Vicinity Map

City of Pembroke Pines • Planning and Economic Development Department

ZV(R) 2021-27 Zoning Variance

TORRES, RAMON A & CARRASQUILLO, ILEANA 6715 SW 195 AVE PEMBROKE PINES FL 33332











City of Pembroke Pines Planning & Economic Development Department 601 City Center Way 3rd Floor Pembroke Pines FL, 33025

Summary

Agenda Date:	November 4, 2021	Application	on ID:	ZV(R) 2021-27
Project:	Proposed driveway	Project N	umber:	N/A
Project Planner:	Dean Piper, Zoning A	dministrato	r	
Owner:	Ramon Torres	Agent:		N/A
Location:	6715 SW 195 th Terrac	ce, Pembrol	ke Pines FL	., 33332
Existing Zoning:	Laguna Isles (Big Sky North) Planned Unit Development (PUD)	Existing L	_and Use:	Residential
Reference Applications:	Item not heard on 10/	7/2021 due	to lack of a	quorum.
	Variance	Summary		
Application	Code Section	Required	/Allowed	Request
ZV(R) 2021 -27	Laguna Isles (Big Sky North) PUD Guidelines – PUDZONE SF-3	15' Rea Sett	ar Yard oack	5' Rear Yard Setback
Final:	☐ Planning & Zoning	Board	☑ Board o	f Adjustment
Reviewed for the Agenda:	Director:	Zoni	ng Adminis	trator:

PROJECT DESCRIPTION / BACKGROUND:

Ramon Torres, owner, has submitted Variance Request ZV(R) 2021-27 to allow a 5' rear yard setback for a proposed pool cabana addition instead of the required 15' rear yard setback.

Attached is Laguna Isles Homeowner's Association approval for this project and a copy of PUDZONE SF-3 regulations from the Laguna Isles (Big Sky North) PUD Guidelines. In addition, the applicant has provided a letter of support from the south side neighbor.

At the October 7, 2021 Meeting there were only three Board Members present to have the minimum number of members for a quorum. After Items ZV(R) 2021-23 & 24 were heard by the Board, a member of the Board became ill and had to leave. With no quorum (only two members left) no actions could be taken by the Board and the remaining items, including this request, had to be re-noticed and re-advertised for this meeting.

VARIANCE REQUEST DETAILS:

ZV(R) 2021-27 allow a 5' rear yard setback for a proposed pool cabana addition instead of the required 15' rear yard setback.

Code Reference: Laguna Isles (Big Sky North) Planned Unit Development Guidelines PUDZONE SF-3

VARIANCE DETERMINATION

The Board of Adjustment shall not grant any single-family residential variances, permits, or make any decision, finding, and determination unless it first determines that:

Its decision and action taken is in harmony with the general purposes of the zoning ordinances of the city and is not contrary to the public interest, health, or welfare, taking into account the character and use of adjoining buildings and those in the vicinity, the number of persons residing or working in the buildings, and traffic conditions in the vicinity.

In the granting of single-family residential variances, the Board shall follow Section 155.301(O) Variance:

- 1. Purpose: To allow for the provision of relief from certain development standards of this LDC for one or more of the following reasons:
 - a) There are special circumstances or conditions applying to the land or building for which the variance is sought, which circumstances are peculiar to the land or building and do not apply generally to land or buildings in the neighborhood, and that the strict application of the provisions of the zoning ordinances would result in an unnecessary hardship and deprive the applicant of the reasonable use of the land or building; or
 - Any alleged hardship is not self-created by any person having an interest in the property nor
 is the result of a mere disregard for or in ignorance of the provisions of the zoning ordinances
 of the city; or

c) Granting the variance is not incompatible with public policy, will not adversely affect any adjacent property owners, and that the circumstances which cause the special conditions are peculiar to the subject property.

Enclosed: Variance Request Application

Subject Site Aerial Photo Neighbor's Letter of Support

Property Survey



City of Pembroke Pines Planning and Economic Development Department Unified Development Application

Planning and Economic Development City Center - Third Floor 601 City Center Way Pembroke Pines, FL 33025 Phone: (954) 392-2100

Prior to the submission of this application, the applicant must have a pre-application meeting with Planning Division staff to review the proposed project submittal and processing requirements.

