





City of Pembroke Pines
Planning & Economic Development Department
601 City Center Way 3rd Floor
Pembroke Pines FL, 33025

Summary

Agenda Date:	April 8, 2021	Application ID:	MSC 2021-04
Project:	Verizon Mechanical Equipment Expansion	Project Number:	N/A
Project Planner:	Cole Williams, Planner / Zoning Technician		
Owner:	Verizon Wireless	Agent:	Craig Buechele
Location:	20901 Taft Street		
Existing Zoning:	M-2 (Medium Industrial)	Existing Land Use:	Industrial
Reference Applications:	SP 2016-18, MSC 2015-36, SP 2006-41		
Applicant Request:	Expansion of the existing mechanical equipment yard.		
Staff Recommendation:	Approval		
Reviewed for the Agenda:	Director: <u></u> Planning Administrator: <u></u>		
Final:	<input checked="" type="checkbox"/> Planning & Zoning Board <input type="checkbox"/> City Commission		

Project Description / Background

Craig Buechele, agent, is requesting approval for the expansion of the existing mechanical equipment yard on western side of the building at Verizon Wireless Switch Building located at 20901 Taft Street.

The existing Verizon Wireless Switch Building was approved in the late 2006 (SP 2006-41). Expansions to the exterior mechanical equipment yard were approved in both 2015 (MSC 2015-36) and 2016 (SP 2016-18). In 2017, staff issued LP 2017-21 for the addition of landscape material including an increased buffer on the eastern side of the site. During the building permit process staff will inspect the existing landscaping to ensure the site is compliant with the previously approved permit.

BUILDINGS / STRUCTURES:

The proposed expansion 3,050 (50' x 61') square foot expansion will accommodate additional exterior HVAC equipment. The mechanical equipment will be enclosed by an 8'-11" tall masonry walls with metal grated gates to match the existing design

No other modifications are proposed at this time.

Staff has reviewed the proposed changes and finds that the proposal meets code requirements. Staff therefore recommends approval of this application.

Staff Recommendation: Approval.

Enclosed:

- Miscellaneous Plan Application
- Memo from Planning Division (3/24/21)
- Memo from Landscape Division (3/24/21)
- Memo from Planning Division (3/16/21)
- Memo from Zoning Administrator (3/16/21)
- Memo from Engineering Division (3/16/21)
- Memo from Fire Prevention Bureau (3/15/21)
- Memo from Landscape Division (3/15/21)
- Miscellaneous Plan
- Subject Site Aerial Photo



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development
City Center - Third Floor
601 City Center Way
Pembroke Pines, FL 33025
Phone: (954) 392-2100
<http://www.ppines.com>

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

Pre Application Meeting Date: _____

Plans for DRC _____ Planner: _____

Indicate the type of application you are applying for:

- | | |
|---|---|
| <input type="checkbox"/> Appeal* | <input type="checkbox"/> Sign Plan |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan* |
| <input type="checkbox"/> Delegation Request | <input type="checkbox"/> Site Plan Amendment* |
| <input type="checkbox"/> DRI* | <input type="checkbox"/> Special Exception* |
| <input type="checkbox"/> DRI Amendment (NOPC)* | <input type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation | <input type="checkbox"/> Variance (Multifamily, Non-residential)* |
| <input type="checkbox"/> Interpretation* | <input type="checkbox"/> Zoning Change (Map or PUD)* |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text) |
| <input checked="" type="checkbox"/> Miscellaneous | <input type="checkbox"/> Zoning Exception* |
| <input type="checkbox"/> Plat* | <input type="checkbox"/> Deed Restriction |

INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with *).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with *).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

Staff Use Only

Project Planner: Cole Project #: PRJ 20 N/A Application #: MSC 2021-04
03/08/21 Plan & UOA
Date Submitted: 03/11/21 Fees: \$1,040
Posted Signs Required: (N/A)

SECTION 1-PROJECT INFORMATION:Project Name: MIAMI MSC MEC EXPANSION PARTNER 2Project Address: 20901 TAFT STREET PEMBROKE PINES, FL 33029Location / Shopping Center: 20901 TAFT STREET PEMBROKE PINES, FL 33029Acreage of Property: 3.85 ACRES Building Square Feet: 44,083 SFFlexibility Zone: _____ Folio Number(s): 513910060010Plat Name: _____ Traffic Analysis Zone (TAZ): 816

Legal Description:

INDUSTRIAL MIXED USE (TELECOMMUNICATIONS FACILITY)

Has this project been previously submitted?

☒ Yes☐ No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval
10/28 2015	97235	MECHANICAL YARD EXPANSION	APPROVED		N/A

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: TIMOTHY MITCHELL

Owner's Address: 15340 PARK OF COMMERCE BLVD JUPITER, FL 33478

Owner's Email Address: TIM.MITCHELL@VERIZONWIRELESS.COM

Owner's Phone: 561 691 6121 Owner's Fax:

Agent: EDWARD MARTELLA (TECTONIC ENGINEERING & SURVEYING CONSULTANTS P.C.)

Contact Person: CRAIG BUECHELE CELL: 845-204-5449

Agent's Address: 3951 WESTERRE PKWY, SUITE 160 HENRICO, VA 23233

Agent's Email Address: EFMARTELLA@TECTONICENGINEERING.COM

Agent's Phone: 845-567-6656 EXT 2851 Agent's Fax: 845-567-8703

All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.

SECTION 3- LAND USE AND ZONING INFORMATION:

EXISTING

Zoning:

Land Use / Density:

Use:

Plat Name:

Plat Restrictive Note:

PROPOSED

Zoning:

Land Use / Density:

Use:

Plat Name:

Plat Restrictive Note:

ADJACENT ZONING

North:

South:

East:

West:

ADJACENT LAND USE PLAN

North:

South:

East:

West:

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: _____

Code Section: _____

Required: _____

Request: _____

Details of Variance, Zoning Appeal, Interpretation Request:

SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: _____

Requested City Land Use: _____

Existing County Land Use: _____

Requested County Land Use: _____

SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)

EXPANSION OF THE EXISTING EXTERIOR MECHANICAL CORRAL. THE CORRAL EXPANSION AREA SHALL BE 61 FT BY 50 FT IN SIZE AND WILL BE LOCATED TO THE NORTH OF THE EXISTING MECHANICAL CORRAL ALONG THE WEST EDGE OF THE EXISTING TELECOMMUNICATIONS FACILITY.

THE EXISTING AND PROPOSED MECHANICAL CORRAL SPACE WILL BE AN UNMANNED EQUIPMENT AREA.

THE NEW CORRAL WILL UTILIZE THE EXISTING COURTYARD NORTH WALL AS SOUTH WALL OF THE NEW EXPANSION.

THE NEW MECHANICAL CORRAL WALLS SHALL CONSIST OF 8 INCH REINFORCED AND GROUTED CMU BLOCK WITH A 4 INCH BRICK FAÇADE AND WILL BE 9'-6" IN HEIGHT TO MATCH THE EXISTING CORRAL WALLS.

THE NEW MECHANICAL CORRAL WILL HAVE A METAL GRATING ROOF SUPPORTING BY NEW STEEL FRAMING. ALL OF THE NEW STEEL AND GRATING WILL BE HEAVY DUTY GALVANIZED.

THE CORRAL WALL WILL BE SUPPORTED BY CAST-IN-PLACE CONCRETE STRIP FOOTINGS. THE FOOTINGS WILL BE INSTALLED AT A DEPTH OF 2'-8" AND SHALL BE 4'-8" IN WIDTH.

THE NEW CORRAL EXPANSION IS DESIGNED TO ENCLOSE UP TO TEN (10) NEW HVAC CONDENSER UNITS WHICH SHALL BE MOUNTED TO NEW 6 INCH THICK CONCRETE PADS. THE NEW CONDENSER UNITS WILL BE CONCEALED BY THE NEW CORRAL WALLS.

THE FLOOR OF THE MECHANICAL CORRAL WILL CONSIST OF GRAVEL SO NO SIGNIFICANT ADDITIONAL IMPERVIOUS SURFACING IS BEING ADDED.

A 30 FT X 70 FT TEMPORARY CONSTRUCTION STAGING AREA WILL BE PROVIDED WITHIN THE EXISTING PARKING LOT ADJACENT TO THE MECHANICAL CORRAL.

NO EXTERIOR LIGHTING WILL BE ADDED OR MODIFIED UNDER THIS PROPOSED INSTALLATION.

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]

3-12-21

Signature of Owner

Date

Sworn and Subscribed before me this 12 day

of March, 2021

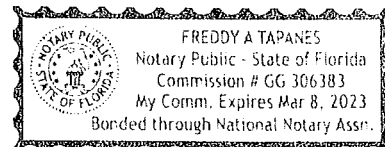
[Signature]

03/08/2023

Fee Paid

Signature of Notary Public

My Commission Expires



AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature]

3/10/21

Signature of Agent

Date

Sworn and Subscribed before me this 10 day

of March, 2021

NA

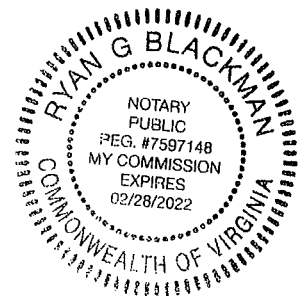
[Signature]

2/28/2022

Fee Paid

Signature of Notary Public

My Commission Expires



PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: March 24, 2021
To: MSC 2021-04 file
From: Cole Williams, Planner / Zoning Technician
Re: Verizon

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

ALL COMMENTS REGARDING THIS APPLICATION HAVE BEEN ADDRESSED

MEMORANDUM

March 24, 2021

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner/ Designer

Re: (MSC 2021-04) Verizon

The City of Pembroke Pines Planning Division has conducted a landscape review on the plans provided for Verizon. The following items need to be addressed prior to this project being found in compliance:

No landscape comments at this time.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Please consider the environment before printing this email.

