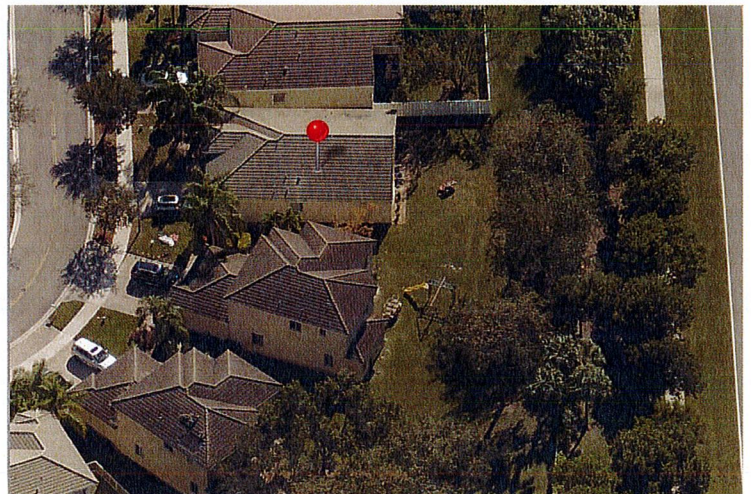
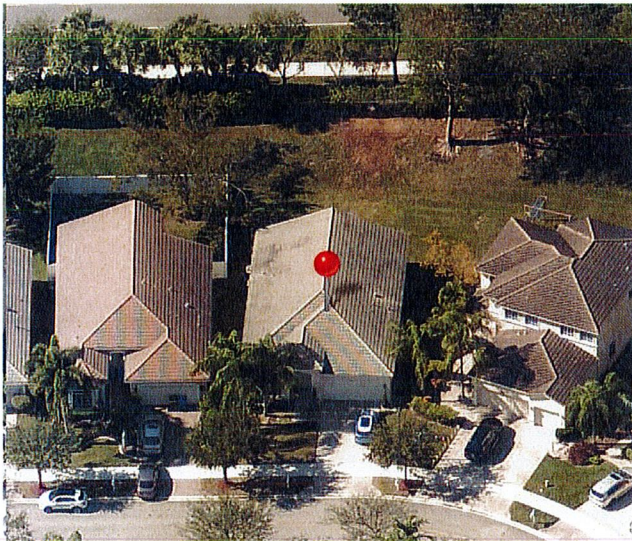
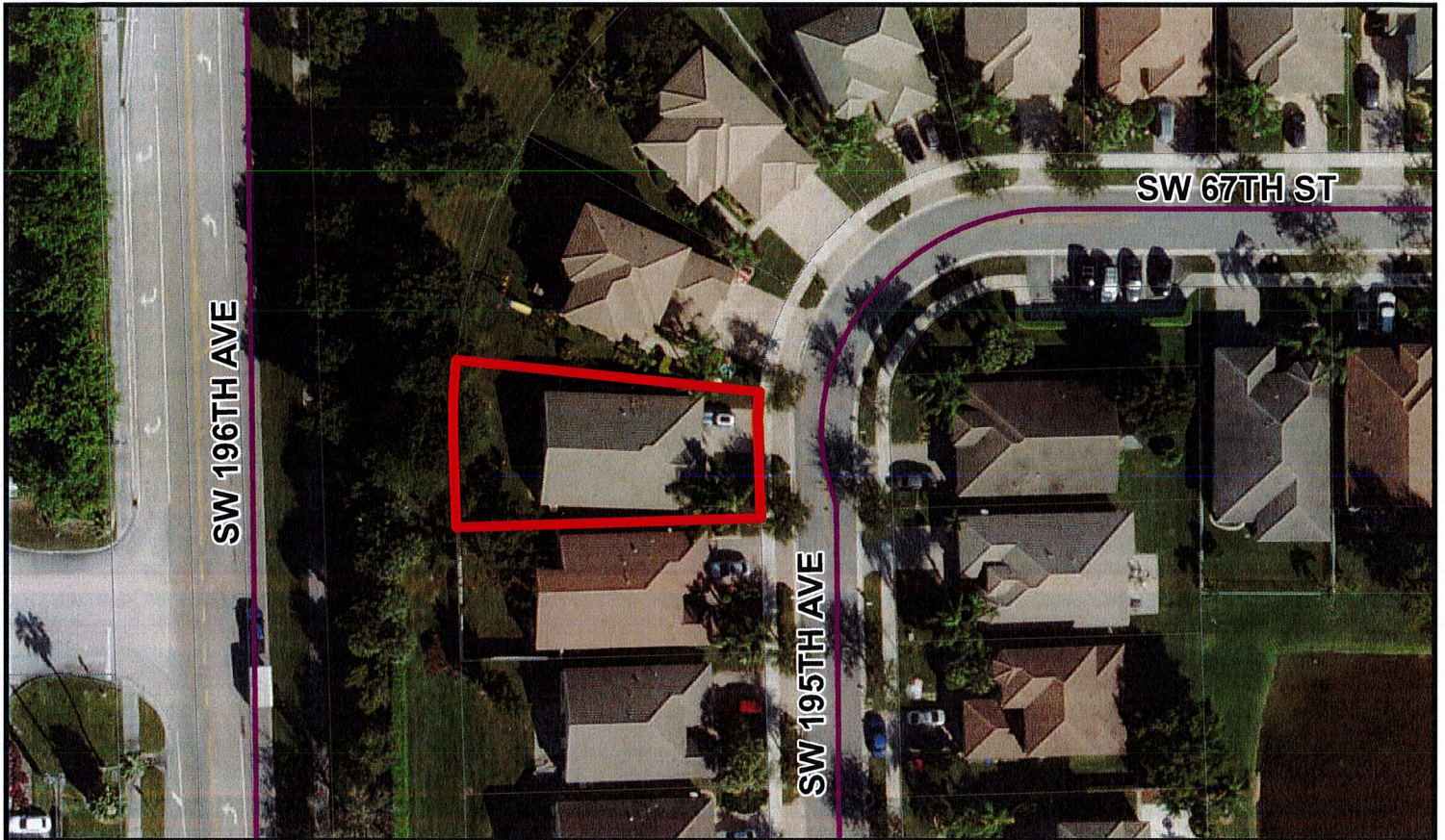


