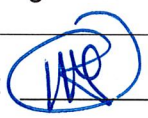





**City of Pembroke Pines**  
**Planning & Economic Development Department**  
**601 City Center Way 3<sup>rd</sup> Floor**  
**Pembroke Pines FL, 33025**

**Summary**

<b>Agenda Date:</b>	December 9, 2021	<b>Application ID:</b>	ZV 2021-14 - 15
<b>Project:</b>	Champs	<b>Project Number:</b>	PRJ 2021-18
<b>Project Planner:</b>	Dean Piper, Zoning Administrator		
<b>Owner:</b>	El Dorado Enterprises of Miami, Inc.	<b>Agent:</b>	Jennifer Ronneburger
<b>Location:</b>	12151 Pines Boulevard, Pembroke Pines, Florida 33026		
<b>Existing Zoning:</b>	General Business (B-3)	<b>Existing Land Use:</b>	Commercial
<b>Reference Applications:</b>	SP 2021-16		
<b>Variance Summary</b>			
<b>Application</b>	<b>Code Section</b>	<b>Required/Allowed</b>	<b>Request</b>
ZV 2021-14	Table 155.699: Permanent Signs; Regional Mall Outparcel Wall Sign	80 sq. ft. wall signage	301. 83 sq. ft. wall signage (220.91 sq. ft. east façade & 80.92 sq. ft. west façade)
ZV 2021-15	Table 155.699: Permanent Signs; Regional Mall Outparcel Wall Sign	Wall sign on primary (South) façade	Allow primary wall sign on east façade
<b>Final:</b>	<input checked="" type="checkbox"/> Planning & Zoning Board		<input type="checkbox"/> Board of Adjustments
<b>Reviewed for the Agenda:</b>	Director:  Zoning Administrator: 		

## **PROJECT DESCRIPTION / BACKGROUND:**

Jennifer Ronneburger, as agent for Champs, is requesting two (2) variances for signage at 12151 Pines Boulevard (previously Sears Homelife, La Ideal Baby and Golf Smith).

Zoning Variance #ZV 2021-14 request is to allow a total of 301.83 sq. ft. of wall signage (220.91 sq. ft. on east façade and 80.92 sq. ft. on west façade) instead of the allowed 80 sq. ft.; and

Zoning Variance #ZV 2021-15 request is to allow the primary wall sign to be placed on the east façade of the building instead of the required primary (south) façade.

Proposed Site Plan #SP 2021-16 for Champs updated colors, super graphic and site updates will be heard by the Board later on this agenda.

## **VARIANCE REQUEST DETAILS:**

### **ZV 2021-14)**

Table 155.699: Permanent Signs

Regional Mall Outparcel Sign

80 sq. ft.; No more than 40 square feet of signage shall be placed on the primary façade.

### **ZV 2021-15)**

Table 155.699: Permanent Signs

Regional Mall Outparcel Sign

No more than 40 square feet of signage shall be placed on the primary façade.  
Secondary Sign area shall be equal to or less than the sign on the primary façade.

## **VARIANCE DETERMINATION:**

The Planning & Zoning Board shall not grant any non-single-family residential variances, permits, or make any decision, finding, and determination unless it first determines that:

Its decision and action taken is in harmony with the general purposes of the zoning ordinances of the city and is not contrary to the public interest, health, or welfare, taking into account the character and use of adjoining buildings and those in the vicinity, the number of persons residing or working in the buildings, and traffic conditions in the vicinity.

In the granting of non-single-family residential variances, the Board shall follow Section 155.301(O) Variance:

1. Purpose: To allow for the provision of relief from certain development standards of this LDC for one or more of the following reasons:
  - a) There are special circumstances or conditions applying to the land or building for which the variance is sought, which circumstances are peculiar to the land or building and do not apply generally to land or buildings in the neighborhood, and that the strict application of the provisions of the zoning ordinances would result in an unnecessary hardship and deprive the applicant of the reasonable use of the land or building; or

- b) Any alleged hardship is not self-created by any person having an interest in the property nor is the result of a mere disregard for or in ignorance of the provisions of the zoning ordinances of the city; or
- c) Granting the variance is not incompatible with public policy, will not adversely affect any adjacent property owners, and that the circumstances which cause the special conditions are peculiar to the subject property.

**Enclosed:** Variance Request Application  
Subject Site Aerial Photo





## City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way

Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: \_\_\_\_\_

# Plans for DRC \_\_\_\_\_ Planner: \_\_\_\_\_

Indicate the type of application you are applying for:

- |  |  |
|--|--|
| <input type="checkbox"/> Administrative Review (Board Decision)      | <input type="checkbox"/> Land Use Plan Map Amendment*                        |
| <input type="checkbox"/> Administrative Review (Department Decision) | <input type="checkbox"/> Plat*   |
| <input type="checkbox"/> Appeal*                                     | <input type="checkbox"/> Site Plan*  |
| <input type="checkbox"/> Comprehensive Plan Amendment                | <input type="checkbox"/> Site Plan Amendment*                                |
| <input type="checkbox"/> Deed Restriction                            | <input type="checkbox"/> Special Exception*                                  |
| <input type="checkbox"/> Delegation Request                          | <input type="checkbox"/> Variance (Homeowner Residential)                    |
| <input type="checkbox"/> DRI Amendment (NOPC)*                       | <input checked="" type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Flexibility Allocation                      | <input type="checkbox"/> Zoning Change (Map or PUD)*                         |
| <input type="checkbox"/> Interpretation*                             | <input type="checkbox"/> Zoning Change (Text)                                |

### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark **N/A**.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include complete public notification package (Applications types marked with \*).
5. All plans must be submitted no later than noon on Monday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning and Economic Development Department no later than the Monday preceding the meeting.