Kristen Jensen

Landscape Planner/ Designer

Planning and Economic Development Division

City of Pembroke Pines

954.392.2107 (Office) • kjensen@ppines.com

Please consider the environment before printing this email.

PLANNING DIVISION STAFF COMMENTS

Memorandum:

Date: March 16, 2021
To: MSC 2021-04 file
From: Cole Williams, Planner / Zoning Technician
Re: Verizon

Items which do not conform with the City of Pembroke Pines Code of Ordinances or other Governmental Regulations:

1. Provide material board for all paint chips and materials to be used. Chips and materials must be physical samples
 2. Provide confirmation from the County that the proposed is consistent with the plat.
-

MEMORANDUM

March 16, 2021

To: Cole Williams
Planning/Zoning Technician

From: Dean A. Piper
Zoning Administrator

Re: MSC 2021-04 (Verizon – Mechanical Corral Expansion)

Zoning has no comments regarding the above Miscellaneous Plan.

**CITY OF PEMBROKE PINES
PUBLIC SERVICES DEPARTMENT
ENVIRONMENTAL SERVICES/ENGINEERING DIVISION**

DRC REVIEW FORM



March 16, 2021

PROJECT: *VERSION EQUIPMENT YARD EXPANSION (20901 TAFT STREET)*
CITY REFERENCE NUMBER: *MSC 2021-04*

To: Cole Williams, Planning and Zoning Technician
Planning and Economic Development Department

From: John L. England, P.E.
Environmental Services/Engineering Division, Public Services Department
(954) 518-9046

RECOMMENDATIONS:

The Environmental Services/Engineering Division takes 'No Exception' to the proposed Equipment Yard Expansion improvements and the proposed project is hereby recommended for 'Consideration' by the Planning and Zoning Board.

NOTE that an Engineering Permit is required for construction of the proposed site improvements. Submittal of appropriate signed and sealed plans to scale and reflective of the existing site conditions and proposed equipment yard improvements along with the Plans Review Fee will be required, as a minimum, by the Environmental Services/Engineering Division for acceptance of the proposed project for initiation of the plans review for Construction Permit. A permit or email indicating 'No Permit Required' from the South Broward Drainage District must also be provided prior to Engineering Permit issuance.

DRC REVIEW FORM

**PEMBROKE PINES FIRE RESCUE
FIRE PREVENTION BUREAU**

FIRE PLANS EXAMINED BY: Brian Nettina, Prevention Captain
bnettina@ppines.com
(954) 499-9557

PROJECT NAME: Verizon Expansion
REFERENCE #: MSC 2021 - 04
DATE REVIEWED: 03/15/2021

CONFORMS TO THE CITY OF PEMBROKE PINES FIRE DEPARTMENT STANDARDS

YOU HAVE SATISFIED THE FIRE DEPARTMENT'S CONCERNS REGARDING THE SITE PLAN REVIEW

MEMORANDUM

March 15, 2021

To: Cole Williams
Planner & Zoning Specialist

From: Kristen Jensen
Landscape Planner/ Designer

Re: (SP2021-04) Verizon

The City of Pembroke Pines Planning Division has conducted a landscape review on the plans provided for Verizon. The following items need to be addressed prior to this project being found in compliance:

1. Please provide landscape plans.
2. Irrigation check will take place at the time of installation. Please make sure all irrigation is working.

Plant diversification is important for the project in order to sustain a healthy and vigorous landscape. It is also required that projects utilize best management practices set by Florida Friendly Landscape Standards.

Please contact me with any questions.

Please consider the environment before printing this email.

Kristen Jensen

Landscape Planner/ Designer
Planning and Economic Development Division
City of Pembroke Pines
954.392.2107 (Office) • kjensen@ppines.com
Please consider the environment before printing this email.

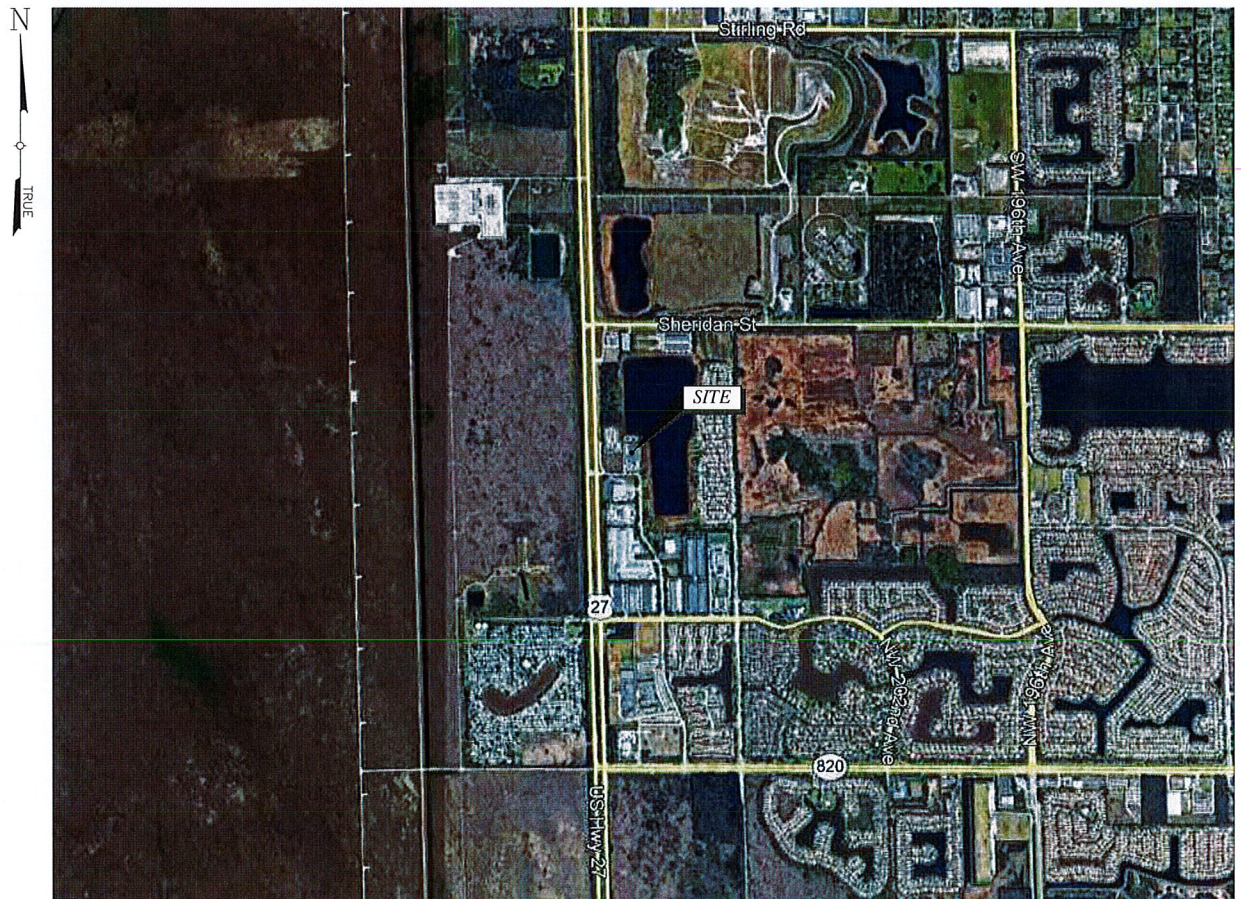




MIAMI MSC
MEC EXPANSION PARTNER 2
PLANNING AND ZONING COMMISSION

20901 TAFT STREET
PEMBROKE PINES, FL 33029

MARCH 19, 2021



LOCATION MAP (NTS)

TABLE OF CONTENTS		
SHEET NO.	DESCRIPTION	REVISION
T100	TITLE SHEET	1
V101	EXISTING SITE PLAN	1
CD100	DEMOLITION PLAN	1
C100	PROPOSED OVERALL SITE PLAN	1
C101	PROPOSED ENLARGED SITE PLAN	1
L100	EXISTING LANDSCAPING PLAN	1
L501	PLANT INSPECTION AND PLANTING DETAILS	1
L502	PLANT CORRECTION DETAILS	1
L503	TREE PROTECTION AND STAKING DETAILS	1
IR100	EXISTING IRRIGATION PLAN	1
A210	FACILITY ELEVATIONS	1
A210A	COLOR ELEVATIONS	1

