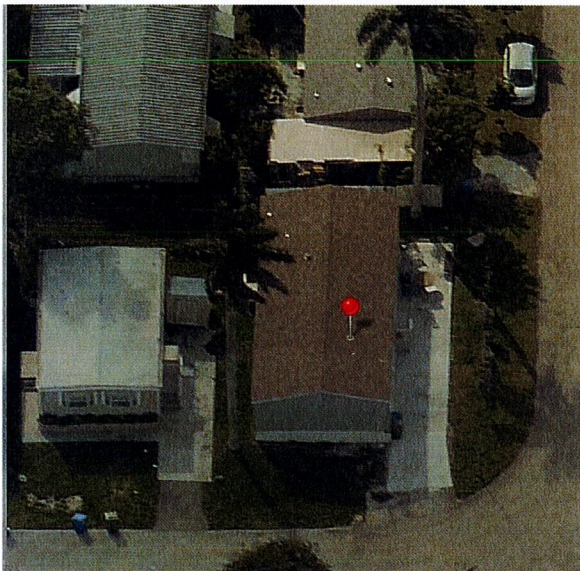


# Vicinity Map

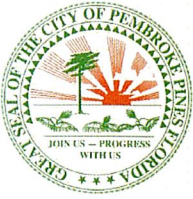
City of Pembroke Pines • Planning and Economic Development Department

ZV(R) 2021-12  
Zoning Variance

GEIDE, JOSEPH H/E PORTER PAULA ETAL  
21740 NW 8 CT PEMBROKE PINES FL 33029









City of Pembroke Pines  
Planning & Economic Development Department  
601 City Center Way 3<sup>rd</sup> Floor  
Pembroke Pines FL, 33025

Summary

<b>Agenda Date:</b>	May 6, 2021	<b>Application ID:</b>	ZV(R) 2021-12
<b>Project:</b>	Mobile Home Stoop/Stairs	<b>Project Number:</b>	N/A
<b>Project Planner:</b>	Dean Piper, Zoning Administrator		
<b>Owner:</b>	Joseph Geide	<b>Agent:</b>	N/A
<b>Location:</b>	21740 NW 8 <sup>th</sup> Court, Pembroke Pines, 33029		
<b>Existing Zoning:</b>	Mobile Home Dwelling (R-1T) Districts	<b>Existing Land Use:</b>	Residential
<b>Reference Applications:</b>	N/A		
<b>Variance Summary</b> Note: For reference newly adopted Land Development Code (LDC) Section & Requirement shown in italics			
<b>Application</b>	<b>Code Section</b>	<b>Required/Allowed</b>	<b>Request</b>
ZV(R) 2021 -12	155.109(G)(1) (Table 155.423: Side Setback)	4' side yard setback (2' interior setback to stoop)	0' side yard setback for required exit stoop/stairs
<b>Final:</b>	<input type="checkbox"/> Planning & Zoning Board		<input checked="" type="checkbox"/> Board of Adjustment
<b>Reviewed for the Agenda:</b>	Director:  Zoning Administrator: 		

## PROJECT DESCRIPTION / BACKGROUND:

Joseph Geide, owner, has submitted a variance request ZV(R) 2021-12 to allow required stoop/stairs to have a 0' side yard setback, instead of the required 4' side yard setback.

This property is within the Holly Lake Homeowners Association. The Association permitted the mobile home as is.

## VARIANCE REQUEST DETAILS:

**ZV(R) 2021 - 12** allow a 0' side yard setback instead of the 4' side yard setback for the required stoop/stairs.

*Code Reference:* **§ 155.109 MOBILE HOME DWELLING (R-1T) DISTRICTS.**

(G) Yards.

(1) Side yards. Every plot shall be provided with side yards not less than four feet in width; except that a roofed carport, without enclosure or side walls, may be located not closer than two feet to any interior side plot line. The side of an open carport erected as an addition to a mobile home shall not be deemed to be enclosed by an exterior wall of the mobile home, or by an exterior wall of a storage room.

