





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	December 12, 2019	Application ID:	SN 2018-10
Project:	Somerset Academy South Signage	Project Number:	N/A
Project Planner:	Cole Williams, Planner / Zoning Technician		
Owner:	Pines Blvd School Dev LLC	Agent:	Randy Bogen, Signarama
Location:	19620 Pines Blvd		
Existing Zoning:	B-3 (General Business)	Existing Land Use:	Agriculture
Reference Applications:	SP 2017-14, SP 2000-56		
Applicant Request:	Installation of two wall signs and one monument sign		
Staff Recommendation:	Approval		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board	<input type="checkbox"/> City Commission	
Reviewed for the Agenda:	Director:  Planning Administrator: 		

Project Description / Background

Randy Bogen, agent, is requesting approval for the installation of wall and ground signage at Somerset Academy South Campus located at 19620 Pines Boulevard.

The school was originally approved as a multi-tenant office building in 2000 through application SP 2000-56. The property was sold and is now operating as an educational facility. Modifications including the addition of an outdoor play area, perimeter fence and landscaping were approved in 2017 through application SP 2017-14 to accommodate the school. Additionally, through the site plan application Somerset Academy received a special exception for the school use as required by section 155.283 of the City Code of Ordinances. On September 12, 2019, Somerset Academy was granted a variance (ZV 2019-07) to allow 144 square feet of signage instead 120 square feet permitted by code.

SIGNAGE:

The applicant proposes 140 square feet of signage for the site consistent with the approved variance and it shall consist of the following:

- A 60 square foot internally illuminated raceway mounted channel letter sign to read "Somerset Academy Elementary" in blue copy located on the north elevation.
- A 57 square foot internally illuminated raceway mounted channel letter sign to read "Somerset Academy Elementary" in blue copy located on the south elevation.
- A 7'-6" tall monument sign with a 23 square foot white and blue internally illuminated panel to be located adjacent to the Pines Boulevard entrance at the northwest corner of the site. The sign will have routed features and include a multicolor Somerset Academy logo, as well as "Somerset Academy Elementary" in blue copy. Landscaping will be installed at 24" in height around the base of the sign.
- The school classifies as a cultural facility, as such code section 155.324 (C)(5) permits up to 50 square feet of changeable copy, which does not count towards the total square footage for the site. The applicant proposes the installation of a 12.7 square foot LED changeable copy message board on the monument sign beneath the illuminated panel.

No other site modifications are being proposed at this time.

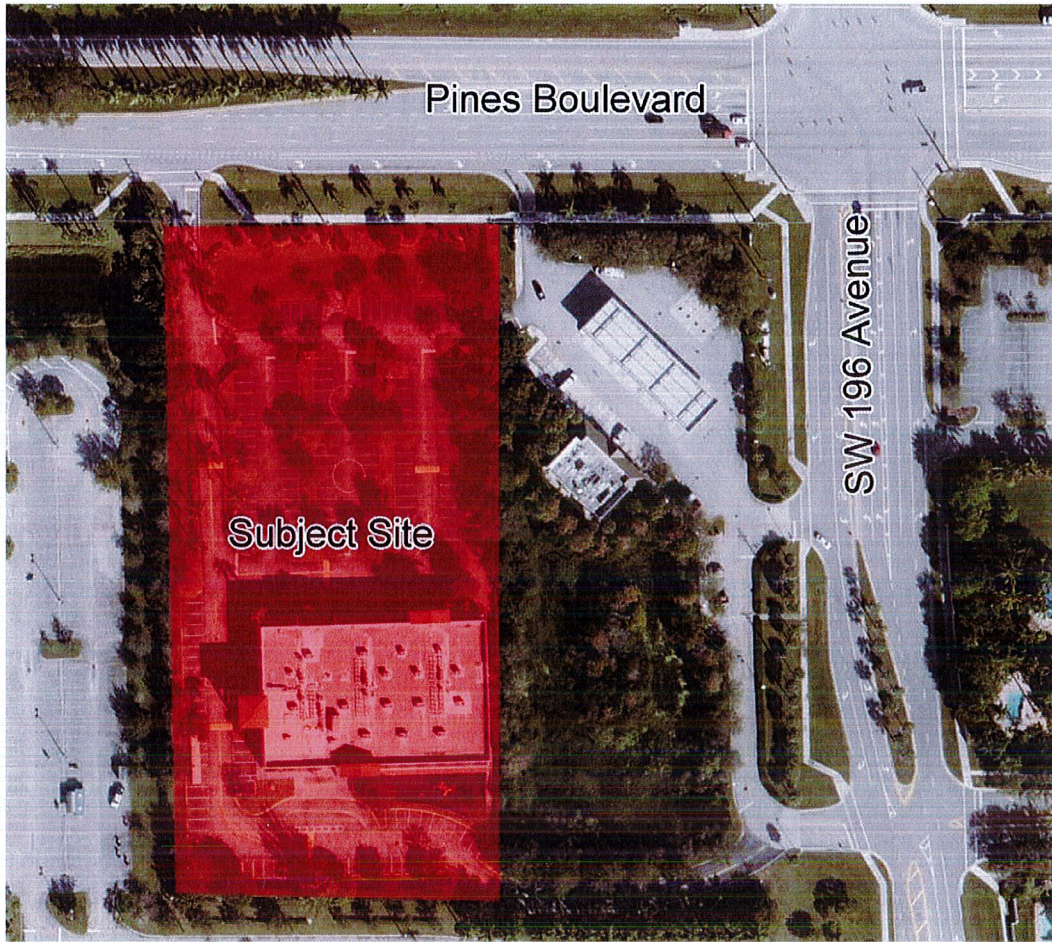
Staff has reviewed the proposed changes and finds that the proposal meets code requirements. Staff therefore recommends approval of this application.

Enclosed:

Unified Development Application
Memo from Planning Division (12/3/19)
Memo from Landscape Division (12/3/19)
Memo from Zoning Division (12/2/19)
Memo from Fire Prevention Bureau (12/2/19)
Memo from Engineering Division (11/27/19)
Memo from Zoning Division (11/5/19)
Sign Plan

SUBJECT SITE AERIAL PHOTO

Somerset Academy South Campus (SN 2018-10)





City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____

Planner: _____

DEC 10 2018

Planning & Economic Development

Indicate the type of application you are applying for:

- ☐ Appeal*
- ☐ Comprehensive Plan Amendment
- ☐ Delegation Request
- ☐ DRI*
- ☐ DRI Amendment (NOPC)*
- ☐ Flexibility Allocation
- ☐ Interpretation*
- ☐ Land Use Plan Map Amendment*
- ☐ Miscellaneous
- ☐ Plat*

- ☐ Sign Plan
- ☒ Site Plan*
- ☐ Site Plan Amendment*
- ☐ Special Exception*
- ☐ Variance (Homeowner Residential)
- ☐ Variance (Multifamily, Non-residential)*
- ☐ Zoning Change (Map or PUD)*
- ☐ Zoning Change (Text)
- ☐ Zoning Exception*
- ☐ Deed Restriction

INSTRUCTIONS:

- All questions must be completed on this application. If not applicable, mark *N/A*.
- Include all submittal requirements / attachments with this application.
- All applicable fees are due when the application is submitted (Fees adjusted annually).
- Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
- All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
- Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
- The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
- Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: Cole Project #: PRJ 20____ - Application #: SN-2018-10

Date Submitted: 12/10/18 Posted Signs Required: (____) Fees: \$ 743.00

SECTION 1-PROJECT INFORMATION:Project Name: Pines School DevelopmentProject Address: 19620 Pines Blvd, Pembroke Pines

Location / Shopping Center: _____

Acreage of Property: _____ Building Square Feet: _____

Flexibility Zone: _____ Folio Number(s): 5139-14-07-0010

Plat Name: _____ Traffic Analysis Zone (TAZ): _____

Legal Description:196 Pines Plaza 1st Addition 155-21 B Tract B as Desc
in 196 Pines Plaza 1st Addn together with S20 of N 720 of the E
1/2 of the E 1/2 of the SE 1/4 of 14-51-39 Also together with the S30...