### Staff Use Only

Project Planner: \_\_\_\_\_ Project #: PRJ 20\_\_\_\_ - \_\_\_\_ Application #: \_\_\_\_\_

Date Submitted: \_\_\_\_/\_\_\_\_/\_\_\_\_ Posted Signs Required: (\_\_\_\_) Fees: \$\_\_\_\_\_



**SECTION 1-PROJECT INFORMATION:**Project Name: ChampsProject Address: 12151 Pines Boulevard, Pembroke Pines, FLLocation / Shopping Center: Pembroke Lakes MallAcreage of Property: 3.967 ac. Building Square Feet: 34,176Flexibility Zone: N/A Folio Number(s): 514013130023

Plat Name: A portion of Pembroke Lake Regional Center, Plat Book 127 - Page 50 Traffic Analysis Zone (TAZ): Pre-existing retail store with same traffic conditions since build

Legal Description: Retail Store

Has this project been previously submitted? Yes



Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: El Dorado Enterprises of Miami, Inc, a Florida Corporation

Owner's Address: 1260 NW 72nd Ave. Miami, FL 33126

Owner's Email Address: lorenzo@climaxpropertygroup.com

Owner's Phone: 305-430-4780 Owner's Fax: \_\_\_\_\_

Agent: GoPermit, Inc

Contact Person: Jennifer Ronneburger

Agent's Address: 51 Meadows Drive., Boynton Beach, FL 33436

Agent's Email Address: jen@gopermit.us

Agent's Phone: 631.882.4718 Agent's Fax: N/A

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.*

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: Retail

Land Use / Density: B-3

Use: General Business

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

\_\_\_\_\_

### ADJACENT ZONING

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

### PROPOSED

Zoning: Retail

Land Use / Density: B-3

Use: General Business

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

\_\_\_\_\_

### ADJACENT LAND USE PLAN

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_



-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

#### SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: Application # PRJ 2021-18, Case Number SP 2021-16

Code Section: \_\_\_\_\_

Required: ① 80 sq Total wall; 40 sq Primary; ② South Facade

To allow a total of 301.83 sq ft of wall signage (220.91 sq ft on the East facade and 80.92 sq ft on the West facade) instead of the allowed 80 sq ft and a request to allow the primary wall sign to be placed on the East facade of the building instead of the required primary (South) facade.

Details of Variance, Zoning Appeal, Interpretation Request:

Champs is proposing to utilize the East elevation as the main frontage as that is where the entrance to the location is. On the main elevation, we are proposing three (3) wall signs.

The first sign is the illuminated main ID sign reading "Champs Eastbay Sports" measuring 164.05 sqft. The second is the illuminated logo measuring 30.34 sqft and the third is a non-illuminated sign over the door reading "Pines Knows Game" measuring 26.51 sqft for an overall elevation total of 220.90 square feet.

#### SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: \_\_\_\_\_

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_

**SECTION 6 - DESCRIPTION OF PROJECT** (attach additional pages if necessary)

Champs is proposing to utilize the East elevation as the main frontage as that is where the entrance to the location is. On the main elevation, we are proposing three (3) wall signs.

The first sign is the illuminated main ID sign reading "Champs Eastbay Sports" measuring 164.05 sqft. The second is the illuminated logo measuring 30.34 sqft and the third is a non-illuminated sign over the door reading "Pines Knows Game" measuring 26.51 sqft for an overall elevation total of 220.90 square feet.



## SECTION 7- PROJECT AUTHORIZATION

### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Pedro A. C. P. S. 11-05-2021  
Signature of Owner Date

Sworn and Subscribed before me this 5<sup>th</sup> day  
of November, 2021



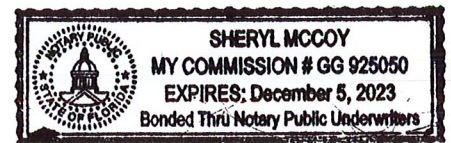
Fee Paid Signature of Notary Public 08/04/2024  
My Commission Expires

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] 11-8-21  
Signature of Agent Date

