- All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all logging tape.
- All trees/palms shall be planted so the top of the root ball, root flare is slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- All landscape and lawn areas are irrigated by an existing fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. One bubbler shall be provided for each tree. The system is operational with a rain sensor and rust inhibitor.
- No fertilizers are required.
- All landscape areas shall be covered with a 3" layer of Malaleuca mulch or Florimulch when settled. Spread mulch to 1" thickness 6" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.
- All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive *Stenotaphrum secundatum*, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
- Please refer to the planting details for a graphic representation of the above notes.
- All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Thomas L White, ASLA-ISA.
- All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.
- A min. 5 feet horizontal clearance / horizontal separation is required between city utilities infrastructure and proposed small trees and 10 foot separation from large trees.



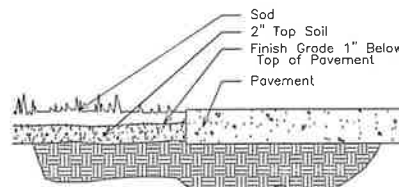
SHRUB INSTALLATION DETAIL

NTS



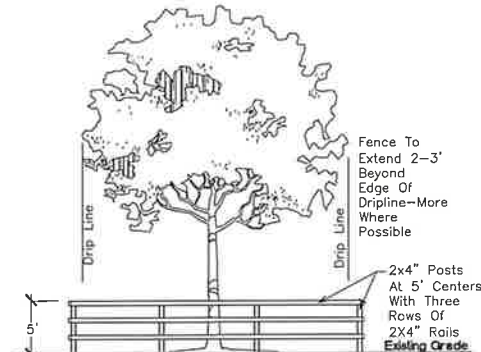
SHRUB PLANTING DETAIL

NTS



SOD INSTALLATION DETAIL

NTS

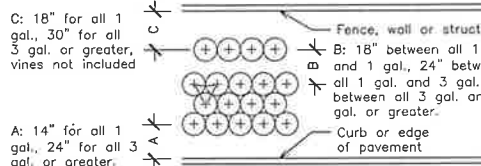


EXISTING TREE PROTECTION DETAIL

NOTE: From The Start And Throughout The Duration Of The Project: Contractor To Install A Wood Fence Barrier To Form A Continuous Circle Around The Tree Or All Existing Trees To Remain. Contractor Shall Take Extra Care During Earthwork And Utility Operations To Protect All Existing Trees And Shall Be Responsible To Replace Any Damaged Trees During Construction.

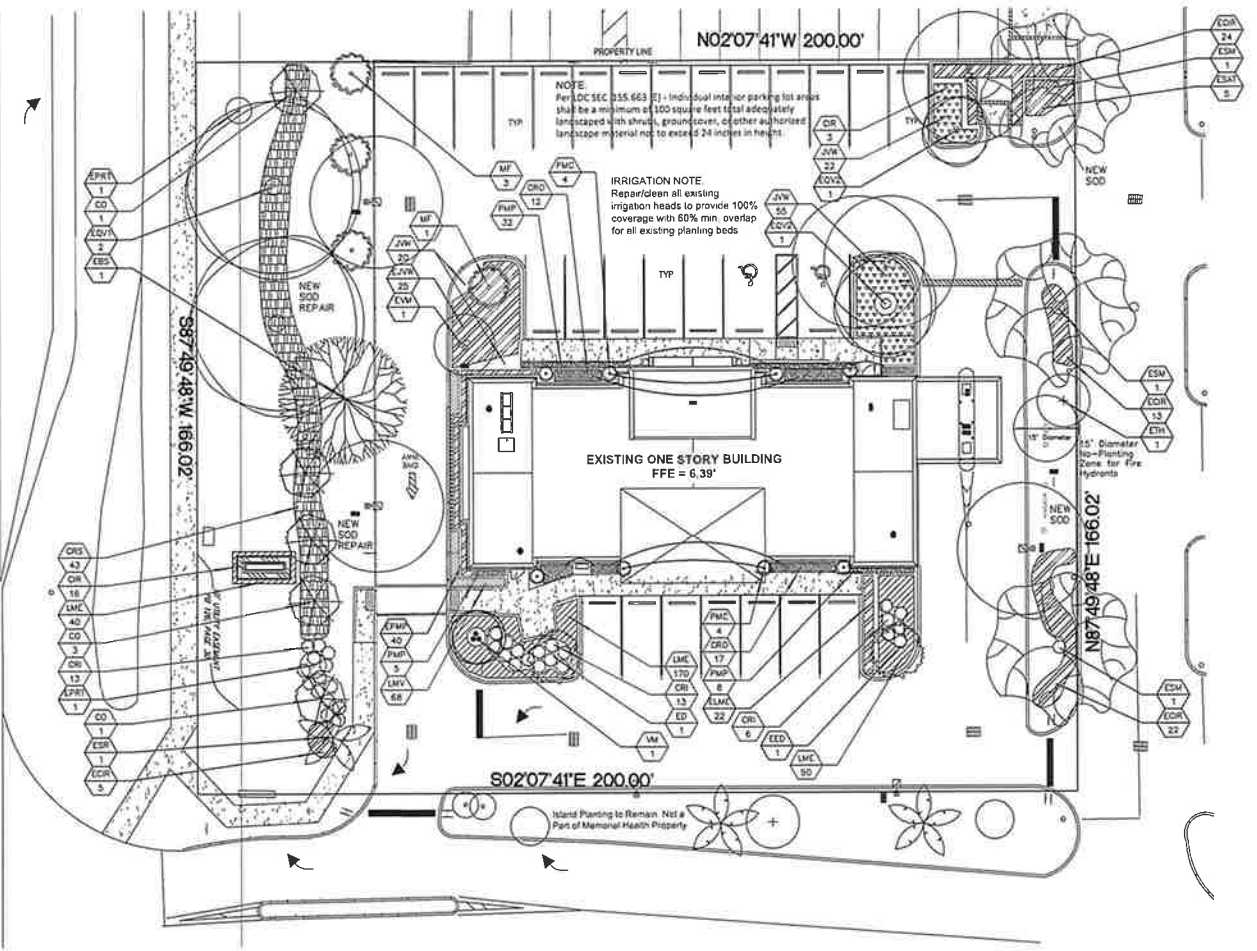
EXISTING TREE PROTECTION DETAIL

NTS



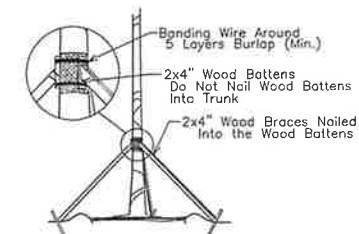
TYPICAL SHRUB SPACING DETAIL

NTS



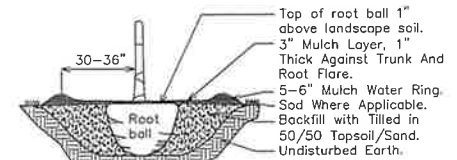
CITY OF PEMBROKE PINES LANDSCAPE CODE REQUIREMENTS

Code	Requirements	Required Trees	Provided Trees	Percentage
155 661 (G)	Properties Three Stories or < Min: Max 20% of a single species			
(a)	20% Cat 1-Required Trees 14-16 Ht. with 3" DBH	22.0%	6	28.3%
(b)	20% Cat 2-Required Trees 12-14 Ht. with 2" DBH	22.0%	8	29.3%
(c)	80% Cat 3 or 4-Required Trees 10-12 Ht. with 1.5" DBH and/or Palm at 10' OA Ht.	55.0%	15	18.3%
			27	21
155 661 (I and J)	Landscape Adjacent to Abutting Properties and ROW's One Perimeter Tree every 50 LF Minus Driveways South ROW: 156 Ft. 162' minus 6' Sidewalk	3	3	
155 662 (C)	Minimum Landscape Requirements for Nonresidential Properties 33,292 Square Feet of Gross Lot Area One Tree per every 5,000 square feet Ten Shrubs per every 5,000 square feet	7 70	7 90	
155 663 (F)	Parking Islands (With No Utility Easements Within the Island) One tree	6	6	
(1)	28 Spaces	11	11	
(a)	1,114 SF			
(2)	Every five parking spaces, and Every 100 square feet of interior landscaping: Ten SF of interior landscaping every parking space up to 50 spaces: One hundred SF of landscaping every ten parking spaces over 50 spaces;			
(3)	One SF of landscaping: Every 100 SF of paved areas up to 50,000 square feet, and			
(4)	Every 200 SF of paved areas over 50,000 square feet, and			
(a)				
(b)				
		Total Required Trees	27	27



TREE/PALM BRACING DETAIL

NTS



TREE/PALM PLANTING DETAIL

NTS

Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

Thomas White Digitally signed by Thomas White
Date: 2025.01.29 14:35:40 -05'00'

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GEO THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
twhite@bellouth.net
954-253-2285

REVISIONS

4-26-2024	Original Drive thru Added Back In
12-17-2024	Per City Comments Dated 11-13-24
1-29-2025	Per City Comments Dated 1-23-25

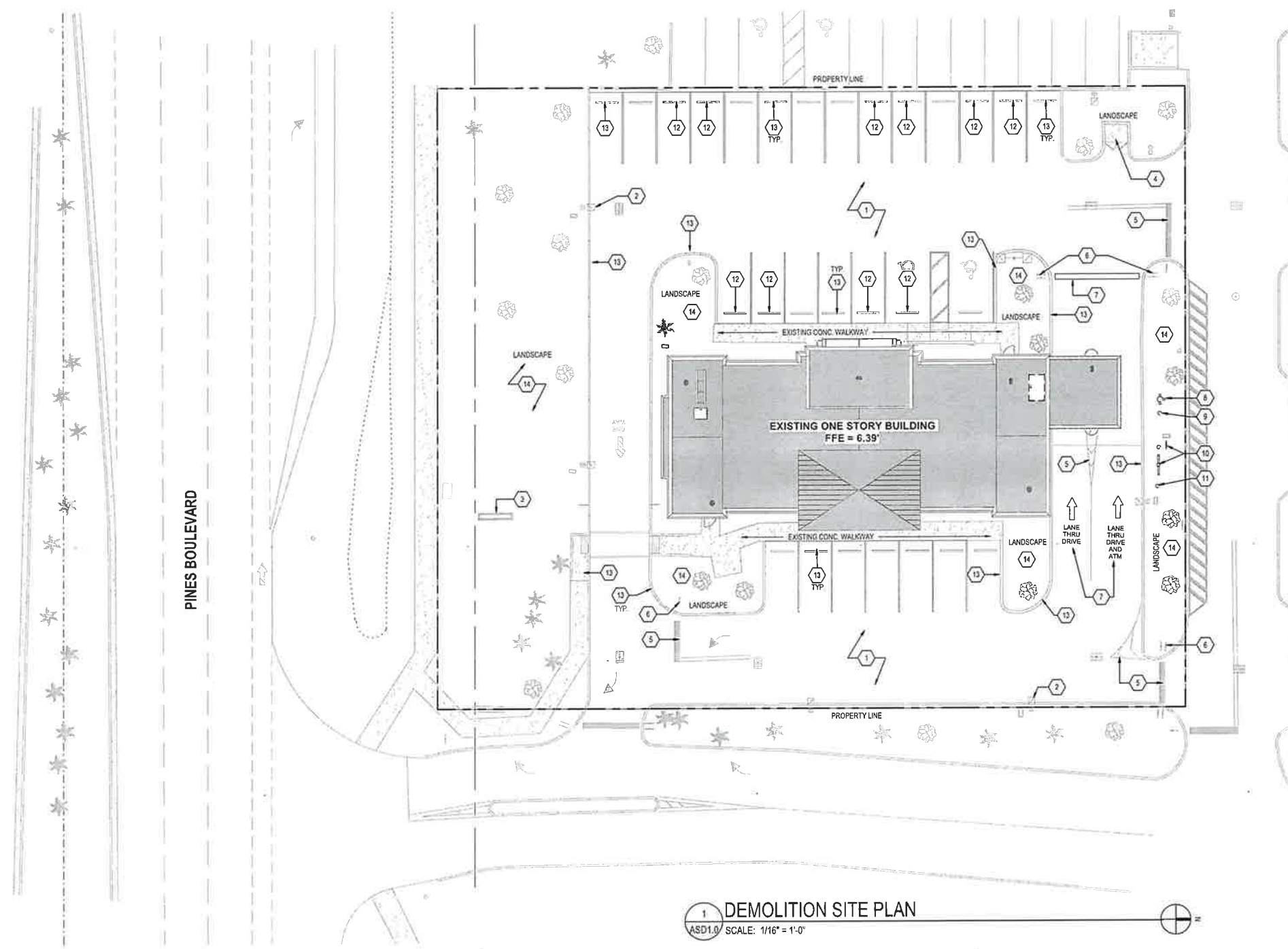
Landscape Permit Plan
Urgent and Primary Care Center
10175 Pines Blvd.
Pembroke Pines, Florida



DRAWN TW
CHECKED TW
DATE 11-20-2023
SCALE 1"=20'
Sheet No. **L-2**
Sheet 2 Of 2

SITE PLAN DEMOLITION KEYNOTES (○)

- 1 PROVIDE NEW BLACKTOP ASPHALT SURFACE. RE-SEAL & RE-STRIFE EXISTING PARKING LOT THROUGHOUT (TYP). SEE CIVIL DWGS FOR ADDITIONAL INFORMATION & SCOPE
- 2 EXISTING LIGHTPOLES TO REMAIN
- 3 EXISTING MONUMENT SIGN. CONTRACTOR TO PRESSURE CLEAN EXISTING MONUMENT SURFACE
- 4 EXISTING DUMPSTER ENCLOSURE. CONTRACTOR TO REFURBISH EXISTING ENCLOSURE GATE AS REQUIRED. PAINT ENCLOSURE & GATE TO MATCH EIFS1 (LAFITE #5W618)
- 5 EXISTING PAVEMENT MARKING(S) TO BE RE-STRIPED. SEE CIVIL FOR ADDITIONAL INFORMATION
- 6 EXISTING SIGNAGE TO REMAIN
- 7 REMOVE PAVEMENT MARKINGS
- 8 EXISTING FIRE HYDRANT TO REMAIN
- 9 EXISTING WATER VALVE TO REMAIN
- 10 EXISTING BACKFLOW PREVENTER TO REMAIN
- 11 EXISTING FCC TO REMAIN
- 12 REPLACE DAMAGED WHEELSTOP WHERE INDICATED W/ NEW TO MATCH EXISTING
- 13 EXISTING WHEELSTOP & CONCRETE CURB TO BE PRESSURE CLEAVED
- 14 SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND LANDSCAPE SCOPE



1 DEMOLITION SITE PLAN
ASD1.0 SCALE: 1/16" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
PEMBROKE PINES, FL



3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AR0009976



Charles Michelson AR0009976

Project No. :
2023-177
Drawn By :
ER
Checked By :
CM, SW, ER
Date:
07.25.24

REVISIONS
01.29.25 BLDG DEPT. COMMENT

DEMOLITION SITE
PLAN

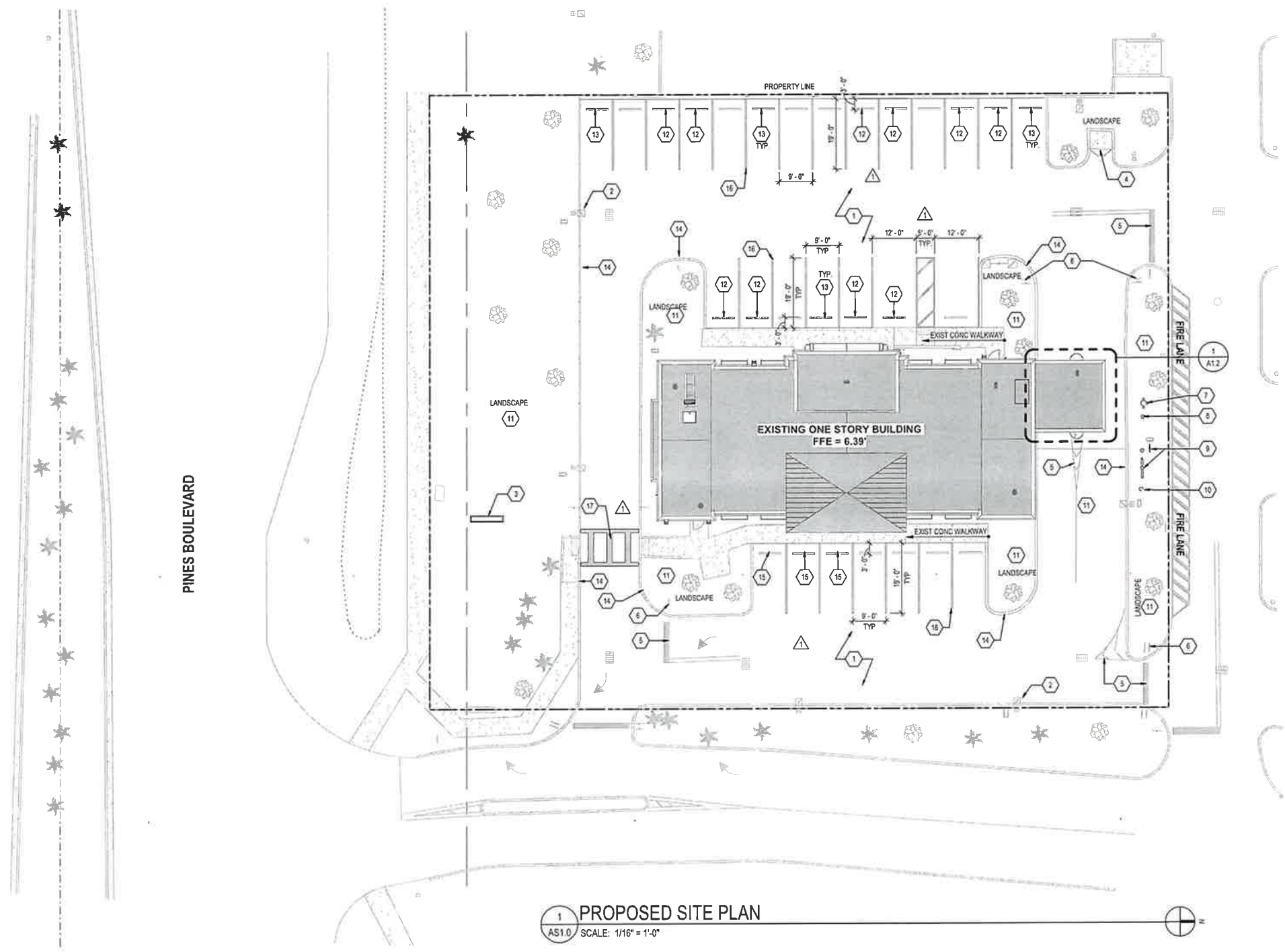
ASD1.0

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SITE PARKING REQUIREMENTS			
PARKING REQUIRED (PER ARTICLE 6 & SEC 606)			
HEALTH CARE (MEDICAL - GENERAL)			
5.75 SPACES PER 1,000 SQ FT.			
4,320 SQ FT / 1,000 SQ FT = 4.32 SPACES		25 PARKING SPACES	
5.75 SPACES x 4.32 SPACES =			
PARKING PROVIDED			
SURFACE PARKING			
		28 PARKING SPACES	
ACCESSIBLE PARKING			
25 - 50 SPACES	REQUIRED	PROVIDED	
	2	2	
PARKING SCHEDULE			
GRADE LEVEL	TYPE	PHASE	COUNT
Existing			
7' x 15' - 80 deg	Existing		26
12' x 15' (5' Aisle)	Existing		2
			28

- PROPOSED SITE PLAN KEYNOTES ()**
- PROVIDE NEW BLACKTOP ASPHALT SURFACE, RE-SEAL & RE-STRIPE EXISTING PARKING LOT THROUGHOUT (TYP). SEE CIVIL DWGS FOR ADDITIONAL INFORMATION & SCOPE
 - EXISTING LIGHTPOLES TO REMAIN (TYP)
 - EXISTING MONUMENT SIGN, CONTRACTOR TO PRESSURE CLEAN EXISTING MONUMENT SURFACE
 - EXISTING DUMPSTER ENCLOSURE, CONTRACTOR TO REFURBISH EXISTING ENCLOSURE GATE AS REQUIRED, PAINT ENCLOSURE & GATE TO MATCH EFS1 (LATTICE #5W101)
 - EXISTING PAVEMENT MARKINGS TO BE RE-STRIPE. SEE CIVIL FOR ADDITIONAL INFORMATION
 - EXISTING SIGNAGE TO REMAIN
 - EXISTING FIRE HYDRANT TO REMAIN
 - EXISTING WATERVALVE TO REMAIN
 - EXISTING BACKFLOW PREVENTER TO REMAIN
 - EXISTING FDC TO REMAIN
 - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND LANDSCAPE SCOPE
 - REPLACE DAMAGED WHEELSTOP WHERE INDICATED BY NEW TO MATCH EXISTING. CONTRACTOR TO ADD MHS LOGO TO NEW WHEEL STOPS
 - EXISTING WHEELSTOP TO BE PRESSURE CLEANED & REPAINTED WHITE. CONTRACTOR TO ADD MHS LOGO TO ALL WHEELSTOPS
 - EXISTING CONCRETE CURB TO BE PRESSURE CLEANED & REPAINTED WHITE
 - EXISTING WHEELSTOP TO BE PRESSURE CLEANED & REPAINTED WHITE. CONTRACTOR TO ADD "EMPLOYEE ONLY" TO WHEELSTOP
 - EXISTING WHEELSTOP TO BE PRESSURE CLEANED & REPAINTED WHITE. CONTRACTOR TO ADD MHS LOGO TO ALL WHEELSTOPS
 - EXISTING CONCRETE CURB TO BE PRESSURE CLEANED & REPAINTED WHITE

- GENERAL SITE PLAN NOTES**
- REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND SITE IMPROVEMENT SCOPE OF WORK
 - ALL NEW CONCRETE SIDEWALKS & RAMPS SHALL SLOPE TOWARDS PARKING AREA AT 1:12 MAX WITH TRUNCATED DOME DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE ACCESSIBILITY
 - PROVIDE LIGHT BROOM FINISH AT CONCRETE SIDEWALKS
 - LANDSCAPE AREAS SHALL NOT OBSCURE OR BLOCK FIRE HYDRANTS OR SIAMERSE CONNECTIONS (IF ANY)
 - BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM
 - ALL EXTERIOR SIGNAGE SHALL COMPLY WITH CITY OF PEMBROKE PINES LAND DEVELOPMENT CODE
 - ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW
 - COORDINATE WITH CITY OF PEMBROKE PINES UTILITIES DEPARTMENT FOR WATER & SEWER SERVICE
 - ALL NEW LANDSCAPE SHALL COMPLY WITH CITY CODES & ORDINANCES
 - ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN MUST BE IN CONFORMANCE WITH CITY OF PEMBROKE PINES ENGINEERING STANDARDS AND FDOT STANDARDS. SEE CIVIL DRAWINGS FOR DETAILS
 - PROVIDE 5% GRADE SLOPE AWAY FROM THE BUILDING FOR AT LEAST 10'-0" TO ASSURE PROPER DRAINAGE AND DETER WATER INTRUSION
 - PER FBC 101.4.1, ELECTRICAL CONTRACTOR SHALL SUBMIT ELECTRICAL PERMIT APPLICATION TO BUILDING DEPARTMENT
 - PER FBC-ADM 105.2.3, PERMIT DRAWINGS SHALL BE ROUTED TO ENVIRONMENTAL PROTECTION DEPARTMENT (EPD), WASTEWATER MANAGEMENT, DOT AND BCAD FOR REVIEW & APPROVAL
 - PER FBC-ADM 107.3, ALL STOREFRONT SYSTEM STEEL STRUCTURE SHALL REQUIRE SHOP DRAWING SUBMITTAL TO BUILDING DEPARTMENT.
 - EXISTING WHEELSTOP TO BE PRESSURE CLEANED & REPAINTED WHITE. CONTRACTOR TO ADD "EMPLOYEE ONLY" TO WHEELSTOP
 - EXISTING PARKING STRIPES TO BE RE-STRIPE PER CITY STANDARD S-32 & R-41. SEE CIVIL DWGS FOR ADDITIONAL INFO & DETAILS
 - NEW THERMOPLASTIC CROSSWALK MARKINGS PER FDOT STANDARDS (INDEX 711-001). SEE CIVIL DWGS FOR ADDITIONAL INFO & DETAILS



1 PROPOSED SITE PLAN
AS1.0 SCALE: 1/16" = 1'-0"

URGENT & PRIMARY CARE CENTER
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Charles Michelson AR0009976

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REVISIONS
12.17.24 BLDG DEPT COMMENT
01.29.25 BLDG DEPT COMMENT

PROPOSED SITE
PLAN

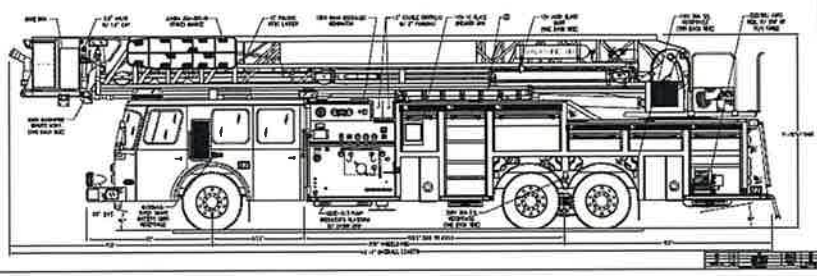
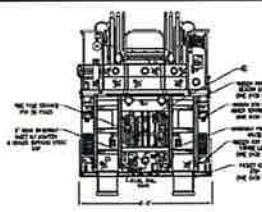
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PEMBROKE PINES FIRE DEPT.
PEMBROKE PINES, FL
NO. 128635
APPROVED FOR PRODUCTION

NO.	DESCRIPTION	DATE	BY
1	EXISTING FIRE HYDRANT TO REMAIN		
2	EXISTING WATERVALVE TO REMAIN		
3	EXISTING BACKFLOW PREVENTER TO REMAIN		
4	EXISTING FDC TO REMAIN		
5	EXISTING "NO PARKING FIRE LANE" SIGN TO REMAIN		
6	EXISTING FIRE LANE & STRIPING		
7	EXISTING FIRE DEPT ACCESS ROUTE		
8	FIRE DEPT TRUCK (SEE TRUCK DETAILS & SPECIFICATIONS THIS SHEET)		
9	EXISTING "D" CURB		
10	EXISTING SIGN		

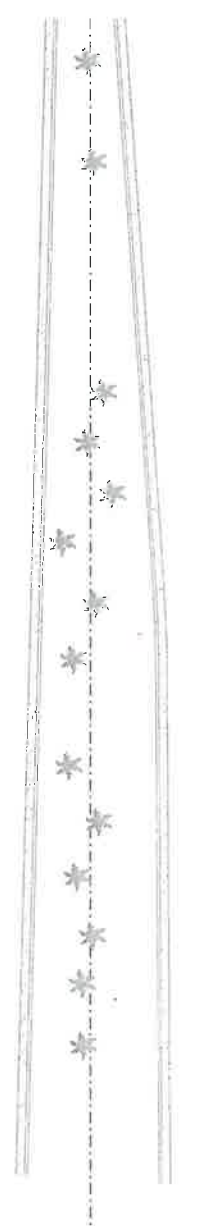


FIRE TRUCK ACCESS PLAN KEYNOTES (C)

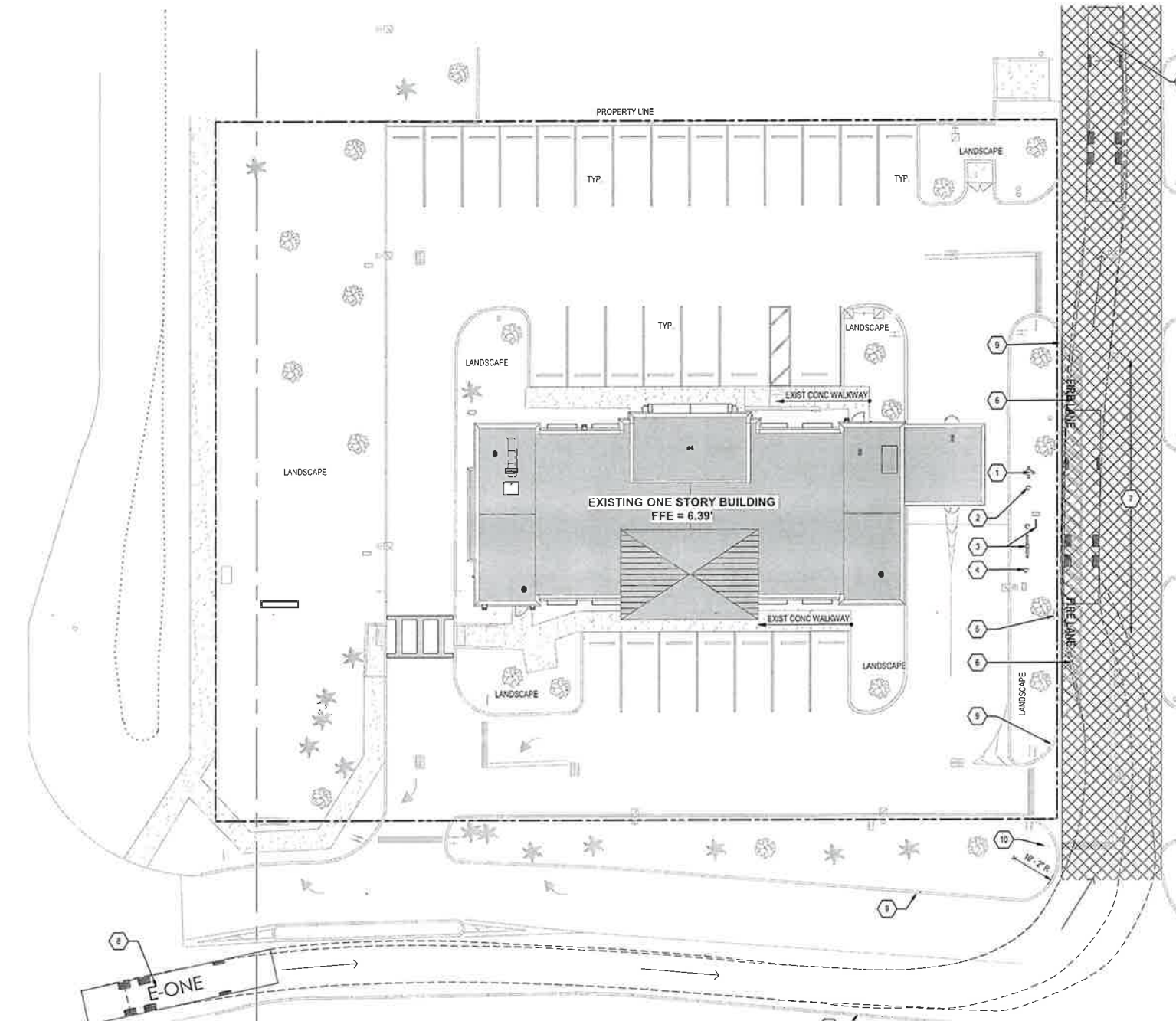
- EXISTING FIRE HYDRANT TO REMAIN
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- EXISTING FIRE DEPT ACCESS ROUTE
- FIRE DEPT TRUCK (SEE TRUCK DETAILS & SPECIFICATIONS THIS SHEET)
- EXISTING "D" CURB
- EXISTING SIGN