http://www.ppines.com	Pre Application Meeting Date: 7/1/2021
	# Plans for DRC Planner: DEAN PIPER
Indicate the type of application you ar Appeal* Comprehensive Plan Amendment Delegation Request DRI* DRI Amendment (NOPC)* Flexibility Allocation Interpretation* Land Use Plan Map Amendment* Miscellaneous Plat*	e applying for: Sign Plan Site Plan* Site Plan Amendment* Special Exception* Variance (Homeowner Residential) Variance (Multifamily, Non-residential)* Zoning Change (Map or PUD)* Zoning Change (Text) Deed Restriction
 Include all submittal requirements / 3. All applicable fees are due when the 4. Include mailing labels of all property signed affidavit (Applications types in 5. All plans must be submitted no la Development Review Committee (D. 6. Adjacent Homeowners Association number and a minimum of 30 days in 7. The applicant is responsible for ad Any application which remains inareview. A new, updated, application 8. Applicants presenting demonstration. 	e application is submitted (Fees adjusted annually). y owners within a 500 feet radius of affected site with marked with *). ater than noon on Thursday to be considered for RC) review the following week. as need to be noticed after issuance of a project pefore hearing. (Applications types marked with *). dressing staff review comments in a timely manner. active for over 6 months will be removed from staff will be required with applicable fees. and application is submitted to Planning in a staff to the City will be copy (PDF) of each board submitted to Planning
	Staff Use Only
Project Planner: Project a	#: PRJ 20 Application #:
Date Submitted://_ Posted	Signs Required: () Fees: \$

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	ce / cabana / pool
Project Address: 6715 SW 195th	Ave. Pembrokepines FL 33332
Location / Shopping Center:	
Acreage of Property:	Building Square Feet:
Flexibility Zone:	Folio Number(s):
Plat Name:	_Traffic Analysis Zone (TAZ):
Legal Description:	
Has this project been previously submitted	? (Yes) No

Describe previous applications on property (Approved Variances, Deed Restrictions, etc...) Include previous application numbers and any conditions of approval.

Date	Application	Request	Action	Resolution / Ordinance #	Conditions of Approval
1			de specialista de la companya de la		
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		*		ACCOUNTS AND	

SECTION 2 - APPLICANT / OWNER / AGENT INFORMATION Owner's Name: Ramon Torres Owner's Address: Q715 SW 195th Ave. Pembroke Piner FL33333 Owner's Email Address: torreram agmail, com Owner's Phone: 9542759260 Owner's Fax: Agent: Lamen Torres Contact Person: _ Ramon torres Agent's Address: (Same Agent's Email Address: __ ((Ame) Agent's Phone: (came) Agent's Fax: All staff comments will be sent directly to agent unless otherwise instructed in writing from the owner. SECTION 3- LAND USE AND ZONING INFORMATION: **EXISTING PROPOSED** Zoning: Zoning: _____ Land Use / Density: _____ Land Use / Density: _____ Use: Use: _____ Plat Name: Plat Name: Plat Restrictive Note: _____ Plat Restrictive Note: ADJACENT ZONING ADJACENT LAND USE PLAN North: _____ North: _____ South: South:

East:

West: _____

East:

West:

-This page is for Variance, Zoning Appeal, Interpretation and Land Use applications only-

SECTION 4 - VARIANCE • ZONING APPEAL • INTERPRETATION ONLY Application Type (Circle One): Variance Zoning Appeal Interpretation Related Applications: N Code Section: <u>Lagune Fsles P.U.D. - PUDZONG SF-3</u> Required: 15 Details of Variance, Zoning Appeal, Interpretation Request: see attached letter **SECTION 5 - LAND USE PLAN AMENDMENT APPLICATION ONLY** ☐ City and County Amendment ☐ City Amendment Only Existing City Land Use: Requested City Land Use: Existing County Land Use:

Requested County Land Use:

Letter of Intent In Support of Request for Variance 6715 SW 195th Ave Pembroke Pines, FL33332

To who may Concern;

This Letter of Intent is in support of my request for a variance to the back yard setback requirement for an existing conforming lot. The intention is to build a new cabana with half bath in the backyard.

As the PUD guidelines, our property is zoned SF-3. This requires 5' setbacks for structures up to 200sf that are separate from the house but our currently cabana is at 288sf. That is the reason why we plan to go attached to the house to be able to keep the 288sf (up to 45% lot coverage as per code – actual proposal be at 40.4%) but we have to meet the 15' rear setback as per code. Serve to note that there is a 50' HOA landscape maintenance yard behind our house (adjacent to 196th Ave).

However, in an effort to be able to keep the size of the cabana (288sf) we will attach the cabana to physically connect the two structures (cabana and house).

As a result of this change to the initial proposal (standalone cabana), the cabana on the site plan to it would require a variance on the west side of the lot to allow for a 5- foot setback.