Sworn and Subscribed before me this 8 day  
of November, 2021



n/a Signature of Notary Public 12/05/2025  
Fee Paid My Commission Expires



## SECTION 7- PROJECT AUTHORIZATION

### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

Sworn and Subscribed before me this \_\_\_\_\_ day

of \_\_\_\_\_, 20\_\_\_\_\_

\_\_\_\_\_  
Fee Paid

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
My Commission Expires

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

\_\_\_\_\_  
Signature of Agent

\_\_\_\_\_  
Date

Sworn and Subscribed before me this 15<sup>th</sup> day

of December, 2021



n/a  
Fee Paid

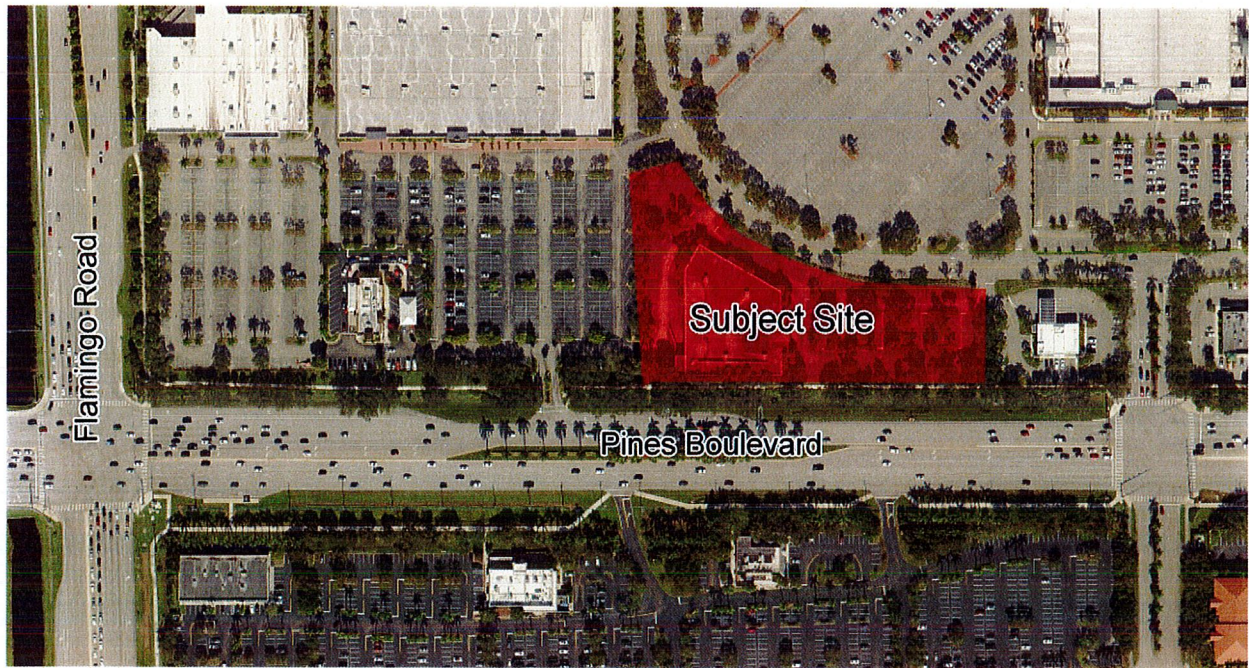
[Signature]  
Signature of Notary Public

12/05/2023  
My Commission Expires



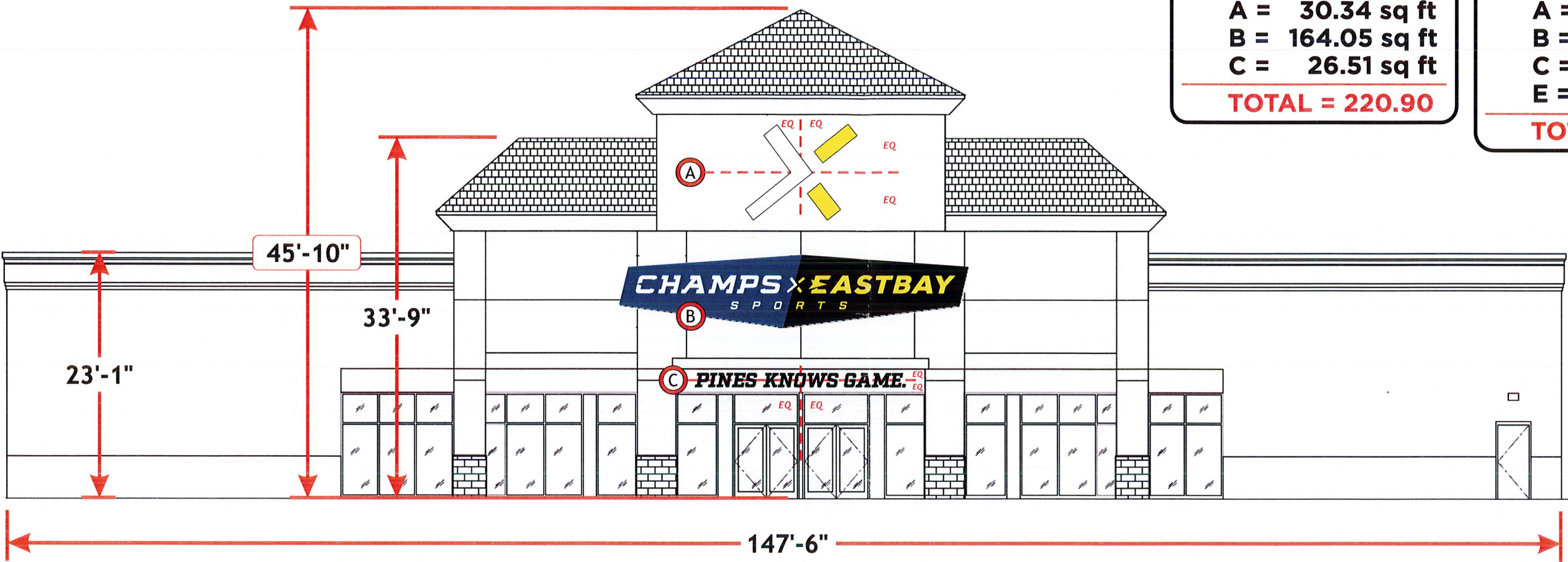
SUBJECT SITE AERIAL PHOTO

Champs (ZV 2021-14 – 15, PRJ 2021-19)





