

# Vicinity Map

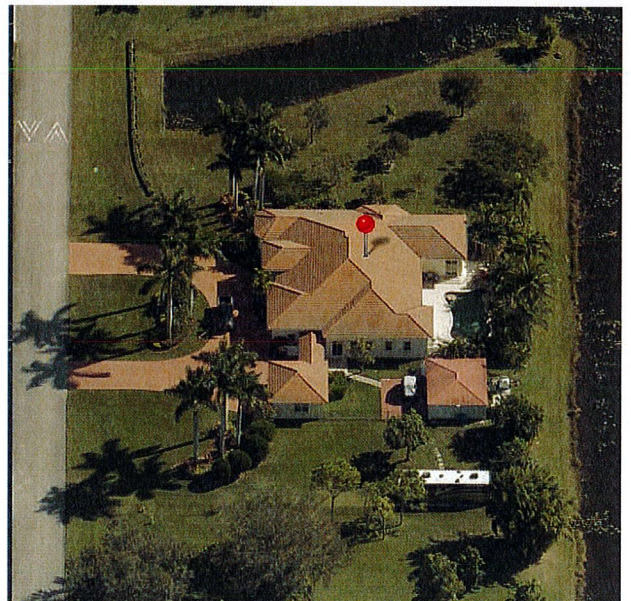
City of Pembroke Pines • Planning and Economic Development Department

ZV(R) 2021-13  
Zoning Variance

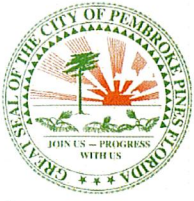
ANON, WALTER A & ISMARY  
20336 SW 54 PL PEMBROKE PINES FL 33332



NOT TO SCALE









City of Pembroke Pines  
Planning & Economic Development Department  
601 City Center Way 3<sup>rd</sup> Floor  
Pembroke Pines FL, 33025

Summary

<b>Agenda Date:</b>	May 6, 2021	<b>Application ID:</b>	ZV(R) 2021-13
<b>Project:</b>	Barn/Stable	<b>Project Number:</b>	N/A
<b>Project Planner:</b>	Dean Piper, Zoning Administrator		
<b>Owner:</b>	Walter and Ismary Anon	<b>Agent:</b>	N/A
<b>Location:</b>	20336 SW 54 Place, Pembroke Pines, 33332		
<b>Existing Zoning:</b>	Estate (E-1) Districts	<b>Existing Land Use:</b>	Residential
<b>Reference Applications:</b>	N/A		
<b>Variance Summary</b> <i>Note: For Reference newly adopted Land Development Code (LDC) Section shown in italics</i>			
<b>Application</b>	<b>Code Section</b>	<b>Required/Allowed</b>	<b>Request</b>
ZV(R) 2021-13	155.105(B)(2)(d) <i>(155.510(A)(2))</i>	50' side lot setback for structure keeping of horses	25' side lot setback for a proposed barn.
<b>Final:</b>	<input type="checkbox"/> Planning & Zoning Board		<input checked="" type="checkbox"/> Board of Adjustment
<b>Reviewed for the Agenda:</b>	Director: <u></u> Zoning Administrator: <u></u>		

## **PROJECT DESCRIPTION / BACKGROUND:**

Walter and Ismary Anon, owners, have submitted variance request ZV(R) 2021-13 to allow a proposed barn/stable to have a 25' side yard setback, instead of the required 50' side yard setback.

This property is within The Trails of Pembroke Pines Homeowners Association. The Association's Architectural Review Board (ARB) has approved the proposed barn structure and its location. The approved ARB form is attached.

## **VARIANCE REQUEST DETAILS:**

**ZV(R) 2021-13)** Allow a 25'side lot setback instead of the required 50' lot setback for a proposed barn;

*Code Reference: § 155.105 ESTATE (E-1) DISTRICTS.*

(B) Uses permitted. No building, structure, or part thereof, shall be erected, altered, or used, or land or water used, in whole or in part for other than one of the following uses:

(2) Uses accessory to any of the above uses, when located on the same plot and not involving the conduct of any business, trade, occupation, or profession, including:

(d) Keeping of horses and cows, not exceeding four in total number for a plot of minimum permitted size: where the plot exceeds 35,000 square feet in area, one additional horse may be kept for each acre of plot area in excess of 35,000 square feet. The permitted animals shall be kept in an area which is located at least 50 feet from any street line. Any roofed structure for shelter of these animals shall be located at least 50 feet from any plot line.

*\*Newly Adopted Code Reference: 155.510: Domesticated Livestock and Poultry*

(A) Domesticated livestock and poultry shall be subject to the following standards and regulations:

2. Structures for livestock raising, boarding, or housing, such as barns, feed lofts, and stables, shall not be located within 100 feet of any lot line. A stable with a capacity of not over four horses may be located at least 50 feet from a side or rear lot line.

(Note: Copy of new Section attached for reference)

## **VARIANCE DETERMINATION**

The Board of Adjustment shall not grant any single-family residential variances, permits, or make any decision, finding, and determination unless it first determines that:

Its decision and action taken is in harmony with the general purposes of the zoning ordinances of the city and is not contrary to the public interest, health, or welfare, taking into account the character and use of adjoining buildings and those in the vicinity, the number of persons residing or working in the buildings, and traffic conditions in the vicinity.

In the granting of single-family residential variances, the Board shall determine that the single-family residential variance granted is the minimum variance that will accomplish the intended purpose in accordance with above and:

- A) That there are special circumstances or conditions applying to the land or building for which the variance is sought, which circumstances are peculiar to the land or building and do not apply generally to land or buildings in the neighborhood, and that the strict application of the provisions of the zoning ordinances would result in an unnecessary hardship and deprive the applicant of the reasonable use of the land or building; or
- B) That any alleged hardship is not self-created by any person having an interest in the property nor is the result of a mere disregard for or in ignorance of the provisions of the zoning ordinances of the city; or
- C) That granting the variance is not incompatible with public policy, will not adversely affect any adjacent property owners, and that the circumstances which cause the special conditions are peculiar to the subject property.