FIRE TRUCK ACCESS PLAN GENERAL NOTES

- BUILDING IS FULLY FIRE SPRINKLERED.
- REFER TO CIVIL DRAWINGS FOR PAVEMENT MARKINGS & SIGNAGE PLAN.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREAFTER CONSTRUCTION OR RELOCATED PER NFPA-118 2.3.1.1.
 - FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF ROADWAY, FIRE LANES, PARKING LOT LANES, OR A COMBINATION THEREOF PER NFPA-118 2.3.1.2.
 - FIRE LANES SHALL BE PROVIDED FOR ALL BUILDINGS WHICH ARE A SETBACK OF MORE THAN 150' FROM A PUBLIC ROADWAY, OR WHICH EXCEED 30' IN HEIGHT AND ARE SETBACK OVER 50' FROM A PUBLIC ROAD. FIRE LANES SHALL BE AT LEAST 20 FT IN WIDTH WITH ROAD EDGE CLOSEST TO THE BUILDING AT LEAST 10 FT FROM THE BUILDING PER COPP CO 93.11 (B).
- MORE THAN ONE FIRE APPARATUS ACCESS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE AHJ THAT ACCESS BY A SINGLE ROAD COULD BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATE CONDITIONS, OR OTHER FACTORS THAT COULD LIMIT ACCESS PER NFPA-118 2.3.3.
 - FIRE APPARATUS ACCESS ROADS FOR FIRE DEPARTMENT USE ONLY SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FT PER NFPA-118 2.3.5.1.1 (THE MINIMUM 20 FT WIDTH REQUIRED BY NFPA-118 2.3.4.1.1 ALLOWS FOR TWO-WAY VEHICULAR TRAFFIC AND FOR ONE FIRE APPARATUS TO PASS WHILE ANOTHER IS WORKING AT A FIRE HYDRANT OR CONDUCTING AERIAL OPERATIONS).
 - DRIVING LANES SHALL HAVE A MINIMUM CLEAR WIDTH OF 24 FT FOR TWO-WAY TRAFFIC, 15 FT FOR ONE-WAY TRAFFIC PER COPP CO 154.35 (5). FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH ON NOT LESS THAN 20 FT PER NFPA-118 2.3.4.1.1.
- THE REQUIRED WIDTH OF A FIRE APPARATUS ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES PER NFPA-118 2.3.1.1.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'4" PER NFPA-118 2.3.5.1.2. VERTICAL CLEARANCES OR WIDTHS SHALL BE INCREASED WHEN VERTICAL CLEARANCES OR WIDTHS ARE NOT ADEQUATE TO ACCOMMODATE FIRE APPARATUS PER NFPA-118 2.3.4.1.2.2.
 - THERE SHALL BE A 14' MIN WIDTH AT LEVEL 6' TO 8' FROM ROADWAY TO ACCOMMODATE VEHICLE MIRRORS WHERE APPLICABLE.
 - MINIMUM REQUIRED WIDTHS AND CLEARANCES ESTABLISHED UNDER 18.2.3.5 SHALL BE MAINTAINED AT ALL TIMES PER NFPA-118 2.4.1.2.
- THE ANGLE OF APPROACH AND DEPARTURE FOR ANY MEANS OF THE FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 1 FT DROP IN 20 FT OR DESIGN LIMITATIONS OF THE FIRE APPARATUS OF THE FIRE DEPARTMENT AND SHALL BE SUBJECT TO APPROVAL BY THE AHJ PER NFPA-118 2.3.5.2.
- FIRE DEPARTMENT ACCESS ROADS CONNECTING TO ROADWAYS SHALL BE PROVIDED WITH CURB CUTS EXTENDING AT LEAST 2 FT BEYOND EACH EDGE OF THE FIRE APPARATUS ACCESS ROAD PER NFPA-118 2.3.5.3.
- THE DESIGN AND USE OF TRAFFIC CALMING DEVICES SHALL REQUIRE APPROVAL BY THE AHJ AND COPP ENGINEERING DEPARTMENT, NFPA-118 2.3.5.7.
- WHERE REQUIRED BY THE AHJ, APPROVED SIGNS, APPROVED ROADWAY SURFACE MARKING, OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE APPARATUS ACCESS ROADS OR TO PROHIBIT THE OBSTRUCTION THEREOF OR BOTH PER NFPA-118 2.3.6.1.
 - THE DESIGNATION OF FIRE LANES OR FIRE ZONES ON PRIVATE PROPERTY SHALL BE ACCOMPLISHED AS SPECIFIED BY THE CITY FIRE CHIEF OR A SUBORDINATE APPOINTED BY HIM TO PERFORM THIS DUTY. SIGNS SHALL BE POSTED DESIGNATING SUCH FIRE LANES OR ZONES PER COPP CO 93.12.
 - FIRE LANES SHALL BE DESIGNATED BY YELLOW THERMOPLASTIC PAINT, STRIPING OR MARKING OF CURBS AND ROADWAY BETWEEN EACH FIRE LANE. SIGN(S) SHALL BE PROVIDED.
 - FIRE LANE(S) SHALL BE 10'x24' AND SHALL BE MARKED WITH FREESTANDING SIGNS WITH THE WORDING "NO PARKING FIRE LANE" BY ORDER OF THE FIRE DEPARTMENT OR SIMILAR WORDING. SUCH SIGNS SHALL BE 12"x18" WITH WHITE BACKGROUND AND RED LETTERS AND SHALL BE A MAXIMUM OF 7 FT IN HEIGHT FROM THE ROADWAY TO BE THE BOTTOM PART OF THE SIGN. THE SIGNS SHALL BE WITHIN SIGHT OF THE TRAFFIC FLOW AND BE A MAXIMUM OF 60 FT APART. NFPA-118 2.3.6.3.
- AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDING ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION. THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 18.4. NFPA-118 3.1.
- FIRE FLOW CALCULATIONS FOR MANUAL FIRE SUPPRESSION PURPOSES ARE REQUIRED TO BE PROVIDED IN ACCORDANCE WITH NFPA-118 4.
 - FIRE FLOW CALCULATIONS MUST BE PROVIDED ON SEPARATE SHEETS PRIOR TO APPROVAL ON ENGINEERING PERMITS. FIRE FLOWS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.
 - THE FIRE FLOW TEST MUST BE WITNESSED BY A PEMBROKE PINES FIRE INSPECTOR. PLEASE CALL (954) 499-9560 TO COORDINATE A TEST DATE AND TIME.
- ALL SUPPORT SIGN POSTS SHALL CONFORM TO CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) STANDARDS FOR SQUARE TUBE SIGN POSTS WITH EITHER A SQUARE ANCHOR OR TRIANGULAR SLIP BASE PER BCTED "GROUND SIGN ASSEMBLY DETAILS".
- IN ALL NEW AND EXISTING BUILDINGS, MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ PER NFPA-111 10.2.
 - THE OWNER'S REP OR GC SHALL CONDUCT A PRELIMINARY INITIAL ASSESSMENT TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IS IN COMPLIANCE WITH BROWARD COUNTY STANDARDS.
 - PRIOR TO ANY TESTING, THE OCCUPANCY SHALL BE STRUCTURALLY COMPLETED WITH ALL INTERIOR PARTITIONS, WINDOWS AND DOORS INSTALLED. IT IS RECOMMENDED THAT THE STRUCTURE IS EQUIPPED WITH AN INFRASTRUCTURE TO ALLOW FOR INSTALLATION IF IT IS LATER DETERMINED THAT A BDA IS REQUIRED.
 - AN ASSESSMENT WILL BE CONDUCTED BY THE OWNER'S REP OR GC TO DETERMINE IF THE MINIMUM RADIO SIGNALS STRENGTH FOR FIRE DEPARTMENT COMMUNICATION IN THE OCCUPANCY IS IN COMPLIANCE, IN ACCORDANCE WITH NFPA-111 10.1 AND NFPA-72 24.5.2.2.1 THROUGH NFPA-72 24.5.2.2.3.
- RADIO COVERAGE SHALL BE PROVIDED THROUGHOUT THE BUILDING AS A PERCENTAGE OF FLOOR AREA AS SPECIFIED BELOW IN ACCORDANCE WITH NFPA-72 14.4.12.1.2 THROUGH NFPA-72 14.4.12.1.4 AND NFPA-72 24.5.2.3.
 - A TEST GRID (HEAT MAP) PLAN SHALL BE PRODUCED TO ENSURE TESTING THROUGHOUT THE BUILDING.
 - SIGNAL LEVELS SHALL BE MEASURED TO ENSURE THE SYSTEM MEETS THE CRITERIA OF NFPA-72 24.5.2.3 WITH A MINIMUM INBOUND SIGNAL STRENGTH OF -95 DBM AND A MINIMUM OUTBOUND SIGNAL ON -95 DBM AT THE DONOR SITE.



PINES BOULEVARD



FIRE TRUCK ACCESS PLAN
AS1.1 SCALE: 1/16" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
PEMBROKE PINES, FL



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Charles Michelson AR0009976

Project No.: 2023-177
Drawn By: ER
Checked By: ER
Date: 07.25.24

REVISIONS
12.17.24 BLDG DEPT COMMENT

FIRE TRUCK ACCESS PLAN

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DEMOLITION PLAN KEYNOTES (○)

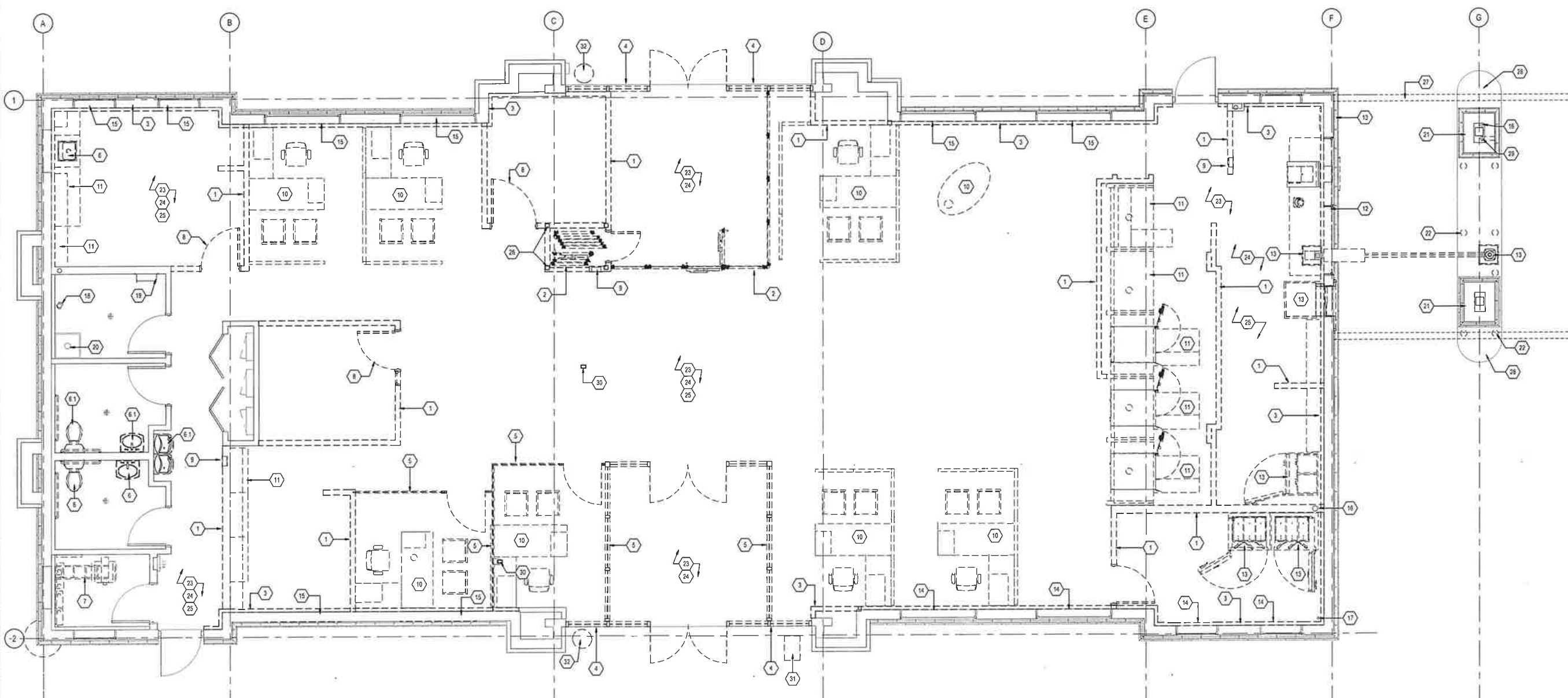
- 1 REMOVE EXISTING GYP BD PARTITION DENOTED BY DASHED LINES (TYP)
- 2 REMOVE EXISTING NANAWALL, ENCLOSURE, & SUPPORTING STRUCTURE
- 3 REMOVE EXISTING PERIMETER WALL FURRING DENOTED BY DASHED LINES
- 4 REMOVE EXISTING STOREFRONT SYSTEM & REPLACE W/ IMPACT RESISTANT SYSTEM. SEE A1.0 FOR NEW CONFIGURATION. EXISTING OPENING SIZES TO REMAIN & WILL NOT BE MODIFIED
- 5 REMOVE EXISTING INTERIOR STOREFRONT GLASS SYSTEM
- 6 REMOVE EXISTING PLUMBING FIXTURE AND ACCESSORIES. CAP EXISTING SANITARY LINES. EXISTING WATERLINE TO BE PULLED BACK TO SOURCE
- 6.1 REMOVE EXISTING PLUMBING FIXTURE AND ACCESSORIES & REPLACE W/ NEW. SEE SHEET A2.0 FOR PROPOSED SPECS
- 7 REMOVE EXISTING I.T. RACK & EQUIPMENT
- 8 REMOVE EXISTING DOOR & FRAME DENOTED BY DASHED LINES
- 9 REMOVE & RELOCATE EXISTING RECESSED FIRE EXTINGUISHER CABINETS. SEE SHEET G101 FOR NEW LOCATION
- 10 EXISTING FURNITURE TO BE REMOVED
- 11 REMOVE EXISTING MILLWORK AND/OR CABINETS
- 12 REMOVE EXISTING DRIVE-THRU WINDOW. FILL IN OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION
- 13 REMOVE ALL EXISTING BANKING EQUIPMENT, SAFES, NIGHT DEPOSIT BOXES, VAT SYSTEM, PNEUMATIC TO BE, ETC. FILL IN WALL OPENINGS AS NECESSARY TO MATCH ADJACENT
- 14 REMOVE EXISTING WINDOW TREATMENT WHERE INDICATED
- 15 EXISTING WINDOW TREATMENT TO REMAIN
- 16 EXISTING RWL TO REMAIN
- 17 EXISTING TEST VALVE TO REMAIN
- 18 EXISTING FIRE RISER TO REMAIN
- 19 EXISTING ROOF ACCESS LADDER TO REMAIN
- 20 EXISTING JANITOR MOP SINK TO REMAIN
- 21 EXISTING FRAMED COLUMN ENCLOSURE TO REMAIN
- 22 REMOVE EXISTING BOLLARDS (TYP OF 7)
- 23 REMOVE ALL EXISTING FLOOR & WALL FINISHES IN ITS ENTIRETY THROUGHOUT ENTIRE BUILDING
- 24 REMOVE ALL EXISTING CEILING GRID, TILE, LIGHT FIXTURES, GYP BD CEILINGS & HEADERS, & HVAC GRILLES THROUGHOUT. SPRINKLER HEADS TO REMAIN.
- 25 REMOVE ALL EXISTING ELECTRICAL RECEPTACLES THROUGHOUT
- 26 REMOVE EXISTING NANAWALL SUPPORT HSS COLUMNS (TYP OF 4)
- 27 LINE OF EXISTING CANOPY ABOVE
- 28 EXISTING RAISED CONCRETE ISLAND TO REMAIN
- 29 EXISTING OVERFLOW DRAIN TO REMAIN
- 30 REMOVE EXISTING FLOOR BOX & ASSOCIATED WIRING/ CABLING. INFILL OPENING TO MATCH EXISTING CONC. SLAB
- 31 REMOVE & REPLACE EXISTING MAILBOX W/ USPS APPROVED LOCKABLE MAILBOX
- 32 REMOVE EXISTING TRASH BIN

DEMOLITION PLAN SYMBOL LEGEND & GENERAL NOTES

- EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING CONSTRUCTION TO BE REMOVED

GENERAL DEMOLITION FLOOR PLAN NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.
2. THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL BE SUBMITTED FOR REVIEW. THE PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE OF OPERATION.
3. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPTING ITEMS INDICATED TO BE TURNED OVER TO MHS REP. IS VESTED IN THE CONTRACTOR AT START OF PROJECT. ALL PLUMBING FIXTURES, LIGHTING FIXTURES, A/C EQUIPMENT, APPLIANCES, TRAYS, SPECIALTY ITEMS, ETC. SHALL BE EVALUATED BY MHS REPRESENTATIVE AS TO THE STATUS OF THEIR REMOVAL. MHS WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS OR DAMAGE OF SUCH PROPERTY AFTER NOTICE TO PROCEED.
4. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND EXAMINE THE PLANS AND IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INVESTIGATED AND IS FULLY INFORMED OF THE CONDITIONS AND MATERIALS TO BE ENCOUNTERED AS TO CHARACTER, QUALITY AND QUANTITIES OF WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED AND AS TO THE REQUIREMENTS OF THE PLANS.
5. THE CONTRACTOR SHALL REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACCOMPLISH ALL NEW WORK TO AREAS SHOWN.
6. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
7. THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING AND POLLUTION. THE USE OF WATER WILL BE PERMITTED FOR MISTING AND WET FLOOR MOPPING.
8. ALL EXISTING SURFACES SUCH AS WALLS, FLOORS, CEILINGS, BASES, ETC. THAT ARE AFFECTED BY THESE ALTERATIONS ARE TO HAVE NEW MATERIAL AND FINISH AS REQUIRED TO MATCH ALL ADJACENT EXISTING FINISHES.
9. GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF EXISTING CONCRETE SLABS, PARTITIONS, ETC. AS MAY BE REQUIRED FOR ALL TRADES TO ACCOMPLISH ALL WORK REQUIRED BY THESE CONTRACT DOCUMENTS. CONTRACTOR SHALL DO ALL PATCHING AND PROVIDE NEW FINISHES TO MATCH EXISTING SO AS TO MAKE THE "PATCHED AREA" INDISCERNIBLE FROM THE EXIST. ADJACENT AREA.
10. UTILITY SERVICES: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR IN-USE FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
 - B. PROTECTION: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - C. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONAL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDINGS.
11. CONTRACTOR SHALL COORDINATE AND SUPERVISE HIS WORK AND WORK BY SUBCONTRACTORS.
12. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED, REPRODUCED, OR CHANGED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.
13. ALL MATERIALS AND WORK TO CONFORM TO LATEST GOVERNING BUILDING CODES AND REGULATIONS.
14. CONTRACTOR IS RESPONSIBLE FOR ONGOING CLEAN-UP AND REMOVAL OF ALL CONSTRUCTION DEBRIS.



1 DEMOLITION PLAN
 AD1.0 SCALE: 1/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
 10175 PINES BLVD
 PEMBROKE PINES, FL



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AR0009976



Charles Michelson AR0009976

Project No.: 2023-177
 Drawn By: ER
 Checked By: CM, SW, ER
 Date: 07.25.24

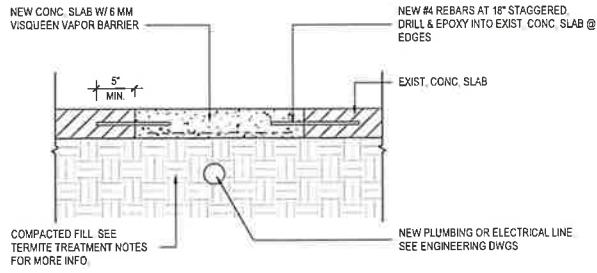
REVISIONS

DEMOLITION PLAN

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TERMITE TREATMENT NOTES

- PER FDC 1818.1, TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.
- UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT & PRIOR TO BUILDING FINAL INSPECTION, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"
- A WEATHER RESISTANT JOBSITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, DENSITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED. TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT, IF THE SOIL, CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

FLOOR PLAN KEYNOTES

- EXISTING DOOR TO REMAIN CLOSED. PROVIDE BLACKOUT TINT ON INTERIOR OF DOOR & TRANSOM.
- NEW EGGCRON SIT-WALL MOUNTED SYSTEM (TYP @ ALL EXAM ROOMS)
- NEW CURTAIN TRACK - TYP @ ALL EXAM ROOMS. SEE 1/A8.2 FOR DETAIL.
- NEW IMPACT GLASS W/ SPEAK THRU
- EXISTING MOTORIZED WINDOW TREATMENT TO REMAIN. CONTRACTOR TO REFURBISH ANY WINDOW TREATMENTS AS REQUIRED TO ENSURE THEY ARE FUNCTIONAL.
- DENOTES CARD READER ACCESS. CONTRACTOR TO PROVIDE EMPTY CONDUIT AND BOX. MHS SECURITY VENDOR TO SUPPLY & INSTALL THE NECESSARY CABLING AND CARD READERS.
- TIME CLOCK. PROVIDE ELECTRICAL & LOW VOLTAGE CONNECTION.
- 50" W x 30" D x 84" H STORAGE CABINET
- 50" W x 30" D x 96" H STORAGE CABINET
- NEW AFFRON RACK. PROVIDE WALL BACKING AS REQUIRED.
- NEW PRIVACY CURTAIN TRACK
- FLOOR BENEATH TUBE STAND, FLOOR RAIL & TABLE BASE PLATE SHALL BE FLAT & LEVEL WITH TOTAL TOLERANCE OF 1/8"
- PROVIDE 1" x 2" x 12" WOOD BLOCKING FROM STUD TO STUD (FLUSH MOUNTED). CENTERLINE OF STUD TO BE @ 14" A.F.F.
- PROVIDE FULL HEIGHT CORNER GUARDS @ ALL EXPOSED CORNERS IN PUBLIC AREAS (TYP.)
- 15" D x 3/4" BAR HEIGHT COUNTER
- WALL MOUNTED PROCEDURE LIGHT. PROVIDE WALL BACKING AS REQ'D.
- NEW 5.5" OVERMOUNT SINK (SPEC: PROFLO PFR9 25223) W/ FAUCET (SPEC: AMERICAN STANDARD RENATE #9319310 003)
- REFRIGERATOR BY OWNER. PROVIDE WATER LINE
- 12" D ADJUSTABLE SHELVES ON STANDARDS. 1ST SHELF MOUNTED @ 44" A.F.F. @ BIOMED CLOSETS. SEE DETAIL 11/A8.0
- UNDERCOUNTER MEDICATION REFRIGERATOR BY OWNER
- NEW ADA COMPLIANT BI-LEVEL DRINK FOUNTAIN W/ BOTTLE FILLER. (SPEC: EUKAY LISTLIVSKI) PROVIDE WALL BACKING AS REQUIRED
- PATIENT POINT MONITOR BY OWNER. PROVIDE WALL BACKING AS REQUIRED. SEE DETAILS 2/A8.2
- USB RECEPTACLE TO BE RECESSED TYPE OUTLET
- WALL MOUNTED MONITOR BY OWNER. PROVIDE WALL BACKING AS REQUIRED. SEE DETAILS 2/A8.2
- EXISTING PLUMBING LINES TO BE ENCASED/ENCLOSED IN NEW PARTITION WALL. PROTECT DURING DEMOLITION & CONSTRUCTION
- EXISTING MOPSINK TO REMAIN
- EXISTING ROOF ACCESS LADDER TO REMAIN
- SEE ELECT. DWGS FOR ADDITIONAL INFO IN 11. ROOM ALL EQUIPMENT TO BE SUPPLIED & INSTALLED BY OWNER. COORDINATE REQUIREMENTS W/ MHS IT. CONSTRUCTION
- ALL EXISTING PLYWOOD SWITCH PANEL BOARDS TO REMAIN. PAINT BLACK BEING CAREFUL NOT TO CONCEAL ANY AND ALL FIRE RATING STAMPS.
- PROVIDE BLACKOUT TINT ON STOREFRONT GLASS SYSTEM WHERE INDICATED
- PROVIDE EYE WASH ATTACHMENT (SPEC: HANS MÖBEL 7620)
- 36" W x 36" H LEAD LINED WINDOW. 3.0. WINDOW @ 48" AFF
- REMOVE ALL / DETERIORATED SEALANT AT EXISTING WINDOW / STOREFRONT TRANSITIONS AND INSTALL NEW SEALANT TO MAINTAIN MOISTURE BARRIER.
- 36" W x 24" H FIXED TEMPERED GLASS WINDOW. 8.0. WINDOW INSTALLED @ 48" AFF
- NEW DOOR RELEASE PUSH BUTTON. COORDINATE FINAL LOCATION W/ END USER (TYP OF 2)
- SOLID SURFACE COUNTER TOP TO BE NOTCHED AROUND NEW PARTITION
- PROVIDE DUPLEX RECEPTACLE & CCTV CIRCUIT @ 72" AFF. SEE ELECT DWGS FOR ADDITIONAL INFORMATION
- MOBILE EYE EXAM CART. PROVIDE DUPLEX & LOW VOLTAGE
- NEW USPS APPROVED LOCKABLE MAILBOX
- PROVIDE JUNCTION BOX FOR SECURITY ALARM PANEL @ 48" AFF
- GLASS CONTAINMENT SAFETY LINE (Ø 5m)

FLOOR PLAN LEGEND, SYMBOLS & SHEET NOTES

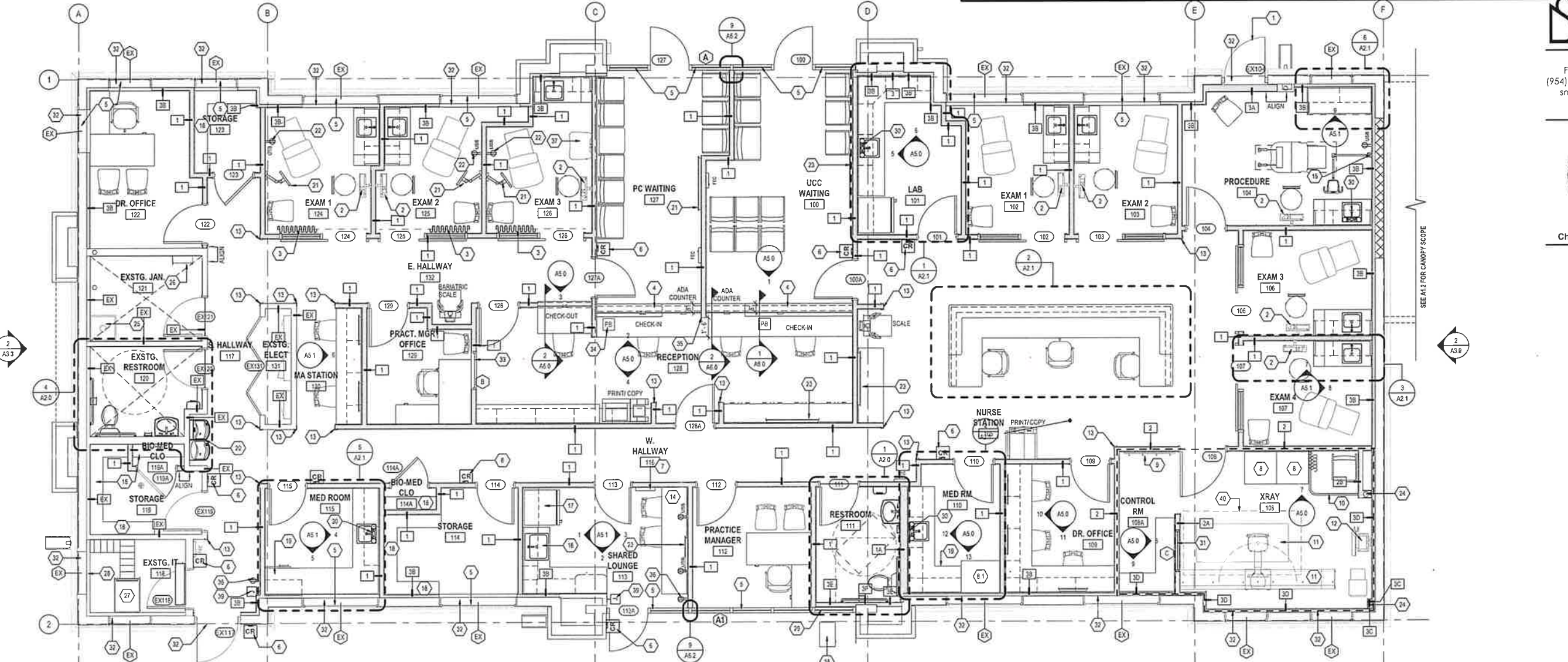
	EXISTING WALL	ROOM NAME	ROOM NAME & NUMBER
	GYPSUM BOARD WALL SYSTEM		WALL TYPE
	LEAD LINED PARTITION		WINDOW TYPE
	CARD READER/ SECURITY ACCESS		DOOR NUMBER

NOTE: REFER TO PARTITION TAGS ON PLANS (A1 00) AND PARTITION TYPE DETAILS (A8 00)

GENERAL FLOOR PLAN NOTES

- THIS FACILITY SHALL COMPLY W/ FDC 465 "CONTROL OF RADIATION HAZARDS"
- FURNITURE SHOWN IS FOR ILLUSTRATIVE PURPOSES. ALL FURNITURE SHALL BE PROVIDED BY OWNER
- THIS BUILDING IS FULLY SPRINKLERED. CONTRACTOR SHALL INSTALL RELOCATE SPRINKLER HEADS BELOW CEILING LINE, CENTERED IN CEILING TILES
- FIRE SPRINKLER DESIGN AND SHOP DRAWINGS SHALL BE PROVIDED BY LICENSED FIRE SPRINKLER CONTRACTOR FOR CITY REVIEW AND APPROVAL
- CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ALL QUESTIONS, CONCERNS, AND/OR DISCREPANCIES SHALL BE SUBMITTED AS PRE-BID RFIS FOR CLARIFICATION BY THE ARCHITECT. OTHERWISE, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INCLUDED ALL NECESSARY LABOR, MATERIAL, AND SYSTEMS IN HIS BID TO COMPLETE THE WORK AS INTENDED AT NO ADDITIONAL COST TO THE OWNER
- SEE SHEET A7 00 & A7 01 FOR WINDOW & DOOR SCHEDULES
- SEE SHEET A0 FOR LIFE SAFETY ANALYSIS
- THE CONTRACTOR SHALL COMPLY WITH NFPA 101 (2021 EDITION) FOR CONSTRUCTION, REPAIR AND IMPROVEMENTS
- SEE DETAIL 2, SHEET A1 00 FOR SLAB REPAIR & TERMITE TREATMENT NOTES
- COORDINATE FIRE ALARM DEVICES & PANELS W/ ELECTRICAL DRAWINGS
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL RECEPTACLE DETAILS & ADDITIONAL INFORMATION
- REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT LOCATIONS
- ALL PENETRATIONS IN RATED PARTITIONS SHALL BE PROTECTED PER FLORIDA BUILDING CODE 2023 EDITION, SECTION 714. PENETRATIONS FOR CABLES, CABLE TRAYS, CONDUITS, PIPES, TUBES, COMBUSTION VENTS AND EXHAUST VENTS, WIRES, AND SIMILAR ITEMS TO ACCOMMODATE ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS SYSTEMS THAT PASS THROUGH A WALL, FLOOR, OR FLOOR/CEILING ASSEMBLY CONSTRUCTED AS A FIRE BARRIER SHALL BE PROTECTED BY A FIRE STOP SYSTEM OR DEVICE AT RATED WALLS. FILL ALL VOIDS BETWEEN TOP OF PARTITION TRACK AND UNDERSIDE OF DECK OR SLAB WITH INSULATION
- FULL HEIGHT INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED TO RESIST LATERAL LIVE LOAD OF NOT LESS THAN 5 POUNDS PER SQUARE FOOT WITH A DEFLECTION OF NOT LESS THAN L/240
- PROVIDE FIRE SEALANT OR FIRE SAFING AS REQUIRED BETWEEN THE TOP OF WALL AND UNDERSIDE OF STRUCTURE AT FIRE RATED PARTITION LOCATIONS (IF ANY) PROVIDE CONTINUOUS FIRE CALK AT UNDERSIDE OF FLOOR SLABS AT ALL FLOORWALL CONNECTION
- SET GYPSUM WALL BOARD INTO CONTINUOUS BEAD OF ACOUSTICAL SEALANT ALONG FLANGES OF TOP AND BOTTOM TRACKS. TYP. AT PARTITIONS WITH SOUND ATTENUATION/BATT INSULATION
- PROVIDE ACOUSTICAL SEALANT AT ALL OPENINGS AND PENETRATIONS WITH SOUND ATTENUATION/BATT INSULATION TO CREATE SOUND TIGHT CONSTRUCTION
- PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED FOR THE ANCHORAGE OF FIXTURES AND ACCESSORIES
- REVIEW AND APPROVAL BY AHJ SHALL NOT RELIEVE APPLICANT FROM RESPONSIBILITY OF COMPLIANCE WITH NFPA 11.14
- COORDINATE FINAL EXIT SIGNS & EMERGENCY LIGHT LOCATIONS & QUANTITIES WITH OWNER & FIRE INSPECTOR. ADDITIONAL EXIT SIGNS MAY BE REQUIRED BY FIRE INSPECTOR
- MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURER'S INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMENTS OF THE WORK. CONTRACTOR SHALL CONFIRM ALL EQUIPMENT DIMENSIONS, ELECTRICAL REQUIREMENTS AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION WITH ACTUAL EQUIPMENT'S MAKE AND MODEL
- GENERAL CONTRACTOR SHALL VERIFY FIRE WALLS AND REPAIR AS NEEDED, PROVIDING RESPECTIVE 'UL' LISTED FIRE SEPARATION ASSEMBLY
- ALL ACCESSORIES FOR RESTROOM, EXAM ROOMS, ETC. SHALL BE PROVIDED BY MHS AND INSTALLED BY GC AS PER MHS STANDARDS. COORDINATE WITH MHS-PM PRIOR TO PURCHASE. GRAB BARS & M RAILS BY GC
- ALL OUTLETS AND PHONE JACKS AT EXAM ROOMS, TRIAGE, AND LOUNGE CABINETRY LOCATIONS SHALL BE ABOVE COUNTER, UNLESS NOTED OTHERWISE. OUTLETS IN OFFICES SHALL BE LOCATED BELOW THE COUNTER ON OPEN KNEE SPACES
- PROVIDE LOCKABLE COVERS @ ALL THERMOSTATS
- ALL SWITCHES, OUTLETS, & COVER PLATES SHALL BE WHITE (NO IVORY)
- VERIFY WITH MHS SECURITY REPRESENTATIVE IF ACCESS CONTROLLED EGRESS DOORS SHALL HAVE
 - a. A SENSOR TO BE PROVIDED ON THE EGRESS SIDE AND ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOORS, AND THE DOORS SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT OR LOSS OF POWER
 - b. LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS THE DOORS SHALL AUTOMATICALLY UNLOCK THE DOORS IN THE DIRECTION OF EGRESS
 - c. THE DOORS SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 48 INCHES TO 48 INCHES VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FEET OF THE SECURED DOORS. THE MANUAL RELEASE DEVICE SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS "PUSH TO EXIT"
- CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION. SEE NOTES IN THE WORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK
- SALES & SERVICE COUNTERS: FAC 7.2 (1) - IN MISCELLANEOUS RETAIL STORES AND WHERE ALL AREAS ARE USED FOR BUSINESS TRANSACTIONS WHERE COUNTERS ARE PROVIDED FOR SALES OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 30" IN LENGTH WITH A MAXIMUM HEIGHT OF 34" ABOVE THE FINISHED FLOOR.