Site Data	
PROPERTY LOCATION:	THE PROPERTY, 3.85 AC. PARCEL A INCLUDES 0.15 AC. OF CONSERVATION EASEMENT ON SITE PLUS 1.40 AC. OF CONSERVATION EASEMENT ADJACENT TO PARCEL A AND AT&T PROPERTY TOTAL CONSERVATION EASEMENT = 1.55 AC.) IS LOCATED IN WESTERN BROWARD COUNTY WITHIN SECTION 1
PARCEL ID NO.:	513810060910
DESIGN STANDARDS:	CITY OF PEMBROKE PINES AND VERBON
ZONING:	M-2, MEDIUM INDUSTRIAL DISTRICT
LAND USE:	INDUSTRIAL
EXISTING USES AND STRUCTURES:	A 44,083 GSF (ADMINISTRATIVE AREA = 8,150 SF; CONTROL = 1,457 SF; TELCOMM EQUIPMENT & SUPPORT AREA = 25,575 SF; RECEIVING = 2,981 SF; WALLS & STRUCTURE AREA = 5,920 SF), ONE-STORY BRICK VENEER AND LOAD BEARING CONCRETE MASONRY AND STEEL FRAMED BUILDING
PROPOSED USES AND STRUCTURES:	EXTERIOR MECHANICAL CORRAL
IMPERVIOUS RATIO, BLDG. COVERAGE, AND F.A.R.:	IMPERVIOUS: 65,087 SF = 35% OF 3.85 AC PERVIOUS: 58,653 SF = 35% OF 3.85 AC BLDG COVERAGE: 44,083 SF = 26% OF 3.85 AC LOT: 167,823 SF (3.85 AC) F.A.R. = 0.263 (NO CHANGE)
PERMANENT GROUND SIGN:	NO MONUMENT OR GROUND SIGNS ARE PROPOSED
PARKING CALCULATIONS:	
PARKING SPACES REQUIRED:	3.5 SP/1000 SF FOR OFFICE AREA
FOR ADDITIONAL PARKING INFO, REFER TO PARKING CALCS ON SHEET L110.	
ADMINISTRATIVE (OFFICE AREA IN Square Feet)	8,150 SF @ 3.5SP/ 1000 SF = 28 SPACES
Control	1,457 SF @ 3.5SP/ 1000 SF = 5 SPACES
Receiving	2,981 SF @ 1SP / 1000 SF = 3 SPACES
TOTAL SPACES REQUIRED PER CITY	36 SPACES, (3 ACCESSIBLE = 33 STD)
ALL PARKING SPACES ARE EXISTING. NO NEW PARKING SPACES ARE PROPOSED/REQUIRED. CALCULATIONS PROVIDED EXCLUDE TELECOM AND SUPPORT / STORAGE AREAS IN THE FACILITY DUE TO THE USE OF THESE AREAS AS UNOCCUPIED AREAS, USED ONLY FOR TELECOMMUNICATIONS EQUIPMENT AND STORAGE.	
TOTAL SPACES PROVIDED: 51 SPACES (EXISTING)	
ACCESSIBLE SPACES:	3
STANDARD SPACES:	48
TOTAL SPACES:	51
EOC RV PARKING:	3
PORTABLE GENERATORS:	3
C.O.W.B.:	3
PROPOSED PAVEMENT:	NONE
LANDSCAPING AND FENCING:	NO CHANGE
UTILITIES:	NO CHANGE - EXISTING POTABLE WATER AND SANITARY SEWER SERVICES ARE PROVIDED BY THE CITY OF PEMBROKE PINES. ON-SITE WATER DISTRIBUTION AND WASTE WATER COLLECTION SYSTEMS ARE PRIVATELY OWNED AND MAINTAINED

ENGINEERING FIRM
TECTONIC ENGINEERING CONSULTANTS,
GEOLIGISTS & LAND SURVEYORS D.P.C.
1279 ROUTE 300
NEWBURGH, NY 12550
PHONE: (845) 567-6656
CONTACT: CRAIG BUECHELE

This drawing was prepared solely for the use of Verizon Wireless and must only be used by Verizon Wireless employees, contractors, and vendors while performing the work shown on this drawing. Any other use of this drawing is forbidden.

SALAS O'BRIEN
10202 Fifth Avenue NE, Suite 300
Seattle, WA 98125
p. 206.547.1940 | f. 206.547.8212
www.kdv.net

Tectonic
TECTONIC ENGINEERING & SURVEYING CONSULTANTS P.C.
70 Pleasant Hill Road Phone: (845) 514-5559
P.O. Box 37 (845) 567-6656
Mountainville, NY 10953 www.tectonicengineering.com
Project Contact: KIM Phone: (845) 567-6656
1279 Route 300
Newburgh, NY 12550

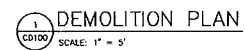
Florida Engineering Certificate of Authorization No.: 8540

MIAMI MSC
MEC EXPANSION PARTNER 2
20901 TAFT STREET
PEMBROKE PINES FL, 33029

REV	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	03/24/2021
2	REVISED PER COMMENTS	03/19/2021

PROJECT NO. 1904102	STAMP
CAD DWG FILE: MAM	
DESIGNED BY: TWB	
DRAWN BY: BRY	
CHECKED BY: EI	
COPYRIGHT: TECTONIC 2021	

SHEET TITLE
TITLE SHEET
SHEET NUMBER
T100



CONTRACTOR TO CALL SUNSHINE STATE
ONE CALL OF FLORIDA, INC AT LEAST (2)
WORKING DAYS PRIOR TO DIGGING. BUT
NOT MORE THAN FIVE (5) DAYS NOTICE.

verizon

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SALAS O'BRIEN
10202 Fifth Avenue NE, Suite 300
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p. 206.547.1940 | f. 206.547.8212
www.kdw.net

Tectonic

Practical Solutions. Exceptional Service.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 534-9559
P.O. Box 37 (800) 479-1631
Middletown, NY 10953 www.tectonicsurveying.com
Project Contact: 1279 Route 300
Newburgh, NY 12550 Phone: (845) 587-8556

Florida Engineering Certificate of Authorization No. 6540

verizon
MIAMI MSC
MEC EXPANSION PARTNER 2
20901 TAFT STREET
PEMBROKE PINES FL, 33029

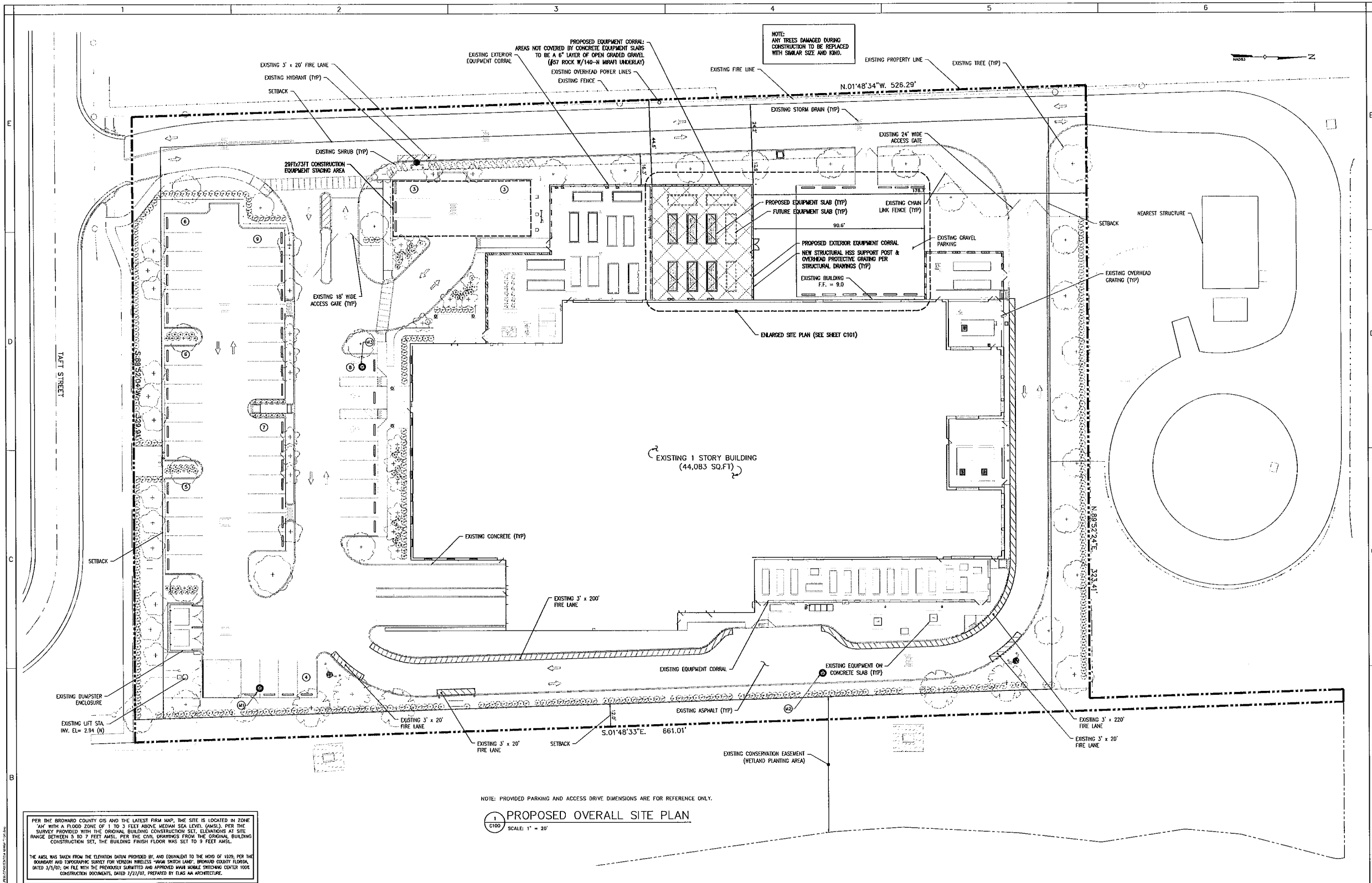
REV	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	03/04/2011
2	REVISED PER COMMENTS	03/19/2011

NETWORK COMPLIANCE SUBMITTALS DATE

PROJECT NO: 104262
DRAWING FILE: MIAM
DESIGNED BY: TVB
DRAWN BY: BWY
CHECKED BY: EI
COPYRIGHT: TECTONIC 2011

SHEET TITLE
PROPOSED OVERALL SITE PLAN

SHEET NUMBER
C-100



NOTE: PROVIDED PARKING AND ACCESS DRIVE DIMENSIONS ARE FOR REFERENCE ONLY.