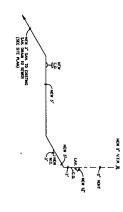
What is perhaps most relevant here, and what I would ask the board to consider, is (1) the fact that this changes were approved by our HOA initially as requested initially; (2) the fact that the western side of the lot there are no neighbors (50' HOA landscape maintenance yard) just a burn; (3) the proposed style and structure of the cabana is in step with the existing house and neighborhood; and (4) the neighbors on the north and south side of the house (lot) are both in agreement with the proposed site plan for the cabana.

Thank you for your consideration.

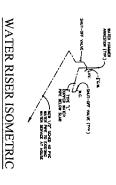
Ramon Torres & Ileana €arrasquillo

Residence Owners 6715 SW 195th Ave

Pembroke Pines FL 33332



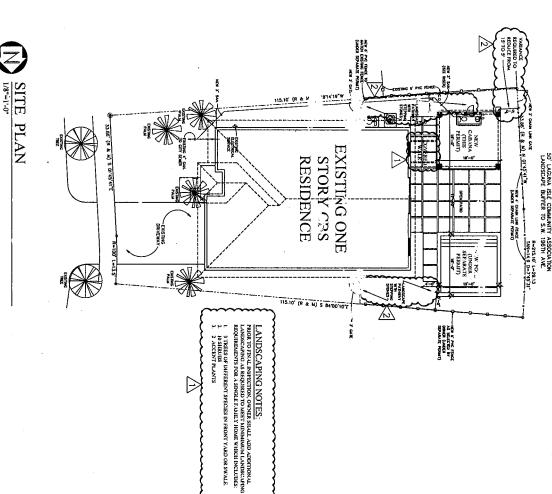
SANITARY RISER ISOMETRIC NO SCALE



PLUMBING NOTES:

NO SCALE

- PLUMBING CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE WORK IS BEGUN.
- PROVIDE SHUT-OFF VALVES IN SUPPLIES TO ALL FIXTURES WATER PIPING SHALL BE SCHEDULE 40 PVC TO THE BUILDING ONLY, ALL WATER PIPING INSIDE CABANA SHALL BE CONCERN.
- PROVIDE WATER HAMMER ARRESTER ON WATER SUPPLY PIPES TO NEW LAVATORY.
- PIPES PASSING UNDER FOOTINGS SHALL HAVE A CLEARANCE OF AT LEAST 2" BETWEEN THE TOP OF THE PIPE AND THE BOTTOM OF THE FOOTING. ALL SANITARY AND WASTE WATER LINES SHALL BE SCHEDULE 40 PW. ALL HERZCHALL DRAW PIPING SHALL BE INSTILLED AT A SLOPE OF NOT LESS THAN 1/A" PER FOOT FOR 2" PIPES LY8" PER FOOT FOR 3" OR LANGER PIPES. PIPES AND 1/16" PER FOOT FOR 4" OR LANGER PIPES.
- ALL PLUMBING SHALL CONFORM TO THE 7TH EDITION FLORIDA BUILDING CODE (2020)





LEGAL DESCRIPTION:

BIG SKY NORTH RESIDENTIAL PLAT 168-248 PART OF PARCE. A, DESCRIBED AS, COMM AT NW CORNER OF SECTION 1-51-39, SLY ALG W/L OF SECTION 1 FOR 4071.98 ELY 91.97 TO POB, ELY 115.10, SLY ARC DIST OF 13.54, S 13.86, WLY 115.10 NLY 33.86 TO P/C, NLY ARC DIST OF 29.13 TO POB AKA: LOT 48, BLK B LAGUNA ISLES

CODE: 7TH EDITION FLORIDA BUILDING CODE (2020) 170 mph REVISED: 8/10/21

ENGEL & ASSOCIATES, INC



POOL CABANA FOR

RAMON TORRES 6715 S.W. 195th AVE., PEMBROKE PINES, FLORIDA 33332

EXISTING 200 AMP MAIN MAIN DISCONNECT BE PANEL "A" LOAD (FE POOL TIMER & TRANS
NEW PANEL "B" (POO
EXISTING W.P. GFI RES
SPACE
SPACE
SPACE
SPACE 200 AMP MCB MAIN, NEMA 3R, SURFACE 120/240 VOLT, 1 PHASE, 3 WIRE, 8 SPACES (FEED THRU TO PANEL "A")