2 CONC. SLAB REPAIR DETAIL
SCALE: 1" = 1'-0"



URGENT & PRIMARY CARE CENTER
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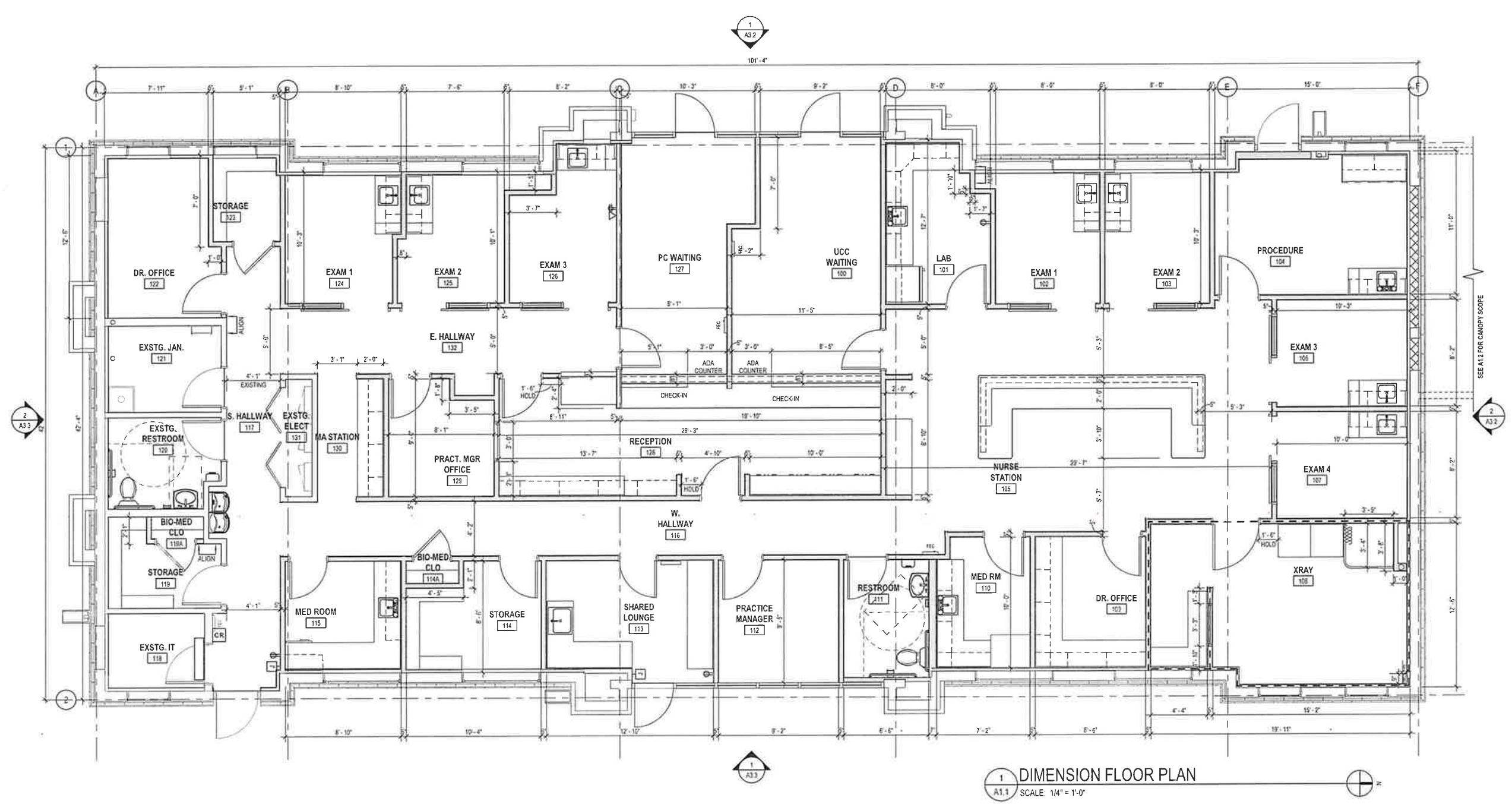
Charles Michelson AR0009974

Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24
REVISIONS

PROPOSED FLOOR PLAN
A1.0

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1 DIMENSION FLOOR PLAN
 A1.1 SCALE: 1/4" = 1'-0"

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Project No.: 2023-177
 Drawn By: ER
 Checked By: CM, SW, ER
 Date: 07.25.24

REVISIONS

DIMENSION FLOOR PLAN

A1.1

FLOOR PLAN LEGEND, SYMBOLS & SHEET NOTES

	EXISTING WALL	ROOM NAME	ROOM NAME & NUMBER
	GYPSUM BOARD WALL SYSTEM		101
	LEAD LINED PARTITION		WALL TYPE
	CARD READER/ SECURITY ACCESS		WINDOW TYPE
			DOOR NUMBER

NOTE: REFER TO PARTITION TAGS ON PLANS (A1 00) AND PARTITION TYPE DETAILS (A8 00)

GENERAL FLOOR PLAN NOTES

- THIS FACILITY SHALL COMPLY W/ FBC 465 "CONTROL OF RADIATION HAZARDS"
- FURNITURE SHOWN IS FOR ILLUSTRATIVE PURPOSES. ALL FURNITURE SHALL BE PROVIDED BY OWNER
- THIS BUILDING IS FULLY SPRINKLERED. CONTRACTOR SHALL INSTALL/RELOCATE SPRINKLER HEADS BELOW CEILING LINE, CENTERED IN CEILING TILES
- FIRE SPRINKLER DESIGN AND SHOP DRAWINGS SHALL BE PROVIDED BY LICENSED FIRE SPRINKLER CONTRACTOR FOR CITY REVIEW AND APPROVAL
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- SEE SHEET A7 00 & A7 01 FOR WINDOW & DOOR SCHEDULES
- SEE SHEET A0 FOR LIFE SAFETY ANALYSIS
- THE CONTRACTOR SHALL COMPLY WITH NFPA 101 (2021 EDITION) FOR CONSTRUCTION, REPAIR AND IMPROVEMENTS
- SEE DETAIL 2, SHEET A1 02 FOR SLAB REPAIR & TERMITE TREATMENT NOTES
- COORDINATE FIRE ALARM DEVICES & PANELS W/ ELECTRICAL DRAWINGS
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL RECEPTACLE DETAILS & ADDITIONAL INFORMATION
- REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT LOCATIONS
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- SET GYPSUM WALL BOARD INTO CONTINUOUS BEAD OF ACOUSTICAL SEALANT ALONG FLANGES OF TOP AND BOTTOM TRACKS, TYP. AT PARTITIONS WITH SOUND ATTENUATION/BATT INSULATION
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 - LOSS OF POWER TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS THE DOORS SHALL AUTOMATICALLY UNLOCK THE DOORS IN THE DIRECTION OF EGRESS
 - THE DOORS SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE LOCATED 40 INCHES TO 48 INCHES VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FEET OF THE SECURED DOORS. THE MANUAL RELEASE DEVICE SHALL BE READILY ACCESSIBLE AND CLEARLY IDENTIFIED BY A SIGN THAT READS "PUSH TO EXIT"
- CASEWORK DIMENSIONED SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION. SEE THE NOTES IN THE CASEWORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK
- SALERS & SERVICE COUNTERTOP:** FAC 72 (1) - IN MISCELLANEOUS RETAIL STORES AND WHERE ALL AREAS ARE USED FOR BUSINESS TRANSACTIONS WHERE COUNTERS ARE PROVIDED FOR SALES OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 30" IN LENGTH WITH A MAXIMUM HEIGHT OF 34" ABOVE THE FINISHED FLOOR.

ENLARGED PLAN KEYNOTES (C)

1	EXISTING FRAMED COLUMN ENCLOSURE TO REMAIN
2	EXISTING RAIN WATER LEADER TO REMAIN
3	EXISTING OVERFLOW DRAIN TO REMAIN
4	EXISTING HSS STRUCTURAL STEEL TUBIC COLUMN TO REMAIN
5	EXISTING CONCRETE CURB TO REMAIN, CONTRACTOR TO PRESSURE CLEAN
6	EXISTING HANDHOLE ACCESS COVER TO REMAIN
7	EXISTING PRE-FINISHED ACM PANEL AT PERIMETER OF CANOPY TO REMAIN
8	EXISTING STUCCO CEILING & ASSOCIATED COMPONENTS (E.G. LIGHTS, ACCESS PANELS, ETC.) TO REMAIN
9	EXISTING SPRINKLER HEADS TO REMAIN (TYP OF 4)
10	EXISTING ACCESS PANEL (TYP OF 4)
11	EXISTING RECESSED LIGHTS TO REMAIN (TYP OF 4)
12	EXISTING STUCCO CONTROL JOINT
13	EXISTING CONT. 4" WIDE ALUMINUM VENT AROUND PERIMETER OF CANOPY. REFURBISH/REPLACE AS NECESSARY

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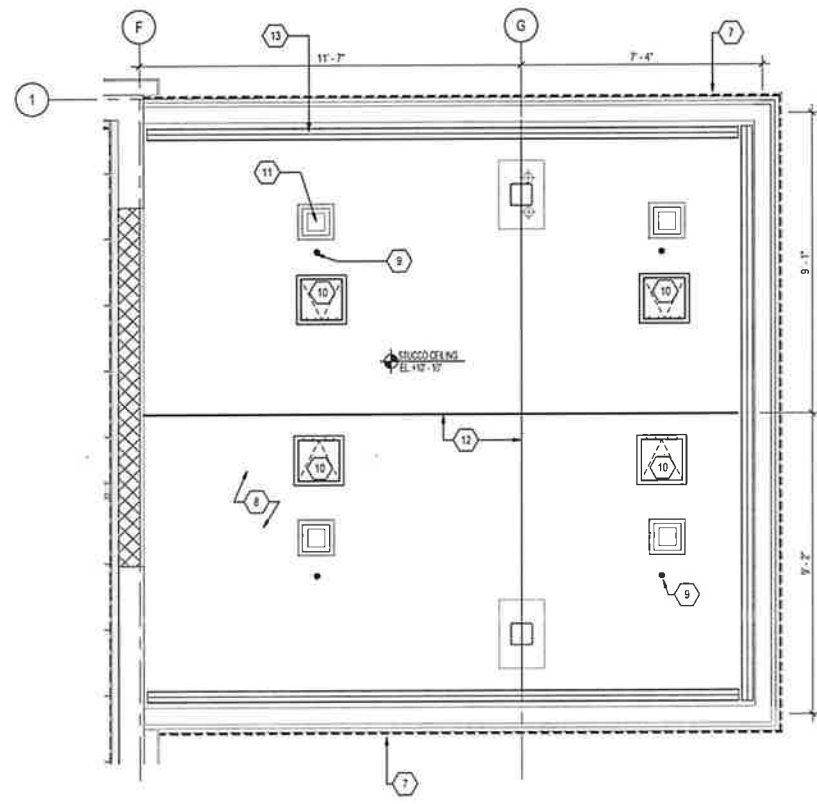
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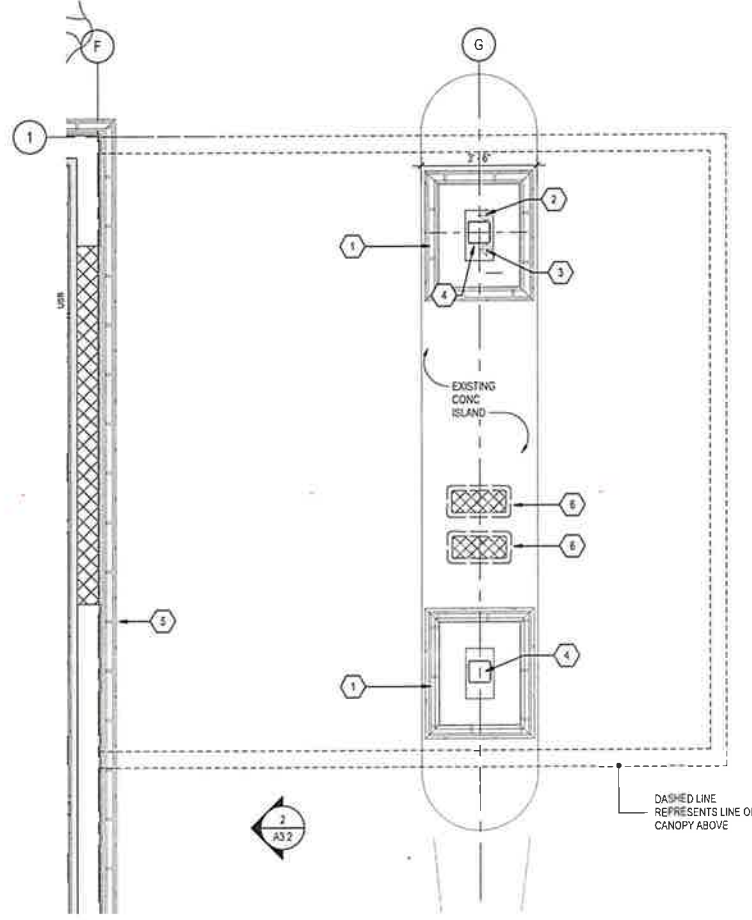


Charles Michelson AR0009976

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Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24
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2 ENLARGED CANOPY CEILING PLAN
A1.2 SCALE: 3/8" = 1'-0"

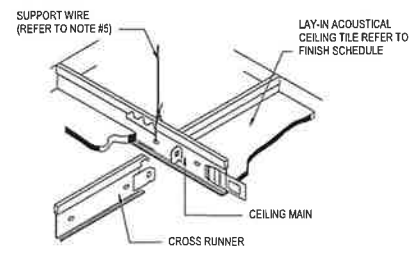


1 ENLARGED CANOPY FLOOR PLAN
A1.2 SCALE: 3/8" = 1'-0"

CANOPY FLOOR PLANS

A1.2

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CEILING PLAN KEYNOTES (⬡)

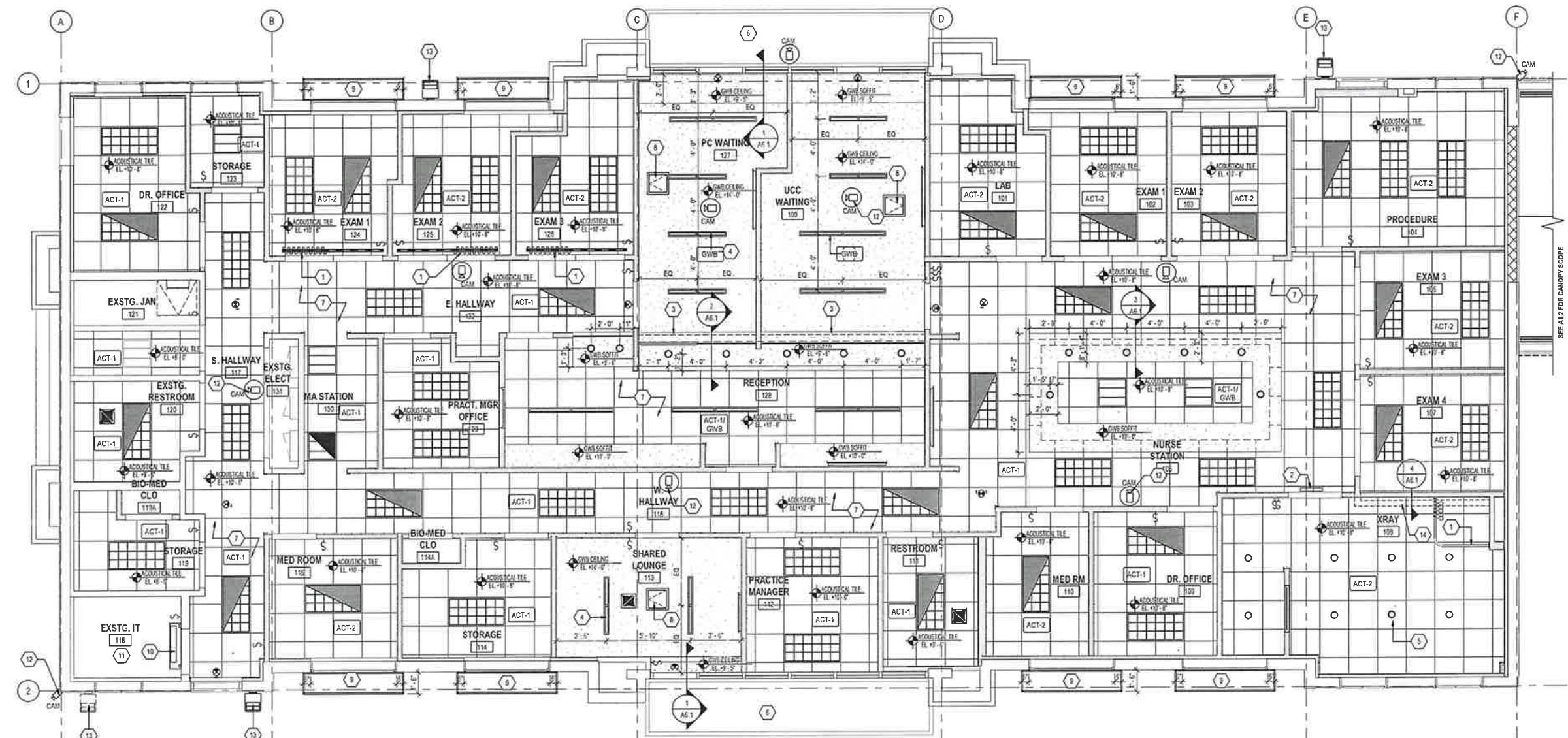
- NEW CURTAIN TRACK. SEE DETAIL 1/16.2
- "X"RAY IN USE LIGHT MOUNTED ABOVE DOOR
- NEW LED LINEAR LIGHT FIXTURE IN SOFFIT COVE
- LINEAR LED LIGHT FIXTURES TO BE SUSPENDED FROM ROOM CEILING ABOVE. 8' O.C. LIGHT FIXTURES TO BE @ 12'-0" AFF.
- PROVIDE DIMMABLE 6" LED RECESSED DOWNLIGHTS
- EXISTING CANOPY TO REMAIN
- CONTRACTOR TO INSTALL AND/OR RELOCATE SPRINKLER HEADS THROUGHOUT, BELOW CEILING LINE, CENTERED IN CEILING TILES. FIRE SPRINKLER DESIGN & SHOP DRAWINGS SHALL BE PROVIDED FOR CITY REVIEW & APPROVAL
- NEW 24" x 24" ACCESS PANEL
- NEW OPEN ENDED AWNING - TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME SHALL BE POWDER COATED OR HAVE URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED. SEE DETAIL 1/16.2
- EXISTING CU TO BE REPLACED. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- NO CEILING IN EXIST. IT ROOM. OPEN TO DECK ABOVE
- DENOTES CAMERA. PROVIDE CONDUIT FROM ALL CAMERA LOCATIONS TO IT CLOSET #118. TYPICAL FOR ALL CAMERAS
- EXISTING WALL MOUNTED LED LIGHT FIXTURE TO REMAIN
- DASHED LINE REPRESENTS WALL JOG ABOVE CEILING GRID TO AVOID CONFLICT W/ SUPPLY AND RETURN AIR INTAKES. CONTRACTOR TO VERIFY EXACT LOCATION IN FIELD.

CEILING PLAN LEGEND & SHEET NOTES

FIXTURE LEGEND	CEILING TYPES LEGEND
	ACT-1/ ACT-2 ACOUSTICAL CEILING TILE 2 x 2 LAY-IN REGULAR ACOUSTICAL CEILING TILE W/ 15/16" GRID
	EXP. BD SOFFIT/CEILING 5/8" TYPE 'X' GYP BD ON 20GA METAL FRAMING @ 16" O.C.
	SECURITY CAMERA SEE SECURITY DWGS UNDER SEPARATE PERMIT FOR DETAILS
	EXIT SIGN
	EXHAUST FAN SEE MECH DWGS FOR ADDITIONAL INFORMATION

- #### GENERAL REFLECTED CEILING PLAN NOTES
- SEE FINISH SCHEDULE ON SHEET A9.0 FOR FINISH SPECIFICATIONS
 - COORDINATE FIRE ALARM DEVICES W/ ELECTRICAL DRAWINGS
 - REFER TO ELECTRICAL DRAWINGS FOR EMERGENCY LIGHT LOCATIONS
 - REFER TO MECHANICAL DRAWINGS FOR LOCATION OF AIR GRILLES, FANS, ETC
 - ALL CEILINGS, LIGHT FIXTURES, SOFFITS, ETC. INDICATED ARE NEW UNLESS OTHERWISE NOTED
 - ALL CEILING CONFLICTS SHALL BE FIELD COORDINATED BETWEEN VECTOR LIFT TRACK, CEILING MOUNTED LIGHTS, AND HVAC EQUIPMENT, ETC
 - CONTRACTOR SHALL INSPECT THE INTEGRITY OF THE EXISTING SMOKE AND/OR ONE HOUR FIRE-RATED PARTITIONS THAT ARE TO REMAIN. ALL OPENINGS SHALL BE SEALED TO MAINTAIN THE RATING OF THE BARRIER
 - ALL SMOKE AND FIRE WALLS SHALL BE SO NOTED ABOVE THE CEILING IN RED PAINTED STENCILED LETTERS CLEARLY VISIBLE
 - CONTRACTOR SHALL ALSO RELOCATE ANY EXISTING ELEMENTS THAT INTERFERE WITH INSTALLATION OF NEW DUCTWORK. COORDINATE WITH MECHANICAL CONTRACTOR TO MAINTAIN CIRCUIT CONTINUITY
 - CONTRACTOR TO VERIFY IN FIELD THAT SCHEDULED CEILING HEIGHTS WILL ACCOMMODATE AC EQUIPMENT AND DUCTWORK AS INTENDED. LOCATIONS PRIOR TO INSTALLATION NOTIFY ARCHITECT IMMEDIATELY IF CEILING HEIGHTS NEED TO BE ADJUSTED
 - CONTRACTOR TO COORDINATE WITH OWNER ALL EQUIPMENT AND FIXTURES TO BE REMOVED
 - REVIEW AND APPROVAL BY AHJ SHALL NOT RELIEVE APPLICANT FROM RESPONSIBILITY OF COMPLIANCE WITH NFPA 1.14.1
 - COORDINATE FINAL EXIT SIGNS & EMERGENCY LIGHT LOCATIONS & QUANTITIES WITH OWNER & FIRE INSPECTOR. ADDITIONAL EXIT SIGNS MAY BE REQUIRED BY FIRE INSPECTOR
 - ALL SWITCHES, OUTLETS, & COVER PLATES SHALL BE WHITE (NO MORY)
 - PROVIDE PAINTED, FLUSH METAL ACCESS PANELS AS REQUIRED FOR ACCESS TO VALVES AND/OR EQUIPMENT AS REQUIRED
 - BUILDING IS PROTECTED BY FULLY OPERATIONAL FIRE SPRINKLER SYSTEM
 - PAINT ALL GYP BD SOFFITS, AND THE BOTTOM AND BACK SIDES OF ALL GYP BD HEADERS

- #### ACOUSTICAL CEILINGS (NON RATED)
- SEE ARCHITECTURAL DRAWINGS FOR EXTENT OF WORK, DETAILS AND SPECIFICATIONS
 - THE ACOUSTICAL CEILINGS SHALL BE INSTALLED COMPLETE WITH SUSPENDED EXPOSED T GRID AND LAY-IN CEILING TILES
 - INSTALL SUSPENSION SYSTEMS IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS, AND TO COMPLY WITH ASTM C635, MEDIUM DUTY SYSTEM
 - COORDINATE INSTALLATION WITH ELECTRICAL AND MECHANICAL WORK
 - SUSPENSION SYSTEM: PROVIDE HUNG SUSPENSION SYSTEM GRILLAGE SHALL CONSIST OF MAIN RUNNERS, CROSS RUNNERS AND STABILIZER BARS AS REQUIRED. HANGER WIRES SHALL BE NOT LESS THAN 12 GAUGE GALVANIZED SOFT ANNEALED MILD STEEL. WIRE WIRES SHALL BE WRAPPED AT LEAST (6) COMPLETE TURNS AROUND SUPPORTS. WIRE SPACING TO BE 4X OF 48" O.C. ALONG MAIN RUNNERS (PROVIDE 12 GAUGE WIRE SUPPORTS SPACED IN FOUR DIRECTIONS FOR DIAGONAL BRACING, MAINTAIN AN ANGLE OF 45° ON STEEPER & 6" MIN CLEAR TO ALL HORIZONTAL PIPING OR DUCTWORK. ONLY IN SCHEMATIC ZONES. NOTE: ALL LIGHT FIXTURES TO BE SCREWED DOWN TO GRID (PROVIDE MINIMUM OF TWO WIRES AT EACH FIXTURE CADDY CORNER)
 - MOLDINGS: PROVIDE MANUFACTURERS STANDARD 'I' SHAPED MOLDINGS. TOP MATCH 'T'. MINIMUM LENGTH OF 18"
 - CONTRACTOR SHALL FIELD CHECK THE PREMISES AND VERIFY ALL CLEARANCES AS REQUIRED FOR ALL LIGHTING FIXTURES BEFORE PROCEEDING WITH ANY INSTALLATION REPORT ANY DISCREPANCIES TO THE ARCHITECT
 - ALL FIXTURE TRIM (LIGHTING, SPEAKERS, HVAC, GRILLES, ETC) SHALL BE METAL AND PAINTED TO MATCH ADJACENT FINISH. PLASTIC TRIM IS NOT ACCEPTABLE UNLESS APPROVED BY ARCHITECT
 - LEVEL CEILING TO WITHIN 1/8" IN 12'-0" IN ANY DIRECTION. LEVEL WITH HANGER WIRE TAUGHT AND PLUMB, WITHOUT KINKING OR BENDING HANGER WIRES. CEILING HEIGHT SHALL MATCH EXISTING U O M
 - PROVIDE 5% ATTIC STOCK OF ACOUSTICAL TILE MATERIAL USED
 - SUBMIT ONE FULL SAMPLE OF ACOUSTICAL MATERIAL AND ONE OF EACH TYPE SUSPENSION MEMBER, MOLDING AND HANGER FOR REVIEW BY ARCHITECT



1 REFLECTED CEILING PLAN
A1.3 SCALE: 1/4" = 1'-0"

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Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

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12.17.24 BLDG DEPT COMMENT

REFLECTED
CEILING PLAN

A1.3

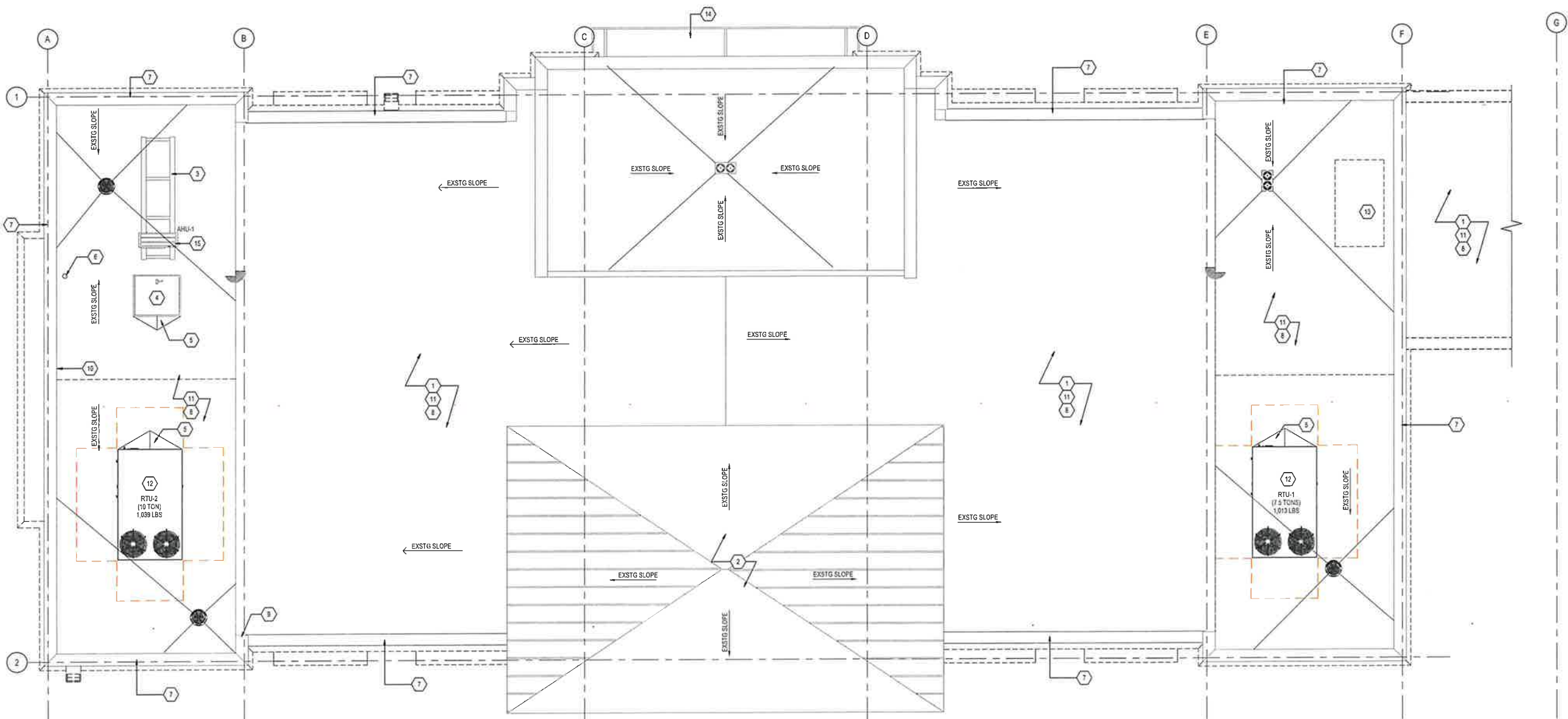
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ROOF PLAN KEYNOTES ()

- 1 EXISTING TPO ROOF MEMBRANE TO REMAIN. PATCH & REPAIR / REROOF ALL AREAS AND / OR OPENINGS NOT USED FOR NEW OR EXISTING MEP SYSTEMS AS REQUIRED. CONTRACTOR TO CLEAN EXISTING MEMBRANE.
- 2 EXISTING STANDING SEAM METAL ROOF TO REMAIN. CONTRACTOR TO CLEAN EXISTING ROOF.
- 3 EXISTING ROOF STAND TO REMAIN AND TO BE RE-USED AS NECESSARY OR REQUIRED FOR NEW MECHANICAL SCOPE. SEE MECHANICAL DWGS FOR ADDITIONAL INFORMATION AND SCOPE.
- 4 EXISTING ROOF HATCH TO REMAIN. CONTRACTOR TO INSPECT CONDITION OF HATCH.
- 5 EXISTING TAPERED INSULATION TO REMAIN.
- 6 EXISTING 4" VTR TO REMAIN. CONTRACTOR TO REPLACE DETERIORATED VENT BOOT.
- 7 CONTRACTOR TO INSPECT EXISTING PARAFET CAP FOR DEFICIENCIES AND REPAIR / REFURBISH OR REPLACE AS NECESSARY TO ALLOW FOR WATER RUN-OFF AND TO AVOID PONDING. CAP TO BE CLEANED AND ALL SEAMS TO BE RE-SEALED.
- 8 CONTRACTOR TO INSPECT ROOF SLOPE CONDITIONS. SLOPED AREAS THAT ACCRUE PONDING SHALL BE RE-SLOPED TO A MIN. 1/4" PER FOOT.
- 9 REPLACE EXISTING EPS LAYER TO MATCH EXISTING.
- 10 REPAIR EXISTING EXISTING ELECTRICAL SIGNAGE RACEWAY.
- 11 REMOVE ALL EXISTING FLASHING SEALANT THROUGHOUT THE ROOF. CONTRACTOR TO APPLY NEW FLASHING SEALANT TO MAINTAIN MOISTURE BARRIER.
- 12 REPLACE EXISTING ROOFTOP UNITS W/ NEW UNIT. NEW UNITS TO BE INSTALLED ON EXISTING ROOF CURBS. CONTRACTOR TO INSPECT CONDITION OF EXISTING ROOF CURBS FOR ANY DEFICIENCIES AND PROVIDE CORRECTIVE ACTION, IF ANY DEFICIENCIES ARE PRESENT. SEE MECHANICAL DRAWINGS FOR SPECIFICATION ON NEW UNITS.
- 13 REMOVE EXISTING VAT TUBE ENCLOSURE & VAT TUBES. CONTRACTOR TO PATCH ROOF & SYSTEM TO MATCH EXISTING.
- 14 EXISTING ALUMINUM CANOPY BELOW.
- 15 EXISTING AHU TO BE REPLACED W/ NEW. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL ROOF PLAN NOTES

- 1 PER FBC, ROOFING PERMIT APPLICATION SHALL BE SUBMITTED TO BUILDING DEPARTMENT (IF APPLICABLE).
- 2 PER FBC TABLE 1505.1, MINIMUM ROOF COVERING CLASSIFICATION SHALL BE CLASS C ROOF ASSEMBLY (TYPE IB).
- 3 CONTRACTOR SHALL BECOME FAMILIAR WITH AND VERIFY THE CONDITIONS, DIMENSIONS, AND LOCATIONS OF ALL ROOF AREAS INCLUDING ROOF TOP EQUIPMENT, FLASHING, PIPE LINES, CONDUIT, PIPE SUPPORTS, ETC., BEFORE SUBMITTING A BID OR COMMENCING WORK.
- 4 FLASH & SEAL THE PERIMETER OF ALL SCUPPERS & EMERGENCY OVERFLOW SCUPPERS, ALL ROOF TOP EQUIPMENT, PENETRATIONS, AND OTHER APPURTENANCES IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SHOWN ON CONTRACT DRAWINGS, APPROVED SHOP DRAWINGS AND AS REQUIRED BY THE ROOF MEMBRANE MANUFACTURER. THE PROJECT DETAILS SHALL GOVERN THE PRODUCT INSTALLATION UNLESS THE PRODUCT MANUFACTURER REQUIRES A MORE STRINGENT DETAIL FOR PURPOSES OF PROPER PRODUCT PERFORMANCE OR SYSTEM WARRANTY, IN WHICH CASE, THE MANUFACTURER'S DETAIL SHALL GOVERN.
- 5 SLOPE OF CRICKETS WILL BE TWO TIMES GREATER THAN THE SLOPE OF THE MAIN ROOF TO PREVENT FLAT SPOTS AND PONDING.
- 6 STRUCTURAL ATTACHMENT OF ANY WOOD NALERS MUST BE ENGINEERED TO MEET THE FLORIDA BUILDING CODE.
- 7 VERIFY ALL DIMENSIONS, DETAILS, AND UNIT ORIENTATION W/ MECHANICAL CONTRACTOR PRIOR TO FABRICATION.
- 8 ALL AREAS MUST MEET SLOPE REQUIREMENTS FOR DRAINAGE.
- 9 NEW ROOF SYSTEMS SHALL COMPLY WITH FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- 10 ROOF SLOPES MAY EXCEED 1/4" PER FOOT. ROOF SLOPES INDICATED ARE MINIMUM SLOPES.
- 11 TAPER ALL CURBS TO PROVIDE LEVEL MOUNTING SURFACE FOR ROOF TOP A/C UNITS.
- 12 ALL NEW ROOF MEMBRANE AND ASSEMBLIES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS & RECOMMENDATIONS.
- 13 ALL NEW BUILDING ENVELOPE FLASHING AND SHEET METAL FLASHINGS SHALL BE INSTALLED AS PER SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- 14 SEE STRUCTURAL DRAWINGS FOR REQUIRED WIND LOAD DESIGN PRESSURES.



