

ARCHITECT

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.867.9424
www.design2form.com
AA26002666 • IB26001476

NAKIA INGRAHAM FUNERAL HOME

FACADE IMPROVEMENTS (EXTERIOR PAINTING & NEW BRICK VENEER)

6691 and 6701 Pembroke Road,
Pembroke Pines, FL 33023

for
NI REAL ESTATE HOLDINGS, LLC

100% CONSTRUCTION DRAWINGS
03/07/2022

D2F PROJECT NO: 22-004

DRAWING INDEX	
GENERAL	
FRONT COVER	
G0.01	DRAWING INDEX & PROJECT INFO
G0.02	GENERAL NOTES
G0.03	STANDARD ABBREVIATIONS & SYMBOLS
SURVEY	
ARCHITECTURAL	
AR1.01	EXISTING FLOOR PLAN
A3.01	PROPOSED EXTERIOR ELEVATIONS (NORTH AND SOUTH)
A3.02	PROPOSED EXTERIOR ELEVATIONS (EAST AND WEST)
A3.03	COLORLED ELEVATIONS
BACK COVER	

PROJECT INFO	
SCOPE OF WORK	
CLASSIFICATION OF WORK:	EXTERIOR ALTERATIONS
AREA OF WORK:	BUILDINGS #1 AND 2 (EXTERIOR) 6701 & 6691 PEMBROKE ROAD
DESCRIPTION OF WORK:	CRACK AND STUCCO REPAIR, EXTERIOR PAINTING, AND NEW STONE VENEER. -NO MECHANICAL WORK -NO PLUMBING WORK -NO ELECTRICAL WORK
BLDG USE & OCCUPANCY CLASSIFICATION	
OCCUPANCY CLASSIFICATION:	EXISTING ASSEMBLY GROUP A-3
USE CLASSIFICATION:	ASSEMBLY
CONSTRUCTION CLASSIFICATION	
CONSTRUCTION TYPE (FBC):	IIB - UNPROTECTED
CONSTRUCTION TYPE (NFPA 101):	
FIRE PROTECTION SYSTEMS	
AUTOMATIC SPRINKLER SYSTEM:	YES/ <u>NO</u>
PORTABLE FIRE EXTINGUISHERS:	<u>YES</u> /NO
FIRE ALARM & DETECTION SYSTEM:	<u>YES</u> /NO
FIRE SUPPRESSION SYSTEM:	YES/ <u>NO</u>
SMOKE CONTROL SYSTEM:	YES/ <u>NO</u>

GOVERNING CODES	
THESE ARE STANDARD CODES AND MAY NOT BE APPLICABLE TO THIS PROJECT:	
<ul style="list-style-type: none">LOCAL ZONING CODE2020 FLORIDA BUILDING CODE: ACCESSIBILITY2020 FLORIDA BUILDING CODE: BUILDING2020 FLORIDA BUILDING CODE: ENERGY CONSERVATION2020 FLORIDA BUILDING CODE: EXISTING BUILDING2020 FLORIDA BUILDING CODE: FUEL GAS2020 FLORIDA BUILDING CODE: MECHANICAL2020 FLORIDA BUILDING CODE: PLUMBING2020 FLORIDA BUILDING CODE: RESIDENTIAL2020 FLORIDA BUILDING CODE: TEST PROTOCOLSFLORIDA FIRE PREVENTION CODE, SIXTH EDITION (2015 NFPA 1 AND NFPA 101)1991 FAIR HOUSING ACCESSIBILITY GUIDELINES W/1994 QUESTION AND ANSWER SUPPLEMENT & 1998 DESIGN MANUAL	

CODE STATEMENT	
TO THE BEST OF THE ARCHITECTS/ENGINEERS' KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED THEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY THE LOCAL AUTHORITY.	

PROPERTY INFO	
PARCEL ID NO:	5141-23-17-0070, 5141 23 17 0070
PROPERTY ADDRESS:	6701 & 6691 PEMBROKE ROAD, PEMBROKE PINES, FL 33023-2141
LEGAL DESCRIPTION:	HOLLYWOOD PINES #2 AMEND 16-B B S 230 OF W 67 OF E 2013.95 AS DESC IN OR 1851/572 LESS RD AKA PAR B S 200 OF E 67 OF W 200.05 LESS RD
OWNER INFO:	NI REAL ESTATE HOLDINGS, LLC 6691 PEMBROKE ROAD, PEMBROKE PINES, FL 33023-2141
ZONING CODE	B-2
ZONING CLASS:	B-2 COMMUNITY BUSINESS
LAND USE:	COMMERCIAL
FLOOD ZONE	X
FLOORS:	1
BUILDING AREA:	103 SQ. FT.
LOT SIZE:	36.092 SQ. FT.
YEAR BUILT:	1979/ 1977

D2F

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2,
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.867.7424
www.design2form.com
AA26002866 • IS26001476

Z

A

R

#

2

2

0

1

3

CONSULTANTS

NAKIA INGRAHAM
FUNERAL HOME

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK DATE DESCRIPTION

03/07/22 100% CDs

08/24/22 BCO COMMENTS

PROJECT NO: 18-002

DRAWN BY: J.GELIN D.FOSTER

CHECKED BY: Z.BROWN

SHEET TITLE

DRAWING

INDEX &

PROJECT INFO

SHEET NUMBER

G0.01

SITE

LOCATION MAP - AERIAL

SCALE: NOT TO SCALE

© Design2Form. All rights reserved. The ideas and designs are developed or included in these drawings and specifications are the sole property of Design2Form. Whether the project for which they were created or is executed or not. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form.