Has this project been previously submitted? Yes No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATIONOwner's Name: Pines Blvd School Dev LLCOwner's Address: 6457 Sunset Dr, Miami, FL 33143Owner's Email Address: customerservice@signaramadeerfield.comOwner's Phone: (954) 428-7446 Owner's Fax: (954) 428-2634Agent: CRF Group dba SignaramaContact Person: Susan BagenAgent's Address: 4716 N Powerline Rd, Deerfield Beach, FL 33073Agent's Email Address: customerservice@signaramadeerfield.comAgent's Phone: (954) 428-7446 Agent's Fax: (954) 428-2634

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:**EXISTING**

Zoning: _____

Land Use / Density: _____

Use: _____

Plat Name: _____

Plat Restrictive Note: _____

PROPOSED

Zoning: _____

Land Use / Density: _____

Use: _____

Plat Name: _____

Plat Restrictive Note: _____

ADJACENT ZONING

North: _____

South: _____

East: _____

West: _____

ADJACENT LAND USE PLAN

North: _____

South: _____

East: _____

West: _____

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

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SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Amelia 11/29/18
Signature of Owner Date

Sworn and Subscribed before me this 28 day
of November, 20 18

Fee Paid Signature of Notary Public 11/31/22
My Commission Expires



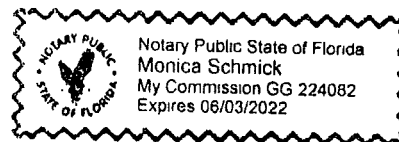
AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Monica Schrick 12/6/18
Signature of Agent Date

Sworn and Subscribed before me this 6 day
of December, 20 18

Monica Schrick
Signature of Notary Public
Fee Paid My Commission Expires



PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: December 3, 2018
To: SN 2018-10 file
From: Cole Williams, Planner / Zoning Technician
Re: Somerset Academy South Campus Signage

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED

Re: (SN2018 -10) Somerset Academy South Campus Signage

The City of Pembroke Pines Planning Department has conducted a landscape review for Somerset Academy South Campus Signage. The following items need to be addressed prior to this project being found in compliance:

All landscape comments have been addressed at this time.

It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Please consider the environment before printing this email.

Kristen Jensen

Landscape Planner / Designer

Planning and Economic Development Division

City of Pembroke Pines

954.392.2107 (Office) • kjensen@ppines.com

Please consider the environment before printing this email.

MEMORANDUM

December 2, 2019

To: Cole Williams
Planning/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: SN 2018-10 (Somerset Academy @ 19620 Pines Blvd.)

All of my comments regarding the above Sign Plan have been satisfied.

DRC REVIEW FORM

PEMBROKE PINES FIRE RESCUE

FIRE PREVENTION BUREAU

FIRE PLANS EXAMINER BY: Daniel Almaguer, Assistant Fire Marshal
(954) 499-9557

PROJECT NAME: Somerset Academy South Signage

REFERENCE #: SN 2018 - 10

DATE REVIEWED: 12/02/2019

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THE SITE PLAN REVIEW.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



November 27, 2019

**PROJECT: SOMERSET ACADEMY SOUTH MONUMENT SIGN
CITY REFERENCE NUMBER: SN 2018-10**

**To: To: Cole Williams, Planner/Zoning Technician
Planning and Economic Development Department**

**From: John L. England, P.E.
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046**

RECOMMENDATIONS:

The Environmental Services/Engineering Division's DRC 'Comments' for the proposed project have been satisfied and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board based upon the following condition:

Confirmation of "No Encroachment" of the proposed Monument Sign within the existing recorded utilities/access easements which define/about the 'Triangular' site area, in which the proposed Monument Sign is proposed to be placed/located within the overall property, will be required for approval of the Engineering Construction Permit. Submittal of a 'Site Plan/Location Plan' prepared by either a professional survey or engineer at a scale of no smaller than 1"=10' and depicting the overall "footprint" and "limits of foundation" of the sign with horizontal separations to the existing utilities/access easements at the closest points to the proposed sign will be required for Engineering review to confirm that the proposed placement/location of the proposed Monument Sign does not encroach into the existing utilities/access easements.

NOTE that an Engineering Construction Permit is required for construction of the proposed project site engineering related improvements. Submittal of appropriate signed and sealed plans and Plans Review Fee will be required, as a minimum, by the Environmental Services/Engineering Division for acceptance of the proposed project for initiation of the plans review for Construction Permit.

MEMORANDUM

November 5, 2019

To: Cole Williams
Planning/Zoning Technician

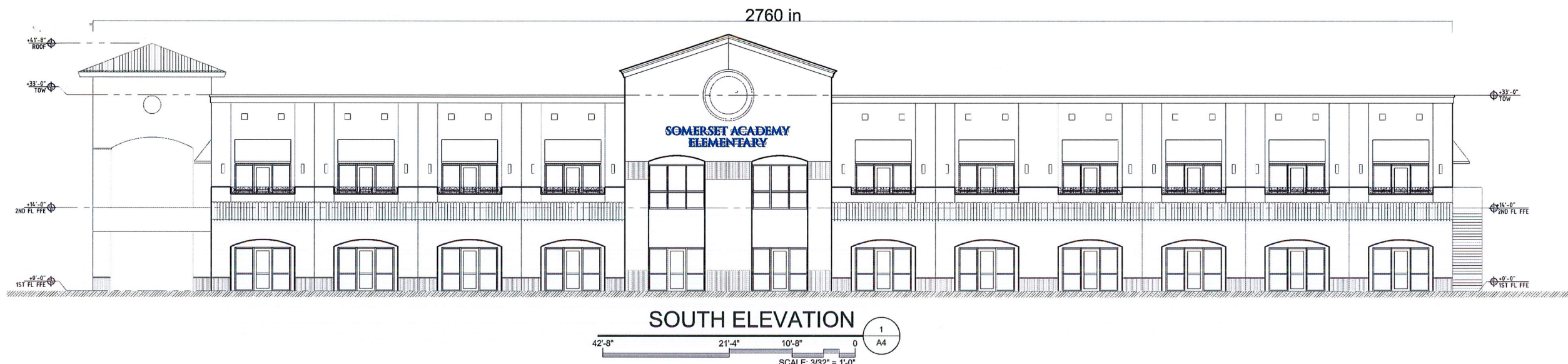
From: Dean A. Piper
Zoning Administrator

Re: SN 2018-10 (Somerset Academy @ 19620 Pines Blvd.)

The following are my comments regarding the above Sign Plan:

1. Clarify location of proposed monument sign on Site Plan as current plan shows two (2) locations (only one allowed) and one of them is shown on top of a Utility Easement which would not be allowed.
2. Building sign shown for south elevation exceeds allowed 60 sq. ft. Note: Variance #ZV 2019-07 was approved for total site signage of 144 sq. ft. 120 sq. ft. on building (60 sq. ft. each on north and south elevations) and a 24 sq. ft. monument sign.

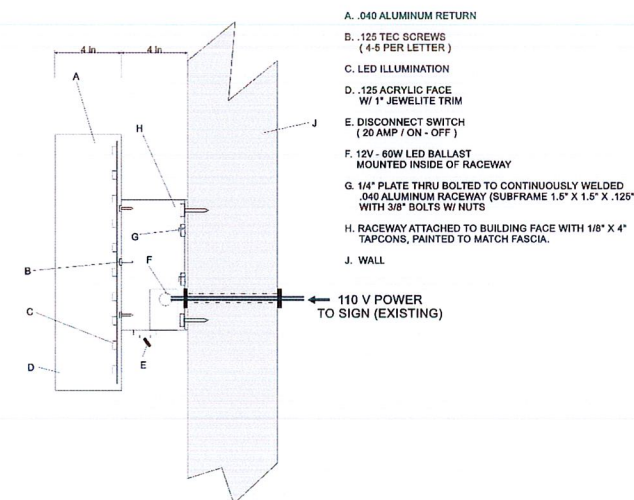
Please contact me with any questions.



**SOMERSET ACADEMY
ELEMENTARY**

Signage: Channel Letters and Raceway
Illumination: LED
Illumination Color: White
Size: 17.55"
Total Sq. Footage: 57.03 sq ft

Frontage: 230'
Face Color: Blue
Trim Color: Blue
Return Color: Blue
Install: Yes



STRUCTURAL NOTES:

Design is in accordance with the requirements of the Fla Bldg Code 6th Ed (2017) for use within & outside the High Velocity Hurricane Zone (HVHZ). This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. Aluminum extrusions shall be 6063-T6, unless noted otherwise.