*\*Newly Adopted Code Reference:* **Table 155.423: Residential Mobile Home (R-MH)**

Side Setback

4 feet (1)

Note(s):

(1) Open carports and stoops may be located 2 feet from the interior line

(Note: Copy of new table attached for reference)

## VARIANCE DETERMINATION

The Board of Adjustment shall not grant any single-family residential variances, permits, or make any decision, finding, and determination unless it first determines that:

Its decision and action taken is in harmony with the general purposes of the zoning ordinances of the city and is not contrary to the public interest, health, or welfare, taking into account the character and use of adjoining buildings and those in the vicinity, the number of persons residing or working in the buildings, and traffic conditions in the vicinity.

In the granting of single-family residential variances, the Board shall determine that the single-family residential variance granted is the minimum variance that will accomplish the intended purpose in accordance with above and:

A) That there are special circumstances or conditions applying to the land or building for which the variance is sought, which circumstances are peculiar to the land or building and do not apply generally to land or buildings in the neighborhood, and that the strict

application of the provisions of the zoning ordinances would result in an unnecessary hardship and deprive the applicant of the reasonable use of the land or building; or

- B) That any alleged hardship is not self-created by any person having an interest in the property nor is the result of a mere disregard for or in ignorance of the provisions of the zoning ordinances of the city; or
- C) That granting the variance is not incompatible with public policy, will not adversely affect any adjacent property owners, and that the circumstances which cause the special conditions are peculiar to the subject property.

**Enclosed:** Variance Request Application  
Subject Site Aerial Photo

## 155.423 RESIDENTIAL MOBILE HOME (R-MH)

(A) Purpose. This district is intended primarily for single-family residential mobile home developments and neighborhoods. This district is intended to apply to areas to be used for the parking or placement of mobile homes for permanent residences.

(B) Permitted Uses. See Table 155.501.

(C) Dimensional Standards Table

Table 155.423: Residential Mobile Home (R-MH)	
Standard	Residential
Minimum Lot Size	Width: 40 feet   Depth: 80 feet
Maximum Lot Coverage	N/A
Maximum Height	15 feet
Front Setback	6 feet
Side Setback	4 feet [1]
Rear Setback	8 feet
Street Side Setback	4 feet
Minimum Floor Area	N/A
<b>Note(s):</b> [1] Open carports and stoops may be located 2 feet from the interior lot line.	

(D) Additional Criteria. Limitations and special requirements.

1. The mobility of the vehicle used as a mobile home or house trailer shall be maintained. Each unit of a mobile home originally moved onto the site as a separate house trailer, shall be kept currently licensed each year as provided under F.S. § 320.081.
2. Plumbing fixtures and electrical connections associated with cooking facilities shall not be permitted in any building or structure other than the mobile home itself.
3. Each lot shall abut on a public street at least 50 feet in width.
4. Any R-MH District shall be at least five acres in gross area. R-MH zoning shall be applied only to property properly platted under a subdivision plat of record.
5. Fences. A fence may be installed within the front yard setback in accordance with the following regulations:
  - (a) Height. The fence shall not exceed 36 inches in height.
  - (b) Such fence must be constructed of decorative aluminum or wood and shall be no more than 50% opaque.
  - (c) The fence shall not obstruct sight distance triangles, fire hydrants, water valves, water meters, sewer clean-outs and or otherwise precludes any utility maintenance to be performed by the City.





# City of Pembroke Pines

## Planning and Economic Development Department

### Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: 3/24/2021

# Plans for DRC \_\_\_\_\_ Planner: Dean

Indicate the type of application you are applying for:

- |   |  |
|---|--|
| <input type="checkbox"/> Appeal*                      | <input type="checkbox"/> Sign Plan                                   |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan*                                  |
| <input type="checkbox"/> Delegation Request           | <input type="checkbox"/> Site Plan Amendment*                        |
| <input type="checkbox"/> DRI*                         | <input type="checkbox"/> Special Exception*                          |
| <input type="checkbox"/> DRI Amendment (NOPC)*        | <input checked="" type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation       | <input type="checkbox"/> Variance (Multifamily, Non-residential)*    |
| <input type="checkbox"/> Interpretation*              | <input type="checkbox"/> Zoning Change (Map or PUD)*                 |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text)                        |
| <input type="checkbox"/> Miscellaneous                | <input type="checkbox"/> Zoning Exception*                           |
| <input type="checkbox"/> Plat*                        | <input type="checkbox"/> Deed Restriction                            |

#### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

#### Staff Use Only

Project Planner: Dean Project #: PRJ 20 11/A Application #: 201(P)2021-12

Date Submitted: 3/24/2021 Posted Signs Required: (1) Fees: \$ 250.00

**SECTION 1-PROJECT INFORMATION:**Project Name: JOSEPH GEIDEProject Address: 21740 NW 8<sup>th</sup> Ct. Pembroke PinesLocation / Shopping Center: HERITAGE CITY SEC 1 76-45 B Lot 18 Block 2

Acreage of Property: \_\_\_\_\_ Building Square Feet: \_\_\_\_\_

Flexibility Zone: \_\_\_\_\_ Folio Number(s): 544887

Plat Name: \_\_\_\_\_ Traffic Analysis Zone (TAZ): \_\_\_\_\_

Legal Description:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Has this project been previously submitted?                      Yes                      No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval

**SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION**

Owner's Name: Joseph GEIDE

Owner's Address: 21740 NW 8th Ct. Pembroke Pines FL 33029

Owner's Email Address: josephgeide@yahoo.com

Owner's Phone: 813-727-7207 Owner's Fax: \_\_\_\_\_

Agent: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Agent's Address: \_\_\_\_\_

Agent's Email Address: \_\_\_\_\_

Agent's Phone: \_\_\_\_\_ Agent's Fax: \_\_\_\_\_

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.*

**SECTION 3- LAND USE AND ZONING INFORMATION:**

**EXISTING**

Zoning: \_\_\_\_\_

Land Use / Density: \_\_\_\_\_

Use: \_\_\_\_\_

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

\_\_\_\_\_

**PROPOSED**

Zoning: \_\_\_\_\_

Land Use / Density: \_\_\_\_\_

Use: \_\_\_\_\_

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

\_\_\_\_\_

**ADJACENT ZONING**

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

**ADJACENT LAND USE PLAN**

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_



-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

**SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY**

Application Type (Circle One):    Variance      Zoning Appeal      Interpretation

Related Applications: \_\_\_\_\_

Code Section: 155.109(G)(1)

Required: 4' Side Yard Setback

Request: 0' Side Yard Setback w/ stoop for Required door.

Details of Variance, Zoning Appeal, Interpretation Request:

New Home

REQUIRES STEPS ENCRDACH ON Side YARD SETBACK

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY**

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: \_\_\_\_\_

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_

## SECTION 7- PROJECT AUTHORIZATION

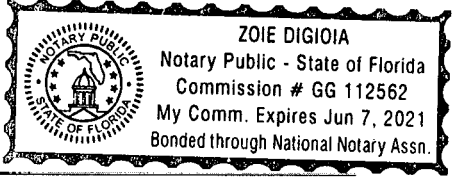
### OWNER CERTIFICATION

This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

[Signature] 3-23-2021  
Signature of Owner Date

Sworn and Subscribed before me this 23 day

of March, 2021

[Signature] [Signature]   
Fee Paid Signature of Notary Public My Commission Expires