# Vicinity Map

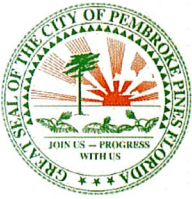
City of Pembroke Pines • Planning and Economic Development Department

ZV(R) 2021-27  
Zoning Variance

TORRES, RAMON A & CARRASQUILLO, ILEANA  
6715 SW 195 AVE PEMBROKE PINES FL 33332









City of Pembroke Pines  
Planning & Economic Development Department  
601 City Center Way 3<sup>rd</sup> Floor  
Pembroke Pines FL, 33025

Summary

<b>Agenda Date:</b>	November 4, 2021	<b>Application ID:</b>	ZV(R) 2021-27
<b>Project:</b>	Proposed driveway	<b>Project Number:</b>	N/A
<b>Project Planner:</b>	Dean Piper, Zoning Administrator		
<b>Owner:</b>	Ramon Torres	<b>Agent:</b>	N/A
<b>Location:</b>	6715 SW 195 <sup>th</sup> Terrace, Pembroke Pines FL, 33332		
<b>Existing Zoning:</b>	Laguna Isles (Big Sky North) Planned Unit Development (PUD)	<b>Existing Land Use:</b>	Residential
<b>Reference Applications:</b>	Item not heard on 10/7/2021 due to lack of a quorum.		
<b>Variance Summary</b>			
<b>Application</b>	<b>Code Section</b>	<b>Required/Allowed</b>	<b>Request</b>
ZV(R) 2021 -27	Laguna Isles (Big Sky North) PUD Guidelines – PUDZONE SF-3	15' Rear Yard Setback	5' Rear Yard Setback
<b>Final:</b>	<input type="checkbox"/> Planning & Zoning Board <input checked="" type="checkbox"/> Board of Adjustment		
<b>Reviewed for the Agenda:</b>	Director:  Zoning Administrator: 		

## **PROJECT DESCRIPTION / BACKGROUND:**

Ramon Torres, owner, has submitted Variance Request ZV(R) 2021-27 to allow a 5' rear yard setback for a proposed pool cabana addition instead of the required 15' rear yard setback.

Attached is Laguna Isles Homeowner's Association approval for this project and a copy of PUDZONE SF-3 regulations from the Laguna Isles (Big Sky North) PUD Guidelines. In addition, the applicant has provided a letter of support from the south side neighbor.

At the October 7, 2021 Meeting there were only three Board Members present to have the minimum number of members for a quorum. After Items ZV(R) 2021-23 & 24 were heard by the Board, a member of the Board became ill and had to leave. With no quorum (only two members left) no actions could be taken by the Board and the remaining items, including this request, had to be re-noticed and re-advertised for this meeting.

## **VARIANCE REQUEST DETAILS:**

**ZV(R) 2021-27** allow a 5' rear yard setback for a proposed pool cabana addition instead of the required 15' rear yard setback.

*Code Reference:* **Laguna Isles (Big Sky North) Planned Unit Development Guidelines**  
PUDZONE SF-3

## **VARIANCE DETERMINATION**

The Board of Adjustment shall not grant any single-family residential variances, permits, or make any decision, finding, and determination unless it first determines that:

Its decision and action taken is in harmony with the general purposes of the zoning ordinances of the city and is not contrary to the public interest, health, or welfare, taking into account the character and use of adjoining buildings and those in the vicinity, the number of persons residing or working in the buildings, and traffic conditions in the vicinity.

In the granting of single-family residential variances, the Board shall follow Section 155.301(O) Variance:

1. Purpose: To allow for the provision of relief from certain development standards of this LDC for one or more of the following reasons:
  - a) There are special circumstances or conditions applying to the land or building for which the variance is sought, which circumstances are peculiar to the land or building and do not apply generally to land or buildings in the neighborhood, and that the strict application of the provisions of the zoning ordinances would result in an unnecessary hardship and deprive the applicant of the reasonable use of the land or building; or
  - b) Any alleged hardship is not self-created by any person having an interest in the property nor is the result of a mere disregard for or in ignorance of the provisions of the zoning ordinances of the city; or

- c) Granting the variance is not incompatible with public policy, will not adversely affect any adjacent property owners, and that the circumstances which cause the special conditions are peculiar to the subject property.