GENERAL NOTES

1. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE PROJECT SITE AND EXISTING CONDITIONS PRIOR TO BIDDING.
2. THE CONTRACTOR MUST FIELD VERIFY EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS DISCOVERED IN THE DRAWINGS OR SPECS.
4. ALL CONSTRUCTION SCHEDULES AND METHODS OF DEMOLITION OR CONSTRUCTION SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
5. APPROVED ROUTES AND POINTS OF ACCESS TO THE SITE SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER PRIOR TO STARTING CONSTRUCTION. ACCESS SHALL BE PERMITTED ONLY DURING PERIODS OF TIME SPECIFIED BY THE OWNER. THE CONTRACTOR IS ALERTED TO THE FACT THAT THE CONSTRUCTION SITE IS ADJACENT TO AN OPERATIONAL MUSEUM. THE HOURS OF OPERATION ARE MONDAY THRU FRIDAY 9AM TO 5PM, AND SATURDAY 10AM TO 2PM.
6. DELIVERIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER.
7. AUTOMOBILES OF ALL CONSTRUCTION WORKERS ON THIS PROJECT SHALL BE PARKED IN AN AREA DESIGNATED FOR THIS PURPOSE BY THE OWNER. NO CONSTRUCTION WORKERS' VEHICLES WILL BE ALLOWED ON THE CONSTRUCTION SITE.
8. THE CONTRACTOR MUST SECURE THE SITE AND LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION SITE.
9. THE CONTRACTOR MUST TAKE ALL REASONABLE PRECAUTIONS TO PREVENT THE INTRUSION OF DUST OR OTHER INTERFERENCE WITH OPERATIONAL AREAS. THE CONTRACTOR SHALL USE SUITABLE METHODS FOR DUST, DIRT, POLLUTION CONTROL, AND LIMIT THE USE OF WATER TO PREVENT FLOODING OF ADJACENT AREAS AND SAFETY HAZARDS.
10. THE CONTRACTOR SHALL FURNISH AND ERECT SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES AS MAY BE REQUIRED TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC. ALL SUCH SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER.
11. THE CONTRACTOR SHALL CONDUCT DEMOLITION OR CONSTRUCTION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM THE OWNER OR AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
12. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION OR CONSTRUCTION.
13. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT SUFFICIENT FOR THE PROSECUTION OF THE WORK IN AN ACCEPTABLE MANNER AND AT A SATISFACTORY RATE OF PROGRESS. ALL EQUIPMENT, TOOLS, AND MACHINERY USED IN THE PROSECUTION OF WORK SHALL BE MAINTAINED IN A SAFE WORKING CONDITION AND SHALL BE APPROPRIATE FOR THE WORK TO BE PERFORMED.
14. THE CONTRACTOR SHALL STORE ALL MATERIALS IN NEAT AND PROPER ARRANGEMENT.
15. ALL KNOWN UTILITIES AND EXISTING STRUCTURES, ETC. (INCLUDING UNDERGROUND) ARE SHOWN ON THE PLANS, BUT NO GUARANTEE IS IMPLIED THAT THE INFORMATION IS ACCURATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL SUCH UTILITIES, STRUCTURES, ETC. BY HAND EXCAVATION OR OTHER APPROPRIATE MEASURES BEFORE PERFORMING ANY WORK THAT COULD RESULT IN DAMAGE TO SUCH UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL, IN CONJUNCTION WITH THE ARCHITECT/ENGINEER, MAKE A THOROUGH SEARCH OF THE SITE FOR UNDERGROUND UTILITIES, STRUCTURES, ETC. BEFORE WORK IS COMMENCED IN ANY PARTICULAR LOCATION. TO THIS END HE SHALL PROVIDE AND MAINTAIN THROUGHOUT THE TERM OF THE CONTRACT AN ELECTRONIC DEVICE CAPABLE OF LOCATING UNDERGROUND UTILITIES, ETC.
16. IN THE EVENT OF DAMAGE TO, OR ACCIDENTAL DISRUPTION OF UTILITIES OR OTHER FACILITIES AS A RESULT OF THE CONTRACTORS OPERATIONS, THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REPAIR OR REPLACE ALL DAMAGE AND TO RESTORE ALL SERVICES. FURTHER, THE CONTRACTOR SHALL ENGAGE ANY ADDITIONAL OUTSIDE SERVICES WHICH MAY BE NECESSARY TO PROSECUTE REPAIRS ON A CONTINUOUS 'AROUND THE CLOCK' BASIS UNTIL SERVICES ARE RESTORED. HE SHALL ALSO PROVIDE AND OPERATE ANY SUPPLEMENTAL TEMPORARY SERVICES TO MAINTAIN UNINTERRUPTED USE OF THE FACILITIES. ALL COST INVOLVED IN MAKING REPAIRS AND RESTORING DISRUPTED SERVICE RESULTING FROM NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE BORNE BY THE CONTRACTOR AND HE SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL CLAIMS RESULTING FROM DAMAGE.

16. THE CONTRACTOR SHALL NOT PURPOSEFULLY DISRUPT OR DISCONNECT ANY TYPE OF UTILITY WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF THE ARCHITECT/ENGINEER. IF A SUITABLE BYPASS OF SUCH UTILITY CANNOT BE PROVIDED, THEN THE ARCHITECT/ENGINEER MAY DIRECT THE CONTRACTOR TO PROCEED WITH THE WORK ON A 24-HOUR PER DAY BASIS UNTIL SUCH INTERRUPTED UTILITY SERVICES ARE COMPLETELY RESTORED. REQUESTS FOR DISCONNECTION MUST BE RECEIVED BY THE ARCHITECT/ENGINEER AT LEAST 72 HOURS PRIOR TO THE TIME OF THE REQUESTED INTERRUPTION, AND SHALL STATE:
A. THE IDENTITY OF THE UTILITY INVOLVED.
B. JUSTIFICATION OF THE REQUESTED DISCONNECT.
C. THE LOCATION OF THE REQUIRED DISCONNECT.
D. THE EXACT DATE AND TIME AT WHICH THE DISCONNECT IS REQUESTED.
E. THE DURATION OF THE PROPOSED DISCONNECT.
17. THE CONTRACTOR SHALL REMOVE ALL TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND ALL TEMPORARY FACILITIES FROM COMPLETED WORK AREAS.
18. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ALL ALL SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS RESULTING FROM THE WORK. ALL SUCH MATERIALS SHALL BE PROPERLY DISPOSED OF AND REMOVED FROM THE SITE AT LEAST ONCE EACH WEEK. THOSE MATERIALS WHICH ARE COMBUSTIBLE SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORKING DAY.
19. IF THE CONTRACTOR FAILS TO MAINTAIN LEVELS OF CLEANLINESS IN WORK AREAS, SATISFACTORY TO THE ARCHITECT/ENGINEER, THEN THE OWNER SHALL HAVE THE RIGHT TO CAUSE SUCH AREAS TO BE CLEANED BY OTHERS. THE COSTS FOR SUCH CLEANING SHALL BE PAID BY THE CONTRACTOR.

UPON COMPLETION OF THE WORK AND BEFORE ACCEPTANCE AND FINAL PAYMENT WILL BE MADE:

20. ALL CONCRETE WALKS, APRONS, ETC., INCLUDING ADJACENT PAVING SHALL BE THOROUGHLY CLEANED AND FREE FROM BUILDING MATERIALS, CONTAINERS, DUST, DIRT, SAND AND ALL OTHER INCIDENTAL DEBRIS. AREAS SHALL BE WELL SWEEPED AND, IF IN THE OPINION OF THE ARCHITECT/ENGINEER SUCH IS REQUIRED, SHALL BE HOSED DOWN WITH CLEAN WATER.
21. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL MACHINERY, EQUIPMENT, SURPLUS AND DISCARDED MATERIALS, RUBBISH, TEMPORARY STRUCTURES, ETC. ALL TRACES OF BARRICADES, FENCES, ETC., AND ALL CONTRACTORS TOOLS, EQUIPMENT, ETC., SHALL BE COMPLETELY REMOVED FROM THE OWNERS PROPERTY. MATERIALS CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY.
22. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY DEMOLITION OR CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
23. THE CONTRACTOR SHALL REPLACE ANY LANDSCAPING DAMAGED DURING DEMOLITION OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

TERMITE PROTECTION

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER FBC 1816.1.7. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPT. BY A LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: 'THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES'.