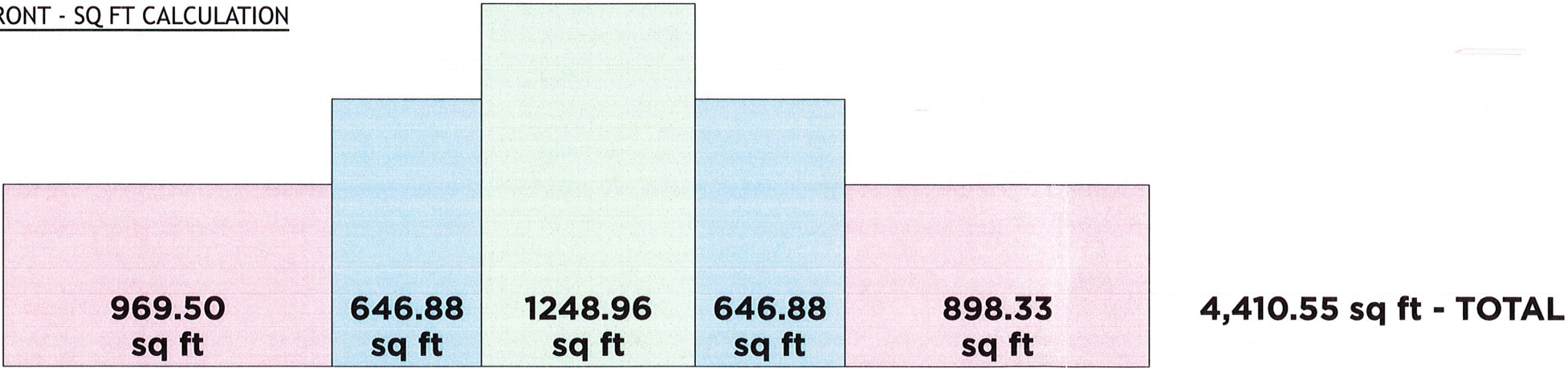
STOREFRONT - EAST ELEVATION  
Scale: 3/32" = 1'-0"



East Elevation	
A =	30.34 sq ft
B =	164.05 sq ft
C =	26.51 sq ft
TOTAL = 220.90	

Wall Signs	
A =	30.34 sq ft
B =	164.05 sq ft
C =	26.51 sq ft
E =	80.92 sq ft
TOTAL = 301.82	

STOREFRONT - SQ FT CALCULATION

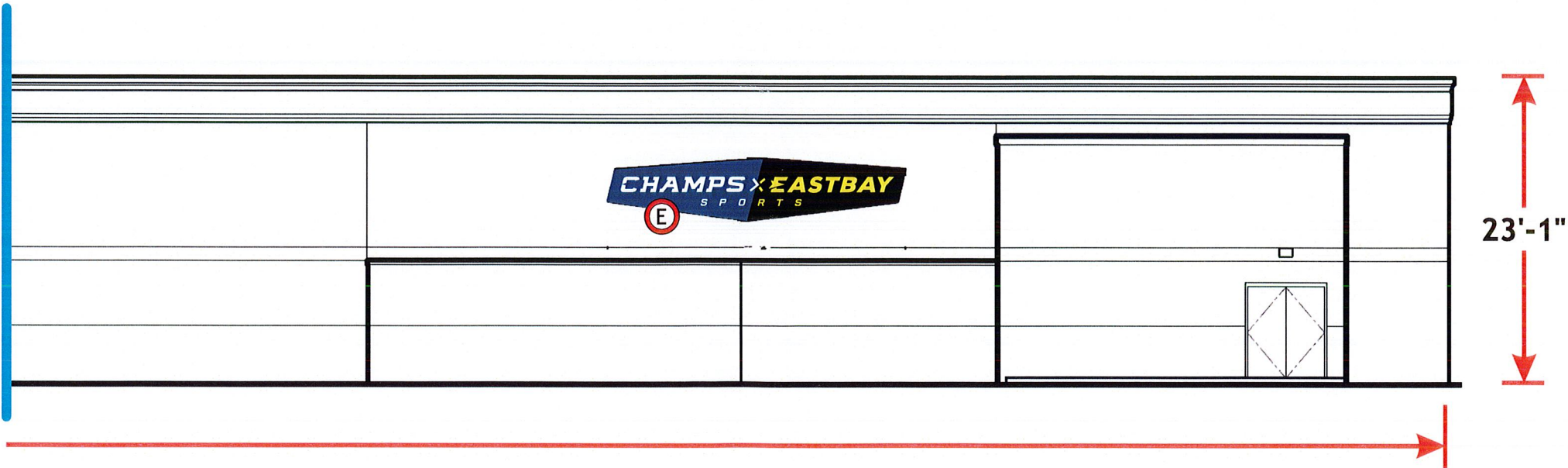
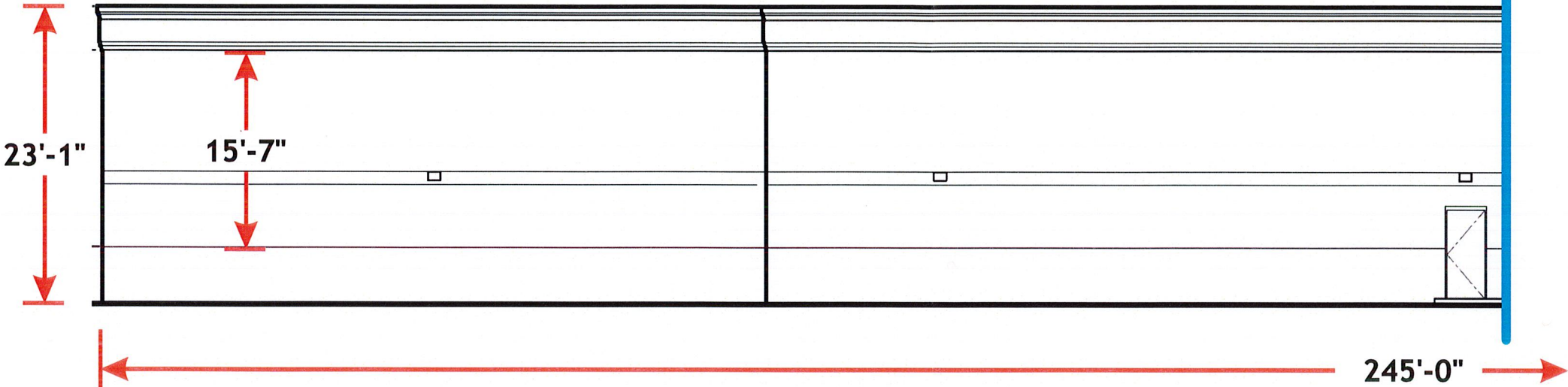