ASSEMBLY PER NEC 600-3

ANCHORS: TO BE ITW BUILDEX, ELCO TAPCON, POWERS, RAWL, OR MFR. RATED EQUAL. 10x ANCHOR DIAMETER SPACING IS REQUIRED BETWEEN ANCHORS AND EDGE OF CONC. MIN. IF UNSPECIFIED, A 24" MAX O.C. SPACING OF ANCHORS SHALL BE USED + EACH CORNER. WOOD ANCHORS TO BE NON-CORROSIVE GRADE 2 OR GRADE 5 LAG BOLTS OR EQ, $\frac{3}{4}$ " MIN. ED. #2 SOUTHERN YELLOW PINE MINIMUM USED IN ALL WOOD CALCULATIONS. THROUGH BOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.N.O. MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO, FINISHES, OR SHIM SPACING. STRUCTURAL BOLTS TO BE A325, GRADE 5, A 2" MAX EXPOSED SHANK IS TO BE USED U.N.O. HOST STRUCTURE IS BY OTHERS AND SHALL BE DESIGNED TO CARRY LOADS BY PROPOSED SIGN. THIS ENGINEER HAS NOT VISITED THE JOBSITE. DESIGN IS BASED ON CONTRACTOR SUPPLIED DATA. IF ANY FIELD CONDITIONS THEN SPECIFIED HEREIN, THIS ENGINEER SHALL BE NOTIFIED



**LISTED
E121535**

ELECTRICAL NOTES:

ALL ELECTRICAL DESIGN AND EXISTING PRIMARY ELECTRICAL IS BY OTHERS AND IS NOTED FOR REFERENCE ONLY AND NOT PART OF CERTIFICATION. WORK SHALL BE APPROVED AND INSTALLED BY A LICENSED PROFESSIONAL. ALL ELECTRICAL COMPONENTS SHALL BE U/L LISTED AND SHALL COMPLY WITH THE GOVERNING EDITION OF THE NATIONAL ELECTRIC CODE IN EFFECT AT THE TIME OF PERMIT APPLICATION. SIGN SHALL BE GROUNDED IN ACCORDANCE WITH GOVERNING CODES. ALL BREAKER AND TIMING DEVICES SHALL BE IDENTIFIED AT TIME OF INSTALLATION.

PROPOSED CONDITIONS

All Designs Are The Property Of Sign A Rama Deerfield Beach, And May Not Be Duplicated Without Permission.

CONTRACTOR OF RECORD

Signarama

DEERFIELD BEACH

STATE LICENSED & INSURED
ES12001572

customerservice@signaramadeerfield.com

4716 North Powerline Road
Deerfield Beach, FL 33073

(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

**Somerset
Academy**

LOCATION

**19620 Pines Blvd
Pembroke Pines**

DATE

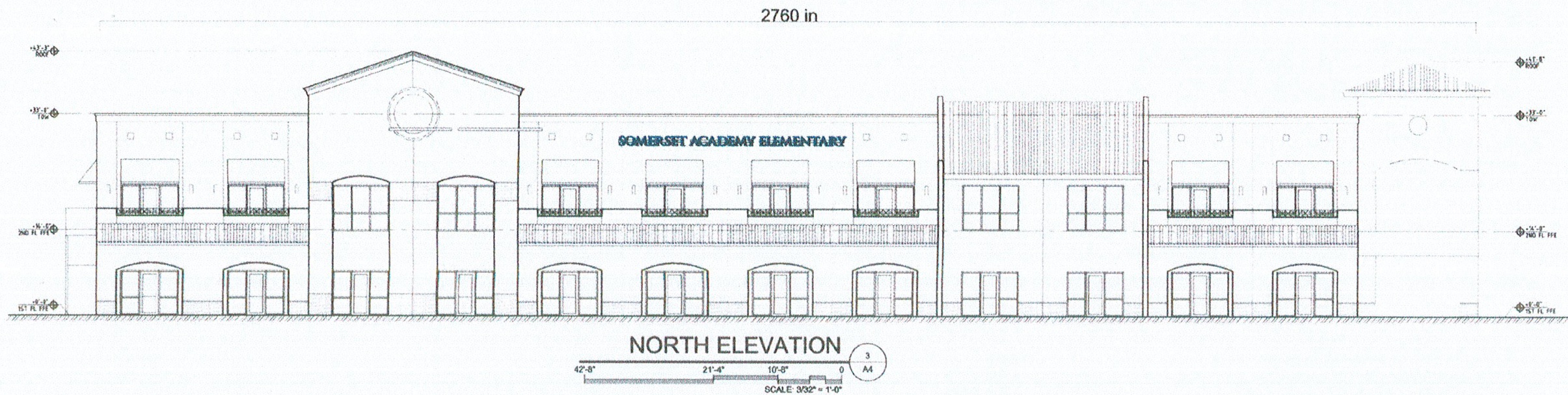
10-22-19

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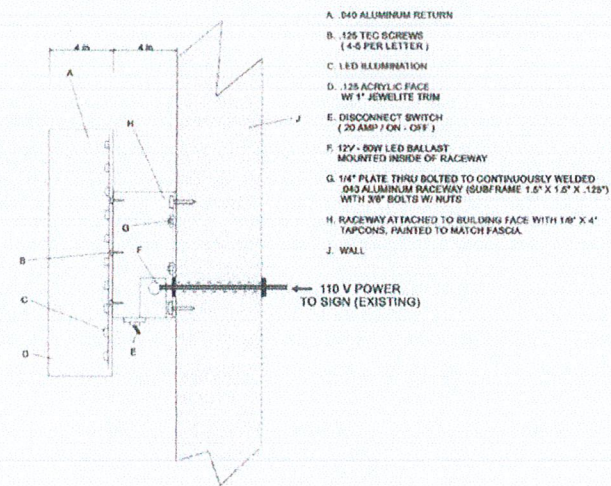
SCALE

VARIES



19 in SOMERSET ACADEMY ELEMENTARY

Signage: Channel Letters and Raceway
Illumination: LED
Illumination Color: White
Size: 19"
Total Sq. Footage: 59.97 sq ft
Frontage:
Face Color: Blue
Trim Color: Blue
Return Color: Blue
Install: Yes



STRUCTURAL NOTES:

ASSEMBLY PER NEC 600-3

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4716 North Powerline Road
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(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

Somerset Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

10-22-19

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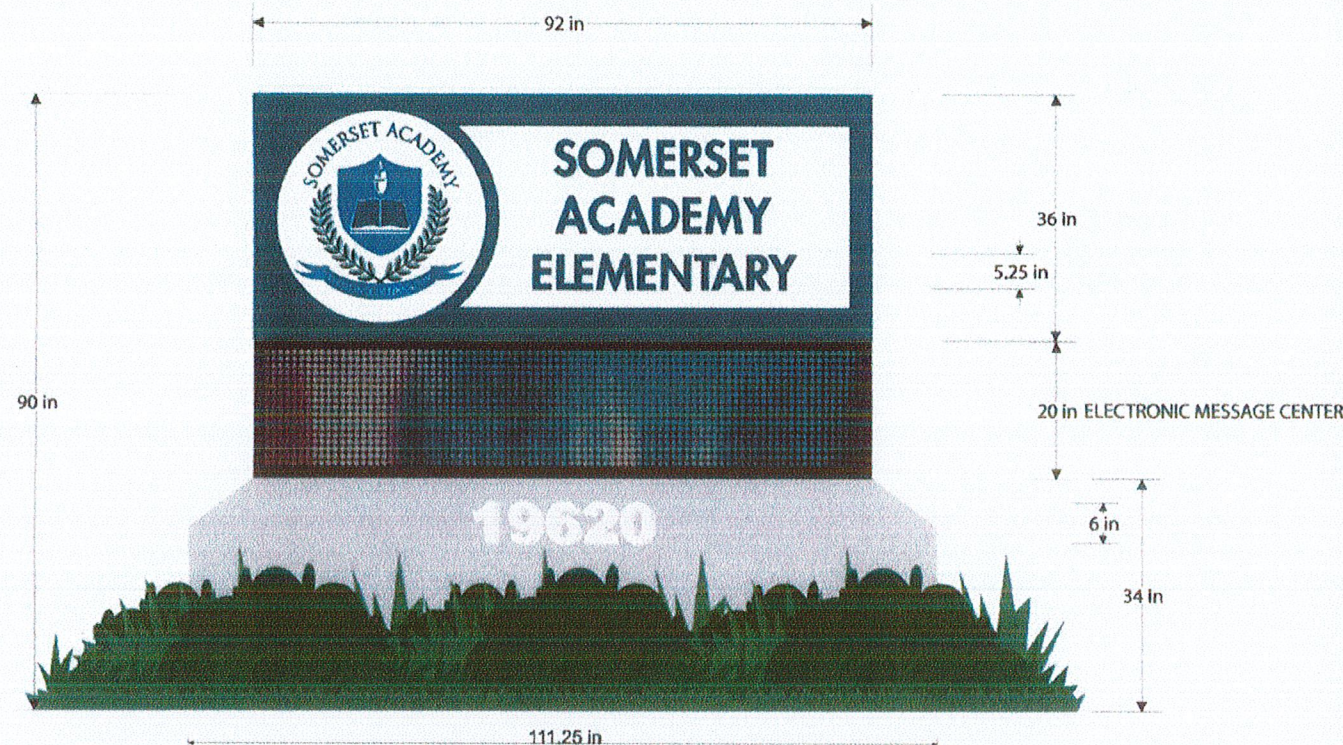
SCALE

VARIES

Wall components & cladding:
• Zone 4: ± 40.8 psf
• Zone 5: ± 51.9 psf

ASCE 7-10 WIND LOADS:
• Sign Height = 30 ft max
• V=170 mph • Exposure 'C'
• Risk Category 2 Structure

General - Design is in accordance with the requirements of the Fla Bldg Code 6th Ed (2017) for use within & outside the High Velocity Hurricane Zone (HVHZ). - This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. - Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. - Structural design meets requirements of ACI 318-14, AISI 360-10, ADM1-15, & NDS-15, as applicable. - Steel components shall be coated, painted, or otherwise protected against corrosion per FBC Sec 2203.2/2222.6. - Alum components in contact with steel or embedded in concrete shall be painted or protected as prescribed in ADM1-15(1a), or plastic/neoprene spacers provided. - All exposed fasteners shall be S.S. or have a protective coating for corrosion protection. - All welding shall comply with AWS requirements. - Steel welds: E70xx electrodes. - Aluminum welds: 4043 filler alloy. - Alum extrusions: 6063-T6 or stronger, U.N.O.