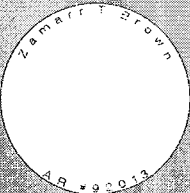
DEMOLITION

1. GENERALLY, CONTRACT DOCUMENTS WILL NOT DEFINE STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF EXISTING STRUCTURE AND ITEMS INDICATED TO BE DEMOLISHED.
2. THE CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURE AND ITEMS TO REMAIN FROM WEATHER AND EXTREMES OF TEMPERATURE TO PREVENT DAMAGE.
3. THE CONTRACTOR SHALL MAINTAIN ALL REQUIRED FIRE EXITS DURING DEMOLITION.
4. THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ITEMS TO BE DEMOLISHED, AND WORK TO REMAIN.
5. THE CONTRACTOR MUST USE CARE TO ONLY REMOVE PORTIONS OF EXISTING STRUCTURE OR ITEMS INDICATED TO BE REMOVED.
6. THE OWNER RESERVES THE RIGHT TO CLAIM ANY ITEMS OF SALVAGEABLE VALUE NOTED FOR REMOVAL. THE CONTRACTOR SHALL DELIVER SUCH ITEMS TO A SITE DESIGNATED BY THE OWNER AT NO ADDITIONAL COST.
7. WHERE INDICATED, ITEMS OF SALVAGEABLE VALUE SHALL BE STORED IN A DRY, SECURE LOCATION AND FLAT LEVEL POSITION FOR POSSIBLE REINSTALLATION. DO NOT INCORPORATE SALVAGED OR USED ITEMS IN NEW CONSTRUCTION WITHOUT APPROVAL OF THE ARCHITECT.
8. THE CONTRACTOR SHALL NOT ENDANGER, BY CUTTING, DIGGING, LOADING OR OTHERWISE, THE STRUCTURAL INTEGRITY OR OVERALL SAFETY OF THE STRUCTURE.
9. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
10. DISCONNECT ALL ELECTRICAL CIRCUITS, SWITCHES AND DEVICES AT MAIN PANEL SERVING AREAS TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.
11. REMOVE ALL APPLIANCES AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PIPING, CONTROLS, CONDUITS AND PANEL BOARDS THROUGHOUT AREAS OF DEMOLITION.
12. ALL PERMANENTLY DISCONNECTED UTILITIES TO BE APPROPRIATELY ABANDONED AND CAPPED CONSISTENT WITH INDUSTRY STANDARDS AND UTILITY COMPANY REQUIREMENTS.
13. SAW-CUT ALL MATERIALS AND AREAS INDICATED FOR SELECTIVE OR PARTIAL DEMOLITION. REMOVE GLUE OR ANCHORING DEVICES, PATCH AND LEVEL SURFACES TO RECEIVE NEW FINISHES.
14. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTIONS WITH CONSTRUCTION TO REMAIN USING A POWER MASONRY SAW OR HAND TOOLS. DO NOT USE POWER DRIVEN IMPACT TOOLS.
15. ALL WALLS INDICATED FOR DEMOLITION SHALL BE REMOVED FULL HEIGHT, UNLESS NOTED OTHERWISE.
16. ALL FLOORS SCHEDULED TO RECEIVE NEW FINISHES SHALL BE APPROPRIATELY REPAIRED AND MADE LEVEL UNLESS NOTED OTHERWISE.
17. THE CONTRACTOR SHALL RESTORE AND/OR REPLACE ALL MATERIALS, FINISHES AND BUILDING COMPONENTS DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, PATCHING AND REFINISHING WORK SHALL BE NEAT, MATCH THE ADJACENT FINISH, UNLESS NOTED OTHERWISE, AND MEET THE APPROVAL OF THE ARCHITECT.
18. THE CONTRACTOR SHALL PROVIDE THE SAME PRODUCTS OR TYPES OF CONSTRUCTION AS THAT IN THE EXISTING STRUCTURE AS NEED TO PATCH, EXTEND OR MATCH EXISTING WORK, UNLESS NOTED OTHERWISE.
19. WHEN NEW WORK ABUTS THE EXISTING, MAKE A SMOOTH AND FLAWLESS TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT FINISH IN TEXTURE AND APPEARANCE SO THAT THE PATCH OR TRANSITION IS INVISIBLE AT A DISTANCE OF FIVE (5) FEET, UNLESS NOTED OTHERWISE.



Design2Form
Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.867.9424
www.design2form.com
AA26002636 • 625001476



CONSULTANTS

NAKIA INGRAHAM
FUNERAL HOME

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK	DATE	DESCRIPTION
	03/07/22	100% CDs

PROJECT NO. 18-002
DRAWN BY J. GELIN D. FOSTER
CHECKED BY Z. BROWN

SHEET TITLE
GENERAL
NOTES

SHEET NUMBER
G0.02

ABBREVIATIONS

A/C	AIR CONDITIONING	F.D.	FLOOR DRAIN	PL	PLATE
A.C.T.	ACOUSTICAL CEILING TILE	F.A.	FIRE ALARM	P.L.	PROPERTY LINE
ADJ.	ADJUSTABLE	F.E.	FIRE EXTINGUISHER	PLAS	PLASTER
A.F.F.	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET	P. LAM.	PLASTIC LAMINATE
ALUM	ABOVE FINISHED FLOOR	F.F.E.	FINISHED FLOOR ELEVATION	PLBG	PLUMBING
APPROX	APPROXIMATELY	F.H.	FIRE HYDRANT	PLYWD	PLYWOOD
ARCH	ARCHITECT, ARCHITECTURAL	FIN	FINISH	PORC	PORCELAIN
ASPH	ASPHALT	FLR	FLOOR	PRES	PRESSURE TREATED
AVE	AVENUE	FLUOR	FLUORESCENT	PREFAB	PREFABRICATED
AVG	AVERAGE	FT	FEET, FOOT	PROP	PROPERTY
A.W.T.	ACOUSTICAL WALL TREATMENT	FTG	FOOTING	P.S.I.	POUNDS PER SQUARE INCH
		F.W.C.	FABRIC WALL COVERING	PT	POINT, PAINT
BD	BOARD			PV	PHOTOVOLTAIC
BITUM	BITUMINOUS	GA	GAUGE	PVC	POLYVINYL CHLORIDE
BLDG	BUILDING	GALV	GALVANIZED	PVL	PHOTOVOLTAIC LAMINATE
BLK	BLOCK	G.C.	GENERAL CONTRACTOR		
BLVD	BOULEVARD	G.W.B.	GYPSUM WALL BOARD	QTY	QUANTITY
B.M.	BENCH MARK	GYP	GYPSUM		
BOT	BOTTOM			R.B.	RUBBER BASE
BRG	BEARING	H.B.	HOSE BIBB	R.D.	ROOF DRAIN
		H.C.WD.	HOLLOW CORE	REINF	REINFORCEMENT
CAB	CABINET	HOWD	HARDWOOD	REQD	REQUIRED
C.B.	CATCH BASIN	HWDR	HARDWARE	REV	REVERSE, REVISION
C.B.S.	CONCRETE BLOCK WITH STUCCO	H.M.	HOLLOW METAL	RM	ROOM
CEM	CEMENT, CEMENTITIOUS	HORIZ	HORIZONTAL	R.O.	ROUGH OPENING
CIRC	CIRCULAR	H.P.	HIGH POINT	R/W	RIGHT OF WAY
C.J.	CONTROL JOINT	HR	HOUR	R.W.L.	RAIN WATER LEADER
C.L.	CENTERLINE	HT	HEIGHT		
C.L.F.	CHAIN LINK FENCE	HWY	HIGHWAY	S	SOUTH
CLG	CEILING			S.C.	SOLID CORE
CLO	CLOSET	I.D.	INSIDE DIAMETER	SECT	SECTION
CLR	CLEAR	IN	INCH	SHT	SHEET
C.M.U.	CONCRETE MASONRY UNIT	INT	INTERIOR	SIM	SIMILAR
COL	COLUMN	INV	INVERT	SLNT	SEALANT
CONC	CONCRETE	INSUL	INSULATION	SPEC	SPECIFICATION
CONT	CONTINUOUS	I.R.	IMPACT RESISTANT	SQ	SQUARE
CORR	CORRIDOR	JAN	JANITOR, JANITORIAL	S.S.	STAINLESS STEEL
CPT	CARPET	JT	JOINT	ST	STAIN
C.T.	CERAMIC TILE			STD	STANDARD
CTR	CENTER	K.D.A.T.	KILN-DRIED AFTER TREATMENT	STL	STEEL
		KIT	KITCHEN	STN	STONE
DIA	DIAMETER			STOR	STORAGE
DBL	DOUBLE	LAM	LAMINATE	STRUC	STRUCTURAL
DEPT	DEPARTMENT	LAV	LAVATORY	SUSP	SUSPENDED, SUSPENSION
DET	DETAIL	LINO	LINOLEUM	S.V.	SHEET VINYL
DEMO	DEMOLITION	L.P.	LOW POINT	SYS	SYSTEM
D.F.	DRINKING FOUNTAIN	LT	LIGHT		
DIAG	DIAGONAL			T&B	TOP AND BOTTOM
DIM	DIMENSION	MACH	MACHINE	T.B.	TIE BEAM
DN	DOWN	MATL	MATERIAL	T.B.D.	TO BE DETERMINED
DR	DOOR	MAX	MAXIMUM	TEL	TELEPHONE
DWG	DRAWING	MECH	MECHANICAL	TEMP	TEMPERATURE
DWR	DRAWER	MFR	MANUFACTURER	T&G	TONGUE AND GROOVE
		M.H.	MAN HOLE	THK	THICK, THICKNESS
E	EAST	MIN	MINIMUM	THR	THRESHOLD
EA	EACH	MIR	MIRROR	T.O.	TOP OF
E.I.F.S.	EXTERIOR INSULATED FIRE SYSTEM	MISC	MISCELLANEOUS	T.O.B.	TOP OF BEAM
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	T.O.S.	TOP OF SLAB
EL	ELEVATION	M/R	MOISTURE RESISTANT	TV	TELEVISION
ELEC	ELECTRICAL	M.TD	MEAN SEA LEVEL	TYP	TYPICAL
ELEV	ELEVATOR	MTL	MOUNTED METAL		
E.M.C.	EQUILIBRIUM MOISTURE CONTENT			U.N.O.	UNLESS NOTED OTHERWISE
EMER	EMERGENCY	N	NORTH	V.B.	VINYL BASE
ENCL	ENCLOSURE	N/A	NOT APPLICABLE	V.C.T.	VINYL COMPOSITION TILE
EQ	EQUAL	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	VERT	VERTICAL
EQUIP	EQUIPMENT	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	VEST	VESTIBULE
EXIST	EXISTING			V.I.F.	VERIFY IN FIELD
EXP	EXPOSED	N.J.C.	NOT IN CONTRACT	V.U.A.	VEHICULAR USE AREA
EXT	EXTERIOR	NO	NUMBER	V.W.C.	VINYL WALL COVERING
E.W.C.	ELECTRIC WATER COOLER	N.O.A.	NOTICE OF ACCEPTANCE		
E.W.H.	ELECTRIC WATER HEATER	NOM	NOMINAL	W	WEST
		N.T.S.	NOT TO SCALE	W/	WITH
				W.B.	WOOD BASE
				W.C.	WATER CLOSET
				WO	WOOD
				WO	WITHOUT
				WP	WATERPROOF
				W.W.F.	WELDED WIRE FABRIC
				W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND

REFERENCE		LINE	
	BUILDING SECTION INDICATOR		CENTERLINE:
	MATCH LINE		FENCE - CHAIN-LINK:
	BREAK		FENCE - METAL:
	NORTH INDICATOR		FENCE - WOOD:
	COLUMN GRID INDICATOR		PROPERTY LINE:
	DETAIL INDICATOR	MATERIAL	
	ROOM IDENTIFIER	CONCRETE:	FINISH STRUCTURAL
	DOOR IDENTIFIER	EARTH-WORK:	BACKFILL GRAVEL UNDISTURBED
	EXTERIOR ELEVATION INDICATOR	FINISHES:	PLASTER OR STUCCO
	FINISH ELEVATION INDICATOR	GLASS:	GLASS GLASS BLOCK
	WINDOW TYPE IDENTIFIER	INSULATION:	BATT RIGID
	ELEVATION DATUM	MASONRY:	BRICK CONC. BLOCK
		METAL:	ALUMINUM STEEL BRASS OR BRONZE
		PLASTIC:	PLASTIC
		STONE:	CAST STONE CUT STONE SLATE
		WOOD:	CORK FINISH PLYWOOD
			ROUGH

D2F

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.367.9424
www.design2form.com
AA25002666 • B26001476

CONSULTANTS

NAKIA INGRAHAM FUNERAL HOME

FACADE IMPROVEMENTS
(EXTERIOR PAINTING & NEW BRICK VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK	DATE	DESCRIPTION
	03/07/22	100% CD's

PROJECT NO: 18-002
DRAWN BY: J.GELIN D.FOSTER
CHECKED BY: Z.BROWN

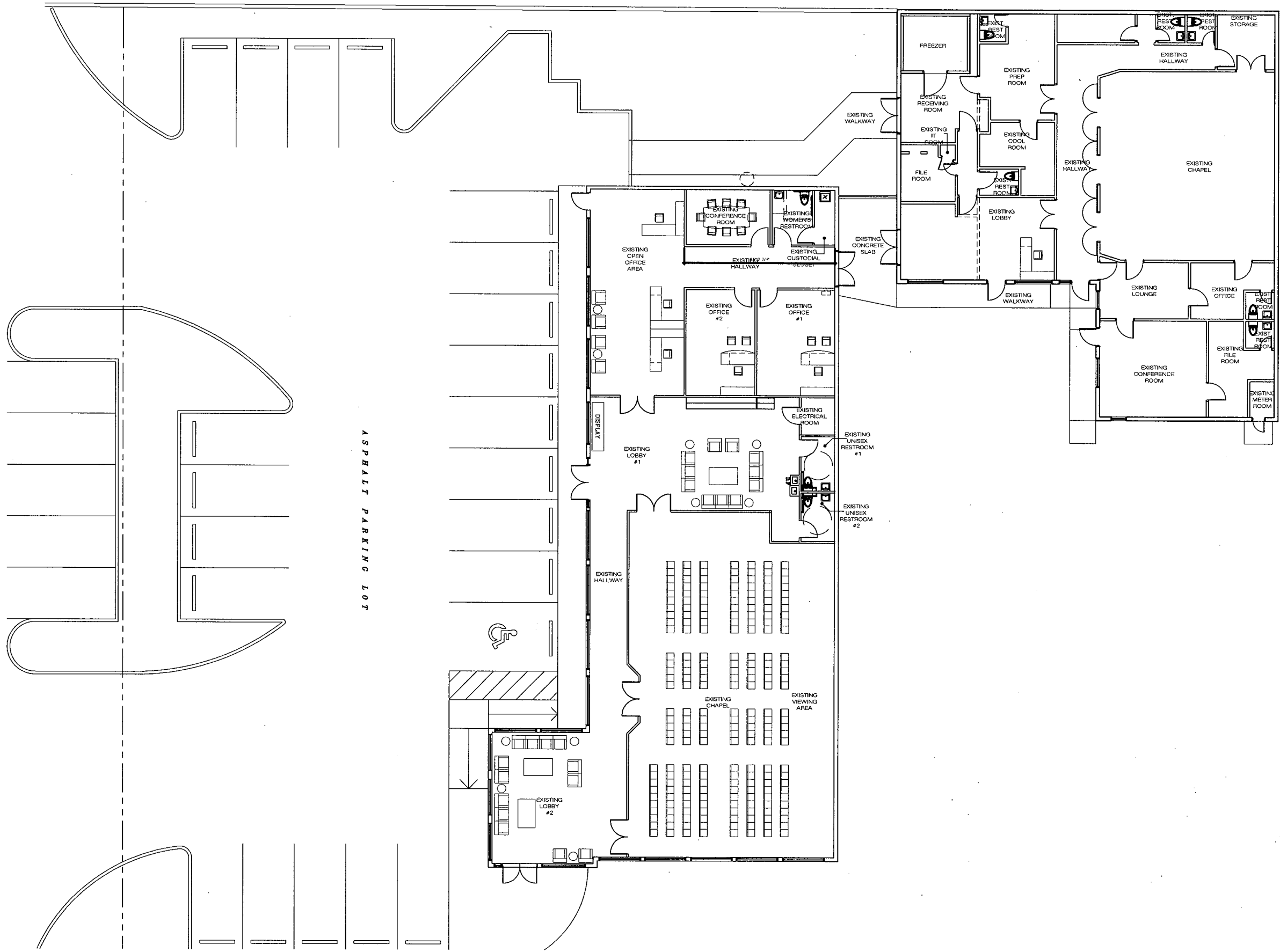
SHEET TITLE

STD ABBREVIATIONS & SYMBOLS

SHEET NUMBER

G0.03

© Design2Form. All rights reserved. The ideas and designs represented or indicated in these drawings and specifications are the sole property of Design2Form, whether the project for which they were created is or is not executed or not. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form.