PROPOSED OVERALL SITE PLAN
SCALE: 1" = 20'

PER THE BROWARD COUNTY GIS AND THE LATEST FIRM MAP, THE SITE IS LOCATED IN ZONE "M1" WITH A FLOOD ZONE OF 1 TO 3 FEET ABOVE MEAN SEA LEVEL (AMSL). PER THE SURVEY PROVIDED WITH THE ORIGINAL BUILDING CONSTRUCTION SET, ELEVATIONS AT SITE RANGE BETWEEN 5 TO 7 FEET AMSL. PER THE CIVIL DRAWINGS FROM THE ORIGINAL BUILDING CONSTRUCTION SET, THE BUILDING FINISH FLOOR WAS SET TO 9 FEET AMSL.

THE AMSL WAS TAKEN FROM THE ELEVATION DATUM PROVIDED BY, AND EQUIVALENT TO THE MOND OF 1929. PER THE BROWARD AND TOWNSHIP SURVEY FOR VERIZON WIRELESS MIAMI SWITCH LANE, BROWARD COUNTY FLORIDA DATED 3/5/07, ON FILE WITH THE PREVIOUSLY SUBMITTED AND APPROVED MIAMI SWITCH CENTER 100% CONSTRUCTION DOCUMENTS, DATED 1/21/09, PREPARED BY ELAS WA ARCHITECTURE.

LEGEND

- EXISTING TREE / TREE
- EXISTING FENCE
- TRAFFIC FLOW DIRECTION
- PROPERTY LINE
- RIGHT OF WAY LINE
- ADJOINING PROPERTY LINE
- SET BACK LINE
- WETLAND BUFFER LINE
- PARKING SPACE TOTAL
- EXISTING ASPHALT
- PROPOSED EQUIPMENT CORRAL

PARKING STALL REQUIREMENTS			
TOTAL BUILDING SQUARE FOOTAGE			44,083
DESIGNATED USE	CRITERIA	CALCULATION	TOTAL
TOTAL REQUIRED PARKING STALLS (INDUSTRIAL)	1 STALL FOR EVERY 1,000 SF	38,124 / 1,000	38.0
TOTAL REQUIRED PARKING STALLS (OFFICE GENERAL)	3.5 STALLS FOR EVERY 1000 SF	5,914 / 1,000	20.0
TOTAL PROVIDED HANDICAP STALLS	(3 HANDICAP SPACES ARE REQUIRED)		3
TOTAL SPACES PROVIDED			51.0

BULK TABLE				
	ALLOWABLE	EXISTING	PROPOSED	± CHANGE
MAXIMUM IMPERVIOUS COVERAGE	---	62.51%	63.05%	+0.54%
LOT AREA	3.853 ACRES	3.853 ACRES	3.852 ACRES	-
LOT WIDTH	329.9 FT	329.9 FT	329.9 FT	-
SIDE YARD	30 FT	30 FT	30 FT	-
FRONT YARD	30 FT	146.5 FT	146.5 FT	-
REAR YARD	30 FT	NA	NA	-
SETBACK FROM RESIDENTIAL ZONE	< 300'	< 300'	< 300'	-
BUILDING HEIGHT	35'±	21'-4"±	21'-4"±	-
BUILDING GROSS FLOOR AREA	---	44,083,000 SF	44,083,000 SF	-
BUILDING GROSS FLOOR AREA RATIO	---	0.263	0.263	-
SUBJECT PROPERTY IS ZONED "M-2 MEDIUM INDUSTRIAL".				
* VARIANCE REQUIRED FOR FRONT YARD SET BACK				

SITE DATA					
PRE DEVELOPMENT DATA			POST DEVELOPMENT DATA		
BUILDING COVERAGE	44,083.000 SF	26.27%	BUILDING COVERAGE	44,083.000 SF	26.27%
CONCRETE	7,491.789 SF	4.46%	CONCRETE	8,397.130 SF	5.00%
ASPHALT	53,337.615 SF	31.78%	ASPHALT	53,337.615 SF	31.78%
OPEN AREA	62,910.667 SF	37.49%	OPEN AREA	62,000.323 SF	36.95%
TOTAL IMPERVIOUS AREA	104,912.401 SF	62.51%	TOTAL IMPERVIOUS AREA	105,822.745 SF	63.05%
TOTAL LOT AREA	167,823.068 SF	100.00%	TOTAL LOT AREA	167,823.088 SF	100.00%
			TOTAL IMPERVIOUS AREA ±	+902.344 SF	



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www.kdw.net

Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering & Surveying Consultants P.C.
70 Pleasant Hill Road Phone: (845) 334-9559
P.O. Box 37 (800) 638-6531
Newburgh, NY 12553 www.tectonic-engineering.com
Project Contact info
1279 Route 200
Newburgh, NY 12550 Phone: (845) 567-6556

Florida Engineering Certificate of Authorization No.: 8540

verizon
MIAMI MSC
MEC EXPANSION PARTNER 2
20901 TAFT STREET
PEMBROKE PINES FL, 33029

REV	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	09/04/2021
2	REVISED PER COMMENTS	09/19/2021

NETWORK COMPLIANCE SUBMITTALS DATE

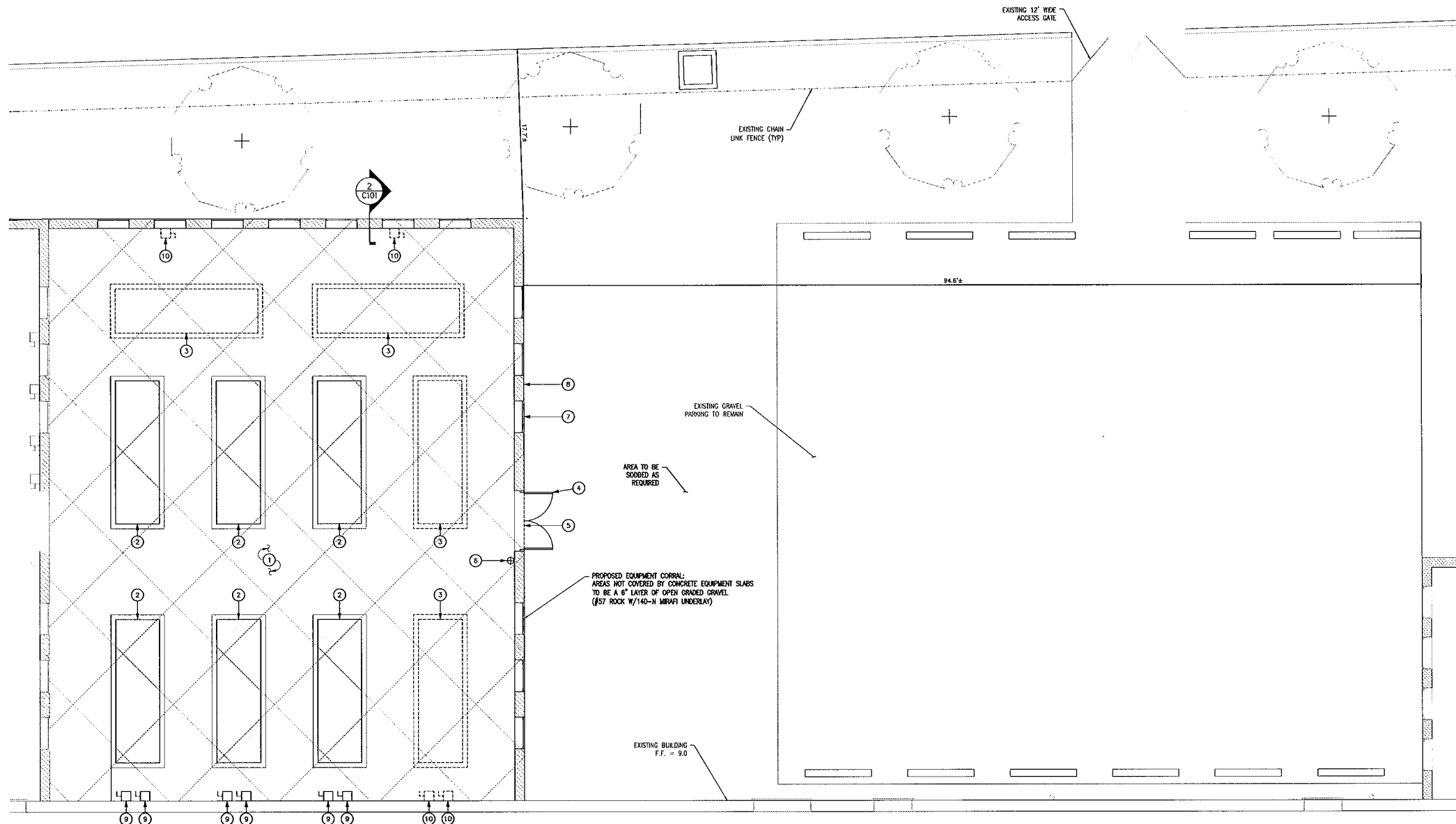
PROJECT NO.: 10402-09	STAMP
CAD DWG FILE: MAM	
DESIGNED BY: TVB	
DRAWN BY: BWT	
CHECKED BY: BI	
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SHEET TITLE