Signage: Monument
Illumination: LED
Illumination Color: White
Size: 92" x 36" w/ 92" x 20" EMC & 111.25" x 34"
Total Sq Footage: 57.5 sq ft
Sign Sq Footage: 23 sq ft
EMC Sq Footage: 12.78 sq ft
Color: As Shown
Install: Yes



ELECTRICAL NOTES:
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STRUCTURAL NOTES: ASSEMBLY PER NEC 600-3
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(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

Somerset Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

11-5-19

DRAWN BY

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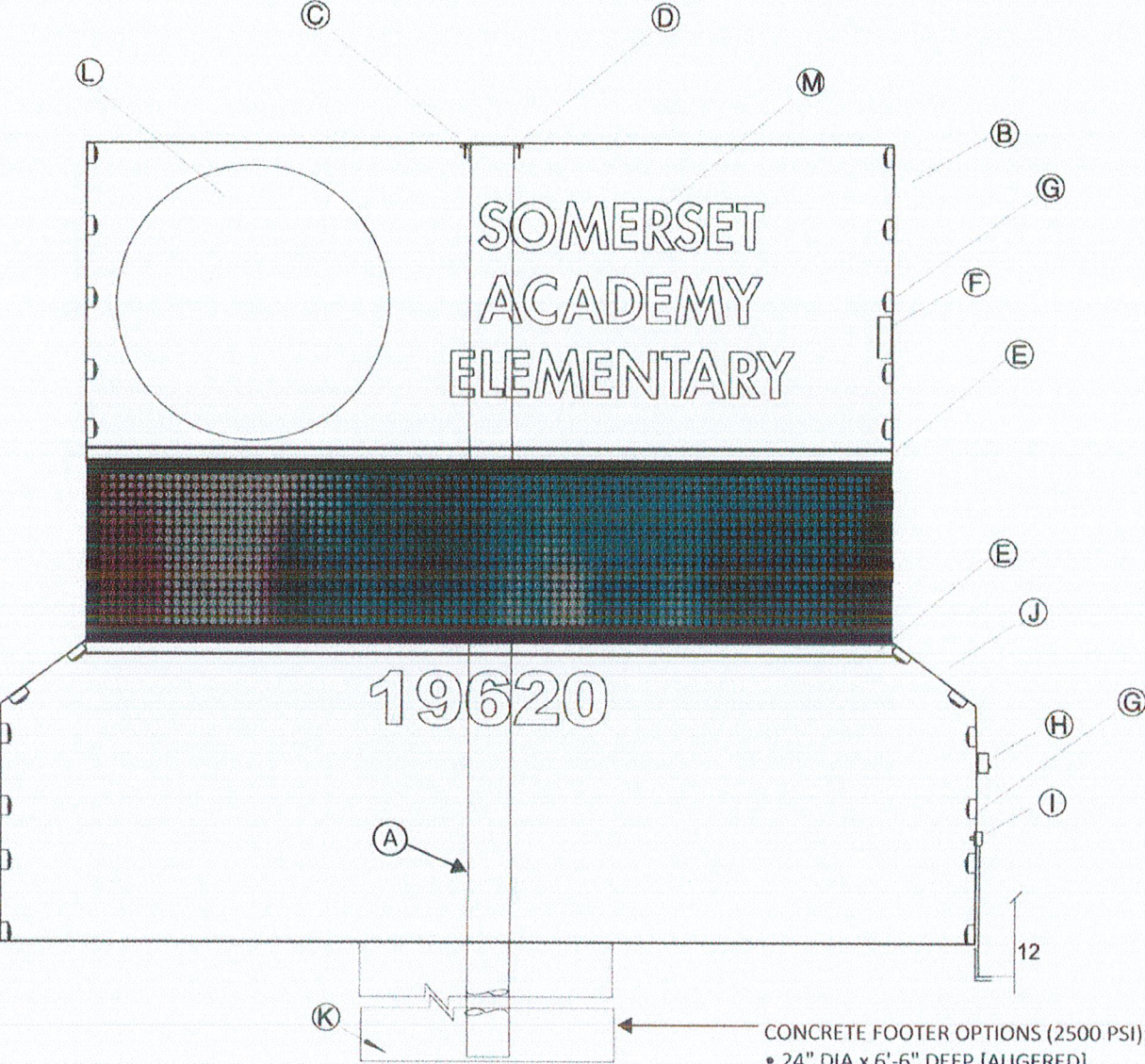
SCALE

VARIES

Easy Seals
Nov 05 2019
Christian Langley
Florida PE #67382
Cert of Auth #31124
1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113
Solid freestanding sign at grade:
• Cf=1.55 (w/h ratio ≥ 1/2)
• ASD Load Coeff = 0.6
ASCE 7-10 WIND LOADS:
• Sign Height = 15 ft max
• V=156 mph • Exposure 'C'
• Risk Category 1 Structure

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Proposed Conditions (Engineering)



- (A) STEEL TUBING 6" SCHED 40
- (B) 2"x1/8" SQUARE TUBE CONSTRUCTION WITH .090 ALUM SKIN.
- (C) WELDED STEEL ANGLE SADDLES 1"1/2 X 1"1/2 X 1/4"
- (D) SADDLES FASTEN TO CABINET FRAME W/ 5/16" TYPICAL NUT & BOLT
- (E) 2"x2"x3/16" ALUM ANGLE CONSTRUCTION WITH .090 SKIN. EMC BOLTS TO FRAME
- (F) HIGH OUTPUT RAPID START BALLAST
- (G) LED LIGHTING
- (H) CARLING SERVICE SWITCH W/BOOT AND STICKER INDICATING DISCONNECT SWITCH
- (I) BELL BOX-W/P & 1-20 MAP. D/S W/P 1" RIGID TO PRIMARY BY OTHERS AS PER NEC 600 21
- (J) 2"x1/8" SQUARE TUBE CONSTRUCTION WITH .090 ALUM SKIN.
- (K) EXISTING MIX GRAVE CONCRETE FOOTING
- (L) 3/16" ACRYLIC RIVETED TO ROUTED ALUMINUM
- (M) 1/4" ACRYLIC PUSH THRU RIVETED TO ROUTED ALUMINUM

CONCRETE FOOTER OPTIONS (2500 PSI):

- 24" DIA x 6'-6" DEEP [AUGERED]
- 3'-9" SQ x 3'-0" DEEP [SPREAD, W/ (3) #5 BARS EACH WAY, TOP+BOT]

STRUCTURAL NOTES: ASSEMBLY PER NEC 600-3

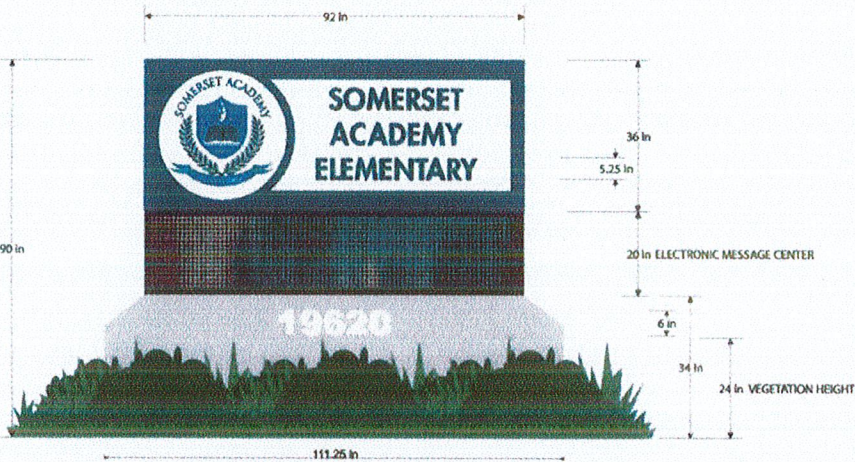
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Signage: Monument
Illumination: LED
Illumination Color: White
Size: 92" x 36"
Total Sq. Footage: 23 sq ft
Color: As Shown
Install: Yes