CEIUNG FANS & BATH

ř	þ	A LUAD (FEED IMRU)	
AL LOAD	Š	0	

		EED THRU)	BRANCH CIRCUIT BREAKER I DAD 6182 W / 240 VO	_			RECEPTACLE 120 500 20/1	DOL CABANA) 240 3782 60/2 1 1	the street of the second of the second of the
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ELECTRICAL NOTES:

- ALL CIRCUITS SHALL BE IDENTIFIED IN DISTRIBUTION PANEL WITH NO EXCEPTION.
- ALL WIRING TO BE COPPER. ROMEX IS APPROVED FOR USE WHERE ALLOWED BY N.E.C. & LOCAL CODE. CONDUIT SHALL HAVE GROUND CONDUCTOR PER N.E.C.
- CTRICAL CONTRACTOR SHALL VERIFY ALL CIRCUIT AKER, WRE AND CONDUIT SIZES WITH EQUIPMENT FUFACTURER'S NAME PLATE RATINGS. FIXTURES, WRING DEVICES, WRING, ECY. SHALL BE APPROVED AND SO MARKED.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE WORK IS BEGUN.
- THERE MILL BE NO CHANGES OR ADDITIONAL MONEY CONSIDERED OVER THE SID CONTRACT WITHOUT A WRITTEN CHANGE ORDER SICNED BY THE OWNER. WORK AND MATERIALS SHALL COMPLY WITH THE LATEST PUCABLE REQUIREMENTS OF THE 2017 ANTONAL ELECTRIC DE. THE 7th EDITION FLORIDA BUILDING CODE (2020), NFPA 2017 AND THE 7th EDITION FLORIDA FIRE PREVENTION CODE.

ELECTRICAL LEGEND

MOSTAT-60" A.F.F.-SUPPLIED BY M.C., INSTALLED BY E.C. MSTALLED BY E.C.

RBON MONDMEDE DETECTOR (120V./BATTERY BACK-UP)
RAGE ODOR OPERATOR

DOOR BELL

GROUND FAULT INTERRUPTER
DAMP LOCATION
WEATHER PROOF

WAPOR PROMSMALL APPLIANCE CIRCUIT
TIME CLOCK
ELECTRIC WATER HEATER
AIR HANDLER UNIT
ABOVE FINISH FLOOR
ELECTRICAL CONTRACTOR

RELOCATED EXISTING

COUNTED PATURE - CELLING MOUNTED

COUNTET PATURE - WALL MOUNTED

COUNTET PATURE - WALL MOUNTED

COUNTET PATURE - WALL MOUNTED

COUNTET PATURE - RECESSED - COUNTED WAY

120V-20A NOTCH SWETCH-15* AFF. 2-2 PGE_3-3 WAY

120V-20A NOTCH RECESTAGE - WAFF. 924 A MOTED

120V-20A NOTCH RECESTAGE - MOUNTED MONTED

120V-20A NOTCH RECESTAGE - WOUNT AS MOTED

120V-20A NOTCH RECESTAGE - MOUNT AS RECORDED FOR

120V-20A NOTCH RECESTAGE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH STATE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH STATE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH STATE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH STATE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH STATE - MOUNT AS RECORDED FOR

120V-20A NOTCH SWETCH SW

ELEPHONE/HIGH SPEED INTERNET JACKS - 18" A.F.F. OR AS IOTED - STUB 1/2" C. INTO CEILING
ELEPHONE OUTLET - FLOOR MOUNTED - STUB 1/2" C.

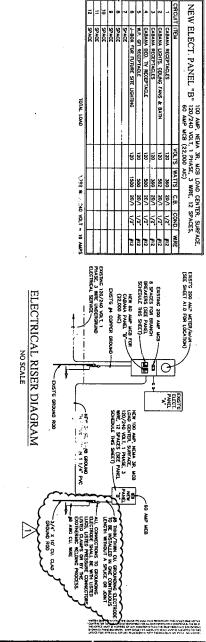
TELEVISION JUNCTION BOX - MOUNT AS REQUIRED

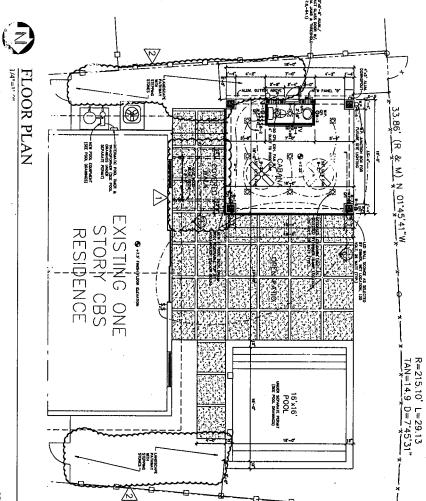
COMBINATION CARBON MONOXIDE/SMOKE DETECTOR (120V./BATTERY BACK-UP) TRICAL DISTRIBUTION PANEL
ALARM SMOKE DETECTOR (120V./BATTERY BACK-UP)

DRAWN: K.W.N.