STORE - WEST ELEVATION  
Scale: 3/32" = 1'-0"

West Elevation  
E = 80.39 sq ft

Wall Signs  
A = 30.34 sq ft  
B = 164.05 sq ft  
C = 26.51 sq ft  
E = 80.92 sq ft  
**TOTAL = 301.82**



93 Industry Drive  
PO Box 349  
Versailles, KY 40383  
859.879.1199



12151 PINES BOULEVARD  
PEMBROKE PINES, FL 33026

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



Submittal Date: 11/07/21  
Acct Rep: Elizabeth Pitchford  
Designer: Jason Elmore

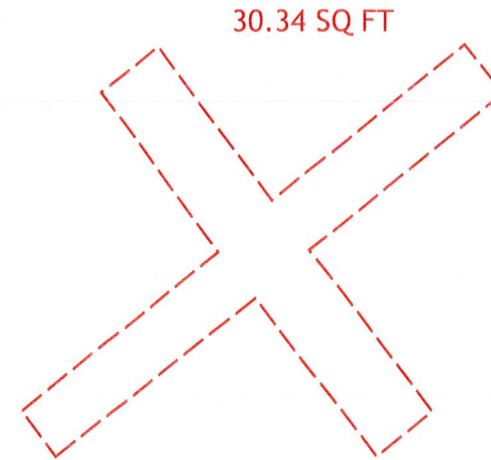
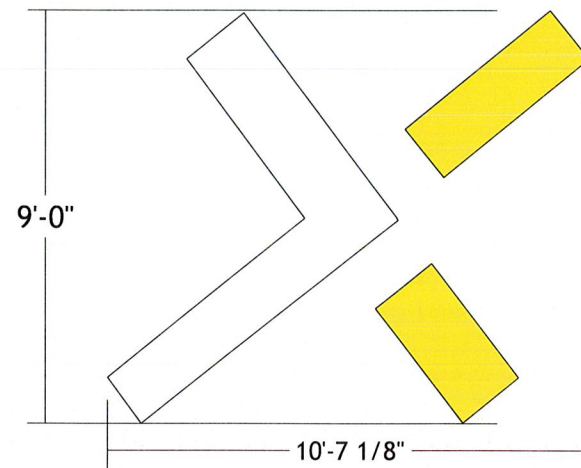
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r5: 11/10/21	r11: _____
r6: 11/12/21	r12: _____

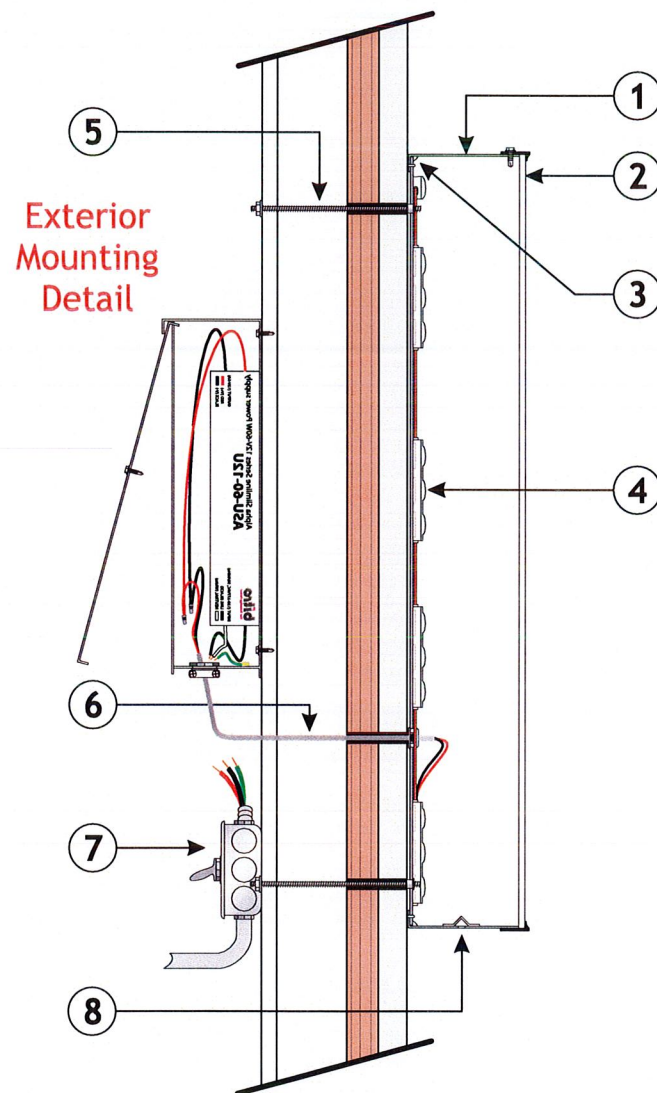
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**A** FACE-LIT CHANNEL LETTER 'X' - ELEVATION  
Scale: 1/4" = 1' - 0"