CONTRACTOR OF RECORD

Signarama

DEERFIELD BEACH
LICENSED & INSURED
customerservice@signaramadeerfield.com
1101 S. Powerline Rd. Ste 104
Deerfield Beach, FL 33442
(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

Somerset Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

10-30-19

DRAWN BY

JB

SCALE

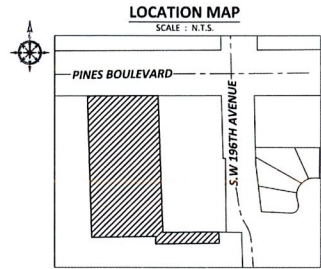
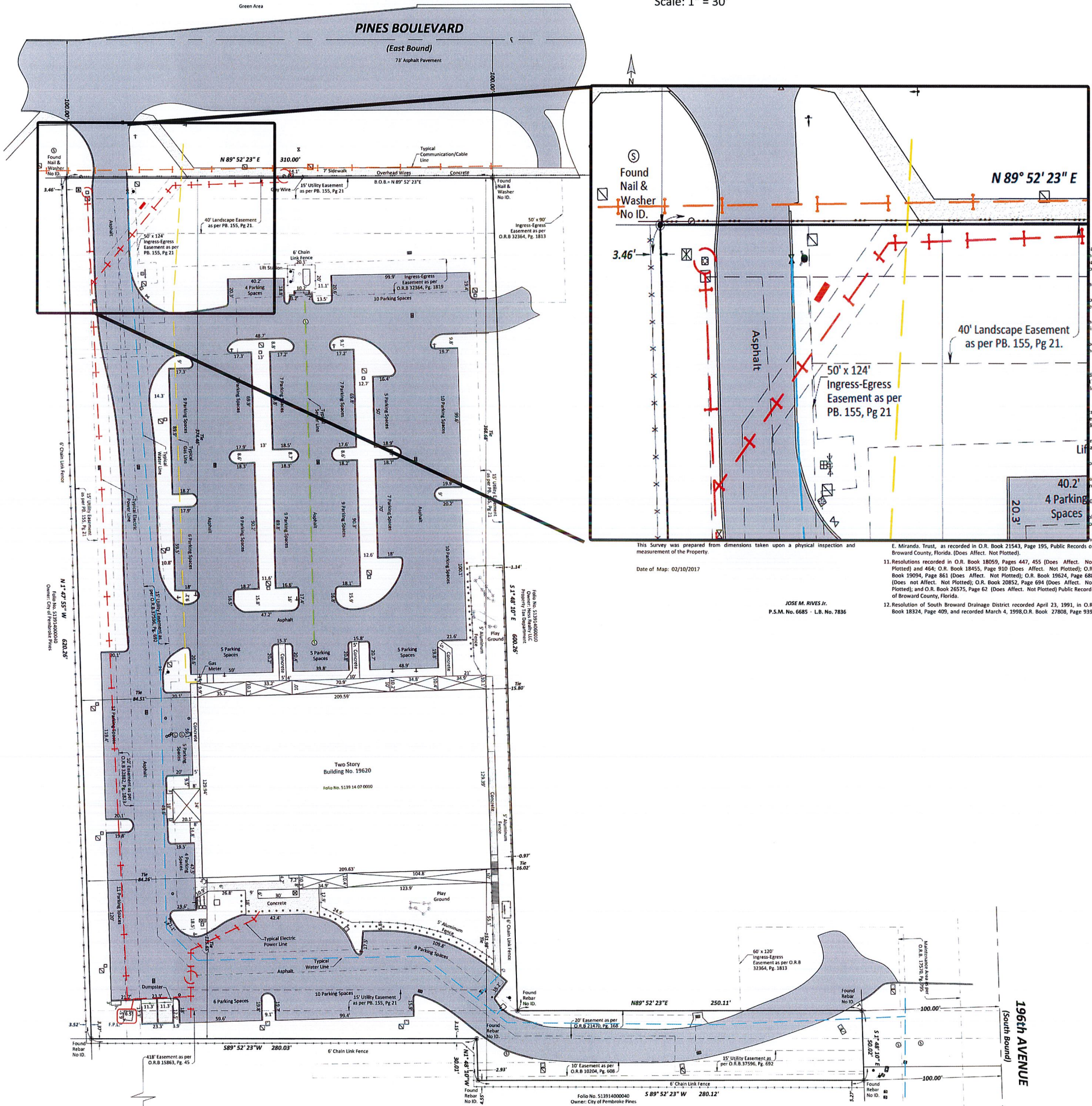
VARIES

ASCE 7-10 WIND LOADS: • Sign Height = 15 ft max
• V=156 mph • Exposure 'C' • Kzt=1.0, Kd=0.85, G=0.85
• Risk Category 1 Structure • ASD Load Coeff = 0.6
Solid freestanding sign at grade: • Cf=1.55 (w/h ratio ≥ 1/2) ± 35.5 psf

General • Design is in accordance with the requirements of the Fla Bldg Code 6th Ed (2017) for use within & outside the High Velocity Hurricane Zone (HVHZ). • This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. • Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. • Structural design meets requirements of ACI 318-14, AISI 360-10, ADM1-15, & NDS-15, as applicable. • Steel components shall be coated, painted, or otherwise protected against corrosion per FBC Sec 2703.2/2222.6. • Alum components in contact with steel or embedded in concrete shall be painted or protected as prescribed in ADM1-15(1a), or plastic/neoprene spacers provided. • All exposed fasteners shall be S.S. or have a protective coating for corrosion protection. • All welding shall comply with AWS requirements. • Steel welds: E70xx electrodes. • Aluminum welds: 4043 filler alloy. • Alum extrusions: 6063-T6 or stronger, U.N.O.

ALTA / NSPS LAND TITLE SURVEY

Scale: 1" = 30'



- Public Records of Broward County, Florida. (Does Affect. Not Plotted)
13. Easement contained in instrument recorded October 12, 1988, in O.R. Book 15863, Page 45, as partially released by instrument recorded in O.R. Book 42868, Page 1413, Public Records of Broward County, Florida. (Does Affect. Not Plotted)
14. Drainage Easement recorded in instrument recorded December 6, 1993, O.R. Book 21470, Page 168, Public Records of Broward County, Florida. (Does Affect. Plotted)
15. Private Roadway Rights described in Warranty Deeds recorded in O.R. Book 24772, Page 512 (Does Affect. Plotted), and O.R. Book 27180, Page 897 (Does Affect. Not Plotted), Public Records of Broward County, Florida.
16. South Broward Drainage District Resolution No. 2006-06 recorded in O.R. Book 31125, Page 1114, Public Records of Broward County, Florida. (Does Affect. Not Plotted)
17. Easement for ingress and egress over/along the Northerly portion of captioned property as shown on the plat of 196 Pines Plaza 1st Addition, recorded in Plat Book 155, Page 21, as recorded in O.R. Book 32364, Page 1810, Public Records of Broward County, Florida, which contain provisions creating easements and/or assessments. (Does Affect. Plotted)
18. Easement in favor of Florida Power and Light Company over the East 10 feet of the West 35 feet of the property as shown on the Plat of 196 Pines Plaza 1st Addition as recorded in Plat Book 155, Page 21, recorded in O.R. Book 32882, Page 1823, Public Records of Broward County, Florida. (Does Affect. Plotted)
19. Water and Sewer Easement with the City of Pembroke Pines recorded in O.R. Book 37396, Page 692, Public Records of Broward County, Florida. (Does Affect. Plotted)
20. Rights of tenants under unrecorded leases.

2ND BENCHMARK INFORMATION:

IDENTIFICATION	REVISIONS
1. Metal Pole	1. Concrete Power Pole
2. Fire Hose	2. Fire Hose
3. Metal Pole	3. Metal Pole
4. Clear Out	4. Clear Out
5. Electric Box	5. Electric Box
6. Back Flow Valve	6. Back Flow Valve
7. Water Meter	7. Water Meter
8. Sign	8. Sign
9. Cable Box	9. Cable Box
10. Concrete Light Pole	10. Concrete Light Pole
11. Electric Box	11. Electric Box
12. Fire Hydrant	12. Fire Hydrant
13. Manhole	13. Manhole

LEGEND AND ABBREVIATIONS:

LEGEND AND ABBREVIATIONS
NTS - NOT TO SCALE
PL - PLAT BOOK
PG - PAGE
NO. - NUMBER OF BEARINGS
C - CENTER LINE
PT - PLAT

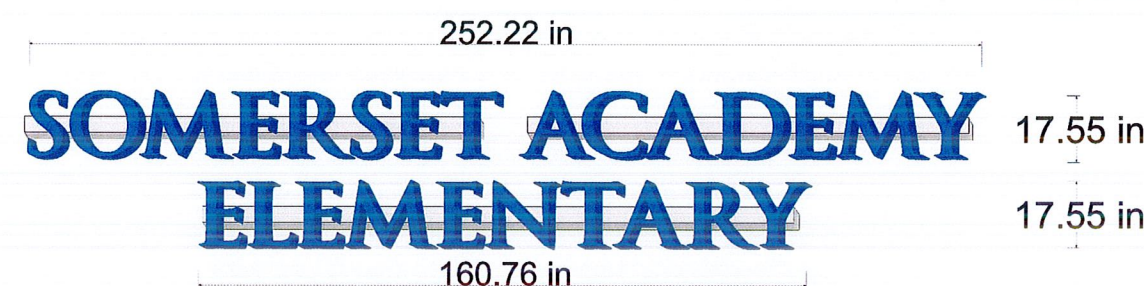
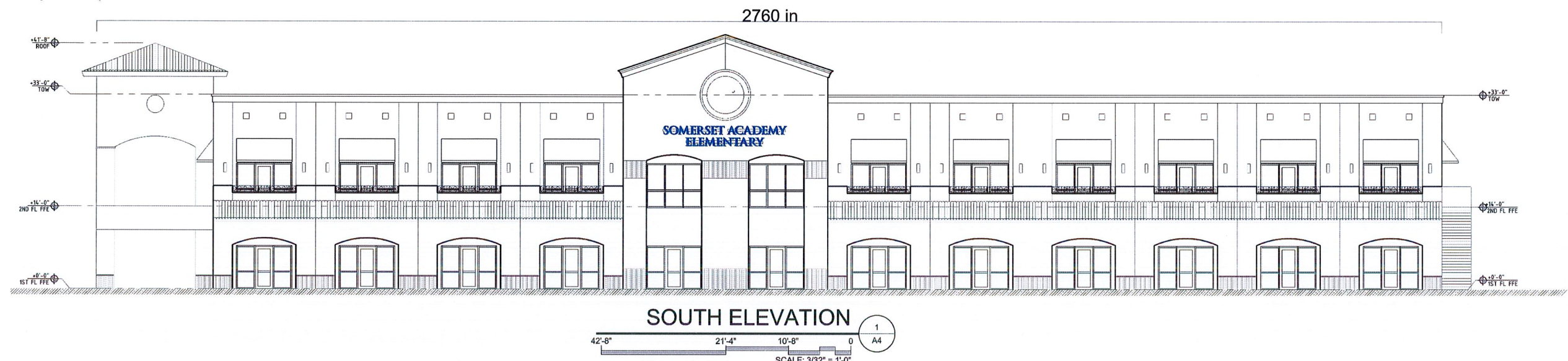
THIS IS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.

CERTIFICATION:
I, **JOSE M. RIVES JR.**, a duly Licensed Professional Surveyor, do hereby certify that the foregoing is a true and correct copy of the original survey as shown on the plat of 196 Pines Plaza 1st Addition, recorded in Plat Book 155, Page 21, as recorded in O.R. Book 32364, Page 1810, Public Records of Broward County, Florida.

ADDRESS: 19620 PINES BOULEVARD, PEMBROKE PINES, FL 33029

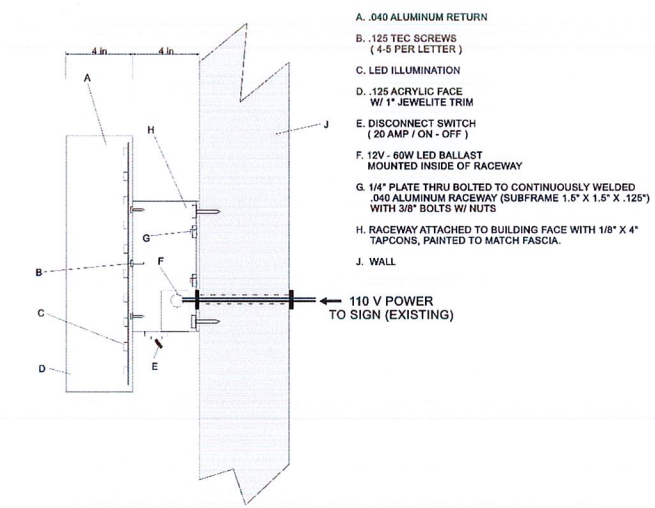
SCALE: 1" = 30'
DATE: 02-10-2017
PROJECT NO.: 170041

SHEET: 1
OF 1 SHEET(S)
DATE: 02-10-2017
PROJECT NO.: 170041



Signage: Channel Letters and Raceway
Illumination: LED
Illumination Color: White
Size: 17.55"
Total Sq. Footage: 57.03 sq ft

Frontage: 230'
Face Color: Blue
Trim Color: Blue
Return Color: Blue
Install: Yes



STRUCTURAL NOTES:
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ASSEMBLY PER NEC 600-3

ANCHORS: TO BE ITW BUILDEX, ELCO TAPCON, POWERS, RAWL, OR MFR. RATED EQUAL. 10x ANCHOR DIAMETER SPACING IS REQUIRED BETWEEN ANCHORS AND EDGE OF CONC. MIN. IF UNSPECIFIED, A 24" MAX O.C. SPACING OF ANCHORS SHALL BE USED + EACH CORNER. WOOD ANCHORS TO BE NON-CORROSIVE GRADE 2 OR GRADE 5 LAG BOLTS OR EQ, 3/4" MIN. ED. #2 SOUTHERN YELLOW PINE MINIMUM USED IN ALL WOOD CALCULATIONS. THROUGH BOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.N.O. MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO, FINISHES, OR SHIM SPACING. STRUCTURAL BOLTS TO BE A325, GRADE 5, A 2" MAX EXPOSED SHANK IS TO BE USED U.N.O. HOST STRUCTURE IS BY OTHERS AND SHALL BE DESIGNED TO CARRY LOADS BY PROPOSED SIGN. THIS ENGINEER HAS NOT VISITED THE JOBSITE. DESIGN IS BASED ON CONTRACTOR SUPPLIED DATA. IF ANY FIELD CONDITIONS THEN SPECIFIED HEREIN, THIS ENGINEER SHALL BE NOTIFIED



ELECTRICAL NOTES:
ALL ELECTRICAL DESIGN AND EXISTING PRIMARY ELECTRICAL IS BY OTHERS AND IS NOTED FOR REFERENCE ONLY AND NOT PART OF CERTIFICATION. WORK SHALL BE APPROVED AND INSTALLED BY A LICENSED PROFESSIONAL. ALL ELECTRICAL COMPONENTS SHALL BE U/L LISTED AND SHALL COMPLY WITH THE GOVERNING EDITION OF THE NATIONAL ELECTRIC CODE IN EFFECT AT THE TIME OF PERMIT APPLICATION. SIGN SHALL BE GROUNDED IN ACCORDANCE WITH GOVERNING CODES. ALL BREAKER AND TIMING DEVICES SHALL BE IDENTIFIED AT TIME OF INSTALLATION.

PROPOSED CONDITIONS

All Designs Are The Property Of Sign A Rama Deerfield Beach, And May Not Be Duplicated Without Permission.

CONTRACTOR OF RECORD

Signarama

DEERFIELD BEACH
STATE LICENSED & INSURED
ES12001572

customerservice@signaramadeerfield.com
4716 North Powerline Road
Deerfield Beach, FL 33073
(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

Somerset Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

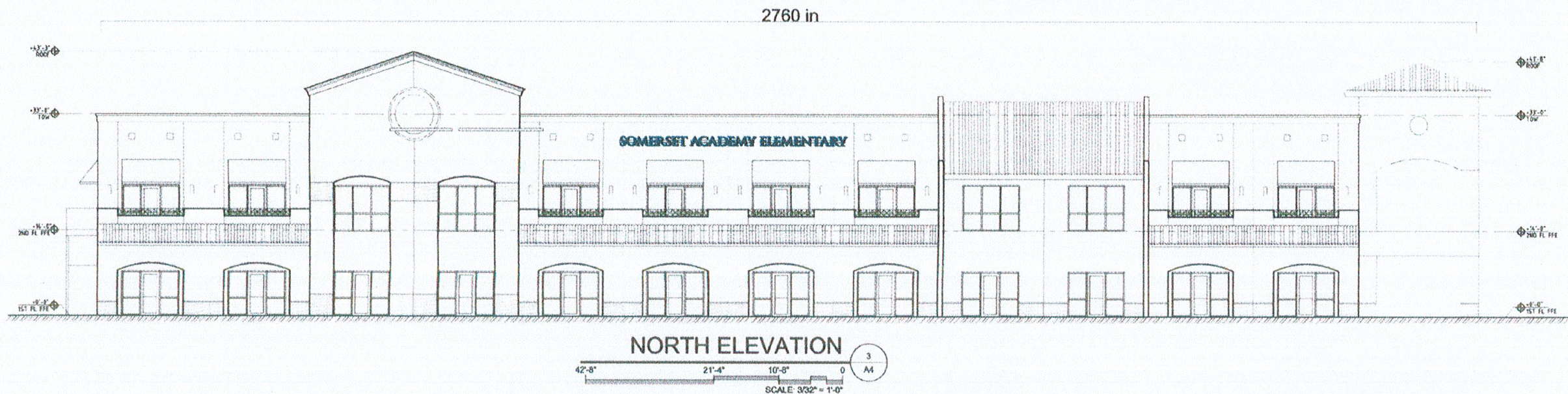
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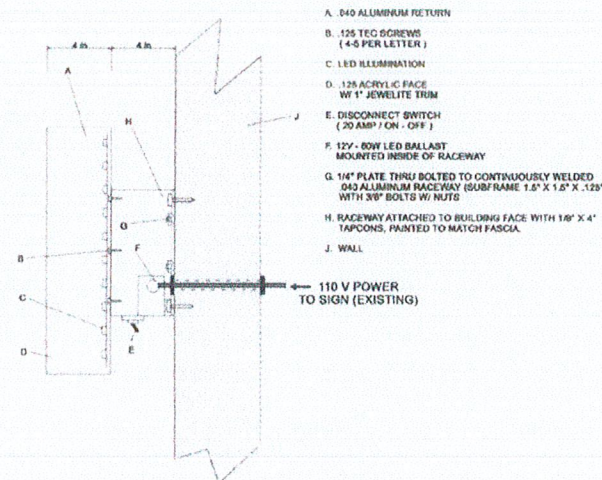
SCALE