**Enclosed:** Variance Request Application  
Subject Site Aerial Photo  
Neighbor's Letter of Support  
Property Survey





# City of Pembroke Pines

## Planning and Economic Development Department

### Unified Development Application

Planning and Economic Development  
City Center - Third Floor  
601 City Center Way  
Pembroke Pines, FL 33025  
Phone: (954) 392-2100  
<http://www.ppines.com>

*Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.*

Pre Application Meeting Date: 7/1/2021

# Plans for DRC \_\_\_\_\_ Planner: DEAN PIPER

Indicate the type of application you are applying for:

- |   |  |
|---|--|
| <input type="checkbox"/> Appeal*                      | <input type="checkbox"/> Sign Plan                                   |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan*                                  |
| <input type="checkbox"/> Delegation Request           | <input type="checkbox"/> Site Plan Amendment*                        |
| <input type="checkbox"/> DRI*                         | <input type="checkbox"/> Special Exception*                          |
| <input type="checkbox"/> DRI Amendment (NOPC)*        | <input checked="" type="checkbox"/> Variance (Homeowner Residential) |
| <input type="checkbox"/> Flexibility Allocation       | <input type="checkbox"/> Variance (Multifamily, Non-residential)*    |
| <input type="checkbox"/> Interpretation*              | <input type="checkbox"/> Zoning Change (Map or PUD)*                 |
| <input type="checkbox"/> Land Use Plan Map Amendment* | <input type="checkbox"/> Zoning Change (Text)                        |
| <input type="checkbox"/> Miscellaneous                | <input type="checkbox"/> Zoning Exception*                           |
| <input type="checkbox"/> Plat*                        | <input type="checkbox"/> Deed Restriction                            |

#### INSTRUCTIONS:

1. All questions must be completed on this application. If not applicable, mark *N/A*.
2. Include all submittal requirements / attachments with this application.
3. All applicable fees are due when the application is submitted (Fees adjusted annually).
4. Include mailing labels of all property owners within a 500 feet radius of affected site with signed affidavit (Applications types marked with \*).
5. All plans must be submitted no later than noon on Thursday to be considered for Development Review Committee (DRC) review the following week.
6. Adjacent Homeowners Associations need to be noticed after issuance of a project number and a minimum of 30 days before hearing. (Applications types marked with \*).
7. The applicant is responsible for addressing staff review comments in a timely manner. Any application which remains inactive for over 6 months will be removed from staff review. A new, updated, application will be required with applicable fees.
8. Applicants presenting demonstration boards or architectural renderings to the City Commission must have an electronic copy (PDF) of each board submitted to Planning Division no later than the Monday preceding the meeting.

#### Staff Use Only

Project Planner: \_\_\_\_\_ Project #: PRJ 20\_\_\_\_ - \_\_\_\_ Application #: \_\_\_\_\_

Date Submitted: \_\_\_\_/\_\_\_\_/\_\_\_\_ Posted Signs Required: (\_\_\_\_) Fees: \$\_\_\_\_\_

**SECTION 1-PROJECT INFORMATION:**Project Name: open terrace / cabana / poolProject Address: 6715 SW 195th Ave. Pembroke Pines FL 33332

Location / Shopping Center: \_\_\_\_\_

Acreage of Property: \_\_\_\_\_ Building Square Feet: \_\_\_\_\_

Flexibility Zone: \_\_\_\_\_ Folio Number(s): \_\_\_\_\_

Plat Name: \_\_\_\_\_ Traffic Analysis Zone (TAZ): \_\_\_\_\_

Legal Description:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Has this project been previously submitted?

☒ Yes☐ No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval



## SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION

Owner's Name: Ramon Torres

Owner's Address: 6715 SW 195th Ave. Pembroke Pines FL 33332

Owner's Email Address: torreram@gmail.com

Owner's Phone: 954 275 9200 Owner's Fax: \_\_\_\_\_

Agent: Ramon Torres

Contact Person: Ramon Torres

Agent's Address: (same)

Agent's Email Address: (same)

Agent's Phone: (same) Agent's Fax: \_\_\_\_\_

*All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner.*

## SECTION 3- LAND USE AND ZONING INFORMATION:

### EXISTING

Zoning: \_\_\_\_\_

Land Use / Density: \_\_\_\_\_

Use: \_\_\_\_\_

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

### PROPOSED

Zoning: \_\_\_\_\_

Land Use / Density: \_\_\_\_\_

Use: \_\_\_\_\_

Plat Name: \_\_\_\_\_

Plat Restrictive Note: \_\_\_\_\_

### ADJACENT ZONING

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

### ADJACENT LAND USE PLAN

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

**SECTION 4 – VARIANCE • ZONING APPEAL • INTERPRETATION ONLY**

Application Type (Circle One): Variance Zoning Appeal Interpretation

Related Applications: N/A

Code Section: Laguna Isles P.U.D. - PUDZONG SF-3

Required: 15' Rear Yard Setback

Request: 5' Rear Yard Setback

Details of Variance, Zoning Appeal, Interpretation Request:

see attached letter

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY**

☐ City Amendment Only

☐ City and County Amendment

Existing City Land Use: \_\_\_\_\_

Requested City Land Use: \_\_\_\_\_

Existing County Land Use: \_\_\_\_\_

Requested County Land Use: \_\_\_\_\_



**Letter of Intent**  
**In Support of Request for Variance**  
**6715 SW 195<sup>th</sup> Ave Pembroke Pines, FL33332**

To who may Concern;

This Letter of Intent is in support of my request for a variance to the back yard setback requirement for an existing conforming lot. The intention is to build a new cabana with half bath in the backyard.

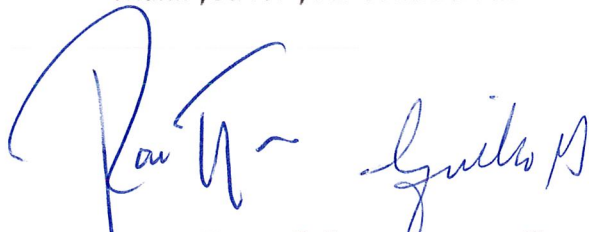
As the PUD guidelines, our property is zoned SF-3. This requires 5' setbacks for structures up to 200sf that are separate from the house but our currently cabana is at 288sf. That is the reason why we plan to go attached to the house to be able to keep the 288sf (up to 45% lot coverage as per code – actual proposal be at 40.4%) but we have to meet the 15' rear setback as per code. Serve to note that there is a 50' HOA landscape maintenance yard behind our house (adjacent to 196<sup>th</sup> Ave).