1 ROOF PLAN
A1.4 SCALE: 1/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
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Project No. :
2023-177
Drawn By :
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Checked By :
CM, SW, ER
Date:
07.25.24

REVISIONS

ROOF PLAN

A1.4

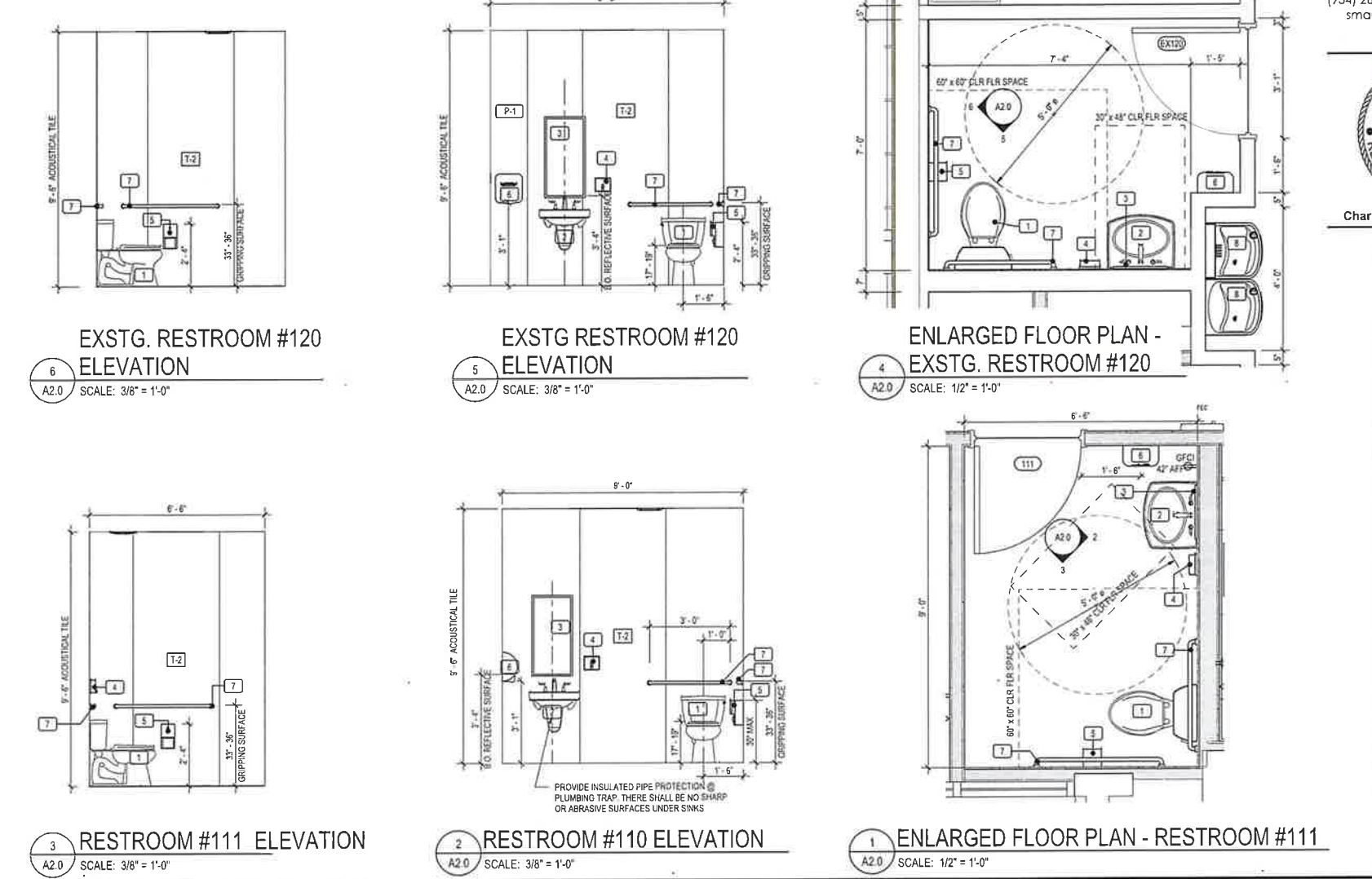
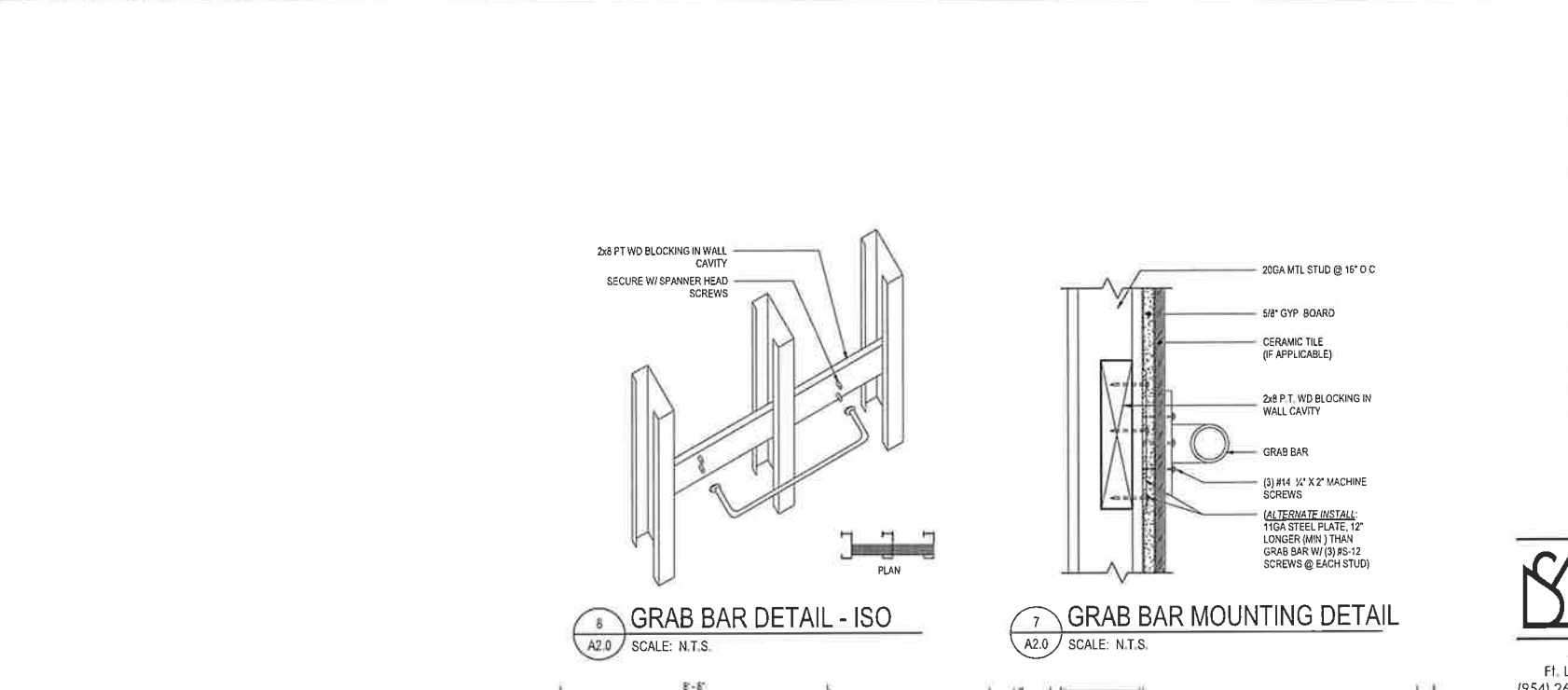
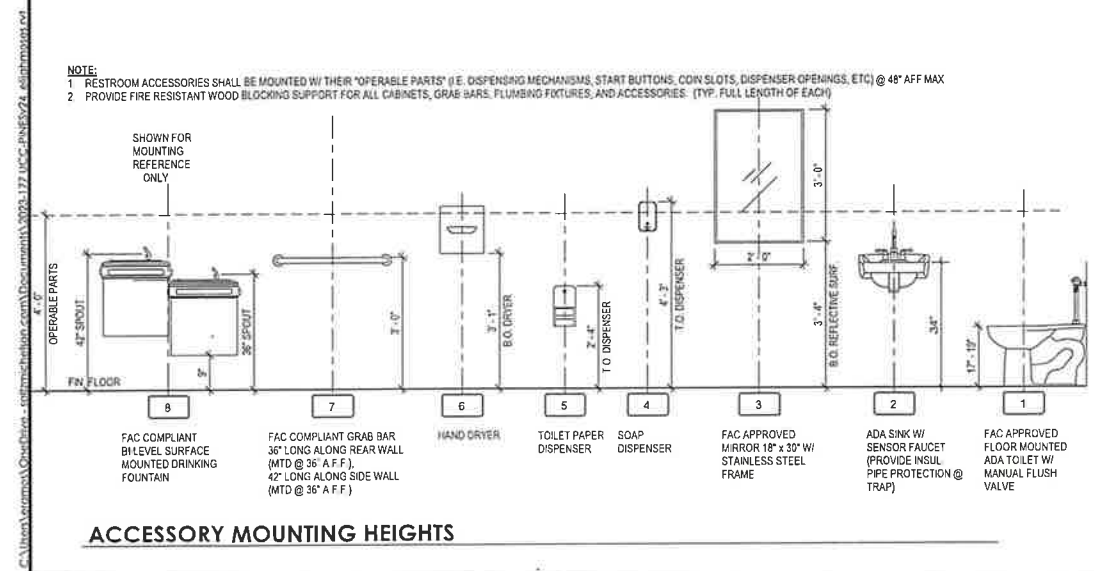
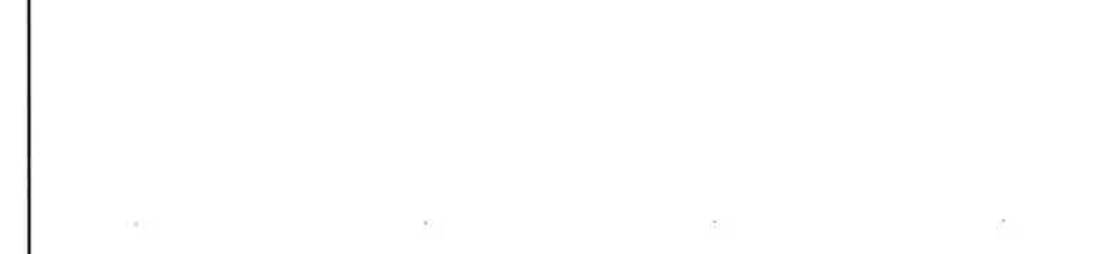
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GENERAL NOTES	
1	REFER TO SHEET A7 00 FOR DOOR SCHEDULE
2	REFER TO SHEET A9 0 FOR FINISH SPECIFICATIONS & LEGEND
3	REFER TO MOUNTING HEIGHTS, SHEET A2 0, FOR ALL TOILET ACCESSORIES
4	ALL WALL MOUNTED SINKS AND LABORATORIES SHALL BE MOUNTED TO ALLOW 1'-3" MINIMUM BETWEEN THE CENTERLINE OF THE SINK AND THE FACE OF THE ADJACENT WALL, FIXED EQUIPMENT, CASEWORK, ETC.
5	ADA ACCESSIBLE WATER CLOSET SHALL BE MOUNTED SO THAT THERE IS EXACTLY 1'-6" BETWEEN FACE OF THE CLOSET, ADJACENT SIDE WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER CLOSET (SEE INTERIOR ELEVATIONS). THE FLUSH VALVE FOR THE HANDICAP ACCESSIBLE WATER CLOSET SHALL BE MOUNTED ON THE OPEN-MOST SIDE OF THE WATER CLOSET AT 44" MAXIMUM A.F.F. TO THE TOP
6	ALL RESTROOM FIXTURES AND FINISHES, INCLUDING OF FLOORS AND WALLS, SHALL BE SUPPLIED & INSTALLED BY CONTRACTOR
7	PROVIDE 20 GAUGE MTL STUDS @ 16" O.C. IN ALL WALLS WHERE WALL MOUNTED FIXTURES AND ACCESSORIES ARE LOCATED
8	VERIFY THAT CARRIERS TO BE USED FOR ALL WALL MOUNTED SINKS AND LABORATORIES ARE THE TYPE THAT WILL FIT WITHIN 6" STUD WALLS (CONTACT ARCHITECT IF THERE IS A CONFLICT)
9	RESTROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NOT LESS THAN 4" PER FBC 1210.2.1
10	PROVIDE FIRE RETARDANT TREATED WOOD FOR CONCEALED BLOCKING AS REQUIRED FOR THE ANCHORAGE OF FIXTURES AND ACCESSORIES, AND FOR EXPOSED LUMBER & PLYWOOD IN HABITABLE SPACES LUMBER: AVPA C20093 PLYWOOD: AWPA C27-93
11	PROVIDE CLEAR SILICONE CAULKING ALL LOCATIONS WHERE FIXTURES ARE MOUNTED/INSTALLED TO GYP BD PARTITIONS
12	FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET
13	THE FOLLOWING ITEMS SHALL BE IMPLEMENTED TO ALLEVATE REST ROOM NOISE TRANSMISSION a. BANDS OR COLLARS OF RESILIENT MATERIAL (RUBBER, FELT, MINERAL WOOL, NEOPRENE) SHALL BE PLACED AROUND TOILET PIPES AT POINTS OF SUPPORT AND SLAB PENETRATION b. ISOLATE HIGH PRESSURE WATER SUPPLY LINES FROM STUD AND FLOOR SLABS WITH RUBBER CLAMPS c. ISOLATE THE JUNCTION BOX BETWEEN THE TOILETS HIGH PRESSURE WATER SUPPLY PIPE AND THE WALL (AT LEAST 1/2" NEOPRENE CAULK AND NO RIGID JUNCTION) d. INSERT A PRESSURE RELIEF SYSTEM IN THE TOILETS HIGH PRESSURE WATER SUPPLY LINE e. PROVIDE BATT INSULATION IN RESTROOM WALL CAVITIES AS SCHEDULED. REFER TO A1 0

RESTROOM ADA NOTES	
1	ALL PUBLIC SPACES TO COMPLY WITH FBC AND ADA GUIDELINES
2	THE STRUCTURAL STRENGTH OF FASTENERS AND MOUNTING DEVICES, SHALL COMPLY WITH FBC ACCESSIBILITY GUIDELINES
3	PER FAC 609.8, THE STRUCTURAL STRENGTH/ALLOWABLE STRESS OF GRAB BAR BACKING/REINFORCEMENT SHALL NOT EXCEED 250LBS
4	WATER CLOSET & URINAL FLUSH VALVE CONTROLS, FAUCET AND OPERATING MECHANISM CONTROLS SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR
5	FLOOR SLOPES IN PUBLIC ACCESSIBLE AREAS NOT TO EXCEED 1/50 OR 2%

FIXTURE & ACCESSORY SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS	
1	ADA COMPLIANT FLOOR MOUNTED TANK TYPE TOILET (WHITE) W/ TOILET SEAT	KOHLER	KINGSTON #K-25077-SS/ #K-25077-SSRA	PROVIDE TOILET SEAT (LUSTRA #K-455)	
2	WALL MOUNTED SINK	KOHLER	2015-9-0	PROVIDE HARDWARE SENSOR FAUCET (AMERICAN STANDARD SELECTRONIC TOUCHLESS #2018 1/2 W/ P420 HAC), PROVIDE WALL BLOCKING/BACKING AS REQUIRED	
3	24" x 36" MIRROR W/ STAINLESS STEEL FRAME	BOBRICK	B 163 2436	NO EXPOSED FASTENERS	
4	SOAP DISPENSER	BOBRICK	B 4112	SURFACE MOUNT @ ADA HEIGHT	
5	TOILET PAPER DISPENSER - 2 ROLL	BOBRICK	B 2818	SURFACE MOUNT @ ADA HEIGHT	
6	HAND DRYER	EXCEL DRYER	EXCELERATOR - WHITE	PROVIDE J BOX ELECT RECEPTACLE (SEE ELEC. DWGS), PROVIDE ADA RECESS KIT	
7	1 1/2" DIA. S.S. GRAB BARS (CONCEALED MOUNTING)	BOBRICK	B1826A2 & B1826A3	MOUNT @ 36" AFF TO TOP, 36" GRAB BAR ALONG REAR WALL, 42" GRAB BAR ALONG SIDE WALL, PROVIDE WOOD BLOCKING AS REQUIRED	
8	B/L LEVEL DRINK FOUNTAIN W/ BOTTLE FILLER	ELKAY	L25TLWVSLK	PROVIDE WOOD BACKING AS REQUIRED	



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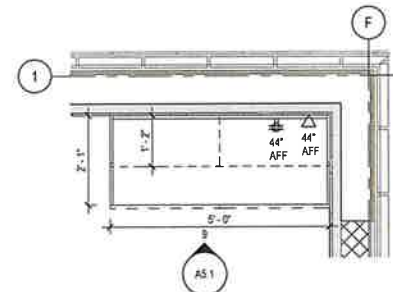


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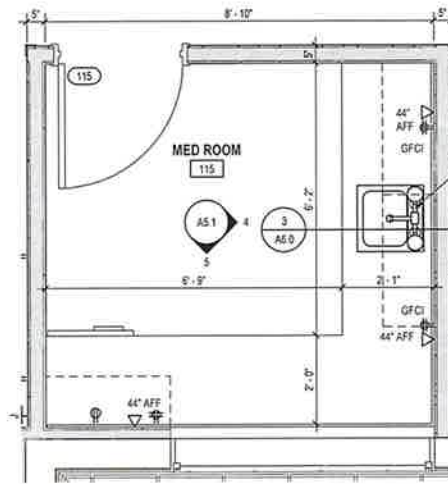
REVISIONS

ENLARGED RESTROOM FLOOR PLAN & DETAILS
A2.0



ENLARGED FLOOR PLAN -
PROCEDURE ROOM
MILLWORK

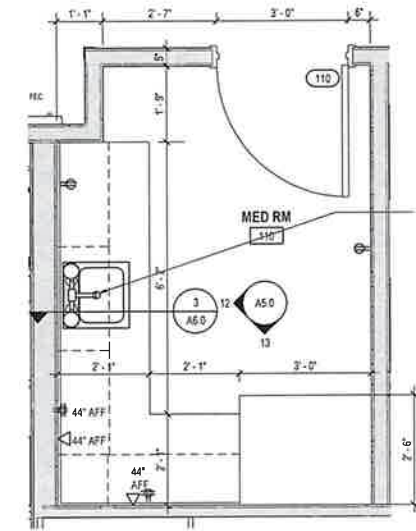
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A2.1 SCALE: 1/2" = 1'-0"



ENLARGED FLOOR PLAN - PC
MED RM

5
A2.1 SCALE: 1/2" = 1'-0"

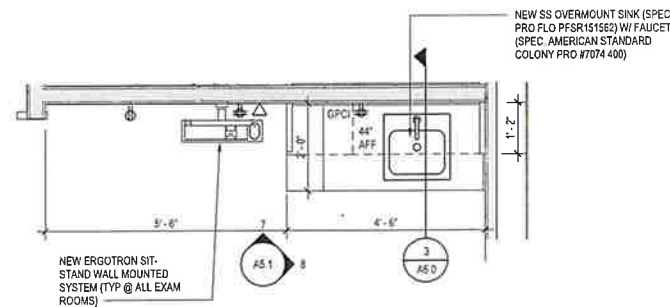
NEW SS OVERMOUNT SINK
(SPEC: PRO FLO
PFSR171962) W/ 4"
CENTERSET FAUCET
(SPEC: AMERICAN
STANDARD COLONY PRO #
7074 400) PROVIDE
EYEWASH ATTACHMENT
(SPEC: HAWS #7620)



ENLARGED FLOOR PLAN -
UCC MED RM

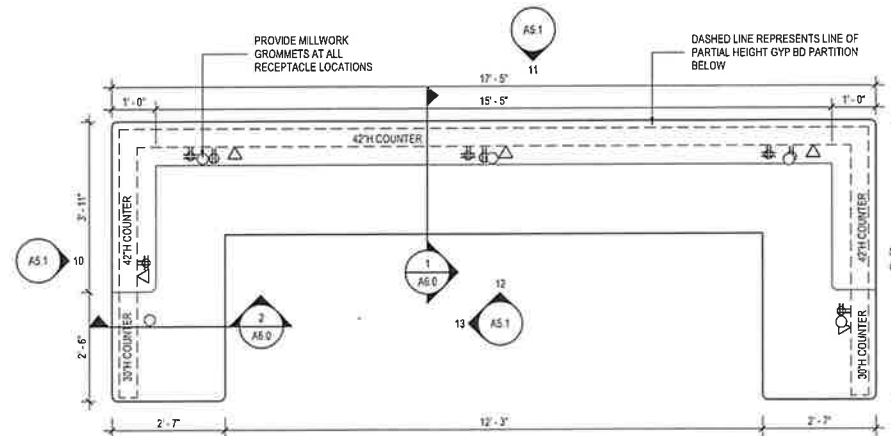
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A2.1 SCALE: 1/2" = 1'-0"

NEW SS OVERMOUNT SINK
(SPEC: PRO FLO PFSR171962) W/
4" CENTERSET FAUCET (SPEC:
AMERICAN STANDARD COLONY
PRO #7074 400) PROVIDE
EYEWASH ATTACHMENT (SPEC:
HAWS #7620)



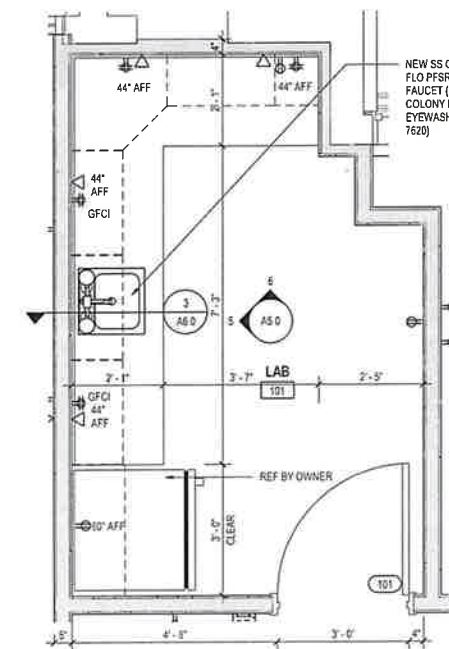
ENLARGED FLOOR PLAN -
EXAM ROOM (TYP)

3
A2.1 SCALE: 1/2" = 1'-0"



ENLARGED FLOOR PLAN - NURSE STATION

2
A2.1 SCALE: 1/2" = 1'-0"



ENLARGED FLOOR PLAN -
UCC LAB

1
A2.1 SCALE: 1/2" = 1'-0"

NEW SS OVERMOUNT SINK (SPEC: PRO
FLO PFSR171962) W/ 4" CENTERSET
FAUCET (SPEC: AMERICAN STANDARD
COLONY PRO #7074 400) PROVIDE
EYEWASH ATTACHMENT (SPEC: HAWS #
7620)



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ENLARGED FLOOR
PLANS

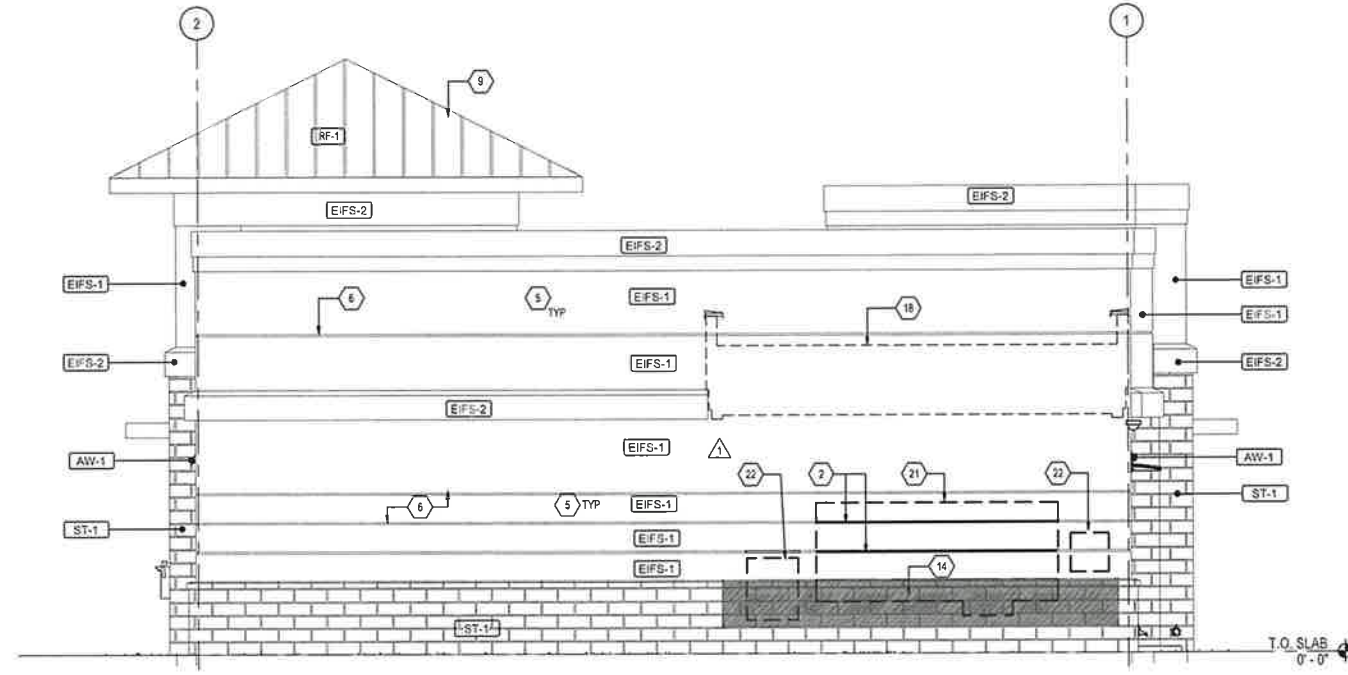
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EXTERIOR ELEVATION GENERAL NOTES

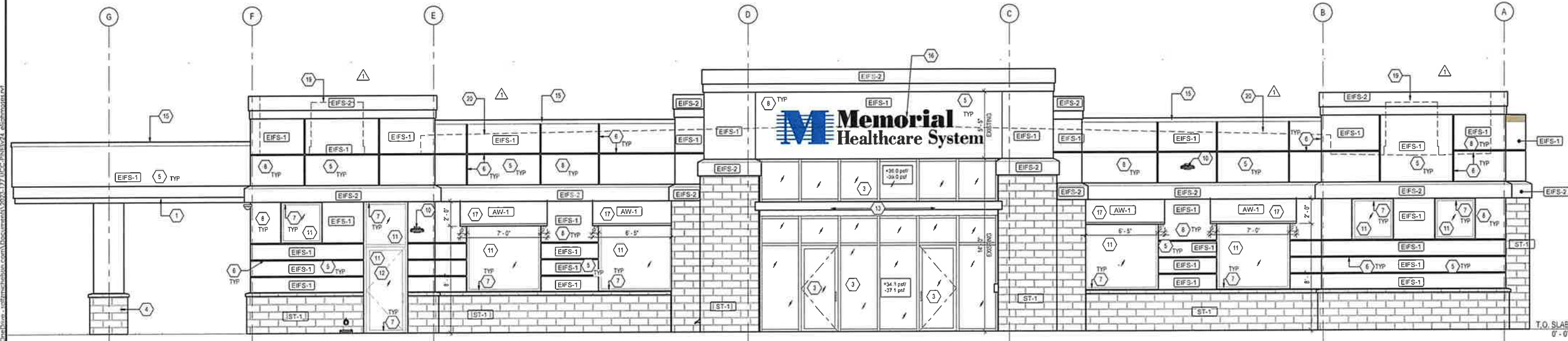
1. DO NOT SCALE DRAWING
2. REFER TO FINISH SCHEDULE & SPECIFICATIONS ON SHEET A9.0 FOR ALL FINISHES
3. DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE (U.N.O.)
4. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE STRUCTURAL AND ELECTRICAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF STEEL AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL AND ELECTRICAL DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION.
5. NOTIFY ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE, CITY AND LOCAL CODES AND ORDINANCES IN THE LOCATION OF THE PROJECT.
7. WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING DISTURBED CONSTRUCTION TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
8. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
9. EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS:
 - GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1-1/2" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER 5/8" DENSGLASS SHEATHING OVER MTL (WHERE APPLICABLE)
10. ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS.
11. PROVIDE FIRE RATED BLOCKING IN FACADE FRAMING TO SUPPORT ALL BUILDING SIGNAGE (IF APPLICABLE)
12. ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED.
13. ALL NEW EXTERIOR GLAZING TO BE 1" INSULATING LOW-E.
14. ALL EXTERIOR STOREFRONT FRAMING TO BE THERMALLY BROKEN CLEAR ANODIZED FINISH, UNLESS MATCHING COLOR OF EXISTING STOREFRONT TO REMAIN.
15. ALL NEW ALUMINUM FRAMED GLAZING SYSTEMS SHALL BE INSTALLED PER INDUSTRY BEST PRACTICES.
16. ALL JOINT SEALERS SHALL BE INSTALLED PER PRESCRIBED INDUSTRY BEST PRACTICE STANDARDS.
17. ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE INSTALLED PER ASTM E2142-07 (2016).
18. ALL STRUCTURAL/MECHANICAL OPENINGS SHALL HAVE SCREENS OR SEALANT TO DISCOURAGE INSECT ACCESS.
19. ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT.
20. PAINT FINISHES OVER STUCCO FINISH SHALL RECEIVE (2) COATS LATEX PAINT OVER (1) COAT PRIMER.
21. CONTRACTOR TO PROVIDE STUCCO CONTROL JOINTS PER ASTM C1063, BOTH HORIZONTALLY AND VERTICALLY, WHERE INDICATED, ENCLOSING AN AREA NO MORE THAN 144 SF. THE AREA ENCLOSED BY THE CONTROL JOINTS CANNOT HAVE A LENGTH TO WIDTH RATIO GREATER THAN 2:1.
22. NUMERICAL ADDRESS NUMBERS SHALL BE PROVIDED ON ALL EXTERIOR DOORS (IF NONE EXISTS) PER CITY ORDINANCE 52.10. NUMBERS SHALL BE WEATHERPROOF AND CONTRASTING 6" NUMBERS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBERS SHALL BE "WHITE", IF THEY ARE TO BE ON A LIGHT COLORED BACKGROUND THEY SHALL BE "BLACK".

EXTERIOR ELEVATIONS KEYNOTES

1. EXISTING PREFINISHED ACM PANEL TO REMAIN
2. NEW 1" WIDE x 1/2" DEEP VINYL REVEAL PAINT TO MATCH EIFS-2. SEE DETAIL 7/01.2.
3. NEW IMPACT RESISTANT STOREFRONT SYSTEM. SEE SHEET A7.9 FOR DETAILS & SPECIFICATIONS.
4. EXISTING FRAMED COLUMN ENCLOSURE TO REMAIN
5. CONTRACTOR TO INSPECT / REVIEW CONDITIONS OF EXISTING EIFS FACADE FOR DEFICIENCIES. CONTRACTOR TO PATCH & REPAIR ANY AND ALL DAMAGE, CRACKS, DETERIORATION, OPENINGS, & DEFICIENCIES IN EIFS FACADE.
6. CONTRACTOR TO INSPECT / REVIEW CONDITIONS OF EXISTING VINYL REVEALS. CONTRACTOR TO REPLACE, REPAIR, AND/OR RESEAL ANY AND ALL DEFICIENT REVEALS, INCLUSIVE OF REVEAL SEPARATIONS AT CORNERS & JOINTS.
7. REMOVE ALL DETERIORATED SEALANT AT EXISTING WINDOW / STOREFRONT TRANSITIONS AND INSTALL NEW SEALANT TO MAINTAIN MOISTURE BARRIER.
8. CONTRACTOR TO PROVIDE / RE-APPLY SEALANT AT ALL WALL PENETRATIONS TO MAINTAIN MOISTURE BARRIER - INCLUSIVE OF LIGHT FIXTURES, BLANK PLATES, JUNCTION BOXES, ETC.
9. CLEAN EXISTING STANDING SEAM ROOF. PATCH & REPAIR AS REQUIRED.
10. EXISTING WALL MOUNTED LED LIGHT FIXTURE TO REMAIN.
11. EXISTING STOREFRONT SYSTEM AND FIXED WINDOWS TO REMAIN.
12. EXISTING DOOR TO REMAIN CLOSED. PROVIDE BLACKOUT TINT ON INTERIOR OF DOOR & TRANSOM.
13. EXISTING ALUMINUM CANOPY TO REMAIN. LOWER STEPPED PORTION OF CANOPY TO BE PAINTED TO MATCH MEMORIAL BLUE.
14. PATCH EXISTING AREA DENOTED BY HATCH W/ STONE VENEER TO MATCH EXISTING. SEE A9.0 FOR SPECIFICATION.
15. CONTRACTOR TO INSPECT EXISTING PARAPET CAP FOR DEFICIENCIES AND REPAIR / REFURBISH OR REPLACE AS NECESSARY TO ALLOW FOR WATER RUN-OFF AND TO AVOID PONDING. CAP TO BE CLEANED AND ALL SEAMS TO BE RE-SEALED.
16. SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO COORDINATE W/ OWNER SIGNAGE REQUIREMENTS.
17. NEW OPEN ENDED AWNING - TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME SHALL BE POWDER COATED OR HAVE URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED. SEE DETAIL 10' A5.2.
18. OUTLINE OF EXISTING CANOPY (NOT SHOWN FOR CLARITY)
19. DASHED LINE REPRESENTS OUTLINE OF ROOF TOP UNIT BEYOND PARAPET
20. DASHED LINE REPRESENTS ROOF LINE
21. DASHED LINE REPRESENTS OUTLINE OF EXISTING DRIVE THRU WINDOW TO BE REMOVED. SEE SWS 1 FOR INFILL DETAIL.
22. DASHED LINE REPRESENTS OUTLINE OF EXISTING BANK EQUIPMENT TO BE REMOVED. SEE SWS.1 FOR INFILL DETAIL.