**Enclosed:** Variance Request Application  
Subject Site Aerial Photo



- (d) The color and design of the Vehicle Impact Protection Devices shall be consistent throughout the site. Use of protective and/or decorative sleeves shall be permitted.
  - (e) Vehicle Impact Protection Devices shall be properly maintained, including no visible rust or corrosion, and be kept in uniform alignment.
  - (f) Child Care business owners are encouraged to screen Vehicle Impact Protection Devices with landscape where feasible to reduce visual impact on a site.
3. ADA compliant parking spaces. Where a parking space is required to be ADA compliant and is located in an area of a parking lot specified in this section so as to require vehicle impact protection devices adjacent to the parking space, bollards or posts may be substituted for wheel stops and the ADA signage may be mounted on a pole that is mounted or affixed to the post or bollard.
  4. Conflicts with other laws. In the event the terms of this subsection or its application to a particular parking lot would cause a parking lot to not comply with a provision of Federal or State law or another provision of the city's Municipal Code, City staff shall apply this subsection in a manner to carry out the provisions of both Federal and State law and the other provisions of this Code and the provisions of this subsection. When there is an irreconcilable conflict between the provisions of this subsection and the provisions of Federal or State law or other provisions of this Code, the provisions of Federal and State law and the other provisions of this Code shall prevail over this subsection and only to the extent necessary to avoid a violation of those other laws or Code provisions.
  5. Review. Vehicle Impact Protection Zones shall be considered concurrently with the review of the underlying site plan or development application through the Planning and Zoning Board.
  6. Minor adjustments to Vehicular Impact Protection Zones. The City Manager or designee may approve minor modifications to vehicle impact protection standards contained in this section to accommodate for conflicts with existing site conditions, pedestrian accessibility paths and ground mounted light poles, fire protection, mechanical equipment, etc., provided the modifications achieve similar protections as intended by this subsection.
  7. Replacement or repair. Within 90 days after a vehicle impact protection device or feature that serves to protect an Exposed Area of a nonresidential building center is destroyed, damaged, or removed, the device or feature shall be replaced with one that satisfies the requirements and standards of this section.

## 155.510 DOMESTICATED LIVESTOCK AND POULTRY

(A) Domesticated livestock and poultry shall be subject to the following standards and regulations:

1. The number of domesticated livestock permitted shall be restricted to four grazing animals per each 35,000 square feet.
2. Structures for livestock raising, boarding, or housing, such as barns, feed lofts, and stables, shall not be located within 100 feet of any lot line. A stable with a capacity of not over four horses may be located at least 50 feet from a side or rear lot line.
  - (a) Keeping of horses and cows, not exceeding four in total number for a plot of minimum permitted size: where the plot exceeds 35,000 square feet in area, one additional horse may be kept for each acre of plot area in excess of 35,000 square



# City of Pembroke Pines

## Planning and Economic Development Department

### Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: 4/8/21

# Plans for DRC \_\_\_\_\_ Planner: Dean

Indicate the type of application you are applying for:

- |   |  |
|---|--|
| <input type="checkbox"/> Appeal*                      | <input type="checkbox"/> Sign Plan                                   |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan*                                  |
| <input type="checkbox"/> Delegation Request           | <input type="checkbox"/> Site Plan Amendment*                        |
| <input type="checkbox"/> DRI*                         | <input type="checkbox"/> Special Exception*                          |
| <input type="checkbox"/> DRI Amendment (NOPC)*        | <input checked="" type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation       | <input type="checkbox"/> Variance (Multifamily, Non-residential)*    |
| <input type="checkbox"/> Interpretation*              | <input type="checkbox"/> Zoning Change (Map or PUD)*                 |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text)                        |
| <input type="checkbox"/> Miscellaneous                | <input type="checkbox"/> Zoning Exception*                           |
| <input type="checkbox"/> Plat*                        | <input type="checkbox"/> Deed Restriction                            |

#### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark N/A.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

#### Staff Use Only

Project Planner: Dean Project #: PRJ 20\_\_\_\_ - \_\_\_\_ Application #: 2V(12)2021-13

Date Submitted: 4/12/21 Posted Signs Required: (1) Fees: \$ 250.00



**SECTION 1-PROJECT INFORMATION:****Project Name:** Anon Residence - New Barn**Project Address:** 20336 SW 54th PL., Pembroke Pines, FL 33332**Location / Shopping Center:** \_\_\_\_\_**Acreage of Property:** 1.115 Acres **Building Square Feet:** 1,208**Flexibility Zone:** \_\_\_\_\_ **Folio Number(s):** 5039-35-09-0680**Plat Name:** \_\_\_\_\_ **Traffic Analysis Zone (TAZ):** \_\_\_\_\_

**Legal Description:** LOT 68, OF "THE TRAILS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 143, AT PAGE 35, OF THE PUBLIC RECORDS OF PEMBROKE PINES COUNTY, FLORIDA. TOGETHER IMTH A PORTION OF PARCEL A (80 FOOT CANAL EASEMENT) ADJACENT TO LOT 68 "THE TRAILS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 143 PAGE 35 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION

**Has this project been previously submitted?**

Yes

**No**

**Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.**

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Walter and Ismary Anon

Owner's Address: 20336 SW 54th PL., Pembroke Pines, FL 33332

Owner's Email Address: wanon22@yahoo.com

Owner's Phone: (305) 343-5262 Owner's Fax: \_\_\_\_\_

Agent: Carnahan Proctor & Cross, Inc.

Contact Person: William Barbaro, P.E.

Agent's Address: 814 S. Military Trail, Deerfield Beach, FL 33442

Agent's Email Address: bbarbaro@cpc-eng.com

Agent's Phone: 561.512.2752 Agent's Fax: 954.972.4178

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.*

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: (E-1) Estate

Land Use / Density: Estate (E)

Use: \_\_\_\_\_

Plat Name: The Trails

Plat Restrictive Note: \_\_\_\_\_

### PROPOSED

Zoning: N/A

Land Use / Density: N/A

Use: N/A

Plat Name: N/A

Plat Restrictive Note: N/A

### ADJACENT ZONING

North: (E-1) Estate

South: (E-1) Estate

East: (E-1) Estate

West: (E-1) Estate

### ADJACENT LAND USE PLAN

North: N/A

South: N/A

East: N/A

West: N/A



-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

**SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY**

Application Type (Circle One): Variance      Zoning Appeal      Interpretation

Related Applications: N/A

Code Section: 155.105(B)(2)(d)

Required: 50' Side Yard Setback

Request: 25' Side Yard Setback

**Details of Variance, Zoning Appeal, Interpretation Request:**

Variance request to execute the construction of a proposed Barn  
at the exiting residence.

**SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY**

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: \_\_\_\_\_

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_

**SECTION 6 - DESCRIPTION OF PROJECT (attach additional pages if necessary)**

Project proposes the construction of a 1,208 S.F. Barn  
with 2 Stalls and a Tack/Feed Room. Project also proposed the  
construction of a 3 rail horse fence. Fence setbacks are provided  
to meet the current code.