POOL CABANA FOR

REVISIONS: (1) A/MA/ST: MLDG. SEPT. (2) B/MA/ST: 200000 DOM





EXIST	ΓING 200 AMP MAIN	200 AMP 120/240 (FEED THE	VOLT, 1	PHASE,	3 WIRE,		
CIRCUIT	ITEM		VOLTS	WATTS	C.B.	COND.	WIRE
1,3	POOL TIMER & TRANSFORMER (PUMP	& LIGHTS)	240	1900	20/2	"E"	"E"
2,4	NEW PANEL "B" (POOL CABANA)		240	3782	60/2	1 1/4"	3-#6,#8
5	EXISTING W.P. GFI RECEPTACLE		120	500	20/1	"F"	"F"

CIRCUIT	ITEM	VOLTS	WATTS	C.B.	COND.	WIRE
1,3	POOL TIMER & TRANSFORMER (PUMP & LIGHTS)	240	1900	20/2	"E"	"E"
2,4	NEW PANEL "B" (POOL CABANA)	240	3782	60/2	1 1/4"	3-#6,#8G
5	EXISTING W.P. GFI RECEPTACLE	120	500	20/1	"E"	"E"
6	SPACE					
7	SPACE					
8	SPACE					

ELECTRICAL NOTES:

ALL CIRCUITS SHALL BE IDENTIFIED IN DISTRIBUTION PANEL WITH NO EXCEPTION.

2. ALL WIRING TO BE COPPER, ROMEX IS APPROVED FOR USE WHERE ALLOWED BY N.E.C. & LOCAL CODE. 3. ALL CONDUIT SHALL HAVE GROUND CONDUCTOR PER N.E.C. AND ALL LOCAL CODES. 4. ALL FIXTURES, WIRING DEVICES, WIRING, ECT. SHALL BE U.L. APPROVED AND SO MARKED. 5. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CIRCUIT BREAKER, WIRE AND CONDUIT SIZES WITH EQUIPMENT MANUFACTURER'S NAME PLATE RATINGS.

6. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING

ALL WORK AND MATERIALS SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS OF THE 2017 NATIONAL ELECTRIC CODE, THE 7th EDITION FLORIDA BUILDING CODE (2020), NFPA 72 2017 AND THE 7th EDITION FLORIDA FIRE PREVENTION CODE.

THERE WILL BE NO CHANGES OR ADDITIONAL MONEY CONSIDERED OVER THE BID CONTRACT WITHOUT A WRITTEN CHANGE ORDER

120V-20A TOGGLE SWITCH-45" A.F.F., 2=2 POLE, 3=3 WAY, 4=4 WAY, D=DIMMER, K=KEY, F=FAN SPEED CONTROL, M= MOTOR RATED WITH OVERLOADS

120V-20A DUPLEX RECEPTACLE - 18" A.F.F. OR AS NOTED 120V-20A DUPLEX RECEPTACLE - FLOOR MOUNTED 120V-20A DUPLEX RECEPTACLE - MOUNTED ABOVE COUNTER 120V-20A DUPLEX RECEPTACLE - ON CIRCUIT WITH ARC FAULT CIRCUIT BREAKER 120V-20A QUADRUPLEX RECEPTACLE - MOUNT AS NOTED SPECIAL PURPOSE RECEPTACLE — MOUNT AS REQUIRED FOR EQUIPMENT CONTRACTOR TO MATCH EQUIPMENT PLUG WITH

TELEPHONE/HIGH SPEED INTERNET JACKS - 18" A.F.F. OR AS

TELEPHONE OUTLET - FLOOR MOUNTED - STUB 1/2" C.

FIRE ALARM SMOKE DETECTOR (120V./BATTERY BACK-UP)

CARBON MONOXIDE DETECTOR (120V./BATTERY BACK-UP)

COMBINATION CARBON MONOXIDE/SMOKE DETECTOR (120V./BATTERY BACK-UP)

TELEVISION JUNCTION BOX - MOUNT AS REQUIRED THERMOSTAT-60" A.F.F.-SUPPLIED BY M.C., INSTALLED BY E.C.

CONDITIONS BEFORE WORK IS BEGUN.