1 EXISTING FLOOR PLAN - (FOR REFERENCE ONLY)
SCALE: 1/8" = 1'-0"



Design2Form
Architecture • Interior • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 954.985.7885 • Fax: 877.967.9424
www.design2form.com
AKA2600266 • B26001476

CONSULTANTS

**NAKIA INGRAHAM
FUNERAL HOME**

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

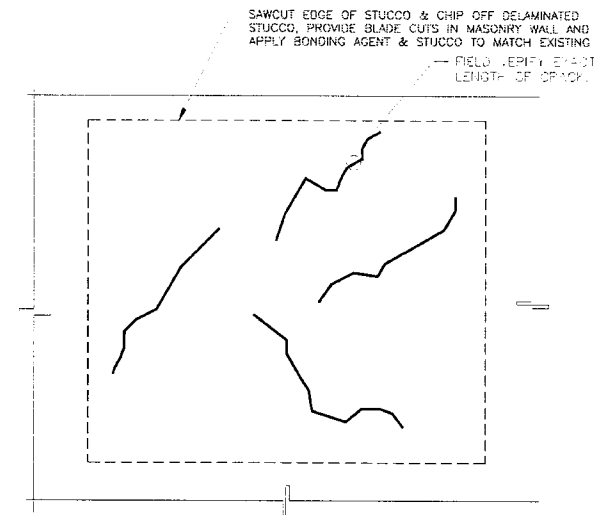
MARK	DATE	DESCRIPTION
	03/07/22	100% CD%

PROJECT NO: 18-002
DRAWN BY: J. GELIN, D. FOSTER
CHECKED BY: Z. BROWN

SHEET TITLE
EXISTING
FLOOR PLAN

SHEET NUMBER
AR1.01

© Design2Form. All rights reserved. The plans and designs represented or indicated in these drawings and specifications are the sole property of Design2Form. Whether the project, for which they were created, is executed or not. They may not be reproduced, altered, articulated or used in any form or manner without the expressed written permission of Design2Form.



3 DELAMINATED STUCCO DETAIL
SCALE: N.T.S.

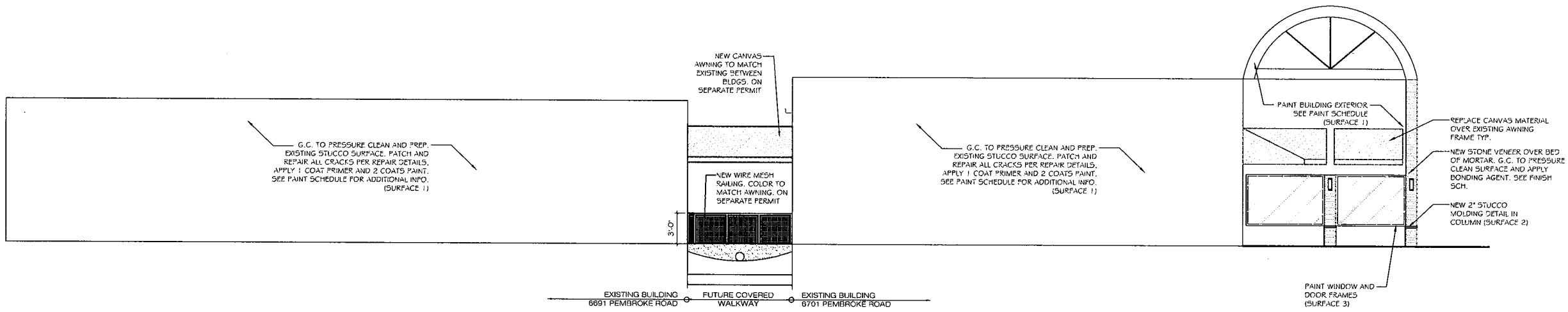
EXTERIOR ELEVATIONS GENERAL NOTES

1. NEW STUCCO FINISH TO RECEIVE (1) COAT PRIMER & (2) COATS PAINT, TYP.
2. SEE PAINT SCHEDULE FOR PAINT/COATING COLORS AND ADDITIONAL INFORMATION.
3. EXISTING STUCCO CRACK(S) TO BE ROUTED OUT AND REPAIRED. TEXTURE TO MATCH EXISTING. AREA TO RECEIVE 1 COAT PRIMER AND 2 COATS PAINT TO MATCH EXISTING. (SEE DELAMINATED STUCCO DETAIL)
4. ARCHITECT WAS NOT ABLE TO VERIFY AREAS ABOVE 8'-0" GRADE. G.C. TO FIELD VERIFY QUANTITIES DURING BIDDING PHASE.

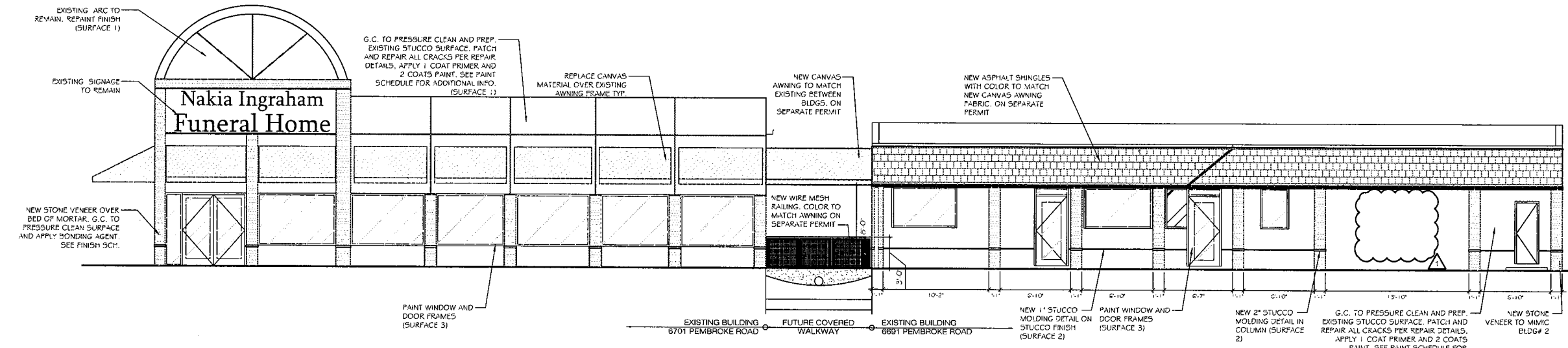
NOTE: GARBAGE ENCLOSURE TO BE PAINTED TO MATCH THE FAÇADE.