VARIES



19 in SOMERSET ACADEMY ELEMENTARY

Signage: Channel Letters and Raceway
Illumination: LED
Illumination Color: White
Size: 19"
Total Sq. Footage: 59.97 sq ft
Frontage:
Face Color: Blue
Trim Color: Blue
Return Color: Blue
Install: Yes



STRUCTURAL NOTES:

ASSEMBLY PER NEC 600-3

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Deerfield Beach, FL 33073

(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

**Somerset
Academy**

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

10-22-19

DRAWN BY

GB

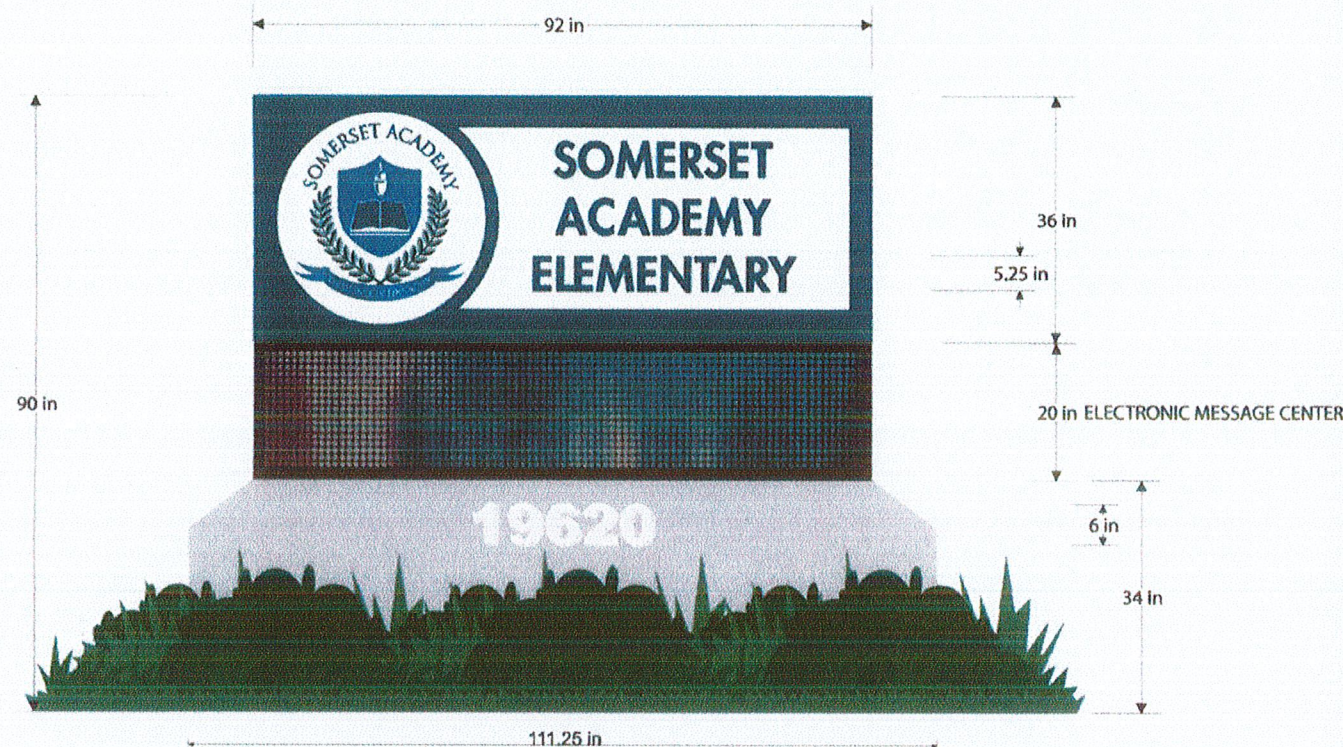
SCALE

VARIES

ASCE 7-10 WIND LOADS:
• Sign Height = 30 ft max
• V=170 mph • Exposure C
• Risk Category 2 Structure

Wall components & cladding:
• Zone 4: ± 40.8 psf
• Zone 5: ± 51.9 psf

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Signage: Monument
Illumination: LED
Illumination Color: White
Size: 92" x 36" w/ 92" x 20" EMC & 111.25" x 34"
Total Sq Footage: 57.5 sq ft
Sign Sq Footage: 23 sq ft
EMC Sq Footage: 12.78 sq ft
Color: As Shown
Install: Yes



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STATE LICENSED & INSURED

ES12001572

customerservice@signaramadeerfield.com

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Deerfield Beach, FL 33073

(954) 428-SIGN (7446)

(954) 428-2634 (FAX)