ELECTRICAL LEGEND

LIGHTING FIXTURE - CEILING MOUNTED LIGHTING FIXTURE - WALL MOUNTED LIGHTING FIXTURE - RECESSED

NOTED - STUB 1/2" C. INTO CEILING

MOTOR-SEE PANEL SCHEDULE FOR SIZE ELECTRICAL DISTRIBUTION PANEL

GARAGE DOOR OPERATOR

GFI GROUND FAULT INTERRUPTER DAMP LOCATION WEATHER PROOF

V.P. VAPOR PROOF S.A. SMALL APPLIANCE CIRCUIT T.C. TIME CLOCK
E.W.H. ELECTRIC WATER HEATER AHU AIR HANDLER UNIT A.F.F. ABOVE FINISH FLOOR ELECTRICAL CONTRACTOR

RELOCATED EXISTING

DOOR BELL

EXISTING "RE" RELOC

EXHAUST FAN

RECEPTACLE

SSO

(co)

DΘ

JUNCTION BOX

SIGNED BY THE OWNER.

MAIN DISCONNECT BRANCH CIRCUIT BREAKER LOAD	6,182 W. / 240 VOLT = 26 AMPS
PANEL "A" LOAD (FEED THRU)	= 162 AMPS
TOTAL LOAD	= 188 AMPS

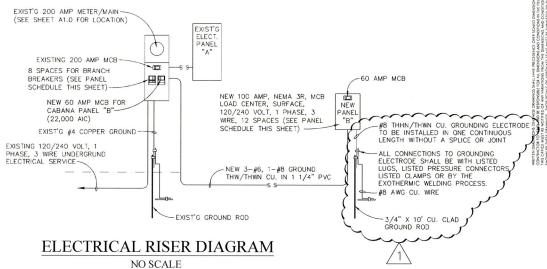
CIRCUIT	ITEM	VOLTS	WATTS	C.B.	COND.	WIRE
1	CABANA RECEPTACLES	120	360	20/1	1/2"	#12
2	CABANA LIGHTS, CEILING FANS & BATH	120	562	20/1	1/2"	#12
3	CABANA RECEPTACLES	120	360	20/1	1/2"	#12
4	CABANA DED. TV RECEPTACLE	120	500	20/1	1/2"	#12
5	W.P. GFI RECEPTACLE	120	500	20/1	1/2"	#12
6	J-BOX FOR FUTURE SITE LIGHTING	120	1500	20/1	1/2"	#12
7	SPACE					
8	SPACE					
9	SPACE					
10	SPACE					
11	SPACE					
12	SPACE					

TOTAL LOAD

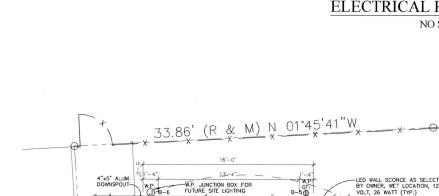
60 AMP MCB (22,000 AIC)

NEW ELECT. PANEL "B" 120/240 VOLT, 1 PHASE, 3 WIRE, 12 SPACES,

100 AMP, NEMA 3R, MCB LOAD CENTER, SURFACE,



R=215.10' L=29.13 $TAN=14.9 D=7^{\circ}45'31''$ 33.86' (R & M) N 01°45'41"W 13'-4"-LED WALL SCONCE AS SELECTED BY OWNER, WET LOCATION, 120 VOLT, 26 WATT (TYP.) W.P. JUNCTION BOX FOR FUTURE SITE LIGHTING 2'-0"x6'-8" ALUM./ IMPACT GLASS DOOR W/, ALUM. JAMB & THRESHOLD (+47.8,-64.1) 16'x16' POOL CABANA FAN W ROOF CAR UNDER SEPARATE PERMIT (SEE POOL DRAWNGS) OPEN PATIO COVERED 12 WALK - 4x10 WDOD BEAM ABOVE +7.5' FINISH FLOOR ELEVATION -INTERMATIC POOL TIMER & TRANSFORMER (SEE POOL DRAWINGS UNDER SEPARATE PERMIT)



FLOOR PLAN

3,782 W. / 240 VOLT = 16 AMPS



Digitally signed by Mark D Engel Date 2021 DE M 0934 09-04/00 OMM. #: 2032

ON TORRES
PEMBROKE PINES, FLORIDA 33332

AMON

2

S,INC

LASSOCIATES

NGEL &

□

15 S.W.

REVISED: 8/10/21

A2.1

PUDZONE SF-3

Permitted Use: One-family dwelling and related accessory uses.

Minimum Lot Size: 5,500 sq. ft.