## SECTION 7- PROJECT AUTHORIZATION

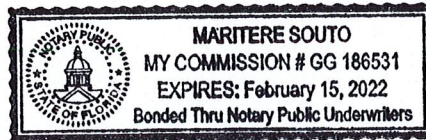
### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] \_\_\_\_\_ Date 4/8/21  
Signature of Owner

Sworn and Subscribed before me this 8 day  
of April, 2021

\$0.00 [Signature] 2/15/2022  
Fee Paid Signature of Notary Public My Commission Expires



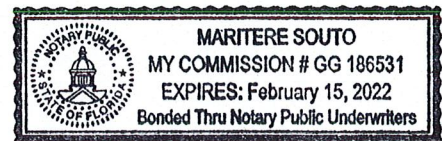
### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] \_\_\_\_\_ Date 4/7/21  
Signature of Agent

Sworn and Subscribed before me this 8 day  
of April, 2021

\$0.00 [Signature] 2/15/2022  
Fee Paid Signature of Notary Public My Commission Expires





Date: 4/7/2021

Mr. Dean Piper  
Zoning Administrator, Planning and Economic Development Department  
City of Pembroke Pines  
601 City Center Way  
Pembroke Pines, FL 33025

**Re: Annon Residence – 20336 SW 54<sup>th</sup> Place Pembroke Pines, FL 3332**  
**Request for Variance – New Barn**

Dear: Mr. Piper:

The Owner of the above referenced property is requesting one (1) variance to allow for the construction of a new barn structure consisting of 2 stalls and 1 tack room. The property is zoned Estates (E-1). The variance, as further described below, is being requested due to the hardship of the confining lot shape and orientation site specific condition for this property. Baring this site-specific issue, the proposed barn structure meets all other requirements under section 155.105 (B)(2)(d) for this allowable accessory use.

**Variance No. 1** – Request for variance of section 155.105 (B)(2)(d) for the side lot set back requirement of 50 feet from any plot line. Due to the hardship of the confining lot shape and orientation site specific condition for this property the proposed side lot setback is 25 feet.

Please do not hesitate to contact me if you should have any further questions or require additional information.

Regards,

Bill Barbaro, P.E.  
Vice President of Engineering Services  
Carnahan Proctor and Cross, Inc.



# THE TRAILS OF PEMBROKE PINES HOMEOWNERS ASSOCIATION, INC. ARCHITECTURAL REVIEW BOARD APPLICATION FORM

NAME: WALTER AND ISMARLY ANON  
 ADDRESS: 20336 SW 54 PLACE, Pembroke Pines, FL 33332  
 PHONE: HOME: 305 348-5262 WORK: 305 821-6419 FAX: 305 821-7178

## Description of work:

Building of a two stall barn on above property  
as per attached plans, photos and site plan. Colors  
and materials to match existing home.

Planned Start Date: 4/1/2021 Planned Completion Date: 9/30/2021

Approval is hereby requested to make the above modification, alteration, or addition to my home or lot. In making this request, I hereby acknowledge and reaffirm that the Association has the exclusive right, in its sole discretion, to repair or remedy any damage to the common areas caused by me, my contractor(s) or permittees and that I am directly liable to the Association for any such damage. I agree to pay all invoices for the Association's repair of any common area damage within ten (10) days of its receipt or the Association may impose an assessment against my lot and avail itself of such other and additional remedies. I also agree to repair any damages to my neighbors' properties, including, but not limited to, restoring established drainage patterns as a result of this work. I further agree to promptly restore all damaged areas to my home or lot to their original condition. I agree to obtain all required permits and licenses, not to encroach upon any easements, and to adhere to all ordinances, laws, restrictions and rules and regulations of Broward County, the City of Pembroke Pines and our Association, except as to variances that are specifically requested below and approved. I understand that I may be subject to fines if the work is not completed in the approval timeframe without an extension approved by the Architectural Review Board requested at least 14 days prior to the approved completion. This approval expires in 90 days. As a condition precedent to granting approval of any request for a change, alteration or addition, I assume sole responsibility for the repair, maintenance or replacement of any such change, alteration, or addition, and that this binding upon my heirs, successors and assignees. I agree that the Association, its directors and the management company will be held harmless for any and all liability related in any way to the change, alteration or addition and any damages resulting there from, and to indemnify and hold them harmless from all losses, costs, expenses and attorney's fees related thereto.

Applicant signature: [Signature] Print Name: WALTER ANON Date: 2/11/2021  
ISMARLY ANON

## RETURN TO WINNER PROPERTY SERVICES

6850 Dykes Road, SW Ranches, FL  
 (954) 252-3478 FAX: (954) 438-4930

EMAIL TO: [Steve@WinnerPropertyServices.com](mailto:Steve@WinnerPropertyServices.com)

DO NOT WRITE BELOW THIS LINE- FOR ASSOCIATION USE ONLY

\*\*\*\*\*  
 ARC COMMITTEE ( ) ( ) SEE CONDITIONS

Approved ( ) Denied ( ) Incomplete ( ) Other ( )

By: [Signature] Date: 2/20/2021

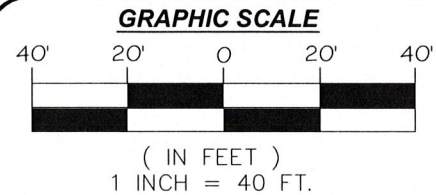
ARCHITECTURAL REVIEW COMMITTEE THE TRAILS OF PEMBROKE PINES HOA, INC.

Date Returned to Applicant \_\_\_\_\_

Conditions for approval/disapproval/incomplete application:

BARN TO BE MOVED BACK PER ATTACHED DRAWING TO  
67.54 from the property line





LEGAL DESCRIPTION:

LOT 68, OF "THE TRAILS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 143, AT PAGE 35, OF THE PUBLIC RECORDS OF PEMBROKE PINES COUNTY, FLORIDA.

TOGETHER WITH A PORTION OF PARCEL A (80 FOOT CANAL EASEMENT) ADJACENT TO LOT 68 "THE TRAILS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 143 PAGE 35 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 68, THENCE N21°38'56"W ALONG THE EASTERLY LINE OF SAID LOT 68, A DISTANCE OF 188.12 FEET TO THE NORTHEAST CORNER OF SAID LOT 68, THENCE N89°52'28"E ALONG THE NORTHERLY BOUNDARY OF PARCEL A, A DISTANCE OF 21.00 FEET; THENCE S25°35'23"E A DISTANCE OF 177.55 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 68 EXTENDED; THENCE S89°52'28"W A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 4912.5 SQUARE FEET AND SITUATED IN THE CITY OF PEMBROKE PINES, FLORIDA.

SAID PARCEL ALSO BEING A DRAINAGE AND CANAL MAINTENANCE EASEMENT.

CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

- WALTER A. ANON AND ISMARY ANON
- UNITED WHOLESALE MORTGAGE, ISAOA/ATIMA
- THE LAW OFFICES OF WALTER A. ANON, P.A
- WFG NATIONAL TITLE INSURANCE COMPANY

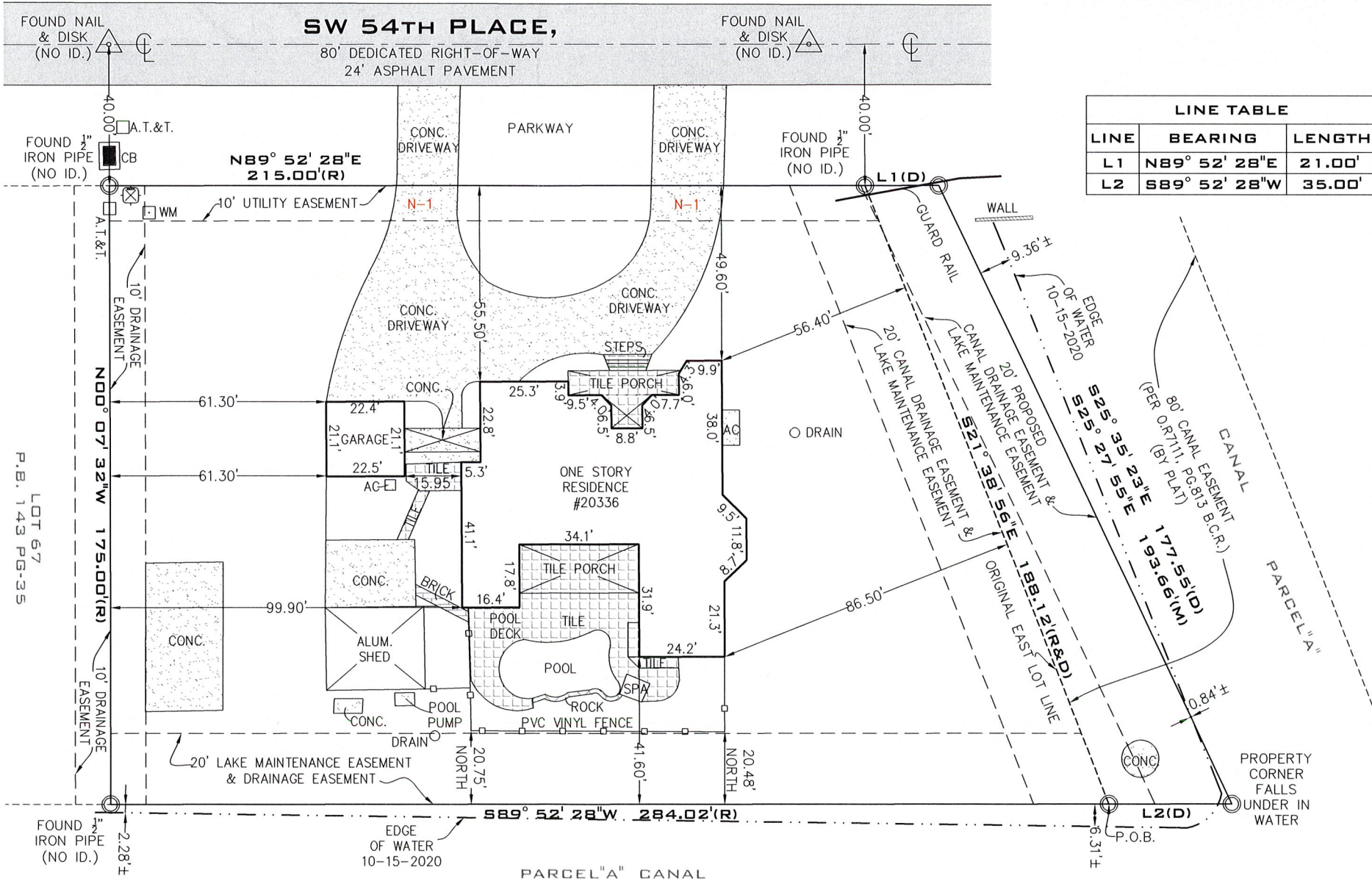
SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY, EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51FAC), IS "RESIDENTIAL".THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "THE TRAILS" RECORDED IN PLAT BOOK 143, AT PAGE 35.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 40 FEET OR SMALLER.

NOTES:

N-1 = A PORTION OF THE CONCRETE DRIVEWAY ALONG THE NORTH BOUNDARY LINE, FALL INSIDE THE EASEMENT.

# MAP OF BOUNDARY SURVEY



PROPERTY ADDRESS:

FOLIO NO. 5039 35 09 0680

20336 SW 54TH PLACE, ,  
PEMBROKE PINES, FLORIDA 33332

AREA OF PROPERTY: 48,577 SQUARE FEET AND/OR  
1.115 ACRES MORE OR LESS.

## LOCATION MAP

SECTION 35, TOWNSHIP 50 SOUTH, RANGE 39 EAST  
LYING AND BEING IN BROWARD COUNTY FLORIDA  
(NOT TO SCALE)



LB No. 7633

PROFESSIONAL SURVEYORS AND MAPPERS  
1435 S.W. 87th AVENUE, SUITE "20"  
MAM, FL 33174  
PHONE: (305) 556-4002 FAX: (305) 556-4003  
WWW.LMSURVEYING.COM  
EMAIL-REQUEST@LMSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	=DENOTES AIR CONDITIONING UNIT
B.B.	=DENOTES BASIS OF BEARINGS
ASPH.	=DENOTES ASPHALT
P	=DENOTES PROPERTY LINE
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
CONC.	=DENOTES CONCRETE
L.P.	=DENOTES LIGHT POLE
CB	=DENOTES CATCH BASIN
C	=DENOTES CENTERLINE
M	=DENOTES MONUMENT LINE
L.M.E.	=DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	=DENOTES DRAINAGE EASEMENT
D.H.	=DENOTES DRILL HOLE
(M)	=DENOTES MEASURE
(R)	=DENOTES RECORD
WPP	=DENOTES WOOD POWER POLE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
PG.	=DENOTES PAGE
P.C.P.	=DENOTES PERMANENT CONTROL POINT
P.O.B.	=DENOTES POINT OF BEGINNING
TYP.	=DENOTES TYPICAL
M.H.W.	=DENOTES MEAN HIGH WATER LINE
--	=DENOTES WOOD FENCE
-x-	=DENOTES CHAIN LINK FENCE
-o-	=DENOTES IRON FENCE
o	=DENOTES FOUND IRON PIPE (NO ID.)
Δ	=DENOTES FOUND NAIL AND DISC
ASPH.	=DENOTES ASPHALT PAVEMENT
X.XX	=DENOTES ELEVATIONS
BRICK	=DENOTES BRICK
CONC.	=DENOTES CONCRETE PAD


ALL BEARINGS AND DISTANCES SHOWN  
HEREON ARE RECORD AND MEASURED  
UNLESS OTHERWISE NOTED.