**FACE-LIT CHANNEL LETTER - SECTION**



**SIGN - DETAILS**

- ① 5" deep aluminum letter 'X' returns. (>) painted satin white. (<) painted satin yellow. All interior surfaces are light reflective high gloss white
- ② 3/16" 7328 thick routed white polycarbonate letter 'X' faces. 3/4" trim cap secured to letter return with #8 x 1/2" hex washer head screw, both painted to match return (>) white. (<) yellow.
- ③ Letter is fully caulked to eliminate any light leaks
- ④ bitro OpticsPRO 5000K white led units to illuminate letters
- ⑤ Letter 'X' mounts flush to storefront surface with 10-24 rivet nut, with 3/16" all thread rod and 10-24 wiz nut fasteners behind wall
- ⑥ SNAP bushing for low voltage pass-thru to bitro Alpha Slimline 12V-60W Power Supply (ASU-60-12U) (120-277 VOLT) contained inside Paige Electric SNAP 2 box (980054C) Secondary connections must be as short as possible.
- ⑦ Dedicated primary sign circuit and disconnect provided by electrician
- ⑧ Drain hole in bottom of all returns with light cover



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12151 PINES BOULEVARD  
PEMBROKE PINES, FL 33026

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**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



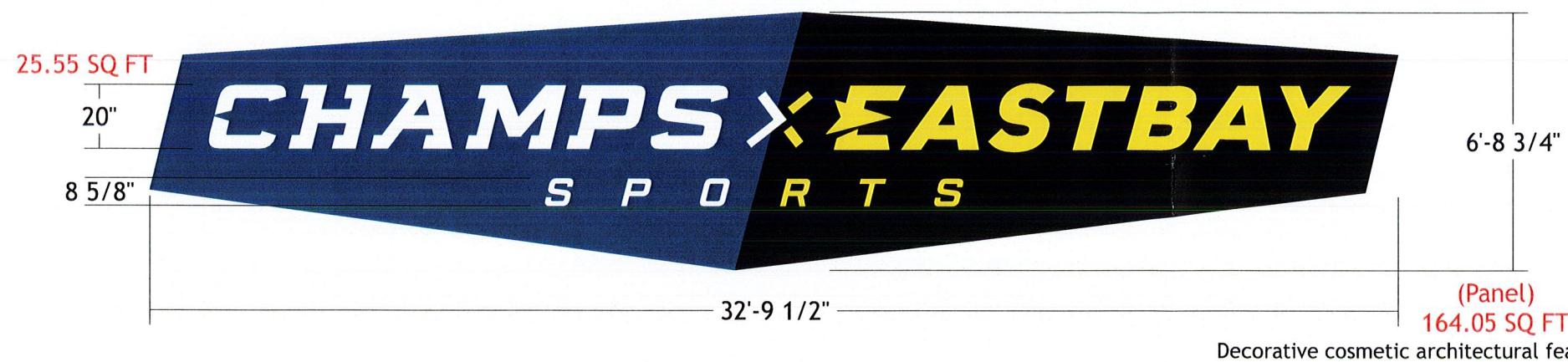
Submittal Date: 11/07/21  
Acct Rep: Elizabeth Pitchford  
Designer: Jason Elmore

**REVISIONS**

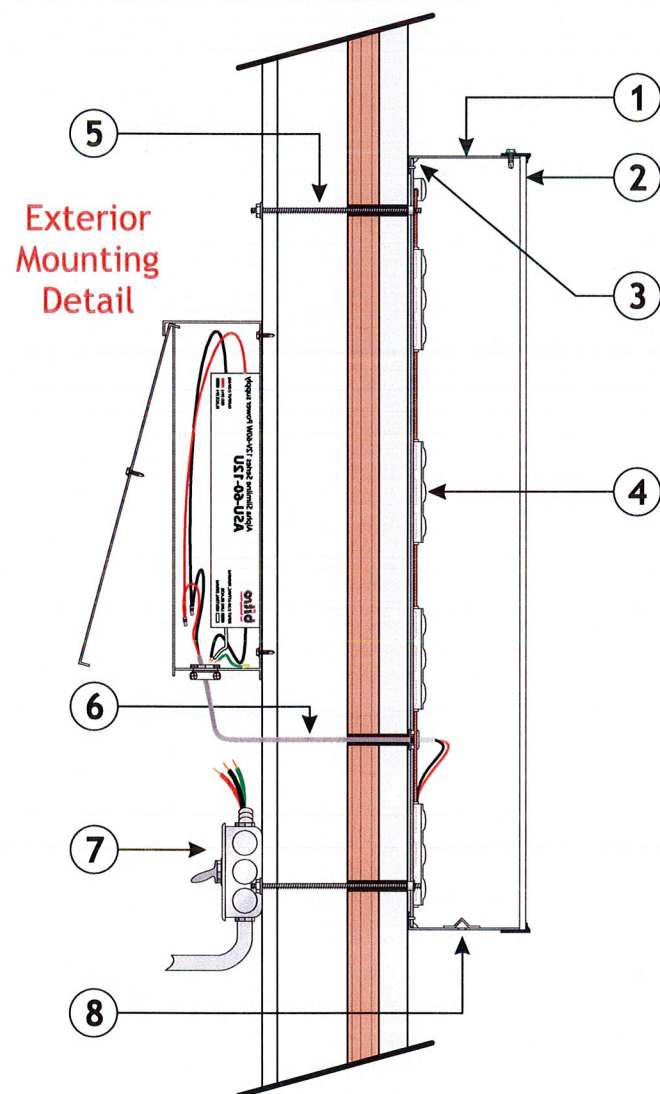
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r5: 11/10/21	r11: _____
r6: 11/12/21	r12: _____