Lot Coverage: 45% of all buildings.

Minimum Floor Area: 1,550 sq. ft. of gross floor area or 1,350 sq. ft. of air-conditioned

space for 1 story dwelling. Two (2) story dwelling shall have a

minimum of 1,600 sq. ft of air conditioned space.

Maximum Height: 35 ft. (to the highest point of the roof).

Minimum Frontage: 50 ft. (except on pie-shaped lots where the 50 ft. shall be measured at

the front building line. In no event shall the frontage at right-of-way be

less than 30 ft.)

Front Yard Setback: 20 feet to structure, 24 feet to garage. Front yard requirements are

exclusive of sidewalks except as amended in these Design and

Development Standards.

Rear Yard Setback: 15 ft.

Rear yard setbacks for lots adjacent to lakes are exclusive of any

required lake maintenance easements. Any type of hard roof covering

a patio must meet the minimum required setbacks.

Side Yard Setback 5 ft. setback from property line.

Street Side Yard: 15 ft. to structure. (Street side yard setback for key lots shall be equal

to the front yard setback.)

Key Lots: Where a rear yard is adjacent to another home's side yard, only

single story homes shall be permitted. Two story homes on either one or both of the lots may be allowed subject to approval by ooth

the City of Pembroke Pines and the ACB.

Corner Lots: Lots fronting on two (2) streets shall have front yard setbacks on the

street the unit faces. The other street shall be considered a street side yard. The side opposite the way the unit faces shall be considered the

rear yard and the other side shall be the side yard.

Parking: A minimum of two (2) off-street parking spaces (excluding garage)

shall be provided for each unit. Minimum driveway size shall be 16 ft. by 20 ft. exclusive of sidewalks. Tandem parking shall not be counted

towards the required parking spaces.

Landscaping:

Landscaping requirements shall be in accordance with the applicable

provisions of the City of Pembroke Pines Code of Ordinances, Sec 153 and the Landscape section of these Design and Development

Standards.

Guest Parking:

Guest parking shall be accommodated in common areas at the rate of

2.5 cars for each ten (10) units or fraction thereof.

ARCHITECTURAL CHANGE REQUEST LAGUNA ISLES COMMUNITY ASSOCIATION, INC.

NAME: Ramon Torres / Ileana Carrarguil HOME PHONE: (954) 8013501				
ADDRESS: 6715 SW 19544	Ave.	LOT	BLOCK	
CELL #(954)2759260 EMAIL:	carrasi1@	yahoo,co	щ	
RETURN TO: NextGen Management, LLC 1079 Shotgun Road, Sunrise, FL 33326 (954) 349-8777				
TYPE OF CHANGE REQUESTED AND DOCUM □ POOL: Site plan on lot survey and Contractor's pro □ LANDSCAPE: Site plan on lot survey and diagram □ FENCE: Site plan on lot survey, Contractor's propo □ PAINTING: Contractor's proposal and Color Scher	posal (any pool fencing requires indicating what plant species will sal and color picture indicating in the Samples from Approved Paint	a separate application). Il used and where they naterial being used. Schemes for Laguna I	will be planted. sles Association.	
Processing fee \$25 (not refundable) \$500 deposit for BEFORE any work is done. If not, the deposit will not palm Beach Broward request to 561-364-5297.	1 - Site plan on lot survey and	color picture indicatin	g material(s) being used.	
Multiple projects: Application 3 of 3	Submit 1 application for ex required for multiple proje	ach project. Only 1 fe ects completed at the	ee and 1 deposit are same time.	
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ARCHITECTURAL CHANGE REQUEST LAGUNA ISLES COMMUNITY ASSOCIATION, INC.