MAP OF BOUNDARY SURVEY

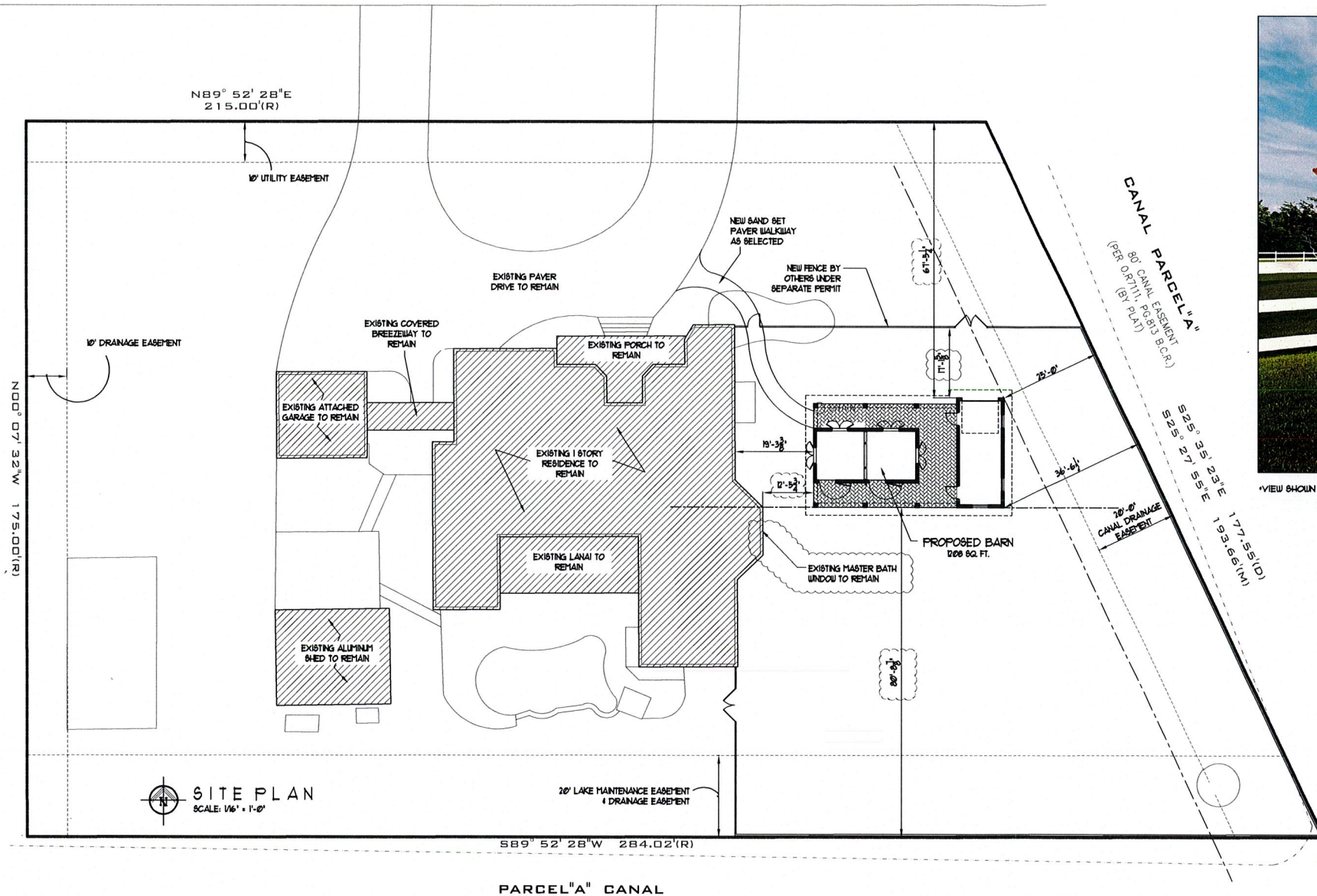
FLOOD ZONE:		AH	
ELEVATION:		5.0	
COMMUNITY:		120053	
PANEL:		12011C0520	
DATE OF FIRM:		08-18-2014	
SUFFIX:		H	
ORIGINAL FIELD WORK SURVEY DATE		10-15-2020	
BENCH MARK:		N/A	
ELEVATION:		N/A	
DATE	DRAWN BY		SCALE
10-15-2020	J.FEE		1"=40'
REVISION / UPDATE OF SURVEY			
DATE		DESCRIPTION	
N/A		N/A	
JOB No.			
2010.0122			

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

SIGNED  FOR THE FIRM  
ARTURO MENDIGUTIA, P.S.M. No. 5844-STATE OF FLORIDA  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.





\*VIEW SHOWN IS CONCEPTUAL SEE PLANS

## DRAWING INDEX

- T-1 TITLE SHEET | SITE PLAN | GENERAL NOTES  
A-1 FLOOR PLAN | ELEVATIONS  
S-1 FOUNDATION PLAN | ROOF FRAMING PLAN  
E-1 ELECTRICAL PLAN