PROPOSED ENLARGED SITE PLAN

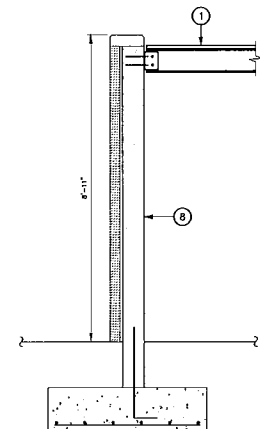
SHEET NUMBER

C101



NOTE: PROVIDED PARKING AND ACCESS DRIVE DIMENSIONS ARE FOR REFERENCE ONLY.

1 PROPOSED ENLARGED SITE PLAN
SCALE: 1" = 5'



2 SECTION ELEVATION
SCALE: 1/2" = 1'-0"

LEGEND	
	EXISTING TREE LINE / TREE
	EXISTING FENCE
	TRAFFIC FLOW DIRECTION
	PROPERTY LINE
	RIGHT OF WAY LINE
	ADJOINING PROPERTY LINE
	SET BACK LINE
	WETLAND BUFFER LINE
	PARKING SPACE TOTAL
	EXISTING ASPHALT
	PROPOSED EQUIPMENT CORRAL

KEY NOTES:

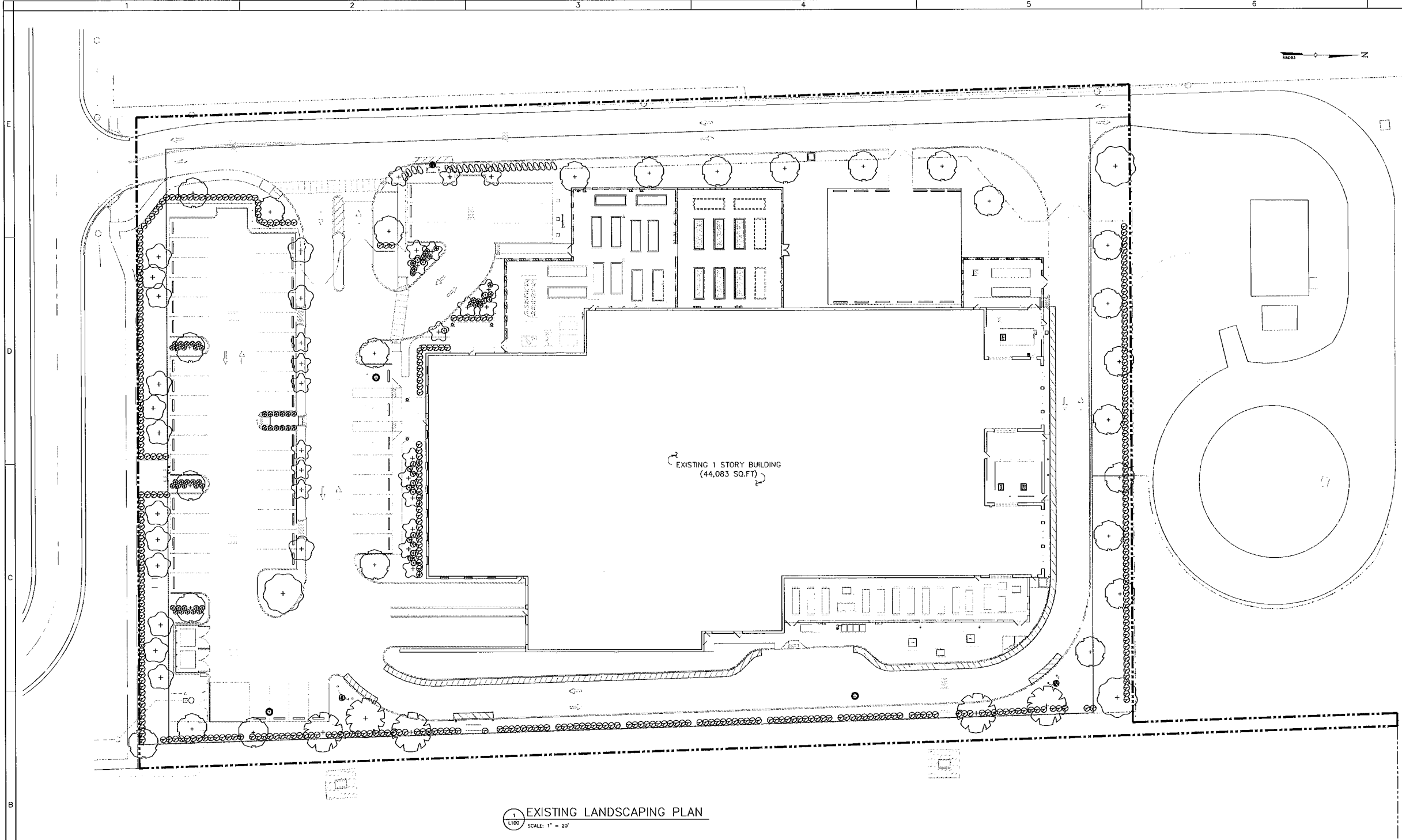
- NEW 50'x61' EXTERIOR UNOCCUPIED MECHANICAL CORRAL W/ PARTIAL HEIGHT MASONRY WALLS FOR PROTECTING THE NEW MECHANICAL EQUIPMENT FROM AIRBORNE DEBRIS.
- NEW CONDENSER UNIT ON NEW CONCRETE PAD PER MECHANICAL DRAWINGS.
- FUTURE CONDENSER UNIT ON FUTURE CONCRETE PAD PER MECHANICAL DRAWINGS.
- RELOCATED LOUVERED DOUBLE DOOR ASSEMBLY
- LIMITS OF NEW GRAVEL SURFACING
- NEW FIRE EXTINGUISHER
- NEW MASONRY WALL OPENING
- NEW MASONRY CORRAL WALL
- NEW DISCONNECT
- FUTURE DISCONNECT

LEGEND:

- EXISTING WALL TO REMAIN
- DOOR NUMBER
- FUTURE EQUIPMENT
- NEW EQUIPMENT
- EXISTING EQUIPMENT
- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING UNDER FLOOR SUPPORT

GENERAL NOTES:

- ALL FINISHES ADJACENT TO AREAS OF CONSTRUCTION SHALL BE PATCHED/REPAIRED/REPLACED DURING CONSTRUCTION, OR AS DIRECTED BY OWNER.
- FOR EXTERIOR PIPE PENETRATIONS, SEE DETAIL 1/AS71.
- REFER TO MECHANICAL AND IA DRAWINGS FOR ALL SENSORS INSTALLED WITHIN EQUIPMENT AISLES.
- REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE PER NFPA 1.1.14.4.
- FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 8TH EDITION, EFFECTIVE DECEMBER 31, 2017 WITH BROWARD COUNTY AMENDMENTS, WHICH INCLUDES NFPA 101, 2015 EDITION, NFPA 1, 2015 EDITION, & STATE STATUTES, 2017 EDITION. (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
- SEPARATE FIRE SPRINKLER SHOP DRAWINGS COMPLYING WITH NFPA 13 (2010.3 ED.) AND PERMITS TO BE PROVIDED BY LICENSED AND CERTIFIED FIRE SPRINKLER CONTRACTOR.
- PLEASE STATE ON THE PLAN THE CURRENT ADOPTED EDITION OF NFPA 72 (2013 EDITION).
- FIRE EXTINGUISHERS SHALL BE MOUNTED 48" AFF AND SHALL BE CURRENTLY DATED AND TAGGED BY LICENSED FIRE EQUIPMENT COMPANY.
- ADDITIONAL EXIT SIGNS AND EMERGENCY LIGHTS MAY BE REQUIRED BY THE FIRE INSPECTOR AT THE TIME OF THE FIRE FINAL.