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

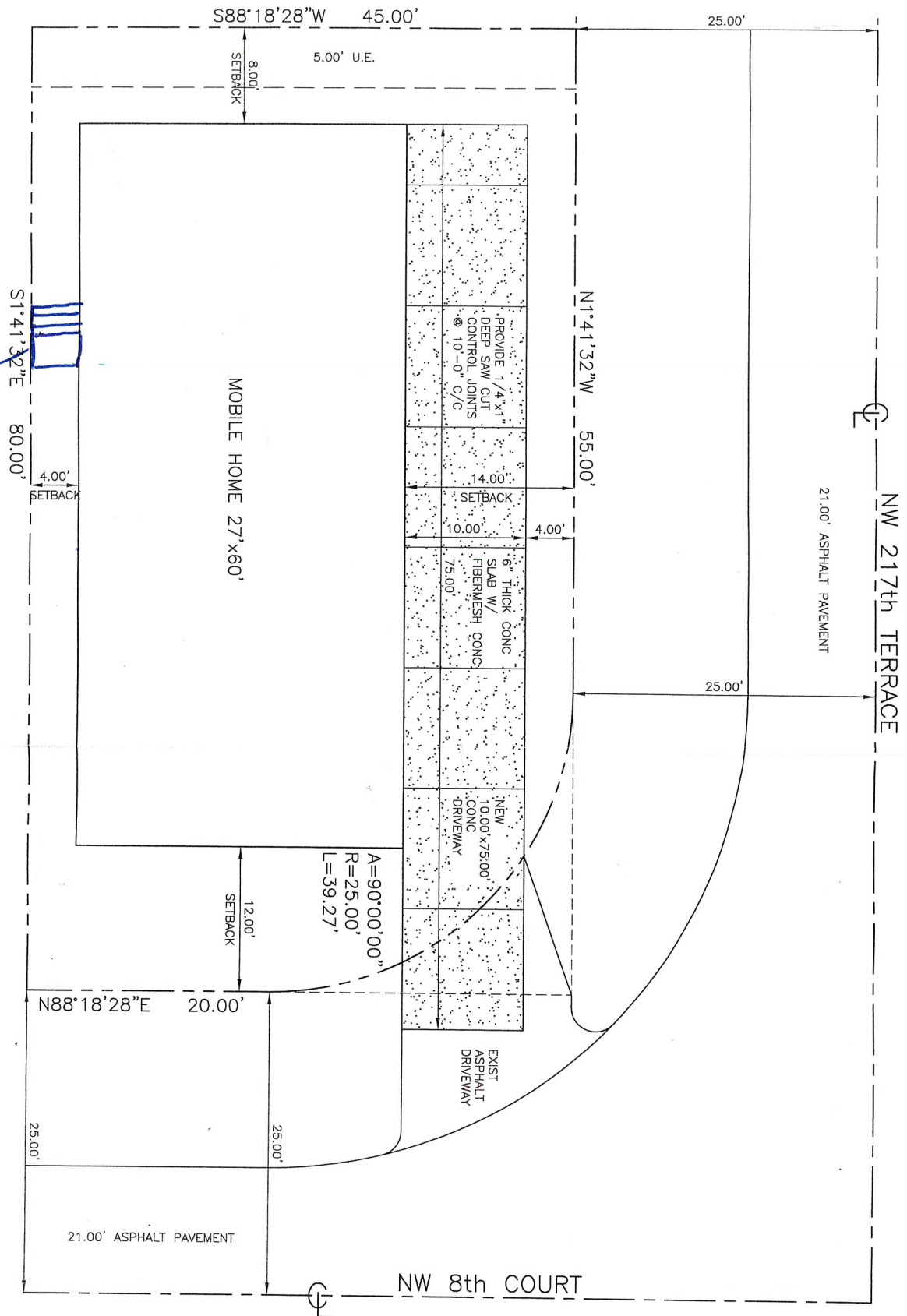
\_\_\_\_\_  
Signature of Agent Date

Sworn and Subscribed before me this \_\_\_\_\_ day

of \_\_\_\_\_, 20\_\_\_\_\_

\_\_\_\_\_  
Fee Paid Signature of Notary Public My Commission Expires

0' setback  
Stoop/stairs



THESE PLANS CONFORM TO THE FBC 2017 ED., NEC 2014, FFPC 6TH EDITION & ASCE 7-10  
DESIGN BASED ON 170 MPH ULTIMATE WINDS, EXPOSURE "C", CATEGORY II

Engineering Business CA 00009677

**TARNOWSKI**  
**ENGINEERING**

CIVIL & STRUCTURAL ENGINEERING

7360 N.W. 5th Street  
Plantation, FL. 33317

Phone (954) 727 - 2027  
Fax (954) 727 - 9644

NEW CONCRETE DRIVEWAY FOR:

GEIDE RESIDENCE AT:  
21740 NW 8th COURT  
PEMBROKE PINES, FL

CONTRACTOR:

JOB #: GEIDE 19  
DATE: 06/06/19  
SCALE: 1/8"=1'-0"  
DRAWN BY: R.P.S.  
CHECKED BY: [Signature]  
SHEET NO. 1 OF 1

[Signature]  
6/6/19  
C.T. "Gus" TARNOWSKI  
P.E. # 50662