2 NORTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

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REVISIONS
12.17.24 BLDG DEPT COMMENT

BUILDING ELEVATIONS

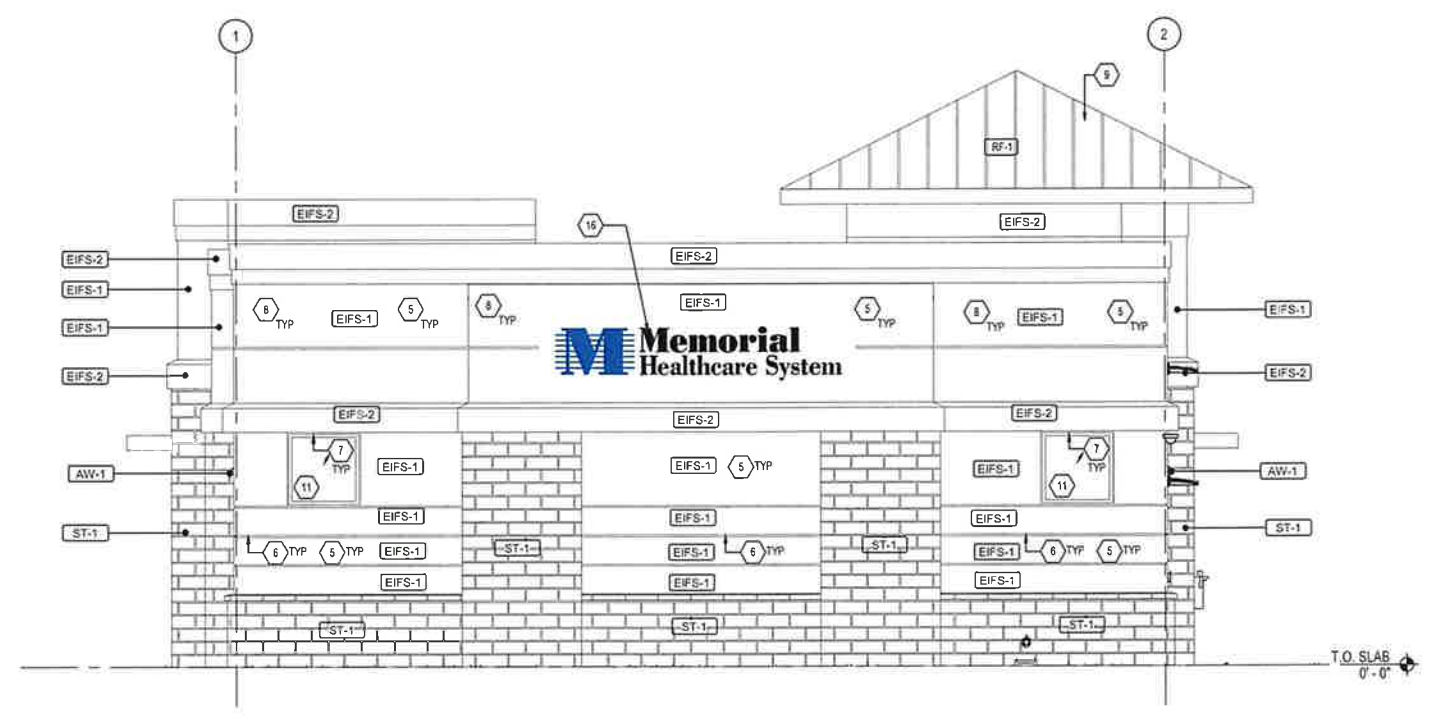
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EXTERIOR ELEVATION GENERAL NOTES

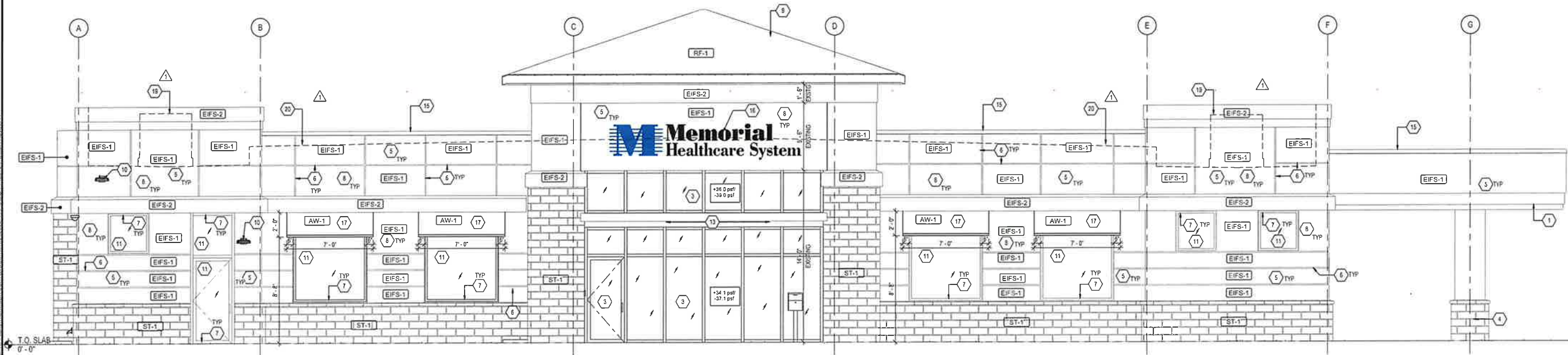
1. DO NOT SCALE DRAWING
2. REFER TO FINISH SCHEDULE & SPECIFICATIONS ON SHEET A3.0 FOR ALL FINISHES
3. DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE. (U.N.O.)
4. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE STRUCTURAL AND ELECTRICAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF STEEL AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL AND ELECTRICAL DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION.
5. NOTIFY ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE, CITY AND LOCAL CODES AND ORDINANCES IN THE LOCATION OF THE PROJECT.
7. WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING DISTURBED CONSTRUCTION TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
8. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
9. EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS:
GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1-1/2" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER 5/8" DENSGLASS SHEATHING OVER MTL (WHERE APPLICABLE).
10. ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS.
11. PROVIDE FIRE RATED BLOCKING IN FACADE FRAMING TO SUPPORT ALL BUILDING SIGNAGE (IF APPLICABLE)
12. ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED.
13. ALL NEW EXTERIOR GLAZING TO BE 1" INSULATING LOW-E
14. ALL EXTERIOR STOREFRONT FRAMING TO BE THERMALLY-BROKEN CLEAR ANODIZED FINISH, UNLESS MATCHING COLOR OF EXISTING STOREFRONT TO REMAIN
15. ALL NEW ALUMINUM FRAMED GLAZING SYSTEMS SHALL BE INSTALLED PER INDUSTRY BEST PRACTICES
16. ALL JOINT SEALERS SHALL BE INSTALLED PER PRESCRIBED INDUSTRY BEST PRACTICE STANDARDS
17. ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE INSTALLED PER ASTM E2112-07 (2016)
18. ALL STRUCTURAL/MECHANICAL OPENINGS SHALL HAVE SCREENS OR SEALANT TO DISCOURAGE INSECT ACCESS
19. ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT
20. PAINT FINISHES OVER STUCCO FINISH SHALL RECEIVE (2) COATS LATEX PAINT OVER (1) COAT PRIMER
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EXTERIOR ELEVATIONS KEYNOTES

1. EXISTING PREFINISHED ACM PANEL TO REMAIN
2. NEW 1" WIDE x 1/2" DEEP VINYL REVEAL, PAINT TO MATCH EIFS-2. SEE DETAIL T04.2
3. NEW IMPACT RESISTANT STOREFRONT SYSTEM. SEE SHEET A3.0 FOR DETAILS & SPECIFICATIONS
4. EXISTING FRAMED COLUMN ENCLOSURE TO REMAIN
5. CONTRACTOR TO INSPECT / REVIEW CONDITIONS OF EXISTING EIFS FACADE FOR DEFICIENCIES. CONTRACTOR TO PATCH & REPAIR ANY AND ALL DAMAGE, CRACKS, DETERIORATION, OPENINGS, & DEFICIENCIES IN EIFS FACADE
6. CONTRACTOR TO INSPECT / REVIEW CONDITIONS OF EXISTING VINYL REVEALS. CONTRACTOR TO REPLACE, REPAIR, AND/OR RESEAL ANY AND ALL DEFICIENT REVEALS, INCLUSIVE OF REVEAL SEPARATIONS AT CORNERS & JOINTS
7. REMOVE ALL DETERIORATED SEALANT AT EXISTING WINDOW / STOREFRONT TRANSITIONS AND INSTALL NEW SEALANT TO MAINTAIN MOISTURE BARRIER.
8. CONTRACTOR TO PROVIDE / RE-APPLY SEALANT AT ALL WALL PENETRATIONS TO MAINTAIN MOISTURE BARRIER - INCLUSIVE OF LIGHT FIXTURES, BLANK PLATES, JUNCTION BOXES, ETC.
9. CLEAN EXISTING STANDING SEAM ROOF. PATCH & REPAIR AS REQUIRED.
10. EXISTING WALL MOUNTED LED LIGHT FIXTURE TO REMAIN
11. EXISTING STOREFRONT SYSTEM AND FIXED WINDOWS TO REMAIN
12. EXISTING DOOR TO REMAIN CLOSED. PROVIDE BLACKOUT TINT ON INTERIOR OF DOOR & TRANSOM
13. EXISTING ALUMINUM CANOPY TO REMAIN, LOWER STEPPED PORTION OF CANOPY TO BE PAINTED TO MATCH MEMORIAL BLUE
14. PATCH EXISTING AREA DENOTED BY HATCH W/ STONE VENEER TO MATCH EXISTING. SEE A3.0 FOR SPECIFICATION
15. CONTRACTOR TO INSPECT EXISTING PARAPET CAP FOR DEFICIENCIES AND REPAIR / REFURBISH OR REPLACE AS NECESSARY TO ALLOW FOR WATER RUN-OFF AND TO AVOID PONDING. CAP TO BE CLEANED AND ALL SEAMS TO BE RE-SEALED.
16. SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO COORDINATE W/ OWNER SIGNAGE REQUIREMENTS
17. NEW OPEN ENDED AWNING - TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME SHALL BE POWDER COATED OR HAVE URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED. SEE DETAIL 10 A3.2
18. OUTLINE OF EXISTING CANOPY (NOT SHOWN FOR CLARITY)
19. DASHED LINE REPRESENTS OUTLINE OF ROOF TOP UNIT BEYOND PARAPET
20. DASHED LINE REPRESENTS ROOF LINE
21. DASHED LINE REPRESENTS OUTLINE OF EXISTING DRIVE THRU WINDOW TO BE REMOVED. SEE S046.1 FOR INFILL DETAIL
22. DASHED LINE REPRESENTS OUTLINE OF EXISTING BANK EQUIPMENT TO BE REMOVED. SEE S046.1 FOR INFILL DETAIL



2 SOUTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

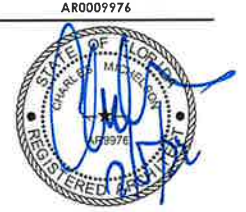


1 EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
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Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

REVISIONS
12.17.24 BLDG DEPT COMMENT

BUILDING ELEVATIONS

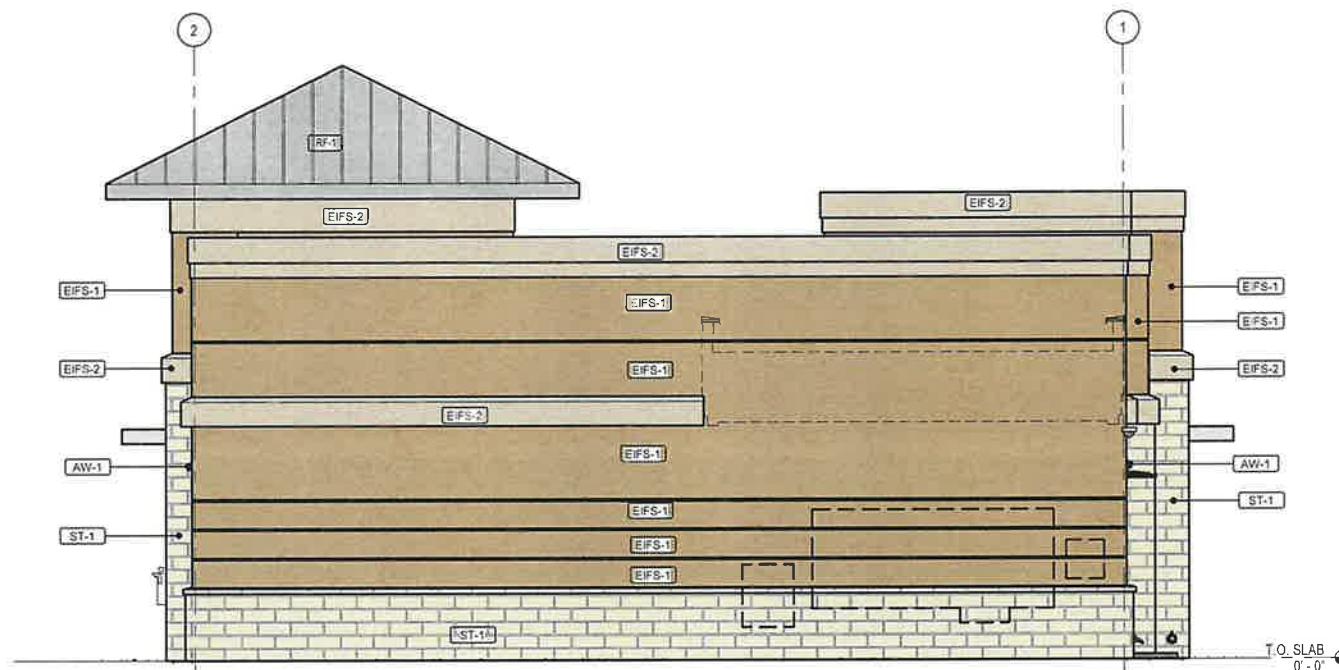
A3.1

EXTERIOR ELEVATION GENERAL NOTES

1. DO NOT SCALE DRAWING
2. REFER TO FINISH SCHEDULE & SPECIFICATIONS ON SHEET A9.0 FOR ALL FINISHES
3. DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE (U.N.O.)
4. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE STRUCTURAL AND ELECTRICAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF STEEL AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL AND ELECTRICAL DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION
5. NOTIFY ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE, CITY AND LOCAL CODES AND ORDINANCES IN THE LOCATION OF THE PROJECT.
7. WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING DISTURBED CONSTRUCTION TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED
8. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
9. EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS:
GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1-1/2" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER 5/8" DENSGLASS SHEATHING OVER MTL (WHERE APPLICABLE)
10. ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS.
11. PROVIDE FIRE RATED BLOCKING IN FACADE FRAMING TO SUPPORT ALL BUILDING SIGNAGE (IF APPLICABLE)
12. ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED.
13. ALL NEW EXTERIOR GLAZING TO BE 1" INSULATING LOW-E.
14. ALL EXTERIOR STOREFRONT FRAMING TO BE THERMALLY-BROKEN CLEAR ANODIZED FINISH, UNLESS MATCHING COLOR OF EXISTING STOREFRONT TO REMAIN
15. ALL NEW ALUMINUM FRAMED GLAZING SYSTEMS SHALL BE INSTALLED PER INDUSTRY BEST PRACTICES
16. ALL JOINT SEALERS SHALL BE INSTALLED PER PRESCRIBED INDUSTRY BEST PRACTICES STANDARDS
17. ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE INSTALLED PER ASTM E212-07 (2016)
18. ALL STRUCTURAL/MECHANICAL OPENINGS SHALL HAVE SCREENS OR SEALANT TO DISCOURAGE INSECT ACCESS
19. ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT
20. PAINT FINISHES OVER STUCCO FINISH SHALL RECEIVE (2) COATS LATEX PAINT OVER (1) COAT PRIMER
21. CONTRACTOR TO PROVIDE STUCCO CONTROL JOINTS PER ASTM C1063, BOTH HORIZONTALLY AND VERTICALLY, WHERE INDICATED, ENCLOSING AN AREA NO MORE THAN 144 SF. THE AREA ENCLOSED BY THE CONTROL JOINTS CANNOT HAVE A LENGTH TO WIDTH RATIO GREATER THAN 2:1(2)
22. NUMERICAL ADDRESS NUMBERS SHALL BE PROVIDED ON ALL EXTERIOR DOORS (IF NONE EXISTS) PER CITY ORDINANCE 52.10. NUMBERS SHALL BE WEATHERPROOF AND CONTRASTING 6" NUMBERS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBERS SHALL BE "WHITE", IF THEY ARE TO BE ON A LIGHT COLORED BACKGROUND THEY SHALL BE "BLACK".

EXTERIOR FINISH SPECIFICATIONS

SYMBOL	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	REMARKS
AW-1	AWNING		OPEN ENDED AWNING (30"D x 30"H)	MEMORIAL BLUE	TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME TO HAVE POWDER COATED OR URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED.
EFS-1	EXISTING EIFS	SHERWIN WILLIAMS		LATTE #SW6106 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
EFS-2	EXISTING EIFS ACCENT BAND	SHERWIN WILLIAMS		ACCESSIBLE BEIGE #SW7036 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
RF-1	EXISTING METAL ROOF	BERRIDGE MANUF. CO.	ZEE LOCK	ZINC-COTE	PRESSURE CLEAN
ST-1	EXISTING CAST STONE VENEER	READING ROCK, INC.	ROCKCAST ARCHITECTURAL MASONRY VENEER	COLOR BONE GP-B FINISH SLATE (SL-T)	PRESSURE CLEAN EXISTING; CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED
ST-2	EXISTING CAST STONE TRIM	READING ROCK, INC.	ROCKCAST CUSTOM CAST STONE SERIES	COLOR BONE GP-B FINISH SMOOTH (SM)	PRESSURE CLEAN EXISTING; CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED



2 NORTH ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A3.2 SCALE: 1/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
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Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

REVISIONS
01.29.25 BLOG DEPT. COMMENT

BUILDING
COLORED
ELEVATIONS

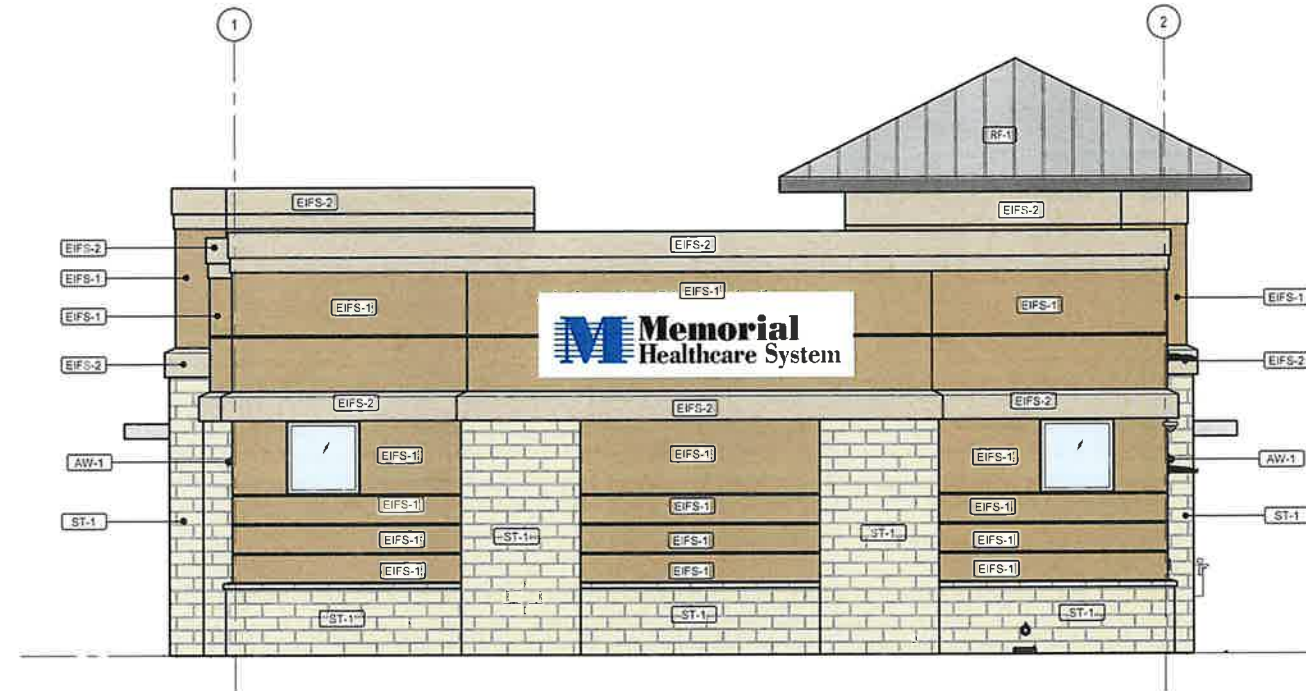
A3.2

EXTERIOR ELEVATION GENERAL NOTES

1. DO NOT SCALE DRAWING
2. REFER TO FINISH SCHEDULE & SPECIFICATIONS ON SHEET A3.0 FOR ALL FINISHES
3. DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE. (U.N.O.)
4. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS-CHECK THE STRUCTURAL AND ELECTRICAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE ORDERING / INSTALLATION OF STEEL AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL AND ELECTRICAL DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION.
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10. ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS.
11. PROVIDE FIRE RATED BLOCKING IN FACADE FRAMING TO SUPPORT ALL BUILDING SIGNAGE (IF APPLICABLE)
12. ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED.
13. ALL NEW EXTERIOR GLAZING TO BE 1" INSULATING, LOW-E
14. ALL EXTERIOR STOREFRONT FRAMING TO BE THERMALLY BROKEN CLEAR ANODIZED FINISH, UNLESS MATCHING COLOR OF EXISTING STOREFRONT TO REMAIN
15. ALL NEW ALUMINUM FRAMED GLAZING SYSTEMS SHALL BE INSTALLED PER INDUSTRY BEST PRACTICES
16. ALL JOINT SEALERS SHALL BE INSTALLED PER PRESCRIBED INDUSTRY BEST PRACTICES STANDARDS
17. ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE INSTALLED PER ASTM E2112-07 (2016)
18. ALL STRUCTURAL/MECHANICAL OPENINGS SHALL HAVE SCREENS OR SEALANT TO DISCOURAGE INSECT ACCESS.
19. ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT
20. PAINT FINISHES OVER STUCCO FINISH SHALL RECEIVE (2) COATS LATEX PAINT OVER (1) COAT PRIMER
21. CONTRACTOR TO PROVIDE STUCCO CONTROL JOINTS PER ASTM C1063, BOTH HORIZONTALLY AND VERTICALLY, WHERE INDICATED, ENCLOSING AN AREA NO MORE THAN 144 SF. THE AREA ENCLOSED BY THE CONTROL JOINTS CANNOT HAVE A LENGTH TO WIDTH RATIO GREATER THAN 2:1
22. NUMERICAL ADDRESS NUMBERS SHALL BE PROVIDED ON ALL EXTERIOR DOORS (IF NONE EXISTS) PER CITY ORDINANCE 52.10. NUMBERS SHALL BE WEATHERPROOF AND CONTRASTING 6" NUMBERS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW THE NUMBERS SHALL BE "WHITE", IF THEY ARE TO BE ON A LIGHT COLORED BACKGROUND THEY SHALL BE "BLACK".

EXTERIOR FINISH SPECIFICATIONS

SYMBOL	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	REMARKS
AW-1	AWNING		OPEN ENDED AWNING (3'0" x 30'0")	MEMORIAL BLUE	TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME TO HAVE POWDER COATED OR URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED.
EIFS-1	EXISTING EIFS	SHERWIN WILLIAMS		LATTE #SW603 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
EIFS-2	EXISTING EIFS ACCENT BAND	SHERWIN WILLIAMS		ACCESSIBLE BEIGE #SW7035 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
RF-1	EXISTING METAL ROOF	BERRIDGE MANUF. CO.	ZEF-LOCK	ZINC-COTE	PRESSURE CLEAN
ST-1	EXISTING CAST STONE VENEER	READING ROCK, INC.	ROCKCAST ARCHITECTURAL MASONRY VENEER	COLOR BONE GP-B FINISH SLATE (S11)	PRESSURE CLEAN EXISTING, CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED
ST-2	EXISTING CAST STONE TRIM	READING ROCK, INC.	ROCKCAST CUSTOM CAST STONE SERIES	COLOR BONE GP-B FINISH SIAGOTH (S1)	PRESSURE CLEAN EXISTING, CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED



2 SOUTH COLORED ELEVATION
A3.3 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A3.3 SCALE: 1/4" = 1'-0"

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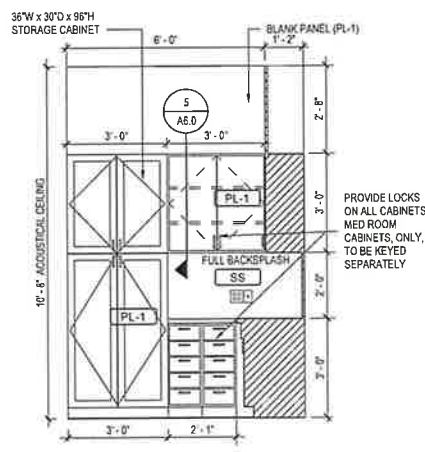
Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

REVISIONS
01.29.25 BLDG DEPT. COMMENT

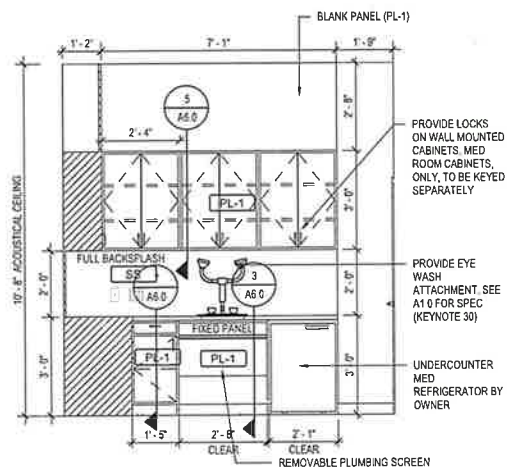
BUILDING COLORED ELEVATIONS

A3.3

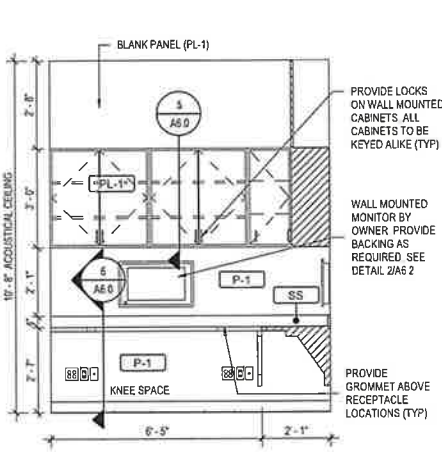
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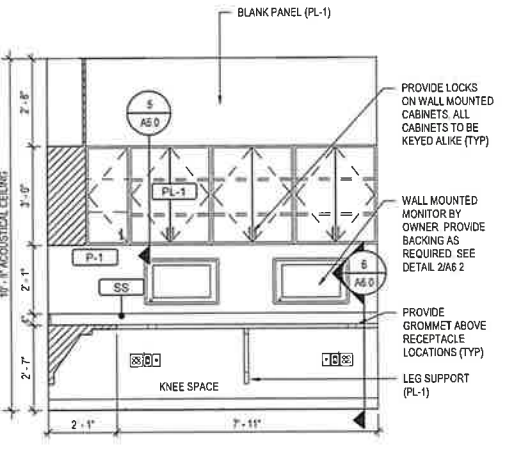
13 UCC MED ROOM (VIEW EAST)
A5.0 SCALE: 3/8" = 1'-0"



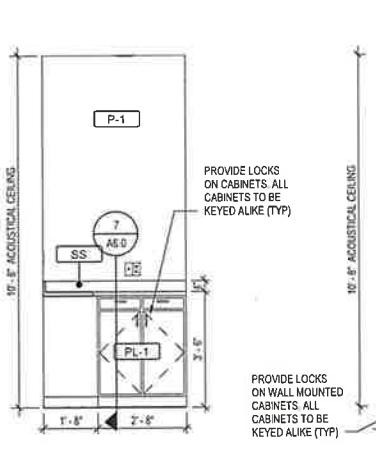
12 UCC MED ROOM (VIEW SOUTH)
A5.0 SCALE: 3/8" = 1'-0"



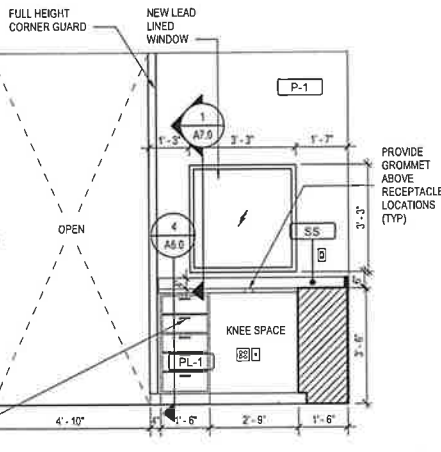
11 DR. OFFICE (VIEW EAST)
A5.0 SCALE: 3/8" = 1'-0"



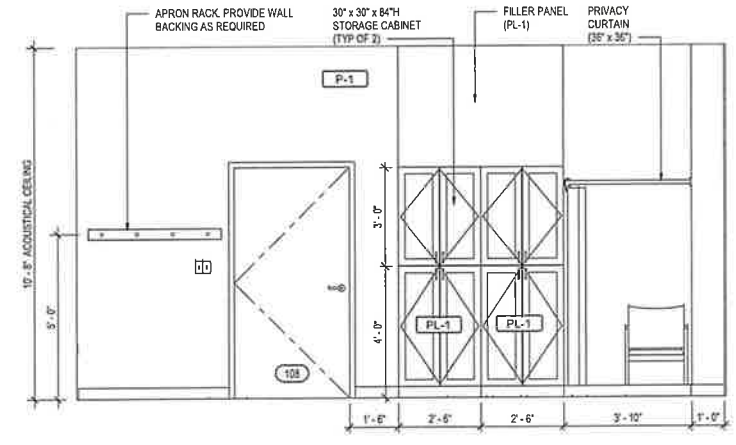
10 DR. OFFICE (VIEW SOUTH)
A5.0 SCALE: 3/8" = 1'-0"



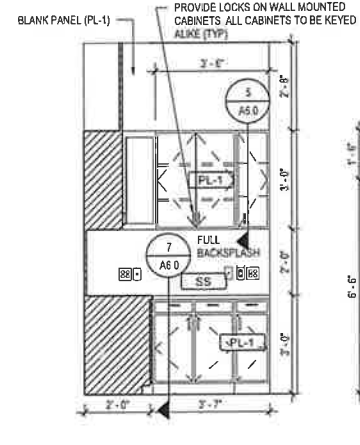
9 XRAY CONTROL ROOM (VIEW EAST)
A5.0 SCALE: 3/8" = 1'-0"



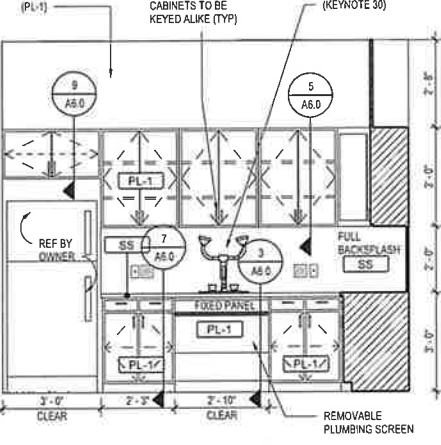
8 XRAY CONTROL ROOM (VIEW NORTH)
A5.0 SCALE: 3/8" = 1'-0"



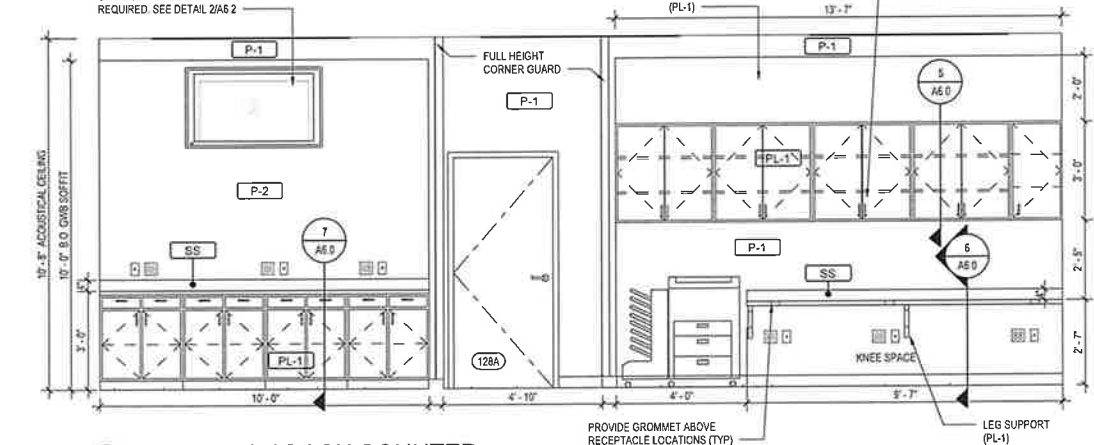
7 XRAY ROOM
A5.0 SCALE: 3/8" = 1'-0"