1
L100
EXISTING LANDSCAPING PLAN
SCALE: 1" = 20'

PLANT LEGEND

SYMBOL	ABBREVIATION - NAME	SPACING	QUANTITY
	SA - SWEET ACACIA	AS SHOWN	2
	VW - YERAWOOD	AS SHOWN	2
	LA - LIVE OAK	AS SHOWN	2
	EH - EAGLESTON HOLLY	MIN 15" O.C.	12
	CB - CLUSIA BUSH	18" O.C.	FIELD VERIFY
	MG - MUHLY GRASS	18" O.C.	FIELD VERIFY

* TREE QUANTITIES ARE BASED ON NEW PLANTINGS AND DO NOT INCLUDE TREES, SHRUBS, AND GROUND COVER BEING REPLACED FOR POOR PERFORMANCE

THE FOLLOWING TREES HAVE BEEN APPROVED FOR USE AS REPLACEMENT PLANTINGS FOR DEAD, DYING, OR OTHERWISE POOR PERFORMING TREES ON THE PROPERTY (FOR THE DIRECTION OF THE PEMBROKE PINES LANDSCAPE INSPECTOR)

- SWEET ACACIA
- BULNESIA
- YERAWOOD
- WILD CINNAMON BARK TREE
- EAGLESTON HOLLY
- SWEET BAY MAGNOLIA
- JAMAICAN DOGWOOD
- EUCALYPTUS

ANY DEFICIENCIES AND/OR UNDER-PERFORMING MATERIALS IDENTIFIED ARE TO BE REPLACED AS FIELD DIRECTED BY OWNER

INFORMATION ON THIS DRAWING PROVIDED BY OSCILLA ENGINEERING INCORP., LANDSCAPING CONSULTANT, JUNE 2007. NO NEW LANDSCAPING WORK UNDER THIS SCOPE OF WORK. ANY ADDITIONAL LANDSCAPING IN THE AREA OF CORRAL TO BE MODIFIED OR REMOVED MUST BE APPROVED BY AN ENGINEER

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Project Contact: Mr. 1276 Route 300
Haverhill, NY 12530 Phone: (845) 587-6856

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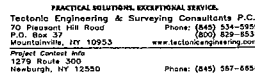
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MEC EXPANSION PARTNER 2
20901 TAFT STREET
PEMBROKE PINES FL, 33029

REV	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	03/09/2011
2	REVISED PER COMMENTS	03/19/2011

NETWORK COMPLIANCE SUBMITTALS	DATE

PROJECT NO: 1043232	STAMP
CAO DESIGNED BY: BWAN	
DESIGNED BY: JWB	
DRAWN BY: RMY	
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SHEET TITLE
EXISTING LANDSCAPING PLAN
SHEET NUMBER
L100



Florida Engineering Certificate of Authorization No.: 854



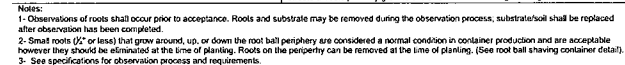
20901 TAFT STREET
PEMBROKE PINES FL. 33029

PROJECT NO:	10-102-02
CAD DWG FILE:	MMW1
DESIGNED BY:	TVB
DRAWN BY:	BYY
CHECKED BY:	EI
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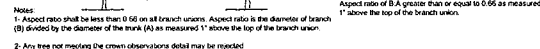
SHEET TITLE

**PLANT INSPECTION AND
PLANTING DETAILS**

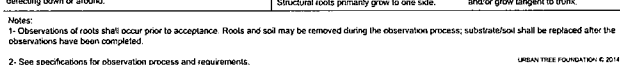
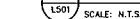
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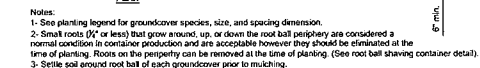
LSOI SCALE: N.T.S



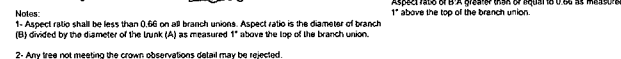
L501 SCALE: N.T.S.



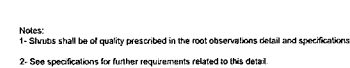
LS01 SCALE: N.T.S.



L501 SCALE: N.T.S.



LS01 SCALE: N.T.S.



L501 SCALE: N.T.S.





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Newburgh, NY 12550 Phone: (845) 587-5855

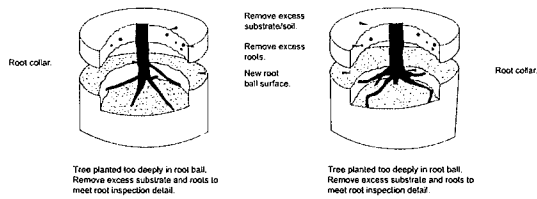
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WMEC EXPANSION PARTNER 2
29001 TAFT STREET
PEMBROKE PINES FL, 33029

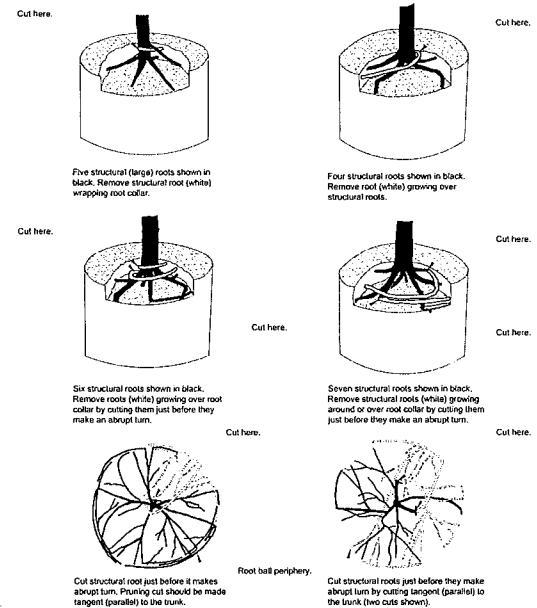
PROJECT NO. 10432 02	STAMP
CAD DWG FILE: M444	
DESIGNED BY: TVB	
DRAWN BY: BWT	
CHECKED BY: EI	
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SHEET NUMBER L502

Step 1 - Remove substrate over root collar.



Step 2 - Remove defects.

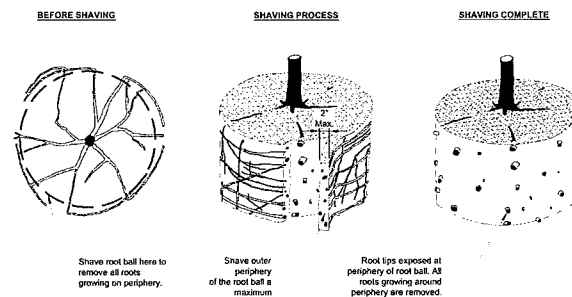


Notes:

1. All trees shown are rejectable unless they undergo recommended correction.
2. First step 1, then step 2. Adjust hole depth to allow for the removal of excess soil and roots over the root collar.
3. Roots and soil may be removed during the correction process; substrate/soil shall be replaced after the correction has been completed.
4. Trees shall pass root observations during following correction.

Notes:

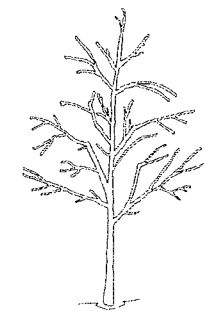
- 1- All trees shown are rejectable unless they undergo recommended correction.
- 2- First Step 1, then Step 2. Roots and soil may be removed during the correction process; substrate/soil shall be replaced after correction has been completed.
- 3- Trees shall meet root observations detail following correction.
- 4- Small roots (1/4" or less) on the periphery of the root ball are common with container plant production. These small roots are not defined as "defects" and can be addressed at the time of installation (See root ball shaving container detail).



Notes:

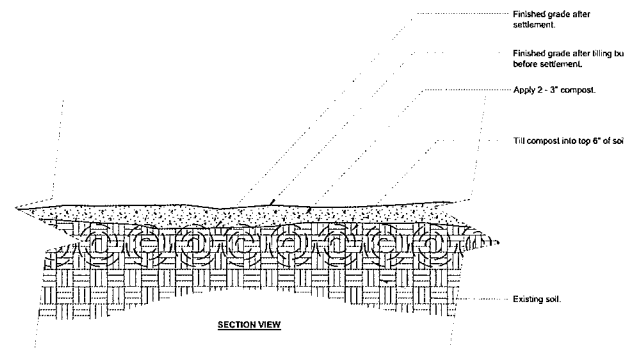
- 1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball.
- 2- Shaving can be performed just prior to planting or after placing in the hole.

3 ROOT BALL SHAVING DETAIL
L502 SCALE: N.T.S.

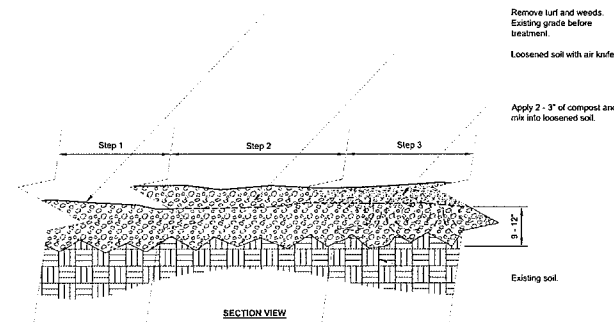


Notes:
1- All trees shown are rejectable unless they undergo recommended treatment.
2- Tree shall meet crown observation detail following correction

Two competing stems were reduced substantially, in this case removing about 70% of their foliage using reduction cuts.