However, in an effort to be able to keep the size of the cabana (288sf) we will attach the cabana to physically connect the two structures (cabana and house).

As a result of this change to the initial proposal (standalone cabana), the cabana on the site plan to it would require a variance on the west side of the lot to allow for a 5- foot setback.

What is perhaps most relevant here, and what I would ask the board to consider, is (1) the fact that this changes were approved by our HOA initially as requested initially; (2) the fact that the western side of the lot there are no neighbors (50' HOA landscape maintenance yard) just a burn; (3) the proposed style and structure of the cabana is in step with the existing house and neighborhood; and (4) the neighbors on the north and south side of the house (lot) are both in agreement with the proposed site plan for the cabana.

Thank you for your consideration.

A handwritten signature in blue ink, appearing to read 'Ramon Torres & Ileana Carrasquillo', is written over the printed name.

Ramon Torres & Ileana Carrasquillo  
Residence Owners  
6715 SW 195<sup>th</sup> Ave  
Pembroke Pines FL 33332

REVISIONS:

(1) 8/28/21: ZOHNS COMMENTS (LANDSCAPING NOTES)

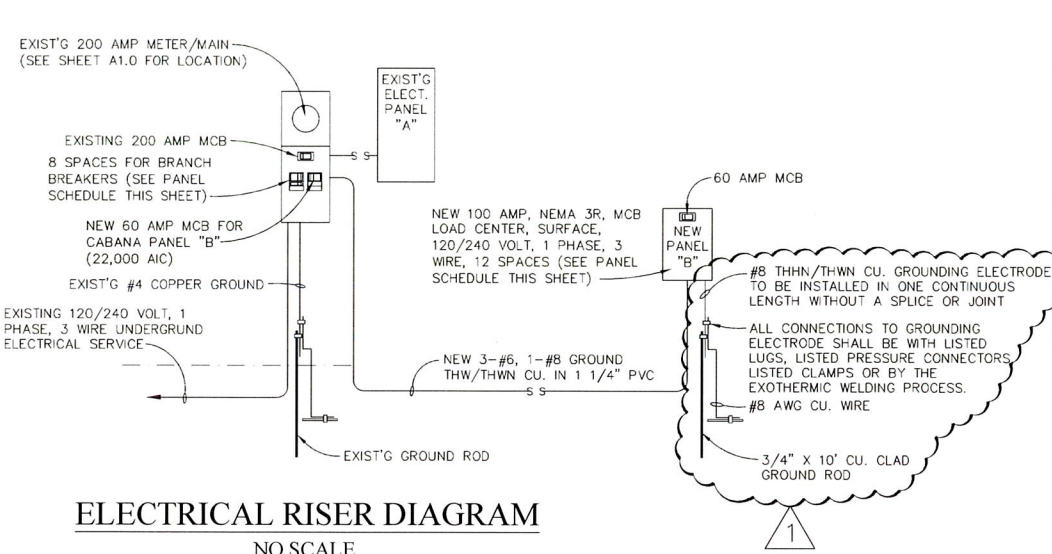
(2) 8/30/21: ZOHNS COMMENTS





EXISTING 200 AMP MAIN						200 AMP MCB MAIN, NEMA 3R, SURFACE 120/240 VOLT, 1 PHASE, 3 WIRE, 8 SPACES (FEED THRU TO PANEL "A")					
CIRCUIT	ITEM	VOLTS	WATTS	C.B.	COND.	WIRE					
1,3	POOL TIMER & TRANSFORMER (PUMP & LIGHTS)	240	1900	20/2	"E"	"E"					
2,4	NEW PANEL "B" (POOL CABANA)	240	3782	60/2	1 1/4"	3-#6, #BG.					
5	EXISTING W.P. GFI RECEPTACLE	120	500	20/1	"E"	"E"					
6	SPACE										
7	SPACE										
8	SPACE										
MAIN DISCONNECT BRANCH CIRCUIT BREAKER LOAD		6,182 W. / 240 VOLT = 26 AMPS									
PANEL "A" LOAD (FEED THRU)		= 162 AMPS									
TOTAL LOAD		= 188 AMPS									

NEW ELECT. PANEL "B"						100 AMP, NEMA 3R, MCB LOAD CENTER, SURFACE, 120/240 VOLT, 1 PHASE, 3 WIRE, 12 SPACES, 60 AMP MCB (22,000 AIC)					
CIRCUIT	ITEM	VOLTS	WATTS	C.B.	COND.	WIRE					
1	CABANA RECEPTACLES	120	360	20/1	1/2"	#12					
2	CABANA LIGHTS, CEILING FANS & BATH	120	562	20/1	1/2"	#12					
3	CABANA RECEPTACLES	120	360	20/1	1/2"	#12					
4	CABANA DED. TV RECEPTACLE	120	500	20/1	1/2"	#12					
5	W.P. GFI RECEPTACLE	120	500	20/1	1/2"	#12					
6	J-BOX FOR FUTURE SITE LIGHTING	120	1500	20/1	1/2"	#12					
7	SPACE										
8	SPACE										
9	SPACE										
10	SPACE										
11	SPACE										
12	SPACE										
TOTAL LOAD		3,782 W. / 240 VOLT = 16 AMPS									