EXTERIOR PAINT / FINISH SCHEDULE

SURFACE	MFR	PRODUCT	COATS	SHEEN	COLOR
(1) STUCCO/CONCRETE - WALLS	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: HOT STUCCO SEALER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	LOXON XP ZERO VOC WATERPROOFING MASONRY COATING	2	EGGSHELL	SW 7562 ROMAN COLUMN
(2) STUCCO/CONCRETE - MOLDINGS	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: HOT STUCCO SEALER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	LOXON XP ZERO VOC WATERPROOFING MASONRY COATING	2	SEMI-GLOSS	SW 9541 WHITE SNOW
(3) STEEL DOORS & FRAMES	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: DTM BONDING PRIMER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	DTM ACRYLIC COATING	2	SEMI-GLOSS	SW 6991 BLACK MAGIC
STONE VENEER	ROCK RIDGE RECLAIMED BRICK	YUKON STACK SLATE LEDGER PANEL	N/A	N/A	



2 PROPOSED NORTH ELEVATION
SCALE: 3/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

D2F

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street Suite #2
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.867.9424
www.design2form.com
AA26002666 • IB26001476

2017
AR #2017

CONSULTANTS

NAKIA INGRAHAM FUNERAL HOME

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK	DATE	DESCRIPTION
03/07/22	100% CDs	
08/24/22	BCC COMMENTS	

PROJECT NO: 18-002
DRAWN BY: J. GELIN D. FOSTER
CHECKED BY: Z. BROWN

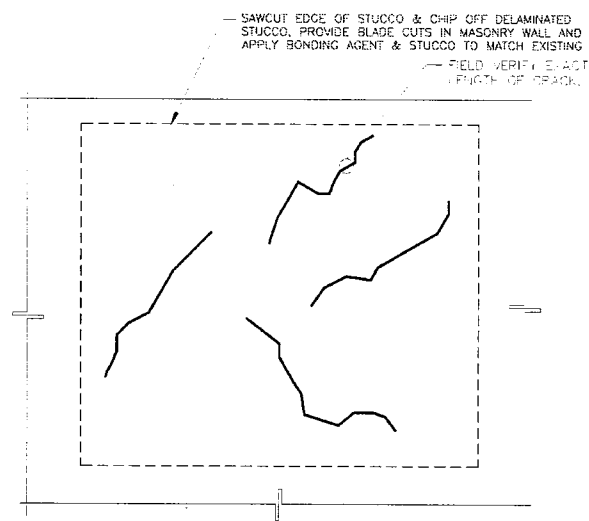
SHEET TITLE

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A3.01

Design2Form, Inc. All rights reserved. The ideas and designs represented or included in these drawings and specifications are the sole property of Design2Form, Inc. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form, Inc.



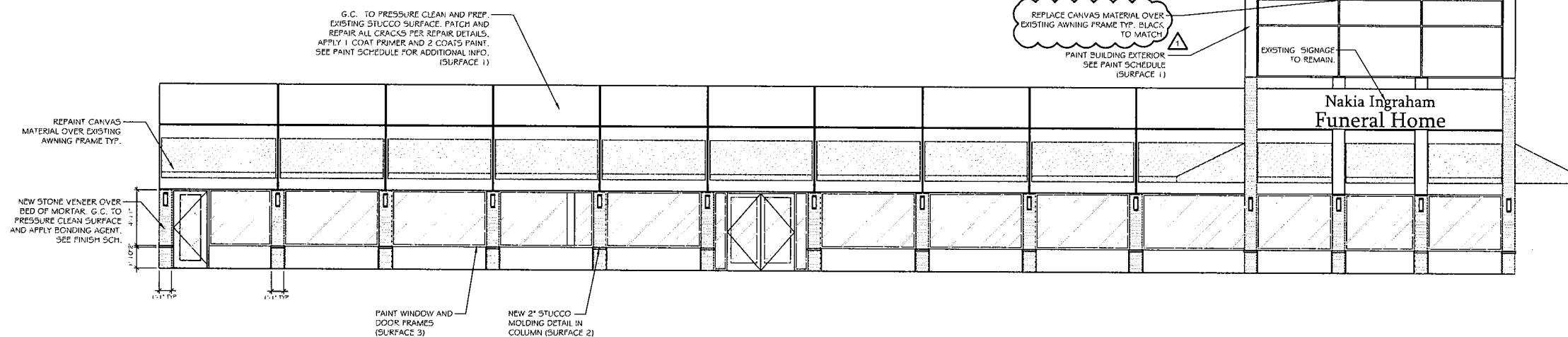
3 DELAMINATED STUCCO DETAIL
SCALE: N.T.S.

EXTERIOR ELEVATIONS GENERAL NOTES

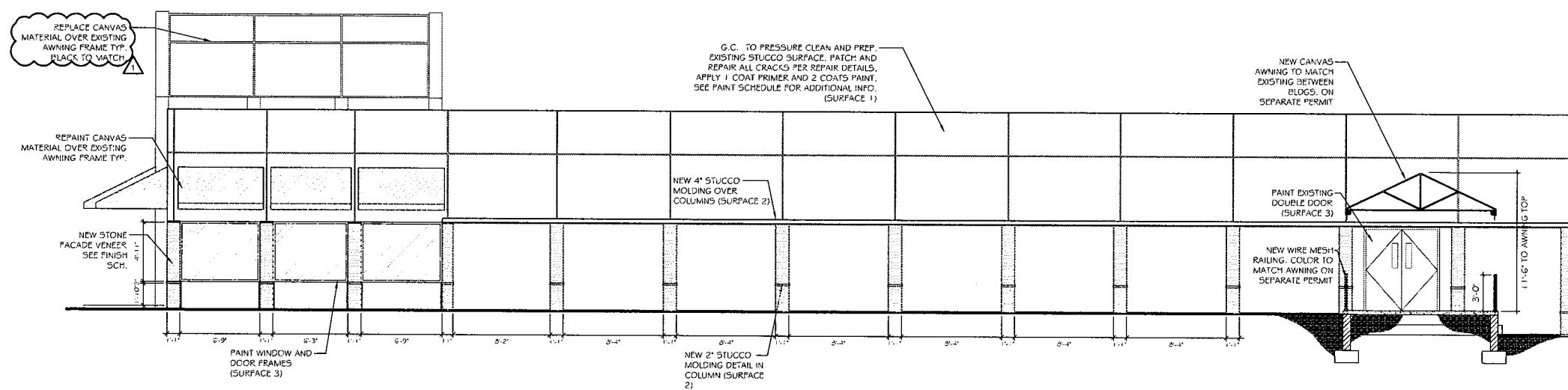
1. NEW STUCCO FINISH TO RECEIVE (1) COAT PRIMER & (2) COATS PAINT, TYP.
2. SEE PAINT SCHEDULE FOR PAINT/COATING COLORS AND ADDITIONAL INFORMATION.
3. EXISTING STUCCO CRACK(S) TO BE ROUTED OUT AND REPAIRED, TEXTURE TO MATCH EXISTING. AREA TO RECEIVE 1 COAT PRIMER AND 2 COATS PAINT TO MATCH EXISTING. (SEE DELAMINATED STUCCO DETAIL)
4. ARCHITECT WAS NOT ABLE TO VERIFY AREAS ABOVE 8'-0" GRADE, G.C. TO FIELD VERIFY QUANTITIES DURING BIDDING PHASE.