Notes:
1- See planting soil specifications for additional requirements



Notes:

- 1- Prior to the start of work remove all thatch, sod, and/or weeds.
- 2- Loosen soil with Air Knife or approved equal to a depth of 9 - 12" and work around encountered roots.
- 3- Apply 2 - 3" of compost over loosened soil. Using an air knife mix compost into loosened soil.
- 4- Water entire root zone at end of each work day.
- 5- See planting soil specifications for additional requirements.

UPSAN TREE FOUNDATION © 2011
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6 EXISTING SOIL MODIFICATION @ TREE DRIPLINE DETAIL
L502 SCALE: N.T.S.

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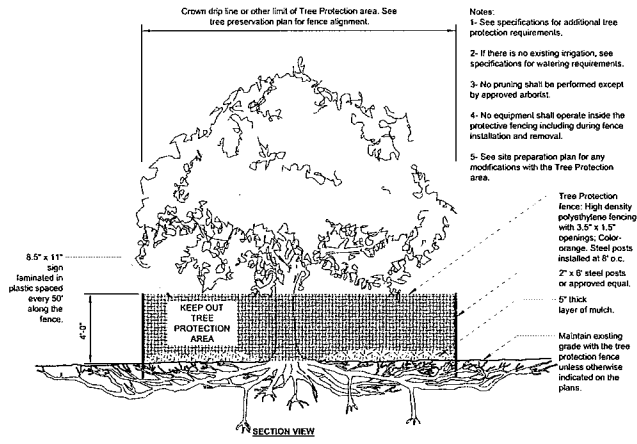
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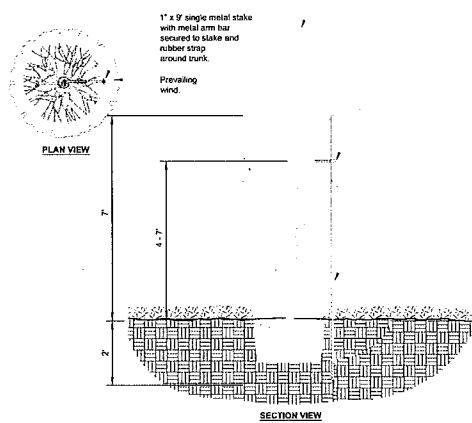
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Hawthorne, NY 12550 Phone: (845) 567-5555

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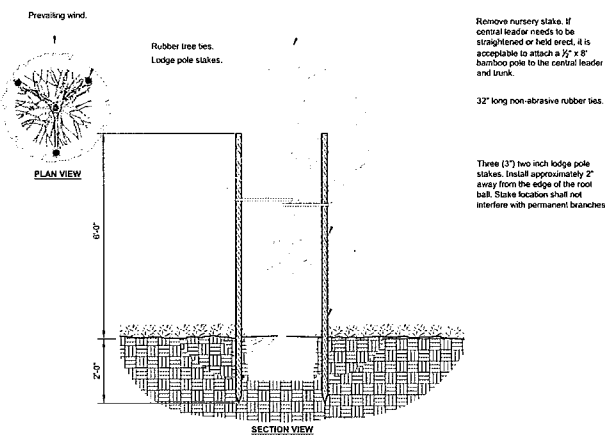
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1 TYPICAL TREE PROTECTION DETAIL
SCALE: N.T.S.



2 TREE STAKING DETAIL - SINGLE METAL STAKE
SCALE: N.T.S.



3 TREE STAKING DETAIL - 3 WOODEN POLES
SCALE: N.T.S.

REV	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	02/24/2021
2	REVISED PER COMMENTS	03/19/2021

NETWORK COMPLIANCE SUBMITTALS

PROJECT NO:	10432 R2	STAMP
CAD DWG FILE:	10432 R2	
DESIGNED BY:	TVB	
DRAWN BY:	BHY	
CHECKED BY:	EI	
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SHEET TITLE
TREE PROTECTION
AND STAKING DETAILS

SHEET NUMBER
L503



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Project Contact: Joe
1279 Route 300
Newburgh, NY 12550 Phone: (845) 587-6556

Florida Engineering Certificate of Authorization No: 18340

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PEMBROKE PINES FL, 33029

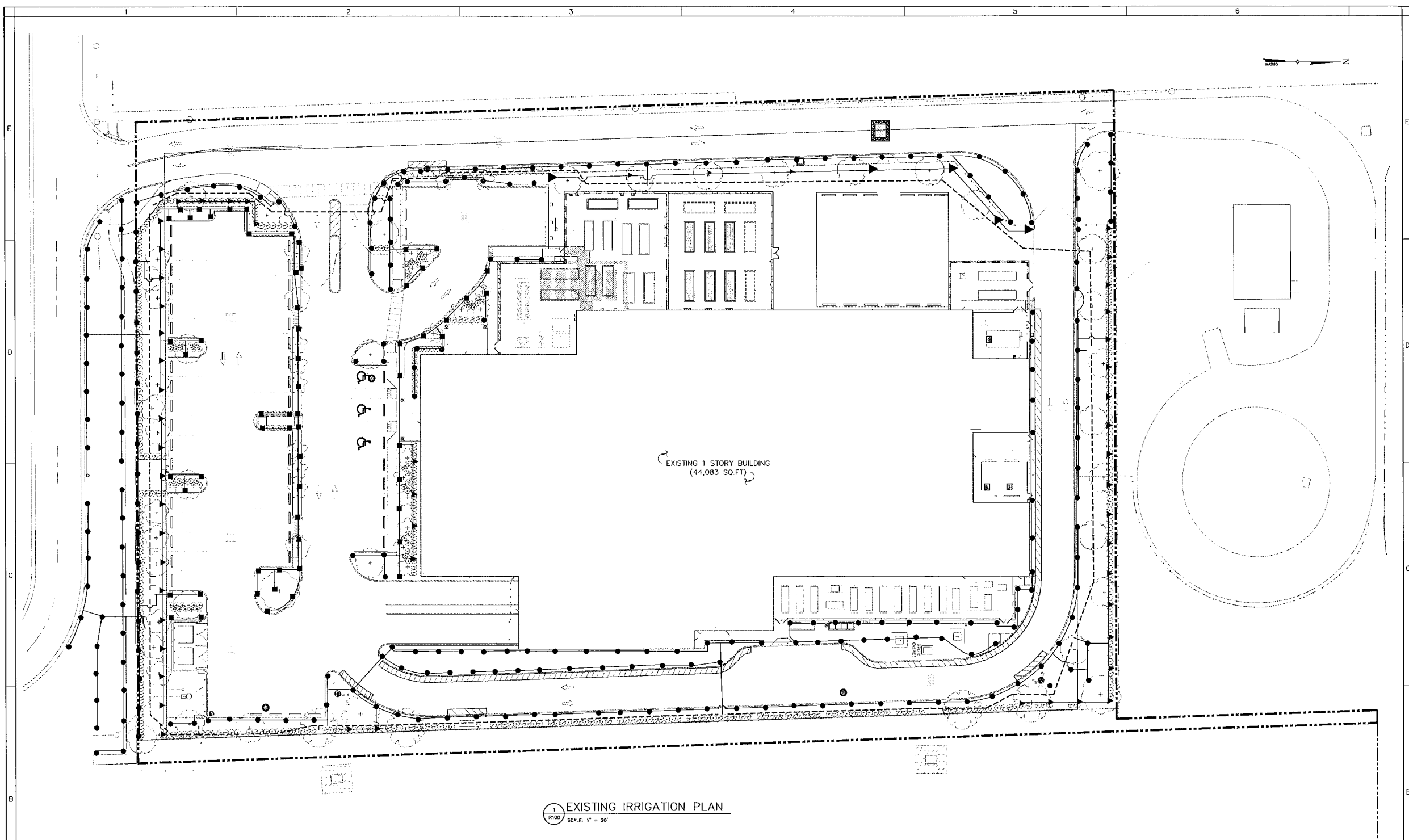
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1	ISSUED FOR APPROVAL	03/24/2011
2	REVISED PER COMMENTS	05/15/2011

NETWORK COMPLIANCE SUBMITTALS	DATE

PROJECT NO: 104232	STAMP
CAD FILE: NMAN	
DESIGNED BY: TYA	
DRAWN BY: SHY	
CHECKED BY: EI	
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SHEET TITLE
EXISTING IRRIGATION PLAN