**B** FACE-LIT CHANNEL LETTER - ELEVATION  
Scale: 1/4" = 1' - 0"



**FACE-LIT CHANNEL LETTER - SECTION**



**SIGN - DETAILS**

- ① 3" deep aluminum letter returns. (CHAMPS > SPO) painted satin white. (< EASTBAY RTS) painted satin yellow. All interior surfaces are light reflective high gloss white
- ② 3/16" 7328 thick routed white acrylic letter faces. 3/4" trim cap secured to letter return with #8 x 1/2" hex washer head screw, both painted to match return (CHAMPS > SPO) white. (< EASTBAY RTS) yellow.
- ③ Letter is fully caulked to eliminate any light leaks
- ④ bitro OpticsPRO 5000K white led units to illuminate letters
- ⑤ Letters mount flush to storefront surface with 10-24 rivet nut, with 3/16" all thread rod and 10-24 wiz nut fasteners behind wall
- ⑥ SNAP bushing for low voltage pass-thru to bitro Alpha Slimline 12V-60W Power Supply (ASU-60-12U) (120-277 VOLT) contained inside Paige Electric SNAP 2 box (980054C) Secondary connections must be as short as possible.
- ⑦ Dedicated primary sign circuit and disconnect provided by electrician
- ⑧ Drain hole in bottom of letter return with light cover



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**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



Submittal Date: 11/07/21  
Acct Rep: Elizabeth Pitchford  
Designer: Jason Elmore

**REVISIONS**

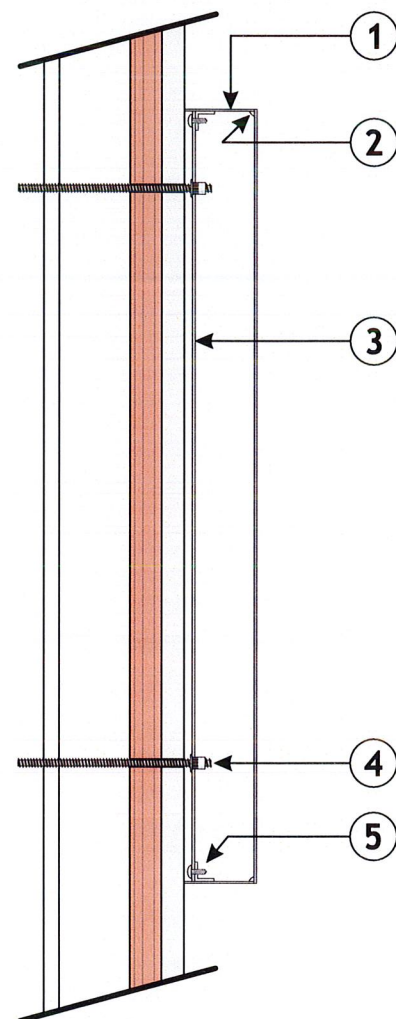
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r3: 11/08/21	r9: 11/16/21
r4: 11/08/21	r10: _____
r5: 11/10/21	r11: _____
r6: 11/12/21	r12: _____



**C** FABRICATED NON-ILLUM LETTERS - ELEVATION  
Scale: 1/2" = 1' - 0"



**FABRICATED CHANNEL LETTER - SECTION**



**SIGN - DETAILS**

- ① 1" deep aluminum fabricated channel letters, all sides painted satin black
- ② Letter returns & faces are welded together
- ③ .063" aluminum letter backs
- ④ Threaded rivet nut into letter backs, all thread rod and silicone to fasten letters into place
- ⑤ Clips are welded to letter returns. Then the letter backs are screwed into place. No visible fasteners