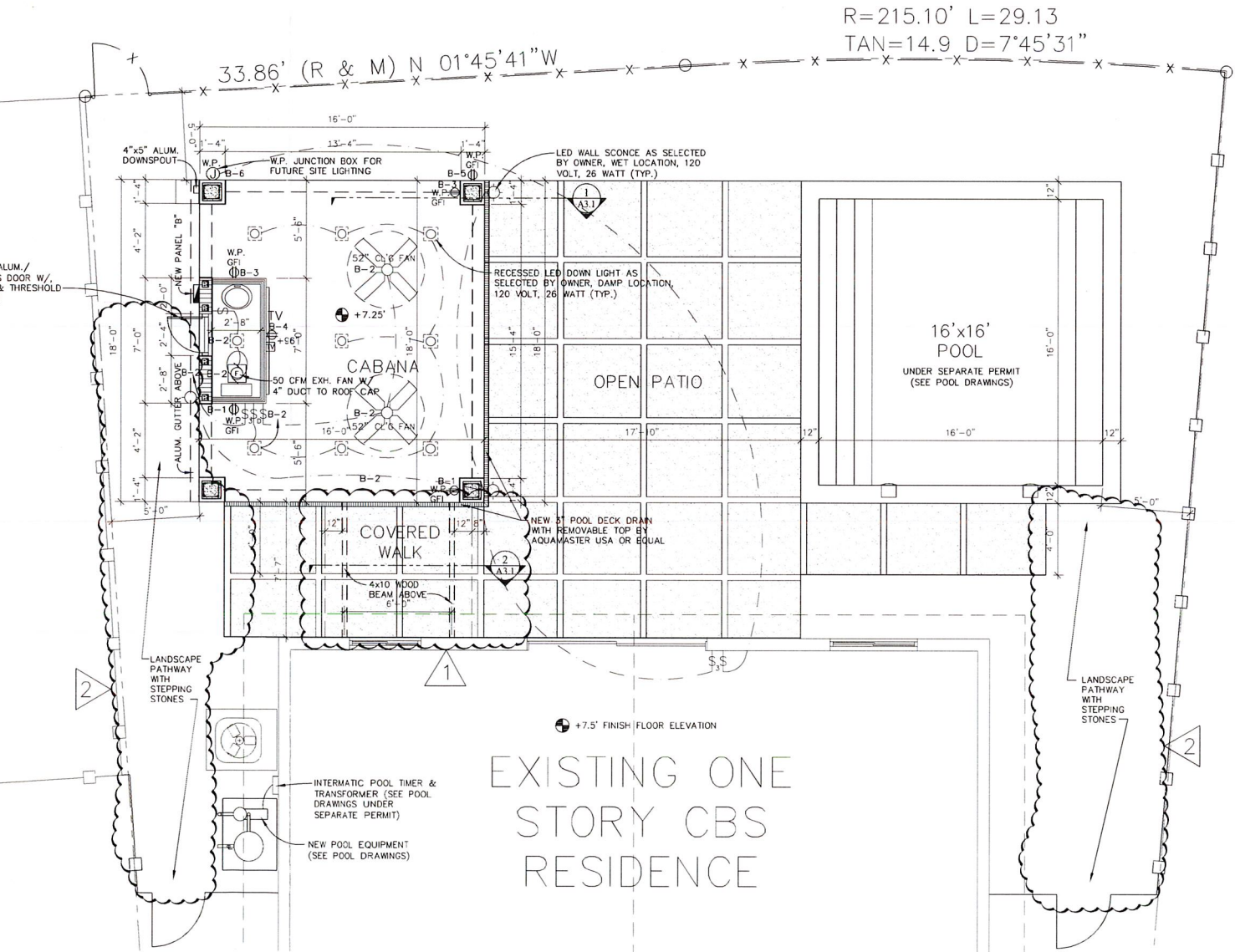


ELECTRICAL NOTES:

- ALL CIRCUITS SHALL BE IDENTIFIED IN DISTRIBUTION PANEL WITH NO EXCEPTION.
- ALL WIRING TO BE COPPER. ROMEX IS APPROVED FOR USE WHERE ALLOWED BY N.E.C. & LOCAL CODE.
- ALL CONDUIT SHALL HAVE GROUND CONDUCTOR PER N.E.C. AND ALL LOCAL CODES.
- ALL FIXTURES, WIRING DEVICES, WIRING, ECT. SHALL BE U.L. APPROVED AND SO MARKED.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CIRCUIT BREAKER, WIRE AND CONDUIT SIZES WITH EQUIPMENT MANUFACTURER'S NAME PLATE RATINGS.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE WORK IS BEGUN.
- ALL WORK AND MATERIALS SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS OF THE 2017 NATIONAL ELECTRIC CODE, THE 7th EDITION FLORIDA BUILDING CODE (2020), NFPA 72 2017 AND THE 7th EDITION FLORIDA FIRE PREVENTION CODE.
- THERE WILL BE NO CHANGES OR ADDITIONAL MONEY CONSIDERED OVER THE BID CONTRACT WITHOUT A WRITTEN CHANGE ORDER SIGNED BY THE OWNER.