CUSTOMER

Somerset
Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

11-5-19

DRAWN BY

GB

SCALE

VARIES

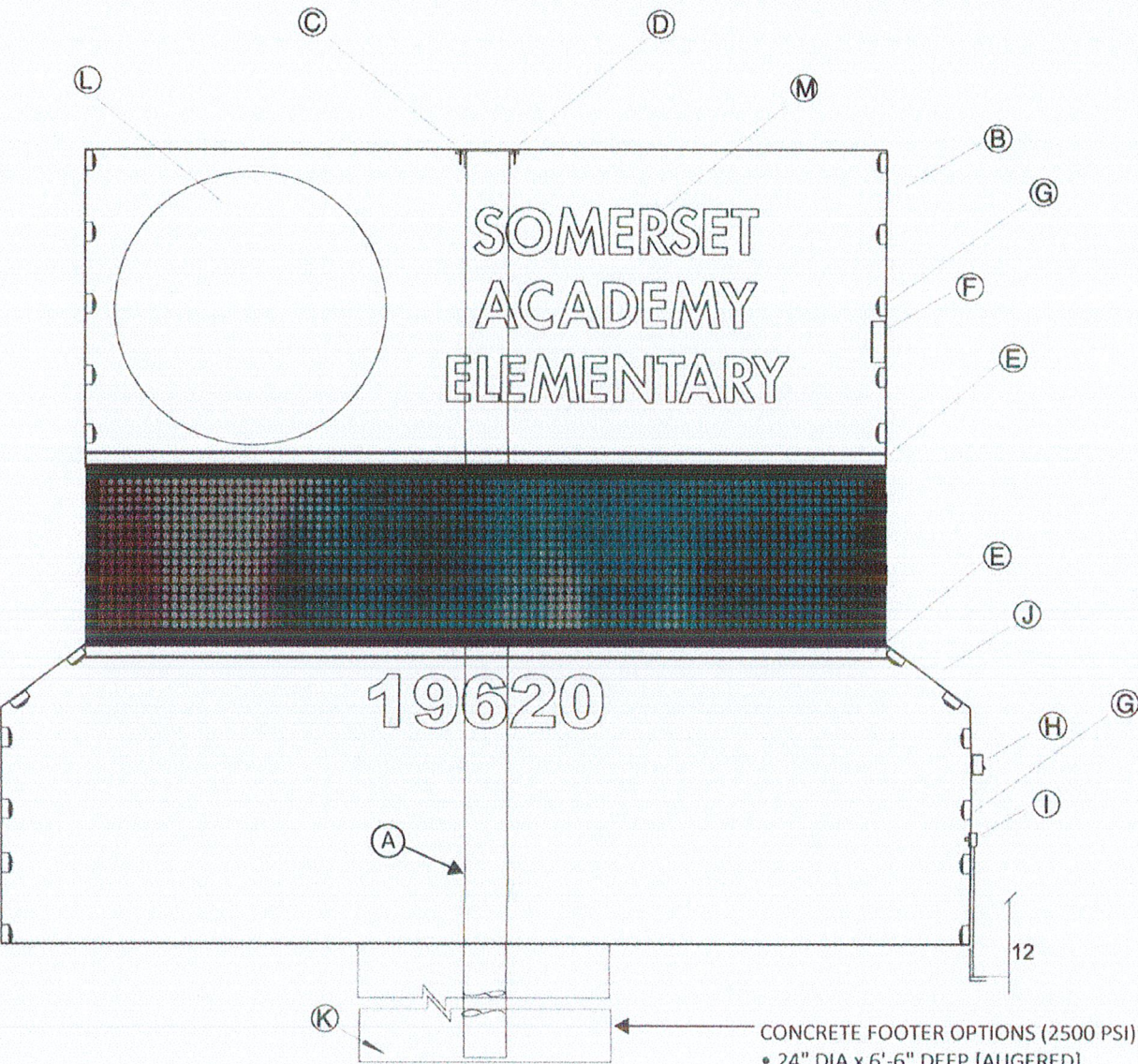
Easy
Seals

Christian Langley
1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113

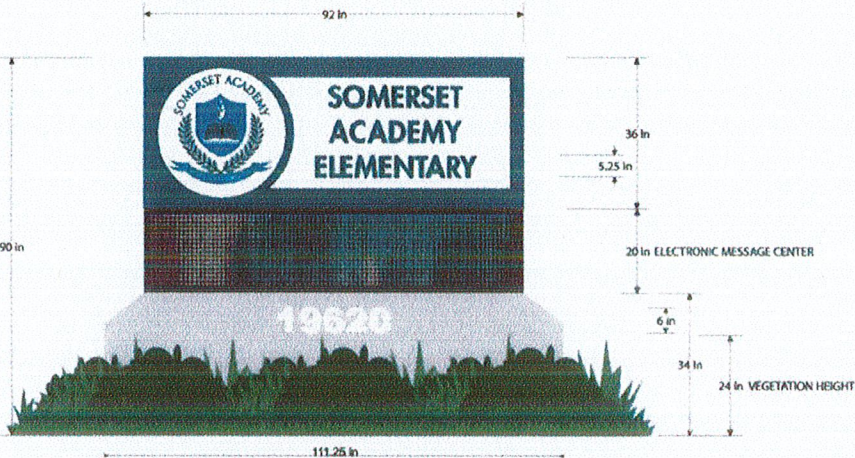
Solid freestanding sign at grade:
• Cf=1.55 (w/h ratio ≥ 1/2)
• ASD Load Coeff = 0.6

ASCE 7-10 WIND LOADS:
• Sign Height = 15 ft max
• V=156 mph • Exposure 'C'
• Risk Category 1 Structure

Proposed Conditions (Engineering)



- (A) STEEL TUBING 6" SCHED 40
- (B) 2"x1/8" SQUARE TUBE CONSTRUCTION WITH .090 ALUM SKIN.
- (C) WELDED STEEL ANGLE SADDLES 1 1/2 X 1 1/2 X 1/4"
- (D) SADDLES FASTEN TO CABINET FRAME W/ 5/16" TYPICAL NUT & BOLT
- (E) 2"x2"x3/16" ALUM ANGLE CONSTRUCTION WITH .090 SKIN. EMC BOLTS TO FRAME
- (F) HIGH OUTPUT RAPID START BALLAST
- (G) LED LIGHTING
- (H) CARLING SERVICE SWITCH W/BOOT AND STICKER INDICATING DISCONNECT SWITCH
- (I) BELL BOX-W/P & 1-20 MAP. D/S W/P 1" RIGID TO PRIMARY BY OTHERS AS PER NEC 600 21
- (J) 2"x1/8" SQUARE TUBE CONSTRUCTION WITH .090 ALUM SKIN.
- (K) EXISTING MIX GRAVE CONCRETE FOOTING
- (L) 3/16" ACRYLIC RIVETED TO ROUTED ALUMINUM
- (M) 1/4" ACRYLIC PUSH THRU RIVETED TO ROUTED ALUMINUM



Signage: Monument
Illumination: LED
Illumination Color: White
Size: 92" x 36"
Total Sq. Footage: 23 sq ft
Color: As Shown
Install: Yes

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ASSEMBLY PER NEC 600-3

CONCRETE FOOTER OPTIONS (2500 PSI):
• 24" DIA x 6'-6" DEEP [AUGERED]
• 3'-9" SQ x 3'-0" DEEP [SPREAD, W/ (3) #5 BARS EACH WAY, TOP+BOT]



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CHRISTIAN LANGLEY
LICENSE
No. 67382

CONTRACTOR OF RECORD

Signarama

DEERFIELD BEACH
LICENSED & INSURED
customerservice@signaramadeerfield.com
1101 S. Powerline Rd. Ste 104
Deerfield Beach, FL 33442
(954) 428-SIGN (7446)
(954) 428-2634 (FAX)

CUSTOMER

Somerset Academy

LOCATION

19620 Pines Blvd
Pembroke Pines

DATE

10-30-19

DRAWN BY

JB

SCALE

VARIES

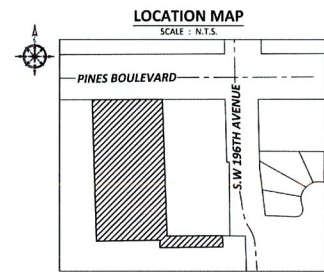
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• Risk Category 1 Structure

Solid freestanding sign at grade:
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• Kzt=1.0, Kd=0.85, G=0.85
• ASD Load Coeff = 0.6

Easy
Seals

Christian Langley
Florida PE #67382
Cert of Auth #31124

Scale: 1" = 30'



- Public Records of Broward County, Florida. (Does Affect, Not Plotted)
13. Easement contained in instrument recorded October 12, 1988, in O.R. Book 15865, Page 45, as partially released by instrument recorded in O.R. Book 42968, Page 145. Public Records of Broward County, Florida. (Does Affect, Not Plotted)
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15. Private Roadway Rights described in Warranty Deeds recorded in O.R. Book 24772, Page 512 (Does Affect, Plotted), and O.R. Book 27180, Page 897 (Does Affect, Not Plotted). Public Records of Broward County, Florida.
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19. Water and Sewer Easement contained in City of Pembroke Pines recorded in O.R. Book 37596, Page 692, Public Records of Broward County, Florida. (Does Affect, Plotted)
20. Rights of tenants under unrecorded leases.

PROJ. NO. 170041		SHEET: 1 OF 1 SHEET(S)		DATE: 02-10-2017	
ADDRESS: 18620 PINES BOULEVARD, PEMBROKE PINES, FL 33029					
FLOOD ZONE INFORMATION: SCALE: 1" = 30' FLOOD ZONE 1 FLOOD ZONE 2 FLOOD ZONE 3 FLOOD ZONE 4 FLOOD ZONE 5 FLOOD ZONE 6 FLOOD ZONE 7 FLOOD ZONE 8 FLOOD ZONE 9 FLOOD ZONE 10 FLOOD ZONE 11 FLOOD ZONE 12 FLOOD ZONE 13 FLOOD ZONE 14 FLOOD ZONE 15 FLOOD ZONE 16 FLOOD ZONE 17 FLOOD ZONE 18 FLOOD ZONE 19 FLOOD ZONE 20 FLOOD ZONE 21 FLOOD ZONE 22 FLOOD ZONE 23 FLOOD ZONE 24 FLOOD ZONE 25 FLOOD ZONE 26 FLOOD ZONE 27 FLOOD ZONE 28 FLOOD ZONE 29 FLOOD ZONE 30 FLOOD ZONE 31 FLOOD ZONE 32 FLOOD ZONE 33 FLOOD ZONE 34 FLOOD ZONE 35 FLOOD ZONE 36 FLOOD ZONE 37 FLOOD ZONE 38 FLOOD ZONE 39 FLOOD ZONE 40 FLOOD ZONE 41 FLOOD ZONE 42 FLOOD ZONE 43 FLOOD ZONE 44 FLOOD ZONE 45 FLOOD ZONE 46 FLOOD ZONE 47 FLOOD ZONE 48 FLOOD ZONE 49 FLOOD ZONE 50 FLOOD ZONE 51 FLOOD ZONE 52 FLOOD ZONE 53 FLOOD ZONE 54 FLOOD ZONE 55 FLOOD ZONE 56 FLOOD ZONE 57 FLOOD ZONE 58 FLOOD ZONE 59 FLOOD ZONE 60 FLOOD ZONE 61 FLOOD ZONE 62 FLOOD ZONE 63 FLOOD ZONE 64 FLOOD ZONE 65 FLOOD ZONE 66 FLOOD ZONE 67 FLOOD ZONE 68 FLOOD ZONE 69 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