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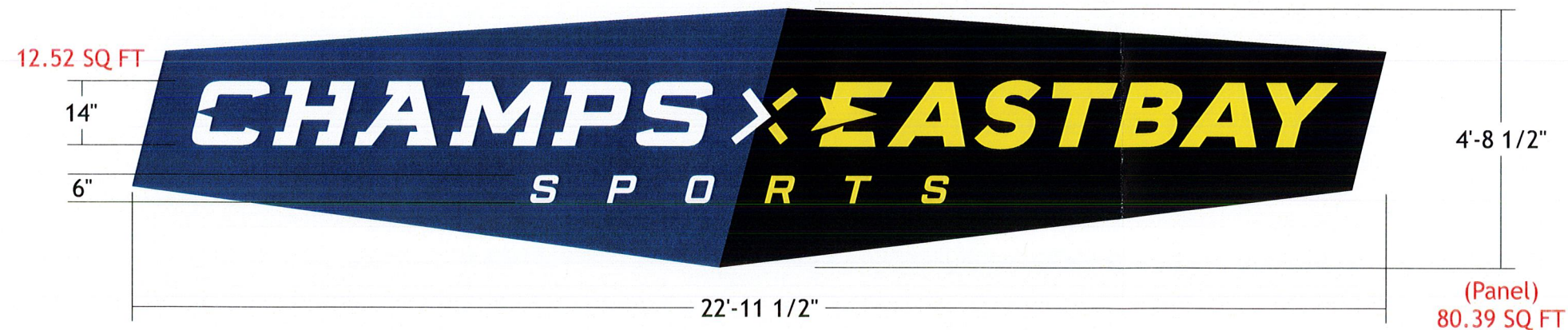
Submittal Date: 11/07/21  
Acct Rep: Elizabeth Pitchford  
Designer: Jason Elmore

**REVISIONS**

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r3: 11/08/21	r9: 11/16/21
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r5: 11/10/21	r11: _____
r6: 11/12/21	r12: _____

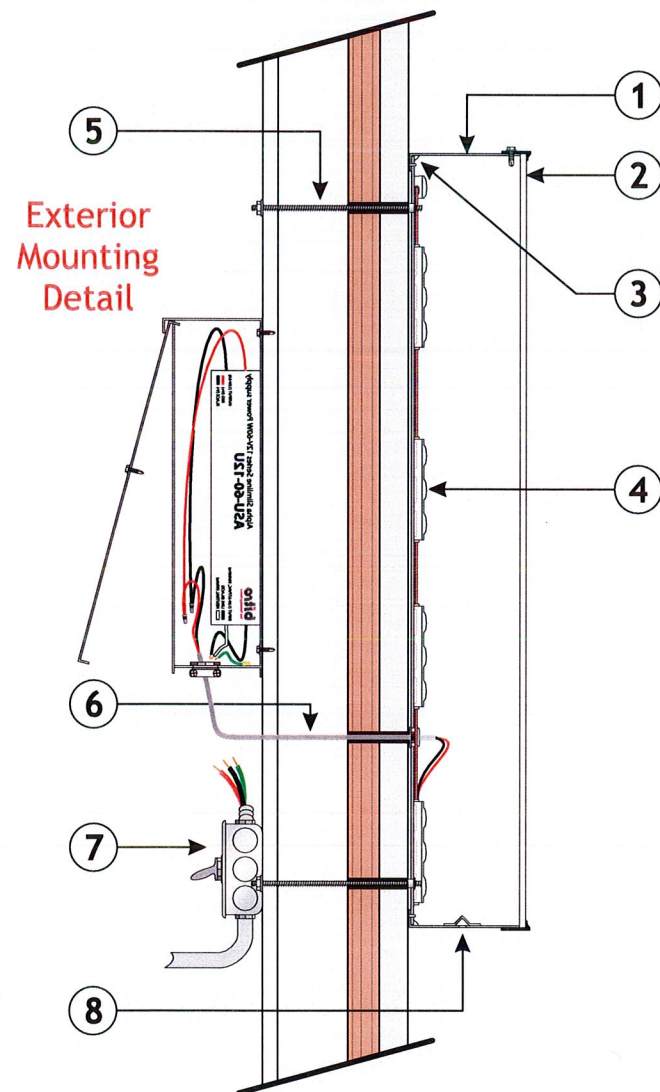


**E** FACE-LIT CHANNEL LETTER - ELEVATION  
Scale: 3/8" = 1' - 0"



Decorative cosmetic architectural feature behind lettering

**FACE-LIT CHANNEL LETTER - SECTION**



**SIGN - DETAILS**

- ① 3" deep aluminum letter returns. (CHAMPS > SPO) painted satin white. (< EASTBAY RTS) painted satin yellow. All interior surfaces are light reflective high gloss white
- ② 3/16" 7328 thick routed white acrylic letter faces. 3/4" trim cap secured to letter return with #8 x 1/2" hex washer head screw, both painted to match return (CHAMPS > SPO) white. (< EASTBAY RTS) yellow.
- ③ Letter is fully caulked to eliminate any light leaks
- ④ bitro OpticsPRO 5000K white led units to illuminate letters
- ⑤ Letters mount flush to storefront surface with 10-24 rivet nut, with 3/16" all thread rod and 10-24 wiz nut fasteners behind wall
- ⑥ SNAP bushing for low voltage pass-thru to bitro Alpha Slimline 12V-60W Power Supply (ASU-60-12U) (120-277 VOLT) contained inside Paige Electric SNAP 2 box (980054C) Secondary connections must be as short as possible.
- ⑦ Dedicated primary sign circuit and disconnect provided by electrician
- ⑧ Drain hole in bottom of letter return with light cover



**Ruggles**  
SIGN

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PO Box 349  
Versailles, KY 40383  
859.879.1199



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PEMBROKE PINES, FL 33026

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**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



Suitable for  
Wet Locations  
UL label located  
on top of signs

Submittal Date: 11/07/21  
Acct Rep: Elizabeth Pitchford  
Designer: Jason Elmore

**REVISIONS**

r1: 11/07/21	r7: 11/12/21
r2: 11/08/21	r8: 11/15/21
r3: 11/08/21	r9: 11/16/21
r4: 11/08/21	r10: _____
r5: 11/10/21	r11: _____
r6: 11/12/21	r12: _____