ELECTRICAL LEGEND

- LIGHTING FIXTURE - CEILING MOUNTED
- LIGHTING FIXTURE - WALL MOUNTED
- LIGHTING FIXTURE - RECESSED
- EXHAUST FAN
- 120V-20A TOGGLE SWITCH-45" A.F.F., 2=2 POLE, 3=3 WAY, 4=4 WAY, D=DIMMER, K=KEY, F=FAN SPEED CONTROL, M= MOTOR RATED WITH OVERLOADS
- 120V-20A DUPLEX RECEPTACLE - 18" A.F.F. OR AS NOTED
- 120V-20A DUPLEX RECEPTACLE - FLOOR MOUNTED
- 120V-20A DUPLEX RECEPTACLE - MOUNTED ABOVE COUNTER
- 120V-20A DUPLEX RECEPTACLE - ON CIRCUIT WITH ARC FAULT CIRCUIT BREAKER
- 120V-20A QUADRUPLUX RECEPTACLE - MOUNT AS NOTED
- SPECIAL PURPOSE RECEPTACLE - MOUNT AS REQUIRED FOR EQUIPMENT CONTRACTOR TO MATCH EQUIPMENT PLUG WITH RECEPTACLE
- JUNCTION BOX
- TELEPHONE/HIGH SPEED INTERNET JACKS - 18" A.F.F. OR AS NOTED - STUB 1/2" C. INTO CEILING
- TELEPHONE OUTLET - FLOOR MOUNTED - STUB 1/2" C.
- TELEVISION JUNCTION BOX - MOUNT AS REQUIRED
- THERMOSTAT-60" A.F.F.-SUPPLIED BY M.C., INSTALLED BY E.C.
- MOTOR-SEE PANEL SCHEDULE FOR SIZE
- ELECTRICAL DISTRIBUTION PANEL
- FIRE ALARM SMOKE DETECTOR (120V./BATTERY BACK-UP)
- COMBINATION CARBON MONOXIDE/SMOKE DETECTOR (120V./BATTERY BACK-UP)
- CARBON MONOXIDE DETECTOR (120V./BATTERY BACK-UP)
- GARAGE DOOR OPERATOR
- DOOR BELL
- GFI GROUND FAULT INTERRUPTER
- D.L. DAMP LOCATION
- W.P. WEATHER PROOF
- V.P. VAPOR PROOF
- S.A. SMALL APPLIANCE CIRCUIT
- T.C. TIME CLOCK
- E.W.H. ELECTRIC WATER HEATER
- AHU AIR HANDLER UNIT
- A.F.F. ABOVE FINISH FLOOR
- EC ELECTRICAL CONTRACTOR
- "E" EXISTING
- "RE" RELOCATED EXISTING
- "N" NEW



FLOOR PLAN

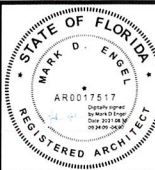
1/4"=1'-0"

REVISED: 8/10/21

POOL CABANA FOR  
**RAMON TORRES**  
6715 S.W. 195th AVE., PEMBROKE PINES, FLORIDA 33332

DATE: 2/17/21  
DRAWN: K.W.N.  
CHECKED: A.D.E.

**ENGEL & ASSOCIATES, INC.**  
ARCHITECTS | PLANNERS  
4800 S.W. 64TH AVENUE, SUITE 104 DAVE, FLORIDA 33314  
954.799.4810 FAX 954.799.4811 A40003607



COMM. #: 2032

A2.1



### **PUDZONE SF-3**

<b>Permitted Use:</b>	One-family dwelling and related accessory uses.
<b>Minimum Lot Size:</b>	5,500 sq. ft.
<b>Lot Coverage:</b>	45% of all buildings.
<b>Minimum Floor Area:</b>	1,550 sq. ft. of gross floor area or 1,350 sq. ft. of air- conditioned space for 1 story dwelling. Two (2) story dwelling shall have a minimum of 1,600 sq. ft of air conditioned space.
<b>Maximum Height:</b>	35 ft. (to the highest point of the roof).
<b>Minimum Frontage:</b>	50 ft. (except on pie-shaped lots where the 50 ft. shall be measured at the front building line. In no event shall the frontage at right-of-way be less than 30 ft.)
<b>Front Yard Setback:</b>	20 feet to structure, 24 feet to garage. Front yard requirements are exclusive of sidewalks except as amended in these Design and Development Standards.
<b>Rear Yard Setback:</b>	15 ft. Rear yard setbacks for lots adjacent to lakes are exclusive of any required lake maintenance easements. Any type of hard roof covering a patio must meet the minimum required setbacks.
<b>Side Yard Setback</b>	5 ft. setback from property line.
<b>Street Side Yard:</b>	15 ft. to structure. (Street side yard setback for key lots shall be equal to the front yard setback.)
<b>Key Lots:</b>	Where a rear yard is adjacent to another home's side yard, only single story homes shall be permitted. Two story homes on either one or both of the lots may be allowed subject to approval by both the City of Pembroke Pines and the ACB.
<b>Corner Lots:</b>	Lots fronting on two (2) streets shall have front yard setbacks on the street the unit faces. The other street shall be considered a street side yard. The side opposite the way the unit faces shall be considered the rear yard and the other side shall be the side yard.
<b>Parking:</b>	A minimum of two (2) off-street parking spaces (excluding garage) shall be provided for each unit. Minimum driveway size shall be 16 ft. by 20 ft. exclusive of sidewalks. Tandem parking shall not be counted towards the required parking spaces.

**Landscaping:**

Landscaping requirements shall be in accordance with the applicable provisions of the City of Pembroke Pines Code of Ordinances, Sec 153 and the Landscape section of these Design and Development Standards.

**Guest Parking:**

Guest parking shall be accommodated in common areas at the rate of 2.5 cars for each ten (10) units or fraction thereof.