### GENERAL NOTES

- BUILDING CODE: FBC 2019  
OCCUPANCY TYPE: R-3  
CONSTRUCTION TYPE: V-B  
ROOF DESIGN LIVE LOAD: 20 P.S.F.  
WIND BORNE DEBRIS REGION-ALL GLAZING TO BE IMPACT OR PROTECTED W/ SHUTTERS  
WIND SPEED DESIGN: 130 MPH ULTIMATE • 130 MPH NOMINAL  
BUILDING RISK CATEGORY II, EXPOSURE 'C' PER ASCE 7  
INTERNAL PRESSURE COEFFICIENT: +0.18  
DESIGN PRESSURE FOR WINDOWS & DOORS  
WINDOWS: 4032 / 4334 P.S.F. WIND (SEE ELEVATIONS)  
DOORS: 583 / 417 P.S.F. WIND (SEE ELEVATIONS)  
9' ON GARAGE DOORS: 583 / 417 P.S.F. WIND (SEE ELEVATIONS)  
ROOF TRUSS & GIRDER UPLIFTS PER APPROVED MFR'S DRAWINGS
- EXTERIOR WALL SEGMENTS SHOWN SHADED ARE SHEAR WALL SEGMENTS CONSIDERED.  
ALL FOOTING SHALL BEAR ON FIRM, UNDISTURBED SOIL, OR CLEAN FILL COMPACTED TO 95% STANDARD PROCTOR.
- DESIGN SOIL PRESSURE: 2000 P.S.F. ASSUMED, CONTRACTOR TO VERIFY.
- ALL CONCRETE SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. # 20 DAYS (2800 P.S.I. FOR SLABS) UNLESS NOTED OTHERWISE ON PLANS OR DETAILS. MOTOR SHALL BE TYPE 'H' OR 'B'.
- REINFORCING STEEL TO BE ASTM A-63 GR 40, UNLESS NOTED OTHERWISE.
- PLACE ALL CONCRETE AND REINFORCING IN ACCORDANCE WITH THE LATEST ACI CODE OF STANDARD PRACTICE.
- JAMBS • OPENINGS SHALL BE FILLED SOLID AND REINFORCED WITH 1-5 UNLESS NOTED OTHERWISE.
- MASONRY WALLS OVER 10' HIGH TO BE BRACED IN ACCORDANCE W/ THE 'STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION' OR PROVIDE AN EVACUATION ROUTE PER THE ABOVE STANDARD.
- PRECAST CONCRETE LINTELS SHALL HAVE THE FOLLOWING SAFE LOAD CAPACITIES UNFILLED:  
SPANS TO 4'-8" ..... 124 P.L.F.  
SPANS TO 8'-8" ..... 513 P.L.F.  
SPANS TO 10'-8" ..... 445 P.L.F.  
SPANS TO 13'-4" ..... 336 P.L.F.  
FOR SPANS > 13'-4" LINTELS SHALL HAVE THE FOLLOWING MINIMUM SAFE (SUPERIMPOSED) LOAD CAPACITIES, FILLED W/ 3000 P.S.I. W/ 1-5 REBAR:  
SPANS TO 14' ..... 465 P.L.F.  
SPANS TO 16'-8" ..... 310 P.L.F.  
SPANS TO 20'-8" ..... 183 P.L.F.  
SPANS TO 23'-4" ..... 130 P.L.F.  
LINTELS SHALL BEAR MANUFACTURER'S NAME & CAPACITY WHERE P.C. LINTEL 5 REBAR REINFORCEMENT IS NOTED USE ASTM A-63 GRADE 40 STEEL.
- ALL TRAVELING LUMBER SHALL BE DOUG-FIR S-P-F, OR SPINE, - GRADE 2 OR BETTER W/ Fb ≥ 1000 P.S.I. (BEARING HEADERS & EXTERIOR WALL FRG. ONLY.)
- MICROLAM BEAMS SHALL BE AS MANUFACTURED BY 'TRUSS JOIST' OR APPROVED EQUAL; Fb ≥ 2000 P.S.I. E: 2000/2000 P.S.I.
- MINIMUM PRE-FABRICATED TRUSS DESIGN LOADS TO BE:  
TOP CORD LIVE LOAD: 30 P.S.F.  
TOP CORD DEAD LOAD: 5 P.S.F.  
BOTTOM CORD: 10 P.S.F.  
TOTAL: 55 P.S.F.  
• OR AS NOTED ON APPROVED TRUSS PLANS AND APPROVED BY THE CONTRACTOR/OWNER AND PERMITTING AGENCY.
- UNLESS NOTED OTHERWISE ON THESE PLANS, ROOF UPLIFT SHALL BE NOTED ON APPROVED TRUSS MFR'S DRAWINGS. ROOF TRUSS AND GIRDER ANCHORS TO BE IN ACCORDANCE W/ THE FOLLOWING SCHEDULE. USE PRODUCTS OF 'SIMPSON' INSTALL IN ACCORDANCE W/ MFR'S SPECIFICATIONS THE FOLLOWING TYPES:  
MASONRY: MODEL FASTENERS ALLOWABLE UPLIFT  
METAL: 1-1/2" X 1/2" 1450 LBS  
HETAL: 5-1/2" X 1/2" 1850 LBS  
HETAL: 10-1/2" X 1/2" EA 1450 LBS  
FRAME: HDA 5-1/2" X 1/2" 1450 LBS  
• 5-1/2" PLATES
- ROOFING MATERIAL & FASTENING TO BE IN ACCORDANCE W/ MFR'S SPECIFICATIONS (CONTRACTOR TO SUPPLY).
- LOAD BEARING HEADER STUD REQUIREMENTS:  
FOR SPANS TO 6'-0" USE ON HEADER STUD W/ 3 FULL LENGTH STUDS  
FOR SPANS GREATER THE 6'-0" USE 2 HEADER STUDS W/ 3 FULL LENGTH STUDS.  
FOR UPLIFT REGTS STUD TO SLAB/FOUNDATION:  
USE 'SIMPSON' HIT4 FOR LOADS LESS THAN 3600 LBS. W/ 16-18D  
USE 'SIMPSON' HIT5 FOR LOADS LESS THAN 4350 LBS. W/ 26-18D
- FOR TRUSS/GIRDER CONNECTION TO STUD WALLS UNLESS NOTED OTHERWISE:  
USE 'SIMPSON' HIT6 FOR LOADS LESS THAN 860 LBS. (MAX. 2 PER STUD) (16-18D TOTAL)  
USE 'SIMPSON' HIT6D FOR LOADS LESS THAN 1450 LBS. (MAX. 2 PER STUD) (16-18D X 1/2")  
UNLESS SPECIFIED BY MFR, FASTEN P.T. BUCKS FOR EXTERIOR DOORS, WINDOWS, & SLIDING GLASS DOORS INTO MASONRY AS FOLLOWS:  
FOR 1X MATERIAL: 3/16" TAP-CON' THRU WINDOW FRAME INTO MASONRY (MIN 1-1/2" EMBEDMENT).  
SPACE #6" FROM CORNERS & 24" O.C. MAX. OR PER WINDOW MANUFACTURER'S INSTALL REQUIREMENTS.  
BUCKS REQUIRED • HEAD • JAMBS & MUST EXTEND PAST INTERIOR WINDOW FRAME.  
FOR 2X MATERIAL: 1/4" TAP-CON' • 6" FROM CORNERS & 16" O.C. (MIN 1-1/2" EMBEDMENT INTO MASONRY).  
GARAGE DOORS • P.T. JAMBS • ANY EXT. P.T. STUD TO MASONRY CONNECTION W/ 1/2" DIA. X 6" LONG HOOKED ANCHOR BOLTS OR EXP. BOLTS • 2"-Ø" O.C. USING 2 WASHERS, UNLESS NOTED OTHERWISE ON DOOR MANUFACTURER'S SPECIFICATIONS.
- WINDOWS & EXTERIOR DOORS TO HAVE CURRENT FLORIDA PRODUCT APPROVAL OR MIAMI-DADE NOA. CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR APPROVED SYSTEM WITH PERMIT APPLICATION. FASTENING TO BE IN ACCORDANCE WITH MANUFACTURER'S FLORIDA PRODUCT APPROVAL OR MIAMI-DADE NOA. DOCUMENTATION.  
ALUM. MULLIONS TO BE INSTALLED PER MFR'S SPEC'S. SEE ENGINEER SHOP DRAWINGS BY MFR.  
20. EPOXY SET THREADED RODS & REINFORCING SHALL BE SET WITH 'SIMPSON ET' IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS EMBEDMENT DEPTH AS NOTED ON DETAILS.
- TERMITE PROTECTION TO BE COMPLIANT WITH 2011 FBC-SOL PROTECTION TO EXTEND 12" BEYOND EXTERIOR WALLS OF STRUCTURE.
- ALL CONDENSATE LINE AND ROOF DOWNSPOUTS TO DISCHARGE MIN 12" AWAY FROM STRUCTURE SIDEWALL USING UNDERGROUND PIPING, TAIL EXTENSIONS OR SPLASH BLOCKS.
- ALL RECEPTACLES NOT REQUIRED TO BE GFI SHALL BE ARC FAULT PROTECTED PER THE CURRENT NEC.
- ALL RECEPTACLES TO BE TAMPER PROOF WHERE REQUIRED BY THE CURRENT NEC.
- FOR ANY MIS-PLACED TRUSS STRAIPS IN MASONRY, USE THE FOLLOWING:  
MODEL FASTENERS ALLOWABLE UPLIFT  
SIMPSON HIT516 (4) 1/4" X 2 1/4" TITENS 840 LBS.  
SIMPSON HIT516 (4) 1/4" X 2 1/4" TITENS 175 LBS.  
• OR EQUIVALENT '18P' PRODUCT
- PROVIDE 'CARBON MONOXIDE ALARM' WITHIN 10' OF EACH BEDROOM.
- ALL CITY REQUIRED INSPECTIONS AND TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER.