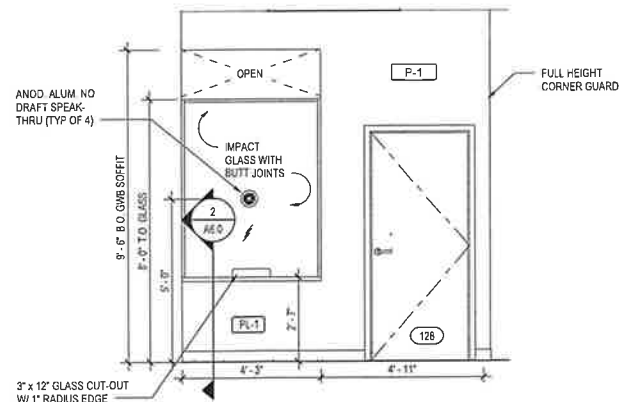
6 LAB (VIEW WEST)
A5.0 SCALE: 3/8" = 1'-0"



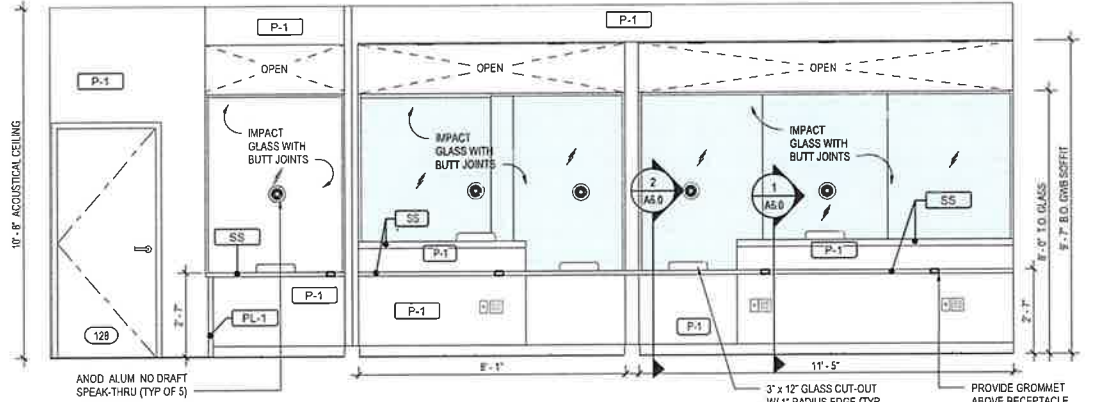
5 LAB (VIEW SOUTH)
A5.0 SCALE: 3/8" = 1'-0"



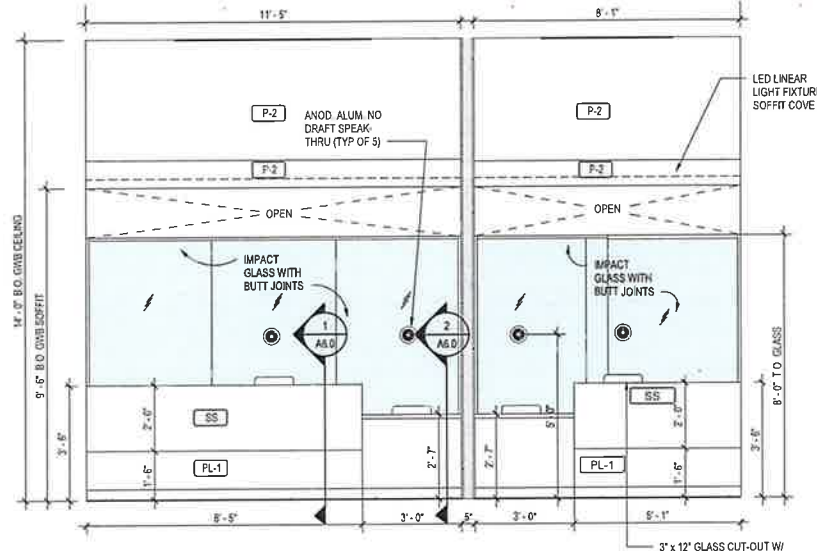
4 RECEPTION BACK COUNTER
A5.0 SCALE: 3/8" = 1'-0"



3 CHECKOUT (PATIENT SIDE)
A5.0 SCALE: 3/8" = 1'-0"



2 RECEPTION COUNTER
A5.0 SCALE: 3/8" = 1'-0"



1 RECEPTION (WAITING AREA)
A5.0 SCALE: 3/8" = 1'-0"

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REVISIONS

INTERIOR ELEVATIONS

A5.0



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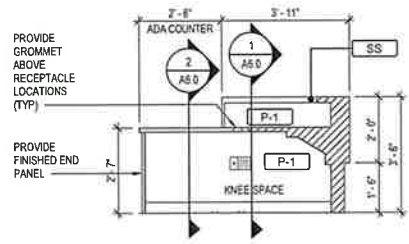


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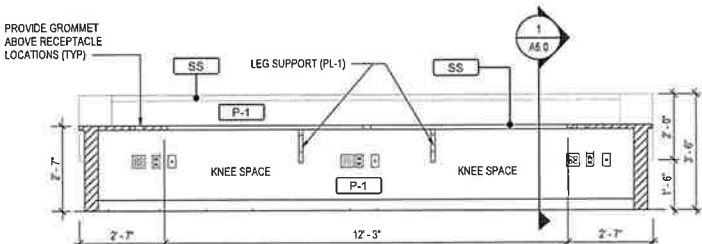
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REVISIONS

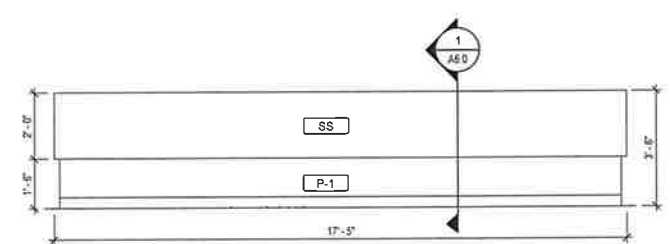
INTERIOR ELEVATIONS
A5.1



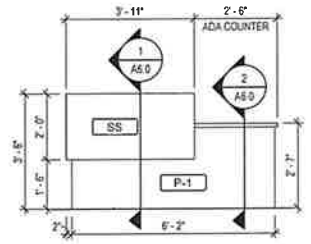
13 NURSE STATION - EMPLOYEE SIDE VIEW
A5.1 SCALE: 3/8" = 1'-0"



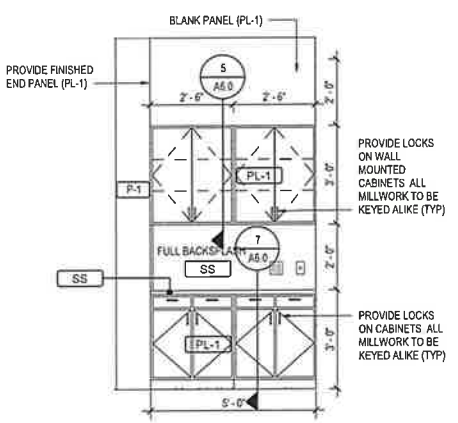
12 NURSE STATION - EMPLOYEE SIDE
A5.1 SCALE: 3/8" = 1'-0"



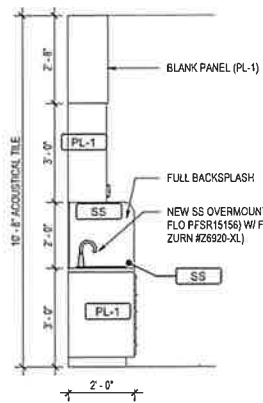
11 NURSE STATION - PATIENT SIDE
A5.1 SCALE: 3/8" = 1'-0"



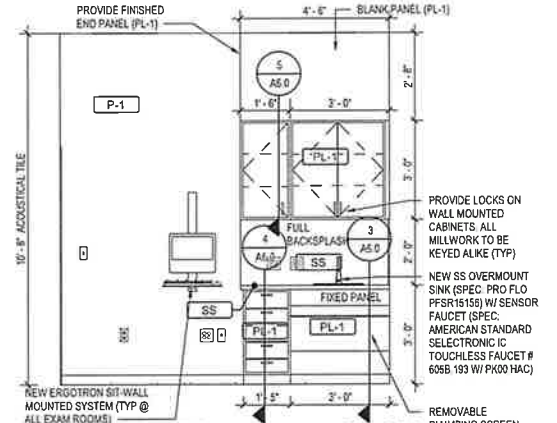
10 NURSE STATION - PATIENT SIDE VIEW
A5.1 SCALE: 3/8" = 1'-0"



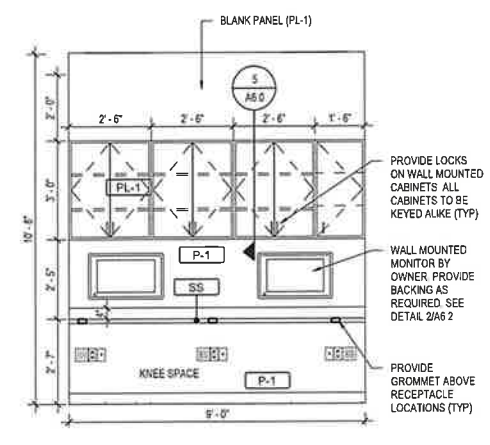
9 PROCEDURE ROOM MILLWORK
A5.1 SCALE: 3/8" = 1'-0"



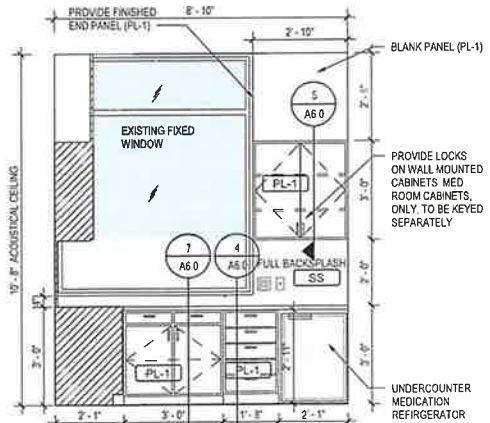
8 EXAM ROOM MILLWORK
A5.1 SCALE: 3/8" = 1'-0"



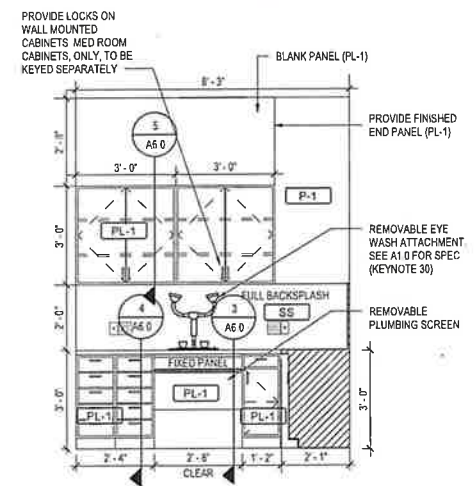
7 ELEVATION @ EXAM ROOM (TYP)
A5.1 SCALE: 3/8" = 1'-0"



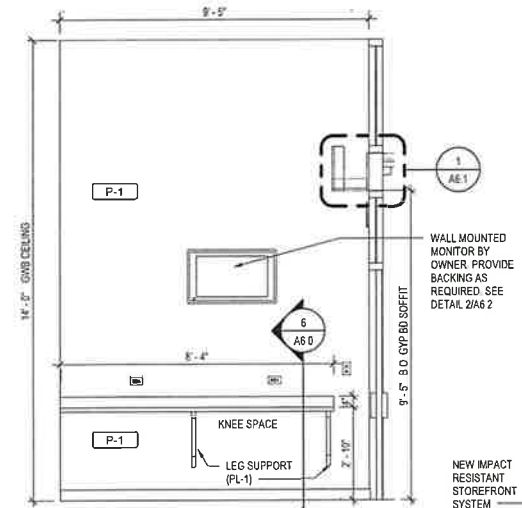
6 MA STATION
A5.1 SCALE: 3/8" = 1'-0"



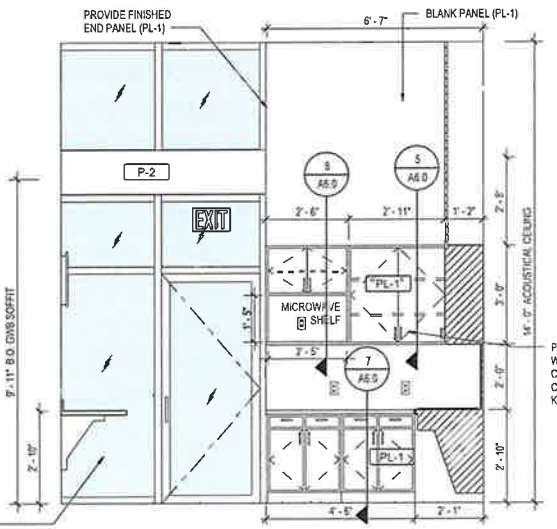
5 PC MED ROOM (VIEW EAST)
A5.1 SCALE: 3/8" = 1'-0"



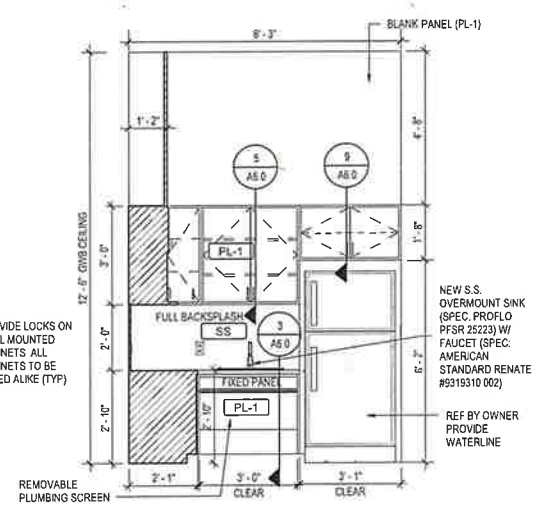
4 PC MED ROOM (VIEW NORTH)
A5.1 SCALE: 3/8" = 1'-0"



3 SHARED LOUNGE (VIEW NORTH)
A5.1 SCALE: 3/8" = 1'-0"



2 SHARED LOUNGE (VIEW EAST)
A5.1 SCALE: 3/8" = 1'-0"



1 SHARED LOUNGE (VIEW SOUTH)
A5.1 SCALE: 3/8" = 1'-0"

TYPICAL MISCELLANEOUS DETAILS: (NOTE: DETAILS ON THIS SHEET ARE TYPICAL AND MAY NOT BE REFERENCED ON THE PLANS AND/OR SPECIFIC TO THE WORK. APPLY DETAILS AS REQUIRED TO ACCOMMODATE CONDITIONS ENCOUNTERED AT THE SITE IN ORDER TO COMPLETE THE WORK AS INTENDED.)

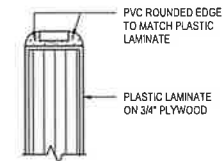
MILLWORK GENERAL NOTES

GENERAL SHEET NOTES

1. THE CABINET MANUFACTURER SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. ALL MILLWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH "PREMIUM GRADE" STANDARDS AS ESTABLISHED BY THE LATEST EDITION OF THE "ARCHITECTURAL WOODWORK INSTITUTE".
3. THE CABINET MANUFACTURER SHALL PROVIDE COMPLETE SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
4. CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL UPPER AND LOWER CABINETS. COORDINATE HEIGHTS AND LOCATIONS IN THE FIELD. PATCH & REPAIR ANY EXISTING PARTITIONS AS REQUIRED AFTER BACKING IS INSTALLED.
5. PROVIDE PLASTIC LAMINATE ON ALL EXPOSED SURFACES. CAULK JOINTS AND SPLASHES AS REQUIRED. PROVIDE PLASTIC LAMINATE SAMPLES FOR REVIEW & APPROVAL.
6. ALL EXPOSED EDGES OF THE CASEWORK MUST BE FINISHED WITH A PVC ROUNDED EDGE. PROVIDE SAMPLES FOR ARCHITECTS APPROVAL BEFORE MANUFACTURE.
7. ALL SHELVES, INTERIOR FACES OF THE CABINETS AND DRAWER INTERIORS TO BE FINISHED WITH WHITE MELAMINE.
8. ALL DOOR HINGES TO BE CONCEALED EUROPEAN HINGES.
9. ALL DRAWERS TO BE ON HEAVY DUTY COMMERCIAL GRADE GALVANIZED METAL TRACKS AND GLIDES.
10. ALL CABINET CONSTRUCTION SHALL BE PLYWOOD.
11. CABINET STYLE SHALL BE FLUSH OVERLAY.
12. ALL CABINETS SEAMS AT WALLS AND FLOOR SHALL BE SEALED.
13. PROVIDE 2" GROMMETS IN COUNTERTOPS WITH COVERS AT COMPUTER/FAX/PRINTER LOCATIONS. COORDINATE LOCATIONS WITH USER. GROMMET COLOR TO MATCH SOLID SURFACE COUNTERTOP.
14. COORDINATE LOCATION OF OUTLETS WITH OPEN KNEE UNDER THE CABINETS.
15. PROVIDE LOCK AND KEYS AT ALL CABINETS AND DRAWERS THROUGH OUT PROJECT.
16. PROVIDE DIFFERENT KEY LOCKS FOR ONLY BOTTOM DRAWER IN OFFICES. COORDINATE WITH USER.
17. PROVIDE SAME KEY LOCKS FOR ONLY THE TOP DOORS AT EXAM ROOMS.
18. PROVIDE FILING SYSTEMS FOR LETTER SIZE FOLDERS FOR ALL FILE DRAWERS.
19. WHEN CASEWORK IS EXPOSED ON THE BACK TO AN OPEN AREA (STOREFRONT, GLAZING, OR EXTERIOR WINDOW) IT MUST BE FINISHED WITH THE MATERIAL USED ON ALL EXPOSED SURFACES.
20. ALL MILLWORK DOORS AND DRAWERS TO HAVE 3M EDGE BANDING.
21. ALL SOLID SURFACE COUNTERTOP TO HAVE BULL NOSE EDGING AND CORNERS.
22. ALL EXPOSED SURFACE EDGES SHALL BE RADIUS 2" MINIMUM. ALL OTHER DOUBLE EDGES SHALL BE SANDED AND ROUNDED. IF THERE ARE ANY QUESTIONS ABOUT THIS DETAIL, CONTACT THE ARCHITECT FOR CLARIFICATION. ANY CASEWORK THAT DOES NOT COMPLY WITH THESE REQUIREMENTS WILL BE RETURNED AND REPLACED BY THE CASEWORK MANUFACTURER AT NO COST TO THE CLIENT.

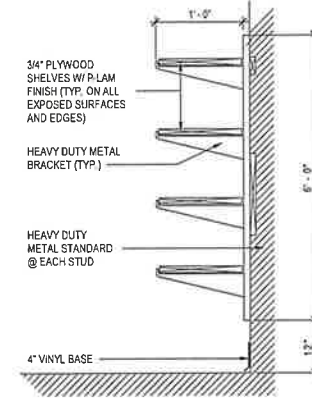
HARDWARE SPECIFICATION & NOTES

1. FULL EXTENSION DRAWER SLIDES: KNAPE & VOGT #1423 BLUM - CLIP 125
2. HEAVY DUTY HINGE: KNAPE & VOGT #87 EXTRA HEAVY DUTY
3. CLOSET STANDARD: KNAPE & VOGT #187 EXTRA HEAVY DUTY
4. BRACKETS: KNAPE & VOGT #255 W/ SHELF CLIP #255
5. WIRE PULLS: TO BE SELECTED BY OWNER; PROVIDED & INSTALLED BY CABINET MFR
6. RECESSED ADJ SHELF STANDARD
7. LOCKS ON ALL DOOR CABINETS
8. ALL LOCKS TO BE KEYED ALIKE

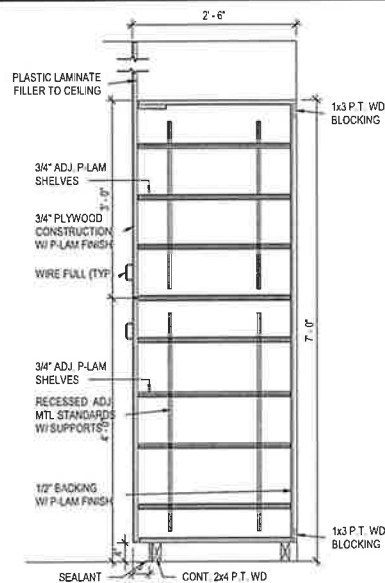


ALL EXPOSED MILLWORK & CABINETS DOOR EDGES MUST BE FINISHED WITH A PVC ROUNDED EDGE

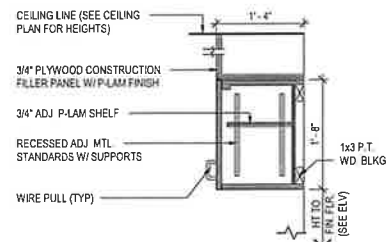
12 PVC EDGE DETAIL
A6.0 SCALE: N.T.S.



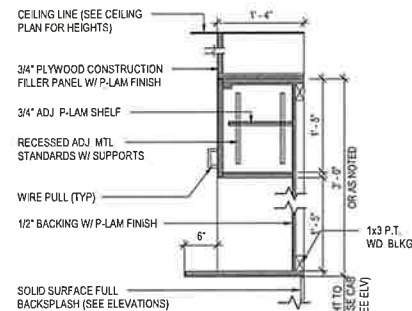
11 STORAGE SHELVES DETAIL
A6.0 SCALE: N.T.S.



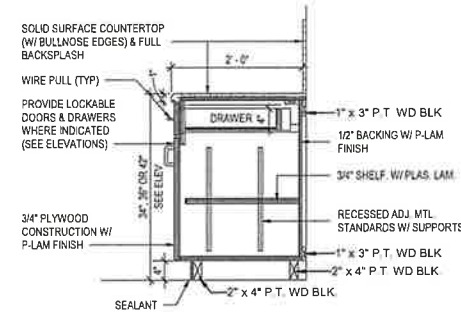
10 FULL HEIGHT WARDROBE CABINET DETAIL
A6.0 SCALE: N.T.S.



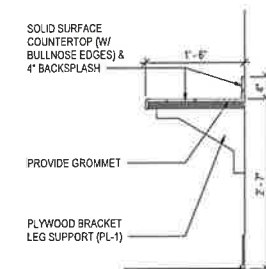
9 WALL CABINET DETAIL ABOVE REFRIGERATOR
A6.0 SCALE: N.T.S.



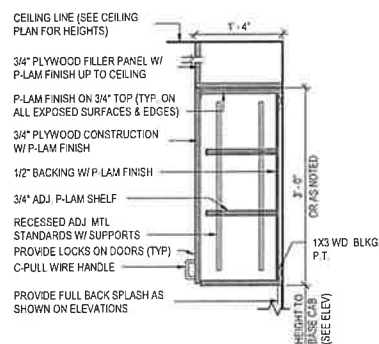
8 MICROWAVE SHELF DETAIL
A6.0 SCALE: N.T.S.



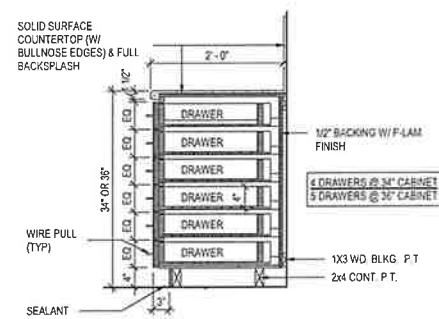
7 1 DRAWER/ DOOR BASE CABINET DETAIL
A6.0 SCALE: N.T.S.



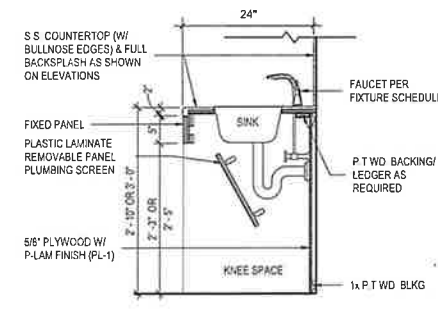
6 COUNTER DETAIL
A6.0 SCALE: 3/4" = 1'-0"



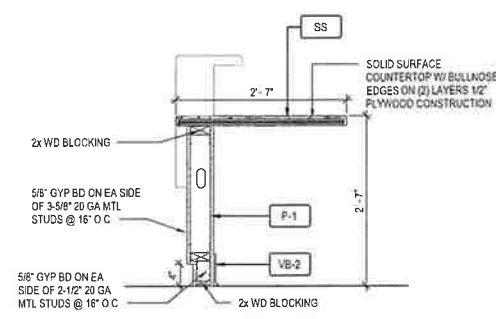
5 WALL MOUNTED CABINET DETAIL
A6.0 SCALE: N.T.S.



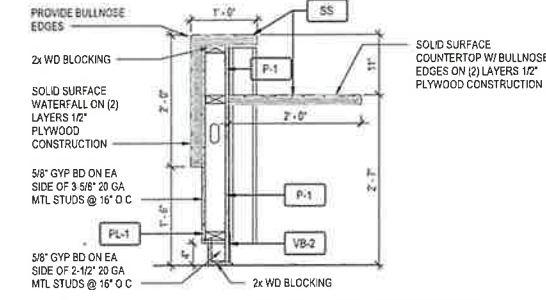
4 BASE CABINET DRAWER DETAIL
A6.0 SCALE: N.T.S.



3 ADA LAVATORY DETAIL
A6.0 SCALE: N.T.S.



2 ADA COUNTER @ RECEPTION / NURSE STATION
A6.0 SCALE: 3/4" = 1'-0"



1 RECEPTION/ NURSE STATION DESK COUNTER
A6.0 SCALE: 3/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
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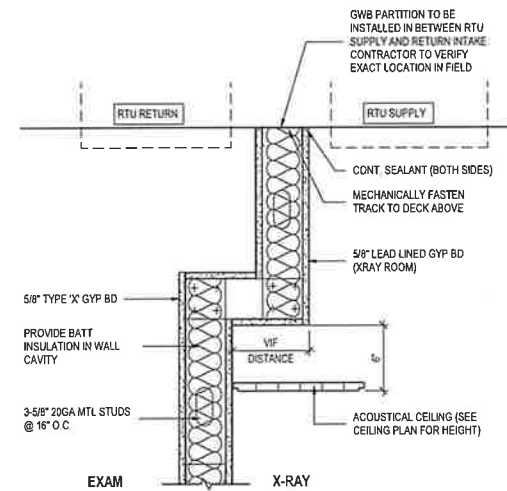
Charles Michelson AR0009976

Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

REVISIONS

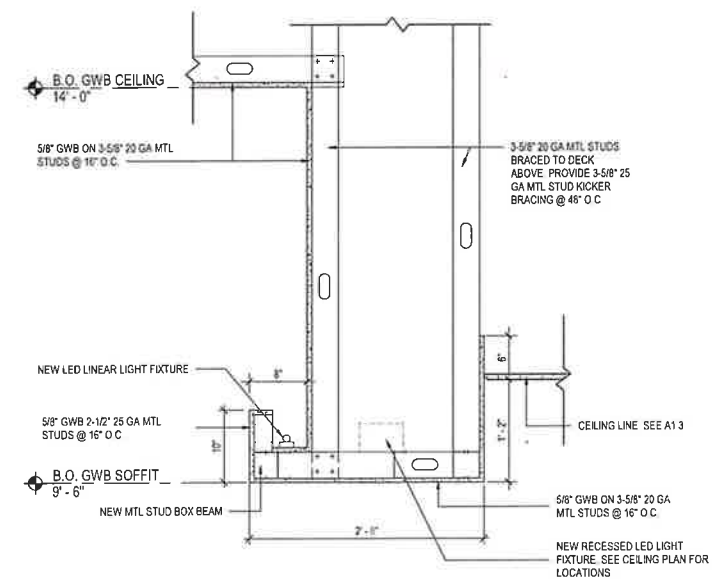
MILLWORK SECTIONS AND DETAILS

A6.0



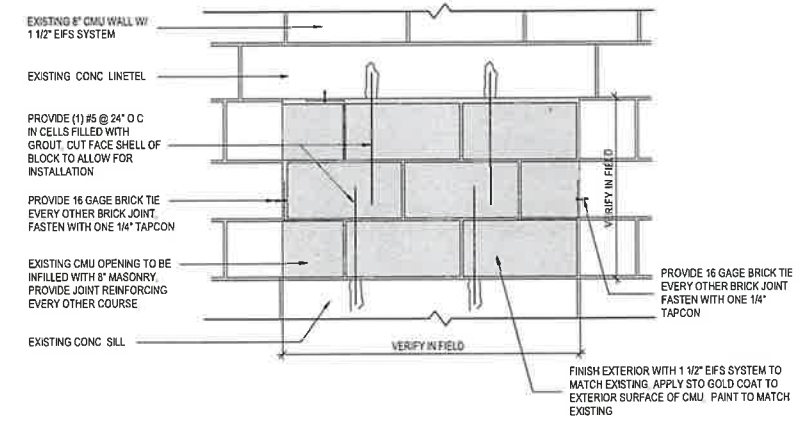
4 WALL JOG DETAIL ABOVE CEILING @ XRAY ROOM

A6.1 SCALE: 1 1/2\" = 1'-0"



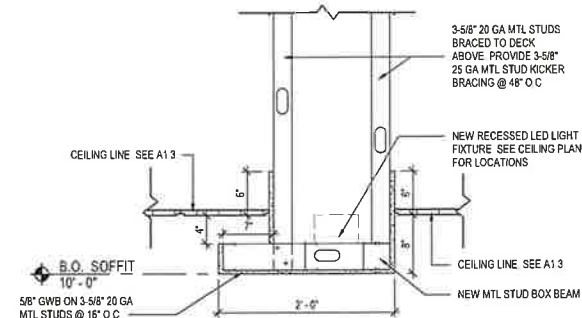
2 SOFFIT DETAIL @ RECEPTION

A6.1 SCALE: 1\" = 1'-0"



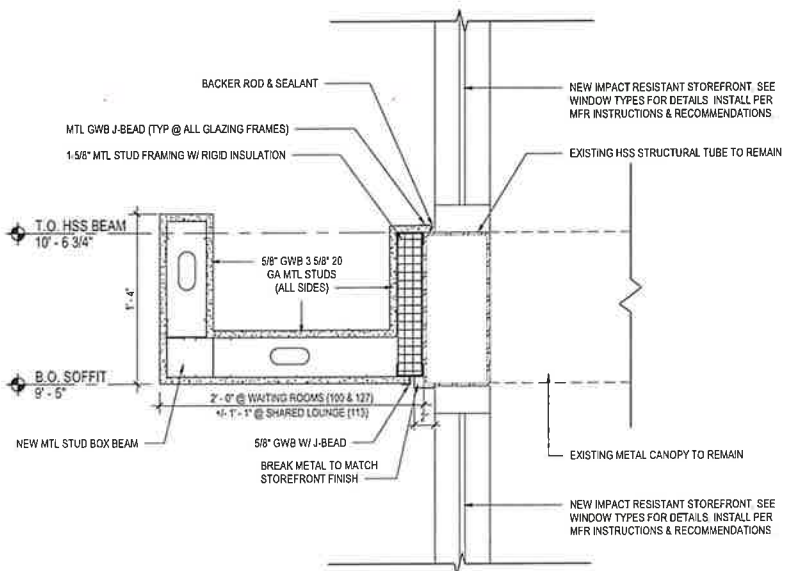
5 CMU INFILL DETAIL

A6.1 SCALE: N.T.S.