to com	MONTH ASSOCIATION, INC.
NAME: Rumon Torrection	a of a sauila
115 SW 195 TH AL	0
CELL#: (954) 2759240EMAIL: Car	rasi1@yahoo.com
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1079 Shotgun	: NextGen Management, LLC Road, Sunrise, FL 33326
TYPE OF CHANGE REQUESTED AND DOCUMENTS TO POOL: Site plan on lot survey and Contractor's proposal (any LANDSCAPE: Site plan on lot survey and diagram indicating FENCE: Site plan on lot survey. Contractor's proposal and co PAINTING: Contractor's proposal and Color Scheme Sample OTHER:	what plant species will used and where it
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SIGNATURE OF PROPERTY OWNER:	BATE: 9/28/2020
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LAGUNA ISLES COMMUNITY ASSOCIATION, INC. ADDRESS: CELL#: RETURN TO: NextGen Management, LLC 1079 Shotgun Road, Sunrise, FL 33326 (954) 349-8777 TYPE OF CHANGE REQUESTED AND DOCUMENTS TO SUBMIT WITH APPLICATION: POOL: Site plan on lot survey and Contractor's proposal (any pool fencing requires a separate application). LANDSCAPE: Site plan on lot survey and diagram indicating what plant species will used and where they will be planted. ☐ FENCE: Site plan on lot survey, Contractor's proposal and color picture indicating material being used. ☐ PAINTING: Contractor's proposal and Color Scheme Samples from Approved Paint Schemes for Laguna Isles Association. OTHER: _ - Site plan on lot survey and color picture indicating material(s) being used. Processing fee \$25 (not refundable) \$500 deposit for any work requiring digging. Palm Beach Broward must be contacted BEFORE any work is done. If not, the deposit will not be refunded. Send an E-Form through the Laguna Isle website or Fax your Palm Beach Broward request to 561-364-5297. Multiple projects: Application of _____ of ____ Submit 1 application for each project. Only 1 fee and 1 deposit are required for multiple projects completed at the same time. DESCRIPTION OF WORK TO BE DONE Please describe the type of change that you are requesting. Specify any materials to be used, including colors. ACKNOWLEDGEMENT OF APPLICANT I understand that I must be the property owner to make application to the Association for Architectural Change. I understand that application does not guarantee approval and that any approval must be received, in writing, prior to making the alterations requested in this application. I understand that Architectural Approval is based upon the aesthetics of the proposed. I further understand that if I am digging, that my contractor must contact the appropriate utilities prior to digging. I understand that must follow all local building codes and setback requirements when making the change and that a building permit may be required. I further understand that I may not deviate from the plans submitted and that any variation will require re-application. I understand that I WILL FORFEIT MY DEPOSIT if Palm Beach Broward Irrigation is not consulted and used for any irrigation repairs or modification. Work must be completed within six months from date of approval. SIGNATURE OF PROPERTY OWNER: _ DATE: ARCHITECTURAL CONTROL COMMITTEE OF LAGUNA ISLES COMMUNITY APPROVED _ _ DENIED _ _ INADEQUTE INFO PROVIDED AUTHORIZED ACC SIGNATURE: \ contact PAlm Beach Buow And

ARCHITECTURAL CHANGE REQUEST

Struklu System

Letter of Intent In Support of Request for Variance 6715 SW 195th Ave Pembroke Pines, FL33332

To who may Concern;

This Letter of Intent is in support of my neighbor's request for a variance to the back yard setback requirement for an existing conforming lot. The intention is to build a new cabana with half bath in the backyard.

As the PUD guidelines, our property is zoned SF-3. This requires 5' setbacks for structures up to 200sf that are separate from the house but our currently cabana is at 288sf. That is the reason why we plan to go attached to the house to be able to keep the 288sf (up to 45% lot coverage as per code – actual proposal be at 40.4%) but we have to meet the 15' rear setback as per code. Serve to note that there is a 50' HOA landscape maintenance yard behind our house (adjacent to 196th Ave).

However, in an effort to be able to keep the size of the cabana (288sf) we will attach the cabana to physically connect the two structures (cabana and house).

As a result of this change to the initial proposal (standalone cabana), the cabana on the site plan to it would require a variance on the west side of the lot to allow for a 5- foot setback.

What I would ask the board to consider that we agree with the proposed site plan for the cabana drawings made by Ramon Torre's Architect with a 5ft setback.

Thank you for your consideration.

Juana Mejia

Resident / Owners (South Side)

6725 SW 195th Ave

Pembroke Pines FL 33332

Jørge Morillo

Resident / Owners (North Side)

6705 SW 195th Ave

Pembroke Pines FL 33332

SECTION 7- PROJECT AUTHORIZATION

OWNER CERTIFICATION

This is to certify that I am the owner of the proper all information supplied herein is true and correct	
/ u / v.	7/25/21
Signature of Owner	Date
Sworn and Subscribed before me this <u>25</u> of <u>July</u> , 20 <u>Z</u>	GENESIS NOGUERA Notary Public - State of Florida Commission # HH 106466 My Comm. Expires Mar 21, 2025 Bonded through National Notary Assn.
	malch 21, 2025
Fee Paid Signature of Notary Public	My Commission Expires
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AGENT CERTIFICATION Id pue builduessi	ят повітя, мозг в тазк, впа ртасцов восіві а
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Signature of Agent	Date
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Sworn and Subscribed before me this	day
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