AREA CALCULATION			
TOTAL LOT AREA	48560		SF.
	EXISTING SF.	PROPOSED ADDITIONAL SF.	NEW TOTAL
EXISTING 1 STORY RESIDENCE			
CONDITIONED SPACE	4338	0	4338 SF.
GARAGE	474	0	474 SF.
COVERED PORCH, LANAI, BREEZEWAY	921	0	921 SF.
ALUMINUM SHED	660	0	660 SF.
NEW BARN	0	1208	1208 SF.
PAVING DRIVEWAY AND WALKWAYS	4845	155	5140 SF.
POOL & DECK	1502	0	1502 SF.
TOTAL IMPERVIOUS	12840	1403	14243 SF.
TOTAL LOT AREA			48560 SF.
PERCENTAGE OF IMPERVIOUS AREA			29.33 %

NEW BARN:  
**ANNON RESIDENCE**  
20336 SW 54th PLACE  
PEMBROKE PINES, FL

architect  
**la krebs** LLC  
28002482  
WEST OFFICE:  
Edgewater Cir. suite 4A  
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(941)475-7327  
EAST OFFICE:  
533 N.E. 3RD Ave.  
suite 3  
Ft. Lauderdale, Fla. 33301  
(954)999-0485  
www.lakrebs.com

revisions:  
2-8-21  
2-23-21  
3-1-21

date: 2-10-21  
job no. FL-2952

T-1

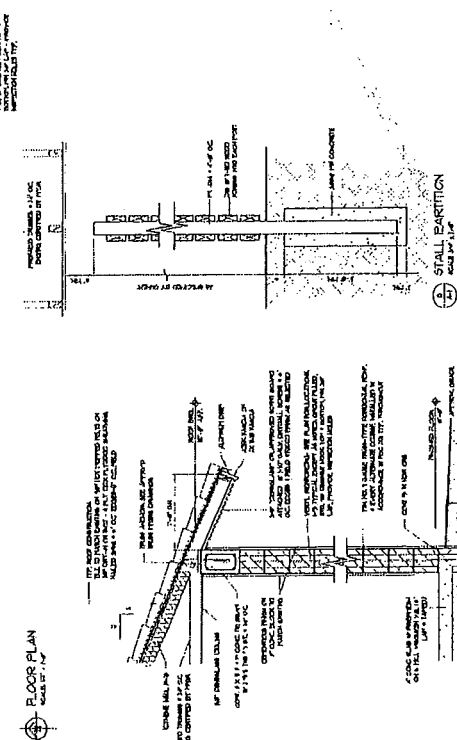
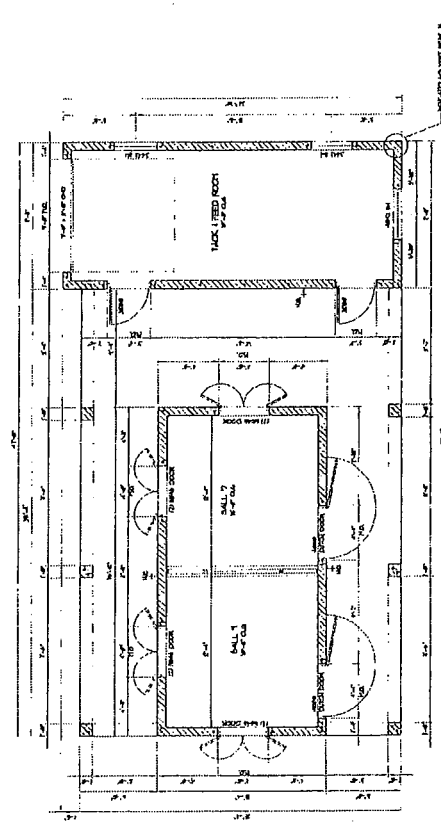
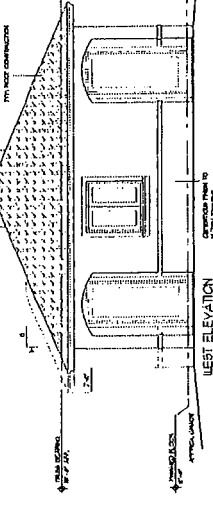
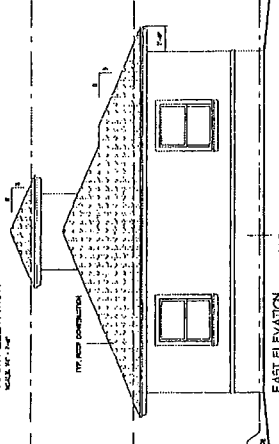
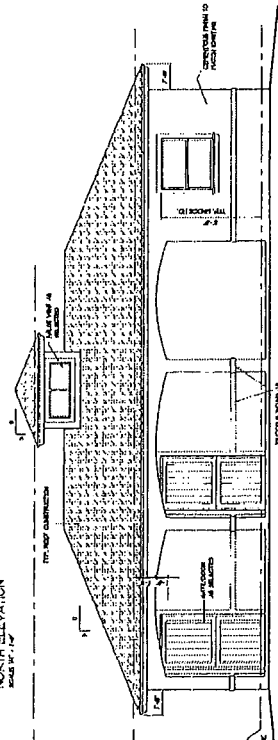
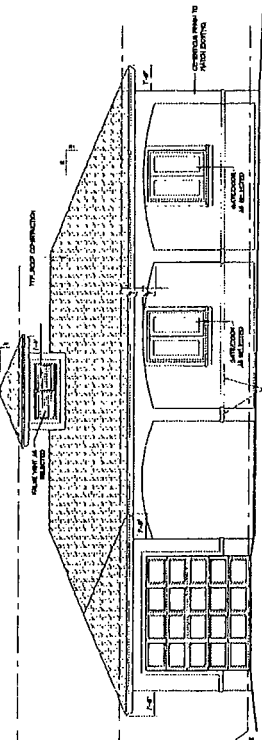
drawing:



PRELIMINARY - NOT FOR CONSTRUCTION

Drawn: K. Krebs  
Architect: 28002482

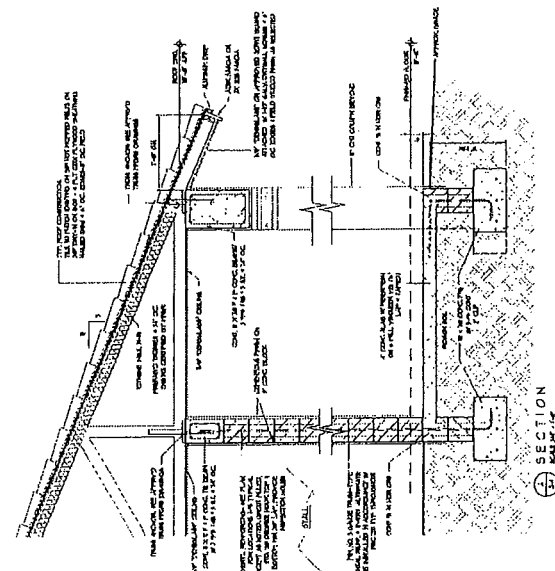
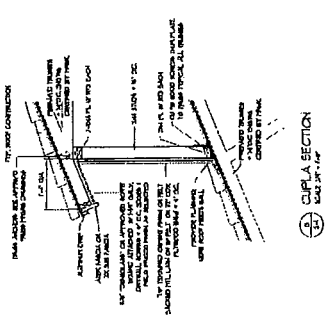






revisions:	DATE: 10-10-03 [D] 1111, 11-10-03	A-1 drawing:
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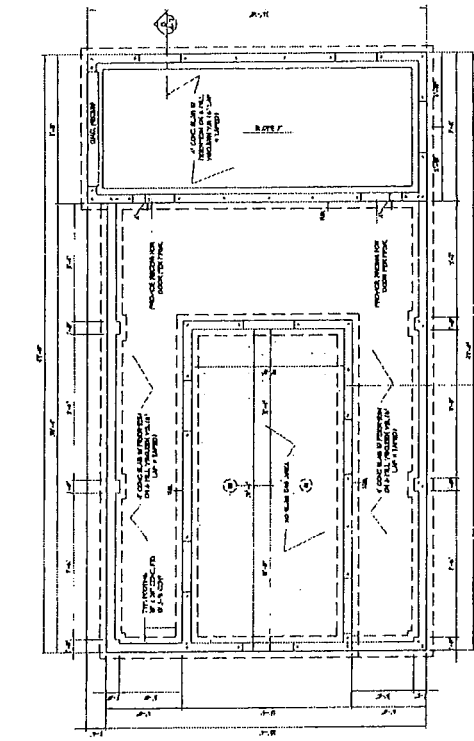
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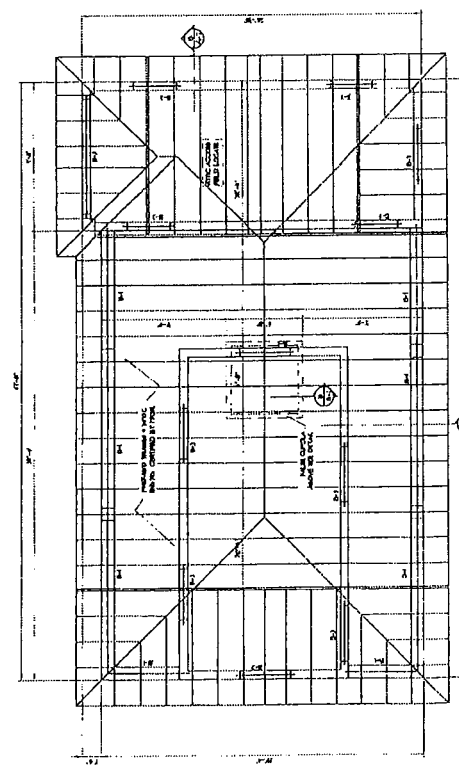
CONCRETE SLAB SCHEDULE									
SLAB	THICKNESS	SPACING	REINFORCEMENT	START	STOP	LENGTH	WIDTH	AREA	REMARKS
S-1	4"	12"	12"	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20
S-2	4"	12"	12"	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20
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S-4	4"	12"	12"	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20	10/10/20

FORM - INCHES AND SCHEDULE		
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FOUNDATION PLAN  
SCALE 1/4\"/>



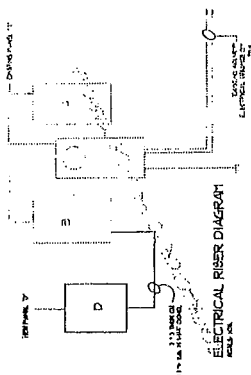
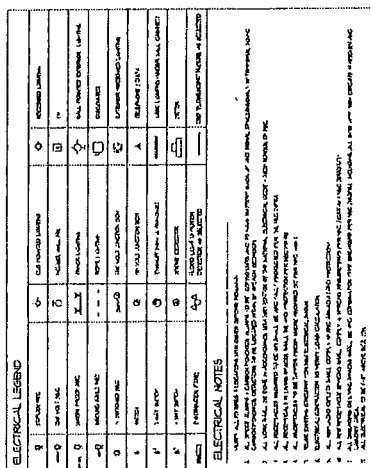
ROOF FRAMING PLAN  
SCALE 1/4\"/>

**Lachance**  
Architecture Inc.

10000 ROUTE 100  
SUITE 100  
DUNDAS, ONTARIO  
L9H 4R1  
TEL: (905) 881-1111  
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WWW.LACHANCE-ARCH.COM

PROJECT: ANNON RESIDENCE  
JOB NO: 1000  
DATE: 10/10/2010  
DRAWN BY: J. LACHANCE  
CHECKED BY: J. LACHANCE  
DATE: 10/10/2010

ANNON RESIDENCE  
10000 ROUTE 100  
SUITE 100  
DUNDAS, ONTARIO  
L9H 4R1

[illegible]

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NON RESIDENCE