**ARCHITECTURAL CHANGE REQUEST  
LAGUNA ISLES COMMUNITY ASSOCIATION, INC.**

NAME: Ramon Torres / Ileana Carrasquillo HOME PHONE: (954) 8013501  
ADDRESS: 6715 SW 195<sup>th</sup> Ave. LOT      BLOCK       
CELL # (954) 2759260 EMAIL: carrasi1@yahoo.com

RETURN TO: NextGen Management, LLC  
1079 Shotgun Road, Sunrise, FL 33326  
(954) 349-8777

**TYPE OF CHANGE REQUESTED AND DOCUMENTS TO SUBMIT WITH APPLICATION:**

- ☐ POOL: Site plan on lot survey and Contractor's proposal (any pool fencing requires a separate application).
- ☐ LANDSCAPE: Site plan on lot survey and diagram indicating what plant species will be used and where they will be planted.
- ☐ FENCE: Site plan on lot survey, Contractor's proposal and color picture indicating material being used.
- ☐ PAINTING: Contractor's proposal and Color Scheme Samples from Approved Paint Schemes for Laguna Isles Association.

OTHER: cover patio / open terrace - Site plan on lot survey and color picture indicating material(s) being used.

Processing fee \$25 (not refundable) \$500 deposit for any work requiring digging. Palm Beach Broward must be contacted BEFORE any work is done. If not, the deposit will not be refunded. Send an E-Form through the Laguna Isle website or Fax your Palm Beach Broward request to 561-364-5297.

Multiple projects: Application 3 of 3

Submit 1 application for each project. Only 1 fee and 1 deposit are required for multiple projects completed at the same time.

**DESCRIPTION OF WORK TO BE DONE**

Please describe the type of change that you are requesting. Specify any materials to be used, including colors.

concrete cover patio with half bath.  
Paint same as the house

**ACKNOWLEDGEMENT OF APPLICANT**

I understand that I must be the property owner to make application to the Association for Architectural Change. I understand that application does not guarantee approval and that any approval must be received, in writing, prior to making the alterations requested in this application. I understand that Architectural Approval is based upon the aesthetics of the proposed. I further understand that if I am digging, that my contractor must contact the appropriate utilities prior to digging. I understand that must follow all local building codes and setback requirements when making the change and that a building permit may be required. I further understand that I may not deviate from the plans submitted and that any variation will require re-application. I understand that I WILL FORFEIT MY DEPOSIT if Palm Beach Broward Irrigation is not consulted and used for any irrigation repairs or modification. Work must be completed within six months from date of approval.

SIGNATURE OF PROPERTY OWNER: [Signature]

DATE: 9/28/2020

**ARCHITECTURAL CONTROL COMMITTEE OF LAGUNA ISLES COMMUNITY**

APPROVED ☒ DENIED ☐ INADEQUATE INFO PROVIDED ☐

AUTHORIZED ACC SIGNATURE: [Signature]

DATE: 10/8/20

COMMENTS:

must contact Palm Beach Broward to re-route sprinkler system.

**ARCHITECTURAL CHANGE REQUEST  
LAGUNA ISLES COMMUNITY ASSOCIATION, INC.**

NAME: Ramon Torres/Tleana Carrasquillo HOME PHONE: (954) 801 3501  
ADDRESS: 6715 SW 195th Ave. LOT      BLOCK       
CELL #: (954) 275 9260 EMAIL: carrasi1@yahoo.com

RETURN TO: NextGen Management, LLC  
1079 Shotgun Road, Sunrise, FL 33326  
(954) 349-8777

**TYPE OF CHANGE REQUESTED AND DOCUMENTS TO SUBMIT WITH APPLICATION:**

- ☐ **POOL:** Site plan on lot survey and Contractor's proposal (any pool fencing requires a separate application).  
☐ **LANDSCAPE:** Site plan on lot survey and diagram indicating what plant species will be used and where they will be planted.  
☒ **FENCE:** Site plan on lot survey, Contractor's proposal and color picture indicating material being used.  
☐ **PAINTING:** Contractor's proposal and Color Scheme Samples from Approved Paint Schemes for Laguna Isles Association.  
☐ **OTHER:** \_\_\_\_\_ - Site plan on lot survey and color picture indicating material(s) being used.  
Processing fee \$25 (not refundable) \$500 deposit for any work requiring digging. Palm Beach Broward must be contacted BEFORE any work is done. If not, the deposit will not be refunded. Send an E-Form through the Laguna Isle website or Fax your Palm Beach Broward request to 561-364-5297.

Multiple projects: Application 2 of 3

Submit 1 application for each project. Only 1 fee and 1 deposit are required for multiple projects completed at the same time.

**DESCRIPTION OF WORK TO BE DONE**

Please describe the type of change that you are requesting. Specify any materials to be used, including colors.  
PVC fence 5' side 4' on the back

**ACKNOWLEDGEMENT OF APPLICANT**

I understand that I must be the property owner to make application to the Association for Architectural Change. I understand that application does not guarantee approval and that any approval must be received, in writing, prior to making the alterations requested in this application. I understand that Architectural Approval is based upon the aesthetics of the proposed. I further understand that if I am digging, that my contractor must contact the appropriate utilities prior to digging. I understand that must follow all local building codes and setback requirements when making the change and that a building permit may be required. I further understand that I may not deviate from the plans submitted and that any variation will require re-application. I understand that I WILL FORFEIT MY DEPOSIT if Palm Beach Broward Irrigation is not consulted and used for any irrigation repairs or modification. Work must be completed within six months from date of approval.