SHEET NUMBER
IR100



1 EXISTING IRRIGATION PLAN
SCALE: 1" = 20'

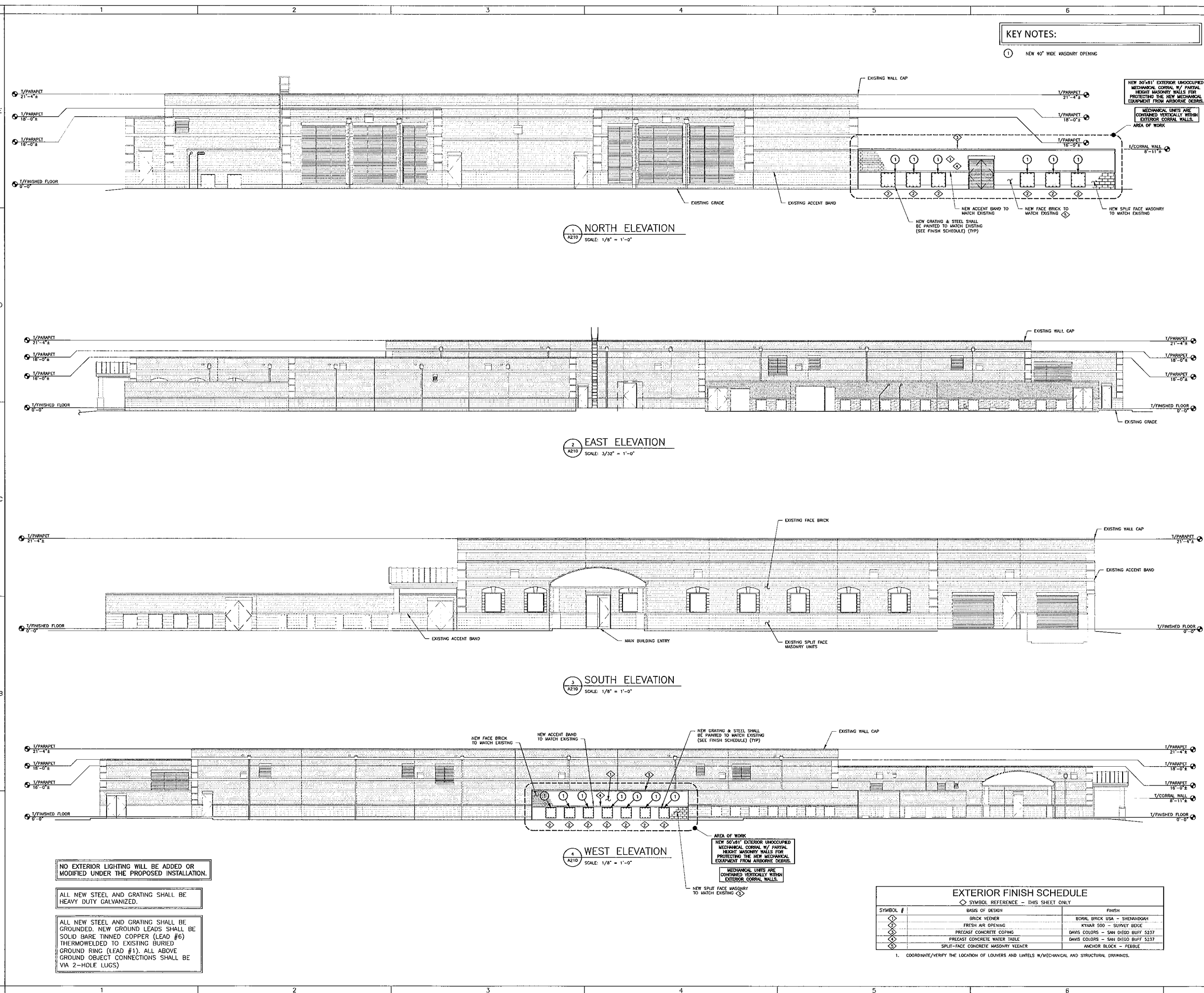
LETTER	MODEL	GPM AT 30 PSI	RADIUS	PATTERN
A	1800-EP	5.7	15'	FULL
B	1800-BIG	2.8	3'	THREE QTR
C	1800-ST	2.9	3'	TWO THIRD
D	1800-SH	1.8	3'	HALF
E	1800-ST	1.2	3'	ONE THIRD
F	1800-SQ	1.0	3'	QUARTER
G	1800-SEST	.61	4' X 3'	END STRIP
H	1800-SEST	1.2	4' X 30'	SIDE STRIP
J	1800-12"	2.6	12'	LOW FULL
K	1800-12"	2.0	12'	LOW THREE QTR
L	1800-12"	1.1	12'	LOW TWO THIRD
M	1800-12"	1.2	12'	LOW HALF
N	1800-12"	.81	12'	LOW THIRD
P	1800-12"	6.5	12'	LOW QUARTER
R	1800-12"	18.1	10'	LOW FULL
S	1800-12"	7.5	10'	LOW HALF
T	1800-12"	2.2	10'	LOW THIRD
U	1800-12"	3.9	10'	LOW QUARTER
V	1800-8"	1.6	8'	FLAT FULL
W	1800-8"	7.5	8'	FLAT HALF
X	1800-8"	3.2	8'	FLAT THIRD
Y	1800-8"	3.9	8'	FLAT QUARTER
Z	1800-SH-D	1.0	5'	HALF BUDDLER

IRRIGATION PLAN LEGEND	
●	RAINBIRD 1800-PRS SERIES 6" POP-UP SPRAY HEAD WITH MPR NOZZLE, 30 PSI.
■	RAINBIRD 1812-PRS SERIES 12" POP-UP SPRAY HEAD WITH MPR NOZZLE, 30 PSI.
▲	RAINBIRD PA-8S-PRS SHRUB ADAPTER ON RISER WITH MPR NOZZLE, 30 PSI.
▲	HUNTER PGM-ADJ-6 PART CIRCLE ROTOR HEAD 2.7 GPM, 38" RADIUS, 50 PSI.
▲	HUNTER PGM-PCP-360-9 FULL CIRCLE ROTOR HEAD 5.5 GPM, 44" RADIUS, 50 PSI.
---	CLASS 200 PVC MAINLINE - 2".
---	CLASS 180 PVC LATERAL LINE.
---	SCHEDULE 40 PVC SLEEVE.

ALL IRRIGATION PIPING AND NOZZLES ARE EXISTING UNLESS OTHERWISE NOTED.
IRRIGATION PIPING AND NOZZLES HAVE NOT BEEN FIELD VERIFIED. CONTRACTOR
SHALL FIELD VERIFY PRIOR TO ANY EXCAVATION.

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INFORMATION ON THIS DRAWING PROVIDED BY MELISSA A. JOHNS, IRRIGATION
DESIGN CONSULTANT, JULY 2007. ONLY IRRIGATION DEMOLITION WORK PROPOSED
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Project Contact Info
1279 Route 300
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△ REV	DESCRIPTION	DATE
0	ISSUED FOR APPROVAL	03/24/2011
1	REVISED PER COMMENTS	03/19/2011

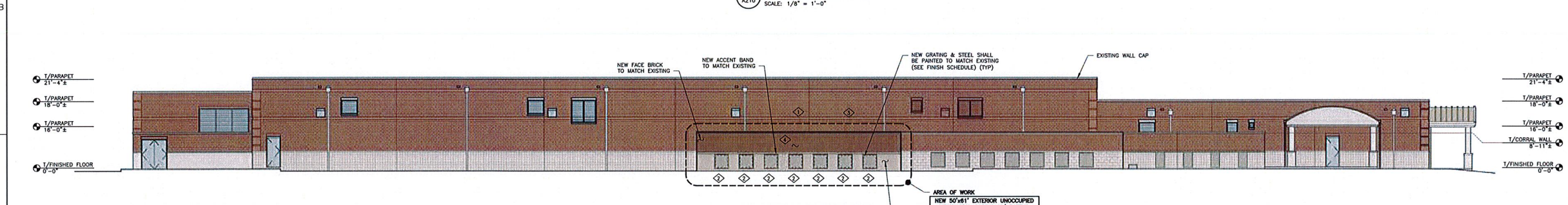
NETWORK COMPLIANCE SUBMITTALS	DATE
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PROJECT NO:	10420202	STAMP
CAD DWG FILE:	104AW	
DESIGNED BY:	TVB	
DRAWN BY:	BBY	
CHECKED BY:	EI	
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SHEET TITLE

FACILITY ELEVATIONS

SHEET NUMBER **A210**



ALL NEW STEEL AND GRATING SHALL BE GROUNDED. NEW GROUND LEADS SHALL BE SOLID BARE TINNED COPPER (LEAD #6) THERMOWELDED TO EXISTING BURIED GROUND RING (LEAD #1). ALL ABOVE GROUND OBJECT CONNECTIONS SHALL BE VIA 2-HOLE LUGS)

EXTERIOR FINISH SCHEDULE		
◇◇ SYMBOL REFERENCE - THIS SHEET ONLY		
SYMBOL #	BASIS OF DESIGN	FINISH
◇◇	BRICK VENEER	BORAL BRICK - USA - SHENANDOAH
◇◇	FRESH AIR OPENING	FINMAR 500 - SURVEY REG.
◇◇	PRECAST CONCRETE COPING	DAVIS COLORS - SAN DIEGO BUFT 5237
◇◇	PRECAST CONCRETE WATER TABLE	DAVIS COLORS - SAN DIEGO BUFT 5237
◇◇	SPUIT-FACE CONCRETE MASONRY VENEER	ANCHOR BLOCK - PEBBLE

1. COORDINATE/VERIFY THE LOCATION OF LOUVERS AND LINTELS W/MECHANICAL AND STRUCTURAL DRAWINGS

[illegible]