3 SOFFIT DETAIL @ NURSE STATION

A6.1 SCALE: 1\" = 1'-0"



1 SOFFIT DETAIL @ STOREFRONT ENTRY

A6.1 SCALE: 1 1/2\" = 1'-0"



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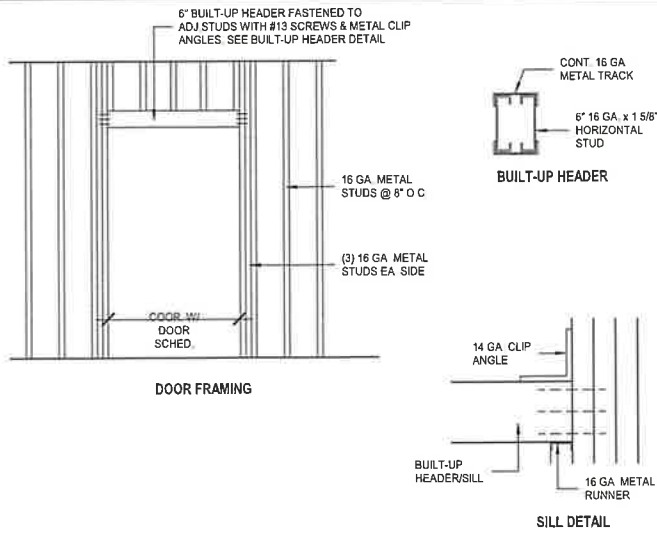
Project No.:
2023-177
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ER
Checked By:
CM, SW, ER
Date:
07.25.24

REVISIONS

ENLARGED
DETAILS &
SECTIONS

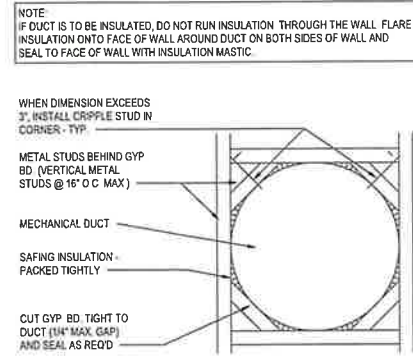
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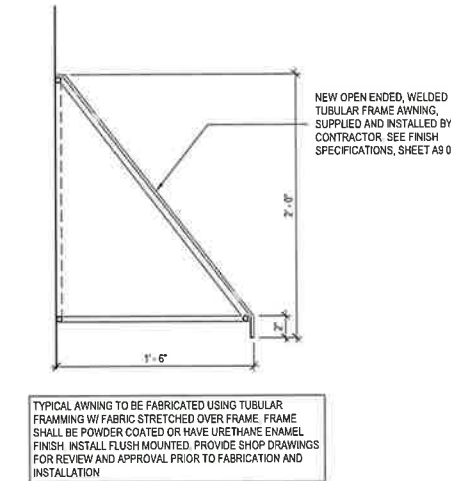


12 LEAD FRAMING DETAIL
A6.2 SCALE: N.T.S.

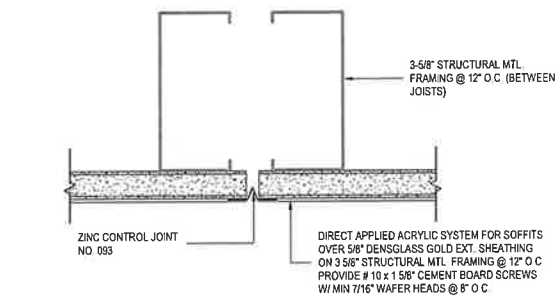
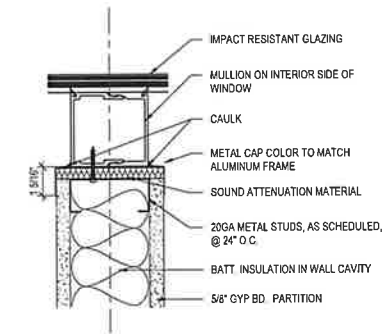
11 TYP. DUCT PENETRATION
A6.2 SCALE: N.T.S.



10 AWNING DETAIL
A6.2 SCALE: N.T.S.

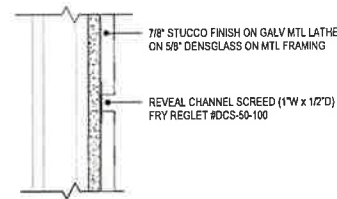


9 PARTITION TO MULLION DETAIL
A6.2 SCALE: N.T.S.

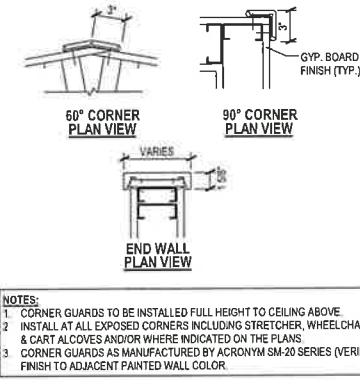


8 CONTROL JOINT DETAIL
A6.2 SCALE: 6" = 1'-0"

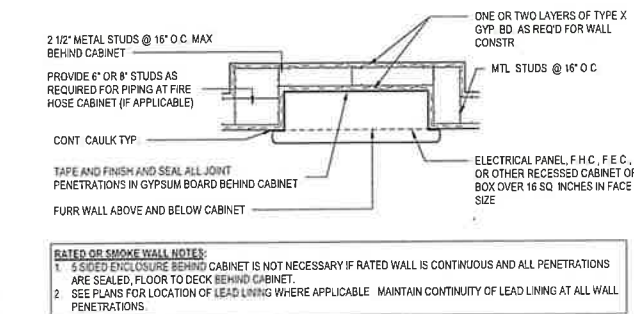
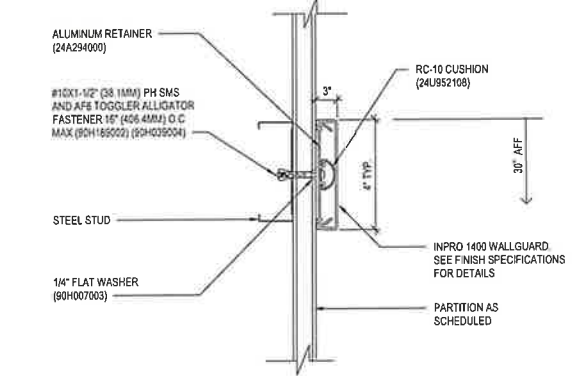
7 REVEAL DETAIL
A6.2 SCALE: 3" = 1'-0"



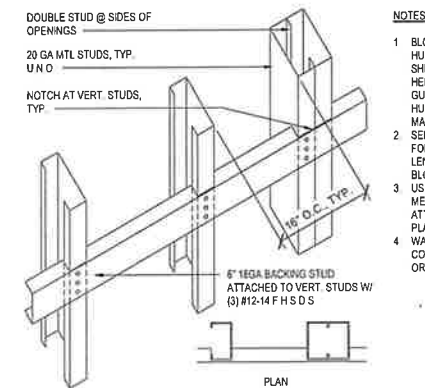
6 CORNER GUARD DETAIL
A6.2 SCALE: 3/4" = 1'-0"



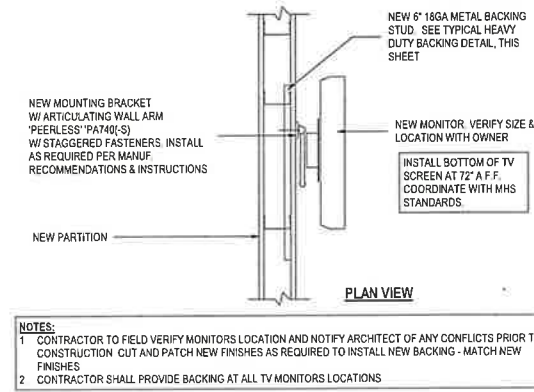
5 CHAIR RAIL DETAIL
A6.2 SCALE: 1" = 1'-0"



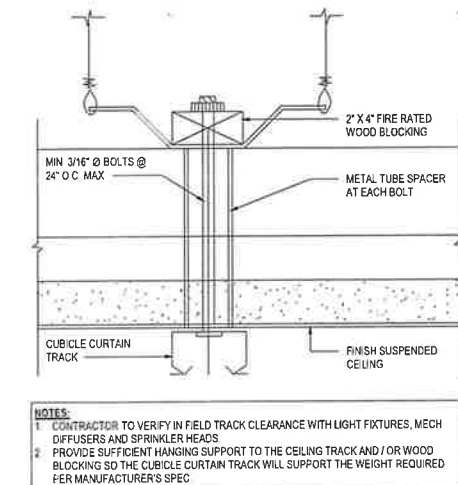
4 RECESSED CABINET DETAIL
A6.2 SCALE: N.T.S.



3 HEAVY DUTY BACKING DETAIL - ISO
A6.2 SCALE: N.T.S.



2 WALL MOUNTED T.V BACKING DETAIL
A6.2 SCALE: 1" = 1'-0"

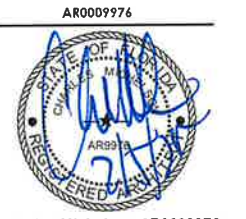


1 CURTAIN TRACK ATTACHMENT DETAIL
A6.2 SCALE: N.T.S.

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
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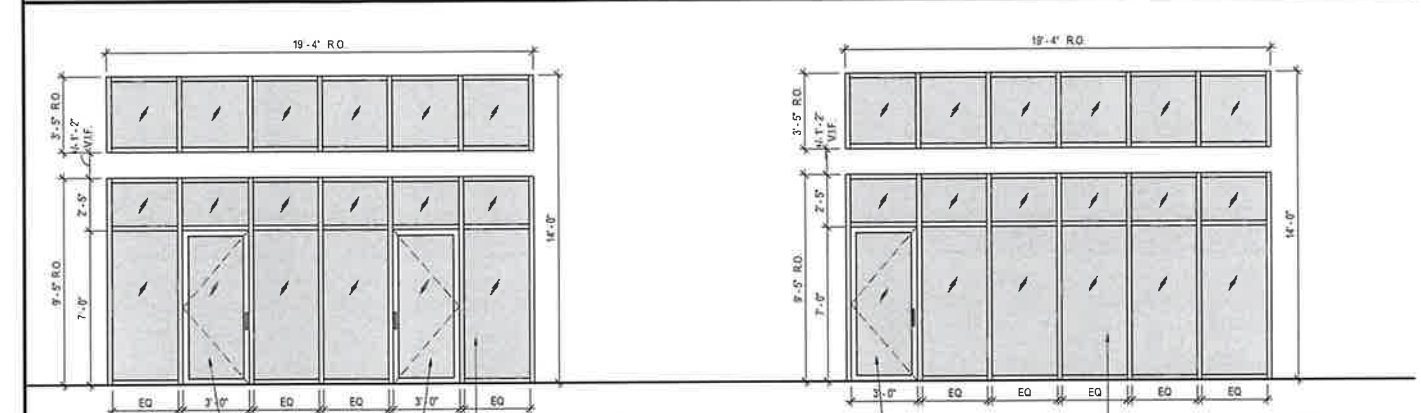
REVISIONS

MISC. DETAILS

A6.2

STOREFRONT SYSTEM/GLAZING GENERAL NOTES

- CONTRACTOR SHALL FIELD MEASURE ALL WALL OPENINGS PRIOR TO ORDERING WINDOWS AND/OR DOORS
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW & APPROVAL
- WINDOWS SHALL BE INSTALLED PER INDUSTRY BEST PRACTICE ASTM E2102-01 AND MANUFACTURER'S REQUIREMENTS WITH WARRANTY AS PER INDUSTRY STANDARDS
- MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURER'S INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMENTS OF THE WORK
- SEALANT NOTES:
 - FOR PRIMARY PERIMETER SEALANT FROM FRAMING TO STRUCTURE, PROVIDE DOW CORNING 140, 141 OR 145 (OR APPROVED EQUAL)
 - FOR SECONDARY PERIMETER SEALANT FROM STUCCO TO FRAMING, PROVIDE DOW CORNING 140, 141 OR 145 (OR APPROVED EQUAL)
 - PROVIDE DOW CORNING'S ADHESION AND COMPATIBILITY TEST REPORTS FOR ALL ALUMINUM SUBSTRATES
 - PROVIDE DOW CORNING'S SITE ADHESION TEST REPORTS FOR ALL CEMENTITIOUS SUBSTRATES.
 - PROVIDE DOW CORNING'S STANDARD 20 YEAR WARRANTY
- STOREFRONT GLAZING SHALL BE 1" CLEAR INSULATED LOW E GLAZING (NO FILMS, TINTS, OR COATINGS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL)
- STOREFRONT WATER INTRUSION TEST ASMA 901.2 SHALL BE PERFORMED BY OWNER/LANDLORD, AND REPAIRED AS NEEDED/REQUIRED
- STOREFRONT FRAMES SHALL BE THERMALLY BROKEN



IMPACT RESISTANT STOREFRONT SYSTEM
 OLD CASTLE STORMAX "FG-5750T" SERIES IMPACT RESISTANT STOREFRONT SYSTEM IN CLEAR ANODIZED ALUM. STOREFRONT FRAME (FL NO. 20655 3) OR APPROVED EQUAL

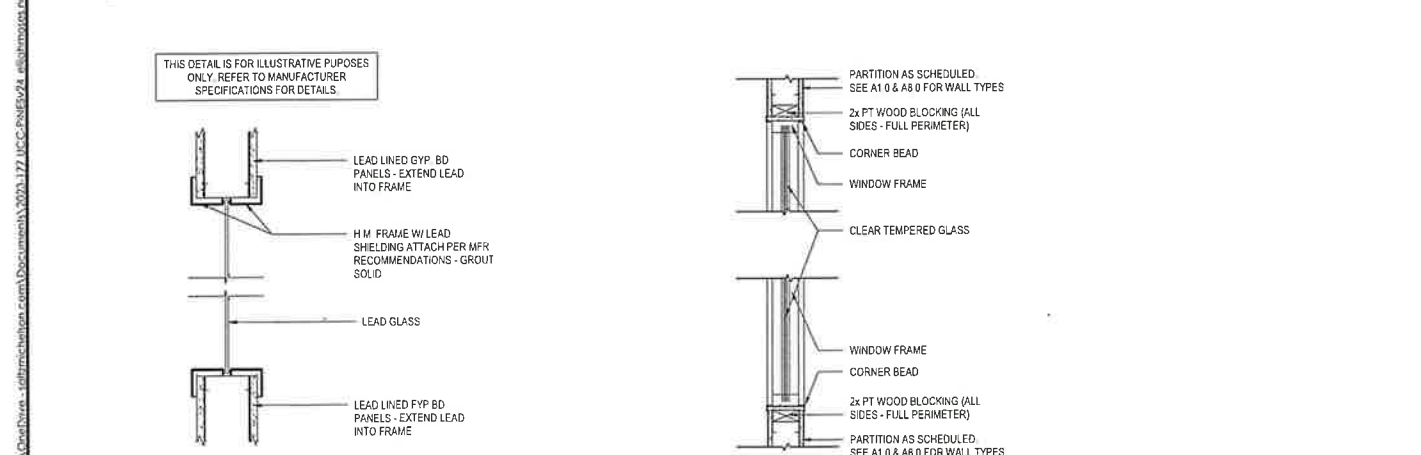
IMPACT RESISTANT STOREFRONT SYSTEM
 OLD CASTLE STORMAX "FG-5750T" SERIES IMPACT RESISTANT STOREFRONT SYSTEM IN CLEAR ANODIZED ALUM. STOREFRONT FRAME (FL NO. 20655 3) OR APPROVED EQUAL



A3 WINDOW TYPES
 SCALE: N.T.S.



A4 STOREFRONT SILL DETAIL
 SCALE: N.T.S.



A5 XRAY WINDOW DETAIL
 SCALE: N.T.S.
A6 FIXED WINDOW DETAIL
 SCALE: N.T.S.

GENERAL DOOR NOTES

- MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION, APPLICATION, OR METHODS SHALL BE STRICTLY ADHERED TO AND BY REFERENCE ARE MADE A PART OF THESE PLANS AS IF FULLY WRITTEN HEREIN. FAILURE OF THE CONTRACTOR TO OBTAIN MANUFACTURER'S INSTRUCTIONS SHALL NOT RELIEVE HIM FROM PERFORMING ALL OF THE REQUIREMENTS OF THE WORK
- CONTRACTOR SHALL CONFIRM ALL EQUIPMENT DIMENSIONS, ELECTRICAL REQUIREMENTS AND CONNECTIONS PRIOR TO CONSTRUCTION WITH ACTUAL EQUIPMENT'S MAKE AND MODEL.

DOOR SCHEDULE

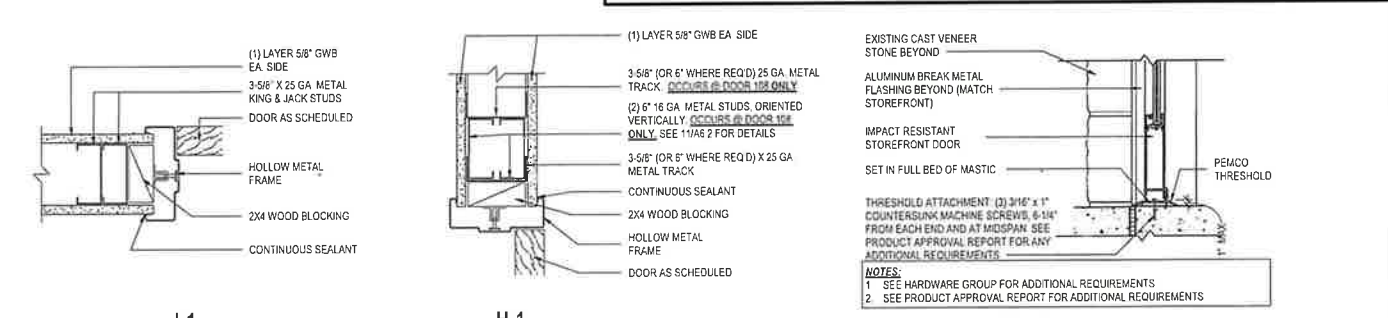
MARK	DOOR DIMENSIONS			DOOR TYPE	DOOR MATERIALS		HARDWARE SET	FRAME			DETAILS	COMMENTS	
	WIDTH	HEIGHT	THICKNESS		MATERIAL	FINISH		MATERIAL	FINISH	HEAD			JAMB
102	3'-0"	7'-0"	2"	A	ALUM GLASS	CLEAR ANOD	1	ANOD ALUM	CLEAR ANOD			TH-1	IMPACT RESISTANT SWING DOOR W/ TRANSOM
102A	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	P-1	H-1	J-1		PROVIDE ELECTRIC STRIKE, CARD READER ACCESS, & ELECTRONIC DOOR RELEASE
103	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	P-1	H-1	J-1		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
104	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
105	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
106	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
107	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
108	3'-0"	7'-0"	1 3/4"	B	LEAD LINED	PAINT	4	LEAD LINED	P-1	H-1	J-1		LEAD LINED DOOR, FRAME, AND HARDWARE
109	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
110	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	P-1	H-1	J-1		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
111	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	5	H.M.	P-1	H-1	J-1		
112	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
113	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	7	H.M.	PAINT	H-1	J-1		
113A	3'-0"	7'-0"	2"	A	ALUM GLASS	CLEAR ANOD	1	ANOD ALUM	CLEAR ANOD			TH-1	IMPACT RESISTANT SWING DOOR W/ TRANSOM, PROVIDE ELECTRIC STRIKE & CARD READER
114	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	PAINT	H-1	J-1		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
114A	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	8	H.M.	PAINT	H-1	J-1		
115	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	PAINT	H-1	J-1		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
115A	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	8	H.M.	P-1	H-1	J-1		
122	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
123	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	8	H.M.	P-1	H-1	J-1		
124	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
125	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
126	3'-0"	7'-0"	1 3/4"	C	S.C. WD	CLEAR FINISH	3	ALUM	CLEAR ALUM				PROVIDE SIDELITE W/ FROSTED SECURITY GLASS, DOOR SHALL BE PLAIN SLICED WHITE MAPLE
127	3'-0"	7'-0"	2"	A	ALUM GLASS	CLEAR ANOD	1	ANOD ALUM	CLEAR ANOD			TH-1	IMPACT RESISTANT SWING DOOR W/ TRANSOM
127A	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	P-1	H-1	J-1		PROVIDE ELECTRIC STRIKE, CARD READER ACCESS, & ELECTRONIC DOOR RELEASE
128	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
128A	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
129	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	6	H.M.	P-1	H-1	J-1		
EX104	3'-2"	7'-0"	2"	EX	ALUM GLASS	EX	EX	EX	EX			EX	PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
EX117	3'-2"	7'-0"	2"	EX	ALUM GLASS	EX	EX	EX	EX			EX	PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
EX118	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	8	H.M.	P-1	EX	EX		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
EX119	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	2	H.M.	P-1	EX	EX		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
EX120	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	3	H.M.	P-1	EX	EX		PROVIDE ELECTRIC STRIKE & CARD READER ACCESS
EX121	3'-0"	7'-0"	1 3/4"	B	S.C. WD	P-3	8	H.M.	P-1	EX	EX		OCCUPANCY LOCK TO REMAIN
EX131	7'-8"	7'-0"	1 1/2"	EX	BF/GOLD	P-3	EX	EX	EX	EX	EX		

DOOR & HARDWARE NOTES

- CONTRACTOR TO VERIFY ALL DOOR SWINGS W/ FLOOR PLAN (SHEET A1 0)
- DOORS SHALL BE ARRANGED TO BE OPENED READILY IN THE DIRECTION OF EGRESS WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. ALL DOORS TO BE SINGLE ACTION RELEASE PER NFPA 101 - 7.2.1.5
- DOORS SHALL COMPLY WITH FLORIDA ACCESSIBILITY CODE (8TH EDITION) SECTION 404.2.8 MAXIMUM OPENING FORCE FOR INTERIOR HINGED, SLIDING OR FOLDING DOORS SHALL BE 5 LBS MAX. EXTERIOR HINGED DOORS SHALL BE DESIGNED SO THAT SUCH DOORS CAN BE PUSHED OR PULLED OPEN WITH A FORCE NOT EXCEEDING 8.5 LBS
- ALL HARDWARE LOCKSETS SHALL BE ADA APPROVED LEVER TYPE AND EASY TO GRASP HANDLE AS PER FBC 1010.2.3 AND FBC-A 404.2.7 AND MOUNTED AT LEAST 34" AND NOT MORE THAN 48" ABOVE THE FINISHED FLOOR.
- PROVIDE THRESHOLD HT. OF 1/4" (MAX) FOR VERTICAL CHANGE IN LEVEL AND 1/4" (MIN) TO 1/2" (MAX) FOR BEVELED CHANGE IN LEVEL IN ACCORDANCE WITH FBC-A 303. SET ALL THRESHOLDS IN BED OF NON-SHRINK GROUT
- ALL FIRE RATED DOORS SHALL BE SELF-CLOSING
- DOORS WITH CLOSERS SHOULD TAKE A MINIMUM OF 5 SECONDS TO MOVE FROM OPEN POSITION OF 90° TO 12° PER FBC-A 404.2.8.1
- DOOR CLOSERS AT NON-FIRE RATED DOORS SHALL MEET A MINIMUM OF 5 LBS. OPENING FORCE. THIS DOES NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN THE LATCHED POSITION
- THE FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 50 LBS TO SET THE DOOR IN MOTION AND 15 LBS TO CLOSE THE DOOR OR OPEN IT TO THE MINIMUM REQUIRED WIDTH AS PER FBC-A 101.7.2.1.1
- DOORS WITHOUT WEATHERSTRIPPING SHALL BE PROVIDED WITH NEOPRENE SILENCERS ON STOPS TO PREVENT METAL TO METAL CONTACT
- ALL DOORS SHALL BE SWING TYPE DOORS
- EXIT DOORS THAT ARE NOT ACCESSIBLE TO PERSONS WITH DISABILITIES TO BE PROVIDED WITH A SIGN STATING "NOT ACCESSIBLE TO PERSONS WITH DISABILITIES"
- DOOR OPERATION MUST NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. FBC 1010.2.7 AND FBC-A 308.4
- ALL EXTERIOR DOOR FRAMES SHALL BE FASTENED AS OUTLINED IN THE NOTICE OF ACCEPTANCE (NOA) FROM MIAMI-DADE PRODUCT CONTROL DIVISION
- MASTER KEY ENTIRE FACILITY. COORDINATE KEYING WITH OWNER AND FIRE DEPT
- ALL EXTERIOR DOORS TO HAVE HINGES WITH NON-REMOVABLE PINS
- PER FBC 2406.4.1, GLAZING IN DOORS SHALL BE CATEGORY II SAFETY GLAZING
- PER FBC 2406.4.2, GLAZING WITHIN 24" OF DOORS SHALL BE CATEGORY II SAFETY GLAZING
- PER FBC 2406.4.3, GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 18" A.F.F. SHALL BE CATEGORY I SAFETY GLAZING

DOOR HARDWARE SCHEDULE

HARDWARE GROUP	LOCATION	REQUIREMENTS
HARDWARE GROUP 1 (EXISTING TO REMAIN)	EXISTING HARDWARE TO REMAIN	
HARDWARE GROUP 1 (STOREFRONT ENTRY)	STOREFRONT ENTRY	<ul style="list-style-type: none"> (1) PULL HANDLE BY MFR - 4.5 X 4.5 NRP (US32D) (1) 1/2" PAIR BUTT HINGES BEST 7 PIN SFC COMPATIBLE (1) MORTISE CYLINDER ADAMS RITE 6560-US32D (1) CVR ESCUTCHEON KIT LCN 4020 (689) (1) CLOSER W/ UNIPUSH ARM HAGER BB1279 4 1/2 X 4 1/2 (US26D) THRESHOLD HAGER BB1279 4 1/2 X 4 1/2 (US26D) GASKETING (TOP & SIDES) PEMKO #255A (SET ON MORTAR BED) DOOR/SILL SWEEPS BY MANUFACTURER
HARDWARE GROUP 2 (WAITING ROOMS/LEAD LINED ROOM/STORAGE)	WAITING ROOMS/LEAD LINED ROOM/STORAGE	<ul style="list-style-type: none"> (1) 1/2" PAIR BUTT HINGES HAGER BB1168 4 1/2 X 4 1/2 NRP (US26D) (1) LOCKSET SCHLAGE AL60PD, SATURN 626 (1) CLOSER LCN 1461-CUSH-AL-DEL TB (1) ELECTRIC STRIKE HES-5200C-630 (1) CARD READER BY MHS SECURITY VENDOR (3) SILENCERS HAGER 307D (1) DOORSTOP HAGER 241F (US26D) PROVIDE BUZZER/DOOR RELEASE BUTTONS @ RECEPTION DESK
HARDWARE GROUP 3 (EXAM ROOMS) - NON LOCKABLE	EXAM ROOMS	<ul style="list-style-type: none"> 16" X 1" BACK TO BACK LADDER PULL (US26D) DOOR GASKET/SEAL SYSTEM (GREY) DOOR ROLLERS W/ SOFT-CLOSE & SOFT-OPEN SYSTEM
HARDWARE GROUP 4 (XRAY) - LEAD LINED	XRAY	<ul style="list-style-type: none"> (1) PIVOT SET RIXSON L117 (UP TO 1750 LBS) (1) SIDE PIVOTS RIXSON ML19 (1) LOCKSET SCHLAGE AL60PD, SATURN 626 (1) CLOSER LCN 1461-CUSH-AL-DEL TB (1) WALL STOP HAGER #236W (US26D) (3) SILENCERS HAGER 307D
HARDWARE GROUP 5 (RESTROOMS)	RESTROOMS	<ul style="list-style-type: none"> (1) 1/2" PAIR BUTT HINGES HAGER BB1279 4 1/2 X 4 1/2 (US26D) (1) PRIVACY LOCKSET SCHLAGE AL45S, SATURN 626 (1) CLOSER LCN 1461-CUSH-AL-DEL TB (1) WALL STOP HAGER 235W (US26D) (3) SILENCERS HAGER 307D
HARDWARE GROUP 6 (OFFICES/RECEPTION)	OFFICES/RECEPTION	<ul style="list-style-type: none"> (1) 1/2" PAIR BUTT HINGES HAGER BB1279 4 1/2 X 4 1/2 (US26D) (1) LOCKSET SCHLAGE AL60PD, SATURN 626 (3) SILENCERS HAGER 307D (1) WALL STOP HAGER 235W (US26D)
HARDWARE GROUP 7 (SHARED LOUNGE)	SHARED LOUNGE	<ul style="list-style-type: none"> (1) 1/2" PAIR BUTT HINGES HAGER BB1279 4 1/2 X 4 1/2 X 630 NRP (US26D) (1) LOCKSET SCHLAGE AL60PD, SATURN 626 (1) LOCKDOWN BARRICADE NIGHTLOCK 16001 W/ 1/8" FLOOR PLATE (3) SILENCERS HAGER 307D (1) WALL STOP HAGER 236W (US26D)
HARDWARE GROUP 8 (DATA I.T. ROOM JAN. CLOSET/BIO-MED STORAGE)	DATA I.T. ROOM JAN. CLOSET/BIO-MED STORAGE	<ul style="list-style-type: none"> (1) 1/2" PAIR BUTT HINGES HAGER BB1279 4 1/2 X 4 1/2 NRP (US26D) (1) LOCKSET SCHLAGE AL60PD, SATURN 626 (1) CLOSER LCN 1461-CUSH-AL-DEL TB (4) SILENCERS HAGER 307D (1) WALL STOP HAGER 236W (US26D)



A1 DOOR TYPES
 SCALE: N.T.S.
A2 HEAD/JAMB TYPES
 SCALE: N.T.S.

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MEMORIAL HEALTHCARE SYSTEM
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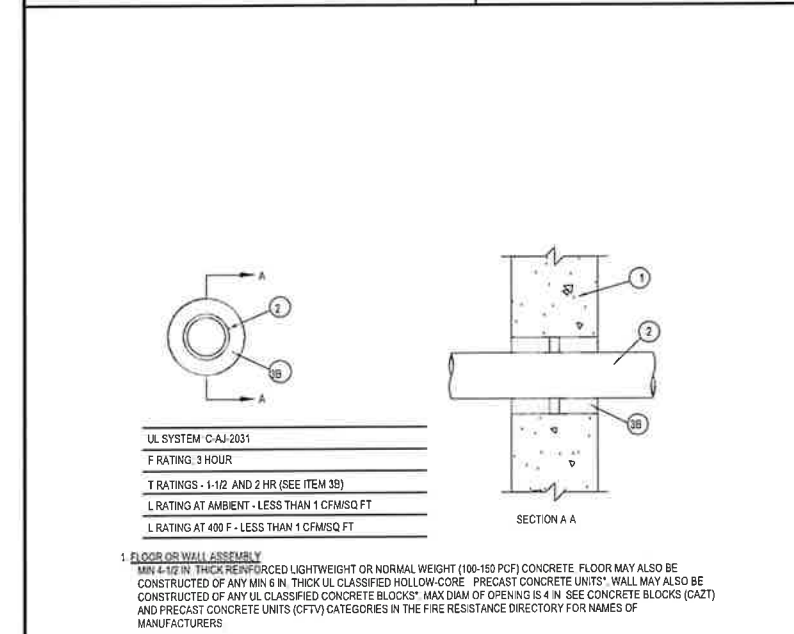
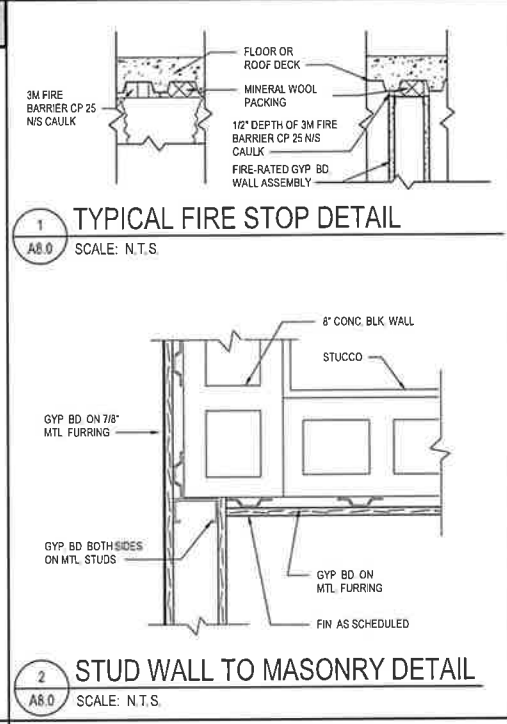
Project No. :
 2023-177
 Drawn By :
 ER
 Checked By :
 ER
 Date :
 07.25.24

REVISIONS

DOOR & WINDOW SCHEDULES
A7.0

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WALL TYPE	GYPSUM BOARD PARTITION (FULL HEIGHT)	FIRE RATING	WALL TYPE	GYPSUM BOARD PARTITION (TOILET ROOM)	FIRE RATING	WALL TYPE	LEAD LINED PARTITION (XRAY ROOM)	FIRE RATING	WALL TYPE	GYPSUM BOARD PARTITION (FULL HEIGHT)	FIRE RATING	GENERAL PARTITION NOTES																																																													
1		NR	1A		NR	2	2A 2B	NR	3A 3B 3C 3D 3E 3F		NR	<p>ALLOWABLE/LIMITING INTERIOR METAL STUD HEIGHTS:</p> <table border="1"> <thead> <tr> <th>STUD WIDTH</th> <th>STUD SPACING</th> <th>PARTITION HEIGHT</th> <th>MINIMUM GAUGE</th> </tr> </thead> <tbody> <tr> <td>1 5/8"</td> <td>16"</td> <td>UP TO 8'-0"</td> <td>25 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 9'-11"</td> <td>20 GA</td> </tr> <tr> <td>2 1/2"</td> <td>16"</td> <td>UP TO 10'-9"</td> <td>25 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 12'-7"</td> <td>22 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 13'-6"</td> <td>20 GA</td> </tr> <tr> <td>3 5/8"</td> <td>16"</td> <td>UP TO 12'-11"</td> <td>25 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 16'-4"</td> <td>22 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 18'-0"</td> <td>20 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 21'-0"</td> <td>16 GA</td> </tr> <tr> <td>6"</td> <td>16"</td> <td>UP TO 23'-11"</td> <td>22 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 26'-6"</td> <td>20 GA</td> </tr> <tr> <td></td> <td></td> <td>UP TO 31'-6"</td> <td>16 GA</td> </tr> </tbody> </table> <p>METAL STUD SIZES</p> <p>AS INDICATED ON ALL FLOOR / DIMENSION PLANS SHALL BE AS FOLLOWS:</p> <table border="1"> <thead> <tr> <th>NOMINAL SIZE</th> <th>ACTUAL SIZE</th> </tr> </thead> <tbody> <tr> <td>2"</td> <td>1 5/8" STUD</td> </tr> <tr> <td>4"</td> <td>3 5/8" STUD</td> </tr> <tr> <td>6"</td> <td>6" STUD</td> </tr> </tbody> </table> <p>1. PARTITION TYPE DESCRIPTIONS ARE NOT TO BE INTERPRETED AS COMPLETE ASSEMBLY INSTRUCTIONS. CONTRACTOR SHALL CONSTRUCT PARTITIONS ACCORDING TO THE COMPLETE ASSEMBLY REQUIREMENTS AS LISTED IN THE REFERENCED TESTING LABORATORY MANUALS.</p> <p>2. ALL PENETRATIONS IN FIRE RATED WALL OR PARTITION ASSEMBLIES, SHALL MAINTAIN THE INTEGRITY OF THE FIRE RATING.</p> <p>3. CONTRACTOR SHALL INSTALL THESE ASSEMBLIES IN ACCORDANCE WITH THE GYPSUM ASSOCIATION AND PROVIDE FOR A LATERAL LIVE LOAD OF 5 LB PER SQUARE FOOT AND A DEFLECTION OF L/240.</p>		STUD WIDTH	STUD SPACING	PARTITION HEIGHT	MINIMUM GAUGE	1 5/8"	16"	UP TO 8'-0"	25 GA			UP TO 9'-11"	20 GA	2 1/2"	16"	UP TO 10'-9"	25 GA			UP TO 12'-7"	22 GA			UP TO 13'-6"	20 GA	3 5/8"	16"	UP TO 12'-11"	25 GA			UP TO 16'-4"	22 GA			UP TO 18'-0"	20 GA			UP TO 21'-0"	16 GA	6"	16"	UP TO 23'-11"	22 GA			UP TO 26'-6"	20 GA			UP TO 31'-6"	16 GA	NOMINAL SIZE	ACTUAL SIZE	2"	1 5/8" STUD	4"	3 5/8" STUD	6"	6" STUD
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1. FLOOR OR WALL ASSEMBLY
MIN 4-1/2 IN. THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. FLOOR MAY ALSO BE CONSTRUCTED OF ANY MIN 6 IN. THICK UL CLASSIFIED HOLLOW-CORE PRECAST CONCRETE UNITS. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS. MAX DIAM OF OPENING IS 4 IN. SEE CONCRETE BLOCKS (CAZT) AND PRECAST CONCRETE UNITS (CFTV) CATEGORIES IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.