SIGNATURE OF PROPERTY OWNER: [Signature]

DATE: 9/28/2020

ARCHITECTURAL CONTROL COMMITTEE OF LAGUNA ISLES COMMUNITY

APPROVED ☒ DENIED ☐ INADEQUATE INFO PROVIDED ☐

AUTHORIZED ACC SIGNATURE: [Signature]

DATE: 10/8/20

COMMENTS:

Must contact Palm Beach Broward to mark sprinklers  
so Fence Installation can avoid damaging sprinkler lines



**ARCHITECTURAL CHANGE REQUEST  
LAGUNA ISLES COMMUNITY ASSOCIATION, INC.**

NAME: Ileana Carrasquillo & Ramon Torres HOME PHONE: \_\_\_\_\_  
ADDRESS: 6715 SW 195 Ave LOT 48 BLOCK B  
CELL #: \_\_\_\_\_ EMAIL: Carras1@yahoo.com  
954 275 9260  
954 801 3501

RETURN TO: NextGen Management, LLC  
1079 Shotgun Road, Sunrise, FL 33326  
(954) 349-8777

**TYPE OF CHANGE REQUESTED AND DOCUMENTS TO SUBMIT WITH APPLICATION:**

- ☒ **POOL:** Site plan on lot survey and Contractor's proposal (any pool fencing requires a separate application).  
☐ **LANDSCAPE:** Site plan on lot survey and diagram indicating what plant species will be used and where they will be planted.  
☐ **FENCE:** Site plan on lot survey, Contractor's proposal and color picture indicating material being used.  
☐ **PAINTING:** Contractor's proposal and Color Scheme Samples from Approved Paint Schemes for Laguna Isles Association.  
☐ **OTHER:** \_\_\_\_\_ - Site plan on lot survey and color picture indicating material(s) being used.  
Processing fee \$25 (not refundable) \$500 deposit for any work requiring digging. Palm Beach Broward must be contacted BEFORE any work is done. If not, the deposit will not be refunded. Send an E-Form through the Laguna Isle website or Fax your Palm Beach Broward request to 561-364-5297.

Multiple projects: Application 1 of 1

Submit 1 application for each project. Only 1 fee and 1 deposit are required for multiple projects completed at the same time.

**DESCRIPTION OF WORK TO BE DONE**

Please describe the type of change that you are requesting. Specify any materials to be used, including colors.

\_\_\_\_\_

\_\_\_\_\_

**ACKNOWLEDGEMENT OF APPLICANT**

I understand that I must be the property owner to make application to the Association for Architectural Change. I understand that application does not guarantee approval and that any approval must be received, in writing, prior to making the alterations requested in this application. I understand that Architectural Approval is based upon the aesthetics of the proposed. I further understand that if I am digging, that my contractor must contact the appropriate utilities prior to digging. I understand that I must follow all local building codes and setback requirements when making the change and that a building permit may be required. I further understand that I may not deviate from the plans submitted and that any variation will require re-application. I understand that I WILL FORFEIT MY DEPOSIT if Palm Beach Broward Irrigation is not consulted and used for any irrigation repairs or modification. Work must be completed within six months from date of approval.

SIGNATURE OF PROPERTY OWNER: [Signature] DATE: \_\_\_\_\_

**ARCHITECTURAL CONTROL COMMITTEE OF LAGUNA ISLES COMMUNITY**

APPROVED ✓ DENIED \_\_\_\_\_ INADEQUATE INFO PROVIDED \_\_\_\_\_

AUTHORIZED ACC SIGNATURE: [Signature] DATE: 10/8/20

COMMENTS: must contact Palm Beach Broward to re-route cap off  
sprinkler system

**Letter of Intent  
In Support of Request for Variance  
6715 SW 195<sup>th</sup> Ave Pembroke Pines, FL33332**

To who may Concern;

This Letter of Intent is in support of my neighbor's request for a variance to the back yard setback requirement for an existing conforming lot. The intention is to build a new cabana with half bath in the backyard.

As the PUD guidelines, our property is zoned SF-3. This requires 5' setbacks for structures up to 200sf that are separate from the house but our currently cabana is at 288sf. That is the reason why we plan to go attached to the house to be able to keep the 288sf (up to 45% lot coverage as per code – actual proposal be at 40.4%) but we have to meet the 15' rear setback as per code. Serve to note that there is a 50' HOA landscape maintenance yard behind our house (adjacent to 196<sup>th</sup> Ave).

However, in an effort to be able to keep the size of the cabana (288sf) we will attach the cabana to physically connect the two structures (cabana and house).

As a result of this change to the initial proposal (standalone cabana), the cabana on the site plan to it would require a variance on the west side of the lot to allow for a 5- foot setback.

What I would ask the board to consider that we agree with the proposed site plan for the cabana drawings made by Ramon Torre's Architect with a 5ft setback.

Thank you for your consideration.



Juana Mejia  
Resident / Owners (South Side)  
6725 SW 195<sup>th</sup> Ave  
Pembroke Pines FL 33332



Jorge Morillo  
Resident / Owners (North Side)  
6705 SW 195<sup>th</sup> Ave  
Pembroke Pines FL 33332



## SECTION 7- PROJECT AUTHORIZATION

### OWNER CERTIFICATION

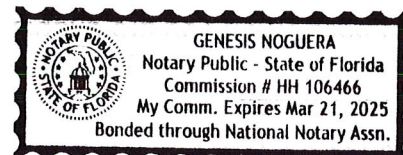
This is to certify that I am the owner of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Genesis Noguera  
Signature of Owner

7/25/21  
Date

Sworn and Subscribed before me this 25 day

of July, 2021



Fee Paid

[Signature]  
Signature of Notary Public

March 21, 2025  
My Commission Expires

### AGENT CERTIFICATION

This is to certify that I am the agent of the property owner described in this application and that all information supplied herein is true and correct to the best of my knowledge.

\_\_\_\_\_  
Signature of Agent

\_\_\_\_\_  
Date

Sworn and Subscribed before me this \_\_\_\_\_ day

of \_\_\_\_\_, 20\_\_\_\_

Fee Paid

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
My Commission Expires