EXTERIOR PAINT / FINISH SCHEDULE

SURFACE	MFR	PRODUCT	COATS	SHEEN	COLOR
(1) STUCCO/CONCRETE - WALLS	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: HOT STUCCO SEALER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	LOXON XP ZERO VOC WATERPROOFING MASONRY COATING	2	EGGSHELL	SW 7562 ROMAN COLUMN
(2) STUCCO/CONCRETE - MOLDINGS	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: HOT STUCCO SEALER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	LOXON XP ZERO VOC WATERPROOFING MASONRY COATING	2	SEMI-GLOSS	SW 9541 WHITE SNOW
(3) STEEL DOORS & FRAMES	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	PRIMER: DTM BONDING PRIMER	1		
	SHERWIN WILLIAMS (BENJAMIN MOORE APPROVED ALT)	DTM ACRYLIC COATING	2	SEMI-GLOSS	SW 6991 BLACK MAGIC
STONE VENEER	ROCK RIDGE RECLAIMED BRICK	YUKON STACK SLATE LEDGER PANEL	N/A	N/A	



2 PROPOSED WEST ELEVATION
SCALE: 3/8" = 1'-0"



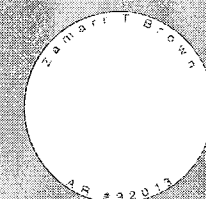
1 PROPOSED EAST ELEVATION
SCALE: 3/8" = 1'-0"

D2F

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 754.885.7885 • Fax: 877.867.9424
www.design2form.com
AA26002646 • JE26001476



CONSULTANTS

NAKIA INGRAHAM FUNERAL HOME

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK DATE DESCRIPTION

03/07/22 100% CDs

08/24/22 BCO COMMENTS

PROJECT NO: 18-002

DRAWN BY: J.GELIN/D.FOSTER

CHECKED BY: Z.BROWN

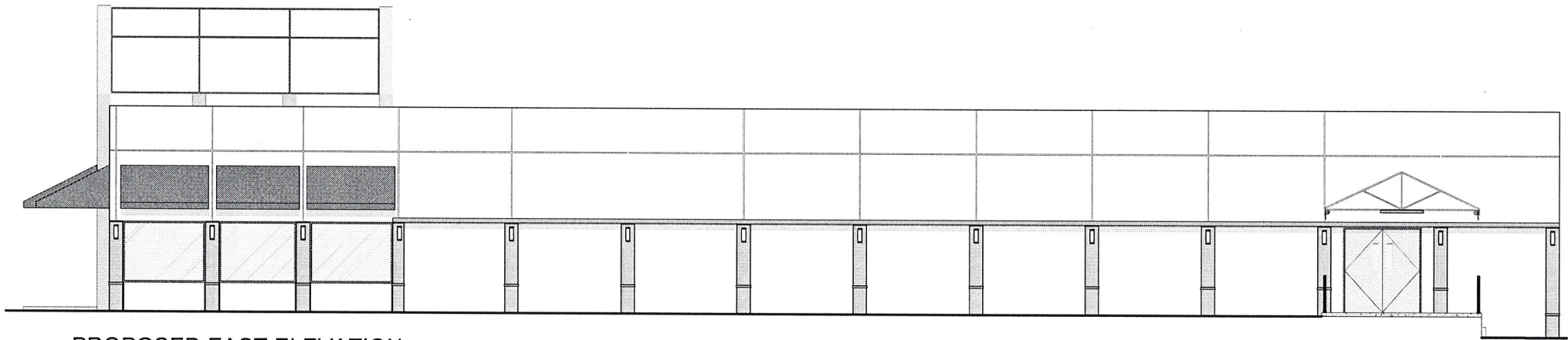
SHEET TITLE PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

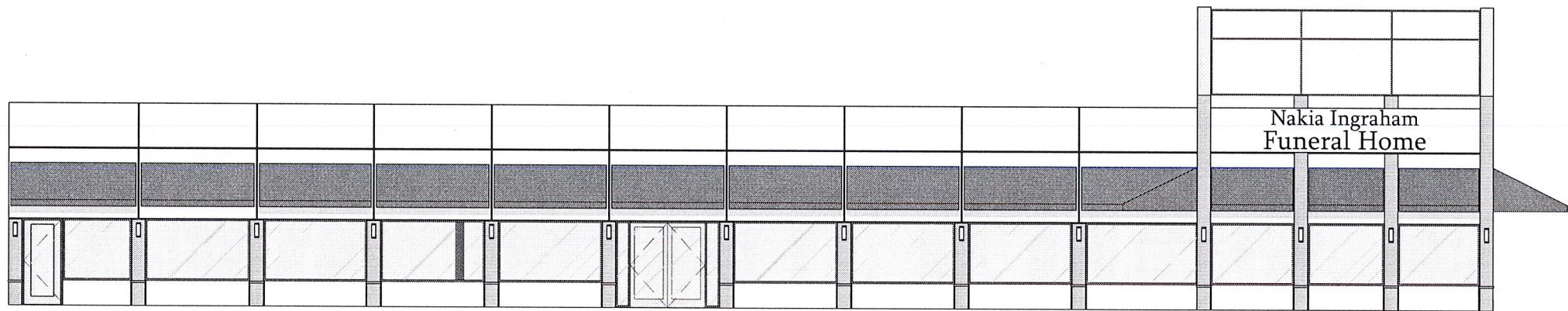
A3.02

© Design2Form, Inc. All rights reserved. The ideas and designs represented or indicated in these drawings and specifications are the sole property of Design2Form, Inc. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form, Inc.

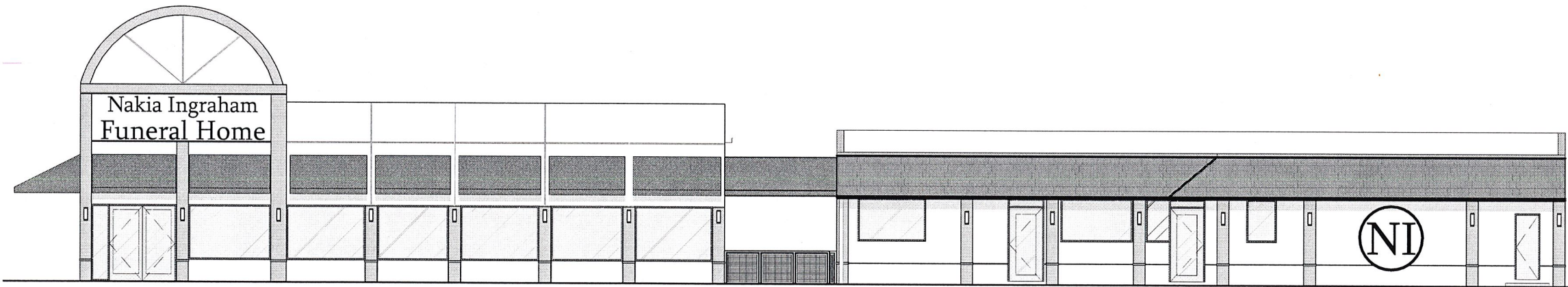
© Design2Form. All rights reserved. The ideas and designs represented or indicated in these drawings and specifications are the sole property of Design2Form, whether the project for which they were created for is executed or not. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form.