2. THROUGH PENETRANTS
ONE NONMETALLIC PIPE, CONDUIT OR TUBING TO BE INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE PIPE, CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL. THE FOLLOWING TYPES AND SIZES OF PIPES, CONDUITS OR TUBING MAY BE USED:

A. POLYVINYL CHLORIDE (PVC) PIPE - NOM 2 IN. DIAM (OR SMALLER) SCHEDULE 40 CELLULAR OR SOLID CORE PVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. THE ANNULAR SPACE SHALL BE A MIN OF 5/16" TO A MAX OF 1/32" FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. THE ANNULAR SPACE SHALL BE A MIN OF 5/16" TO A MAX OF 1/32" FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS.

B. RIGID NONMETALLIC CONDUIT (RNC) - NOM 2 IN. DIAM (OR SMALLER) SCHEDULE 40 PVC CONDUIT INSTALLED IN ACCORDANCE WITH ARTICLE 347 OF THE NATIONAL ELECTRICAL CODE (NFPA NO. 70). A NOM ANNULAR SPACE OF 5/8" IS REQUIRED WITHIN THE FIRESTOP SYSTEM.

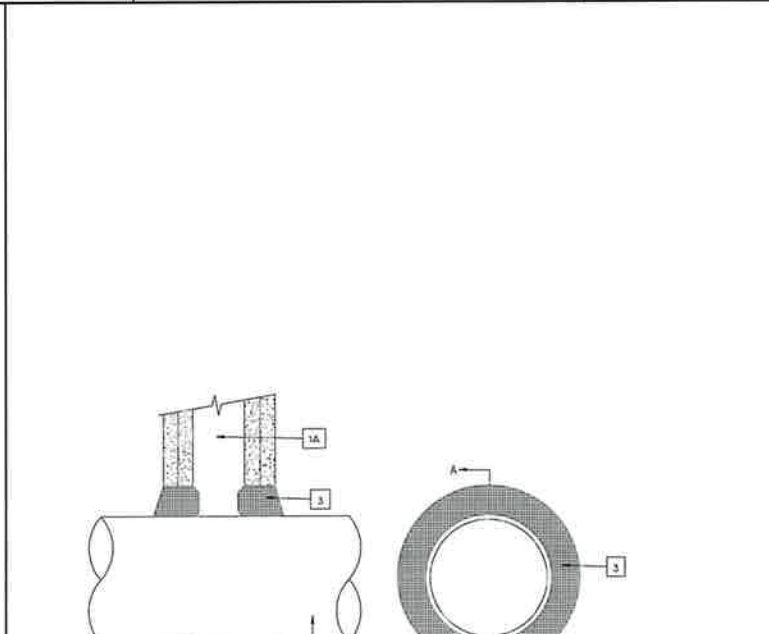
C. CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE - NOM 2 IN. DIAM (OR SMALLER) SDR17 CPVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. A NOM ANNULAR SPACE OF 5/8" IS REQUIRED WITHIN THE FIRESTOP SYSTEM.

D. ELECTRICAL NONMETALLIC TUBING (ENT) - NOM 2 IN. DIAM (OR SMALLER) PVC TUBING INSTALLED IN ACCORDANCE WITH ARTICLE 331 OF THE NATIONAL ELECTRICAL CODE (NFPA NO. 70). THE ANNULAR SPACE WITHIN THE FIRESTOP SYSTEM SHALL BE A NOM 1/4" TO A MAX 5/8".

E. CROSS LINKED POLYETHYLENE (PEX) TUBING - NOM 1 IN. DIAM (OR SMALLER) SDR 9 PEX TUBING FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. THE ANNULAR SPACE WITHIN THE FIRESTOP SYSTEM SHALL BE A NOM 1/4" TO A MAX 5/8".

F. OPTICAL FIBER RACEWAY (OFR) - NOM 1 IN. DIAM (OR SMALLER) OPTICAL FIBER RACEWAY FORMED FROM POLYVINYLIDENE FLUORIDE (PVDF) OR PVC. THE ANNULAR SPACE WITHIN THE FIRESTOP SYSTEM SHALL BE A NOM 1/4" TO A MAX 1 IN. RACEWAY TO BE INSTALLED IN ACCORDANCE WITH ARTICLE NO. 770 OF THE NATIONAL ELECTRICAL CODE. SEE OPTICAL FIBER RACEWAY (OFR) CATEGORY IN THE ELECTRICAL CONSTRUCTION MATERIALS DIRECTORY FOR NAMES OF MANUFACTURERS.

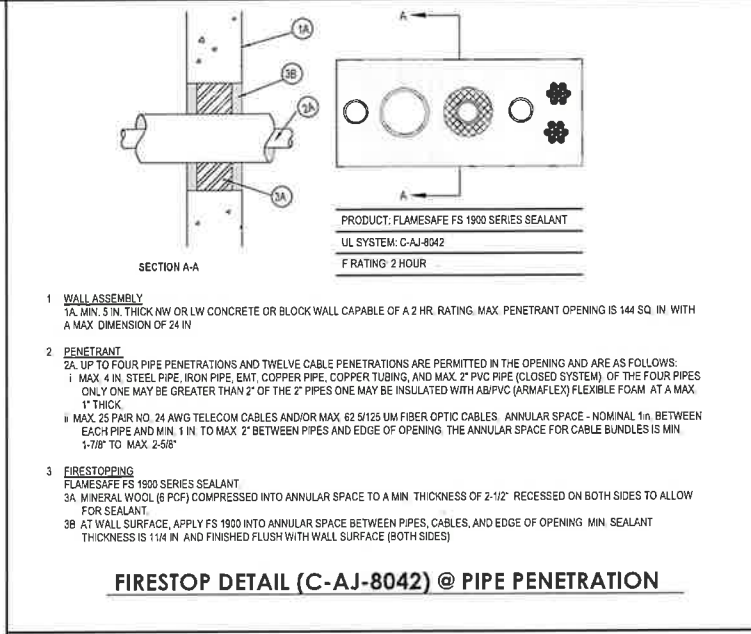
3. FIRESTOP SYSTEM
THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. PACKING MATERIAL - (OPTIONAL-NOT SHOWN) - MINERAL WOOL BATT INSULATION, FIBERGLASS BATT INSULATION OR POLYURETHANE BACKER ROD FIRMLY PACKED INTO OPENING AS A FORMAL PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL. WHEN THE FLOOR IS CONSTRUCTED OF HOLLOW-CORE PRECAST CONCRETE UNITS, PACKING MATERIAL TO BE INSTALLED SYMMETRICALLY ON BOTH SIDES OF FLOOR TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
B. FILL VOID OR CAVITY MATERIAL - SEALANT FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF CONCRETE FLOOR OR WITH BOTH SURFACES OF WALL. WHEN FLOOR IS CONSTRUCTED OF HOLLOW-CORE PRECAST CONCRETE UNIT, FILL MATERIAL TO BE INSTALLED SYMMETRICALLY ON BOTH SIDES OF FLOOR, FLUSH WITH FLOOR SURFACES. THE T-RATING OF THE FIRESTOP SYSTEM IS DEPENDENT UPON THE TYPE AND MAX DIA OF THROUGH PENETRANT AND THE MIN THICKNESS OF THE FILL MATERIAL AS TABULATED.



1. WALL ASSEMBLY
A. STUDS - NOM 2X4 WOOD STUD FRAMING 16IN OC OR MIN. 2 1/2" STEEL STUDS MAX 24" OC.
B. GYPSUM BOARD - 5/8" THICK, 4 FT WIDE WITH SQUARE OR TAPERED EDGES. THE GYPSUM BOARD TYPE, THICKNESS, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX DIM OF OPENING IS 4 IN.

2. THROUGH PENETRANTS
A. POLYVINYL CHLORIDE (PVC) PIPE - NOM 2 IN. DIAM (OR SMALLER) SCHEDULE 40 SOLID CORE PVC PIPE.
B. RIGID NONMETALLIC CONDUIT (RNC) - NOM 2 IN. DIAM (OR SMALLER) SCHEDULE 40 PVC CONDUIT INSTALLED IN ACCORDANCE WITH ARTICLE 347 OF THE NATIONAL ELECTRICAL CODE (NFPA NO. 70). A NOM ANNULAR SPACE OF 5/8" IS REQUIRED WITHIN THE FIRESTOP SYSTEM.
C. CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE - NOM 2 IN. DIAM (OR SMALLER) SDR17 CPVC PIPE FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. A NOM ANNULAR SPACE OF 5/8" IS REQUIRED WITHIN THE FIRESTOP SYSTEM.
D. CROSS LINKED POLYETHYLENE (PEX) TUBING - NOM 1 IN. DIAM (OR SMALLER) SDR 9 PEX TUBING FOR USE IN CLOSED (PROCESS OR SUPPLY) PIPING SYSTEMS. THE ANNULAR SPACE WITHIN THE FIRESTOP SYSTEM SHALL BE A NOM 1/4" TO A MAX 5/8".

3. FIRESTOP SYSTEM
THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. PACKING MATERIAL - (OPTIONAL-NOT SHOWN) - MINERAL WOOL BATT INSULATION, FIBERGLASS BATT INSULATION OR POLYURETHANE BACKER ROD FIRMLY PACKED INTO OPENING AS A FORMAL PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL. WHEN THE FLOOR IS CONSTRUCTED OF HOLLOW-CORE PRECAST CONCRETE UNITS, PACKING MATERIAL TO BE INSTALLED SYMMETRICALLY ON BOTH SIDES OF FLOOR TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
B. FILL VOID OR CAVITY MATERIAL - MIN 5/8" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH BOTH SURFACES OF WALL.



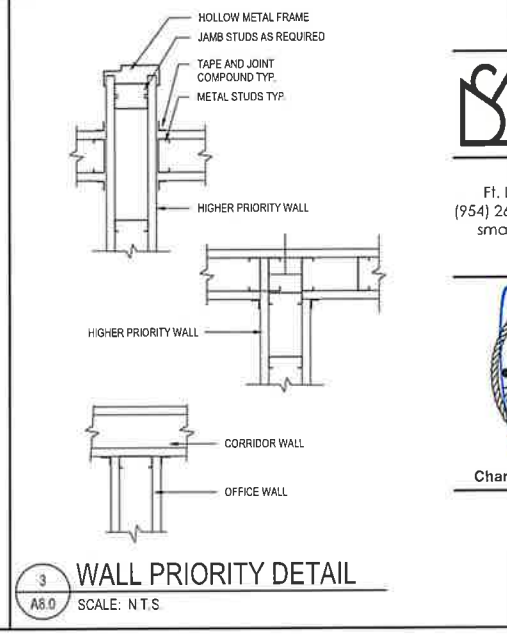
IF ANY PIPES ARE TO BE INSULATED, DO NOT RUN INSULATION THROUGH A WALL.
AFTER PACKING GAP AROUND PIPE THROUGH THE WALL WITH SAFING INSULATION AND DRYWALL MUD, FLARE INSULATION ONTO FACE OF WALL AROUND PIPE ON BOTH SIDES OF WALL, AND SEAL TO FACE OF WALL WITH INSULATION MASTIC.

OVER-SIZED HOLE IN BASIC PARTITION TYPE 'S' SCREWS MIN TWO PER SECT.
CUT OPG TO WITHIN 1/4" OF PENETRATION AND SEAL WITH FIRE CAULK.

OPENINGS OVER 3" DIA
OVER-SIZED HOLE IN BASIC PARTITION TYPE 'S' SCREWS MIN TWO PER SECT.
CUT OPG TO WITHIN 1/4" OF PENETRATION AND SEAL WITH FIRE CAULK.

OPENINGS UP TO 3" DIA
CUT OPG TO WITHIN 1/4" OF PENETRATION AND SEAL WITH FIRE CAULK.

NOTE:
IF PIPE IS TO BE INSULATED DO NOT RUN INSULATION THROUGH THE WALL. AFTER PACKING GAP THROUGH WALL WITH EITHER DRYWALL COMPOUND OR SAFING INSULATION AS INDICATED BELOW, FLARE INSULATION ONTO FACE OF WALL AROUND PIPE ON BOTH SIDES OF WALL, AND SEAL TO FACE OF WALL WITH INSULATION MASTIC.



3. WALL PRIORITY DETAIL
SCALE: N.T.S.

FOR ALL PENETRATIONS WITH GAPS GREATER THAN 1/2", APPLY GYP BD PATCH (SEE PATCHING DETAIL THIS SHEET).
IF MAX GAP AROUND PENETRATION IS 1/8" OR LESS, APPLY SURFACE BEAD OF USG ACOUSTICAL SEALANT.
IF GAP AROUND PENETRATION IS GREATER THAN 1/8" BUT LESS THAN 1/4", FILL GAP WITH FIRE CAULK.
IF GAP AROUND PENETRATION IS GREATER THAN 1/4" BUT LESS THAN 1/2", FILL GAP WITH FIRE CAULK (REF. CEG 1-25-85).

NOTE:
FINISH COAT BACK SIDE OF ALL PATCHES WITH DRYWALL COMPOUND ATTACH WITH SCREWS AS NOTED. LEAVE ALL SCREWS EXPOSED. PATCHES SHALL BE TYPE "X" GYP. IN THE SAME THICKNESS USED FOR WALL CONTR. DO NOT TAPE & MUD EDGES.

NOTE:
IF PIPE IS TO BE INSULATED DO NOT RUN INSULATION THROUGH THE WALL. AFTER PACKING GAP THROUGH WALL WITH EITHER DRYWALL COMPOUND OR SAFING INSULATION AS INDICATED BELOW, FLARE INSULATION ONTO FACE OF WALL AROUND PIPE ON BOTH SIDES OF WALL, AND SEAL TO FACE OF WALL WITH INSULATION MASTIC.

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Charles Michelson AR0009976

Project No.: 2023-177
Drawn By: ER
Checked By: CM, SW, ER
Date: 07.25.24

REVISIONS

PARTITION TYPES & UL DETAILS

A8.0

FINISH SPECIFICATIONS					
SYMBOL	MATERIAL	MANUFACTURER	SPECIFICATION	COLOR	REMARKS
CS-1	EXISTING POLISHED CONCRETE	EXISTING		EXISTING	EXISTING JANITOR CLOSET, CONTRACTOR TO CLEAN EXISTING FLOOR AND RESEAL AS REQUIRED
LVT-1	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	SPACIA - ABSTRACT COLLECTION 7'5" x 4'0"	MIRUS FEATHER #SSA6120	INSTALL PER MFR RECOMMENDATIONS & INSTRUCTIONS. SEE FLOORING NOTES
T-1	PORCELAIN TILE	ATLAS CONCORDE	FRAY COLLECTION 12" x 24"	PEARL (MATTE FINISH)	INSTALLED IN RESTROOMS. INSTALL PER MFR RECOMMENDATIONS & INSTRUCTIONS
VB-1	VINYL BASE	JOHNSONITE/TARKETT	4" MANDALAY MILLWORK BASE #MVLVY-24	80 FAWN	EXAM ROOMS, LABS, PROCEDURE ROOM, XRAY, OFFICES, STORAGE, SHARED LOUNGE, CLOSETS, IT ROOM, JAN. CLOSET
VB-2	VINYL BASE	JOHNSONITE/TARKETT	6" MANDALAY MILLWORK BASE #MVLVY-36	80 FAWN	WAITING ROOMS, RECEPTION, HALLWAYS, BOH OPEN AREAS
TB-1	PORCELAIN TILE	ATLAS CONCORDE	FRAY COLLECTION 12" x 24"	PEARL (MATTE FINISH)	INSTALLED IN RESTROOMS ON P-1 WALLS ONLY. INSTALL PER MFR RECOMMENDATIONS & INSTRUCTIONS
P-1	FIELD PAINT	SHERWIN WILLIAMS	LIVING WELL (REFLECT) COLLECTION	EGRET WHITE #SW7570 (EGGSHELL FINISH)	EPOXY WATER BASED @ RESTROOMS, GYP BD SOFFITS (EGGSHELL FINISH) & DOOR FRAMES (SEMI-GLOSS)
P-2	ACCENT PAINT	SHERWIN WILLIAMS	LIVING WELL (REFLECT) COLLECTION	MEDITATIVE #SW6227 (EGGSHELL FINISH)	
T-2	PORCELAIN TILE PANEL	CROSSVILLE, INC	COLLECTION #L057 IM3M (3'2" x 9')	BIANCO ASSOLUTO POLISHED	RESTROOM WET WALLS ONLY (VERTICAL INSTALL). INSTALL PER MFR RECOMMENDATIONS & INSTRUCTIONS
	GROUT (CREDIT CARD THIN)	LATICRETE			
LEVEL 5 DRYWALL FINISH					
LEVEL 1: TAPE EMBEDDED IN MUD					
LEVEL 2: THIN COAT OF MUD ON TAPE, COVER SCREWS					
LEVEL 3: COAT OF MUD ON TAPE AGAIN, COVER SCREWS AGAIN					
LEVEL 4: COVER SCREWS AGAIN, SAND, PRIME					
LEVEL 5: REQUIRES ALL THE OPERATIONS IN LEVEL 4. ADDITIONALLY, A THIN SKIN COAT OF JOINT COMPOUND, OR MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE, IS APPLIED TO THE ENTIRE SURFACE. THE SURFACE IS SMOOTH AND FREE FROM TOOL MARKS AND RIDGES. THE PREPARED SURFACE SHALL BE COATED WITH A PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. THE LEVEL 5 FINISH IS REQUIRED TO ACHIEVE THE HIGHEST DEGREE OF QUALITY PROVIDING A UNIFORM SURFACE AND MINIMIZING THE POSSIBILITY OF JOINT PHOTOGRAPHING AND/OR FASTENERS "BURNING THROUGH" THE FINAL DECORATION					
AW-1	AWNING		OPEN ENDED AWNING (12'0" x 6'0")		TUBULAR ALUM. FRAMING W/ FABRIC STRETCHED OVER FRAME. FRAME TO HAVE POWDER COATED OR URETHANE ENAMEL FINISH. INSTALL FLUSH MOUNTED
EFS-1	EXISTING EFS	SHERWIN WILLIAMS		LATTE #SW1038 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
EFS-2	EXISTING EFS ACCENT BAND	SHERWIN WILLIAMS		ACCESSIBLE BEIGE #SW7036 (FLAT FINISH)	GC TO VERIFY COLOR IN FIELD
RF-1	EXISTING METAL ROOF	BERRIDGE MANUF. CO.	ZEE-LOCK	ZINC-COTE	PRESSURE CLEAN
ST-1	EXISTING CAST STONE VENEER	READING ROCK, INC	ROCKCAST ARCHITECTURAL MASONRY VENEER	COLOR BONE GF 6 FINISH (SLATE ISL)	PRESSURE CLEAN EXISTING, CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED
ST-2	EXISTING CAST STONE TRIM	READING ROCK, INC	ROCKCAST CUSTOM CAST STONE SERIES	COLOR BONE GF 6 FINISH (SMOOTH ISM)	PRESSURE CLEAN EXISTING, CONTRACTOR TO MATCH EXISTING @ N. ELEVATION WHERE "FILL-IN" IS REQUIRED
ACT-1	ACOUSTICAL CEILING	ARMSTRONG	DOVE #174 (24" x 24")	WHITE	PROVIDE PRELUDE XL 1516' GRID
ACT-2	ACOUSTICAL CEILING	ARMSTRONG	CIRRUS HUNTERDARD #5848 (24" x 24")	WHITE	EXAM ROOMS, LAB, PROCEDURE ROOM, MED ROOMS, X-RAY; PROVIDE PRELUDE XL 1516' GRID
GWB	GYPSUM BOARD CEILING/ SOFFIT			P-1	PAINT FACE OF SOFFIT P-2 WHERE DESIGNATED
PL-1	PLASTIC LAMINATE	FORMICA		PINNACLE WALNUT #7392-38 (MATTE)	MILLWORK CABINETS (VERTICAL SURFACE) - INSTALL WOODGRAIN IN VERTICAL DIRECTION
SS	SOLID SURFACE	WILSON ART		MORNING ICE #6204	COUNTERTOPS & BACKSPLASHES
CJ-1	PRIVACY CURTAIN	KNOLL	PARADE COLLECTION	SWAN #C2287	EXAM ROOMS, X-RAY
P-3	STAIN	VT INDUSTRIES		RAVINE #RA07	DOORS
WP-1	WALL GUARD/ CHAIR RAIL	INPRO	1400 WALL GUARD	EGGSHELL #0111	EXAM ROOMS; COORDINATE INSTALL W/ OWNER
WP-2	CORNER GUARD	INPRO	150 HIGH IMPACT	EGGSHELL #0111	PROVIDE GUARDS UP TO CEILING HEIGHT; SEE FINISH PLAN FOR LOCATIONS

FINISH PLAN NOTES

GENERAL SHEET NOTES

- SEE MATERIAL & FINISH SCHEDULE. THIS SHEET FOR MORE DETAIL.
- PER FBC 1210.2.2, WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE, CITY AND LOCAL CODES AND ORDINANCES.
- INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN CLASS "C" AS SPECIFIED IN FBC 803.11.
- INSULATING MATERIALS, WHERE CONCEALED, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 PER FBC 720.
- INTERIOR FLOOR FINISH SHALL COMPLY WITH MINIMUM CLASS I CRITICAL RADIANT FLUX PER FBC 804.2.
- PROVIDE TRANSITIONS AT ALL CHANGE OF FLOOR MATERIAL LOCATIONS. ALL FLOOR LEVELS AND TRANSITIONS SHALL BE ADA COMPLIANT.
- CONTRACTOR TO CALK (SILICONE SEALANT) BETWEEN FLOOR FINISH AND BASE & MILLWORK.
- ALL SOLID SURFACE COUNTER TO HAVE BULL NOSE EDGING AND CORNERS.
- INSTALL CAULK JOINT WHERE REQUIRED AT INTERFACE OF DISSIMILAR MATERIALS.
- WIDTH OF GROUT LINES AND GROUT MUST BE LEVEL AND FLUSH TO TILE MINIMIZING GROUT VALLEYS - GROUT WIDTH SHALL BE FOLLOWED TO MINIMUM TOLERANCE ALLOWED BY MANUFACTURER RECOMMENDATIONS. GROUT LINES IN ALL TILE SHALL BE A MAXIMUM 1/8".
- ALL WALLS SHOWN AS PAINTED ARE TO BE PAINTED FULL HEIGHT.
- ALL WALLS SHALL BE PAINTED EGGSHELL WITH THE EXCEPTION OF THE TOILET WALLS, WHICH SHALL BE PAINTED WITH EPOXY PAINT.
- ALL UNUSED PAINT SHALL BE CLEARLY LABELED AND ADEQUATELY PACKAGED FOR STORAGE. CONTRACTOR SHALL DELIVER ALL UNUSED PAINT AND FINISH MATERIAL TO OWNER.
- ALL INTERIOR PARTITIONS SHALL RECEIVE (2) COATS OF SCHEDULED PAINT.
- GC TO COORDINATE PLACEMENT OF ALL MILLWORK PRIOR TO START OF TILE WORK.
- CORNER GUARDS TO BE INSTALLED WITH CLEAR SILICONE ADHESIVE.
- WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING DISTURBED CONSTRUCTION TO ORIGINAL CONDITION.
- DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR (G.C.) PRIOR TO CONSTRUCTION OR ORDER OF MATERIALS. ANY REVISIONS, CHANGES, DEVIATIONS OR INCONSISTENCIES BETWEEN THE AS-BUILT CONDITIONS AND THESE DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE OWNER BEFORE CONSTRUCTION.
- AFTER DEMOLITION AND BEFORE COMMENCING NEW CONSTRUCTION, CONTRACTOR IS RESPONSIBLE TO CLEAN, REPAIR, PATCH AND LEVEL THE SLAB. G.C. TO VERIFY AND ENSURE THAT ANY SUB-FLOOR IS SOUND, SMOOTH, FLAT & READY TO ACCEPT FINISH FLOORING MATERIALS.
- ALL NEW DOOR FRAMES TO BE SEALED TO FLOORING WITH CALKING COMPOUND. THE COLOR SHALL MATCH FLOOR COLOR. ALL DOOR FRAMES TO BE PAINTED WITH SEMI-GLOSS PAINT TO MATCH ADJACENT WALL COLOR.
- ANY TRENCHING OR DEMOLITION OF EXISTING SUBSTRATE BY THE GC MUST BE POURED BACK, LEVEL AND SMOOTH TO THE EXISTING SUBSTRATE BY THE GC. FINISH TO BE AT AN ACCEPTABLE LEVEL FOR POLISHING. SEE DETAIL 02A1.0.
- CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF INSTALLING KOSTER VAP 1200 WATERPROOF FLOOR COATING SYSTEM OR APPROVED EQUAL AT ALL CONCRETE SLABS WHERE SHEET VINYL, VINYL PLANKS, AND/OR VINYL TILE ARE SCHEDULED. TEST ALL FLOOR SLABS AS REQUIRED FOR MOISTURE CONTENT AND OBTAIN MANUFACTURER'S APPROVAL PRIOR TO INSTALLATION OF FLOORING MATERIALS AND FINISHES IF IT IS DETERMINED THAT A WATERPROOF COATING SYSTEM IS NOT REQUIRED.
- PATCH & REPAIR EXISTING PARTITIONS AS REQUIRED WHERE NEW PLUMBING LINES ARE INSTALLED. REFER TO PLUMBING DWGS FOR LOCATIONS.
- CONTRACTOR TO REFINISH ALL DOORS & FRAMES TO MATCH EXISTING, AS NECESSARY, IF DAMAGED DURING CONSTRUCTION.
- ALL WALLS SHOWN AS PAINTED ARE TO BE PAINTED FULL HEIGHT.

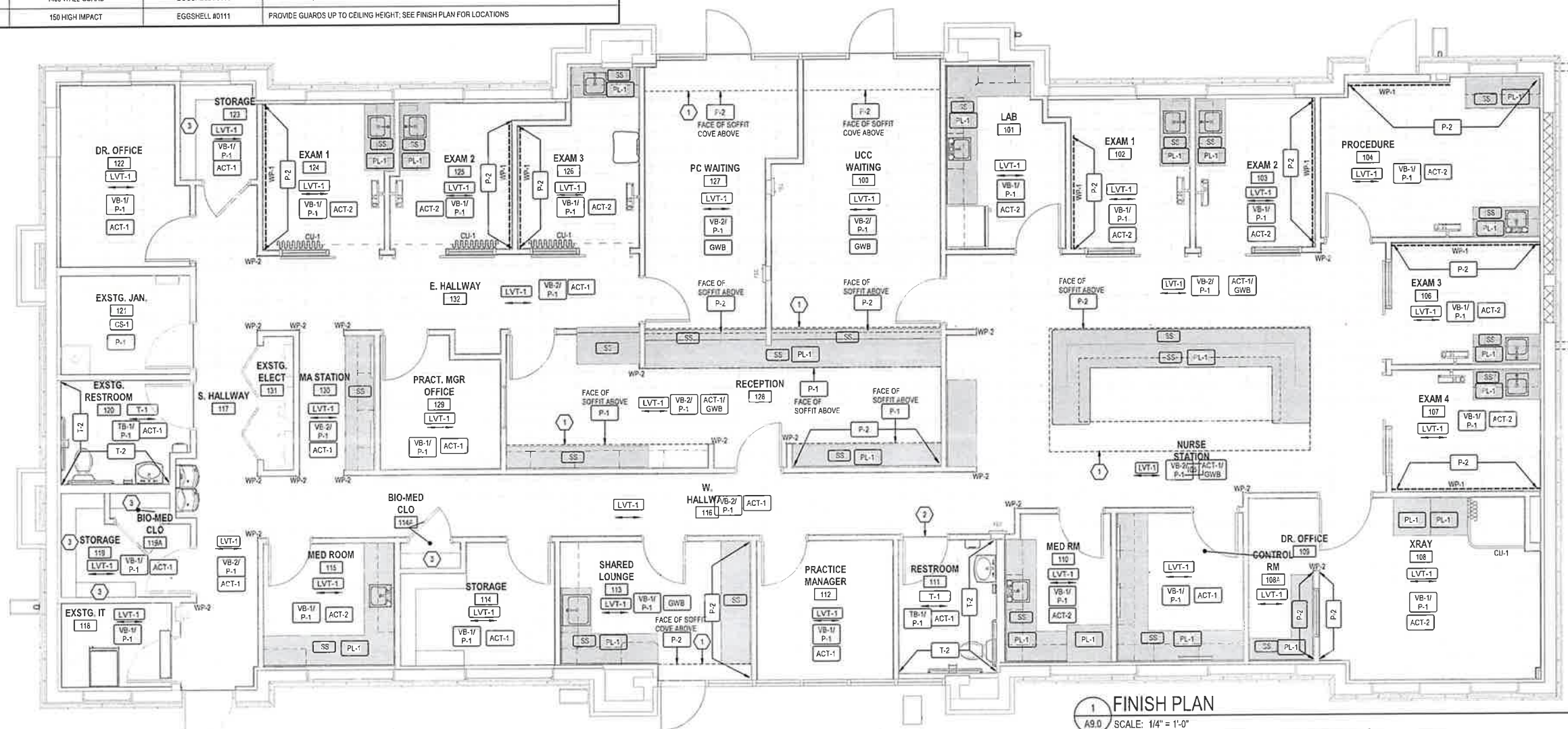
FLOORING NOTES

- PROVIDE VINYL PLANK FLOORING, PER FINISH LEGEND FREE OF ASBESTOS, 1/8" MIN. THICKNESS.
- VINYL WALL BASE: PROVIDE VINYL BASE WITH MATCHING END STOPS AND PREFORMED OR MOLDED CORNER UNITS AS FOLLOWS:
HEIGHT: 4" OR 6" (SEE FINISH PLAN & SCHEDULE FOR LOCATIONS)
MIN THICKNESS: .087 GAUGE
STYLE: PER FINISH SCHEDULE
FINISH: PER FINISH SCHEDULE
- SLAB SHALL BE PREPARED ON ALL AREAS WHERE NEW FLOOR WILL BE APPLIED. USE MOXIE FLOOR SEALER (MFS II) MOISTURE SEALING PRODUCT BEFORE THE FINISH FLOOR IS INSTALLED. CONTRACTOR MUST CONTACT NEW FLOOR MANUFACTURER'S REPRESENTATIVE FOR MANUFACTURER ACCEPTANCE OF THE SLAB CONDITION IN WRITING.
- PREPARE SUBSTRATE SURFACES TO RECEIVE VINYL FLOORING AS PER MANUF. RECOMMENDATIONS. DETERMINE THAT FLOORING IS SUITABLE FOR THE APPLICATION OF VINYL FLOORING BEFORE INSTALLATION. REPAIR ALL CRACKS, HOLES, RIDGES OR DEFECTS FOR A SMOOTH AND LEVEL FLOOR.
- WHERE EXISTING FLOOR REQUIRES REPAIR OR LEVELING, APPLY FLOOR LEVELING COMPOUND AS RECD & IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
- GYPSUM BASE PRODUCT IS NOT ACCEPTABLE.
- TEST EXISTING FLOORING FOR ANY SIGNS OF MOISTURE INFILTRATION AND REPAIR PRIOR TO APPLICATION OF LEVELING COMPOUND.
- INSTALL RESILIENT FLOORING USING METHOD AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- APPLY WALL BASE TO WALLS WHERE BASE IS RECD AS INDICATED IN FINISH SCHEDULE.
- CLEAN AND PROTECT FLOORING AGAINST DAMAGES FROM CONSTRUCTION. REPLACE ALL TILES WHICH ARE FOUND DEFECTIVE.

FOLLOW ALL MANUF. REQUIREMENTS FOR INSTALLATION. NO EXCEPTIONS TAKEN. FAILURE OF COMPLIANCE WILL MAKE THE CONTRACTOR RESPONSIBLE. INSTALLATION SHALL BE AT HIS OWN COST.

FINISH PLAN KEYNOTES

- DASHED LINE DENOTES GYP BD SOFFIT ABOVE
- INSTALL LVT TO TILE FLOOR AND/ALUM TRANSITION STRIP (SPEC. SCHLUTER TREN-U OR EQUAL). FLOAT CONC SLAB AS REQUIRED TO CREATE SMOOTH TRANSITION
- 12" D ADJUSTABLE SHELVES ON STANDARDS. 151 SHELF MOUNTED @ 44" A.F.F. @ BOHEM CLOSETS. SEE DETAIL 11A4.0



1 FINISH PLAN
A9.0 SCALE: 1/4" = 1'-0"

URGENT & PRIMARY CARE CENTER
MEMORIAL HEALTHCARE SYSTEM
10175 PINES BLVD
PEMBROKE PINES, FL



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REVISIONS
12.17.24 BLDG DEPT COMMENT
01.29.25 BLDG DEPT COMMENT

FINISH PLAN

A9.0