PROPOSED EAST ELEVATION
SCALE : $\frac{3}{16}$ " = 1'-0"



PROPOSED WEST ELEVATION
SCALE : $\frac{3}{16}$ " = 1'-0"



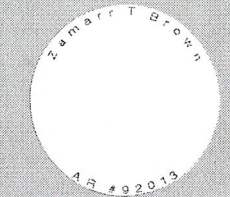
PROPOSED SOUTH ELEVATION
SCALE : $\frac{3}{16}$ " = 1'-0"

D2F

Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 954.885.7885 • Fax: 877.867.9424
www.design2form.com
AA26002666 • B26001475



CONSULTANTS

**NAKIA INGRAHAM
FUNERAL HOME**

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22
MARK DATE DESCRIPTION
03/07/22 100% CD's

PROJECT NO: 19-002
DRAWN BY: J.GELIN/ D.FOSTER
CHECKED BY: Z.BROWN

SHEET TITLE
**PROPOSED
EXTERIOR
ELEVATIONS**

SHEET NUMBER
A3.03

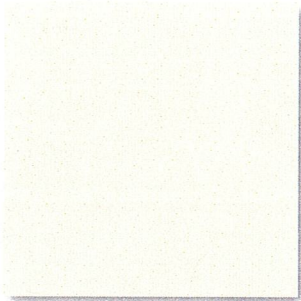
© Design2Form. All rights reserved. The ideas and designs represented or indicated in these drawings and specifications are the sole property of Design2Form, whether the project for which they were created for is executed or not. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form.

Nakia Ingraham Funeral Home Facade Improvements

6691 AND 6701 PEMBROKE ROAD, PEMBROKE PINES, FLORIDA 33023

Paint

Manufacture: Sherwin Williams
Color: Roman Column (SW 7562)
Eggshell Sheen



Stucco/Concrete - Walls
(1)

Paint

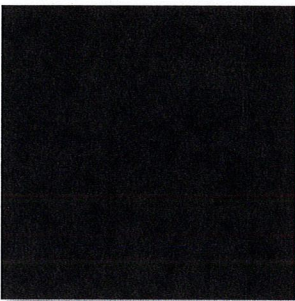
Manufacture: Sherwin Williams
Color: White Snow (SW 9541)
Semigloss Sheen



Stucco/Concrete - Moldings
(2)

Paint

Manufacture: Sherwin Williams
Color: Black Magic (SW 6991)
Semigloss Sheen



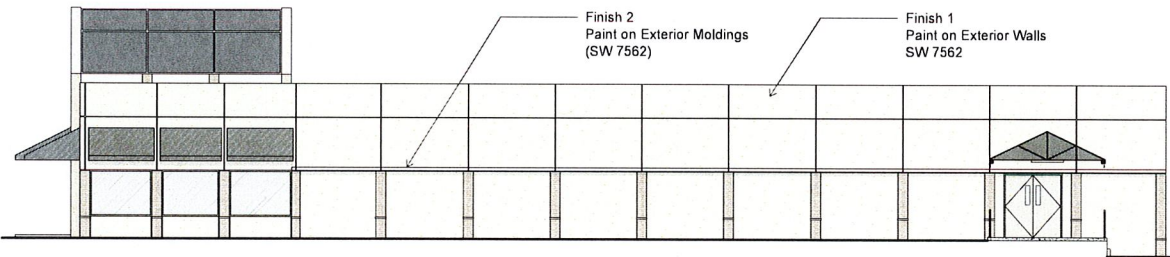
Steel Doors & Frames
(3)

Stone

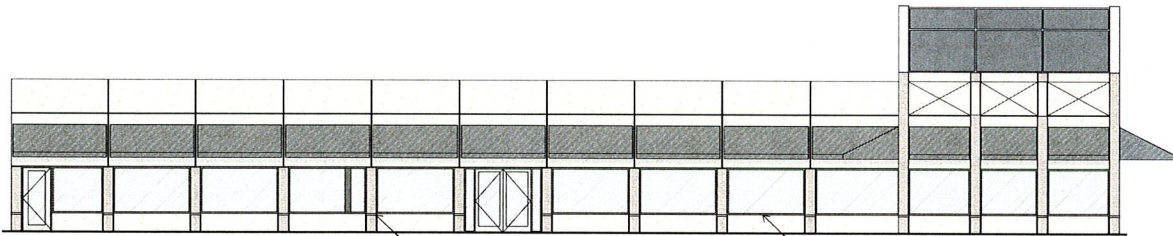
Manufacture: Rock Ridge Reclaimed Brick
Product: Yukon Stack Slate Ledger Panel



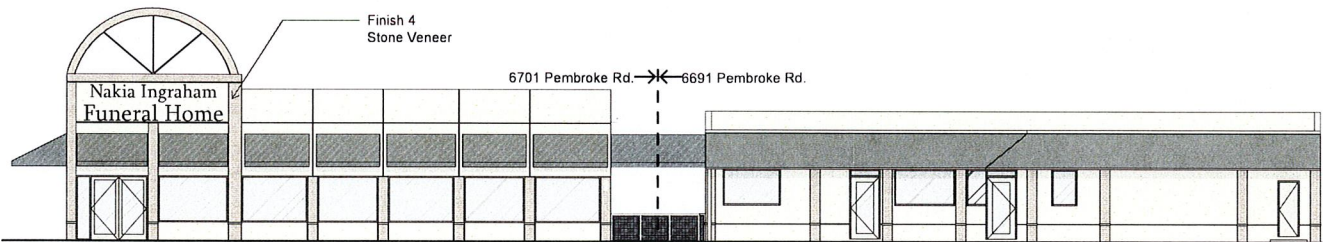
Stone Veneer
(4)



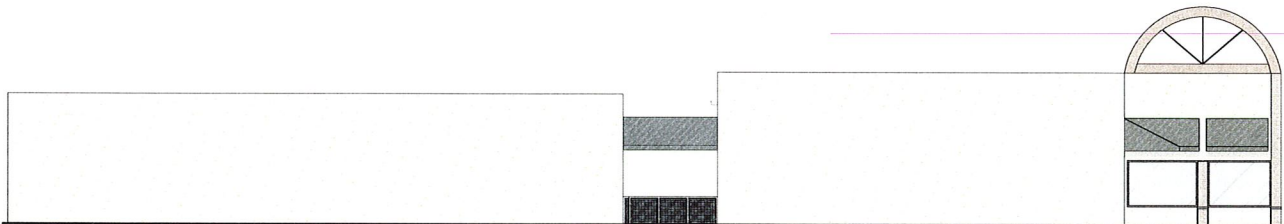
East Elevation
Scale N.T.S



West Elevation
Scale N.T.S



South Elevation
Scale N.T.S



North Elevation
Scale N.T.S

FINISH BOARD

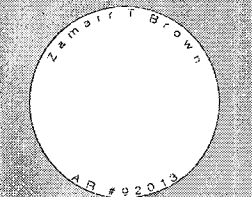
THIS SHEET WAS INTENTIONALLY LEFT BLANK



Design2Form

Architecture • Interiors • Project Management

2001 Tyler Street, Suite #2
Hollywood, FL 33020
Tel: 754.885.7883 • Fax: 877.867.5424
www.design2form.com
AA20002654 • B24001476



CONSULTANTS

NAKIA INGRAHAM
FUNERAL HOME

FACADE
IMPROVEMENTS
(EXTERIOR PAINTING
& NEW BRICK
VENEER)

6691 AND 6701
PEMBROKE ROAD,
PEMBROKE PINES,
FLORIDA 33023

ISSUE

03/07/22

MARK	DATE	DESCRIPTION
	03/07/22	100% CDs

PROJECT NO: 18-002
DRAWN BY: J. GELINI / D. FOSTER
CHECKED BY: Z. BROWN

SHEET TITLE
BACK
COVER

SHEET NUMBER

© Design2Form. All rights reserved. The ideas and designs represented or indicated in these drawings and specifications are the sole property of Design2Form, whether the project for which they were created is in execution or not. They may not be reproduced, altered, distributed or used in any form or manner without the expressed written permission of Design2Form.